

File No.: 04-1000-20-2017-512

December 21, 2017

s.22(1)

Dear s.22(1)

Re: **Request for Access to Records under the Freedom of Information and Protection of Privacy Act (the "Act")**

I am responding to your request of December 13, 2017 for:

Records regarding the following district fire service records and/or environmental information for site located at 6525 Oak Street, Vancouver, BC from January 1, 1992 to December 13, 2017:

1. Studies and environmental reports;
2. Records of visits;
3. Notices of violation, claim, suit or corrective action of an environmental nature;
4. Certificates of authorization or permits issued by the municipality of an environmental nature; and
5. Notice(s) of non-compliance or an environmental failure.

All responsive records are attached.

Please note: some information in the records has been marked as 'Not responsive' because the records refer to a different address and therefore do not pertain to 6525 Oak Street.

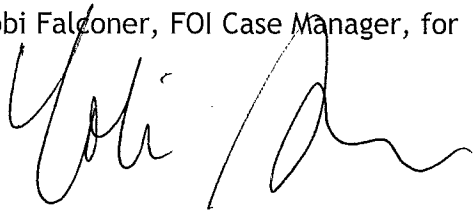
Under section 52 of the Act you may ask the Information & Privacy Commissioner to review any matter related to the City's response to your request. The Act allows you 30 business days from the date you receive this notice to request a review by writing to: Office of the Information & Privacy Commissioner, info@oipc.bc.ca or by phoning 250-387-5629.

If you request a review, please provide the Commissioner's office with: 1) the request number assigned to your request (#04-1000-20-2017-512); 2) a copy of this letter; 3) a copy of your original request for information sent to the City of Vancouver; and 4) detailed reasons or grounds on which you are seeking the review.

Please do not hesitate to contact the Freedom of Information Office at foi@vancouver.ca if you have any questions.

Yours truly,

Cobi Falconer, FOI Case Manager, for

A handwritten signature in black ink, appearing to read 'Cobi Falconer', written over the typed name 'Cobi Falconer, FOI Case Manager, for'.

Barbara J. Van Fraassen, BA
Director, Access to Information & Privacy

Barbara.vanfraassen@vancouver.ca
453 W. 12th Avenue Vancouver BC V5Y 1V4
Phone: 604.873.7999
Fax: 604.873.7419

Encl.

:ma

10 May 2004

AMEC File:VG07488

VIA Courier

Imperial Oil - Products and Chemicals Division
Marketing Engineering Services
3232 Underhill Avenue
Burnaby, B.C. V5A-3C7

BU 429067

Attention: Osman Chang

Dear Sir or Madam.,

**Reference: ESSO Station Upgrade
49th & Oak Street, Vancouver BC**

1.0 INTRODUCTION

As requested by Mr. Ralph Kausen of Imperial Oil Limited (IOL), AMEC Earth & Environmental (AMEC) has carried out a review of a geotechnical report by AGRA Earth & Environmental Ltd. (a predecessor company to AMEC). The report was entitled "Proposed Upgrade of ESSO Service Station – W. 49th Avenue & Oak Street, Vancouver BC" and dated 15 February 1996 (attached). This letter serves as support for the use of the 1996 report and provides recommendations amending the 1996 report.

2.0 AMENDMENTS

2.1 Subsurface Data

Borehole logs (attached) from drilling completed in 2003 by Morrow Environmental were provided by IOL and were compared with the borehole logs from the 1996 geotechnical investigation. Although the hole locations and the native soil descriptions are not identical, it is judged that the native soil conditions, from a geotechnical point-of-view are consistent with the 1996 geotechnical report. Additional geotechnical recommendations for the station upgrade follow below.

2.2 Previous Geotechnical Recommendations

The following amendments are to be made to the 1996 geotechnical report for future development at the subject site:

Section 5.7 Slabs-on-Grade

Prior to construction of the building, a materials or structural engineer should be consulted to determine whether a vapour barrier is necessary below the building slab. The necessity of such a barrier is typically dependant on the type of floor covering that will be placed on the concrete slab.

2.3 Additional Geotechnical Recommendations

2.3.1 Temporary Excavations

It is anticipated that temporary excavations required for installation of underground fuel tanks and construction of canopy footings will be approximately 4 and 2 m deep, respectively. Based on the soil conditions described in Section 4.0, the excavations will advance through compact granular fills and into firm to stiff silts to sandy silts and/or dense silty sand soils. As a preliminary recommendation, temporary cut slopes for the tank nest and canopy footings may follow the recommendations in Table 1 below:

Table 1: Summary of recommended cut slope angles for temporary excavations.

Excavation slope material	Recommended cut slope angle
Loose to Compact granular fills	1.5H:1V
Firm to stiff silts, sandy silts and dense silty sands	3/4H:1V

The preliminary recommendations for temporary excavation slopes should be confirmed by the geotechnical engineer during construction as required by WCB regulations. Significant seepage or surcharge loads near the crest of the excavations may require flatter temporary slopes. Steeper slopes may be feasible subject to review by the geotechnical engineer. All excavation work should be in conformance with the WCB¹ Occupational Health and Safety Regulation. The expected average slopes attainable for this project are shown on the attached tank excavation plan Figure 1.

Some perched water and seepage could enter the excavations. This should be controllable using sumps and pumps.

2.3.2 Methane generation

Based on the encountered soil conditions and the site preparation recommended in Section 5.2 of the 1996 geotechnical report, the proposed building will be underlain by inorganic materials. Thus, no methane generation is anticipated below the building footprint and no methane ventilation system is required below the slab.

¹ Workers' Compensation Board of British Columbia: Industrial Health & Safety Regulations.

3.0 CLOSURE

Recommendations presented herein are based on a geotechnical evaluation of the 1996 geotechnical report and current geotechnical practice. If conditions other than those reported are noted during subsequent phases of the project, AMEC should be notified and be given the opportunity to review and revise the current recommendations, if necessary. Recommendations presented herein may not be valid if an adequate level of review or inspection is not provided during construction.

This report has been prepared for the exclusive use of IOL for specific application to the 49th & Oak ESSO Station. Any use which a third party makes of this report, or any reliance on or decisions made based on it, are the responsibility of such third parties. AMEC accepts no responsibility for damages, if any, suffered by any third party as a result of decisions made or actions based on this report. It has been prepared in accordance with generally accepted soil and foundation engineering practices. No other warranty, expressed or implied, is made.

Respectfully submitted,

**AMEC Earth & Environmental,
a division of AMEC Americas Limited**




Calum Buchan, P. Eng.
Geotechnical Engineer

Reviewed by:

Henrik Kristiansen, M.A.Sc., P.Eng.
Senior Geotechnical Engineer

Attachments: AGRA Report dated 15 February 1996
Re: Proposed Upgrade of ESSO Service Station
W. 49th Avenue & Oak Street, Vancouver BC
Site Plan – Current Site Layout (Redeveloped in 1993)
prepared by Morrow Environmental Ltd.
Borehole logs completed by Morrow Environmental Ltd. (11 pages)
Figure 1 – Tank Excavation Plan

15 February 1996
VG-06917

Imperial Oil
Products and Chemicals Division
1900 - 4720 Kingsway
Burnaby, British Columbia
Canada V5H 4N2

Attention: Mr. Tony Elliott, P.Eng.

Ladies and/or Gentlemen:

**RE: Proposed Upgrade of ESSO Service Station
W. 49th. Avenue & Oak Street, Vancouver, B.C.**

1.0 INTRODUCTION

As requested by Imperial Oil Limited (IOL), AGRA Earth & Environmental Limited (AEE) has carried out a geotechnical assessment at the above referenced site. It is understood that the present Esso station site will be upgraded to include a retail store, and car wash following demolition of the existing service building. The purpose of the study was to prepare a report that would describe the soil conditions at the site, and provide recommendations with respect to site preparation, foundations, slabs-on-grade and pavement.

2.0 SITE DESCRIPTION

The site is located at W. 49th Avenue & Oak Street, Vancouver, B.C. A site location plan with the legal description is attached as Figure 1. At the time of the geotechnical assessment, the site was occupied by a 3 bay Esso service station building as well as a canopy and pump islands. The site was completely paved and generally flat. The asphalt pavement appeared to be in fair condition, with some minor cracking and asphalt patching observed over several areas of the site.

3.0 FIELD WORK

The bore hole and DCPT locations were selected in advance by an AEE representative, and adjusted and approved during a 12 December 1995 site meeting with Mr. Tony Elloitt, P.Eng. of IOL.

On December 18, 1995 three auger holes (AH95-1 to AH95-3) and one Dynamic Cone Penetration test (DCPT95-1 - adjacent to AH95-3) were advanced at the site with a truck mounted drill rig. The locations of the test holes are indicated on Figure 1. The auger holes were drilled in order to continuously log the soil conditions, while the DCPT was advanced in order to assess the penetration resistance of the soils within the retail store and car wash areas. The maximum test hole depth was 4.6 m, as penetration of the soils below a depth of 1 m was typically very difficult and very slow with the auger drilling rig.

An AEE representative was present to supervise the soil investigation program. The representative classified the soils encountered in the drill holes, recorded the DCPT blow count data, observed site groundwater conditions, and collected soil samples for water content determinations performed in the Burnaby AEE office laboratory. The AEE representative also ensured that the appropriate IOL Safety Method Statements, the IOL Safe Work Permit/Checklist, and the IOL Safety Guideline for Contractors documents were completed as required.

4.0 SOIL & GROUNDWATER CONDITIONS

The soil conditions typically consisted of variable loose to compact fill and loose organics overlying firm to stiff silts and dense silty sands. The soil conditions are detailed on the attached auger hole logs. The soil conditions are also summarized in the following discussion.

Various thicknesses of fill and organics were found underlying the asphalt in all three holes. In auger hole 95-1, the asphalt was underlain by 0.6 m of compact sand and gravel, which was in turn underlain by approximately 0.2 m of pea gravel fill. In auger hole 95-2, the asphalt was underlain by 0.8 m of loose sand fill which was underlain by approximately 0.6 m of soft organic silt with amorphous organics. Auger hole 95-3 contained 0.6 m of silty, gravelly sand underlying the asphalt.

The fill and organic layers were underlain by native inorganic silt, silty sand or sandy silt. The silt was typically firm to stiff, non to low plastic and contained varying fine sand content. The colour of the fine silts and sands varied from tan to tan-rust to grey in colour. The silt and silty sand deposits in the proposed retail store and car wash area were inferred to be compact/firm to dense/stiff at DCPT95-1.

AH95-1 and AH95-2 were advanced to 4.6 m, while AH95-3 hit refusal at 4 m. DCPT95-1 hit refusal at 1.8 m.

The elevation of the groundwater table was not confirmed as water was observed entering the holes at the top of the native soils (approximately 1.5 m down). Natural groundwater levels are anticipated to be below the depth of the investigation. There appears to be a significant amount of water (perched water table) in the surface soils during the winter months after periods of heavy rainfall.

5.0 DISCUSSION & RECOMMENDATIONS

5.1 GENERAL

The proposed car wash and retail store may be founded on conventional shallow foundations bearing on compacted structural fill overlying compact to dense (or firm to stiff) native silty soils.

5.2 SITE PREPARATION

It is understood that in areas containing the proposed replacement structures, the existing asphalt pavement will be removed. It is further recommended that the existing structure proposed for demolition be removed completely, including foundations and slabs-on-grade.

5.2.1 car wash & retail store areas

The excavation should expose the existing structural fill or native silts. It is recommended that the loose fills and organics located above the firm to dense native silt and silty sand deposits be subexcavated and replaced with a structural fill. The new building footings may be founded directly on a properly prepared subgrade of native silts or on well compacted structural fill. If founded on structural fill, the structural fill below foundations should extend laterally a distance beyond the footing edges equal to the depth of fill placed below the base of the footings.

Soil conditions identified from the three auger holes and DCPT95-1, indicate that up to 1.5 m of loose fills and organics will require excavation from the car wash and retail store building footprint. The prepared native soil subgrade must be reviewed by the geotechnical engineer prior to placement of the foundations, or structural fills required to achieve the design foundation subgrade elevation, in order to assess the suitability of the prepared soils for supporting the foundations and floor slab of the proposed replacement structures

5.3 STRUCTURAL FILL

Fills required to achieve design foundation , slab and pavement subgrade elevations shall consist of a clean, free draining well graded pit run sand and gravel having a maximum aggregate size of 75 mm and a maximum fines content (silt and clay size particles) of 5%. Structural fills beneath foundation elements shall be placed in 300 mm maximum, loose horizontal lifts and compacted to a minimum of 100% of Standard Proctor Maximum Dry Density (ASTM D698, SPD). Structural fill under slabs and pavement areas shall be placed as described above and compacted to a minimum of 98% of SPD.

5.4 FOUNDATIONS

The proposed car wash and retail store may be supported on conventional shallow spread and strip footings with minimum dimensions of 600 mm and 450 mm respectively. Car wash and retail store foundations placed above approved structural fill compacted to a minimum of 100% of SPD or on the native, firm to stiff silt soils may be designed to have a maximum allowable bearing capacity of 150 kPa (3000 psf). Post construction settlement of foundations placed as described above are expected to be less than 25 mm. All foundations should have a minimum depth of cover of 450 mm for frost protection.

5.5 SEISMIC CONSIDERATIONS

Commentary J of the 1990 supplement to the National Building Code of Canada (NBCC) states that the objectives of the earthquake resistant design requirements are to prevent major structural failures and loss of life. Structures designed in conformance with the NBCC provisions should be able to resist moderate earthquakes without significant structural damage and major earthquakes without collapse. A state of collapse exists when occupants can no longer exit the building due to structural failure. For design purposes, it is common to consider the peak acceleration with a 40% chance of being exceeded in 50 years (the 1 in 100 year earthquake) as the result of a "moderate" earthquake. The NBCC defines a "major" earthquake as one which results in accelerations and velocities with a 10% chance of being exceeded in 50 years (1 in 475 year earthquake).

For the Vancouver area, the following accelerations are given in the January 1993 third revision and errata of the supplement of the 1990 NBCC (table J-2):

Risk Level	Peak horizontal Ground Acceleration
40% in 50 years	0.089 g
10% in 50 years	0.23 g

The subject property is interpreted to be underlain by a dense to very dense till-like silt, and as such would be classified as a Category 1 soil condition site having a foundation factor F of 1.0, in accordance with Subsection 4.1.9.1 of the NBCC.

The dense to very dense till-like silt interpreted to underlie the subject property is judged to be resistant to liquefaction in the event of the 1 in 475 years earthquake.

5.6 DRAINAGE

It is recommended that a perimeter drainage system, consisting of a minimum 100 mm diameter slotted or perforated rigid wall pipe surrounded by at least 150 mm of 19 mm drain rock or 19 mm clear crush gravel, be placed around all building areas (other than the carwash) where the floor grade is not at least 200 mm above finished site grade. "Big O" type pipe is not considered to be suitable for structure drainage purposes. The pipe should be installed with perforations at least 30 degrees off the base of the pipe. The invert elevation of the perforated pipes should be at least 300 mm below the underside of the slabs. The perimeter drains should be provided with permanent clean-outs. Perimeter drainage may be omitted for the retail store if the store floor is more than 200 mm above design site grade. Perimeter drainage is not required for the carwash structure.

Perimeter drainage systems should be designed to direct water by gravity flow to a permanent storm disposal system. The roof and surface runoff should be collected and directed off site in tight lines, separate from perimeter drainage. The carwash drainage will contain cleansing agents and possibly some hydrocarbon products or residue. This drainage should be collected and treated prior to discharge off site. The treatment should include, at the very least, an oil-water separator which is regularly serviced. Final ground surfaces around the structures should be graded to direct water away from the structures.

5.7 SLABS-ON-GRADE

The slab on grade for the retail store and car wash should be constructed over a minimum of 150 mm of clean, free draining (less than 5% passing the #200 sieve) granular fill compacted to a minimum of 98% of SPD. A 6 mil polyethylene sheet vapour barrier should be placed between the structural fill and the slab-on-grade for the retail store to inhibit moisture migration through the floor slabs. It is recommended that the underslab drainage layer be connected to a perimeter drainage system, if perimeter drainage is required (refer to section 5.6).

5.8 EXTERIOR PAVEMENT DESIGN

The existing asphalt pavement generally appears to be in fair condition, with some cracking and/or surface irregularities in some areas. Noticeably cracked or irregular asphalt should be replaced by new pavement, after replacement and recompaction of the

underlying soils, as required. In areas where the existing asphalt is in good condition but must be replaced to accommodate final site grade, pavement reconstruction options would include removal and reconstruction.

5.8.1 New Pavement (removal and reconstruction)

It is recommended that any new asphalt pavement be constructed with a minimum section of:

65 mm of asphaltic concrete wearing surface course
100 mm of 19 mm minus crushed granular base course
150 mm of 75 mm minus pitrun sand and gravel subbase course

In areas where vehicle traffic is expected to be heavy, the asphalt thickness should be increased to a minimum of 75 mm. The base and subbase materials should be compacted to a minimum of 100 % SPD.

The pavement section should be constructed on a suitably prepared subgrade such as the undisturbed native silts, or on the existing or imported structural fill materials overlying the native soils. The existing compact to dense sand fill or sand and gravel fill is considered to be of acceptable quality to be included in the required 150 mm of pitrun sand and gravel subbase course.

5.8.2 Standard Repair and Overlay

In areas where the final grade will be increased from at least 25 mm above existing grade, a standard repair and overlay approach can be used to upgrade the existing pavement. For a uniform appearance, a minimum asphalt overlay of 25 mm is recommended for covering the existing pavement. The existing pavement should be repaired and cleaned prior to placement of the asphalt overlay, to minimize reflection cracking in the new asphalt surface and to provide a good bonding surface for the overlay. Cracks in the existing pavement should be gouged or routed to their full depth and patched with hot-mix asphalt, or should be thoroughly cleaned out with compressed air and filled with asphalt slurry.

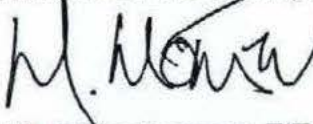
If the existing pavement is to be reconstructed, or new pavement is to be constructed adjacent to and adjoining existing pavement, it is recommended that the reconstruction or construction be completed up to the level of the existing adjacent pavement, so that a final overlay can be placed in a continuous paving operation over the complete surface. Construction of a continuous final overlay will reduce the potential for differential movement or the formation of cold joints in the wearing surface.


6.0 CLOSURE

We appreciate the opportunity to be of service to you on the project at W. 49th. Avenue & Oak Street, Vancouver, B.C. Should you have any questions, or desire additional information, please call.

Yours truly,


AGRA Earth & Environmental Limited


Mark Montgomery, EIT
Geotechnical Division


Steven Scotton, M.A.Sc., P.Eng.
Senior Geotechnical Engineer



Reviewed by:


John Hull, P.Eng.
Manager - Geotechnical Division

MM/mm
MRM96-1

Encl. (4)

c. Beesley Engineering
Attn : Ron Beesley, P.Eng.

Imperial Oil - Edmonton
Attn : Chuck Cotton, P.Eng.

Inperial Oil Limited Uniwide Drilling Ltd.-Truck Auger AUGER HOLE NO: AH95-1

IOL SERVICE STATION - 49th Ave & Oak St. PROJECT NO: VG-06917

START DATE: 95/12/18 ELEVATION:

SAMPLE TYPE AUGER NO SAMPLE SPLIT SPOON SHELBY TUBE HOLLOW STEM CORE

DEPTH (m)	INSTRUMENTATION DATA	USC	SOIL SYMBOL	Soil Description	SAMPLE TYPE	SAMPLE NO	SPT(N)	▲ Hydrocarbon Vapour ppmv ▲ 100 200 300 400	ELEVATION (ft)
0.0			ASPHALT						0.0
		fi		FILL, sand & gravel, trace silt, uniform sub angular gravel, compact to dense, brown, moist					-1.0
		fi		PEA GRAVEL underlain by AMORPHOUS ORGANICS (topsoil), loose (soft), black, moist					-2.0
1.0		sm		SILTY SAND, trace fine gravel, sand fine grained, compact, rust brown, wet	<input checked="" type="checkbox"/>	1			-3.0
		sm		SILTY SAND, fine grained sand, trace to some fine gravel, dense, grey, moist	<input checked="" type="checkbox"/>	2			-4.0
		sm		SILTY SAND, fine grained sand, trace sub-angular gravel, dense, rust brown with grey mottle, moist - siltier with depth	<input checked="" type="checkbox"/>	3			-5.0
2.0									-6.0
									-7.0
		ml		SILT, some fine sand, trace gravel, trace clay, stiff to very stiff, low to medium plastic, dry to damp - grades to a sandy silt with depth	<input checked="" type="checkbox"/>	4			-8.0
3.0									-9.0
									-10.0
		ml		SANDY SILT, trace to some angular gravel, some cleaner sand lenses, sand fine to medium, dense, grey moist	<input checked="" type="checkbox"/>	5			-11.0
4.0									-12.0
									-13.0
									-14.0
5.0				END OF HOLE AT 4.6 m - refusal of auger water observed entering hole at top of native soil (⊕ approx. 0.8 m depth)					-15.0
									-16.0

AGRA Earth & Environmental Limited Burnaby, B.C. LOGGED BY: MM COMPLETION DEPTH: ** REVIEWED BY: SS COMPLETE: 95/12/18 Fig. No: Page 1 of 1

IMPERIAL OIL LIMITED Uniwide Drilling Ltd.-Truck Auger AUGER HOLE NO: AH95-2

IOL SERVICE STATION - 49th Ave & Oak St. PROJECT NO: VG-06917

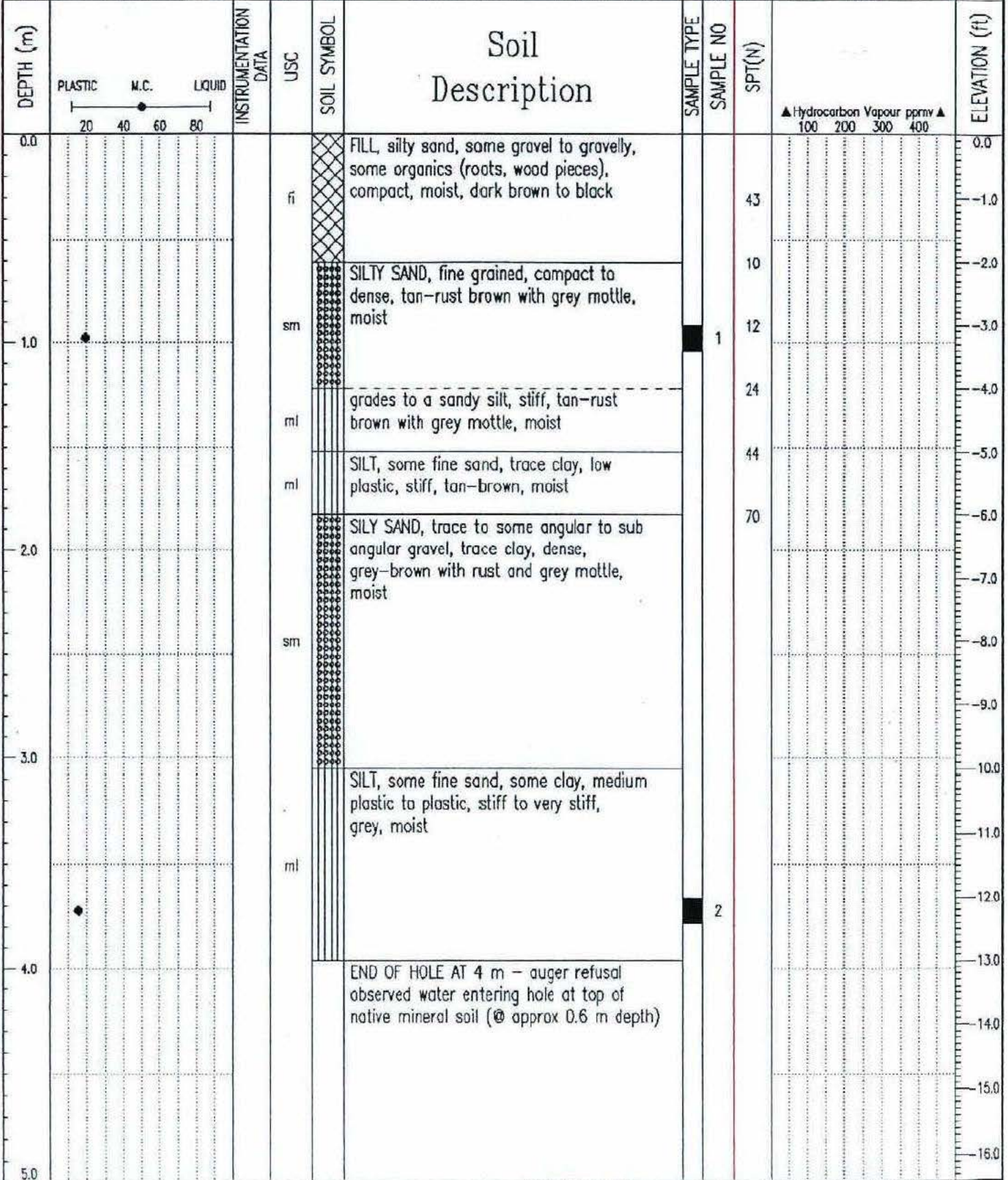
START DATE: 95/12/18 ELEVATION:

SAMPLE TYPE AUGER NO SAMPLE SPLIT SPOON SHELBY TUBE HOLLOW STEM CORE

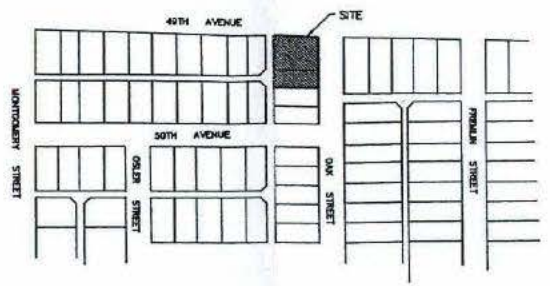
DEPTH (m)	INSTRUMENTATION DATA	USC	SOIL SYMBOL	Soil Description	SAMPLE TYPE	SAMPLE NO	SPT(N)	▲ Hydrocarbon Vapour ppmv ▲ 100 200 300 400	ELEVATION (ft)
0.0				FILL, fine to medium sand, trace silt, (river sand), dry to damp, loose, grey					0.0
1.0				ORGANIC SILT with AMORPHOUS ORGANICS, strong organic odor, soft, dark brown to black, damp to wet		1			-3.0
2.0				SILT sandy to some fine grained sand, trace sub angular gravel, low plastic, stiff/dense, tan brown with grey and rust mottle, damp		2			-5.0
3.0						3			-10.0
4.0						4			-13.0
5.0				END OF HOLE AT 4.57 m observed water entering hole at bottom of organic layer (top of native mineral soil) (@ approx. 1.5 m depth)					-16.0

AGRA Earth & Environmental Limited Burnaby, B.C. LOGGED BY: MM REVIEWED BY: SS Fig. No. COMPLETION DEPTH: 4.6 m COMPLETE: 95/12/18 Page 1 of 1

SAMPLE TYPE AUGER NO SAMPLE SPLIT SPOON SHELBY TUBE HOLLOW STEM CORE



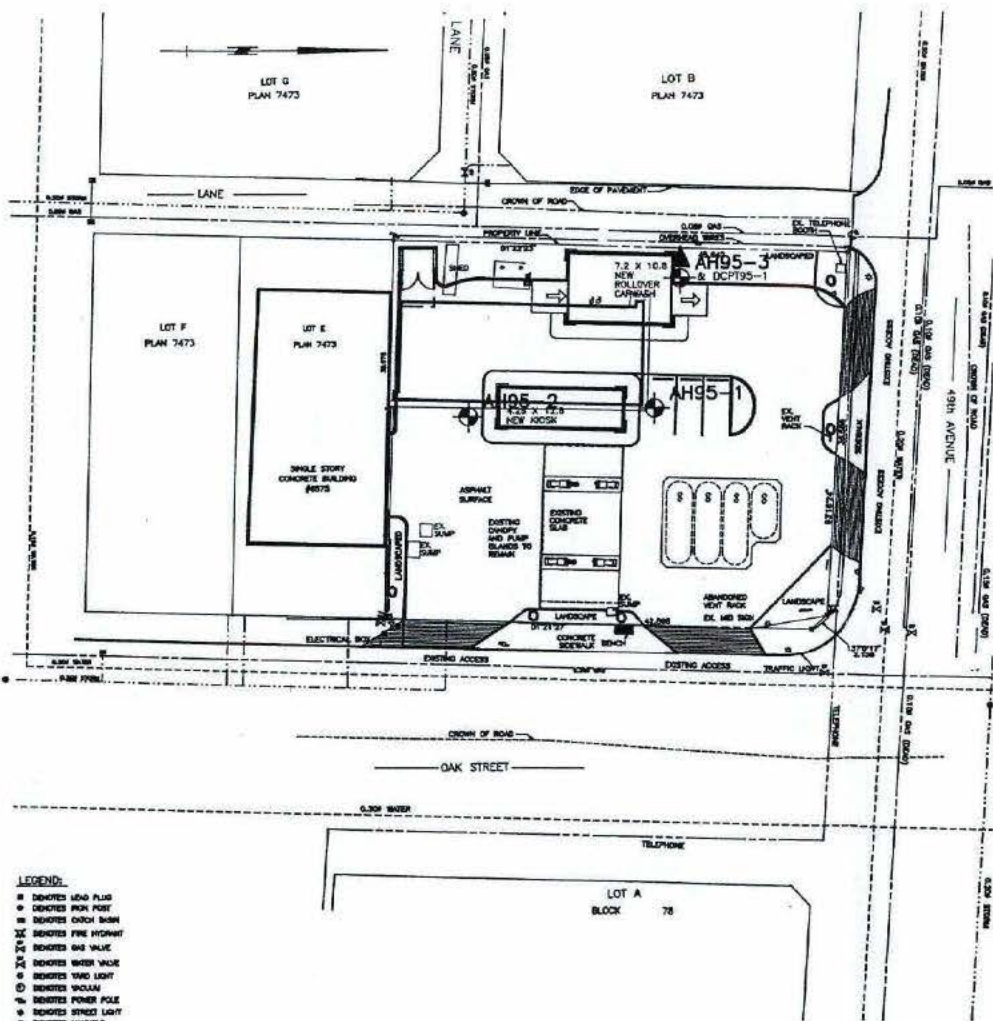
PLAN OF TOPOGRAPHY OF LOT 'C',
EXCEPT PART IN EXPLANATORY PLAN
VAP 20474 AND LOT 'D', ALL OF BLOCK 'D'
OF BLOCK 12 AND 17A, DISTRICT LOT 526,
PLAN 7473, NEW WESTMINSTER DISTRICT



KEY PLAN
NOT TO SCALE

BOREHOLE LEGEND


- ⊕ AUGER HOLE
- ▲ DCPT HOLE








- LEGEND:
- ⊕ INDICATES LEAD PILE
 - ⊙ INDICATES ROCK POST
 - ⊖ INDICATES CHAIN BORN
 - ⊗ INDICATES CHAIN BORN
 - ⊕ INDICATES FIRE HYDRANT
 - ⊕ INDICATES GAS VALVE
 - ⊕ INDICATES WATER VALVE
 - ⊕ INDICATES TRAP LIGHT
 - ⊕ INDICATES SLOTTAN
 - ⊕ INDICATES POWER POLE
 - ⊕ INDICATES STREET LIGHT
 - ⊕ INDICATES MANHOLE
 - ⊕ INDICATES PILEL DR

APPROXIMATE BOREHOLE LOCATION PLAN				
NO.	DATE	REVISION	DR.	CHK.

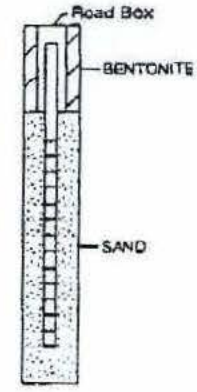
AQRA Earth & Environmental Limited		BOREHOLE LOCATION PLAN PROPOSED ESSO STN. UPGRADE W. 49TH AVENUE & OAK STREET VANCOUVER, B.C.		SHEET SIZE A3
DRAWN TR - BEESLEY	CHECKED MM			SCALE 1:500
APPROVED SS	DRAWING NUMBER PROJECT No. 06917			DATE 06-02-96
OFD VC	TASK -	SHT.No. 1	REV. -	

	Client : Imperial Oil Limited	Borehole No. : 03-1
	Location : 49th and Oak, Vancouver, BC	(Page 1 of 1)

Drilling Contractor: Uniwide Drilling Co. Ltd. Drilling Method : Solid Stem Auger/ollow Stem Auger Borehole Dia. (m) : 0.20 Pipe/Slotted Pipe Dia. (m): 0.05, 0.05	Ground Surf Elev. (m) : 100.152 Top of Casing Elev. (m) : 100.014	Project Number : VG31002 Borehole Logged By : DLC/SR Date Drilled : 2003 03 04 Log Typed By : NFS
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Drilling Legend  Sample Interval	Water/LPH Levels  Water Level 1  Water Level 2  LPH Level 1  LPH Level 2	Stratigraphy Plot Sample Interval/ Core Run Sample Number Blow Count % Recovery	□ Reading within indicated scale ● Reading outside indicated scale Soil Vapour (% LEL) 0 20 40 60 80 100	□ Solid PVC ▨ Slotted PVC Well Name 1 : 03-1
-----------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------

Depth in Metres	Soil Description	Stratigraphy Plot	Sample Interval/ Core Run	Sample Number	Blow Count	% Recovery	Soil Vapour (% LEL)
0	ASPHALT						
0	SAND (FILL), fine to medium grained, trace silt, loose, brown, moist.			1-00			0.05
1	SILT (FILL), some clay, some sand, fine to coarse grained, trace gravel, fine, trace cobbles, grey, organics (wood), debris (bricks), moist. At 1.0 m - Geotextile liner.			1-02			0.01
2	SAND, fine to medium grained, some silt, some gravel, fine, sub-angular, dense, brown, moist.			1-01			0.02
3	SILT, some clay, some sand, fine to medium grained, brown, firm, medium plasticity, moist. Between 2.5 m and 2.9 m - Sandy			1-04			0.01



End of borehole at 3.0 m.

DRAFT

Notes:
 Bolded sample denotes sample analyzed.

Print Date: 2003 04 22, Date Updated: 2003 04 22



Client :
Imperial Oil Limited

Borehole No. : 03-2D

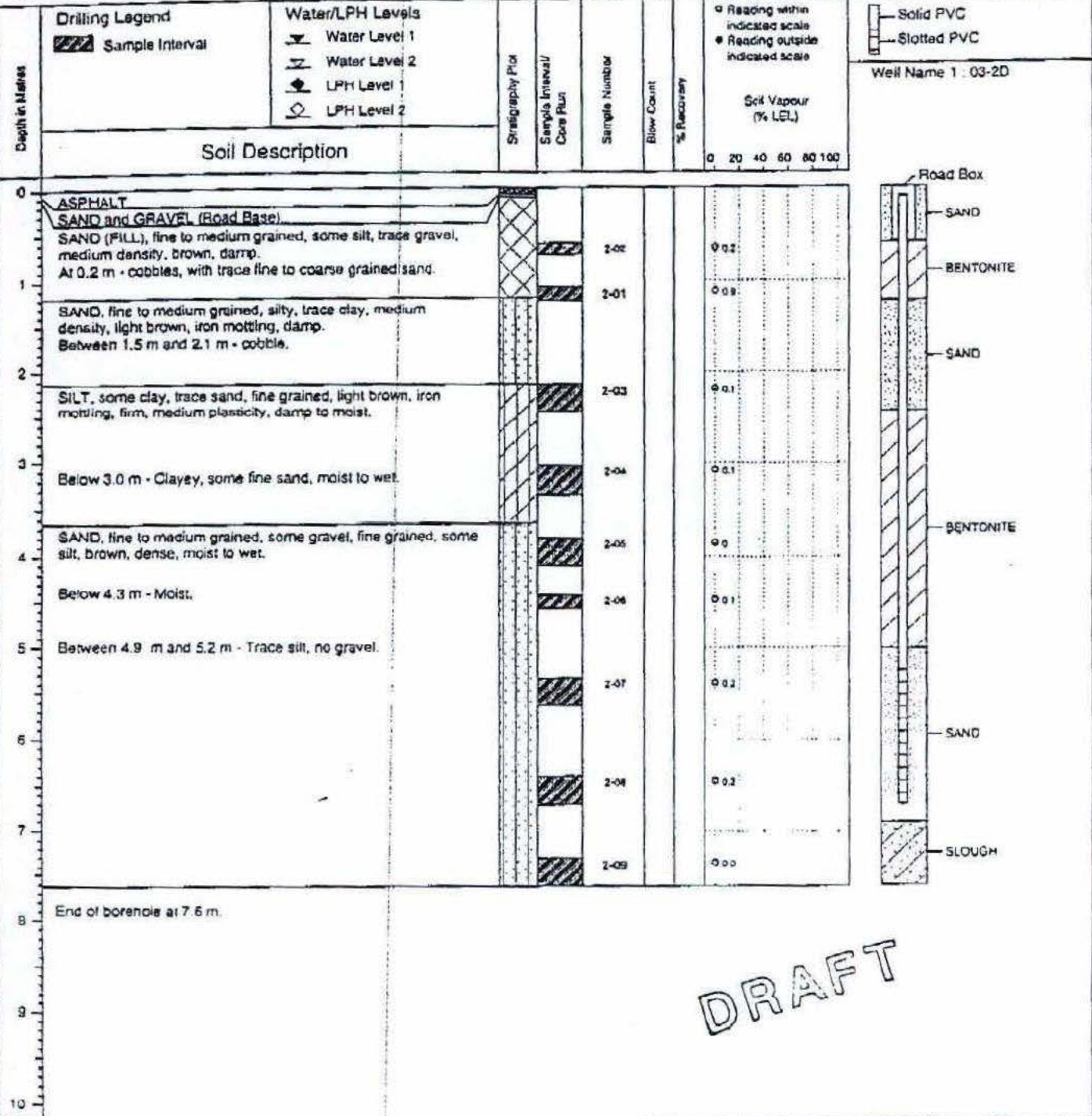
Location :
49th and Oak, Vancouver, BC

(Page 1 of 1)

Drilling Contractor: Uniwide Drilling Co. Ltd.
Drilling Method : Solid Stem Auger/Hollow Stem Auger
Borehole Dia. (m) : 0.20
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Ground Surf Elev. (m) : 100.116
Top of Casing Elev. (m) : 100.021

Project Number : V031002
Borehole Logged By: DLC/SR
Date Drilled : 2003 03 04
Log Typed By : NFS



DRAFT

Notes:
Bolder sample denotes sample analyzed

Print Date : 2003 04 22, Data Updated : 2003 04 22



Client:
Imperial Oil Limited

Borehole No. : 03-2S

Location:
49th and Oak, Vancouver, BC

(Page 1 of 1)

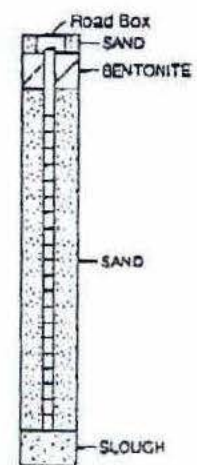
Drilling Contractor: Uniwide Drilling Co. Ltd.
Drilling Method: Solid Stem Auger/Hollow Stem Auger
Borehole Dia. (m): 0.20
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Ground Surf Elev. (m) : 100.097
Top of Casing Elev. (m) : 99.992

Project Number : V031002
Borehole Logged By : DLC/SR
Date Drilled : 2003 03 04
Log Typed By : NFS

Depth in Meters	Drilling Legend	Water/LPH Levels	Stratigraphy Plot	Sample Interval/ Core Run	Sample Number	Blow Count	% Recovery	○ Reading within indicated scale ● Reading outside indicated scale Soil Vapour (% LEL) 0 20 40 60 80 100	— Solid PVC — Slotted PVC
	Soil Description								Well Name 1: 03-2S

0	ASPHALT							
0.2	SAND and GRAVEL (Road Base) SAND (FILL), fine to medium grained, some silt, trace gravel, medium density, brown, moist. At 0.2 m - cobbles, trace sand, fine to coarse grained.							
1.5	SAND, fine to medium grained, silty, trace clay, medium density, light brown, iron mottling, damp. Between 1.5 m and 2.1 m - cobble.							
2.1	SILT, some clay, trace sand, fine grained, light brown, iron mottling, firm, medium plasticity, damp to moist.							
3.4	Below 3.0 m - Clayey, some fine sand, moist to wet.							



End of borehole at 3.4 m.






DRAFT

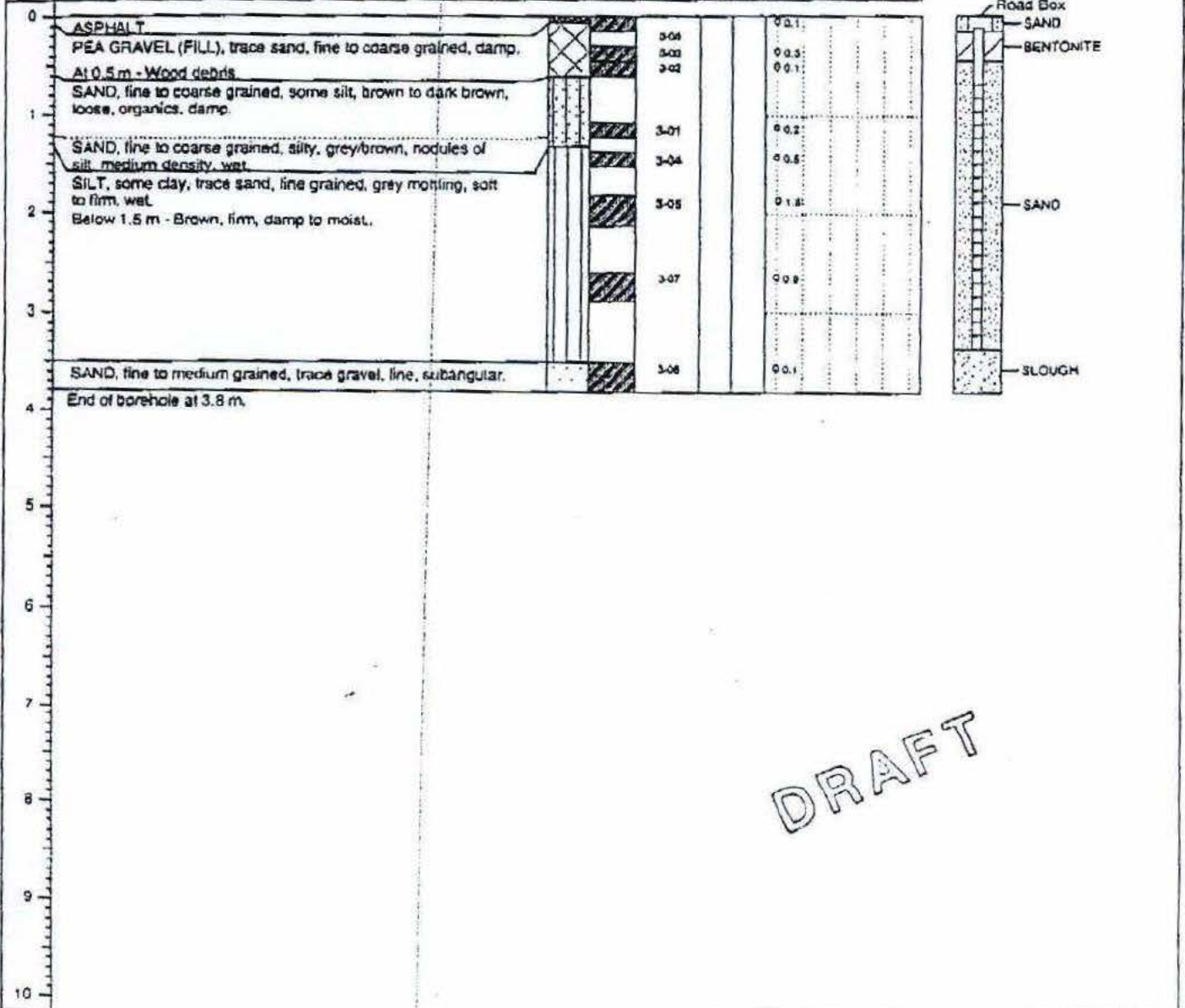
Notes:
Bolted sample denotes sample analyzed

Print Date 2003 04 22, Data Updated 2000 04 22

	Client: Imperial Oil Limited	Borehole No. : 03-3
	Location: 49th and Oak, Vancouver, BC	(Page 1 of 1)

Drilling Contractor: Unwide Drilling Co. Ltd. Drilling Method : Solid Stem Auger/Hollow Stem Auger Borehole Dia. (m) : 0.20 Pipe/Slotted Pipe Dia. (m): 0.05, 0.05	Ground Surf Elev. (m) : 99.874 Top of Casing Elev. (m) : 99.767	Project Number : V031002 Borehole Logged By : DLC/SR Date Drilled : 2003 03 04 Log Typed By : NFS
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Drilling Legend  Sample Interval	Water/LPH Levels  Water Level 1  Water Level 2  LPH Level 1  LPH Level 2	Depth in Meters Soil Description	Stratigraphy Pick Sample Interval/ Core Run Sample Number Blow Count % Recovery	Reading within indicated scale Reading outside indicated scale Soil Vapour (% LEL) 0 20 40 60 80 100	Solid PVC Slotted PVC Well Name 1 : 03-3
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DRAFT

Notes:
 Boided sample denotes sample analyzed

Print Date: 2003 04 22, Data Updated: 2003 04 22



Client :
Imperial Oil Limited

Borehole No. : 03-4

Location :
49th and Oak, Vancouver, BC

(Page 1 of 1)

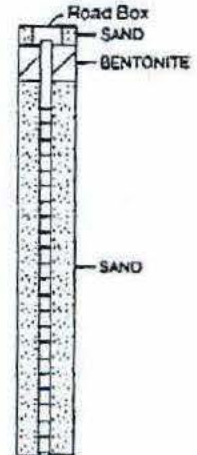
Drilling Contractor: Unkwide Drilling Co. Ltd.
Drilling Method : Solid Stem Auger/Hollow Stem Auger
Borehole Dia. (m) : 0.20
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Ground Surf Elev. (m) : 99.722
Top of Casing Elev. (m) : 99.614

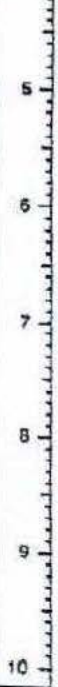
Project Number : V031002
Borehole Logged By : DLC/SR
Date Drilled : 2003 03 04
Log Typed By : NFS

Depth in Meters	Drilling Legend ▨ Sample Interval	Water/LPH Levels ▽ Water Level 1 ≡ Water Level 2 ⬇ LPH Level 1 ⬇ LPH Level 2	Stratigraphy Plus Sample Interval/ Core Run	Sample Number	Blow Count	% Recovery	<input type="checkbox"/> Reading within indicated scale <input checked="" type="checkbox"/> Reading outside indicated scale Soil Vapour (% LEL) 0 20 40 60 80 100	— Solid PVC — Slotted PVC
	Soil Description							Well Name 1 : 03-4

0	ASPHALT						
	SAND (FILL), fine to coarse grained, some silt, trace gravel, fine, sub-angular, light brown, moist.			4-03		0.03	
	SAND (FILL), fine to coarse grained, silty, some cobbles, trace gravel, grey/brown, moist.			4-02		0.14	
1	SAND, silty, fine to medium grained, grey/brown, damp.			4-01		0.05	
	SILT, clayey, trace sand, fine grained, grey, firm, medium plasticity, moist. Below 1.5 m - Sandy, hydrocarbon-like sheen.			4-04		0.03	
2	SAND, fine to medium grained, silty, trace clay, trace gravel, fine, sub-angular to sub-rounded, dense, brown, wet. Between 2.1 m to 3.0 m - Partings of gray silt/clay. Below 2.4 m - Fine sand, some silt.			4-06		0.03	
3	Below 3.0 m - Grey, moist.			4-05		0.11	
				4-07		0.05	



End of borehole at 3.7 m.

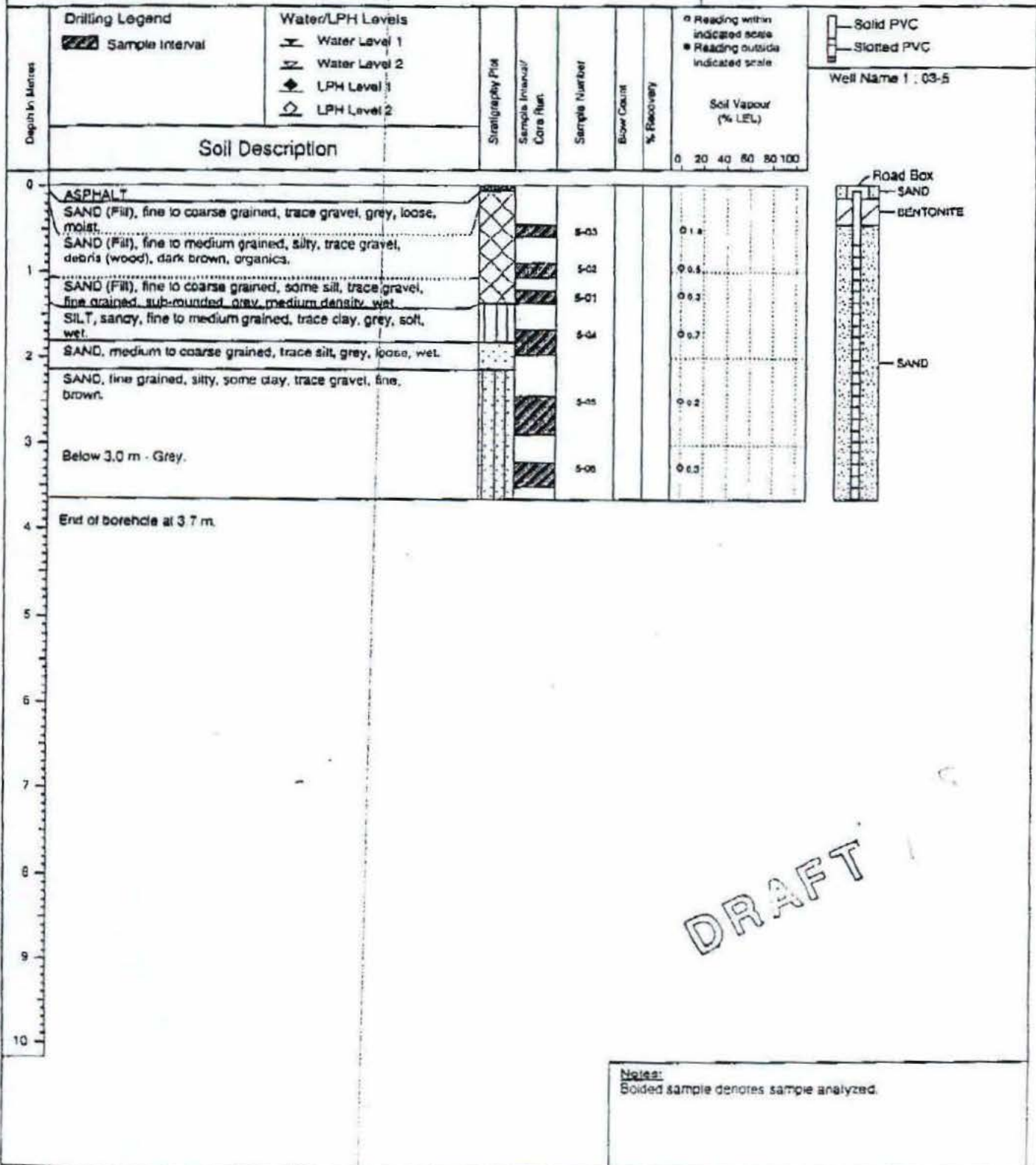


DRAFT


Notes:
Bolted sample denotes sample analyzed

	Client : Imperial Oil Limited	Borehole No. : 03-5
	Location : 49th and Oak, Vancouver, BC	(Page 1 of 1)








Drilling Contractor: Uniweld Drilling Co. Ltd. Drilling Method : Solid Stem Auger/Hollow Stem Auger Borehole Dia. (m) : 0.20 Pipe/Slotted Pipe Dia. (m): 0.05, 0.05	Ground Surf Elev. (m) : 99.482 Top of Casing Elev. (m) : 99.42	Project Number : V031002 Borehole Logged By : DLC/SR Date Drilled : 2003 03 04 Log Typed By : NFS
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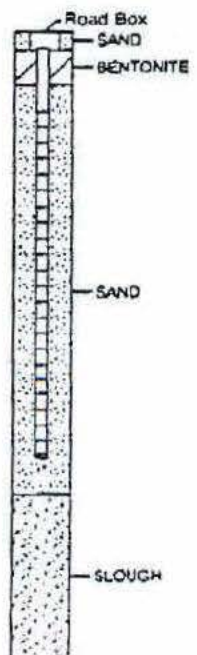
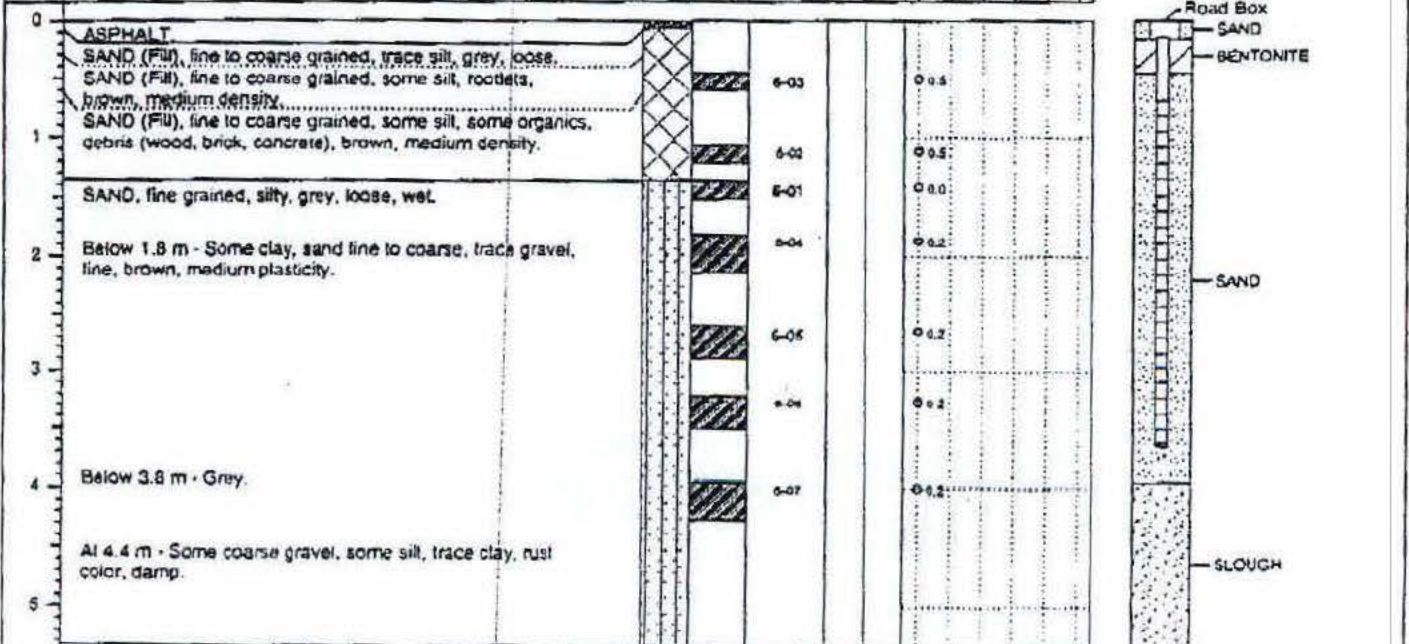


Print Date 2003 04 22, Data Uploaded 2003 04 22

 FOCUSED ON SOLUTIONS	Client : Imperial Oil Limited	Borehole No. : 03-6
	Location : 49th and Oak, Vancouver, BC	(Page 1 of 1)

Drilling Contractor: Unwide Drilling Co. Ltd. Drilling Method : Solid Stem Auger/Hollow Stem Auger Borehole Dia. (m) : 0.20 Pipe/Slotted Pipe Dia. (m): 0.05, 0.05	Ground Surf Elev. (m) : 99.771 Top of Casing Elev. (m) : 99.645	Project Number : V031002 Borehole Logged By : DLC/SA Date Drilled : 2003 03 05 Log Typed By : NFS
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Drilling Legend  Sample Interval	Water/LPH Levels  Water Level 1  Water Level 2  LPH Level 1  LPH Level 2	Reading within indicated scale Reading outside indicated scale	Soil Vapour (% LEL) 0 20 40 60 80 100	Well Name 1 : 03-6  Solid PVC  Slotted PVC
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Notes:
 Bolded sample denotes sample analyzed.

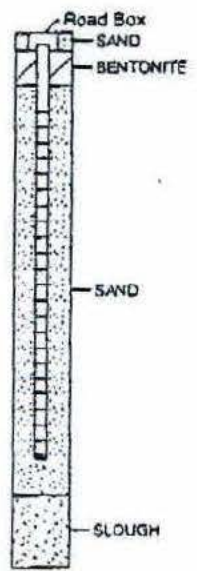
Print Date: 2003 04 22, Date Updated: 2003 04 22

	Client : Imperial Oil Limited	Borehole No. : 03-7
	Location : 49th and Oak, Vancouver, BC	(Page 1 of 1)

Drilling Contractor: Uniwide Drilling Co. Ltd. Drilling Method : Solid Stem Auger/Hollow Stem Auger Borehole Dia. (m) : 0.20 Pipe/Stored Pipe Dia. (m): 0.05, 0.05	Ground Surf Elev. (m) : 99.287 Top of Casing Elev. (m) : 99.188	Project Number : V031002 Borehole Logged By: DLC/SR Date Drilled : 2003 03 04 Log Typed By : NFS
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Drilling Legend  Sample Interval	Water/LPH Levels  Water Level 1  Water Level 2  LPH Level 1  LPH Level 2	Stratigraphy Plot Sample Interval Core Run Sample Number Blow Count % Recovery	◻ Reading within indicated scale ● Reading outside indicated scale Soil Vapour (% LEL) 0 20 40 60 80 100	◻ Solid PVC ◻ Slotted PVC Well Name 1 03-7
-----------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------	------------------------------------------------------







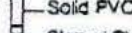
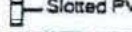





Depth in Metres	Soil Description	Stratigraphy Plot	Sample Interval	Core Run	Sample Number	Blow Count	% Recovery	Soil Vapour (% LEL)
0	ASPHALT							
	SAND (Fill), trace gravel, grey/brown, loose, moist.							
	SAND (Fill), some organics, debris (wood), brown, loose, moist.				7-03			0.0
1	SAND (Fill), some silt, trace gravel, grey/brown, loose, moist.				7-02			0.0
	SAND, fine to medium grained, silty, some gravel, grey, loose, wet.				7-01			0.5
2	Below 1.5 m - Trace gravel, fine to coarse grained, subangular, brown, dense, moist to wet.				7-04			0.4
	Below 2.1 m - Moist, fine gravel.							
3	Below 3.0 m - Some silt, some clay, fine grained sand, reddish brown, moist to wet.				7-05			0.7
	Below 3.7 m - Silty, some clay.				7-06			0.2
4	Below 4.3 m - Moist to wet.				7-07			0.2

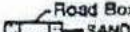






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Notes:
 Bolded sample denotes sample analyzed

Print Date: 2003 04 22, Date Updated: 2003 04 22

		Client : Imperial Oil Limited	Borehole No. : 03-8	
		Location : 49th and Oak, Vancouver, BC	(Page 1 of 1)	
Drilling Contractor: Uniwide Drilling Co. Ltd. Drilling Method : Solid Stem Auger/Hollow Stem Auger Borehole Dia. (m) : 0.15 Pipe/Slotted Pipe Dia. (m): 0.05, 0.05		Ground Surf Elev. (m) : 100.075 Top of Casing Elev. (m) : 99.966	Project Number : V031002 Borehole Logged By : OLC/SR Date Drilled : 2003 03 04 Log Typed By : NFS	
Depth in Metres 0 1 2 3 4 5 6 7 8 9 10	Drilling Legend  Sample Interval	Water/LPH Levels  Water Level 1  Water Level 2  LPH Level 1  LPH Level 2	Stratigraphy Plot Sample Interval/ Core Run Sample Number Blow Count % Recovery	Reading within indicated scale Reading outside indicated scale Soil Vapour (% LEL) 0 20 40 60 80 100
	Soil Description		Well Name : 03-8  Solid PVC  Slotted PVC	
ASPHALT SAND (FILL), fine to coarse grained, trace gravel, fine, subangular, some silt, brown, medium dense, moist			S-01	0.1
PEA GRAVEL (FILL), wgt.			S-02	0.5
SILT, clayey, trace sand, fine grained, brown, firm, medium plasticity, moist			S-03	0
End of borehole at 3.7 m.			S-04	0
End of borehole at 3.7 m.			S-05	0.2

 Road Box
 SAND
 BENTONITE
 SAND
 SLOUGH

DRAFT

Notes:
 Bolded sample denotes sample analyzed.

Print Date: 2003 04 23, Data Updated: 2003 04 27



Client:
Imperial Oil Limited

Borehole No. : 03-9

Location:
49th and Oak, Vancouver, BC

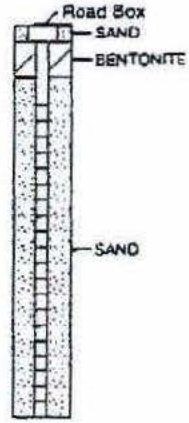
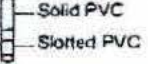
(Page 1 of 1)

Drilling Contractor: Uniwide Drilling Co. Ltd.
Drilling Method : Solid Stem Auger/Hollow Stem Auger
Borehole Dia. (m) : 0.20
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Ground Surf Elev. (m) : 99.642
Top of Casing Elev. (m) : 99.5

Project Number : V031002
Borehole Logged By: DLC/SR
Date Drilled : 2003 03 04
Log Typed By : NFS


Depth in Metres	Drilling Legend ▨ Sample Interval	Water/LPH Levels ▽ Water Level 1 ▽ Water Level 2 ◆ LPH Level 1 ◇ LPH Level 2	Stratigraphy Plot	Sample Interval/ Core Run	Sample Number	Blow Count	% Recovery	Soil Vapour (% LEL)		Well Name 1 : 03-9
								○ Reading within indicated scale	● Reading outside indicated scale	
0	ASPHALT									
0.1	SAND (Fill) some gravel, loose				9-03			0.1		
0.2	SAND (Fill), fine to coarse grained, trace silt, brown/grey, medium density, damp.				9-02 9-01			0.1 0.1		
1.5	SAND, fine to medium, some silt, trace clay, grey, medium density, wet.				9-04			0.2		
2.8	SILT, some clay, trace sand, fine grained, occasional coarse grained, trace gravel, fine, medium plasticity, stiff, brown/grey, iron mottling. Between 2.8 m to 2.9 m - Some sand.				9-05 9-06*			0.5		
3.4	End of borehole at 3.4 m.									








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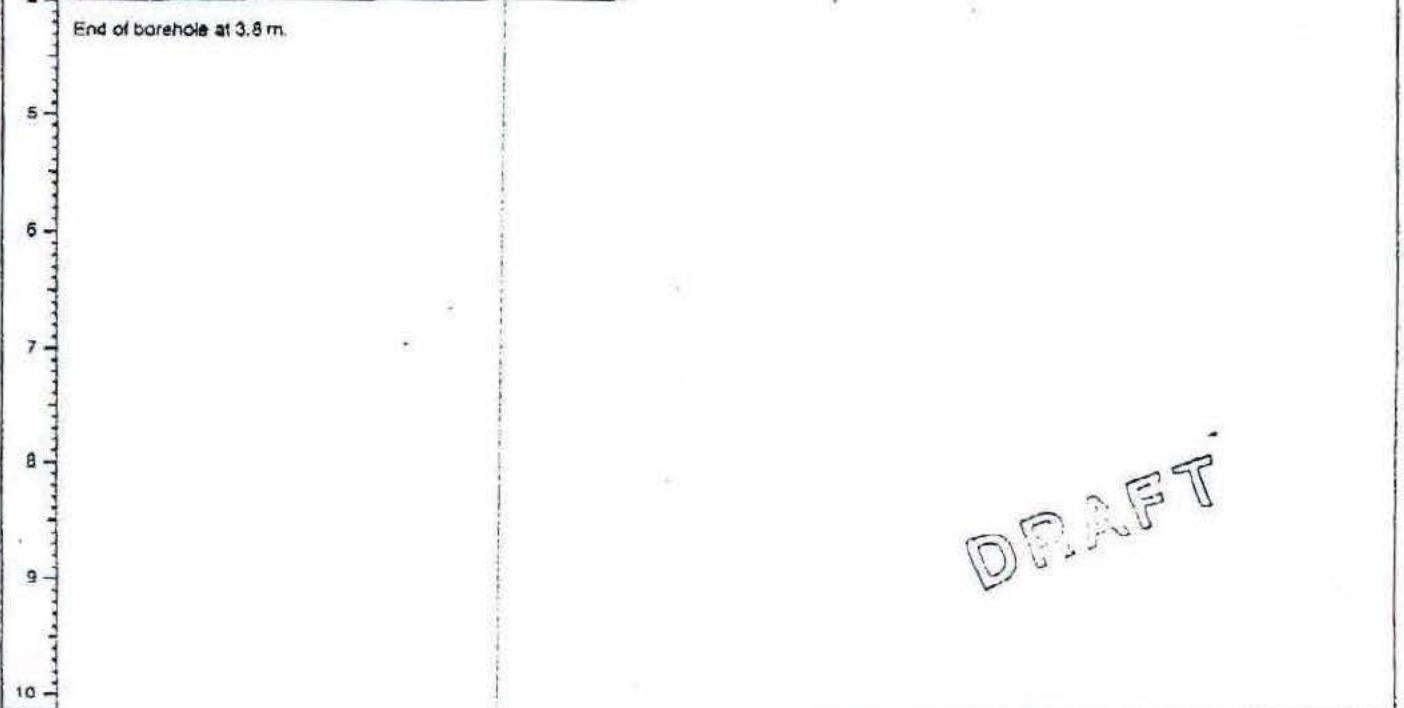
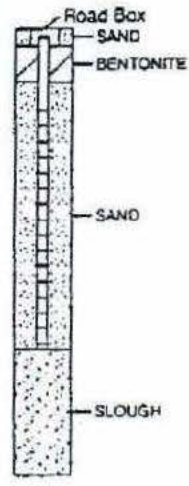
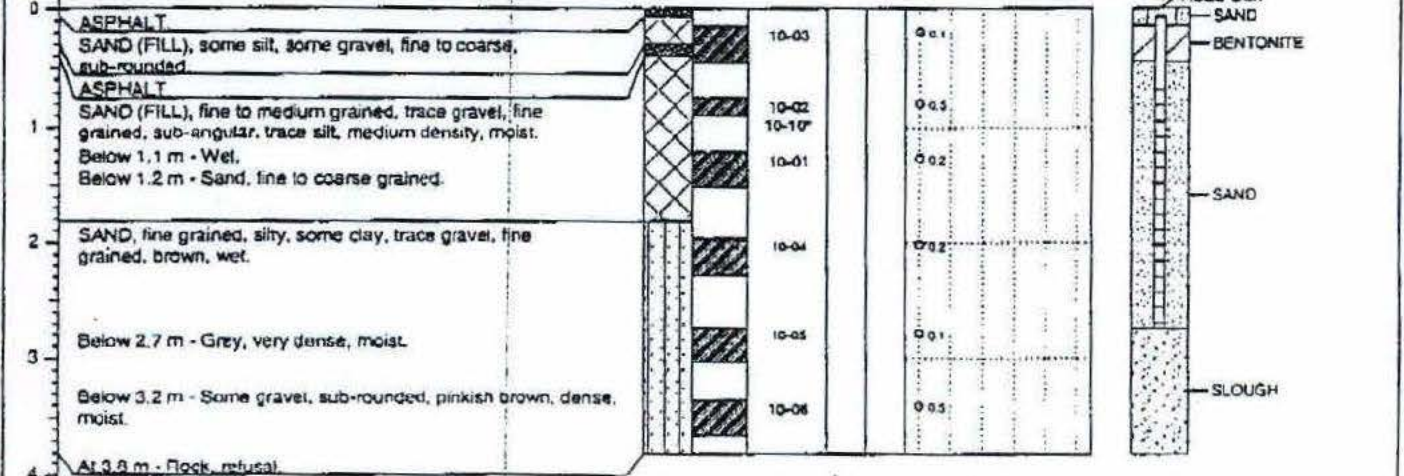
Notes:
Bolted sample denotes sample analyzed
* Sample 9-06 is a blind field duplicate of 9-05

Print Date: 2003 04 22, Date Updated: 2003 04 22

 FOCUS ON SOLUTIONS	Client : Imperial Oil Limited	Borehole No. : 03-10
	Location : 49th and Oak, Vancouver, BC	(Page 1 of 1)

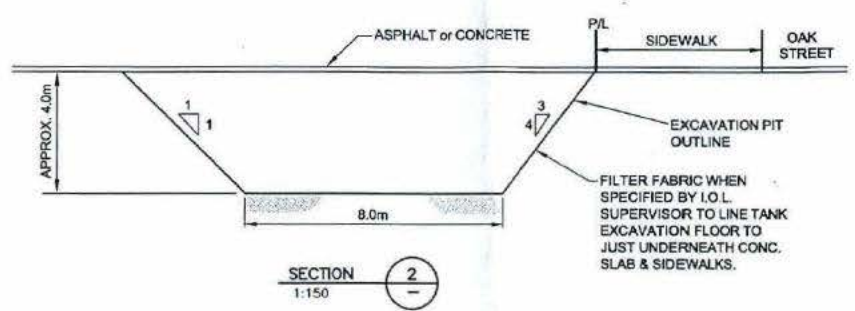
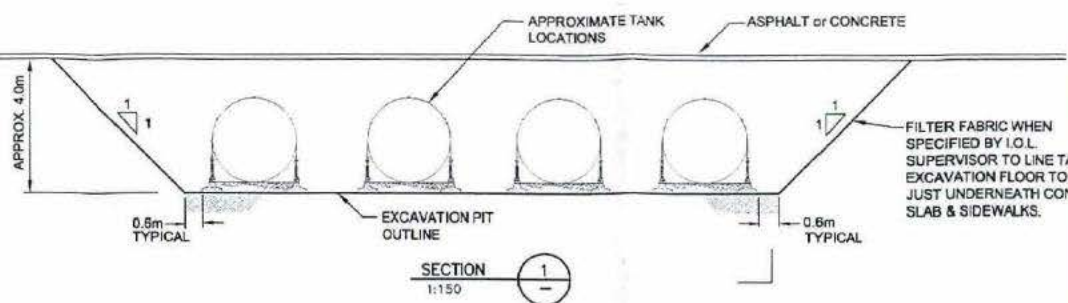
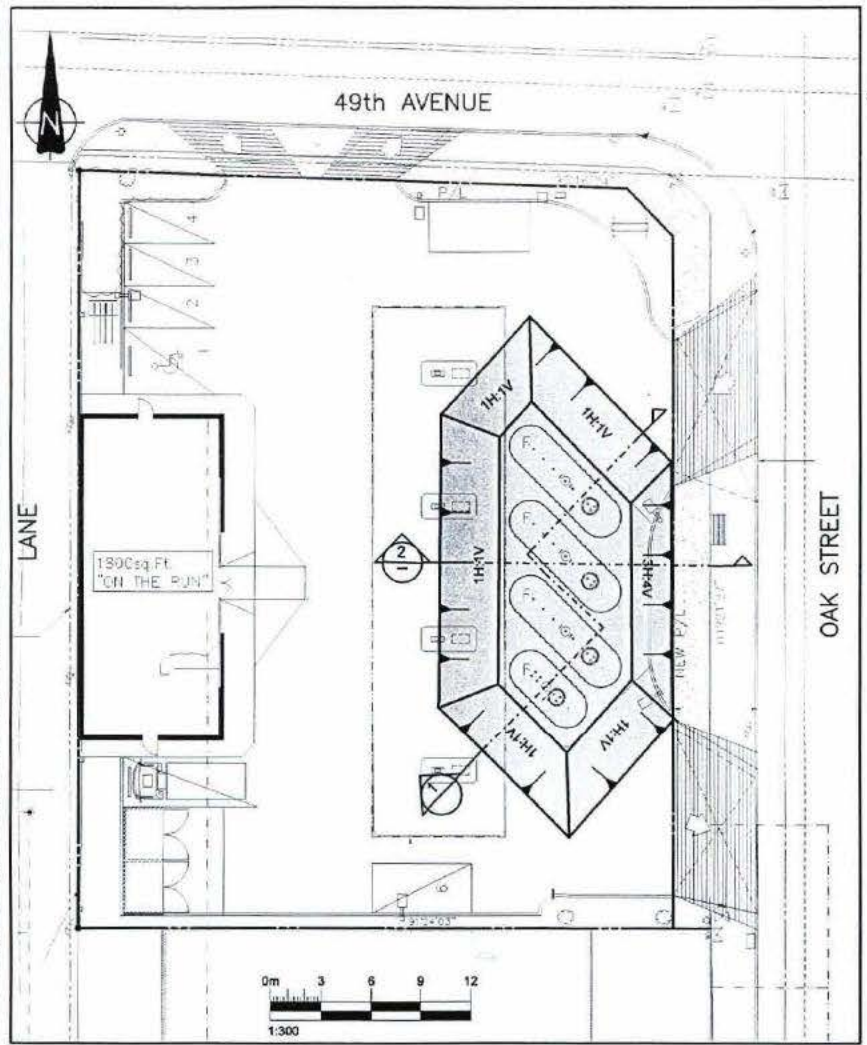
Drilling Contractor: Uniwide Drilling Co. Ltd. Drilling Method : Solid Stem Auger/Hollow Stem Auger Borehole Dia. (m) : 0.20 Pipe/Slotted Pipe Dia. (m) : 0.05, 0.05	Ground Surf Elev. (m) : 99.812 Top of Casing Elev. (m) : 99.757	Project Number : V031002 Borehole Logged By : DLC/SR Date Drilled : 2003 03 05 Log Typed By : NFS
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Drilling Legend  Sample Interval	Water/LPH Levels  Water Level 1  Water Level 2  LPH Level 1  LPH Level 2	Stratigraphy Plot Sample Interval Core Run Sample Number Blow Count % Recovery	○ Reading within indicated scale ● Reading outside indicated scale Soil Vapour (% LEL) 0 20 40 60 80 100	— Solid PVC — Slotted PVC Well Name 1 : 03-10
Soil Description				



Print Date 2003 04 22, Date Updated 2003 04 22

Notes:
 Bolded sample denotes sample analyzed.
 * Sample 10-10 is a blind field duplicate of 10-02



NOTES:

1. THIS DRAWING SHALL BE USED FOR CONSTRUCTION OF TEMPORARY TANK EXCAVATION ONLY.
2. TEMPORARY EXCAVATION DESIGN FOR INSTALLATION OF FUEL TANKS PREPARED BY AMEC EARTH & ENVIRONMENTAL. TEL (604) 294-3811. FAX, (604) 294-4664. THE DESIGN IS BASED ON AMEC'S REPORT DATED 7 MAY 2004.
3. THE SHOWN EXCAVATION SLOPES ARE PRELIMINARY AND SHALL BE REVIEWED BY AMEC PRIOR TO WORKER ENTRY.
4. SIGNIFICANT SEEPAGE OR SURCHARGE LOADS NEAR THE CREST OF THE EXCAVATIONS MAY REQUIRE FLATTER TEMPORARY SLOPES. STEEPER SLOPES MAY BE FEASIBLE SUBJECT TO REVIEW BY THE GEOTECHNICAL ENGINEER. ALL EXCAVATION WORK SHOULD BE IN CONFORMANCE WITH THE WCB OCCUPATIONAL HEALTH AND SAFETY REGULATION.
5. THE DIMENSIONS OF THE EXCAVATION BOTTOM WILL INCLUDE AN ALLOWANCE FOR 0.6m WORKSPACE BETWEEN THE EXCAVATION TOE AND THE DEADMAN ANCHORS.



NOTE: BASEPLAN PROVIDED BY BEESLEY ENGINEERING, DATED 03/05/2004, DRAWING NUMBER 99A0577-02P-01-000-05.



AMEC Earth & Environmental Limited
 2227 Douglas Road
 Burnaby, B.C.
 V5C 5A9
 Tel. 294-3811
 Fax. 294-4664

DWN BY:	SM
CHKD BY:	JR
APP:	CB HK
SCALE:	AS SHOWN

**49th AND OAK
 VANCOUVER, B.C.
 FUEL STORAGE TANK EXCAVATION**

Client
IMPERIAL OIL LIMITED

DATE:	MAY 2004
PROJECT NO.:	VG07488
REV. NO.:	
FIGURE No.:	FIGURE 1

Plan Review

Date: Sept 17/07
 Address: 6525 Oak Premises Name: Esso/Tim Hortons
 Bldg. Permit #: BU 429067 No. of Seats: 0 (if applicable)
 EHO/District: V. Jorgensen Premises Contact/Phone: _____
 Discussed with Applicant: Yes No If Yes, applicants name/phone: _____

The Health Department has reviewed the plans for:

- Construction of: _____
- Alteration to/Installation of: include Tim Hortons component
- Liquor License Application: _____

Plans have been reviewed for compliance with the Health Regulations and approved subject to the following conditions:

- Final Health Department approval required prior to opening for business
- Food Safety Plan required prior to opening
- Food Premises Operating Permit Fee must be paid in full before opening
- Food Safe Level 1 course successfully completed by appropriate staff members before opening (new premises), or within 90 days (existing premises)
- Floors, walls and ceiling of all food preparation, storage and display areas to be smooth and washable
- Floors/walls/counters to be smooth and washable (carpets are not acceptable)
- plans show hand basins in front service area and back prep area
- 3 comp. sinks in prep area
- disposable dishware, only
- _____
- _____
- _____
- _____
- _____

COPY OF APPROVED PLANS MUST BE KEPT ON PREMISES DURING CONSTRUCTION

Plans not approved – Reasons:

- Require detailed floor/equipment plans of food preparation/storage areas
- _____
- _____
- _____
- _____
- _____
- _____

BC Jorgensen
 Senior Environmental Health Officer

Vancouver Coastal Health – Environmental Health Division
 2675 Yukon Street, Vancouver, B.C. 604-873-7566



SNC-LAVALIN
Environment

SNC-Lavalin Inc.,
 Environment Division
 Fax: (604) 515-5150
 8648 Commerce Court
 Burnaby, British Columbia
 Canada V5A 4N6

Telephone: (604) 515-5151

June 29, 2015

Project: 628625

City of Vancouver
 Fire Prevention Office
 Suite 306, 456 West Broadway
 Vancouver, BC
 V5Y 1R3

ATTENTION: City of Vancouver Fire Prevention Office

REFERENCE: Request for Record Search (Comfort Letter)

SNC-Lavalin Inc. (SNC-Lavalin), acting under the directive of Imperial Oil Ltd., requests a record search of the properties described below.

Site Locations:

Not responsive



6525 OAK ST, VANCOUVER BC, V6P 3Z3 / 07/27/15 M.M.

Not responsive



Not responsive



VANCOUVER FIRE & RESCUE SERVICES FIRE PREVENTION DIVISION	
TF	FH
	FPI: J. LAWROCK
	LETTER # 1
ENTERED BY: AUG. 4/15	
Receipt # R15479	

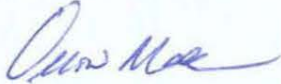
RECEIVED JUL 22 2015

We request that your files be reviewed for the following information; please provide details (with copies if possible) of the following:

- permits and any records related to, underground or above ground storage tanks;
- records of fires;
- records of inspections and results;
- any other information which may indicate an environmental concern (i.e., spills, the storage of flammable liquid products or wastes);
- details of any breach (or potential breach) of any law, code, rule, regulation, order notice, directive, license, authorization, consent, approval or similar concerning pollution or protection of the environment by the occupants of this site;
- any correspondence with environmental regulatory authorities; and
- Details of any complaint received regarding noise, smells, emissions, or other environmental matters.

We understand that searches are made at a cost of \$100 including tax per property. A cheque for \$1,200 (12 x \$100) is attached to this letter. We expect to receive a response within two weeks; however, should this not be possible please contact us. If you have any questions or comments regarding this request, please do not hesitate to contact the undersigned at 604-515-5151. Thank you for your assistance.

Orton Mak



cc. Janet Jeffery
cc. Jennifer Piquard



July 28, 2015

SNC-Lavalin Inc.
8648 Commerce Court
Burnaby BC, V5A 4N6

Dear Sir/Madam:

Regarding:

Not responsive

6525 Oak Street

Not responsive

A search of our records (or inspection if required), was conducted by a Fire Inspector at the above-mentioned address on July 27, 2015. There were no violations noted at that time.

Neither the City of Vancouver, nor the party signing below warrants or guarantees the accuracy or completeness of the above information. The information is provided on the following conditions:

- (a) that neither the City nor the party signing below shall be liable for any damage or expense should for any reason including negligence on the part of the City or the party signing below, the information be inaccurate, incomplete or misleading; and
- (b) that should any or all of the information be inaccurate, incomplete or misleading, for any reason including negligence on the part of the City or the party signing below, the City shall, as against any person or corporation who may rely on the contents of this letter, be able to assert and enforce its full legal rights as if this letter had not been signed and as if any and all persons and corporations who may rely on the contents of this letter had not relied on the contents of this letter.



****Please ensure that any future requests submitted to our office include contact name(s) and number(s) necessary for the Fire Inspector to gain access to the building if required. This can include the building owner, manager, and caretaker.**

If you require any additional written documentation, following a re-inspection with respect to any outstanding violations, there will be an additional fee charged of \$100.00 (plus GST).

If you have any further questions, please contact our office.

Sincerely,

Jocelan Bayler
Fire Prevention Division
604.873.7035

CITY OF VANCOUVER

PERMITS & LICENSES DEPARTMENT

City Hall, East Wing
453 West 12th Avenue
Vancouver, British Columbia
Canada V5Y 1V4
Phone (604) 873-7611
FAX (604) 873-7100



DIRECTOR:
J.A. Perri

DEPUTY DIRECTOR:
R.L. Maki, PEng
Permits & Inspection Division

1996 March 11

PLEASE REFER TO:
Miss K. Morgan
at 873-7760

Benedict Lam & Company
Barristers, Solicitors & Notaries
#506 - 88 East Pender Street
Vancouver, BC
V6A 1T1

Attention: Brian P. Kaminski

Dear Sirs:

Re: 6525 Oak Street
Lot C/D of 17 of D, Block 12 and 17A, District Lot 526, Plan 7473
Your File No. COM196/96

On January 25, 1996, your request for a file research letter was received by this department. Receipt No. 196136 for the fee of \$155.00 is enclosed.

Requests for Fire Department outstanding orders should be directed to the Fire Prevention Division at #201 - 456 West Broadway, Vancouver, B.C. V5Y 1R3. The fee for this service is \$35.00. For further information you may contact their office at 873-7595.

The property legally described above is shown as of this date to be located in the C-1 (Commercial) District.

Development Permit No. DP39886, issued November 8, 1966 pursuant to the Zoning and Development By-law, permitted the construction of a gasoline filling station.

Building Permit No. BP36145 was issued in conjunction with the above Development Permit.

Development Permit No. DP201827, issued November 21, 1984 pursuant to the Zoning and Development By-law, permitted the construction of a 26' x 52' canopy, three pump islands and exterior alterations.

Building Permit No. BP202587, issued in conjunction with the above Development Permit, received final inspection approval on July 4, 1985.

Occupancy Permit No. OP9216 was issued July 16, 1985 for a gasoline station.

For License information we suggest you call 873-7568/9.

The last inspection of these premises occurred on January 10, 1995 by the District Building Inspector.

As of this date, there are no outstanding orders or notices filed by this department with regard to the premises described above under the Zoning and Development, Building, Plumbing, Electrical, Standards of Maintenance, Untidy, Sign and Parking By-laws or the Provincial Gas and Safety Act Regulations.

.../2

.../2

For information on whether this property is affected by the provisions of the Zoning and Development By-law regarding established building lines and landscape setbacks, please contact the Planning Department at 873-7613.

We have searched the files in the Environmental Protection Branch and have found the following information with respect to the Property:

there are records on file including data from an upgrading and environmental clean-up done in 1993.

per S. Robinson

We do not warrant that the above information is complete or accurate nor that we have assessed the extent or implications of the problem.

Our search was of files held in this Branch only. Please refer to other City Departments (including City Archives) for any information they might hold. Further, in that matters of the environment and contamination are subject to Provincial and Federal authority, we refer you also to those authorities for such further information, if any, as they might possess.

For information on requirements for sewer separation please contact Mr. Bob Postlethwaite or Mr. Peter Schirr at 873-7576 or 873-7889 respectively.

Neither the City of Vancouver, nor the party signing below warrants or guarantees the accuracy or completeness of the above information. The information is provided on the following conditions:

- (a) that neither the City nor the party signing below shall be liable for any damage or expense should, for any reason including negligence on the part of the City or the party signing below, the information be inaccurate, incomplete or misleading; and
- (b) that should any or all of the information be inaccurate, incomplete or misleading, for any reason including negligence on the part of the City or the party signing below, the City shall, as against any person or corporation who may rely on the contents of this letter, be able to assert and enforce its full legal rights as if this letter had not been signed and as if any and all persons and corporations who may rely on the contents of this letter had not relied on the contents of this letter.

I trust this is the information you require.

Yours truly,



K. Morgan for
J.A. Perri
DIRECTOR

KM\mjml

Encl.

City of Vancouver



Fire Department

FIRE PREVENTION DIVISION: #201 - 456 West Broadway, Vancouver, B.C., Canada V5Y 1R3 Tel. (604) 873-7595 Fax (604) 873-7872

February 2, 1996

Benedict Lam & Company
Barristers, Solicitors & Notaries
Suite 506, Marco Polo Building
88 East Pender Street
Vancouver, B.C.
V6A 1T1

Attention: Brian P. Kaminski

Dear Mr. Kaminski:

Rc: 6525 Oak Street, Vancouver, B.C.


A search of our files indicates that there are orders outstanding as of this date. A copy of these orders are attached.

Neither the City of Vancouver, nor the party signing below warrants or guarantees the accuracy or completeness of the above information. The information is provided on the following conditions:

- (a) that neither the City nor the party signing below shall be liable for any damage or expense should, for any reason including negligence on the part of the City or the party signing below, the information be inaccurate, incomplete or misleading; and
- (b) that should any or all of the information be inaccurate, incomplete or misleading, for any reason including negligence on the part of the City or the party signing below, the City shall, as against any person or corporation who may rely on the contents of this letter, be able to assert and enforce its full legal rights as if this letter had not been signed and as if any and all persons and corporations who may rely on the contents of this letter had not relied on the contents of this letter.

I trust this is the information you require.

Yours truly,


Fire Prevention Inspector

L4

Smoke Alarms & Fire Sprinklers...
DON'T STAY HOME WITHOUT THEM!



COMMUNITY SERVICES
Licences and Inspections
By-Law Administration

Date: June 22, 2015

File Research
Licences and Inspections
453 West 12th Avenue
Vancouver, BC V5Y 1V4

INTERNAL USE ONLY	
Date Received:	<u> </u>
Receipt Number:	<u>784016</u>
MI Number:	<u>456758</u>
Amount Received:	<u>\$202</u>
Initials:	<u>GM</u>

RE: 6525 OAK ST, VANCOUVER BC, V6P 3Z3
(Property Address)

- I am requesting a file research letter on the above property to determine whether there are any outstanding infractions. This letter will include the zoning, approved use, license information, etc.
- I am requesting Environmental Information only.
- Specific information requested:

APPLICANT :

Name / Address : Orton Mak
8648 Commerce Crt, Burnaby, BC

Postal Code : V5A 4N6 Phone : 604-515-5151 ext. 227

E-mail Address: orton.mak@snclavalin.com

When ready: Pick up? E-mail? x Mail? x



CITY OF VANCOUVER
COMMUNITY SERVICES
Licences and Inspections Department
Co-ordinated By-law Enforcement Division

PLEASE REFER TO:
Miss H. Dilasser
at 604-873-7541

March 26, 2003

Morrow Environmental Consultants Inc.
5151 Canada Way
Burnaby, BC
V5E 3N1

*see file research
of Mar 11/96.*

Attention: Deanna Cottrell

Dear Madam:

Re: 6525 Oak Street
Lot C/D of 17 of D, Block 12 & 17A, District Lot 526, Plan 7473
Your File No. V031002

On February 25, 2003, your request for a file research letter and an environmental search was received by this department. Receipt No. 319724 for the fee of \$363.00 is enclosed.

For your future reference, effective March 1, 2003, the fees for file research requests increased to \$134.00 for one and two family dwellings and to \$270.00 for all others.

For Health Department information, it would be necessary to write to the Health Department at #800 - 601 West Broadway, Vancouver, BC, V5Z 4C2. The fee for this service is \$75.00 payable to the Vancouver/Richmond Health Board. For further information please contact Environmental Health at 604-736-2866.

Requests for Fire Department information should be directed to the Fire Prevention Division at #201 - 456 West Broadway, Vancouver, BC, V5Y 1R3. The fee for this service is \$60.00. For further information you may contact their office at 604-873-7595.

The property legally described above is shown as of this date to be located in the C-1 (Commercial) District. For copies of District Schedules, Official Development Plans or CD-1 By-laws, please contact Publication Sales at 604-873-7782.

H/D

This property is located in the Oakridge Langara Neighbourhood Area that requires a Development Cost Levy be applied on new development prior to the issuance of a Building Permit. Exemptions are as follows: alterations to existing buildings where the total square footage is not increased; social housing (subject to meeting certain conditions); buildings containing less than four self-contained residential dwelling units and no other use; and churches exempt from taxation.

Development Permit No. DP39886, issued November 8, 1966 pursuant to the Zoning and Development By-law, permitted the construction of a gasoline filling station.

Building Permit No. BP36145 was issued in conjunction with the above Development Permit.

Development Permit No. DP201827, issued November 21, 1984 pursuant to the Zoning and Development By-law, permitted the construction of a 26' x 52' canopy, three pump islands and exterior alterations.

Building Permit No. BP202587, issued in conjunction with the above Development Permit, received final inspection approval on July 4, 1985.

Occupancy Permit No. OP9216 was issued on July 16, 1985, for this gasoline station.

Further, Building Permit No. BP821144, issued June 11, 1993, for alterations for the excavation and removal of underground tanks and to backfill on this existing site, received final inspection approval on January 10, 1995.

Our files show the approved occupancy of the building is a gasoline station.

The 2003 Business Licenses issued are as follows:

gasoline service station	- \$145.00; and
auto repairs	- \$97.00.

For further License information we suggest you call 604-873-7568.

As of this date, there are no outstanding orders or notices filed by this department with regard to the premises described above under the Zoning and Development, Building (includes plumbing), Electrical, Standards of Maintenance, Untidy, Sign and Parking By-laws or the Provincial Gas Safety Act and Regulations.

There are no established building lines or landscape setbacks affecting this property.

We have searched the files in the Environmental Protection Branch and have found the following information with respect to this property:

1. In 1953, there were 2 underground storage tanks on the site, 2000 and 3000 gallon capacity;
2. A Development Permit was issued on November 8, 1966, for construction of the gasoline filling station;
3. A Building Permit was issued on December 9, 1966, for the demolition of the existing service station and the construction of a new gasoline filling station;
4. A Fire Permit was issued on August 5, 1976, for the installation of 3 underground storage tanks, 5000, 3000 and 2000 gallon capacity and also storage of a 500 gallon waste oil tank;
5. A Fire Permit was issued on August 12, 1981, for the installation of a 5000 gallon underground storage tank;
6. In 1989, there were 4 underground storage tanks (gasoline), 1 underground storage tank for diesel and 1 underground storage tank for waste oil on the site;
7. A Fire Permit was issued for the removal of 3 underground storage tanks and to install 3 underground storage tanks;
8. A Waste Discharge Permit was issued for 30 days from September 2, 1993, for discharge of treated groundwater to the sanitary sewer; and
9. A total of 10 cubic metre of treated groundwater was discharged to the sanitary sewer during the validity of the permit.

per
H. Uyeyama:

We do not warrant that the above information is complete or accurate nor that we have assessed the extent or implications of the problem.

Our search was of files held in this Branch only. Please refer to other City Departments (including City Archives) for any information they might hold. Further, in that matters of the environment and contamination are subject to Provincial and Federal authority, we refer you also to those authorities for such further information, if any, as they might possess.

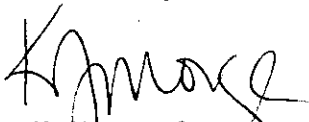
For information on requirements for sewer separation, please contact Mr. Bill Duncan at 604-873-7576.

Neither the City of Vancouver, nor the party signing below warrants or guarantees the accuracy or completeness of the above information. The information is provided on the following conditions:

- (a) that neither the City nor the party signing below shall be liable for any damage or expense should, for any reason including negligence on the part of the City or the party signing below, the information be inaccurate, incomplete or misleading; and
- (b) that should any or all of the information be inaccurate, incomplete or misleading, for any reason including negligence on the part of the City or the party signing below, the City shall, as against any person or corporation who may rely on the contents of this letter, be able to assert and enforce its full legal rights as if this letter had not been signed and as if any and all persons and corporations who may rely on the contents of this letter had not relied on the contents of this letter.

I trust this is the information you require.

Yours truly,



K. Morgan for
City Building Inspector
and Chief Building Official

hd

Encl.



Corporate Head Office:
5151 CANADA WAY
BURNABY, BRITISH COLUMBIA
CANADA V5E 3N1

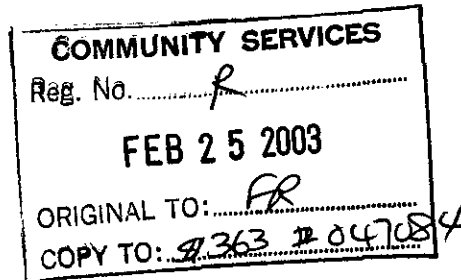
TELEPHONE: 604 515 5151
FACSIMILE: 604 515 5150

WWW.MORROWENV.COM
CORP@MORROWENV.COM

February 18, 2003

Project V031002

File Research
Permits and Licensing Department
City Hall East Wing
2nd Floor, 2675 Yukon St,
VANCOUVER, BC
V5Y 3P9



REFERENCE: Request for Record Search

Morrow Environmental Consultants Inc. (Morrow), acting under the directive of Imperial Oil Limited, requests a record search for the property described below. A map identifying the site location is attached for your reference.

Current Site Occupant: Imperial Oil Service Station

Current Site Owner: Imperial Oil Limited

Site Civic Address: 6525 Oak Street, Vancouver, BC

Site Legal Description: Subdivisions C & D of Lot 17 of Blocks 12 & 17A, District Lot 526, Plan 7473, NWD, Explanatory Plan VAP 20474

We request that you review your files for the following information.

- any air emission or effluent discharge permits (sanitary or storm) which have been issued through your office;
- records of building or demolition permits;
- current and previous zoning for the site;
- any zoning violations on record for the site;
- records of any inspections of the site or buildings on the site;
- records of any building code violations;
- water, sanitary and storm connection to the site, and source of potable water; and
- any other information which may indicate an environmental concern (i.e., flood risk, reportable spills, existing storage tanks, storage of wastes, flammable liquids, etc.).

Corporate Head Office:
Burnaby, British Columbia

Regional Offices:

BRITISH COLUMBIA

Burnaby Kelowna
Victoria Cranbrook
Nanaimo Prince George

ALBERTA

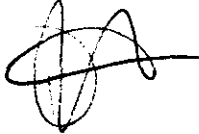
Terrace
Fort St. John
City of Vancouver

MANITOBA

Winnipeg

City Hall East Wing – Page 2 of 2
February 18, 2003
V031002

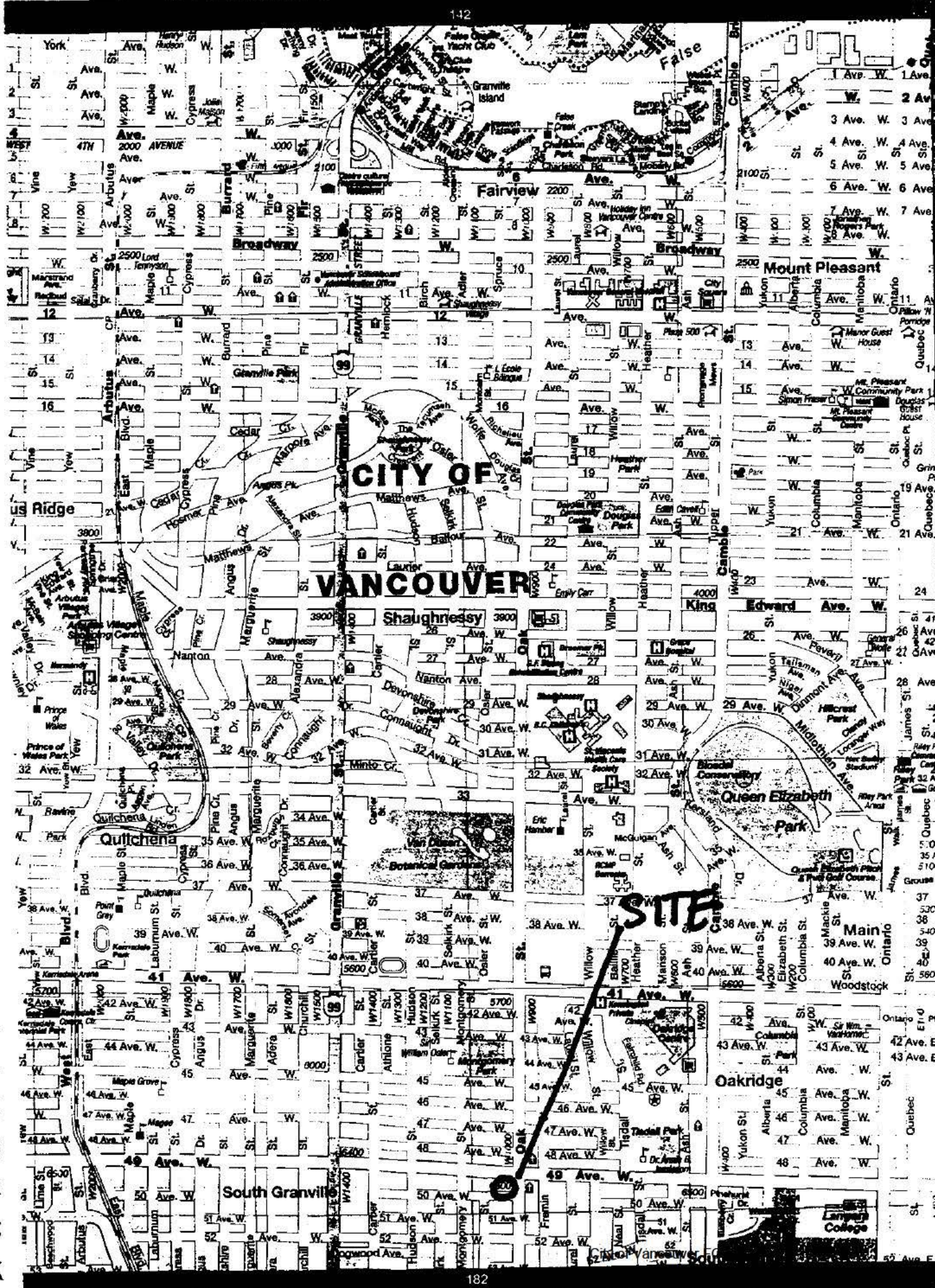
A cheque for \$363 CAD is enclosed, this should cover \$263 for permits and licensing and an additional \$100 for an environmental search. Morrow will expect to receive a response within two weeks, however, should this not be possible please contact us. If you have any questions or comments regarding this request, please do not hesitate to contact the undersigned Ms. Meredith Guest, P.Eng. at 604-515-5151. Thank you for your assistance.



Deanna Cottrell, B.Sc.

MORROW ENVIRONMENTAL CONSULTANTS INC.

APM/tr
T:\V031\031002\218DLCA.DOC
enc.



CITY OF VANCOUVER

SITE

PLEASE REFER TO:
Mr. J. Smith
at 604.871.6289

July 28, 2015

Orton Mak
SCN-Lavalin
8648 Commerce Court
Burnaby, BC V5A 4N6

Dear Sir:

Re: 6525 Oak Street
Lot 1, Block D of 12 & 17A, District Lot 526, Plan BCP9706

On July 10, 2015, your request for an environmental search was received by this department. Receipt No. 784016 for the fee of \$202.00 is enclosed.

The Environmental Contamination Team has found the following information with respect to this property:

- City of Vancouver Waste Discharge Permit issued for the site in October 2004;
- Underground Storage Tank excavation Figure, October 2004;
- External engineering consultant's document titled "Sediment and Erosion Control Measures", October 2004
- City of Vancouver amended Waste Discharge Permit, October 2004;
- Imperial Oil (property owner) memo titled "Notice of Independent Remediation", March, 2005; and
- BC Ministry of Environment letter titled "Notification of Independent Remediation", August 2005.

We do not warrant that the above information is complete or accurate nor that we have assessed the extent or implications of the problem.

Please refer to other City Departments (including City Archives) for any information they might hold. Further, in that matters of the environment and contamination are subject to Provincial and Federal authority, we refer you also to those authorities for such further information, if any, as they might possess.

Neither the City of Vancouver, nor the party signing below warrants or guarantees the accuracy or completeness of the above information. The information is provided on the following conditions:

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- (b) that should any or all of the information be inaccurate, incomplete or misleading, for any reason including negligence on the part of the City or the party signing below, the City shall, as against any person or corporation who may rely on the contents of this letter, be able to assert and enforce its full legal rights as if this letter had not been signed and as if any and all persons and corporations who may rely on the contents of this letter had not relied on the contents of this letter.

I trust this is the information you require.

Yours truly,



C. Wong, Manager
By-law Compliance and Administration

JS/rt

Encl.

RT

MEMORANDUM

July 24, 2015

TO: Rose Turner, Glenn Mortensen
File Research/Community Services Group - Licences & Inspections - Bylaw
Administration Branch

FROM: James Smith, Environmental Contamination Team

SUBJECT: File Research - 6525 Oak St

We have searched the files in the Environmental Contamination Team and have found the following information with respect to the property:

- City of Vancouver Waste Discharge Permit issued for the site in October 2004;
- Underground Storage Tank excavation Figure, October 2004;
- External engineering consultant's document titled "Sediment and Erosion Control Measures", October 2004;
- City of Vancouver amended Waste Discharge Permit, October 2004;
- Imperial Oil (property owner) memo titled "Notice of Independent Remediation", March, 2005; and
- BC Ministry of Environment letter titled "Notification of Independent Remediation", August 2005.

Our search was of files held in this Branch only. We do not warrant that we have complete or accurate information, nor that *no contamination* is present on this property.

Please refer to other City Departments (including City Archives) for any information they might hold. Further, in that matters of environment and contamination are subject to Provincial and Federal authority, we refer you also to those authorities for such information, if any, as they might possess.

BENEDICT LAM & COMPANY
BARRISTERS, SOLICITORS & NOTARIES

BENEDICT LAM, B.A., LL.B.

PAUL FORMBY, B.A., M.DIV., LL.B.

BRIAN P. KAMINSKI, B.A., LL.B.

JENNY V. LAU, LL.B.

Our File No.:

Attention:

COM196/96

Brian P. Kaminski

January 23, 1996

City of Vancouver
File Research
2675 Yukon Street
Vancouver, B.C. V5Y 3P9

Dear Sirs:

Re: **GARY TONKS carrying on business as
49TH & OAK STREET ESSO (the "Business") located at
6525 Oak Street, Vancouver, B.C. (the "Premises")**

I advise that the Business has been sold and I am the solicitor for the purchaser.

Kindly advise me as to the following:

1. whether the Premises used in connection with the Business complies with Building and Zoning By-Laws and regulations;
2. whether there are any outstanding orders against the Business (please specify all outstanding orders); and
3. the date of last inspection.

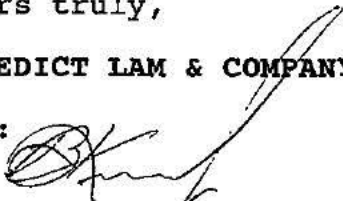
As there is some urgency in this matter, I would appreciate your immediate reply. Our fax number is 688-6388.

I enclose our cheque in the amount of \$155.00 for your fees in connection with this matter and I thank you for your assistance.

Yours truly,

BENEDICT LAM & COMPANY

Per:



Brian P. Kaminski
BPK/ch
Enc.

PERMITS & LICENSES DEPARTMENT
Reg. No.:
JAN 25 1996
ORIGINAL TO: ER
COPY TO: 3155 CC.

Seifert

BENEDICT LAM & COMPANY
BARRISTERS, SOLICITORS & NOTARIES

BENEDICT LAM, B.A. LL.B.

PAUL FORMBY, B.A., M.DIV. LL.B.

BRIAN P. KAMINSKI, B.A., LL.B.

JENNY V. LAU, LL.B.

Our File No.:

Attention: COM196/96

Brian P. Kaminski

January 23, 1996

City of Vancouver
Fire Prevention Office
201 - 456 West Broadway
Vancouver, B.C.
V5Y 1R3

Dear Sirs:

Re: **GARY TONKS carrying on business as
49TH & OAK STREET ESSO (the "Business") located at
6525 Oak Street, Vancouver, B.C. (the "Premises")**

I advise that the Business has been sold and I am the solicitor for the purchaser.

Kindly advise me as to the following:

1. whether the Premises used in connection with the Business complies with the fire By-Laws and regulations;
2. whether there are any outstanding orders against the Business (please specify all outstanding orders); and
3. the date of the last inspection.

As there is some urgency in this matter, I would appreciate your immediate reply. Our fax number is 688-6388.

I enclose our cheque in the amount of \$35.00 for your fees in connection with this matter and I thank you for your assistance.

Yours truly,

BENEDICT LAM & COMPANY

Per:

Brian P. Kaminski
BPK/ch
Enc.

VANCOUVER FIRE PREVENTION OFFICE	
FIRE PREVENTION DIVISION	
TR	FILE
22 ✓	FPI: <i>Seifert</i>
	LETTER: <i>4</i>



CITY OF VANCOUVER



DATE ISSUED OCTOBER 26, 2004		PERMIT TYPE FIRE PREVENTION DIVISION PERMIT			PERMIT NUMBER P FI 402958	
LEGAL DESCRIPTION LOT BLOCK PLAN DIST				ADDRESS 6525 OAK ST		
ADDITIONAL ADDRESS INFORMATION				SPECIFICS		
APPLICATION DATE OCT 26, 2004	PURPOSE INSTALLATN	PROJECT VALUE	ASSESSED VALUE	PLANS	METRIC NO	PLACE NAME
TEMPORARY PERMIT DATES		TEMPORARY USE DATES		SUBTYPE		
APPLICANT CONTRACTOR KELLER CONSTRUCTION LTD 11430 160 ST EDMONTON BC T5M 3Y7				CONTACT 2		CONTACT 3
TEL 780-484-1010	BUS.LICENSE 243737	TEL	BUS.LICENSE	TEL	BUS.LICENSE	
FAX	CERTIFICATE	FAX	CERTIFICATE	FAX	CERTIFICATE	
PURSUANT TO THE FIRE BY-LAW, THE FOLLOWING WORK IS HEREBY AUTHORIZED:						
<p>REMOVE AND INSTALL EXISTING TANKS INSTALL 4 TANKS: 3 @ 8000 GALLONS, 1 @ 5000 gALLONS INSTALL 4 PUMPS</p>						
PERMIT CONDITIONS AND NOTES:						
001 THE WORK UNDER THIS PERMIT IS AUTHORIZED PURSUANT TO THE FIRE BY-LAW.						
010 For fuel dispensing site or known contamination site, clearance from Environmental Protection Branch.						
015 A separate building permit is required for excavation and shoring, plus modified geotechnical engineer's letter.						
025 If the work cannot be completed in the same day, the owner must follow the requirements of Section 8.2 of the Vancouver Building By-law for Protection of the Public and Fire Safety on fencing off construction sites.						
045 Written verification from contractor to District Fire Inspector for work complete.						
050 Phone the District Fire Inspector at 604-873-7595 for an inspection prior to backfilling. Please arrange for the inspection at least 24 hours in advance. If the inspector is not available, photographs should be taken to illustrate that the site is not contaminated.						
055 New tank installation must comply with Part 4 of the Vancouver Fire Bylaw.						
GENERAL USE R21 GAS STN - SPLT ISL	SPECIFICS/LOCATION	AREA (SF)	OCC F2	GENERAL USE	SPECIFICS/LOCATION	AREA (SF) OCC
ITEM 2020 GAS TANK	SPECIFICS/REFERENCE	QTY/AMT 4 GU		ITEM	SPECIFICS/REFERENCE	QTY/AMT
RELATED PERMITS: BU429067 CONSTRUCT 6525 OAK ST						
APPROVALS REQUIRED BEFORE PERMIT IS COMPLETED INCLUDE : FIRE INSPECTION						
AS OWNER OR OWNERS' AGENT, I HAVE VERIFIED THAT THE INFORMATION CONTAINED WITHIN THIS DOCUMENT AND ASSOCIATED PLANS IS CORRECT, AND DESCRIBES A USE, A BUILDING OR A WORK WHICH COMPLIES WITH ALL RELEVANT BY-LAWS AND STATUTES. I ACKNOWLEDGE THAT RESPONSIBILITY FOR BY-LAW COMPLIANCE RESTS WITH THE OWNER AND THE OWNER'S EMPLOYEES, AGENTS AND CONTRACTORS. I WILL INDEMNIFY AND SAVE HARMLESS THE CITY OF VANCOUVER, ITS OFFICIALS, EMPLOYEES AND AGENTS AGAINST ALL CLAIMS, LIABILITIES AND EXPENSES OF EVERY KIND, IN RESPECT OF ANYTHING DONE OR NOT DONE PURSUANT TO THIS APPLICATION OR FACT SHEET OR ENSUING PERMIT, INCLUDING NEGLIGENCE AND/OR THE FAILURE TO OBSERVE ALL BY-LAWS, ACTS OR REGULATIONS.						
FEE 657 TANK - OTHER	AMOUNT 300.00	FEE	AMOUNT	SIGNED BY	KELLER CONSTRUCTION LTD	
				DATE	SEE APPLICATION	
				ISSUED BY	H KHAN	
				FOR THE	FIRE CHIEF	
INVOICE : 380864			TOTAL	\$300.00		

P-SD2000.01



CITY OF VANCOUVER



DATE ISSUED OCTOBER 26, 2004		PERMIT TYPE FIRE PREVENTION DIVISION PERMIT			PERMIT NUMBER P FI 402958	
LEGAL DESCRIPTION LOT BLOCK PLAN DIST				ADDRESS 6525 OAK ST		
ADDITIONAL ADDRESS INFORMATION				SPECIFICS		
APPLICATION DATE OCT 26, 2004	PURPOSE INSTALLATN	PROJECT VALUE	ASSESSED VALUE	PLANS	METRIC NO	PLACE NAME
TEMPORARY PERMIT DATES		TEMPORARY USE DATES		SUBTYPE		
APPLICANT CONTRACTOR KELLER CONSTRUCTION LTD 11430 160 ST EDMONTON BC T5M 3Y7				CONTACT 2		CONTACT 3
TEL 780-484-1010 FAX	BUS.LICENSE 243737 CERTIFICATE	TEL FAX	BJS.LICENSE CERTIFICATE	TEL FAX	BUS.LICENSE CERTIFICATE	

PURSUANT TO THE FIRE BY-LAW, THE FOLLOWING WORK IS HEREBY AUTHORIZED:

**REMOVE AND INSTALL EXISTING TANKS
INSTALL 4 TANKS: 3 @ 8000 GALLONS, 1 @ 5000 gALLONS
INSTALL 4 PUMPS**

PERMIT CONDITIONS AND NOTES:

- 001 THE WORK UNDER THIS PERMIT IS AUTHORIZED PURSUANT TO THE FIRE BY-LAW.
- 010 For fuel dispensing site or known contamination site, clearance from Environmental Protection Branch.
- 015 A separate building permit is required for excavation and shoring, plus modified geotechnical engineer's letter.
- 025 If the work cannot be completed in the same day, the owner must follow the requirements of Section 8.2 of the Vancouver Building By-law for Protection of the Public and Fire Safety on fencing off construction sites.
- 045 Written verification from contractor to District Fire Inspector for work complete.
- 050 Phone the District Fire Inspector at 604-873-7595 for an inspection prior to backfilling. Please arrange for the inspection at least 24 hours in advance. If the inspector is not available, photographs should be taken to illustrate that the site is not contaminated.
- 055 New tank installation must comply with Part 4 of the Vancouver Fire Bylaw.

GENERAL USE	SPECIFICS/LOCATION	AREA (SP)	OCC	GENERAL USE	SPECIFICS/LOCATION	AREA (SP)	OCC
R21 GAS STN - SPLT ISL			F2				

ITEM	SPECIFICS/REFERENCE	QTY/AMT	ITEM	SPECIFICS/REFERENCE	QTY/AMT
2020 GAS TANK		4 GU			

RELATED PERMITS: BU429067 CONSTRUCT 6525 OAK ST
 APPROVALS REQUIRED BEFORE PERMIT IS COMPLETED INCLUDE : FIRE INSPECTION
 PROCESSED BY: APPLICATION TAKEN BY H KHAN PERMIT AUTHORIZED BY B HARVEY
 PERMIT ISSUED BY H KHAN

FEB 15 2005



COMMENTS:

FEE	AMOUNT	FEE	AMOUNT	DEPARTMENT	
657 TANK - OTHER	300.00			FIRE DEPARTMENT	
				ATTENTION	FIRE INSPECTOR
				REASON	PERMIT INSPECTION
INVOICE: 380864		TOTAL	\$300.00		

P53204-01



CITY OF VANCOUVER



DATE ISSUED SEPTEMBER 30, 2004		PERMIT TYPE FIRE PREVENTION DIVISION PERMIT				PERMIT NUMBER P FI 402903	
LEGAL DESCRIPTION LOT BLOCK PLAN DIST					ADDRESS 6525 OAK ST		
ADDITIONAL ADDRESS INFORMATION					SPECIFICS		
APPLICATION DATE SEP 30, 2004	PURPOSE REMOVAL	PROJECT VALUE	ASSESSED VALUE	PLANS	METRIC NO	PLACE NAME	
TEMPORARY PERMIT DATES		TEMPORARY USE DATES		SUBTYPE			
APPLICANT CONTRACTOR HAZCO ENVIRONMENTAL SERVICES RONALD BOBKE 160 13511 VULCAN WAY RICHMOND BC V6V 1K4				CONTACT 2 PROPERTY OWNER IMPERIAL OIL LTD 5945 KATHLEEN AV BURNABY BC V5H 4S7		CONTACT 3	
TEL 604-214-7000	BUS.LICENSE 40414	TEL 604-451-5517	BUS.LICENSE	TEL	BUS.LICENSE		
FAX	CERTIFICATE	FAX	CERTIFICATE	FAX	CERTIFICATE		
<p>PURSUANT TO THE FIRE BY-LAW, THE FOLLOWING WORK IS HEREBY AUTHORIZED:</p> <p>REMOVE 1 22,700 LITRE AND 3 36,700 LITRE TANKS SETBACKS: 5M, BOTTOM OF TANK AT: 4M</p>							
<p>PERMIT CONDITIONS AND NOTES:</p> <p>001 THE WORK UNDER THIS PERMIT IS AUTHORIZED PURSUANT TO THE FIRE BY-LAW. 010 For fuel dispensing site or known contamination site, clearance from Environmental Protection Branch. 025 If the work cannot be completed in the same day, the owner must follow the requirements of Section 8.2 of the Vancouver Building By-law for Protection of the Public and Fire Safety on fencing off construction sites. 030 For removal: the tanks, together with connected piping and dispensing equipment, shall have all combustible or flammable liquids removed. The tanks and piping must be removed from the ground and purged of vapours. The pipe ends must be permanently sealed by capping or plugging. 040 Tank removal must comply with subsection 4.10.3 of the Vancouver Fire By-law. 045 Written verification from contractor to District Fire Inspector for work complete. 050 Phone the District Fire Inspector at 604-873-7595 for an inspection prior to backfilling. Please arrange for the inspection at least 24 hours in advance. If the inspector is not available, photographs should be taken to illustrate that the site is not contaminated.</p>							
GENERAL USE		SPECIFICS/LOCATION		AREA (SF)		OCC	
R21 GAS STN - SPLT ISL						F2	
ITEM		SPECIFICS/REFERENCE		QTY/AMT		OCC	
2010 OIL TANK		22,700 LITRE		1 GU		F2	
GENERAL USE		SPECIFICS/LOCATION		AREA (SF)		OCC	
2010 OIL TANK		36,700 LITRE		3 GU		F2	
<p>APPROVALS REQUIRED BEFORE PERMIT IS COMPLETED INCLUDE : FIRE INSPECTION</p>							
<p>AS OWNER OR OWNERS' AGENT, I HAVE VERIFIED THAT THE INFORMATION CONTAINED WITHIN THIS DOCUMENT AND ASSOCIATED PLANS IS CORRECT, AND DESCRIBES A USE, A BUILDING OR A WORK WHICH COMPLIES WITH ALL RELEVANT BY-LAWS AND STATUTES. I ACKNOWLEDGE THAT RESPONSIBILITY FOR BY-LAW COMPLIANCE RESTS WITH THE OWNER AND THE OWNER'S EMPLOYEES, AGENTS AND CONTRACTORS. I WILL INDEMNIFY AND SAVE HARMLESS THE CITY OF VANCOUVER, ITS OFFICIALS, EMPLOYEES AND AGENTS AGAINST ALL CLAIMS, LIABILITIES AND EXPENSES OF EVERY KIND, IN RESPECT OF ANYTHING DONE OR NOT DONE PURSUANT TO THIS APPLICATION OR FACT SHEET OR ENSUING PERMIT, INCLUDING NEGLIGENCE AND/OR THE FAILURE TO OBSERVE ALL BY-LAWS, ACTS OR REGULATIONS.</p>							
FEE		AMOUNT		FEE		AMOUNT	
657 TANK - OTHER		300.00					
				SIGNATURE			
				DATE		SEPT. 30/04	
				ISSUED BY		A LEUNG.	
				FOR THE		FIRE CHIEF	
INVOICE : 378041				TOTAL		\$300.00	



Imperial Oil
Products and Chemicals Division
Fuels Marketing Services
Engineering, Maintenance & Remediation
Suite 405, 5945 Kathleen Avenue
Burnaby, B.C.
V5H 4J7

Keith H. Tanner ASCT
Site Remediation Specialist

Tel: (604) 451-5517
Fax: (604) 451-1347

March 7, 2005

VIA FAX: 604-584-9751

BC Ministry Water Land and Air Protection
Lower Mainland Region
10470 - 152nd Street
Surrey, B.C.
V3R 0R3

LICENCES AND INSPECTIONS
ENVIRONMENTAL PROTECTION BRANCH

CHECKED MAR 8, 2005
RE: 6525 OAK ST
APPROVED OC424279

Attn: Kerri Dundas
Contaminated Sites Officer

Re: 49th & Oak Esso, 6525 Oak Street, Vancouver - SITE 8398
Notice of Completion of Independent Remediation

This letter is further to the Notice of Independent Remediation that was submitted to the Ministry of Water Land and Air Protection (MWLAP) on July 16, 2003. In accordance with Guidance Document No. 4, Imperial Oil hereby provides MWLAP with a Notice of Completion of Independent Remediation for the above referenced site.

During site investigation activities it was determined that environmental impacts above applicable standards from site operations were contained within the site. It was also determined that there was a low probability of these impacts migrating from the site in the future. During site remediation activities the identified environmental impacts (contained in soil) were removed for treatment and disposal.

We trust that the above information meets your needs at this time. If you have any questions or require additional information, please contact me.

Regards,
Imperial Oil

Keith H. Tanner
Site Remediation Specialist

cc: Hank Uyeyama, City of Vancouver Fax: 604-873-7963
Ed Citton, Imperial Oil - Real Estate Manager



DEPARTMENT OF PERMITS & LICENSING
 ENVIRONMENTAL PROTECTION BRANCH
 CHECKED AUG. 6, 2003
 APPROVED [Signature]
 RE: 6525 OAK ST
DIE 40773



Date: AUG - 5 2003

Your File:

Our File: 26250-20/8398

SITE 8398

VIA FAX ONLY: (604) 451-1347

Imperial Oil Limited
 Suite 405 - 5945 Kathleen Avenue
 Burnaby, BC V5H 4J7

Attention: Linda Eastcott

Dear Linda eastcott:

**Re: Site Profile Submission/Notice of Intent to Undertake Independent Remediation
 Application for Development Permit
 6525 Oak Street, Vancouver
 PID: 010-598-758 & 010-598-774**

This letter is to acknowledge receipt of a satisfactorily completed site profile pertaining to the above-referenced site. We also acknowledge receipt of a notice of intent to undertake independent remediation at this site in accordance with clause 3.2.1 of draft Guidance Document #4 - "Investigation and Remediation Processes and Local Government Permit Process", dated November 26, 1997. An electronic copy of draft Guidance Document #4 can be obtained from the ministry's contaminated sites web page located at http://wlapwww.gov.bc.ca/epd/epdpa/contam_sites/guidance/technical/4.html.

Based on these submissions and subject to the satisfactory fulfillment of your obligations as specified in the draft guidance document, the ministry does not presently require submission of a site investigation report under section 26.2 of the *Waste Management Act*. Release from the requirement to submit a site investigation report is being granted at this time because we understand that site investigations are being conducted as part of an independent remediation process. Please be advised that the absence of a report submission requirement does not necessarily mean that the site is not a contaminated site. A Contaminated Sites Services Application Form can be obtained from the ministry's contaminated sites web page located at http://wlapwww.gov.bc.ca/epd/epdpa/contam_sites/index.html. Please ensure you complete the right-hand column of Part E: Key Information Requirements table prior to submitting your application.

Please also be advised of the following:

- the above decision pertains only to the subject application. As such, and by copy of this letter, the ministry requests that the municipality contact us for further advice in connection with any future applications for this site identified in section 26.1 of the *Waste Management Act*;
- the ministry recommends that you review all aspects of the government's contaminated sites legislation and supporting guideline documents and protocols to ensure that all required information is collected and documented during investigation and remediation of the site; and
- those persons undertaking site investigations and remediation at contaminated sites in British Columbia are required to do so in accordance with the requirements of the *Waste Management Act* and regulations (e.g. Contaminated Sites Regulation, Special Waste Regulation, etc.). The ministry considers these persons responsible for identifying and addressing any associated human health or environmental impacts associated with the contamination.

Decisions of a manager may be appealed under part 7 of the *Waste Management Act*.

If you have any questions about this letter please contact Kerri Dundas at (604) 582-5282.

Yours truly,



Simon Shutter
Assistant Regional Waste Manager

kd/

cc: Hank Uyeyama, City of Vancouver, FAX: (604) 873-7963

CITY OF VANCOUVER



No. SC040341

WASTE DISCHARGE PERMIT

Issued by the Environmental Protection Branch,
Licences and Inspections Department, City of Vancouver,
under the provisions of the Greater Vancouver Sewerage
& Drainage District Sewer Use By-law No. 164

PERMIT ISSUED TO:

Name: IMPERIAL OIL LIMITED
c/o MORROW ENVIRONMENTAL CONSULTANT INC.
Address: 8648 Commerce Court
City: Burnbay, BC Postal Code: V5A 4N6
Telephone: (604) 515-5151 FAX: (604) 515-5150

FOR NON-DOMESTIC WASTES DISCHARGED TO THE SEWER FROM:

Company Name: IMPERIAL OIL LIMITED
Address: 6525 Oak Street, Vancouver, BC

CONTACT:

Name: Nigel Creightney
Title: Project Manager
Telephone: (604) 515-5151

NATURE OR TYPE OF BUSINESS: REMEDIATION

This Permit has been issued under the terms and conditions prescribed in the Greater Vancouver Sewerage & Drainage District Sewer Use By-law No. 164 and in the attached Appendices:

A & B

I understand the responsibilities for compliance with the Greater Vancouver Sewerage & Drainage District Sewer Use By-law No. 164 and the conditions of this Permit.

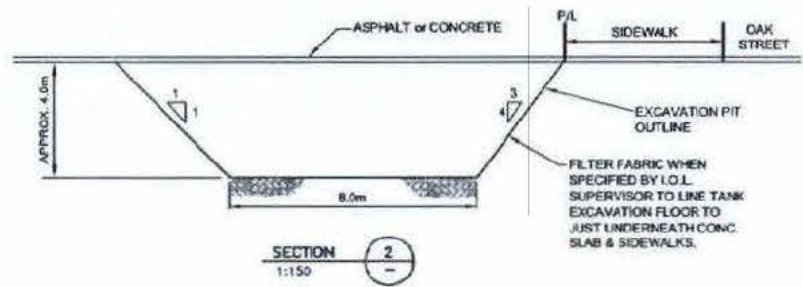
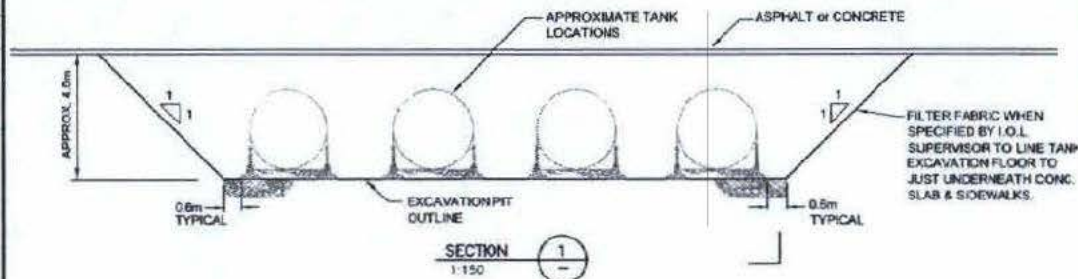
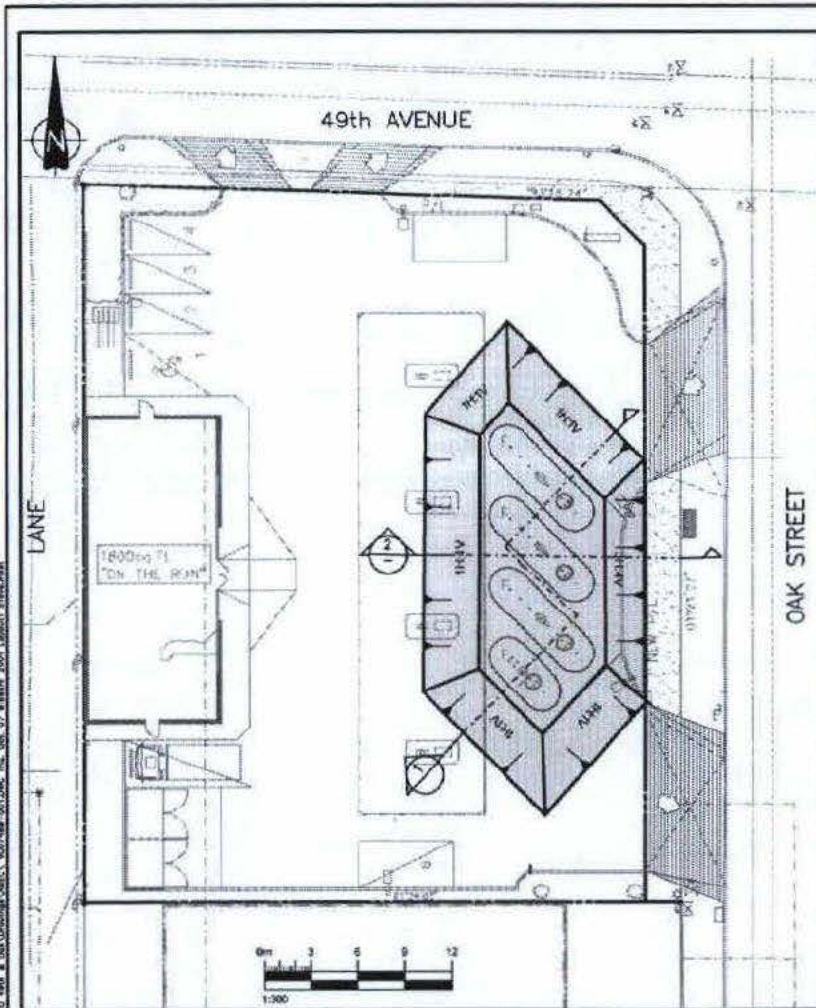
Signature of Permittee

DISTRICT SEWAGE CONTROL MANAGER

Date Issued: OCT 04 2004
Date Amended: OCT 21 2004

BU 429067

6525 Oak St



NOTES:

1. THIS DRAWING SHALL BE USED FOR CONSTRUCTION OF TEMPORARY TANK EXCAVATION ONLY.
2. TEMPORARY EXCAVATION DESIGN FOR INSTALLATION OF FUEL TANKS PREPARED BY AMEC EARTH & ENVIRONMENTAL TEL (604) 294-3811, FAX (604) 294-4664. THE DESIGN IS BASED ON AMEC'S REPORT DATED 7 MAY 2004.
3. THE SHOWN EXCAVATION SLOPES ARE PRELIMINARY AND SHALL BE REVIEWED BY AMEC PRIOR TO WORKER ENTRY.
4. SIGNIFICANT SEEPAGE OR SURCHARGE LOADS NEAR THE CREST OF THE EXCAVATIONS MAY REQUIRE FLATTER TEMPORARY SLOPES. STEEPER SLOPES MAY BE FEASIBLE SUBJECT TO REVIEW BY THE GEOTECHNICAL ENGINEER. ALL EXCAVATION WORK SHOULD BE IN CONFORMANCE WITH THE WCB OCCUPATIONAL HEALTH AND SAFETY REGULATION.
5. THE DIMENSIONS OF THE EXCAVATION BOTTOM WILL INCLUDE AN ALLOWANCE FOR 0.6m WORKSPACE BETWEEN THE EXCAVATION TOE AND THE DEADMAN ANCHORS.



NOTE: BASE PLAN PROVIDED BY BEESLEY ENGINEERING, DATED 03/05/2004, DRAWING NUMBER 99A0677-02P-01-000-05.



AMEC Earth & Environmental Limited
3227 Douglas Road
Burnaby, B.C.
V5C 5A8
Tel: 294-3811
Fax: 294-4664

Client

IMPERIAL OIL LIMITED

DWR BY: GM
CHD BY: JR
APP. CB HK
SCALE: AS SHOWN

49th AND OAK
VANCOUVER, B.C.
FUEL STORAGE TANK EXCAVATION

DATE: MAY 2004
PROJECT NO: VG07488
REV. NO.:
FIGURE NO. FIGURE 1

CHECKED JULY 24, 2003
APPROVED [Signature]

RE: 6525 OAK ST
DE 407773

SCHEDULE 1 Site Profile

(Version 1.2)

A. Name of Site Owner:

Last _____ First _____ Middle Initial (s) _____ (and/or, if applicable)
Company Imperial Oil Limited
Owner's Civic Address 111 St. Clair Avenue West
City Toronto Province/State Ontario
Country Canada Postal Code/ZIP M5W 1K3

B. Person Completing Site Profile (leave blank if same as above):

Last Eastcott First Linda Middle Initial (s) J (and/or, if applicable)
Company Imperial Oil

C. Person to Contact Regarding the Site Profile:

Last Eastcott First Linda Middle Initial (s) J (and/or, if applicable)
Company Imperial Oil
Mailing Address 5945 Kathleen Avenue - Suite 405
City Burnaby Province/State BC
Country Canada Postal Code/ZIP V5H 4J7
Telephone (804) 451 - 5517 ext 27 Fax (804) 451 - 1347

IF Legally Titled, Registered Property

Site Street Address (if applicable) 6525 Oak Street
City Vancouver Postal Code _____

PID numbers and associated legal descriptions. *Attach an additional sheet if necessary.*

PID	Legal Description
<u>010-598-758</u>	<u>Lot C of Lot 17 of Subdivision D, Block 12 and 17A, DL 526, Plan 7473, NWD Except part in explanatory plan VAN 20474</u>
<u>010-598-774</u>	<u>Lot D of Lot 17 of Subdivision D, Block 12 and 17A, DL 526, Plan 7473, NWD Except part in explanatory plan VAN 20474</u>

Total number of titled parcels represented by this site profile is: 2

SCHEDULE 1 Site Profile

(Version 1.2)

IF Untitled Crown Land

1) PIN numbers and associated Land Description. *Attach an additional sheet if necessary.*

<u>PIN</u>	<u>Land Description</u>

Total number of untitled, crown land parcels represented by this site profile is: _____

OR

2) Coordinates (using the North American Datum 1983 convention) for the centre of the site:

Latitude: Degrees _____ Minutes _____ Seconds _____
 Longitude: Degrees _____ Minutes _____ Seconds _____

Please attach a map of appropriate scale showing the boundaries of the site.
 (and, if available)

Crown Land file numbers. *Attach an additional sheet if necessary.*

(All the Following Questions Must Be Answered)

Please indicate below, in the format of the example provided, which of the industrial and commercial purposes and activities from Schedule 2 have occurred or are occurring on this site.

EXAMPLE:

<u>Schedule 2 Reference</u>	<u>Description</u>
E1	appliance, equipment or engine repair, reconditioning, cleaning or salvage
F10	solvent manufacturing or wholesale bulk storage

Please print legibly. Attach an additional sheet if necessary.

<u>Schedule 2 Reference</u>	<u>Description</u>
F5	petroleum product dispensing facilities, including service stations and cardlots
G2	automotive, truck, bus, subway or other motor vehicle repair, salvage or wrecking

SCHEDULE 1 Site Profile

(Version 1.2)

IV. WATER			
	Is there currently or to the best of your knowledge has there previously been on the site any (please mark the appropriate column opposite the question):	YES	NO
A	Petroleum, solvent or other polluting substance spills to the environment greater than 100 litres?		X
B	Residue left after removal of piled materials such as chemicals, coal, ore, smelter slag, air quality control system baghouse dust?		X
C	Discarded barrels, drums or tanks?		X
V. FILL			
	Is there currently or to the best of your knowledge has there previously been on the site any deposit of (please mark the appropriate column opposite the question):	YES	NO
A	Fill dirt, soil, gravel, sand or like materials from a contaminated site or from a source used for any of the activities listed under Schedule 2?		X
B	Discarded or waste granular materials such as sand blasting grit, asphalt paving or roofing material, spent foundry casting sands, mine ore, waste rock or float?		X
C	Dredged sediments, or sediments and debris materials originating from locations adjacent to foreshore industrial activities, or municipal sanitary or stormwater discharges?		X
VI. WASTE			
	Is there currently or to the best of your knowledge has there previously been on the site any landfilling, deposit or dumping in pits, ponds, lagoons or natural depressions of (please mark the appropriate column opposite the question):	YES	NO
A	Materials such as household garbage, mixed municipal refuse, or demolition debris?		X
B	Waste or byproducts such as tank bottoms, residues, sludge or flocculation precipitates from industrial processes or wastewater treatment?		X
C	Waste products from smelting or mining activities, such as smelter slag, mine tailings, or cull materials from coal processing?		X
D	Waste products from natural gas and oil well drilling activities, such as drilling fluids and muds?		X
E	Waste products from photographic developing or finishing laboratories; asphalt tar roofing manufacturing; boilers, incinerators or other thermal facilities (e.g. ash); appliance, small equipment or engine repair or salvage; dry cleaning operations (e.g. solvents); or automobile and truck parts cleaning or repair?		X


SCHEDULE 1 Site Profile

(Version 1.2)

VII. FUEL OR CHEMICAL STORAGE TANKS			
	Are there currently or to the best of your knowledge have there been previously on the site any (please mark the appropriate column opposite the question):	YES	NO
A	Underground fuel or chemical storage tanks?	X	
B	Above ground fuel or chemical storage tanks?		X
VIII. SPECIALIZED MATERIALS			
	Are there currently or to the best of your knowledge have there been previously on the site any (please mark the appropriate column opposite the question):	YES	NO
A	PCB-containing electrical transformers or capacitors either at grade, attached above ground to poles, located within buildings, or stored?		X
B	Waste asbestos or asbestos containing materials such as pipe wrapping, blown-in insulation or panelling buried?		X
C	Paints, solvents, mineral spirits or waste pest control products or pest control product containers stored in volumes greater than 205 litres?		X
IX. LEGAL OR REGULATORY ORDERS OR CONSTRAINTS			
	To the best of your knowledge, are there currently any of the following pertaining to the site (please mark the appropriate column opposite the question):	YES	NO
A	Government orders or other notifications pertaining to environmental conditions or quality of soil, water, groundwater or other environmental media?		X
B	Liens to recover costs, restrictive covenants on land use, or other charges or encumbrances, stemming from contaminants or wastes remaining onsite or from other environmental conditions?		X
C	Government notification relating to past or recurring environmental violations at the site or any facility located on the site?		X
X. ADDITIONAL COMMENTS AND EXPLANATIONS			
<p>(Note 1: Please list any past or present government orders, permits, approvals, certificates and notifications pertaining to the environmental condition, use or quality of soil, surface water, groundwater or biota at the site.</p> <p>Note 2: If completed by a consultant, receiver or trustee, please indicate the type and degree of access to information used to complete this site profile. Attach extra pages if necessary):</p> <hr/> <hr/> <hr/> <hr/> <hr/>			

SCHEDULE 1 Site Profile

(Version 1.2)

XI. SIGNATURE			
The person completing the site profile state that the above information is true, based on the person's current knowledge as of the date completed.			
		2003-04-07	
Signature of person completing site profile		Date completed (YY-MM-DD)	
XI. OFFICIAL USE			
Reason For Submission (Please check one or more of the following)			
Subdivision Application <input type="checkbox"/> Zoning Application <input type="checkbox"/> Development Permit <input checked="" type="checkbox"/> Variance Permit <input type="checkbox"/> Demolition Permit <input type="checkbox"/>			Soil Removal <input type="checkbox"/>
Date Received:	Local government contact:	Date Submitted to Site Registrar:	Date forwarded to BC Environment Manager:
JULY 16, 2003	Name: <u>HANK UYEYAMA</u> Agency: <u>CITY OF VANCOUVER</u> Address: <u>453 WEST 12TH AVENUE</u> <u>VANCOUVER, BC V5Y 1V4</u> Telephone <u>(604) 873-7732</u> Fax _____		JULY 24, 2003
BC Environment Manager			
Reason For Submission (Please check one or more of the following)			
Under order <input type="checkbox"/> Site Decommissioning <input type="checkbox"/> Foreclosure <input type="checkbox"/>			
Date Received:	Assessed by / local contact:	Investigation Required?	Decision Date:
	Name _____ Region _____ Telephone _____ Fax _____ If site profile entered, SITE ID # _____	YES NO 	
Site Registrar			
Date Received:	Entered on to site registry by:	Site ID #:	Entry Date:



August 18, 2005

Your File:
Regional File: 26250-20/8398
SITE 8398

Via Fax Only 604-451-1347 and 604-873-7963

Imperial Oil
Suite 405 - 5945 Kathleen Avenue
Burnaby, BC V5H 4J7

LICENCES AND INSPECTIONS
ENVIRONMENTAL PROTECTION BRANCH

Attention: Keith Tanner

and

CHECKED AUG 18, 2005
RE: 6525 OAK ST
APPROVED OC 424279

City of Vancouver
453 West 12th Avenue
Vancouver, BC V5Y 1V4

Attention: Hank Uyeyama

Dear Sirs:

Re: **Independent Remediation**
Draft Guidance Document #4 Process
Esso Service Station - 6525 Oak Street, Vancouver

This letter is to confirm the ministry's receipt of information regarding independent remediation of the above-referenced site. Site remediation has been undertaken in general accordance with the ministry's draft Guidance Document #4 - "Investigation and Remediation Processes and Local Government Permit Process", dated November 26, 1997.

In accordance with the draft guidance document, the ministry confirms the following:

- closure information was submitted to the ministry;
- the closure information was discussed with Imperial Oil at a meeting on 17 August, 2005; and
- the ministry confirmed that no additional investigation or remediation is required at this time.

- 2 -

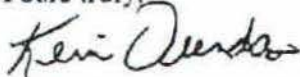
Based on the information provided, the ministry is not opposed to the issuance of an occupancy permit by the City of Vancouver for the service station at the subject site.

Please be advised that those persons undertaking site investigations and remediation at contaminated sites in British Columbia are required to do so in accordance with the requirements of the *Environmental Management Act* and regulations (e.g. Contaminated Sites Regulation, Hazardous Waste Regulation, etc.). The ministry considers these persons responsible for identifying and addressing any human health or environmental impacts associated with the contamination.

The foregoing comments are based on the most recent information provided to the ministry regarding the indicated site. The ministry, however, makes no representation or warranty as to its accuracy or completeness. The ministry expressly reserves the right to change or substitute different requirements where circumstances warrant.

Please contact the undersigned at (604) 582-5357 if you have any questions about this letter

Yours truly,



Kerri Dundas
Contaminated Sites Officer

BEESLEY ENGINEERING LTD.
CONSULTING ENGINEERS

TEL. (604) 527-1349
FAX (604) 527-1352

October 14, 2004

UNIT 'B' 1300 KETCH COURT
COQUITLAM, B.C. V3K 5W1

Our File No. 03.4-3

City of Vancouver
453 West 12th Avenue
Vancouver, BC
V5Y 1V4

LICENCES AND INSPECTIONS
ENVIRONMENTAL PROTECTION BRANCH

CHECKED ...*Oct. 14, 2004*...

Attention: Mr. Hank Uyeyama

APPROVED *kl*.....

*RE: 6525 OAK ST
BU429067*

Dear Sir:

Re: Imperial Oil - Gas Station
Rebuild - 6525 Oak Street - Vancouver, B.C.

We are writing regarding the sediment and erosion control measures to be taken on the above project.

At the time of writing, the existing gas station has been closed and reconstruction is anticipated to start on October 25, 2004.

The General Contractor for the project is Keller Construction Ltd. and Beesley Engineering Ltd. will be responsible for inspection of the Contractors sediment and erosion control measures during construction.

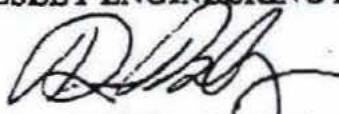
As the site is so small, the Contractor will construct a small sediment pond in front of the storm sewer discharge from the site. The pond will be removed immediately prior to paving.

In addition, the Contractor will take care to ensure that no silt is tracked onto the City streets by vehicles entering and leaving the site.

The existing site is covered with clean gravel which should also minimize the tracking of dirt onto the City streets.

We trust this is the information you require.

Yours truly,
BEESLEY ENGINEERING LTD.



Ronald W. Beesley, P. Eng.



c.c. Mr. Osman Chang - IOL by fax: 604-469-8298
Mr. H. Radtke - Keller by fax: 1-780-484-1378

CITY OF VANCOUVER



No. SC040341

WASTE DISCHARGE PERMIT

Issued by the Environmental Protection Branch,
Licences and Inspections Department, City of Vancouver,
under the provisions of the Greater Vancouver Sewerage
& Drainage District Sewer Use By-law No. 164

PERMIT ISSUED TO:

Name: IMPERIAL OIL LIMITED
c/o MORROW ENVIRONMENTAL CONSULTANT INC.
Address: 8648 Commerce Court
City: Burnbay, BC Postal Code: V5A 4N6
Telephone: (604) 515-5151 FAX: (604) 515-5150

FOR NON-DOMESTIC WASTES DISCHARGED TO THE SEWER FROM:

Company Name: IMPERIAL OIL LIMITED
Address: 6525 Oak Street, Vancouver, BC

CONTACT:

Name: Nigel Creightney
Title: Project Manager
Telephone: (604) 515-5151

NATURE OR TYPE OF BUSINESS: REMEDIATION

This Permit has been issued under the terms and conditions prescribed in the Greater Vancouver Sewerage & Drainage District Sewer Use By-law No. 164 and in the attached Appendices:

A & B

I understand the responsibilities for compliance with the Greater Vancouver Sewerage & Drainage District Sewer Use By-law No. 164 and the conditions of this Permit.

Signature of Permittee

DISTRICT SEWAGE CONTROL MANAGER

Date Issued: OCT 04 2004

Date Amended: _____

Address to

Address Activities

Review/Inspection activity group	District	Department/branch responsible	Current status	Date open	Date complete
----------------------------------	----------	-------------------------------	----------------	-----------	---------------

Action Details

Date	Action by	Action	Action specifics	Reference
08 Mar 1996	S ROBINSON	060 - OPEN GROUP	-	-
08 Mar 1996	S ROBINSON	R61 - INFORMATION GIVEN	- RECORDS FOUND	-
03 Mar 2003	H UYEYAMA	N15 - FILE RESEARCH	01 - ROUTINE	-
03 Mar 2003	H UYEYAMA	R61 - INFORMATION GIVEN	- RECORDS FOUND	-
03 Mar 2003	H UYEYAMA	993 - SEE INTERNAL NOTES	-	-
16 Jul 2003	H UYEYAMA	R62 - INFORMATION RECVD	- \$100 REC'D- SP FEE	-
24 Jul 2003	H UYEYAMA	N30 - APPLICATION	01 - ROUTINE	-
24 Jul 2003	H UYEYAMA	N55 - SITE PROFILE FWD	25 - M.O.E. REVIEW	-
24 Jul 2003	H UYEYAMA	R32 - FOLLOW-UP REQUIRED	- RE: DE407773	-
24 Jul 2003	H UYEYAMA	993 - SEE INTERNAL NOTES	-	-
06 Aug 2003	H UYEYAMA	N30 - APPLICATION	01 - ROUTINE	-
06 Aug 2003	H UYEYAMA	R90 - ACCEPTED	- RE: DE407773	-
06 Aug 2003	H UYEYAMA	993 - SEE INTERNAL NOTES	- HOLD OCCUPANCY	-
14 Oct 2004	H UYEYAMA	N31 - ISSUE SC PERMIT	10 - SRCE CNT RL PERMIT	SC - 040341
14 Oct 2004	H UYEYAMA	993 - SEE INTERNAL NOTES	-	-
14 Oct 2004	H UYEYAMA	N30 - APPLICATION	01 - ROUTINE	-
14 Oct 2004	H UYEYAMA	R90 - ACCEPTED	- RE: BU429067	-
14 Oct 2004	H UYEYAMA	993 - SEE INTERNAL NOTES	-	-
09 Nov 2004	H UYEYAMA	N31 - ISSUE SC PERMIT	10 - SRCE CNT RL PERMIT	SC - 040341
09 Nov 2004	H UYEYAMA	993 - SEE INTERNAL NOTES	-	-

25 Nov 2004	H UYEYAMA	N08 - SEWER	03 - REFERRAL	-
25 Nov 2004	H UYEYAMA	R62 - INFORMATION RECVD	- FROM PLUMBING	-
25 Nov 2004	H UYEYAMA	993 - SEE INTERNAL NOTES	-	-
07 Mar 2005	H UYEYAMA	N30 - APPLICATION	01 - ROUTINE	-
07 Mar 2005	H UYEYAMA	R32 - FOLLOW-UP REQUIRED	- RE: OC424279	-
07 Mar 2005	H UYEYAMA	993 - SEE INTERNAL NOTES	- HOLD OCCUPANCY	-
08 Mar 2005	H UYEYAMA	N30 - APPLICATION	01 - ROUTINE	-
08 Mar 2005	H UYEYAMA	R32 - FOLLOW-UP REQUIRED	- RE: OC424279	-
08 Mar 2005	H UYEYAMA	R62 - INFORMATION RECVD	- FROM IMPERIAL OIL	-
08 Mar 2005	H UYEYAMA	993 - SEE INTERNAL NOTES	-	-
08 Mar 2005	H UYEYAMA	993 - SEE INTERNAL NOTES	-	-
08 Mar 2005	H UYEYAMA	R61 - INFORMATION GIVEN	- IMPERIAL OIL	OC - 424279
18 Aug 2005	H UYEYAMA	N30 - APPLICATION	01 - ROUTINE	-
18 Aug 2005	H UYEYAMA	R90 - ACCEPTED	- RE: OC424279	-
18 Aug 2005	H UYEYAMA	R62 - INFORMATION RECVD	- FROM MOE	-
18 Aug 2005	H UYEYAMA	993 - SEE INTERNAL NOTES	-	-
23 Mar 2010	M GURNEY	N30 - APPLICATION	04 - REQUEST FOR INFO	-
23 Mar 2010	M GURNEY	R61 - INFORMATION GIVEN	- BL - EMERG SP SUMP	-
23 Mar 2010	M GURNEY	R62 - INFORMATION RECVD	- APPROVE FOR BL	-

Notes

Number	Title	Included?	List seq	Updated By	Date Updated
081	ENV PROTECTION INSPECTION		081	H UYEYAMA	18 Aug 2005
<p>Mar 3/03:- Re: File Research:- Following records were found for the above referenced site: (1) in 1953, there were two underground storage tanks (UST's) on the site, 2000 & 3000 gallons capacity, (2) a development permit was issued on November 8, 1966 for building of gasoline filling station, (3) a building permit was issued on December 9, 1966 for demolition of existing service station and building of new gasoline filling station, (4) a fire permit was issued on August 5, 1976 for installation of 3 UST's, 5000, 3000 and 2000 gallons capacity and also storage of a 500 gallons waste oil tank, (5) a fire permit was issued on August 12, 1981 for installation of 5000 gallons UST, (6) in 1989 there were 4 UST's (gasoline), 1 UST for diesel and 1 UST for waste oil on the site, (7) a fire permit was issued for removal of 3 UST's and to install 3 UST's, (8) A Waste Discharge Permit was issued for 30 days from September 2, 1993 for discharge of treated groundwater to the sanitary sewer and (9) a total of 10 cubic metres of treated groundwater was discharged to the sanitary sewer during the validity of the Permit.</p> <p>July 24/03:- Re: DE407773:- A site profile for the above site have been forwarded to the Ministry of Water, Land and Air Protection (MWLAP) for their review. Hold approval of DE407773 until we receive a clearance from the MWLAP.</p> <p>Aug 6/03:- Re: DE407773:- Received a copy of letter from the MWLAP for the above site Re: Site Profile Submission/Notice to Undertake Independent Remediation - Application for Development Permit 6525 Oak Street. The ministry replied that: (1) does not presently require submission of a site investigation report under section 26.2 of the Waste Management Act and (2) the above decision pertains only to the subject application and that the municipality contact MWLAP for further advice in connection with any future applications for this site identified in Section 26.1 of the Waste Management Act. DE407773 is approved from our branch with the following " prior to " condition on the permit: hold</p>					

management Act. DE 167775 is approved from our Branch and the following condition prior to condition on the permit hold occupancy until submission of a closure report for the independent remediation of the referenced site to the Environmental Protection Branch. An erosion and sediment control plan is required for our review and approval at a Building Permit Application stage.

Oct 14/04:- Re: SC040341:- A Waste Discharge Permit SC040341 was issued to the Morrow Environmental Consultant Inc. for the above site. The permit is for 90 days from Oct 4/04 and authorizes discharge of 160 m³ of treated groundwater to the sanitary sewer during the validity of the permit.

Oct 14/04:- Re: BU429067:- There are two components to this application. For Tim Hortons operation, a 50 GPM proceptor grease trap (GT) will be installed with a triple compartment sink, a hand sink and a floor drain connected to the GT.

I have approved Tim Hortons component on a performance basis subject to: (1) connect a floor drain and a hand sink in the prep area to the GT and (2) GT be designed so that it can be readily cleaned. The other component of the permit is for replacing the underground storage tanks (UST). There will be 3 - 8000 gal and a 5000 gal UST be installed on site. An emergency spill sump will be installed at south-east side of the site. Following are safety features incorporated for this project: (1) double walled fibre-glass tanks with double walled piping, (2) stage 1 vapour recovery system, (3) Veeder root tank monitoring system and (4) fill pipe and spill containment manway. I have approved this component of the project on a performance basis subject to installation of a piezometers for the UST. I have reviewed and approved the written sediment control plan from the Beesley Engineering Ltd. for this project.

Nov 9/04:- Re: SC040341:- Amended Permit (dated Oct 21/04) was issued for additional volume discharge of 160 m³ of treated groundwater to the sanitary sewer. The permit is for 90 days from Oct 4/04 and total authorized volume discharge is 320 m³.

Nov 25/04:- Received a copy of grease interceptor (GI) sizing check sheet from Lloyd Cheung, Plumbing Plan Checker, informing us that a 50 GPM GI is required with a triple compartment sink, a hand sink and a floor drain connected to the GI.

Mar 7/05:- Re: OC424279:- The applicant is responsible for notifying and submitting of a closure report for the completion of Independent Remediation of the site to the Ministry of Water, Land and Air Protection (a requirement under Guidance Document 4 GD 4 Û of a Contaminated Sites Regulation). To date, the applicant have not comply with the requirement under GD 4. Also, a copy of a closure report to be submitted to us for review/file. Hold Occupancy.

Mar 8/05:- Re: OC424279:- Received a copy of letter that was forwarded to Kerri Dundas, MWLAP, from Keith Tanner, Imperial Oil, Re: 49th & Oak Esso, 6525 Oak Street, Vancouver - Site 8398 Notice of Completion of Independent Remediation. Hold OC424279 until we receive a notification of completion of IR from the MWLAP (Imperial Oil must submit a closure report, meet with the MWLAP to discuss closure report and if MWLAP concur with the closure report, then notification letter will be sent).I have informed Keith Tanner, Imperial Oil, via telephone that I will not approve the occupancy permit until they have complied with the requirements under Guidance Document 4.

Aug 18/05:- Re: OC424279:- Received a clearance letter from the Ministry of Environment for the occupancy application.

The ministry have confirmed that the all the requirements under Guidance Document 4 process have been met. OC424279 is approved from our branch.

Address


to

Note Topics

Topic

 190 ENVIRONMENTAL PROTECTION

Note Numbers

 001 Entered by: H UYEYAMA On: 20030304 Updated by: H UYEYAMA On: 20050309

Note

Mar 3/03:- Re: File Research:- Following records were found for the above referenced site: (1) in 1953, there were two underground storage tanks (UST's) on the site, 2000 & 3000 gallons capacity, (2) a development permit was issued on November 8, 1966 for building of gasoline filling station, (3) a building permit was issued on December 9, 1966 for demolition of existing service station and building of new gasoline filling station, (4) a fire permit was issued on August 5, 1976 for installation of 3 UST's, 5000, 3000 and 2000 gallons capacity and also storage of a 500 gallons waste oil tank, (5) a fire permit was issued on August 12, 1981 for installation of 5000 gallons UST, (6) in 1989 there were 4 UST's (gasoline) 1 UST for diesel and UST for waste oil on the site, (7) a fire permit was issued for removal of 3 UST's and to install 3 UST's in 1993 (8) a Waste Discharge Permit was issued for 30 days from September 2, 1993 for discharge of treated groundwater to the sanitary sewer and (9) total of 10 cubic metres of

treated groundwater was discharged to the sanitary sewer during the

validity of the Permit.

July 24/03:- Re: DE407773:- A site profile for the above site have been forwarded to the Ministry of Water, Land and Air Protection (MWLAP) for their review. Hold approval of DE407773 until we receive a clearance from the MWLAP.

Aug 6/03:- Re: DE407773:- Received a copy of letter from the MWLAP for the above site Re: Site Profile Submission/Notice of Intent to Undertake Independent Remediation - Application for Development Permit 6525 Oak Street. The ministry replied that: (1) does not presently require submission of a site investigation report under section 26.2 of the Waste Management Act and (2) the above decision pertains only to the subject application and that the municipality contact MWLAP for further advice in connection with any future applications for this site identified in section 26.1 of the Waste Management Act. DE407773 is approved from our branch with the following " prior to " condition on the permit: hold occupancy until submission of a closure report for the independent remediation of the referenced site to the Environmental Protection Branch. An erosion and sediment control plan is required for

our review and approval at a Building Permit Application stage.

See notes next page.

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not approve the occupancy until they complied with the requirements

under Guidance Document 4.