

File No.: 04-1000-20-2017-513

December 21, 2017

s.22(1)

Dear s.22(1)

Re: **Request for Access to Records under the Freedom of Information and Protection of Privacy Act (the "Act")**

I am responding to your request of December 13, 2017 for:

Records regarding the following district fire service records and/or environmental information for site located at 5702 Granville Street, Vancouver, BC from January 1, 1992 to December 13, 2017:

1. **Studies and environmental reports;**
2. **Records of visits;**
3. **Notices of violation, claim, suit or corrective action of an environmental nature;**
4. **Certificates of authorization or permits issued by the municipality of an environmental nature; and**
5. **Notice(s) of non-compliance or an environmental failure.**

All responsive records are attached. Some information in the records has been severed, (blacked out), under s.22(1) of the Act. You can read or download this section here: http://www.bclaws.ca/EPLibraries/bclaws_new/document/ID/freeside/96165_00

Please note: some information in the records has been marked as 'Not responsive' because the records refer to a different address and therefore do not pertain to 5702 Granville Street.

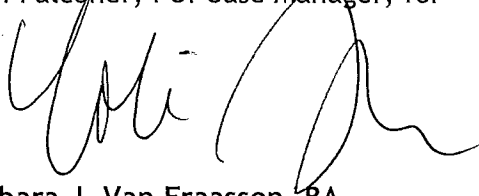
Under section 52 of the Act you may ask the Information & Privacy Commissioner to review any matter related to the City's response to your request. The Act allows you 30 business days from the date you receive this notice to request a review by writing to: Office of the Information & Privacy Commissioner, info@oipc.bc.ca or by phoning 250-387-5629.

If you request a review, please provide the Commissioner's office with: 1) the request number assigned to your request (#04-1000-20-2017-513); 2) a copy of this letter; 3) a copy of your original request for information sent to the City of Vancouver; and 4) detailed reasons or grounds on which you are seeking the review.

Please do not hesitate to contact the Freedom of Information Office at foi@vancouver.ca if you have any questions.

Yours truly,

Cobi Falconer, FOI Case Manager, for

A handwritten signature in black ink, appearing to read 'Cobi Falconer', written over the text 'Cobi Falconer, FOI Case Manager, for'.

Barbara J. Van Fraassen, BA
Director, Access to Information & Privacy

Barbara.vanfraassen@vancouver.ca
453 W. 12th Avenue Vancouver BC V5Y 1V4
Phone: 604.873.7999
Fax: 604.873.7419

Encl.

:ma

6 June 2002

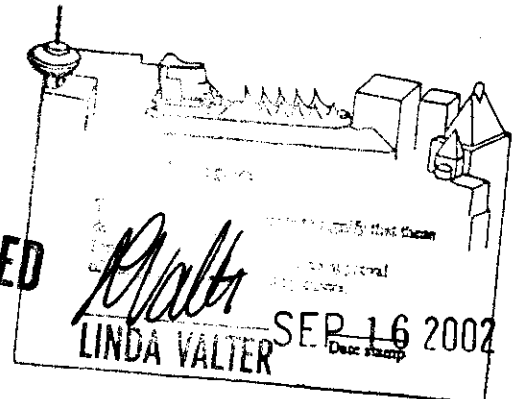
VG07404

Imperial Oil Limited
3232 Underhill Avenue
Burnaby, BC
V5A 3C7

Attention: Mr. Ralph W. Kausen, P.Eng.
Senior Project Manager

Re: **Geotechnical Site Assessment - ESSO Station**
41st Ave and Granville Street, Vancouver, BC

SEAL VERIFIED



1.0 INTRODUCTION

AMEC Earth & Environmental Limited (AMEC) carried out an assessment to provide geotechnical recommendations for reconstruction of an ESSO station at 5702 Granville Street at 41st Ave in Vancouver, B.C. This assignment was performed as requested by Mr. Ralph Kausen of Imperial Oil Limited (IOL) under the terms outlined in AMEC's letter dated 19 April 2002, entitled 'Cost Estimate for Geotechnical Services, ESSO Station at Granville Street and 41st Avenue, Vancouver, BC'.

The proposed development will require removal and replacement of underground fuel storage tanks, demolition and reconstruction of a retail accessory store, carwash, pump canopy, lampposts and a corporate sign. The retail accessory store will consist of a single story building with a footprint area of approximately 140 m² located at the east end of the site. It is understood that final site grades will be similar to existing site grades. The proposed development is shown on the site plan attached as Figure 1.

Borehole logs from drilling activity carried out in 2000 by Morrow Environmental Consultants Inc. (Morrow) were provided to AMEC by IOL. The logs were reviewed to assess the soil conditions on site prior to carrying out the geotechnical investigation. This letter report presents the results of the site investigation and provides geotechnical recommendations for the proposed development.

2.0 SITE DESCRIPTION

The site is located on the southeast corner of Granville Street and West 41st Avenue in Vancouver BC (see Figure 1). At the time of the fieldwork, the station was in operation as an ESSO gas station. Residential developments bound the site to the south and east. The site was covered with asphalt pavement or concrete slabs except for landscaped areas in the northwest corner, between the driveways on Granville Street and West 41 Avenue, and along the east property line.

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Existing structures on the site included a convenience store and carwash at the east end of the site, three pump islands with canopies near the center, the north end, and the south end of the site. Site grades were generally flat and level, with a gentle downslope from the east to west.

3.0 SITE INVESTIGATION

The geotechnical fieldwork for the site investigation comprised drilling four solid-stem auger boreholes (BHs 02-01 to 02-04). The work was carried out on 6 May 2002 with a truck-mounted auger drill-rig operated by Dynamic Drilling Ltd. The boreholes extended to depths ranging from 3.0 to 4.5 m below existing site grade. The subsurface exploration was monitored by a representative of AMEC, who located the test borings, classified the soils encountered, maintained a log of each borehole, recorded groundwater seepage conditions and observed pertinent site features. Representative soil samples were collected for visual classification and moisture content testing in AMEC's soils laboratory.

In addition, a Dynamic Cone Penetration Test (DCPT) was conducted adjacent to each borehole. The DCPT cone is similar in size and shape to the Standard Penetration Test (SPT) split spoon sampler and is driven into the ground with the same hammer energy. The DCPT blow counts are approximately equivalent to the SPT N-values and are utilized to assess the relative density of granular soils.

4.0 SOIL AND GROUNDWATER CONDITIONS

The results of the geotechnical investigation and laboratory testing are shown on the borehole logs attached to this letter. The detailed soil descriptions on the logs should be referred to in preference to the generalized descriptions provided below.

The encountered soil conditions below 50 to 65 mm of asphalt pavement consisted of fills underlain by dense to very dense till-like sand. Descriptions of the fills and the native stratigraphic units in their order (top to bottom) are provided below:

Fill Fill was encountered at all borehole locations below the asphalt pavement and typically consisted of two types. The upper fills typically consisted of grey, compact to dense sand with minor gravel and silt contents and the thickness varied from 0.8 to 1.5 m. The lower fills were 0.6 to 1.0 m thick and predominately comprised brown, loose to compact sand with minor silt and gravel contents. Isolated pieces of construction and woody debris were encountered in the lower fills.

Till-like Sand A very dense 'till-like' sand deposit with minor silt and gravel contents was encountered below the Fill. The layer was encountered at 1.5 to 2.3 m depths. All boreholes were terminated within this deposit.

Draft copies of the Morrow borehole logs and borehole location plan are attached, which indicated similar fill composition and thicknesses overlying native soil. The composition of the native soils were generally described with a large range of particle sizes, which is typical for till-like soils. It is judged that the significant density variation in the native soils noted on the Morrow logs is due to the vibro-sonic drilling technique, which should not be used to assess soil density.

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Page 2

No seepage was observed into the open boreholes by the AMEC representative upon drilling completion. However, the water level was measured in standpipe piezometers MW00-08 and MW00-10 installed by Morrow at 3.3 m and 4.9 m depth, respectively. No water was present in MW00-08 at the time of AMEC's investigation. This is generally consistent with water levels measured by Morrow in April 2001, which were between 3 and 5 m depth at 12 locations and not recorded at 4 locations. The water level variations could be due to perched water trapped above relatively impermeable discontinuous zones. Higher water levels may be encountered due to seasonal fluctuations.

5.0 RECOMMENDATIONS

5.1 General

The proposed structures could be supported on conventional spread footings founded directly on the very dense till-like soil or on structural fill with the grade supported slabs. The results of the AMEC 2002 and Morrow 2000 investigations indicated that the lower zone of the fill being of lesser quality than the upper zone. It is possible that the quality of the lower fill zone varies between test hole locations and may be worse (or better) below the proposed structures. Subexcavations below the proposed footing locations could be carried out during construction to assess the quality of the fill and to confirm that the proposed footings would be underlain by a sufficient thickness of suitable fill. However, considering the quality of the lower fill zone encountered at the test hole locations and the depth to the till-like soil, it is recommended that the lower fill zone be subexcavated and replaced with structural fill placed directly on the very dense till-like deposit. Detailed recommendations are presented in the following sub-sections.

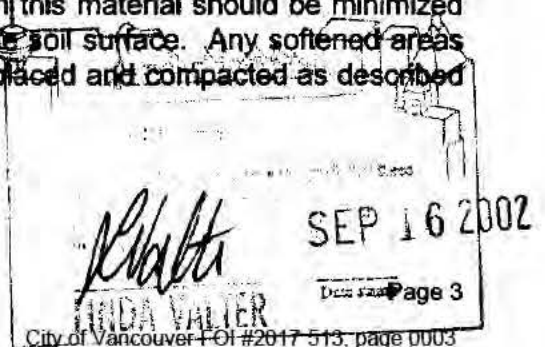
5.2 Site Preparation

Following demolition and removal of existing structures and pavement, any vegetation, debris and organic soils including buried topsoil should be stripped to expose an inorganic subgrade comprised of compact to dense sand fills. Subexcavation should be carried out at footing locations to expose dense to very dense 'till-like' soil, which should be encountered at 1.5 to 2.3 m depths based on the results of the site investigations.

Restoration and raising of site grades should be achieved by placement of structural fill consisting of inorganic, well-graded sand or sand and gravel with less than 10% fines content (particles smaller than 80 µm). The site investigation results indicated that it should be possible to reuse the upper fill zone material as structural fill, which should be confirmed during construction. The structural fill should be placed in maximum 300 mm thick lifts and compacted to at least 95% Modified Proctor maximum dry density (MPMDD) in accordance with ASTM D-1557.

The native till-like soil may be sensitive to moisture softening when exposed to surface water and construction disturbance. Thus, construction activity on this material should be minimized during wet weather to avoid softening and disturbance of the soil surface. Any softened areas should be sub-excavated and substituted with structural fill placed and compacted as described above.

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5.3 Temporary Excavations

It is anticipated that temporary excavations required for installation of underground fuel tanks and construction of canopy footings will be approximately 4 and 2 m deep, respectively. Based on the soil conditions described in Section 4.0, the excavations will advance through granular fills and into dense till-like sand soils. As a preliminary recommendation, temporary cut slopes in granular fills and till-like sands should be sloped no steeper than 1.5H:1V and ¾H:1V, respectively, which should be confirmed by the geotechnical engineer during construction. Excavation slopes as described above are shown on the attached tank excavation plan (Figure 2).

Significant seepage or surcharge loads near the crest of the excavations may require flatter temporary slopes. Steeper slopes may be feasible subject to review by the geotechnical engineer. All excavation work should be in conformance with the WCB¹ Occupational Health and Safety Regulation.

Some perched water and seepage should be anticipated into the excavations. It is expected that this may be controllable using sumps and pumps.

5.4 Foundations

Footings for the proposed structures could be founded on dense to very dense till-like soil or structural fill placed directly on this soil deposit. It is recommended that footings bearing upon the above soils be designed for a maximum allowable bearing pressure of 125 kPa. If required, a higher maximum allowable bearing pressure could be provided for footings founded on the till-like deposit. Minimum footing widths of 450 and 600 mm are recommended for strip and pad footings, respectively. All footings should be founded a minimum 450 mm below adjacent exterior site grade for frost protection.

For footings designed and constructed as outlined above, it is estimated that total post construction settlements will be less than 25 mm.

5.5 Slabs-on-Grade

Slabs could be grade supported on minimum 150 mm of well-graded granular fill with less than 5% fines content, which should be compacted to a minimum of 95% MPMDD.

5.6 Permanent Drainage

A perimeter drainage system constructed at the convenience store could consist of 100 mm diameter perforated drain pipe surrounded by a minimum 100 mm of drain rock wrapped in a non-woven geosynthetic filter fabric to reduce migration of soil particles into the drainage system. The perimeter drainage system should be designed to direct water by gravity flow to a permanent storm disposal system.

A perimeter drainage system may be omitted if the slab elevation is more than 200 mm above adjacent exterior site grades and adjacent areas are paved with grades facilitating surface water flow away from the building.

¹ Workers' Compensation Board of British Columbia: Industrial Health & Safety Regulations.



5.7 Pavement

Based on the encountered soil conditions and the site preparation recommended in Section 5.2, it is anticipated that the pavement subgrade will comprise existing granular fill or structural fill placed and compacted as outlined in Section 5.2. It is recommended that subgrade areas be compacted with a heavy vibratory compactor prior to placement of the pavement structure. Any soft and wet areas observed should be subexcavated and substituted with structural fill placed and compacted in conformance with recommendations in Section 5.2.

For traffic consisting of primarily light vehicles and occasional fuel trucks, the following pavement structure is recommended above the described subgrade:

75 mm	Asphaltic concrete
100 mm	20 mm minus crushed granular base course
200 mm	75 mm minus pit run sand and gravel subbase course

The base and subbase courses should be compacted to minimum 95% MPMDD. Suitable gradations of the base and subbase course are provided in Master Municipal Construction Documents (MMCD).

5.8 Seismic Considerations

Based on a design earthquake (1:475 year) exerting a firm ground peak horizontal acceleration of 0.21 g, the soil conditions at the subject site are considered to be non-liquefiable.

The soil conditions at the subject property would be classified as a Category 1 soil condition site having a foundation factor F of 1.0, in accordance with Subsection 4.1.9.1 of the NBCC.

5.9 Methane Generation

Based on the encountered soil conditions and the site preparation recommended in Section 5.2, the proposed building will be underlain by inorganic materials. Thus, no methane generation is anticipated below the building footprint and no methane ventilation system is required below the slab.

6.0 CLOSURE

The findings and recommendations presented herein were based on existing information and the subsurface conditions observed at the borehole locations. Should conditions encountered during construction appear to be different, AMEC Earth & Environmental Limited should be advised immediately and the recommendations contained herein should be revised, if necessary. Furthermore, recommendations presented herein may be invalid if an adequate level of review or inspection is not provided during construction.

This report has been prepared for the exclusive use of IOL and their appointed consultants for specific application to the subject site described within this letter. Any use which a third party makes of this letter, or any reliance on or decisions made based on it, are the responsibility of such third parties. AMEC accepts no responsibility for damages, suffered by any third party as a result of decisions made or actions based on this letter. It has been prepared in accordance

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VG-07404

Walt
SEP 16 2002
Page 5
City of Vancouver, EOI #2017-513, page 0005



with generally accepted soil and foundation engineering practices. No other warranty, expressed or implied, is made.

Respectfully submitted,

AMEC Earth & Environmental Limited

Reviewed by:

John C. Richmond, E.I.T, G.I.T.
Geotechnical Engineer

John Laxdal, P.Eng.
Senior Geotechnical Engineer

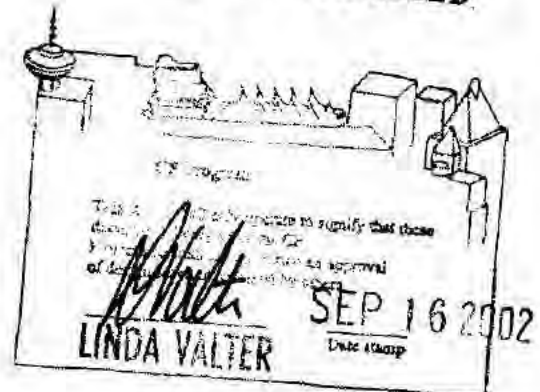

Henrik Kristiansen, P.Eng.
Geotechnical Project Manager

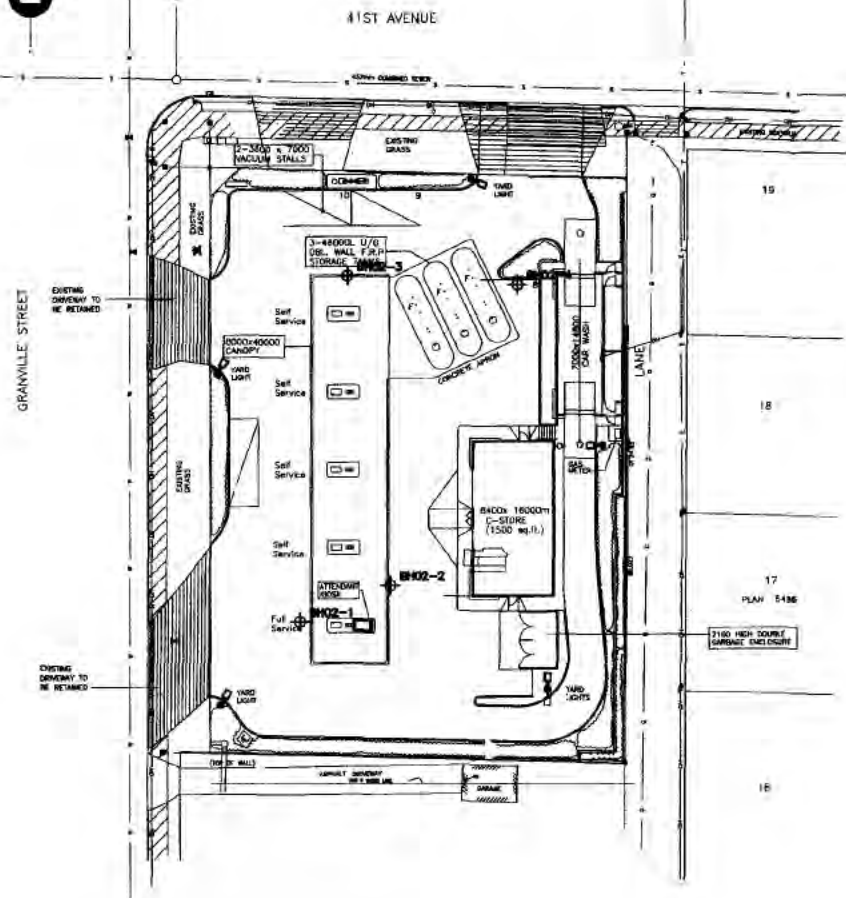


- Attachments
- Figure 1 - Site Plan
 - Figure 2 - Fuel Storage Tank Excavation
 - AMEC borehole logs (4)
 - Morrow site plan and borehole logs (18)

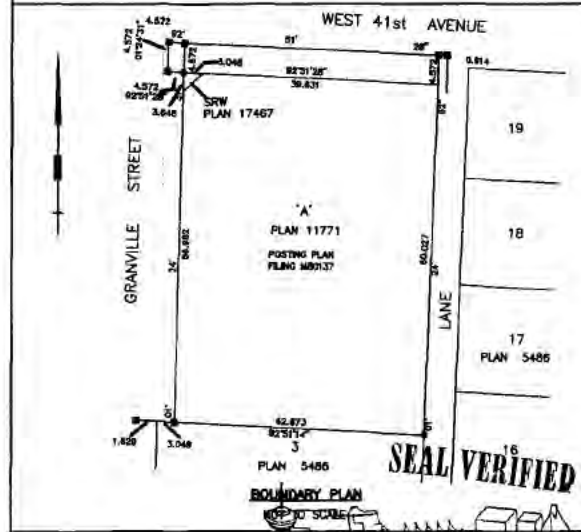
Cc: AMEC E&C Halifax
Attn.: Mr. Leo Brooks

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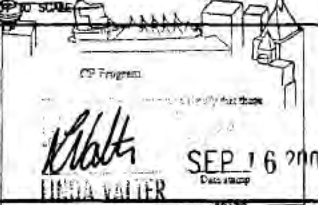




KEY PLAN
NOT TO SCALE



BOUNDARY PLAN
NOT TO SCALE



NOTES:
BASEPLAN PROVIDED BY IMPERIAL OIL LIMITED, DATED 28/12/01, DRAWING NUMBER 99A0879-02P.

APPROXIMATE BOREHOLE LOCATION



AMEC Earth & Environmental Limited
2227 Douglas Road
Burnaby, B.C.
V5C 5A9
Tel. 294-3811
Fax. 294-4964

Client
IMPERIAL OIL LIMITED

DWN BY: SM
CHKD BY: HK
APP: HK
SCALE: AS SHOWN

GEOTECHNICAL SITE ASSESSMENT
ESSO STATION
41st AND GRANVILLE, VANCOUVER, B.C.

SITE PLAN

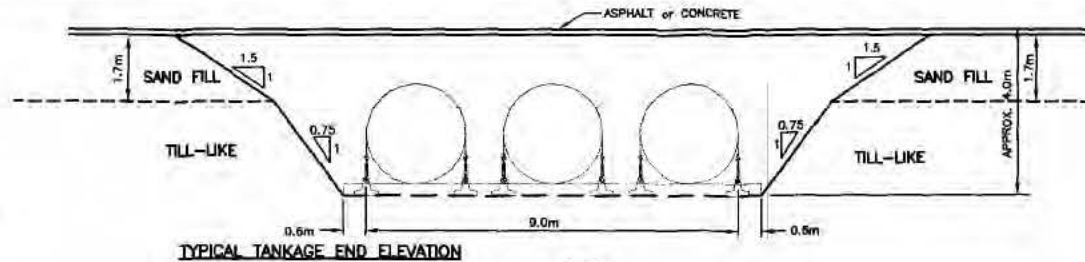
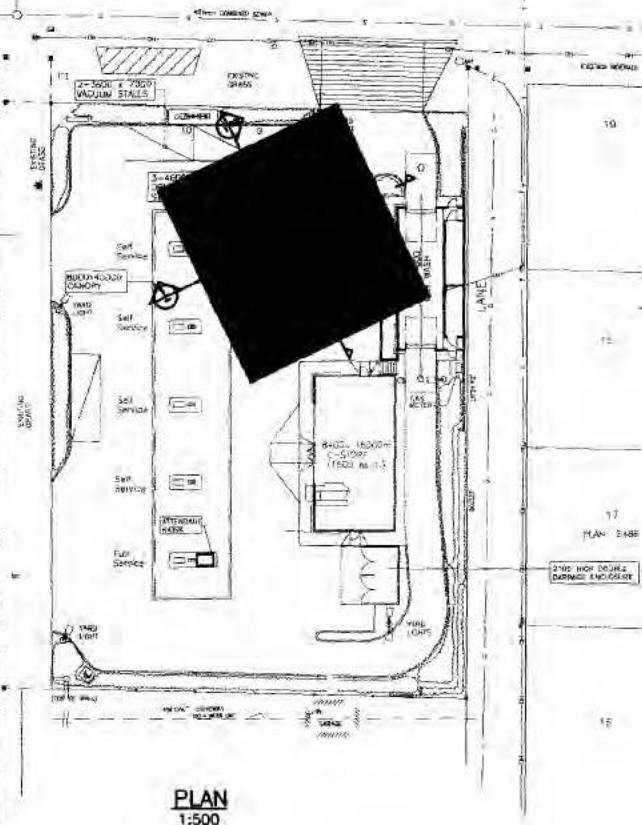
DATE: 4 JUNE 2002
PROJECT NO.: VG07404
REV. NO.:
FIGURE NO.:
FIGURE 1

City of Vancouver FOI #2017-613, page 0007

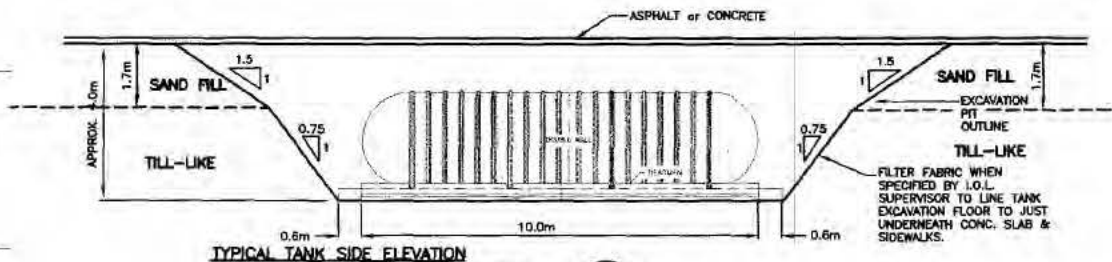
GRANVILLE STREET

City of Vancouver FOI #2017-53 Page 0008

41ST AVENUE



SECTION 1
1:125



SECTION 2
1:125

NOTES:

1. THIS DRAWING SHALL BE USED FOR CONSTRUCTION OF TEMPORARY TANK EXCAVATION ONLY. FOR OTHER DETAILS SHOWN ON THIS DRAWING, SEE DWG. 99A0879-02P BY IMPERIAL OIL LIMITED, DATED 28/12/01.
2. TEMPORARY EXCAVATION DESIGN FOR INSTALLATION OF FUEL TANKS PREPARED BY AMEC EARTH & ENVIRONMENTAL LIMITED. TEL (604) 294-3811. FAX. (604) 294-4864. THE DESIGN IS BASED ON AMEC'S REPORT DATED 4 JUNE 2002.
3. THE SHOWN EXCAVATION SLOPES ARE PRELIMINARY AND SHALL BE REVIEWED BY AMEC PRIOR TO WORKER ENTRY.
4. ALL EXCAVATION WORKS TO CONFORM TO WCB REQUIREMENTS.
5. FLATTER EXCAVATION SLOPES MAY BE REQUIRED IF SIGNIFICANT SEEPAGE OBSERVED, WHICH WILL BE ASSESSED BY AMEC DURING THE EXCAVATION PERIOD.
6. STEEPER SLOPES MAY BE FEASIBLE IF EXCAVATION IN SLOTS IS CARRIED OUT. SLOT DIMENSIONS SHALL BE ASSESSED BY AMEC.

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CE Design

Linda Valter

LINDA VALTER

SEP 16 2002

Date stamp

BASEPLAN PROVIDED BY IMPERIAL OIL LIMITED, DATED 28/12/01, DRAWING NUMBER 99A0879-02P.



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 Burnaby, B.C.
 V5C 5A9
 Tel. 294-3811
 Fax. 294-4864

DWN BY: SM
 CKTD BY: HK
 APP: HK
 SCALE: AS SHOWN

Client

IMPERIAL OIL LIMITED

GEOTECHNICAL SITE ASSESSMENT
 ESSO STATION
 41st AND GRANVILLE, VANCOUVER, B.C.

FUEL STORAGE TANK EXCAVATION

DATE: 4 JUNE 2002

PROJECT NO: VG07404

REV. NO.:

FIGURE No: FIGURE 2

BOREHOLE BH02-1

BOREHOLE BH02-1						Su (kPa)					
DEPTH (m)	SPT BLOWS PER 0.3 m	% Fines < No. 200	SAMPLE TYPE AND NUMBER	SYMBOL	STARTED: 06/05/2002	FINISHED: 06/05/2002	FIELD VANE P PEN/2 ◉ PEAK ▲ REMOULDED Δ				
					DRILLING METHOD: Solid Stem Auger		SPT N ● DCPT N ◆ Blows/0.3 m				
BOREHOLE LOCATION: Located immediately south of concrete pad under centre canopy					WELL INSTALLATION DETAILS			W _p % X W% X			
DEPTH					DESCRIPTION OF MATERIALS				10 30 50 70 90		
1			✎	●	0.8	SAND, trace to some gravel, trace to some silt, compact to dense, brown, moist. (Fill). Asphalt cover 51mm thick				○	◆
			✎	●	1.2	SAND, trace to some gravel, trace to some silt, trace fine organics, compact, dark brown, moist. (Fill)				○	◆
			✎	●	1.8	SAND, trace gravel, trace silt, compact, rusty brown, moist. (Fill).				○	◆
2			✎	●	1.8	SAND, some silt, trace gravel, trace cobbles, very dense, tan, damp. (Till-like).				○	◆
3			✎	●	3.0	END OF HOLE at 3.0m at planned depth. No seepage observed upon completion of drilling.				○	◆
4											
5											

N-GEO-CONVERT-NO COORDS VG7404.GPJ ALL-1.GDT 8/4/02



AMEC Earth & Environmental Limited
2227 Douglas Road
Burnaby, B.C. V5C 5A9

PROJECT NO.: VG7404

PROJECT: ESSO Station Re-build

LOCATION: 5702 Granville St, Vancouver, BC

LOGGED BY: TR

REVIEWED BY: HK

SHEET 1 OF 1

BOREHOLE No. BH02-1

BOREHOLE BH02-2

Su (kPa)

20 60 100 140 180

FIELD VANE P PEN/2 ⊙

PEAK ▲

REMOULDED Δ

● SPT N ◆ DCPT N
Blows/0.3 m

W_p% W% W_L%
10 X 30 50 70 X 90

DEPTH (m)	SPT BLOWS PER 0.3 m	% Fines < No. 200	SAMPLE TYPE AND NUMBER	SYMBOL	STARTED: 05/06/2002 FINISHED: 05/06/2002	WELL INSTALLATION DETAILS
					DRILLING METHOD: Solid Stem Auger	
					BOREHOLE LOCATION: Located at southwest corner of existing convenience store	
					DEPTH	DESCRIPTION OF MATERIALS
1			Hand	Hand	<p>SAND, trace to some gravel, trace silt, compact to dense, grey, damp. (Fill). Asphalt cover 64mm thick</p> <p>- Debris (old rubber hose and electrical wire) encountered at 0.8m - Loose to compact below 0.8 m.</p>	
2			Hand	Hand	<p>1.5</p> <p>SAND, trace to some gravel, trace silt, isolated debris fragments (asphalt), loose, rusty brown, damp. (Fill).</p>	
3			Hand	Hand	<p>2.3</p> <p>SAND, trace to some silt, trace gravel, very dense, tan, damp. (Till-like). Hit cobble at 2.3m. Moved west 0.6m and augered new hole.</p>	
4			Hand	Hand	<p>Colour turns from tan to grey at 3.0m</p>	
5					<p>4.6</p> <p>END OF HOLE at 4.6 m at planned depth. No seepage observed upon completion of drilling.</p>	

N-GEO-CONVERT-NO COORDS VG7404.GPJ ALL-1.GDT 8/4/02



AMEC Earth & Environmental Limited
2227 Douglas Road
Burnaby, B.C. V5C 5A9

PROJECT NO.: VG7404	
PROJECT: ESSO Station Re-build	
LOCATION: 5702 Granville St, Vancouver, BC	
LOGGED BY: TR	REVIEWED BY: HK
SHEET 1 OF 1 BOREHOLE No. BH02-2	

BOREHOLE BH02-3

Su (kPa)

20 60 100 140 180

DEPTH (m)	SPT BLOWS PER 0.3 m	% Fines < No. 200	SAMPLE TYPE AND NUMBER	SYMBOL	DESCRIPTION OF MATERIALS	WELL INSTALLATION DETAILS	FIELD VANE P PEN/2 PEAK ▲ REMOULDED Δ
					STARTED: 06/05/2002 FINISHED: 06/05/2002		
					DRILLING METHOD: Solid Stem Auger		
					BOREHOLE LOCATION: Located immediately north of the concrete pad under centre canopy		
					DEPTH	● SPT N ◆ DCPT N Blows/0.3 m W _p % W% W _i % X ○ X	
1				Hand icon	SAND, trace to some gravel, trace silt, very dense, grey, damp. (Fill). Asphalt cover 64mm thick - Gravel content increases to gravelly between 0.8m and 0.9m - Debris (wood pieces, orange soil) encountered at 0.9m		○
2				Hand icon	SAND, trace gravel, trace silt, compact, dark brown, damp. (Fill). - Isolated cobbles at 1.5m		○
3				Hand icon	SAND, trace to some silt, trace gravel, very dense, tan, damp. (Till-like). - Colour turned from tan to grey at 2.4m		○
4				Hand icon			○
5				Hand icon	END OF HOLE at 4.6m at planned depth. No seepage observed upon completion of drilling. Water level reading from nearby monitoring well MW00-10 at 4.9m.		○

N-GEO-CONVERT-NO COORDS VG7404.GPJ ALL-1.GDT 6/4/02



AMEC Earth & Environmental Limited
 2227 Douglas Road
 Burnaby, B.C. V5C 5A9

PROJECT NO.: VG7404
 PROJECT: ESSO Station Re-build
 LOCATION: 5702 Granville St, Vancouver, BC
 LOGGED BY: TR REVIEWED BY: HK
 SHEET 1 OF 1 BOREHOLE No. BH02-3

BOREHOLE BH02-4

BOREHOLE BH02-4					Su (kPa)							
DEPTH (m)	SPT BLOWS PER 0.3 m	% Fines < No. 200	SAMPLE TYPE AND NUMBER	SYMBOL	STARTED: 06/05/2002 FINISHED: 06/05/2002							
					DRILLING METHOD: Solid Stem Auger							
BOREHOLE LOCATION: Located immediately east of the concrete pad under north canopy					WELL INSTALLATION DETAILS							
DEPTH DESCRIPTION OF MATERIALS					FIELD VANE P PEN/2 ⊙ PEAK ▲ REMOULDED Δ							
					● SPT N ◆ DCPT N Blows/0.3 m							
					W _p % W% W _l %							
					10 30 50 70 90							
1				[Hand symbol]	0.9	SAND, trace to some gravel, trace silt, very dense over compact, grey, damp. (Fill). Asphalt cover 64mm thick						
				[Hand symbol]		- Colour becomes dark brown, gravel content increases slightly						
					[Hand symbol]	1.5	SAND, trace gravel, trace silt, compact, rusty brown, damp. (Fill).					
					[Hand symbol]		- Occasional cobbles below 1.4m					
					[Hand symbol]	1.5	SAND, trace silt, some gravel, very dense, grey, damp. (Till-like).					
2				[Hand symbol]								
				[Hand symbol]								
				[Hand symbol]								
3				[Hand symbol]								
				[Hand symbol]								
				[Hand symbol]								
4				[Hand symbol]								
				[Hand symbol]								
				[Hand symbol]								
				[Hand symbol]		- Some cobbles encountered at 3.7m						
5				[Hand symbol]								
				[Hand symbol]	4.6	- Gravel content decreases and, silt content increases below 4.3m						
						END OF HOLE at 4.6m at planned depth. No seepage observed upon completion of drilling. Water level reading from nearby monitoring well MW00-13 at 3.3m.						

N-GEO-CONVERT-NO COORDS VG7404.GPJ ALL-1.GDT 6/4/02



AMEC Earth & Environmental Limited
2227 Douglas Road
Burnaby, B.C. V5C 5A9

PROJECT NO.: VG7404
PROJECT: ESSO Station Re-build
LOCATION: 5702 Granville St, Vancouver, BC
LOGGED BY: TR **REVIEWED BY:** HK
SHEET 1 OF 1 **BOREHOLE No. BH02-4**

LEGEND

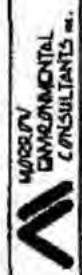
- ADJACENT PROPERTY DE
- 1/2" LAY LAC
- 3/4" PVC
- SWIRTY / SEND LAC
- WATER LAC
- ELECTRICAL
- TELEPHONE / FIBRE OPTIC LACS
- SANIT LAC
- SEWER LAC
- WOOD LACS
- UNDERGROUND STRUCTURES
- PUBLIC STRUCTURE
- LANDSCAPE WALL

NOTES

1. SOURCE OF EXISTING UTILITIES IN PLS 864-00A (DRAWING NO. 200325-00) DATED 05-21-07
2. ALL EXISTING UTILITIES AND PIPES ARE APPROXIMATE ONLY AND BASED ON INFORMATION PROVIDED TO M.C. OTHER UTILITIES MAY EXIST.

REVISIONS

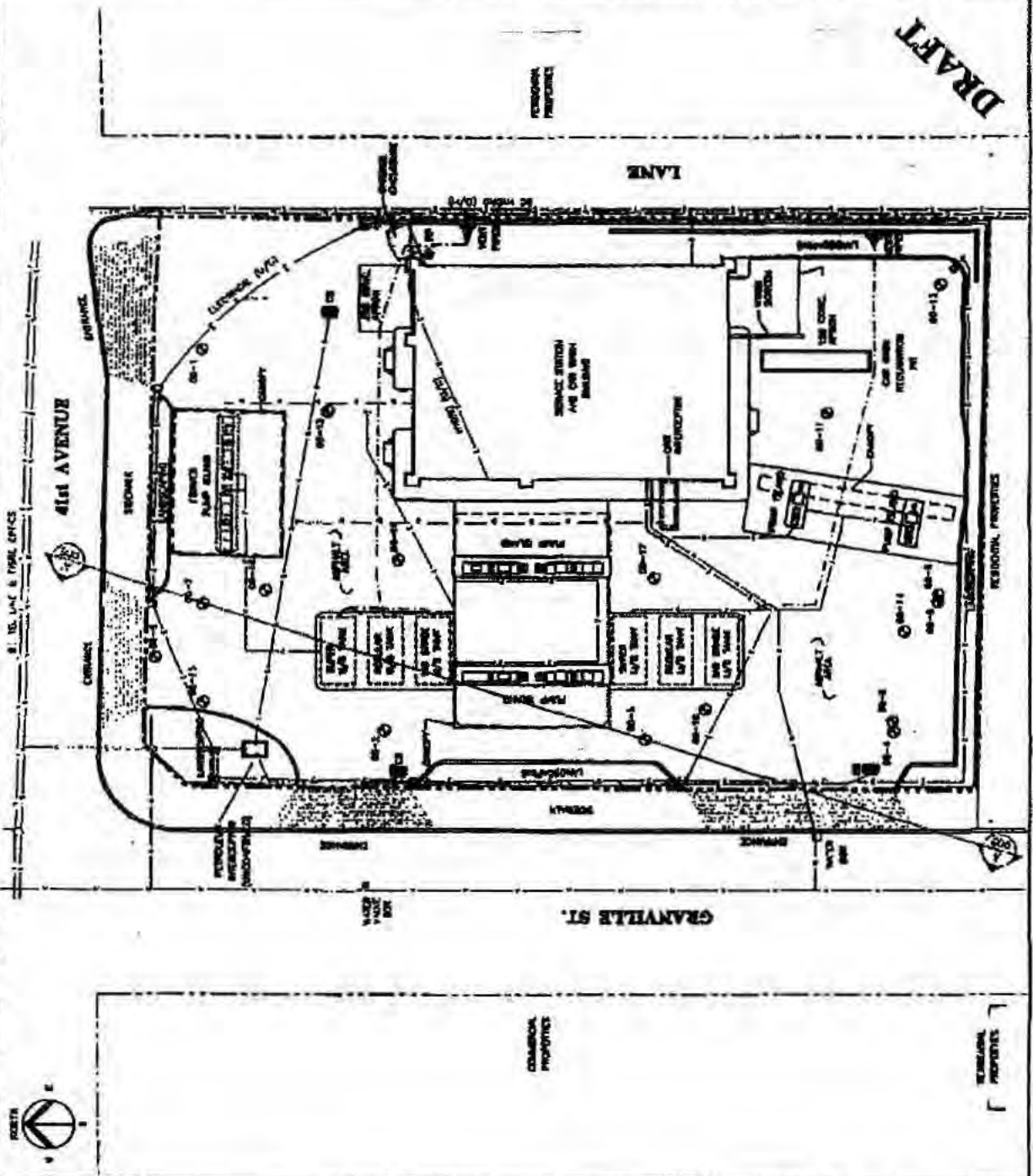
REV.	DATE	DESCRIPTION	BY	CHK
1	08-11-08	ISSUED TO CLIENT AS DRAFT	WAO	JAO
2	08-14-08	ISSUED TO CLIENT AS DRAFT	WAO	JAO



WAO PLAN ENVIRONMENTAL CONSULTANTS INC.
 2700 GRANVILLE STREET
 VANCOUVER, B.C.

SITE PLAN

DATE: 03/30/08
 DRAWN BY: WAO
 CHECKED BY: JAO
 SCALE: AS SHOWN
 SHEET NO. 1 OF 1
 PROJECT NO. 200325-00



DRAFT



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client:
Imperial Oil Limited

Borehole No. : 00-1

Location :

5702 Granville St., Vancouver, BC

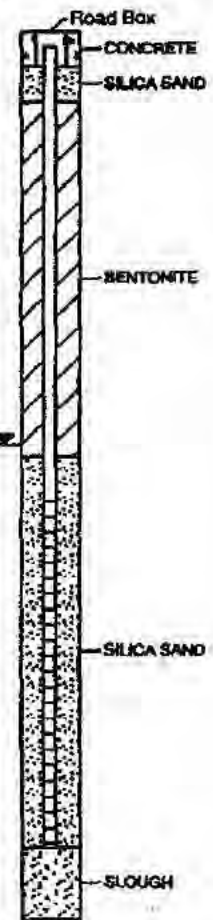
(Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd.
Drilling Method : Vibratory Sonic
Borehole Dia. (m) : 0.10
Pipe/Slotted Pipe Dia. (m): 0.06, 0.06

Date Water Lev. Meas. : 2001 04 28
Ground Surf Elev. (m) : 100.172
Top of Casing Elev. (m) : 100.06

Project Number : V0335
Borehole Logged By : TMM
Date Drilled : 2000 02 03
Log Typed By : NLS

Depth in Metres	Drilling Legend	Water/LPH Levels	Stratigraphy Plot	Sample Interval/ Core Run	Sample Number	Blow Count	% Recovery	Soil Vapour (% LEL)	Well Name 1: 00-1
	Sample Interval Core	Water Level 1 Water Level 2 LPH Level 1 LPH Level 2							
Soil Description									
0	ASPHALT.								
	SAND (FILL), fine to medium grained, poorly graded, subangular, dark brown, loose.				1-01				
1	SILT, sandy, trace clay, occasional gravel, coarse grained, yellowish brown, dense, wet.				1-02				
	Between 1.2 m and 1.5 m, no clay, medium dense.				1-03				
	Between 1.5 m and 1.8 m, trace clay.				1-04				
2	Between 1.8 m and 3.7 m, no clay.				1-05				
3	Between 2.7 m and 3.7 m, trace to some gravel, coarse grained, subangular, yellowish brown, dry.				1-06				
4	Between 3.7 m and 4.0 m, trace clay, dark brown to black, inclusions, wet.				1-07				
	At 4.1 m, 50 mm sand lense, medium grained, poorly graded, subangular, medium dense.				1-08				
	Between 4.3 m and 4.8 m to trace to some gravel and cobbles, coarse grained, subangular, medium dense.				1-09				
5	Between 4.8 m and 6.1 m, trace clay, medium dense.				1-10				
6	Between 6.1 m and 6.4 m, no clay, trace to some gravel and cobbles, coarse grained, subangular.				1-11				
7	At 6.7 m, yellowish brown, dense, wet.				DUP 1				
	Between 6.9 m and 7.0 m, grey, clump.								
	Between 7.0 m and 7.6 m, gravelly, trace silt, medium to coarse grained, subrounded.								
8	End of borehole at 7.6 m.								



DRAFT

Notes:
Sample DUP 1 is a blind field duplicate of sample 1-10.

Print Date: 2002 04 16, Data Updated: 2003 03 14



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client : Imperial Oil Limited
 Location : 5702 Granville St, Vancouver, BC

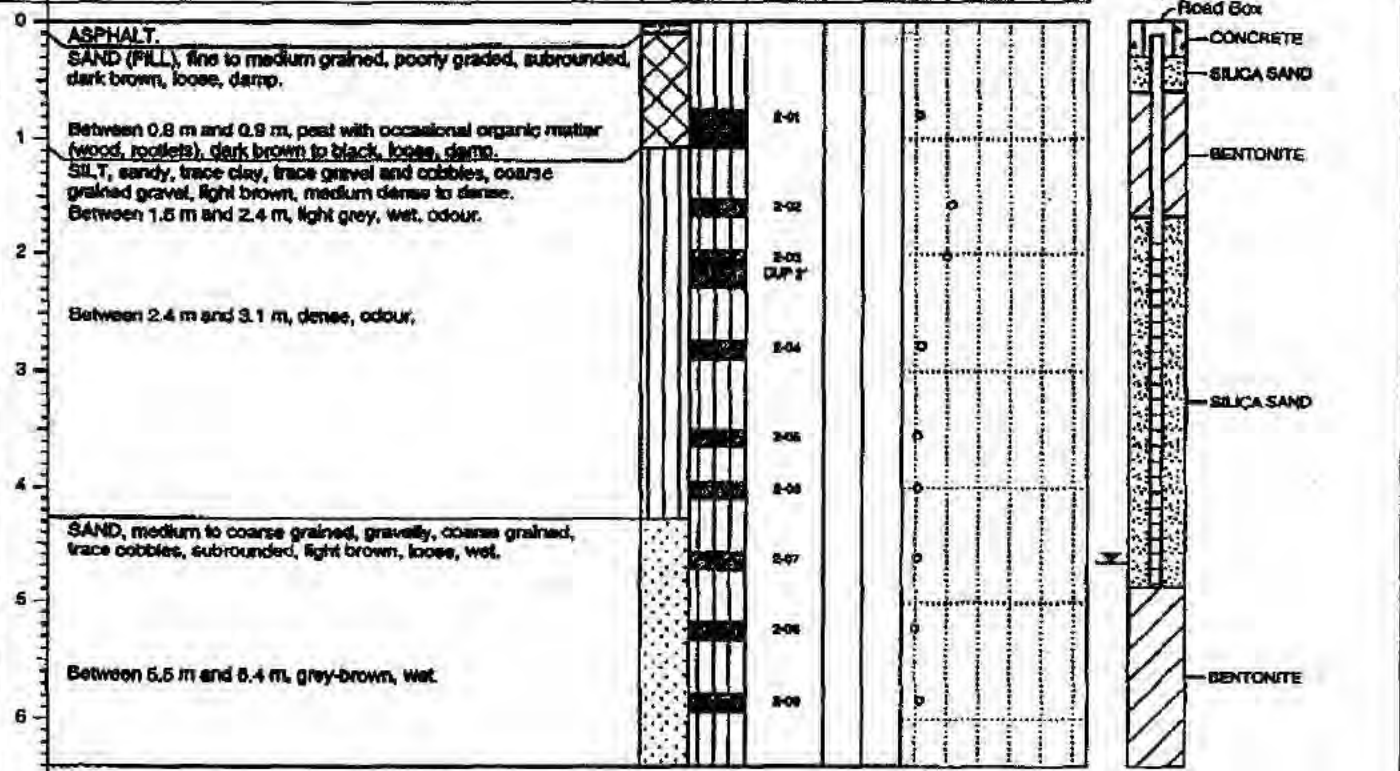
Borehole No. : 00-2
 (Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd.
 Drilling Method : Vibratory Sonic
 Borehole Dia. (m) : 0.10
 Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 26
 Ground Surf Elev. (m) : 89.202
 Top of Casing Elev. (m) : 89.178

Project Number : V8335
 Borehole Logged By : TMM
 Date Drilled : 2000 02 03
 Log Typed By : NLS

Depth in Metres	Drilling Legend	Water/LPH Levels	Stratigraphy Plot	Sample Interval Core Run	Sample Number	Blow Count	% Recovery	Soil Vapour (% LEL)	Solid PVC Slotted PVC
	■ Sample Interval □ Core	▽ Water Level 1 ▽ Water Level 2 ◆ LPH Level 1 ◇ LPH Level 2							Well Name 1 : 00-2



DRAFT

Notes:
 *Sample DUP 2 is a blind field duplicate of sample 2-03.

Print Date: 2002 04 10, Date Updated: 2002 03 14



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client:
Imperial Oil Limited

Location:
5702 Granville St., Vancouver, BC

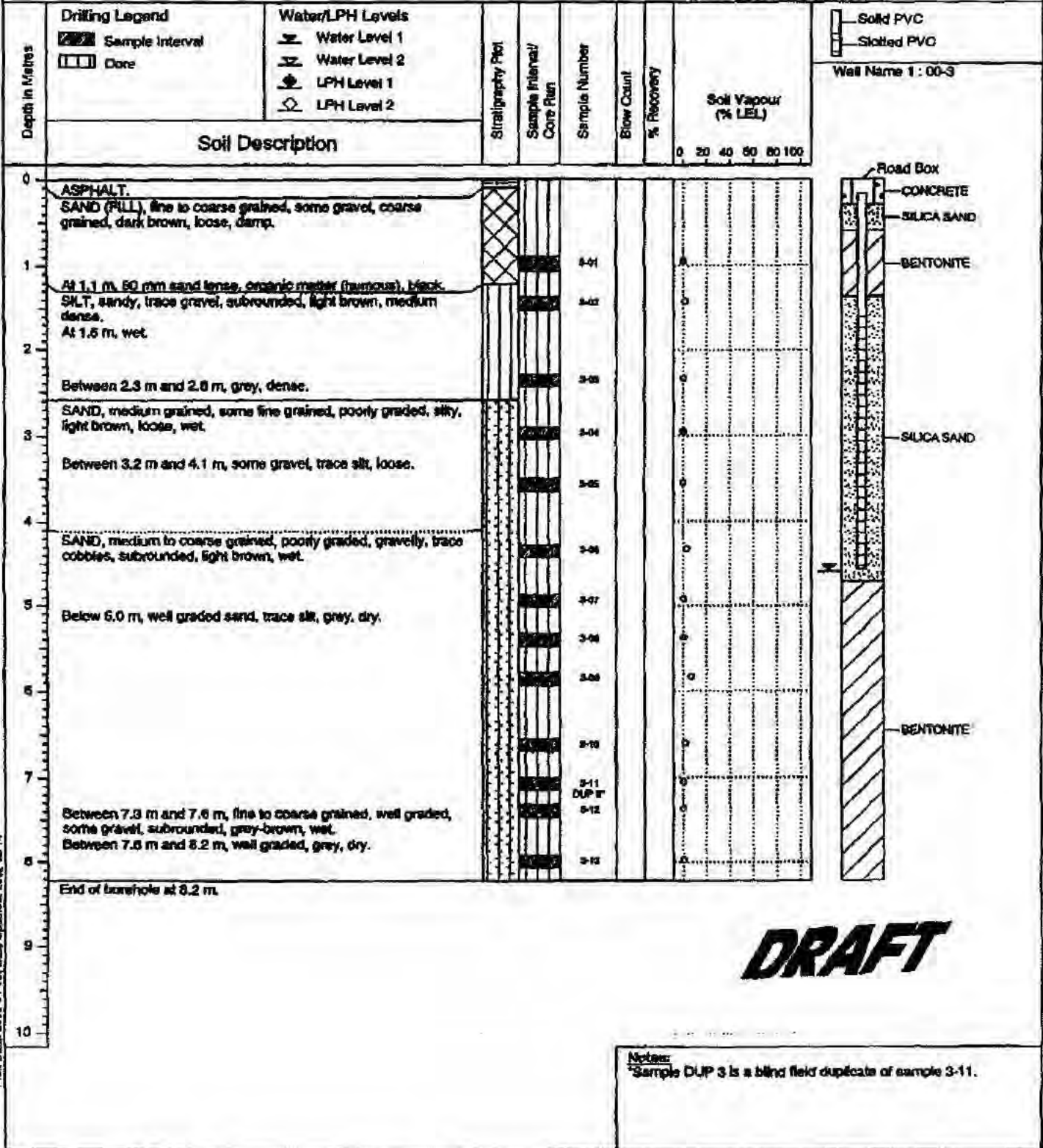
Borehole No. : 00-3

(Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd.
Drilling Method : Vibratory Sonic
Borehole Dia. (m) : 0.10
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 28
Ground Surf Elev. (m) : 96.985
Top of Casing Elev. (m) : 96.819

Project Number : V9335
Borehole Logged By : TMM
Date Drilled : 2000 02 03
Log Typed By : NLS



File Date: 2002 04 16, Date Updated: 2002 03 14



Client :
Imperial ON Limited

Borehole No. : 00-4

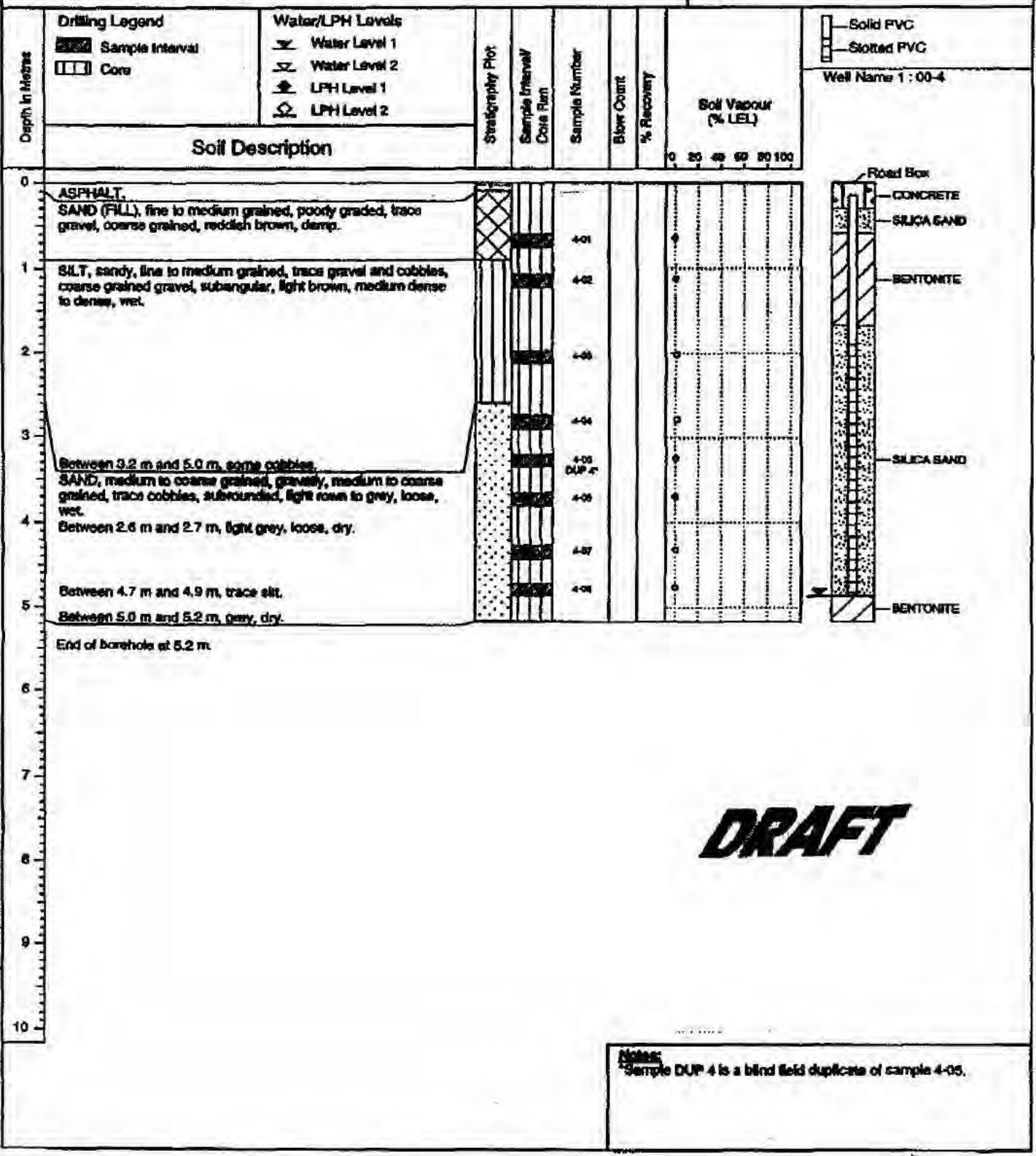
Location :
5702 Granville St., Vancouver, BC

(Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd.
Drilling Method : Vibratory Sonic
Borehole Dia. (m) : 0.10
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 26
Ground Surf Elev. (m) : 98.271
Top of Casing Elev. (m) : 98.126

Project Number : V6336
Borehole Logged By : TMM
Date Drilled : 2000 02 03
Log Typed By : NLS



DRAFT

Notes:
Sample DUP 4 is a blind field duplicate of sample 4-05.

Print Date: 2002 04 15, Date Updated: 2002 09 14



Client : Imperial Oil Limited

Borehole No. : 00-5

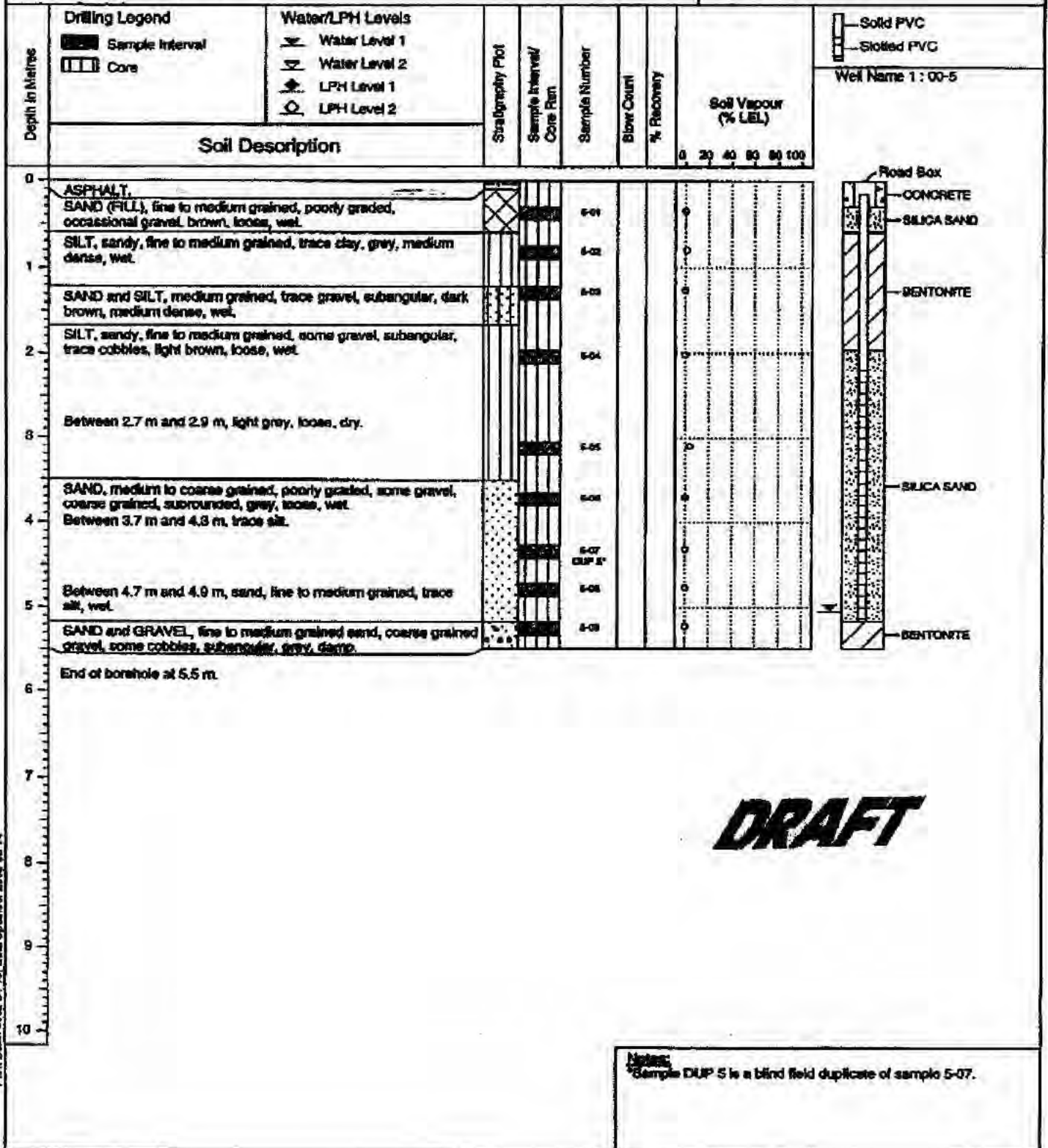
Location : 5702 Granville St., Vancouver, BC

(Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd.
Drilling Method : Vibratory Sonic
Borehole Dia. (m) : 0.10
Pipe/Slotted Pipe Dia. (m) : 0.05, 0.05

Date Water Lev. Meas. : 2001 04 28
Ground Surf Elev. (m) : 99.084
Top of Casing Elev. (m) : 98.83

Project Number : V9335
Borehole Logged By : TMM
Date Drilled : 2000 02 03
Log Typed By : NLS



DRAFT

Notes: Sample DUP 5 is a blind field duplicate of sample 5-07.

Print Date: 2002 04 18, Data Updated: 2002 02 14



Client :
Imperial Oil Limited
Location :
5702 Granville St., Vancouver, BC

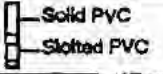
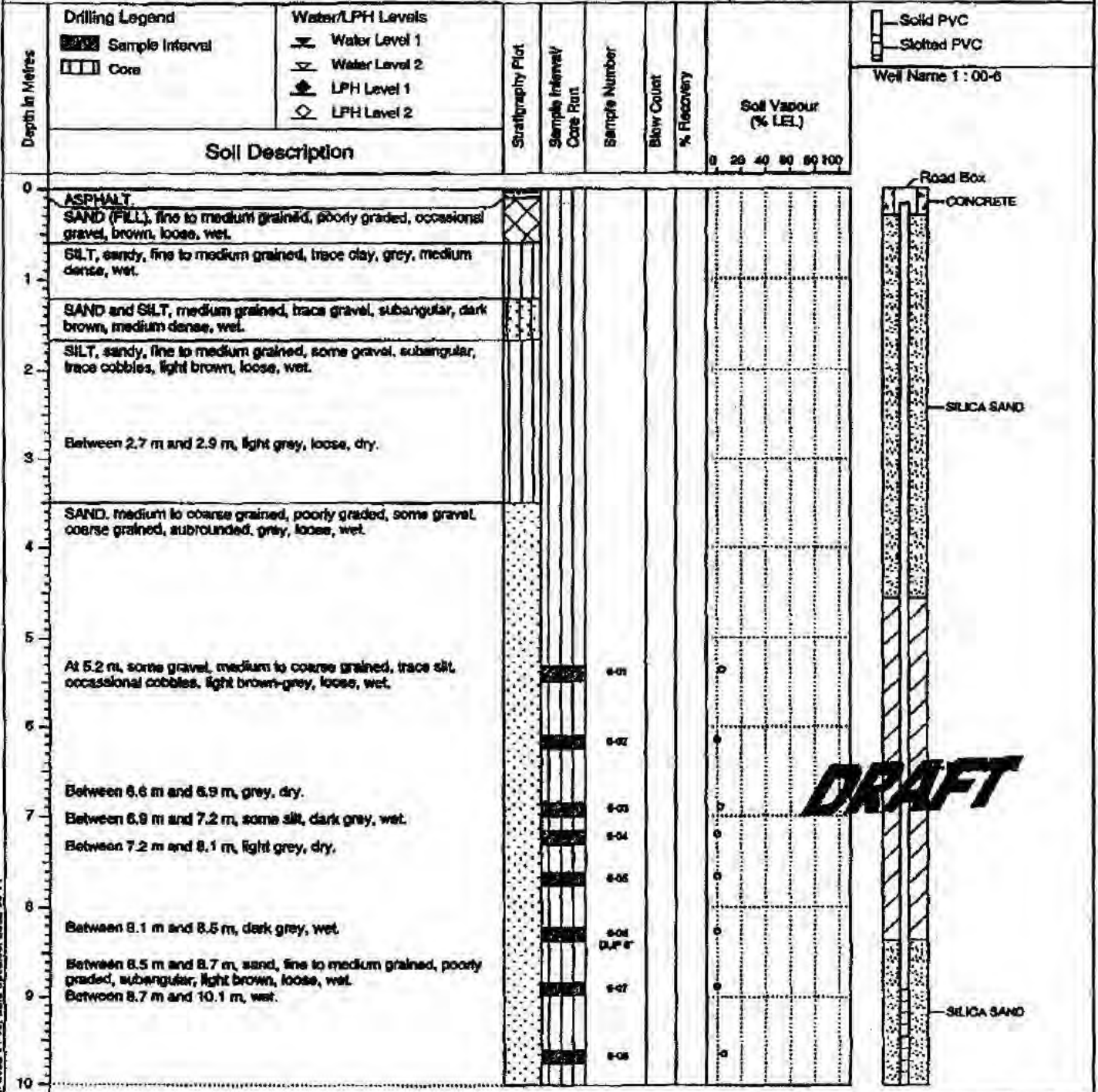
Borehole No. : 00-6

(Page 1 of 2)

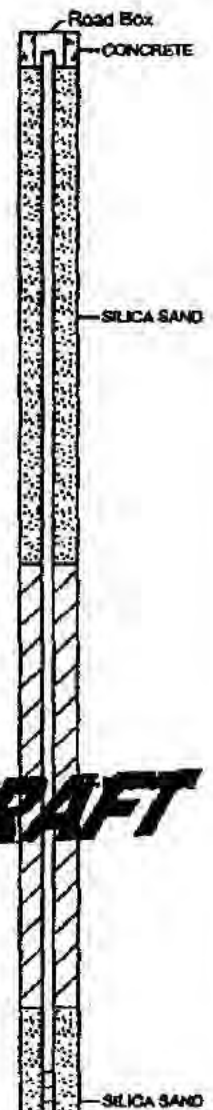
Drilling Contractor : Sonic Drilling Ltd.
Drilling Method : Vibratory Sonic
Borehole Dia. (m) : 0.10
Pipe/Slotted Pipe Dia. (m): 0.06, 0.06

Date Water Lev. Meas. : 2001 04 28
Ground Surf Elev. (m) : 99.048
Top of Casing Elev. (m) : 98.89

Project Number : V0335
Borehole Logged By : TMM
Date Drilled : 2000 02 04
Log Typed By : NLS



Well Name 1 : 00-6



DRAFT

...Continued

Notes:
Sample DUP 6 is a blind field duplicate of sample 6-06.

Print Date: 2002 04 16, Date Updated: 2002 03 14



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client :
Imperial Oil Limited

Borehole No. : 00-6

Location :
5702 Granville St., Vancouver, BC

(Page 2 of 2)

Drilling Contractor : Sonic Drilling Ltd.
Drilling Method : Vibratory Sonic
Borehole Dia. (m) : 0.10
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 28
Ground Surf Elev. (m) : 89.048
Top of Casing Elev. (m) : 88.89

Project Number : V9335
Borehole Logged By : TMM
Date Drilled : 2000 02 04
Log Typed By : NLS

Depth In Metres	Drilling Legend	Water/LPH Levels	Steatigraphy Plot	Sample Interval Core Run	Sample Number	Blow Count	% Recovery	Soil Vapour (% LEL)	<input type="checkbox"/> Solid PVC <input type="checkbox"/> Slotted PVC Well Name 1 : 00-5
	<input checked="" type="checkbox"/> Sample Interval <input type="checkbox"/> Core	<input type="checkbox"/> Water Level 1 <input type="checkbox"/> Water Level 2 <input type="checkbox"/> LPH Level 1 <input type="checkbox"/> LPH Level 2							0 20 40 60 80 100
Soil Description									

10	Between 10.1 m and 10.4 m, light gray, loose, dry.		6-8						
	Between 10.4 m and 11.0 m, dark grey, wet.		6-10						
11	Between 11.0 m to 11.7 m, light grey, dry.		6-11						

End of borehole at 11.7 m.



DRAFT

Notes:
Sample DUP 6 is a blind field duplicate of sample 6-06.

Print Date: 2002 04 16, Data Updated: 2002 08 14



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client:
Imperial Oil Limited

Location:
5702 Granville St., Vancouver, BC

Borehole No. : 00-7

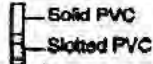
(Page 1 of 2)

Drilling Contractor: Sonic Drilling Ltd.
Drilling Method: Vibratory Sonic
Borehole Dia. (m): 0.10
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

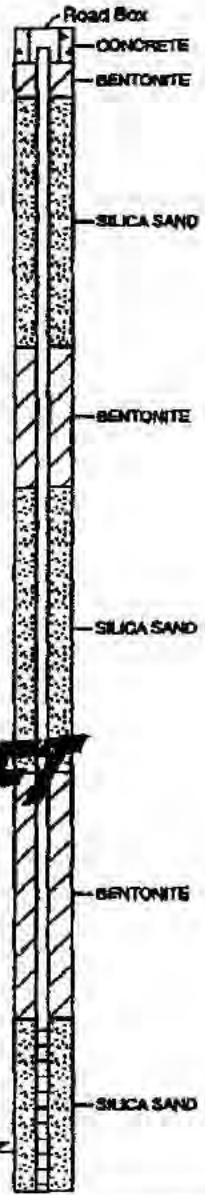
Date Water Lev. Meas.: 2001 04 26
Ground Surf Elev. (m): 99.898
Top of Casing Elev. (m): 99.741

Project Number: Y9336
Borehole Logged By: TMM
Date Drilled: 2000 02 04
Log Typed By: NLS

Depth in Meters	Drilling Legend	Water/LPH Levels	Stratigraphy Plot	Sample Interval/ Core Run	Sample Number	Blow Count	% Recovery	Soil Vapour (% LEL)	Well Name 1: 00-7
	[Pattern] Sample Interval [Pattern] Core	Water Level 1 Water Level 2 LPH Level 1 LPH Level 2							
0	ASPHALT. SAND (FILL), fine to coarse grained, well graded, trace gravel, dark reddish brown, loose, damp.								
1	SILT, some sand, fine grained, trace clay, grey, dense, wet. At 1.5 m, sandy, trace to some gravel, coarse grained, hydrocarbon-like odour to 2.7 m.								
2	Between 2.7 m and 4.0 m, dry.								
3	Between 2.7 m and 4.0 m, dry.								
4	SAND and SILT, fine to medium grained sand, trace gravel, coarse grained, dark grey, loose, wet.								
5	CLAY, silty, trace sand, fine grained, occasional gravel, coarse grained, dark grey, loose, wet.								
6	SAND and SILT, fine to medium grained sand, trace gravel, coarse grained, dark grey, loose, wet. At 5.9 m, wet.								
7	Between 6.9 m and 8.0 m, light grey, loose, dry.								
8	Between 8.0 m and 8.2 m, wet. Between 8.2 m and 8.7 m, dry.								
9	Between 8.7 m and 10.1 m, wet.								
10	Continued								



DRAFT



Notes:
Sample DUP 7 is a blind field duplicate of sample 7-17.

Print Date: 2002 04 16, Date Updated: 2002 03 14



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client:
Imperial Oil Limited

Borehole No. : 00-7

Location:

5702 Granville St., Vancouver, BC

(Page 2 of 2)

Drilling Contractor : Sonic Drilling Ltd.
Drilling Method : Vibratory Sonic
Borehole Dia. (m) : 0.10
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 26
Ground Surf Elev. (m) : 99.895
Top of Casing Elev. (m) : 99.741

Project Number : V9335
Borehole Logged By : TMM
Date Drilled : 2000 02 04
Log Typed By : NLS

Depth in Metres	Drilling Legend Sample Interval Core	Water/LPH Levels Water Level 1 Water Level 2 LPH Level 1 LPH Level 2	Stratigraphy Plot	Sample Interval Core Run	Sample Number	Blow Count	% Recovery	Solid PVC Slotted PVC Well Name 1 : 00-7
	Soil Description							

10				7-17 DUP 7				SILICA SAND BENTONITE
----	--	--	--	---------------	--	--	--	--------------------------

End of borehole at 10.7 m.



DRAFT

Notes:
Sample DUP 7 is a blind field duplicate of sample 7-17.

Print Date: 2002 04 16, Data Updated: 2002 03 14



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client :
Imperial Oil Limited

Location :
5702 Granville St., Vancouver, BC

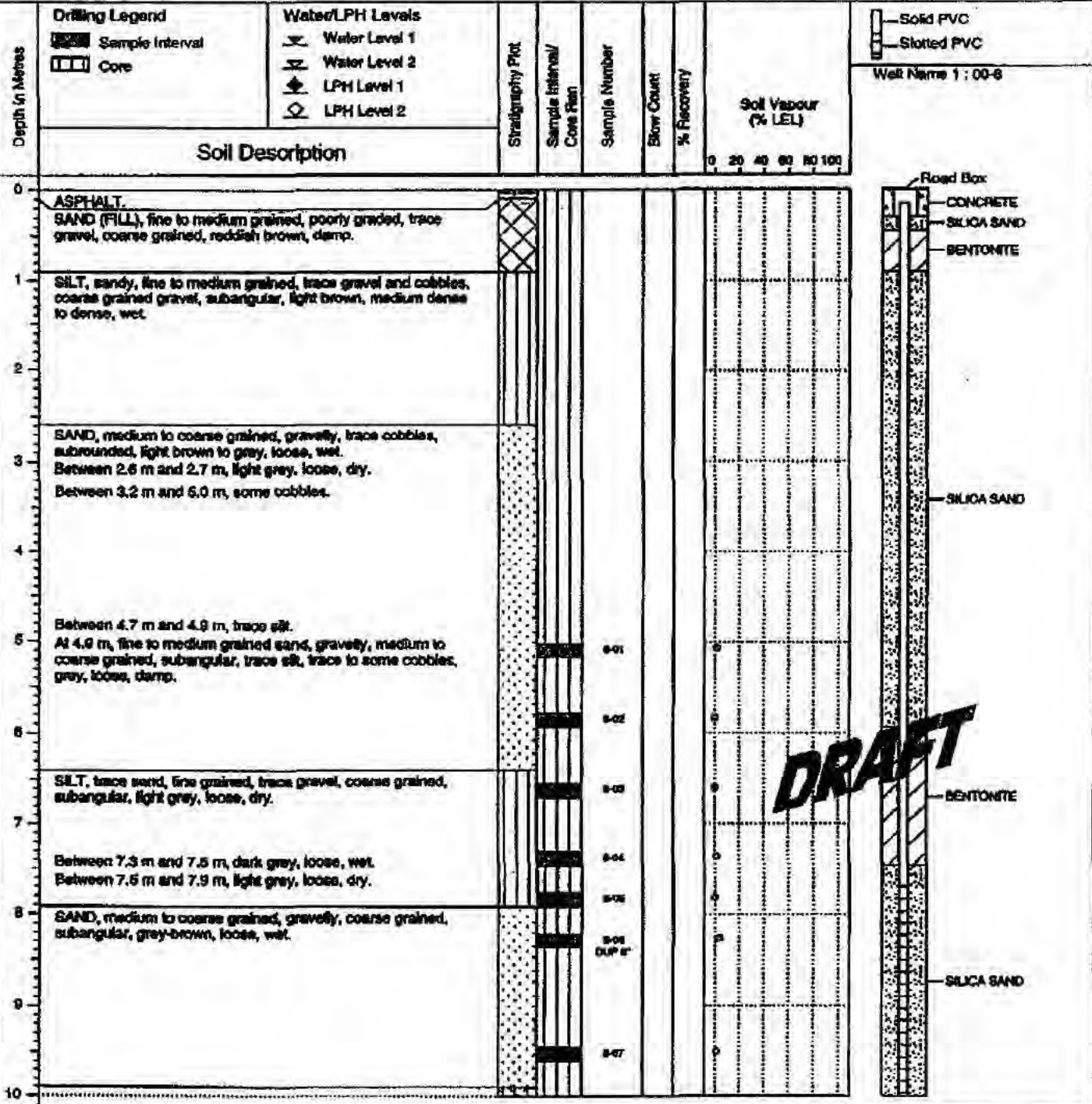
Borehole No. : 00-8

(Page 1 of 2)

Drilling Contractor : Sonic Drilling Ltd.
Drilling Method : Vibratory Sonic
Borehole Dia. (m) : 0.10
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 26
Ground Surf Elev. (m) : 95.958
Top of Casing Elev. (m) : 96.219

Project Number : V9335
Borehole Logged By : TMM
Date Drilled : 2000 02 04
Log Typed By : NLS



DRAFT

...Continued

Notes:
Sample DUP 6 is a blind field duplicate of sample 8-06.

P:\m Data\2002 04 18 Data Upload\2002 03 14



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client :
Imperial Oil Limited

Borehole No. : 00-8

Location :

5702 Granville St., Vancouver, BC

(Page 2 of 2)

Drilling Contractor : Sonic Drilling Ltd.
 Drilling Method : Vibratory Sonic
 Borehole Dia. (m) : 0.10
 Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 26
 Ground Surf Elev. (m) : 98.858
 Top of Casing Elev. (m) : 96.219

Project Number : V9935
 Borehole Logged By : TMM
 Date Drilled : 2000 02 04
 Log Typed By : NLS

Depth in Metres	Drilling Legend	Water/LPH Levels	Stratigraphy Plot	Sample Interval/ Core Run	Sample Number	Blow Count	% Recovery	Soil Vapour (% LEL)
	■■■ Sample Interval □□□ Core	✕ Water Level 1 ✕ Water Level 2 ◆ LPH Level 1 ◇ LPH Level 2						

— Solid PVC
 - - - Slotted PVC

Well Name 1 : 00-8

Soil Description

0 20 40 60 80 100

10
11
12
14
15
16
17
18
19
20

SAND, fine to medium grained, some silt, some gravel, fine to coarse grained, well graded, light brown-grey, loose, damp, dry in places.



— SILICA SAND
 - - - BENTONITE

End of borehole at 10.7 m.

DRAFT

Notes:
 *Sample DUP 8 is a blind field duplicate of sample 8-06.

P:\M Data\2002 04 16, Data Updated: 2002 03 14



MORROW ENVIRONMENTAL CONSULTANTS etc.

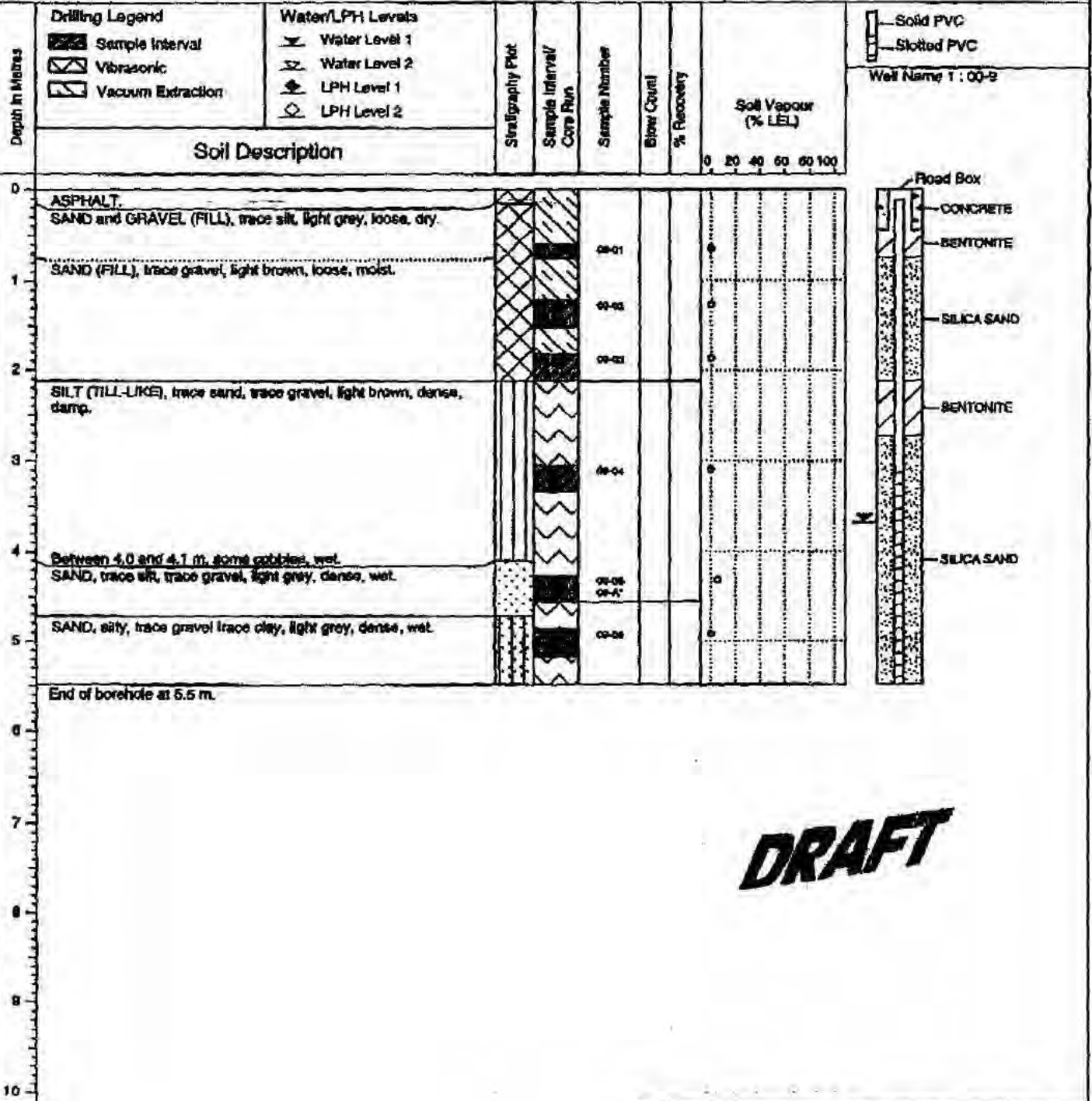
Client : Imperial Oil Limited
 Location : 6702 Granville St., Vancouver, BC

Borehole No. : 00-09
 (Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd.
 Drilling Method : Vibratory Sonic
 Borehole Dia. (m) : 0.25
 Pipe/Slotted Pipe Dia. (m): 0.05, 0.06

Date Water Lev. Meas. : 2001 04 26
 Ground Surf Elev. (m) : 99.735
 Top of Casing Elev. (m) : 99.62

Project Number : V9335
 Borehole Logged By : MRS
 Date Drilled : 2000 06 05
 Log Typed By : KLD



DRAFT

Notes:
 Daylighted to 2.1 m.
 *Sample 09-A is a duplicate of sample 09-05.

Print Date: 2002 04 16, Date Updated: 2003 03 14



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client : Imperial Oil Limited

Location : 5702 Granville St., Vancouver, BC

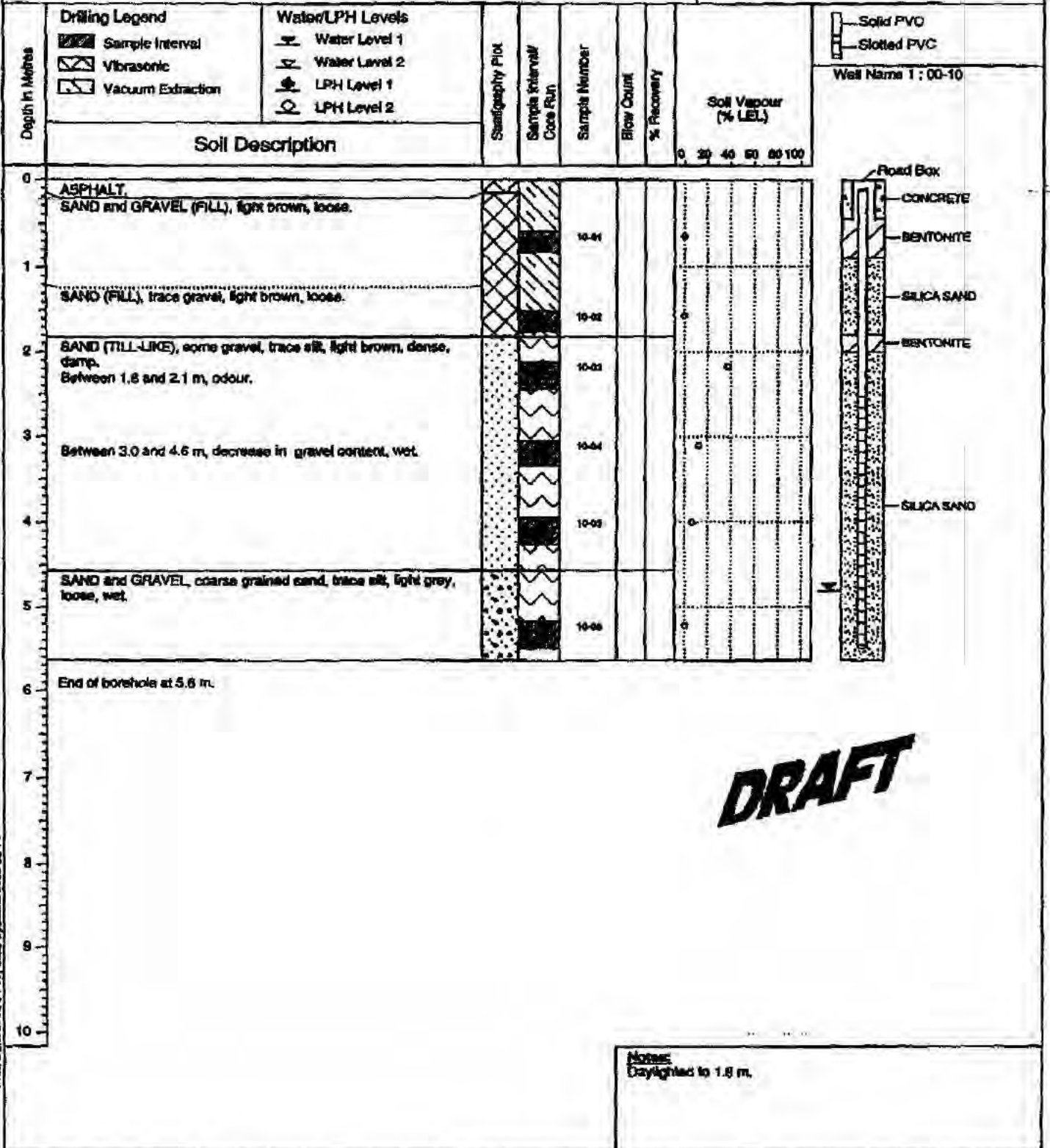
Borehole No. : 00-10

(Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd.
 Drilling Method : Vibratory Sonic
 Borehole Dia. (m) : 0.25
 Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 26
 Ground Surf Elev. (m) : 99.926
 Top of Casing Elev. (m) : 99.812

Project Number : V9335
 Borehole Logged By : MRS
 Date Drilled : 2000 06 05
 Log Typed By : KLD



DRAFT

Notes:
Daylighted to 1.8 m.

Print Date: 2002 04 10, Date Updated: 2002 03 14



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client:
Imperial Oil Limited

Borehole No. : 00-11S/D

Location:

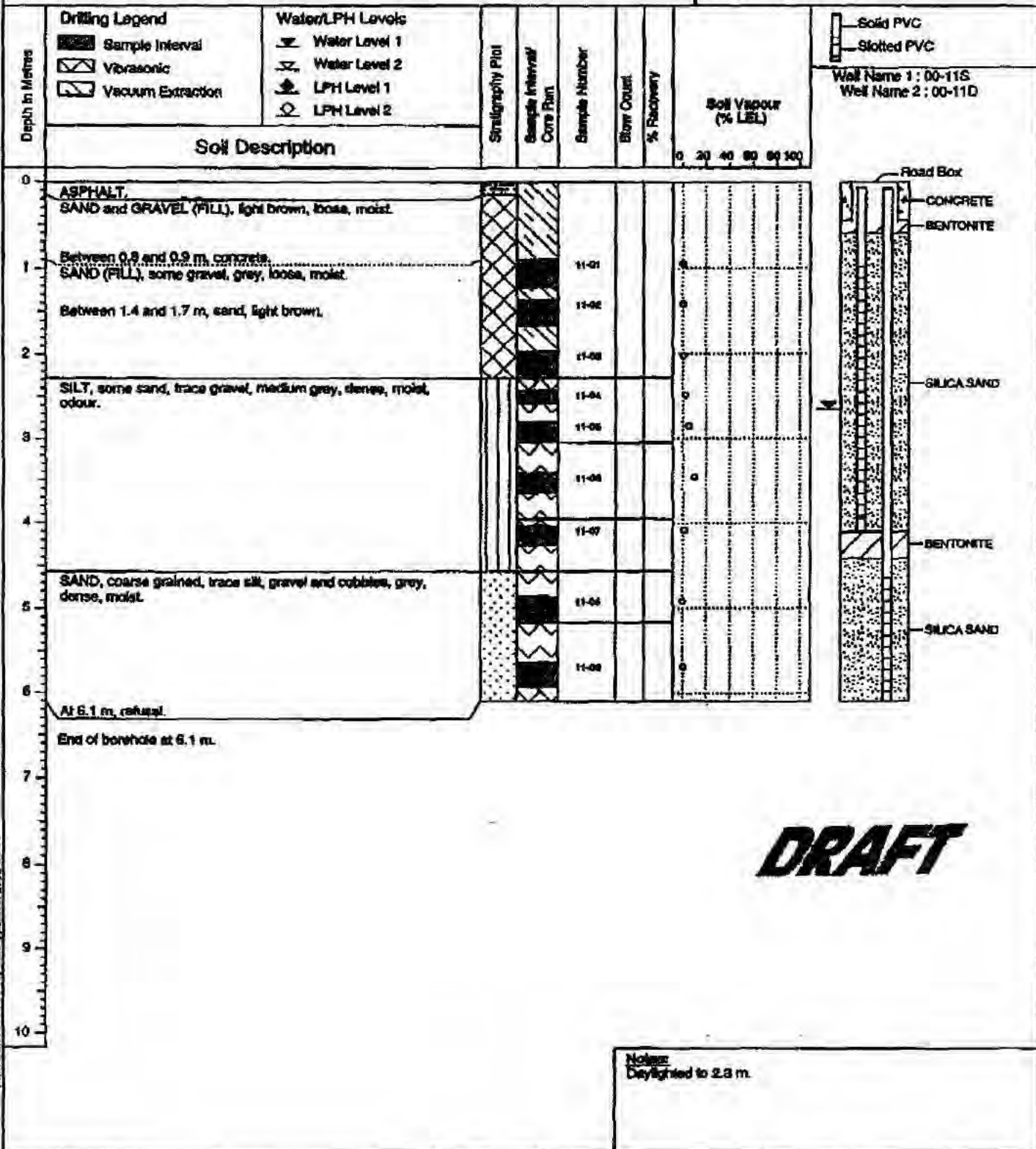
5702 Granville St., Vancouver, BC

(Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd.
 Drilling Method : Vibratory Sonic
 Borehole Dia. (m) : 0.25
 Pipe/Slotted Pipe Dia. (m): 0.05, 0.06

Date Water Lev. Meas. : 2001 04 26
 Ground Surf Elev. (m) : 99.562
 Top of Casing Elev. (m) : 99.603, 99.509

Project Number : V9336
 Borehole Logged By : MRS
 Date Drilled : 2000 06 06
 Log Typed By : KLD



Print Date: 2002 04 16, Data Updated: 2002 09 14



Client :
Imperial Oil Limited

Location :
6702 Granville St., Vancouver, BC

Borehole No. : 00-12

(Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd.
Drilling Method : Vibratory Sonic
Borehole Dia. (m) : 0.25
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 26
Ground Surf Elev. (m) : 99.842
Top of Casing Elev. (m) : 99.634

Project Number : V9335
Borehole Logged By : MRS
Date Drilled : 2000 06 06
Log Typed By : KLD

Depth in Metres	Drilling Legend	Water/LPH Levels	Stratigraphy Plot	Sample Interval/ Core Run	Sample Number	Blow Count	% Recovery	Soil Vapour (% LEL)	Well Name 1 : 00-12
	■ Sample Interval ▨ Vibrasonic ▩ Vacuum Extraction	▽ Water Level 1 ▽ Water Level 2 ⊕ LPH Level 1 ⊕ LPH Level 2							
0	ASPHALT								Road Box
0	SAND and GRAVEL (FILL), light grey, loose, moist.								CONCRETE
1	SAND (FILL), some gravel and debris (roots, brick fragments), light brown, loose, moist.				12-01				BENTONITE
1.7 - 2.4	Between 1.7 and 2.4 m, coarse grained sand, dark reddish brown.				12-02				
2					12-03				
3	SILT, trace sand, trace gravel, light brown, dense, moist.				12-04				SILICA SAND
4	SAND, coarse grained, some gravel and cobbles, trace silt, light brown, dense, moist.				12-05				
4					12-06				SLOUGH
6	End of borehole at 4.7 m.								

DRAFT

Notes:
Daylighted to 1.6 m.

P:\M Data\2002 04 15_Dens Update\2002 03 14



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client:
Imperial Oil Limited

Borehole No. : 00-13

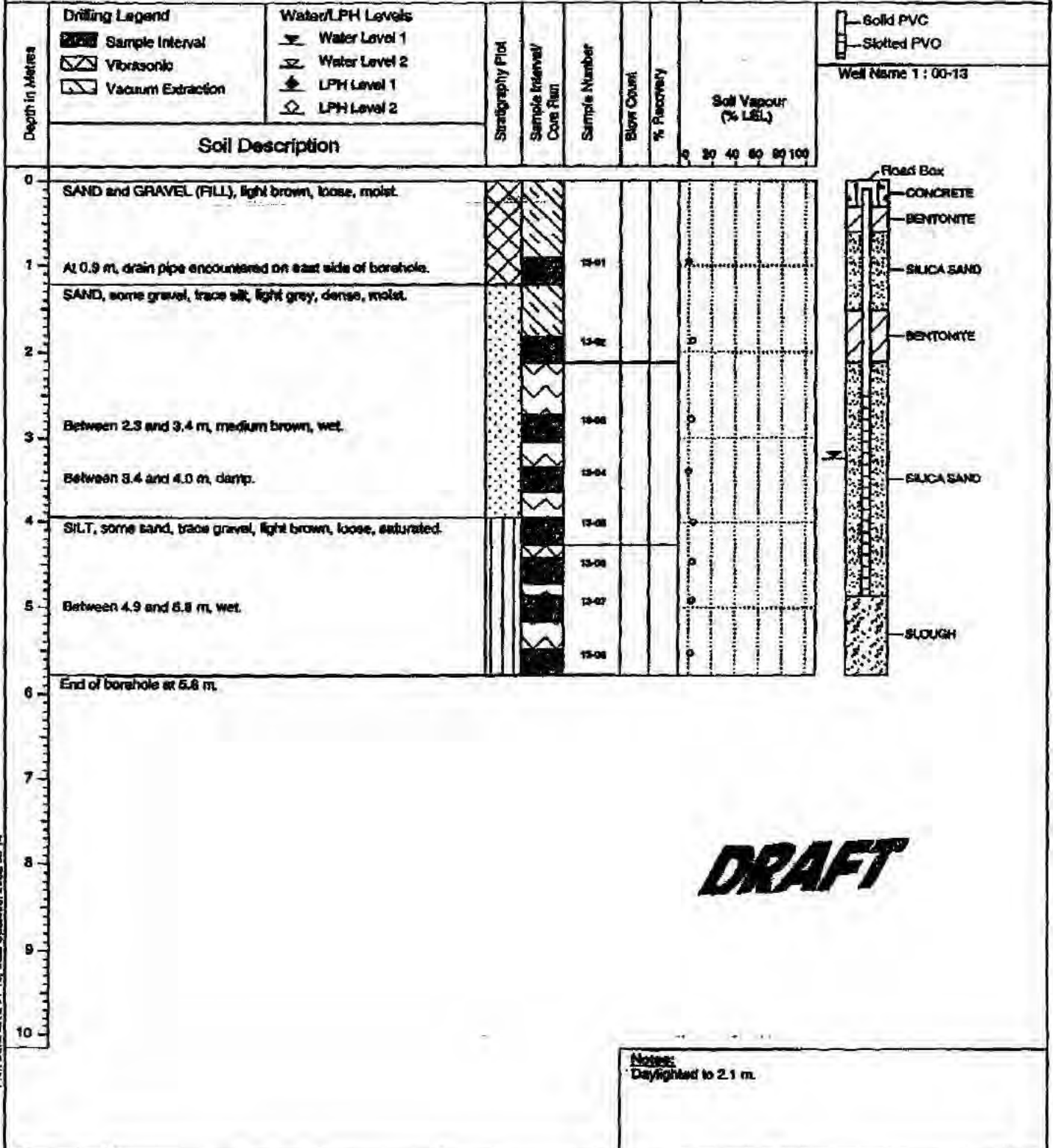
Location:
5702 Granville St., Vancouver, BC

(Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd.
Drilling Method : Vibratory Sonic
Borehole Dia. (m) : 0.25
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 26
Ground Surf Elev. (m) : 100.023
Top of Casing Elev. (m) : 99.935

Project Number : V9335
Borehole Logged By : MRS
Date Drilled : 2000 06 05
Log Typed By : KLD



DRAFT

Notes:
Daylighted to 2.1 m.

Print Date: 2002 04 16, Data Updated: 2002 03 14



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client :
Imperial Oil Limited

Borehole No. : 00-14

Location :

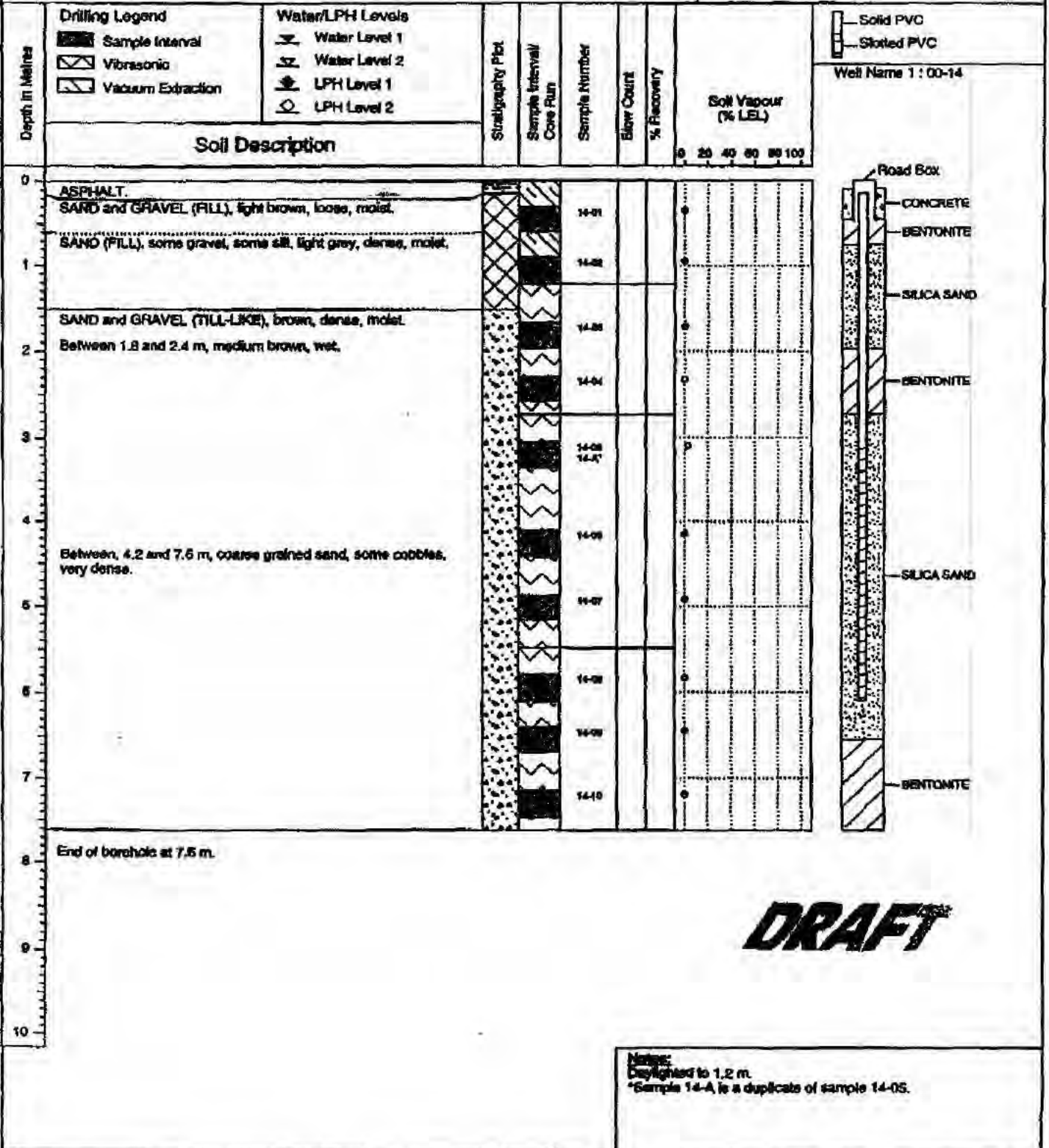
5702 Granville St., Vancouver, BC

(Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd.
Drilling Method : Vibratory Sonic
Borehole Dia. (m) : 0.25
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 26
Ground Surf Elev. (m) : 98.876
Top of Casing Elev. (m) : 98.737

Project Number : V9335
Borehole Logged By : MRS
Date Drilled : 2000 08 08
Log Typed By : KLD



DRAFT

Notes:
Daylighted to 1.2 m.
*Sample 14-A is a duplicate of sample 14-05.

Print Date: 2002 04 18, Data Updated: 2002 03 14

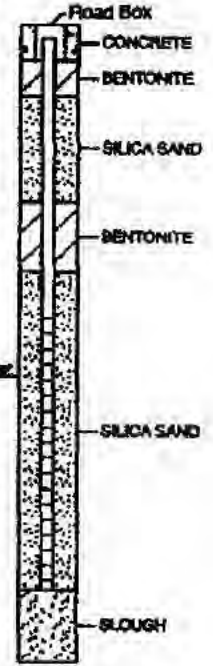
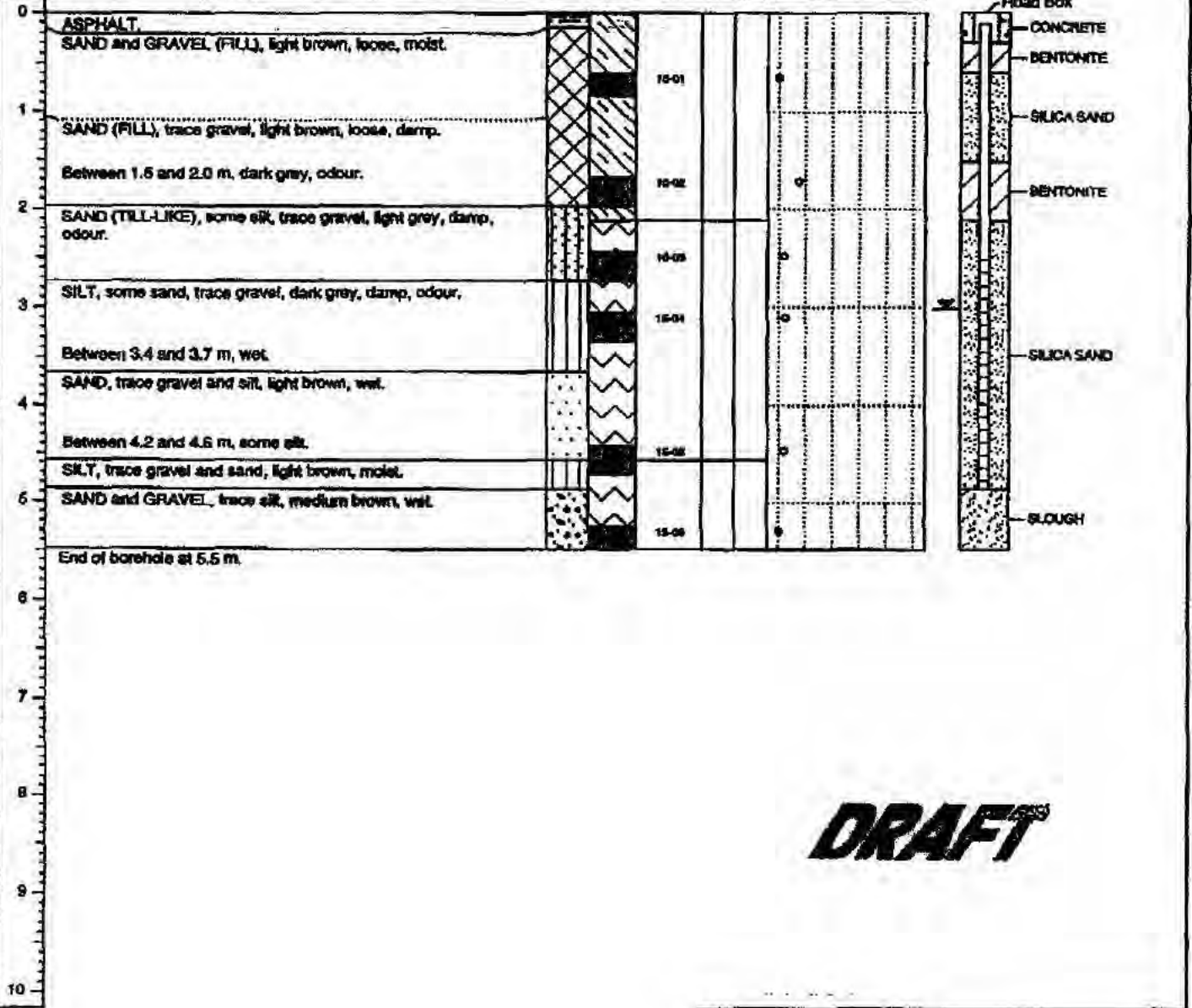


Client : Imperial Oil Limited
 Location : 5702 Granville St., Vancouver, BC

Borehole No. : 00-15
 (Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd. Date Water Lev. Meas. : 2001 04 26
 Drilling Method : Vibratory Sonic Ground Surf Elev. (m) : 99.543
 Borehole Dia. (m) : 0.25 Top of Casing Elev. (m) : 99.439
 Project Number : V8335
 Borehole Logged By : MRS
 Date Drilled : 2000 05 05
 Log Typed By : KLD
 Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Depth in Metres	Drilling Legend [Hatched] Sample Interval [Diagonal] Vibrasonic [Dotted] Vacuum Extraction	Water/LPH Levels [Symbol] Water Level 1 [Symbol] Water Level 2 [Symbol] LPH Level 1 [Symbol] LPH Level 2	Stratigraphy Picl	Sample Interval/ Core Feet	Sample Number	Blow Count	% Recovery	Soil Vapour (% LEL)	Well Name 1 : 00-15
	Soil Description								



DRAFT

Notes:
 Designated to 2.1 m.

Print Date: 2002 04 10, Data Updated: 2002 03 14



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client :
Imperial Oil Limited

Borehole No. : 00-16S/D

Location :

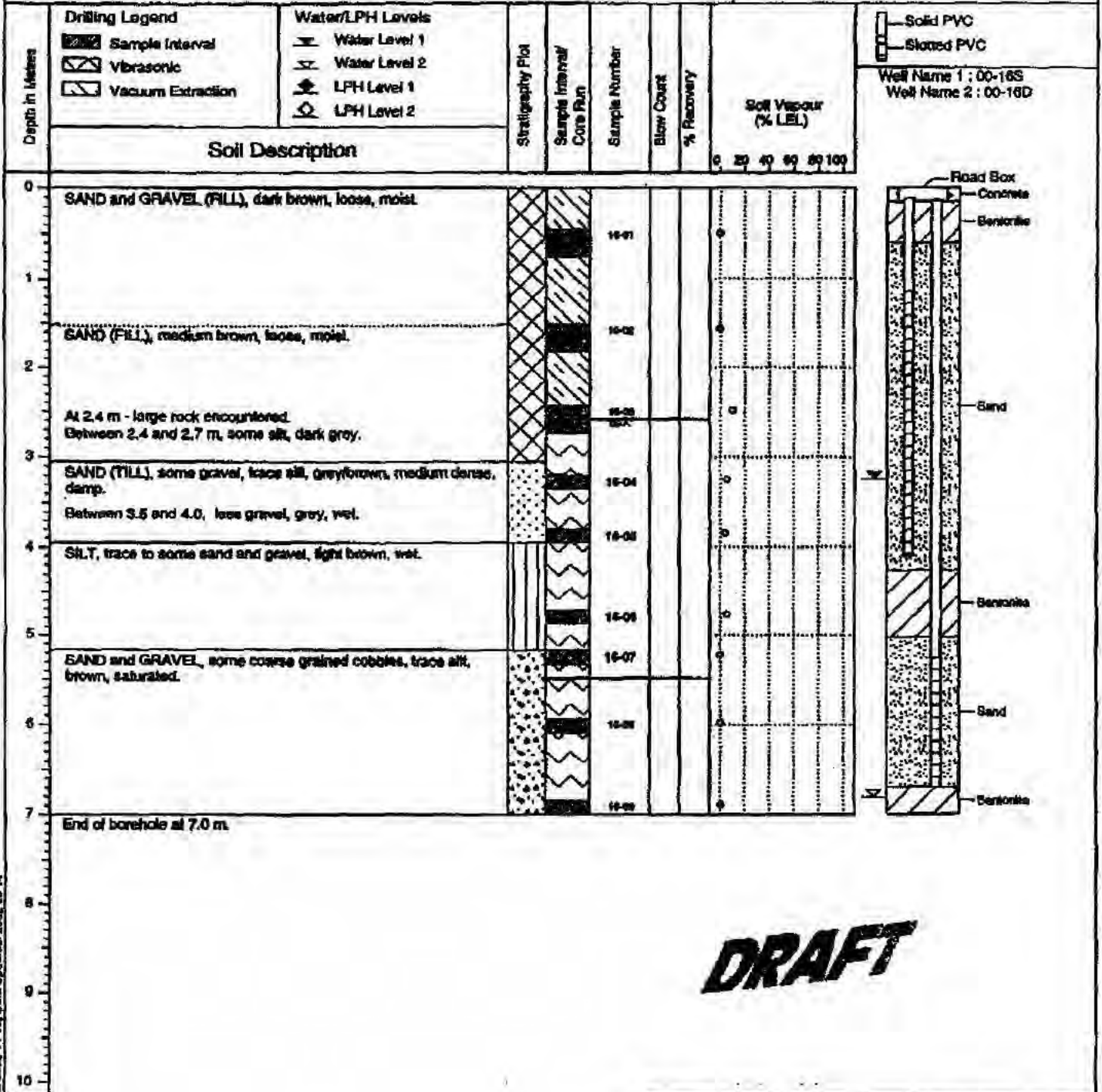
5702 Granville St., Vancouver, BC

(Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd.
Drilling Method : Vibratory Sonic
Borehole Dia. (m) : 0.25
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 26
Ground Surf Elev. (m) : 99.929
Top of Casing Elev. (m) : 99.817, 99.807


Project Number : V8335
Borehole Logged By : MRS
Date Drilled : 2000 08 21
Log Typed By : JJC



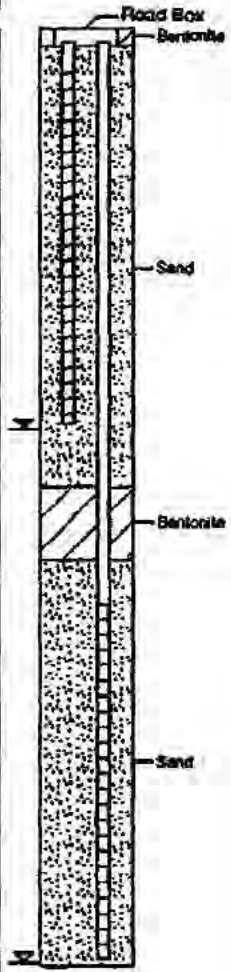
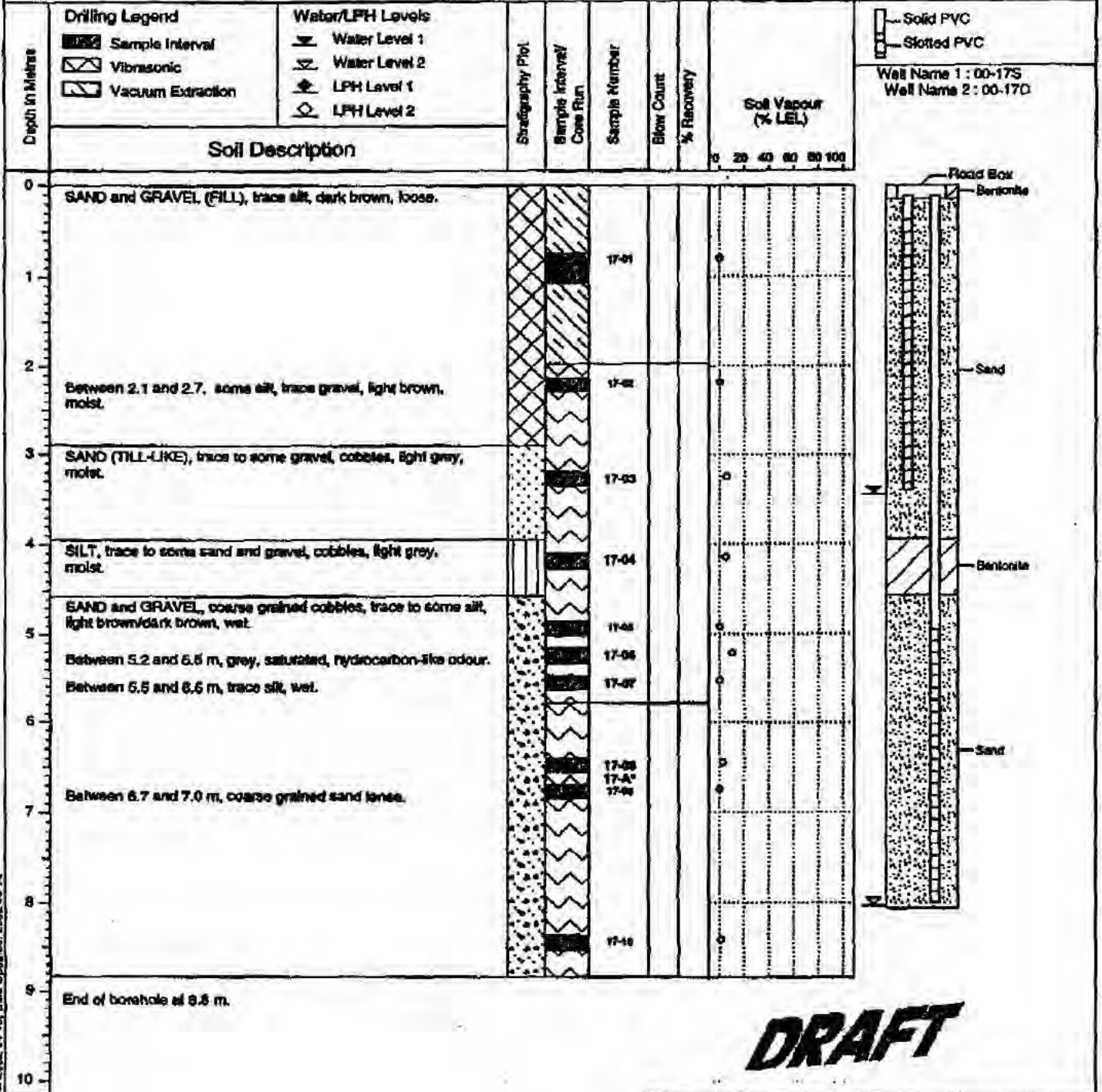
DRAFT

Notes:
Daylighted to 2.6 m.
*Sample 16-A is a duplicate of sample 16-03.
Impacted groundwater encountered associated with drill lubricating water.

Print Date: 2002 04 16, Data Updated: 2002 08 14

	Client : Imperial Oil Limited	Borehole No. : 00-17S/D
	Location : 5702 Granville St., Vancouver, BC	(Page 1 of 1)

Drilling Contractor : Sonic Drilling Ltd. Drilling Method : Vibratory Sonic Borehole Dia. (m) : 0.25 Pipe/Slotted Pipe Dia. (m): 0.05, 0.05	Date Water Lev. Meas. : 2001 04 26 Ground Surf Elev. (m) : 99.678 Top of Casing Elev. (m) : 99.563, 99.564	Project Number : V9336 Borehole Logged By : MRS Date Drilled : 2000 08 22 Log Typed By : JJC
--	--	---



DRAFT

Notes:
 Daylighted to 2.0 m.
 *Sample 17-A is a duplicate of sample 17-08.

Print Date: 2002 04 16, Date Updated: 2002 03 14



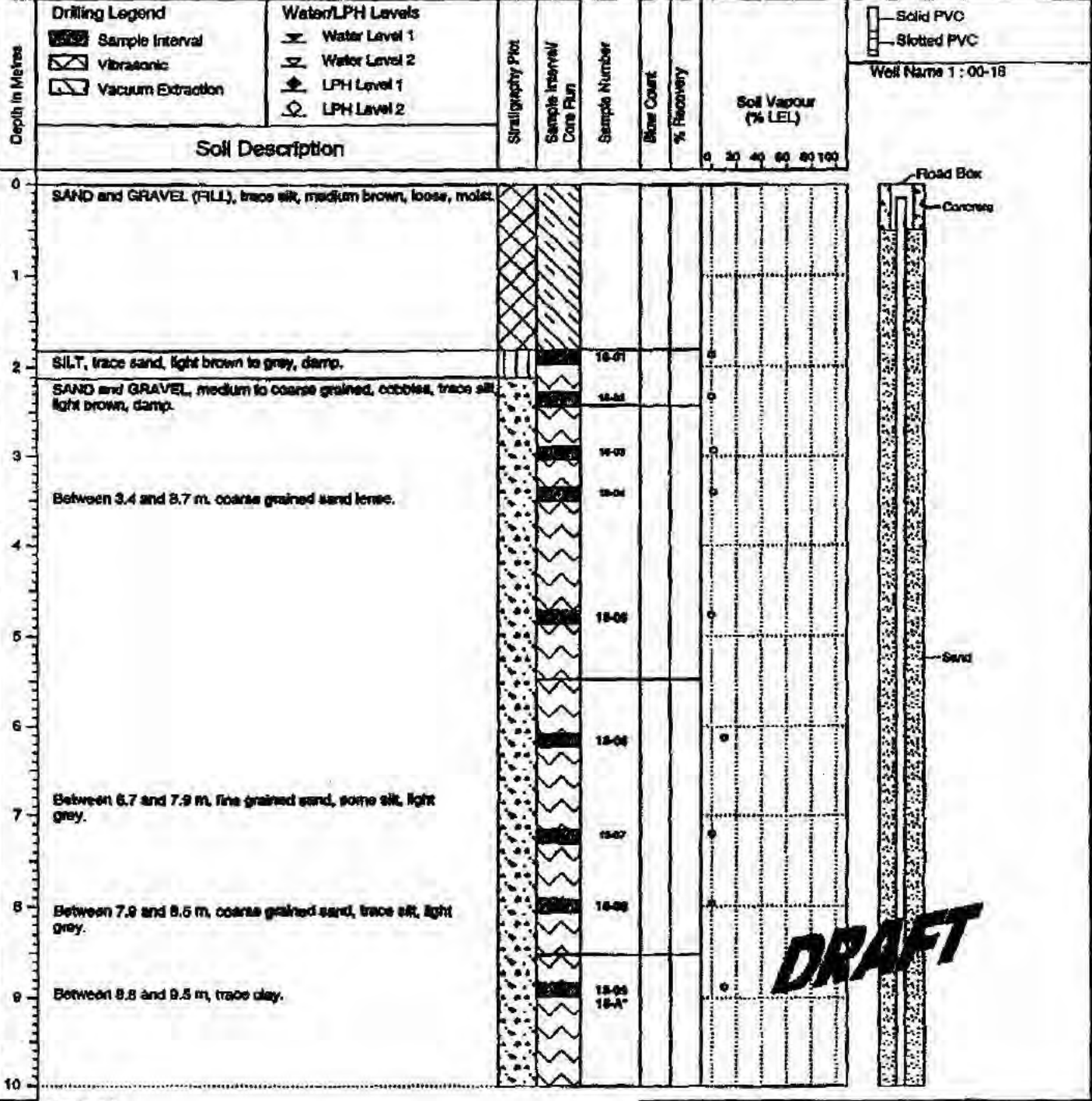
Client : Imperial Oil Limited
 Location : 5702 Granville St., Vancouver, BC

Borehole No. : 00-18
 (Page 1 of 2)

Drilling Contractor : Sonic Drilling Ltd.
 Drilling Method : Vibratory Sonic
 Borehole Dia. (m) : 0.25
 Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 28
 Ground Surf Elev. (m) : 98.724
 Top of Casing Elev. (m) : 98.682

Project Number : V9335
 Borehole Logged By : MRS
 Date Drilled : 2000 08 21
 Log Typed By : JJC



Continued

Notes:
 Daylighted to 1.6 m.
 *Sample 18-A is a duplicate of sample 18-09.

DRAFT

Print Date: 2002 04 16, Data Update: 2002 03 14



MORROW ENVIRONMENTAL CONSULTANTS INC.

Client:
Imperial Oil Limited

Borehole No. : 00-18

Location:
5702 Grenville St., Vancouver, BC

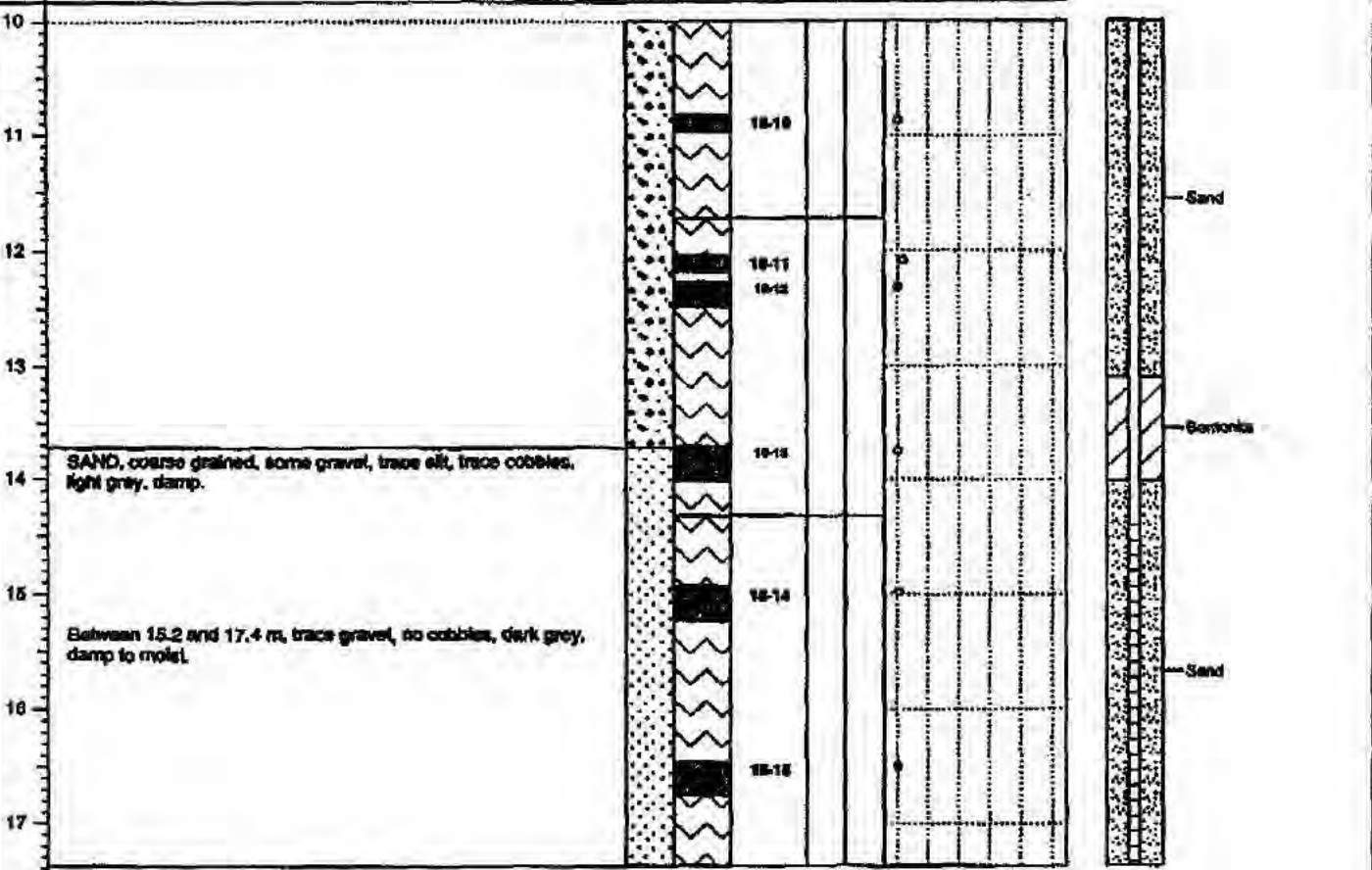
(Page 2 of 2)

Drilling Contractor : Sonic Drilling Ltd.
Drilling Method : Vibratory Sonic
Borehole Dia. (m) : 0.25
Pipe/Slotted Pipe Dia. (m): 0.05, 0.05

Date Water Lev. Meas. : 2001 04 26
Ground Surf Elev. (m) : 08.724
Top of Casing Elev. (m) : 08.502

Project Number : V9335
Borehole Logged By : MRS
Date Drilled : 2000 08 21
Log Typed By : JJC

Depth in Metres	Drilling Legend	Water/LPH Levels	Stratigraphy Plot	Sample Interval/ Core Run	Sample Number	Blow Count	% Recovery	Soil Vapour (% LEL)	Solid PVC Slotted PVC Well Name 1 : 00-18
	Sample Interval Vibrasonic Vacuum Extraction	Water Level 1 Water Level 2 LPH Level 1 LPH Level 2							0 20 40 60 80 100



DRAFT

Notes:
 *Sample 18-A is a duplicate of sample 18-09.

Print Date: 2002 04 16, Data Update: 2002 03 14

amec

B0423002

January 27, 2003

City of Vancouver
Permits and Licenses Department
2675 Yukon Street, East Wing
Vancouver, B.C..
V5Y 1V4

MICHAEL MARK
Building Insp. - Dist. No.

Attention: City District Building Inspector

Dear Sirs:

**RE: ENERGY UTILIZATION COMPLIANCE
ESSO STATION
5702 GRANVILLE STREET, VANCOUVER, B.C.**

I hereby certify that I have fulfilled my obligations for "field review" of the mechanical energy utilization components of the above noted project. Based on such "field reviews" the previously identified components of the project substantially conform to all material respects with the plans and supporting documents, including all amendments thereto, which were prepared by AMEC's Halifax Office and accepted by the City of Vancouver for the Project, with respect to Energy Utilization.

We trust you will find the foregoing in order but in the event that you have questions please do not hesitate to contact the writer.

Yours very truly,
AMEC E&C Services Limited.

Sami Deeb, P. Eng
604 664 5959



Cc: Protection Engineering Inc. Bill May, P. Eng., C.P.



City of Vancouver



Fire and Rescue
Services

Fire Prevention Division

#201 - 456 West Broadway, Vancouver, British Columbia, Canada V5Y 1R3 (604) 873-7595 Fax (604) 873-7872

January 13, 2000

Morrow Environmental Consultants Inc.
5151 Canada Way
Burnaby, B.C.
V5E 3N1

Attention: Tania Lazorko, B. Sc.

Dear Madam:

Re: 5702 Granville Street, Vancouver, B.C.

A search of our files indicates that there are no orders outstanding as of this date.

Neither the City of Vancouver, nor the party signing below warrants or guarantees the accuracy or completeness of the above information. The information is provided on the following conditions:

- (a) that neither the City nor the party signing below shall be liable for any damage or expense should, for any reason including negligence on the part of the City or the party signing below, the information be inaccurate, incomplete or misleading; and
- (b) that should any or all of the information be inaccurate, incomplete or misleading, for any reason including negligence on the part of the City or the party signing below, the City shall, as against any person or corporation who may rely on the contents of this letter, be able to assert and enforce its full legal rights as if this letter had not been signed and as if any and all persons and corporations who may rely on the contents of this letter had not relied on the contents of this letter.

I trust this is the information you require.

Yours truly,

A handwritten signature in black ink, appearing to read 'J. Poole'.

J. Poole
Fire Prevention Inspector

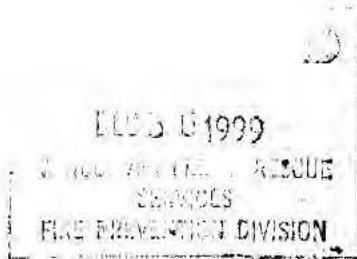


10
12 DECADE 21 DECEMBER

1999 12 23

Project V9-335

Vancouver Fire Department
Suite 201, 456 Broadway
VANCOUVER, BC
V5Y 1R3



ATTENTION: Fire Prevention

REFERENCE: Request for Record Search

Morrow Environmental Consultants Inc. (MECI), acting under the directive of Imperial Oil, requests a record search on the property described below. A map identifying the site location is attached for your reference.

Current Site Occupant: Imperial Oil

Site Civic Address: [REDACTED]

Site Legal Description: PID: 009-014-772
Lot A of Lot 1, Block 6, District Lot 526, Plan 11771

Current Site Use: Service Station

We request that your files be reviewed for the following information:

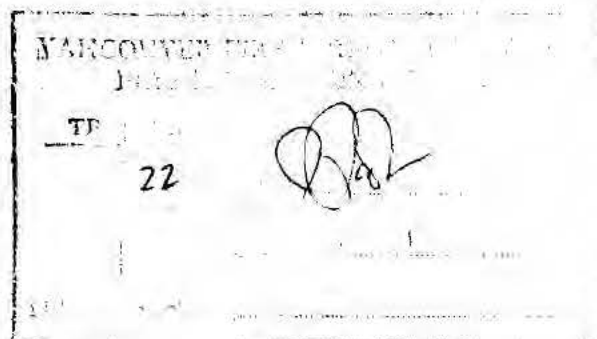
- permits for underground or above ground storage tanks;
- records of fires; and
- any other information which may indicate an environmental concern (i.e., spills, the storage of flammable liquid products or wastes).

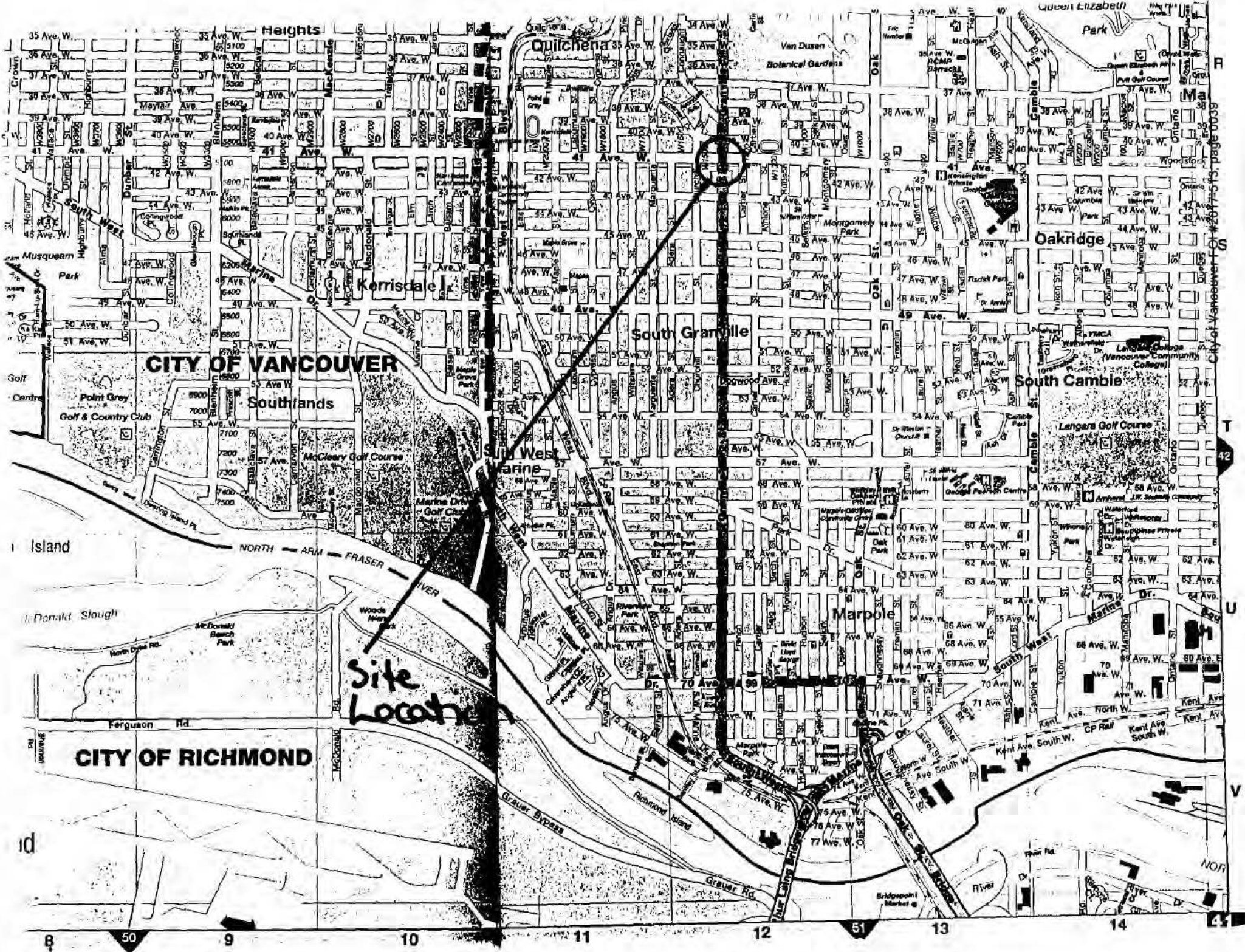
Please find enclosed a cheque in the amount of \$40. MECI will expect to receive a response within two weeks, however, should this not be possible please contact us. If you have any questions or comments regarding this request, please do not hesitate to contact the undersigned or Mr. Adrian Michielsen, P.Eng. at (604) 515-5151. Thank you for your assistance.

Tania Lazorko, B.Sc.

MORROW ENVIRONMENTAL CONSULTANTS INC.

TLL/tr
T:\V9\9335\LC23TLLI.DOC
enc.





CITY OF VANCOUVER

CITY OF RICHMOND

Site Location

Heights

Quilchena

Van Dusen

Queen Elizabeth Park

Kerrisdale

South Granville

Oakridge

Southlands

South Cambie

Langara Golf Course

Marpole

Island

NORTH ARM FRASER RIVER

Donald Slough

Woods Marsh

Marine

Richmond Island

Grauer Bypass

Grauer Rd

Bridgpoint Market

River

NOR

8

9

10

11

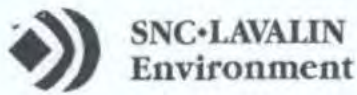
12

13

14

15

6000 page 15 of 15



SNC-Lavalin Inc.,
 Environment Division
 Fax: (604) 515-5150
 8648 Commerce Court
 Burnaby, British Columbia
 Canada V5A 4N6

Telephone: (604) 515-5151

June 29, 2015

Project: 628625

City of Vancouver
 Fire Prevention Office
 Suite 306, 456 West Broadway
 Vancouver, BC
 V5Y 1R3

ATTENTION: City of Vancouver Fire Prevention Office

REFERENCE: Request for Record Search (Comfort Letter)

SNC-Lavalin Inc. (SNC-Lavalin), acting under the directive of Imperial Oil Ltd., requests a record search of the properties described below.

Site Locations:

Not responsive

5702 GRANVILLE ST, VANCOUVER BC, V6M 3C7 - INSPECT - AUG. 4TH/15. LAVEROCK

Not responsive

Not responsive

VANCOUVER FIRE & RESCUE SERVICES FIRE PREVENTION DIVISION	
TF	FH
	FPI: J. LAVEROCK
	LETTER # 1
ENTERED BY: AUG. 4/15	
Receipt # R15479	

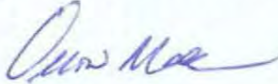
RECEIVED JUL 22 2015

We request that your files be reviewed for the following information; please provide details (with copies if possible) of the following:

- permits and any records related to, underground or above ground storage tanks;
- records of fires;
- records of inspections and results;
- any other information which may indicate an environmental concern (i.e., spills, the storage of flammable liquid products or wastes);
- details of any breach (or potential breach) of any law, code, rule, regulation, order notice, directive, license, authorization, consent, approval or similar concerning pollution or protection of the environment by the occupants of this site;
- any correspondence with environmental regulatory authorities; and
- Details of any complaint received regarding noise, smells, emissions, or other environmental matters.

We understand that searches are made at a cost of \$100 including tax per property. A cheque for \$1,200 (12 x \$100) is attached to this letter. We expect to receive a response within two weeks; however, should this not be possible please contact us. If you have any questions or comments regarding this request, please do not hesitate to contact the undersigned at 604-515-5151. Thank you for your assistance.

Orton Mak



cc. Janet Jeffery
cc. Jennifer Piquard

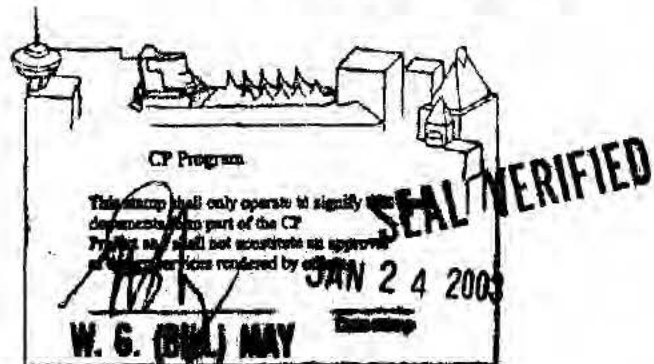


CITY OF VANCOUVER
FIRE & RESCUE SERVICES - FIRE PREVENTION DIVISION

MICHAEL MARK
Building Insp. - Dist. No.

January 16, 2003

Fire Code Plus Engineering Inc
Unit #17 - 62 Fawcett Road
Coquitlam, B.C.
V3K 6V5



Dear Sir/Madam:

Re: 5702 Granville Street, Vancouver, B.C.

BU 423072

This Division has reviewed this Fire Safety Plan and has approved in principle the contents of same.

No liability is assumed by this Division, its officers, employees or the City of Vancouver, for the contents, operation or implementation of the Plan.

It is the responsibility of the owner, agent or manager of the above noted premises to ensure the safety of the occupants, as laid down in the Fire Safety Plan.

The following conditions apply to this acceptance:

1. The plan is resubmitted to this office for review three years from the above date.
2. The plan must be reviewed should any renovations, alterations and/or change of occupancy occur to the building that require a permit to do so.
3. A record of fire prevention activities, drills, training periods and maintenance of fire safety systems must be available for inspection by this department.

A copy of this letter should be kept on file with the plan.

G. Nygard
Fire Prevention Inspector
Fire Prevention Division

"PEOPLE WHO CARE ABOUT YOU"

Plan Review

Date: Oct 30/02
 Address: 5702 Granville Premises Name: Imperial Oil - Tim Hortons
 Bldg. Permit #: BV 423092 No. of Seats: 0 (if applicable)
 EHO/District: John Chung 736-2866 Premises Contact/Phone: _____
 Discussed with Applicant: Yes No If Yes, applicants name/phone: _____

The Health Department has reviewed the plans for:

- Construction of: gas station, convenience store + Tim Hortons
- Alteration to/Installation of: _____
- Liquor License Application: _____

Plans have been reviewed for compliance with the Health Regulations and approved subject to the following conditions:

- Final Health Department approval required prior to opening for business
- Food Safety Plan required prior to opening
- Food Premises Operating Permit Fee must be paid in full before opening
- Food Safe Level I course successfully completed by appropriate staff members before opening (new premises), or within 90 days (existing premises)
- Floors, walls and ceiling of all food preparation, storage and display areas to be smooth and washable
- Floors/walls/counters to be smooth and washable (carpets are not acceptable)
- require a 2 compartment sink and hand basin in Tim Hortons area
- _____
- _____
- _____
- _____
- _____
- _____

COPY OF APPROVED PLANS MUST BE KEPT ON PREMISES DURING CONSTRUCTION

PLANS NOT APPROVED - Reasons:

- Require detailed floor/equipment plans of food preparation/storage areas
- _____
- _____
- _____
- _____
- _____
- _____

Ernan C. Jimenez
 Senior Environmental Health Officer

Vancouver Coastal Health Authority - Environmental Health Division
 2675 Yukon Street, Vancouver, B.C. 604-873-7566



OFFICE OF THE MAYOR

CITY HALL
VANCOUVER

January 25, 2002

MEMO TO: Jacquie Forbes-Roberts - General Manager of Community Services

FROM: Janet Fraser - Executive Assistant

SUBJECT: ATTACHED LETTER FROM #22/11
(OUR REF.# 76126)

*file under
5702-11 Granville
or*

Please forward the attached correspondence to the appropriate staff member in your Department to kindly prepare a draft response for the Mayor's signature. If there are any questions during the preparation of the draft, please have them directed to Darlene at 873-7624.

Once the draft has been prepared, please arrange to have it e-mailed to "Mayor's Office"; please ensure that our reference number is quoted in the e-mail. If you plan to send us a hard signed copy as well, please let us know at the time you e-mail the draft to us.

Thank you.


Janet Fraser
Executive Assistant

**TO DOMINO ONLY
DO NOT ROUTE**

RECEIVED	
CITY OF VANCOUVER COMMUNITY SERVICES 3rd FLOOR - RECEPTION	
JAN 30 2002	
NUMBER	4-0376
REFERRED TO	LYNDA
COPY TO	MARK
ANSWER REQ'D	FEB. 6



1-2

17-January-2002

To.
Mayor Philip Owen

Dear Sir

I am **b2(1)** Vancouver B.C.
I am the **b2(1)** of 5702-5716 Granville St. Vancouver B.C. The Esso Gas station on 41st and Granville corner.

The Esso Gas station 5702 Granville St. applied for a rezoning application on 18-May-2001, A public meeting was on 8-Nov-2001, at which the application was moved by Councillor Clarke to be approved following some conditions. As attached as *Exhibit A* to this letter is a summary of the Current Planning in detail and information about my views and my opposition.

I, wrote a letter of concern opposing the proposed redevelopment of the site; 8-August-2001, to the attention of
Linda Challis. City Of Vancouver Planning Department

7-November-2001, to the (copy as per above) Vancouver City Council before the Public Hearing from 8-Nov.-2001. Exhibit B.

At the same time there were two more letters given to the Members of Council, opposing this application, plus I spoke in the meeting about my concern and tried to clarify some of the council's questions to the staff and tried to explain the inconvenience I am experiencing when I was told that they knew that they received my letter. I provided some photos (from which I was not permitted to explain details), were to show the difference in the elevation between our joint properties, plus where the cars were lining up for gas and car wash and also the short distance of the gas pump from our house. All of which we are opposing.

At the meeting a few councillors were concerned about a few issues as per neighboring property elevation of the gas station, location of the gas pumps being too close to the neighbor residence, being safety issue with potential to fire or earthquakes and the entrance to the car wash from Granville St. where all the cars lining up for the car wash and all the pollution from the car emission to the resident's windows and exhausting fans from the house.

pollution for the resident from the chemicals used in the car wash, benzine fumes from gasoline at the time of filling up the reservoirs tanks plus from the people gassing up the cars, the new application is moving the garbage from the back lane and 41 Str. too close to the resident's house, causing additional pollution by all the garbage smells and gases.

If approval is granted for a convenient store, and 12 additional parking spaces there will be an increased of noise from the extra traffic. At the present the hours are 6/6.30Am to 11/1130 PM. and the car wash 8Am to 6Pm. Closed weekends and holiday. Council approved the present schedule; however I am requesting that this approved remain in effect for 15 to 20 years and not to be changed under any circumstances.

At the meeting the applicants mentioned that they are collaborating with there neighbor. We mentioned to them all our concerns but they still went ahead with their plans without considering my request

After the public meeting I asked ESSO for the results of the environmental soil tests for which they drilled on three different occasions- Jan., May and August 2000. They did not reply to my request. I requested these reports from the City but was told the City does not have any environmental reports on file for the specified location Exhibit C.

The City staffs Mrs. Linda Challisin, Mr. Eric Fiss held a meeting on 6-Dec-2000, with me and the applicant and the architect upon my complaint re the elevation of the gas station. The staff asked that the applicant to present the city with a side view plan of there property to the south neighbor elevation and the side plan of the resident to the south where are all the windows and exhausting fans are located facing the gas station. From that plan they would find out the elevation difference between the two property lines all the way, and the environmental effect from the air, gases, car emissions, chemical, noise etc. to the resident south neighbor.

They also requested a report from the Traffic Inspector and Transportation Inspector, to show how the cars lining up for the car wash would affect traffic on Granville Street, especially the rapid transit service

The Councils on 8-Nov.-2001, were not provided by the staff with any documentation: Transportation Inspector, Traffic Inspector, soil testing, air quality and pollution test, noise tests specific information on the topics asked by the next door resident in their letter of 7-November-2001 where they are opposing the development. At the meeting Council put many questions for which the City staff had neither concrete answers or any documentation of our opposition.

On 8-August 2001, I give in writing, to the Planning department, to the staff all our concerns opposing the development.

At the meeting they did not have:-

Plans on the elevation between the properties being approximately six ft. higher in some places; The side plans on the neighbor house presenting the windows and exhaustion fans; Transportation Inspector report; Traffic Inspector report; environmental health

the current status of the soil on the gas station property, and of noise level
the next door residents, pollution report from the cars emission standing in lines
car wash, before they proposed that this application be approved for rezoning
station has been operating as a gasoline station and a car wash since the last
moved rezoning in 1964

staff reviewed the outstanding concerns and concluded that with minor design
improvement (Appendix A of the applicant documents) the proposal should be an overall
improvement and have less impact concerns.

The minor design as in the Policy Report Development and Building report dated
September 14, 2001 and Council; October 2-2001 CC File No. 5304, does not have any
improvement for the next door residents.

The cars will still enter from Granville St. and still line up in front of our windows, the cars
are blocking the traffic and the exit from the property of the neighbor, the garbage was put
closer to the next door property instead of the back lane, as at present, There will still be
more traffic and noise and pollution from the extra traffic to the convenience store, and
the side is still too much elevated from the neighboring property in the south side of the
station

Closing an exit on 41st will make more traffic accidents

All the changes are in favor of the City which will receive extra plan # 17467 (existing
3.048 m by 3.048 m right of way) for road purposes and clarification of all registered in
the Land Title Office, make arrangement for electrical and telephone services to be
underground.

As mentioned above the city is cutting many feet from the station property in order to
accommodate the turning of the busses from Granville st. and 41st This will greatly
reduce the area of the service station.

Under these circumstances : It is my firm opinion that the remaining land area will not be
sufficient to safely sustain two buildings which I am strongly opposing, five gasoline
pumps, 12 car parking spaces, 2pcs.of 2x100 garbage bens instaled to the south of the
convenient store which is very close to the next door residence, plus a much greater area
to accommodate cars lining up for the automatic car wash.

No consideration was given to the concern of the neighbor to the south.

Some councillors were concerned and asked questions regarding the effect on the traffic,
transportation and rapid transit, environmental safety, noise, pollution of gases and
benzine gases and the well-being of the closest residents and compassion for the closest
neighbor. These were ; San Sullivan, Sandy McCormick, Fred Bass, Tim Louisa, etc.

Jennifer Clarke did not take that in consideration in her decision in support of the
application or at least to propose some strict conditions in the approving of the
development in the new application.

I have a [REDACTED] mother and her health is affected by the pollution, air quality from the car emission and the chemicals they are using in the car wash plus in the summer the chemical used to spray on the tulip trees, and for washing the cement from all the oil from the cars

I am asking you to help me by opposing the new development plan

I am asking that all measures be taken, to ensure the health and well-being of the next-door residents in terms of pollution, air quality, noise, environmental issues, chemical and air pollution issues plus the hazard from the car emissions in front and side of the next door resident, where all the windows and fans are located for their premises and the chemical fumes and smell from the car wash and garbage, fire hazard and earthquakes; and the elevation of the gas station to be lowered to the same level as the rest of the other lots, back lane and surrounding sidewalks in the neighborhood.

I am asking your help to make sure that a new mistake not be made by the approval of this application as was permitted in 1964, the previous time. This is a single family residential area

How is it possible that the Fire department and regulation allowed the gas station to put two pumps as close as less than 20 feet from the next door residence where all the windows provide fresh air to the house. Needless to say, all the car emission gases and fumes from the benzine are seriously affecting the health of the residents

Even in a commercial area the distances between the gas pumps and the nearest house is more then 20ft. At the new Petro Canada station at Oak and 41st they have only three pumps. In a lot of commercial areas they have less gasoline pumps than in this single family zoning and not that close to the neighbors.

The Esso gasoline station mentioned that they had permission for eight pumps and at this time they are reducing them only to five At the present time for more then 3-4 years they closed and removed the equipments from the pumps facing 41st Ave

There are many gas stations that have been closed at the present time and not rebuilt due to the soil being polluted and contaminated. I am asking you to make sure that the same thing wont happen with this station which has been operating for so many years and has had several pumps closed down for such a long time.,

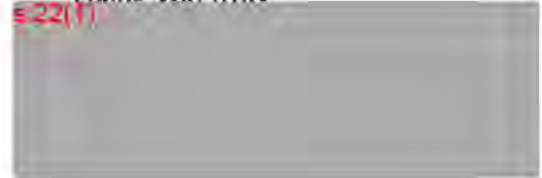
This is a residential neighborhood and we need the protection of our government and the people in charge to protect our health, peace and quiet, and well-being, in order to enjoy our family life as everyone else in the city.

Understandably, these concerns are uppermost in my mind, as I am worried about the procedure of the development and the fact that my concerns need to be taken into consideration with the utmost urgency before the development application is approved.

I would really appreciate a reply at your earliest convenience.

Thank you truly

E22(1)



Copy sent to
Val Anderson MLA
Vancouver Langara
Tell (604) 775-0001

Minister of Health
Honorable Colleen Hanfen
Tell. (604) 953-3547
Fax (604) 356-9587

Minister of environment
Honorable Joyce Murray
Tell. (250) 387-1187
Fax. (250) 387-1356

GVRD
Mr. Bob Smith
Assistant District Director
Tell (604) 436-6710
Fax (604) 436-6707

Mr. Larry Beasley
Director PH. Current and Planning City Of Vancouver.
Vancouver City Building
406-515 10th Ave Vancouver BC. V5Z 4A2



August 6, 2015

SNC-Lavalin Inc.
8648 Commerce Court
Burnaby BC, V5A 4N6

Dear Sir/Madam:

RE: 3205 Arbutus Street and 5702 Granville Street

A search of our records (or inspection if required), was conducted by a Fire Inspector at the above-mentioned address on August 4, 2015. There were no violations noted at that time.

Neither the City of Vancouver, nor the party signing below warrants or guarantees the accuracy or completeness of the above information. The information is provided on the following conditions:

- (a) that neither the City nor the party signing below shall be liable for any damage or expense should for any reason including negligence on the part of the City or the party signing below, the information be inaccurate, incomplete or misleading; and
- (b) that should any or all of the information be inaccurate, incomplete or misleading, for any reason including negligence on the part of the City or the party signing below, the City shall, as against any person or corporation who may rely on the contents of this letter, be able to assert and enforce its full legal rights as if this letter had not been signed and as if any and all persons and corporations who may rely on the contents of this letter had not relied on the contents of this letter.

****Please ensure that any future requests submitted to our office include contact name(s) and number(s) necessary for the Fire Inspector to gain access to the building if required. This can include the building owner, manager, and caretaker.**

If you require any additional written documentation, following a re-inspection with respect to any outstanding violations, there will be an additional fee charged of \$100.00 (plus GST).

If you have any further questions, please contact our office.

Sincerely,

Jocelan Bayler
Fire Prevention Division
604.873.7035





City of Vancouver

D.H. Jackson, P. Eng Deputy City Building Inspector
453 W. 12th Ave Vancouver, BC V5Y 1V4 ☎ 604.873.7904 fax: 873.7100

January 17, 2000

PLEASE REFER TO:
Mrs. R. Turner
at 873-7111

Morrow Environmental Consultants Inc.
5151 Canada Way
Burnaby, BC
V5E 3N1

Attention: Tania Lazorko, B.Sc.

Dear Madam:

Re: 5702 Granville Street
Lot A, Plan 11771
Your Project No. V9-335

On December 29, 1999, your request for a file research letter and an environmental search was received by this department. Receipt No. 209834 for the fee of \$350.00 is enclosed.

Requests for Fire Department information should be directed to the Fire Prevention Division at #201 - 456 West Broadway, Vancouver, BC V5Y 1R3. The fee for this service is \$40.00. For further information you may contact their office at 873-7595.

The property legally described above is shown as of this date to be located in the CD-1 (Comprehensive Development) District. For copies of District Schedules, Official Development Plans or CD-1 By-laws please contact the Planning Department at 873-7344.

This property is located in the City-wide Development Cost Levy area. Projects which do not have a Building Permit issued by January 28, 2000 will be subject to payment of the levy. Exemptions are as follows: alterations to existing buildings where the total square footage is not increased; social housing (subject to meeting certain conditions); buildings containing less than four self-contained residential dwelling units and no other use; and churches exempt from taxation.

There is no original Occupancy Permit on record as this building was erected prior to the commencement of the Occupancy Permit Program in July, 1977.

Our files show the approved occupancy of the building is a full service gasoline station with an accessory retail kiosk and car wash.

For License information we suggest you call 873-7568.

We have searched the files in the Environmental Protection Branch and have found the following information with respect to this property: *Mr. H. Uyeyama*

On December 8, 1975 an inspection of this property showed there are four 5,000 gallon underground storage tanks for gasoline and one 500 gallon underground storage tank for waste oil.

A further inspection on November 10, 1976 noted that the dispensers were leaking. A letter was sent out on November 12, 1976 to Imperial Oil Limited to take the necessary corrective action for the pumps that were losing prime.

The manager of the service station reported an inventory loss of 1,100 litres of gasoline during February 1985.

One of the underground storage tanks was removed in March 1986.

For further information, please contact Mr. H. Uyeyama of the Environmental Protection Branch at 873-7732.

We do not warrant that the above information is complete or accurate nor that we have assessed the extent or implications of the problem.

Our search was of files held in this Branch only. Please refer to other City Departments (including City Archives) for any information they might hold. Further, in that matters of the environment and contamination are subject to Provincial and Federal authority, we refer you also to those authorities for such further information, if any, as they might possess.

As of this date, there are no outstanding orders or notices filed by this department with regard to the premises described above under the Zoning and Development, Building (includes plumbing), Electrical, Standards of Maintenance, Untidy, Sign and Parking By-laws or the Provincial Gas Safety Act and Regulations.

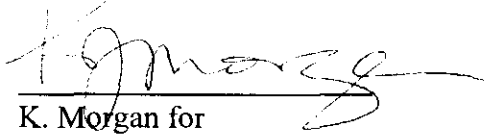
This property may be affected by a building line. For further information, please contact the Land Survey Branch of Engineering Services at 873-7330.

Neither the City of Vancouver, nor the party signing below warrants or guarantees the accuracy or completeness of the above information. The information is provided on the following conditions:

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I trust this is the information you require.

Yours truly,



K. Morgan for
D.H. Jackson, PEng for
City Building Inspector
and Chief Building Official

/rt

Encl.

1999 12 23

Permits and Licensing Department
City of Vancouver
2nd Floor, 2675 Yukon Street
VANCOUVER, BC
V5Y 3P9

COMMUNITY SERVICES
Reg. No. *10*
DEC 29 1999
ORIGINAL TO: *FR*
COPY TO: *#350 - #19844 Encl*

Project V9-335

ATTENTION: File Research

REFERENCE: Request for Record Search

Morrow Environmental Consultants Inc. (MECI), acting under the directive of Imperial Oil, requests a record search for the property described below. A map identifying the site location is attached for your reference.

Current Site Occupant: Imperial Oil
Current Site Owner: Imperial Oil
Site Civic Address: 5702 Granville Street, Vancouver, BC
Site Legal Description: PID 009-014-772
Lot A of Lot 1, Block 6, District Lot 526, Plan 11771.

We request that you review your files for the following information:

- any air emission or effluent discharge permits (sanitary or storm) which have been issued through your office;
- records of building or demolition permits;
- current and previous zoning for the site;
- any zoning violations on record for the site;
- records of any inspections of the site or buildings on the site;
- records of any building code violations;
- water, sanitary and storm connection to the site, and source of potable water; and
- any other information which may indicate an environmental concern (i.e., reportable spills, existing storage tanks, storage of wastes, flammable liquids, etc.).



Permits and Licensing Department – Page 2 of 2
City of Vancouver
1999 12 23
V9335

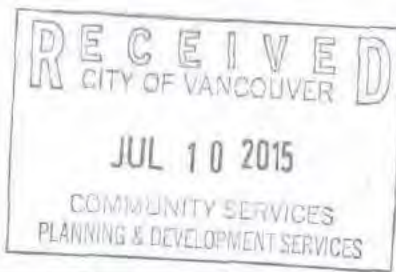
Please find enclosed a cheque in the amount of \$350. MECI will expect to receive a response within two weeks, however, should this not be possible please contact us. If you have any questions or comments regarding this request, please do not hesitate to contact the undersigned or Mr. Adrian Michielsen, P. Eng. at (604) 515-5151. Thank you for your assistance.

A handwritten signature in cursive script, appearing to read 'Tania Lazorko'.

Tania Lazorko, B.Sc.

MORROW ENVIRONMENTAL CONSULTANTS INC.

TLL/tr
T:\V9\19935\LC23\TLLC.DOC
enc.



COMMUNITY SERVICES
Licences and Inspections
By-Law Administration

Date: June 22, 2015

File Research
Licences and Inspections
453 West 12th Avenue
Vancouver, BC V5Y 1V4

INTERNAL USE ONLY	
Date Received:	_____
Receipt Number:	<u>784009</u>
MI Number:	<u>456752</u>
Amount Received:	<u>8202</u>
Initials:	<u>GM</u>

RE: 5702 GRANVILLE ST, VANCOUVER BC, V6M 3C7
(Property Address)

- I am requesting a file research letter on the above property to determine whether there are any outstanding infractions. This letter will include the zoning, approved use, license information, etc.
- I am requesting Environmental Information only.
- Specific information requested:

APPLICANT :

Name / Address : Orton Mak
8648 Commerce Crt, Burnaby, BC

Postal Code : V5A 4N6 Phone : 604-515-5151 ext. 227

E-mail Address: orton.mak@snclavalin.com

When ready: Pick up? _____ E-mail? x Mail? x

DOMINO

PLEASE REFER TO:
Ms. L. Kwan
at 604.873.7733

July 20, 2015

Orton Mak
SNC-Lavalin
8648 Commerce Court
Burnaby, BC V5A 4N6

Dear Sir:

**RE: 5702 Granville Street
Lot 1, Block 6, District Lot 526, Plan LMP53212**

On July 10, 2015, your request for an environmental search was received by this department. Receipt No. 784009 for the fee of \$202.00 is enclosed.

The Environmental Contamination Team has found the following information with respect to this property:

- Ministry of Environment - confirmation of receipt of information regarding Independent Remediation of 5702 Granville Street (Site ID: 7476) - August 10, 2006;
- Correspondence from Morrow Environmental Consultants - Treated Groundwater Discharge data for the ESSO Service Station at 5702 Granville Street - December 24, 2002;
- Correspondence from Morrow Environmental - Groundwater Analysis Results - November 29, 2002;
- Correspondence from Morrow Environmental - Completion of Remediation Program - October 18, 2002;
- Correspondence from Imperial Oil Limited with reference to 5702 Granville Street (October 17, 2002) stating accessible petroleum hydrocarbon impacts on the site were excavated prior to commencing the re-development of the property;
- A Waste Discharge Permit (SC920327) for the purpose of remediation at 5702 Granville Street was issued September 19, 2002;
- Morrow Environmental forwarding an Application for a Waste Discharge Permit for treated groundwater during remediation at 5702 Granville Street (September 6, 2002);
- Correspondence from Imperial Oil (received by Environmental Protection Branch September 9, 2002) with reference to the correspondence to the Ministry of Water, Land and Air Protection advising of Imperial Oil's intent to proceed with Independent Remediation at 5702 Granville Street;

- City of Vancouver correspondence to Ministry of Water, Land and Air Protection with reference to 5702 Granville Street's subdivision application (January 14, 2002);
- Ministry of Water, Land and Air Protection response to Imperial Oil Limited regarding "Site profile Submission/Notice of Intent to Undertake Independent Remediation/ Application for Rezoning at 5702 Granville" - September 24, 2001;
- Site Profile submitted by Imperial Oil for 5702 Granville Street (August 21, 2001);
- Rezoning Application was received for 5702 Granville (August 20, 2001);
- A File Research was executed in January 17, 2000;
- Correspondence to Westmount Construction Ltd. regarding tank removal at 5702 Granville Street;
- Correspondence from City of Vancouver's Inspections and Enforcement Division to Imperial Oil Limited with regards to 5702 Granville Street operation, where the pumps are losing their prime (November 12, 1976).

We do not warrant that the above information is complete or accurate, nor that no contamination is present on this property.

Please refer to other City Departments (including City Archives) for any information they might hold. Further, in that matters of the environment and contamination are subject to Provincial and Federal authority, we refer you also to those authorities for such further information, if any, as they might possess.

Neither the City of Vancouver, nor the party signing below warrants or guarantees the accuracy or completeness of the above information. The information is provided on the following conditions:

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- that should any or all of the information be inaccurate, incomplete or misleading, for any reason including negligence on the part of the City or the party signing below, the City shall, as against any person or corporation who may rely on the contents of this letter, be able to assert and enforce its full legal rights as if this letter had not been signed and as if any and all persons and corporations who may rely on the contents of this letter had not relied on the contents of this letter.

I trust this is the information you require.

Yours truly,



C. Wong, Manager
By-law Compliance and Administration

LK/gm

Encl.

MEMORANDUM

July 15, 2015

TO: Rose Turner, Glenn Mortensen
File Research/Community Services Group - Licences & Inspections - Bylaw
Administration Branch

FROM: Linda Kwan, Analyst, Environmental Contamination Team

SUBJECT: File Research (Records Found) - 5702 Granville Street

We have searched the files in the Environmental Contamination Team and have the following information with respect to this property:

- Ministry of Environment - confirmation of receipt of information regarding Independent Remediation of 5702 Granville Street (Site ID: 7476) - August 10, 2006
- Correspondence from Morrow Environmental Consultants - Treated Groundwater Discharge data for the ESSO Service Station at 5702 Granville Street - December 24, 2002
- Correspondence from Morrow Environmental - Groundwater Analysis Results - November 29, 2002
- Correspondence from Morrow Environmental - Completion of Remediation Program - October 18, 2002
- Correspondence from Imperial Oil Limited with reference to 5702 Granville Street (October 17, 2002) stating accessible petroleum hydrocarbon impacts on the site were excavated prior to commencing the re-development of the property.
- A Waste Discharge Permit (SC920327) for the purpose of remediation at 5702 Granville Street was issued September 19, 2002
- Morrow Environmental forwarding an Application for a Waste Discharge Permit for treated groundwater during remediation at 5702 Granville Street (September 6, 2002)
- Correspondence from Imperial Oil (received by Environmental Protection Branch September 9, 2002) with reference to the correspondence to the Ministry of Water, Land and Air Protection advising of Imperial Oil's intent to proceed with Independent Remediation at 5702 Granville Street.
- City of Vancouver correspondence to Ministry of Water, Land and Air Protection with reference to 5702 Granville Street's subdivision application (January 14, 2002)
- Ministry of Water, Land and Air Protection response to Imperial Oil Limited regarding "Site profile Submission/Notice of Intent to Undertake Independent Remediation/ Application for Rezoning at 5702 Granville" - September 24, 2001

RECORDS FOR ENVIRONMENTAL

- Site Profile submitted by Imperial Oil for 5702 Granville Street (August 21, 2001)
- Rezoning Application was received for 5702 Granville (August 20, 2001)
- A File Research was executed in January 17, 2000
- Correspondence to Westmount Construction Ltd. regarding tank removal at 5702 Granville Street
- Correspondence from City of Vancouver's Inspections and Enforcement Division to Imperial Oil Limited with regards to 5702 Granville Street operation where the pumps are losing their prime (November 12, 1976)

Our search was of files held in this Branch only. We do not warrant that we have complete or accurate information, nor that no contamination is present on this property.

Please refer to other City Departments (including City Archives) for any information they might hold. Further, in that matters of environment and contamination are subject to Provincial and Federal authority, we refer you also to those authorities for such information, if any, as they might possess.



CITY OF VANCOUVER



DATE ISSUED SEPTEMBER 12, 2002		PERMIT TYPE FIRE PREVENTION DIVISION PERMIT				PERMIT NUMBER P FI 401349	
LEGAL DESCRIPTION LOT BLOCK PLAN DIST					ADDRESS 5702 GRANVILLE ST		
ADDITIONAL ADDRESS INFORMATION					SPECIFICS		
APPLICATION DATE SEP 12, 2002	PURPOSE REMOVAL	PROJECT VALUE	ASSESSED VALUE	PLANS	METRIC NO	PLACE NAME	
TEMPORARY PERMIT DATES		TEMPORARY USE DATES			SUBTYPE		
APPLICANT CONTRACTOR HAZCO ENVIRONMENTAL SERVICES C/O RON BOBKE 160 13511 VULCAN WAY RICHMOND BC V6V 1K4					CONTACT 2 PROPERTY OWNER IMPERIAL OIL VANCOUVER BC		CONTACT 3
TEL 604-231-0737	BUS.LICENSE 40414	TEL	BUS.LICENSE	TEL	BUS.LICENSE		
TEL 604-214-7000	CERTIFICATE	FAX	CERTIFICATE	FAX	CERTIFICATE		
PURSUANT TO THE FIRE BY-LAW, THE FOLLOWING WORK IS HEREBY AUTHORIZED:							
to remove one tank on site capacity 5000 gallons setbacks 70m bottom of tank at 4.0m							
PERMIT CONDITIONS AND NOTES:							
001 THE WORK UNDER THIS PERMIT IS AUTHORIZED PURSUANT TO THE FIRE BY-LAW.							
025 If the work cannot be completed in the same day, the owner must follow the requirements of Section 8.2 of the Vancouver Building By-law for Protection of the Public and Fire Safety on fencing off construction sites.							
040 Tank removal must comply with subsection 4.10.3 of the Vancouver Fire By-law.							
045 Written verification from contractor to District Fire Inspector for work complete.							
050 Phone the District Fire Inspector at 604-873-7595 for an inspection prior to backfilling. Please arrange for the inspection at least 24 hours in advance. If the inspector is not available, photographs should be taken to illustrate that the site is not contaminated.							
GENERAL USE		SPECIFICS/LOCATION		AREA (SF)		OCC	
R21 GAS STN - SPLT ISL						F2	
ITEM		SPECIFICS/REFERENCE		QTY/AMT			
2010 OIL TANK				1 GU			
APPROVALS REQUIRED BEFORE PERMIT IS COMPLETED INCLUDE : FIRE INSPECTION							
AS OWNER OR OWNERS' AGENT, I HAVE VERIFIED THAT THE INFORMATION CONTAINED WITHIN THIS DOCUMENT AND ASSOCIATED PLANS IS CORRECT, AND DESCRIBES A USE, A BUILDING OR A WORK WHICH COMPLIES WITH ALL RELEVANT BY-LAWS AND STATUTES. I ACKNOWLEDGE THAT RESPONSIBILITY FOR BY-LAW COMPLIANCE RESTS WITH THE OWNER AND THE OWNER'S EMPLOYEES, AGENTS AND CONTRACTORS. I WILL INDEMNIFY AND SAVE HARMLESS THE CITY OF VANCOUVER, ITS OFFICIALS, EMPLOYEES AND AGENTS AGAINST ALL CLAIMS, LIABILITIES AND EXPENSES OF EVERY KIND, IN RESPECT OF ANYTHING DONE OR NOT DONE PURSUANT TO THIS APPLICATION OR FACT SHEET OR ENSUING PERMIT, INCLUDING NEGLIGENCE AND/OR THE FAILURE TO OBSERVE ALL BY-LAWS, ACTS OR REGULATIONS.							
FEE		AMOUNT		FEE		AMOUNT	
657 TANK - OTHER		140.00					
				SIGNATURE			
				DATE			
				ISSUED BY			
				FOR THE			
INVOICE : 300011				TOTAL		\$140.00	

PSD200.01



Corporate Head Office:
5151 CANADA WAY
BURNABY, BRITISH COLUMBIA
CANADA V5E 3N1

TELEPHONE: 604 515 5151
FACSIMILE: 604 515 5150

WWW.MORROWENV.COM
CORP@MORROWENV.COM

2002 09 03

Project V9-335

VIA FAX: 604-873-7872

Fire Prevention Division
Vancouver Fire and Rescue Services
456 West Broadway
VANCOUVER, BC
V5Y 1R3

HAZCO
RON BOBKE
604 214 7000

FI 401349

ATTENTION: Mr. John Poole, Lieutenant of Customer Service

REFERENCE: Decommissioning of Pump Islands
and Underground Storage Tank Basins at the Esso Service Station
Located at 5702 Granville Street, Vancouver, BC

As requested by Imperial Oil Limited (IOL), Morrow Environmental Consultants Inc. (Morrow) will be providing environmental consulting services during the decommissioning of the pump islands and underground storage tank (UST) basins located at 5702 Granville Street in Vancouver, BC. The decommissioning activities are currently scheduled for the week of 2002 09 16.

Should you have any questions, please do not hesitate to contact Meredith Guest at 604-473-2073, ext. 12.

Daisy Lung, EIT

MORROW ENVIRONMENTAL CONSULTANTS INC.

DL/pv
T:\V9\V9335L903DLA.DOC
enc.

cc: Ms. Linda Eastcott, Imperial Oil Limited, Burnaby, BC

*Entered Oct 30/02
Dickson*

Corporate Head Office:
Burnaby, British Columbia

Regional Offices:
BRITISH COLUMBIA
Burnaby Kelowna
Victoria Cranbrook
Nanaimo Prince George

ALBERTA **MANITOBA**
Terrace Calgary
Fort St. John Edmonton
Winnipeg



CITY OF VANCOUVER



DATE ISSUED OCTOBER 30, 2002		PERMIT TYPE FIRE PREVENTION DIVISION PERMIT				PERMIT NUMBER P FI 401420		
LEGAL DESCRIPTION LOT BLOCK PLAN DIST					ADDRESS 5702 GRANVILLE ST			
ADDITIONAL ADDRESS INFORMATION					SPECIFICS			
APPLICATION DATE OCT 30, 2002	PURPOSE INSTALLATN	PROJECT VALUE	ASSESSED VALUE	PLANS	METRIC NO	PLACE NAME		
TEMPORARY PERMIT DATES		TEMPORARY USE DATES				SUBTYPE		
APPLICANT CONTRACTOR LEDCOR CONSTRUCTION 1000-1066 W HASTINGS VANCOUVER BC V6E 3X1					CONTACT 2 CERT PROFESSIONAL LINDA VALTER 1400 - 510 W HASTINGS ST VANCOUVER BC		CONTACT 3 PROPERTY OWNER IMPERIAL OIL 90 WYNFORD DRIVE DON MILLS ON	
TEL: 604-699-2924	BUS LICENSE 255465	TEL: 604-682-0388	BUS LICENSE CERTIFICATE	TEL:	BUS LICENSE CERTIFICATE			
TEL: 604-240-9479	CERTIFICATE	FAX:	CERTIFICATE	FAX:	CERTIFICATE			

JOHN DAILY

PURSUANT TO THE FIRE BY-LAW, THE FOLLOWING WORK IS HEREBY AUTHORIZED:

**INSTALL 3 TANKS ON SITE. CAPACITY 46000 L. INSTALL 5 PUMPS ON SITE.
TYPE: BLENDERS. TRADE NAME: GILBARCO.**

INSTALL 3 DOUBLEWALL TANKS AND LINES TO 5 PUMPS, VAPOUR EXTRACTION SYSTEM.

PERMIT CONDITIONS AND NOTES:

- 001 THE WORK UNDER THIS PERMIT IS AUTHORIZED PURSUANT TO THE FIRE BY-LAW.
- 010 For fuel dispensing site or known contamination site, clearance from Environmental Protection Branch.
- 015 A separate building permit is required for excavation and shoring, plus modified geotechnical engineer's letter.
- 025 If the work cannot be completed in the same day, the owner must follow the requirements of Section 8.2 of the Vancouver Building By-law for Protection of the Public and Fire Safety on fencing off construction sites.
- 045 Written verification from contractor to District Fire Inspector for work complete.
- 050 Phone the District Fire Inspector at 604-873-7595 for an inspection prior to backfilling. Please arrange for the inspection at least 24 hours in advance. If the inspector is not available, photographs should be taken to illustrate that the site is not contaminated.
- 055 New tank installation must comply with Part 4 of the Vancouver Fire Bylaw.

GENERAL USE	SPECIFICS/LOCATION	AREA (SF)	OCC	GENERAL USE	SPECIFICS/LOCATION	AREA (SF)	OCC
R21 GAS STN - SPLT ISL			F2	R70 RETAIL STORE			R
S41 MTR VHC WASH			F3				

ITEM	SPECIFICS/REFERENCE	QTY/AMT	GU	ITEM	SPECIFICS/REFERENCE	QTY/AMT
2020 GAS TANK		46000	GU	2040 PUMP		5

RELATED PERMITS: BU423092 CONSTRUCT 5702 GRANVILLE ST
 APPROVALS REQUIRED BEFORE PERMIT IS COMPLETED INCLUDE : FIRE INSPECTION
 PROCESSED BY: APPLICATION TAKEN BY J WONG. PERMIT AUTHORIZED BY J POOLE
 PERMIT ISSUED BY J WONG.

ENTERED
(OCT 13 02)

COMMENTS:

FEE	AMOUNT	FEE	AMOUNT	DEPARTMENT	
657 TANK - OTHER	140.00			FIRE DEPARTMENT	
				ATTENTION	FIRE INSPECTOR
				REASON	PERMIT INSPECTION
INVOICE: 305288		TOTAL	\$140.00		

PSD204.01

CITY OF VANCOUVER



DATE ISSUED OCTOBER 30, 2002		PERMIT TYPE FIRE PREVENTION DIVISION PERMIT			PERMIT NUMBER P FI 401420	
LEGAL DESCRIPTION LOT BLOCK PLAN DIST				ADDRESS 5702 GRANVILLE ST		
ADDITIONAL ADDRESS INFORMATION				SPECIFICS		
APPLICATION DATE OCT 30, 2002	PURPOSE INSTALLATN	PROJECT VALUE	ASSESSED VALUE	PLANS	METRIC NO	PLACE NAME
TEMPORARY PERMIT DATES		TEMPORARY USE DATES		SUBTYPE		
APPLICANT CONTRACTOR LEDCOR CONSTRUCTION 1000-1066 W HASTINGS VANCOUVER BC V6E 3X1				CONTACT 2 CERT PROFESSIONAL LINDA VALTER 1400 - 510 W HASTINGS ST VANCOUVER BC		CONTACT 3 PROPERTY OWNER IMPERIAL OIL 90 WYNFORD DRIVE DON MILLS ON
TEL 604-699-2924	BUS.LICENSE 255465	TEL 604-682-0388	BUS.LICENSE	TEL	BUS.LICENSE	
TEL 604-240-9479	CERTIFICATE	FAX	CERTIFICATE	FAX	CERTIFICATE	

PURSUANT TO THE FIRE BY-LAW, THE FOLLOWING WORK IS HEREBY AUTHORIZED:

**INSTALL 3 TANKS ON SITE. CAPACITY 46000 L. INSTALL 5 PUMPS ON SITE.
TYPE: BLENDERS. TRADE NAME: GILBARCO.**

INSTALL 3 DOUBLEWALL TANKS AND LINES TO 5 PUMPS, VAPOUR EXTRACTION SYSTEM.

PERMIT CONDITIONS AND NOTES:

- 001 THE WORK UNDER THIS PERMIT IS AUTHORIZED PURSUANT TO THE FIRE BY-LAW.
- 010 For fuel dispensing site or known contamination site, clearance from Environmental Protection Branch.
- 015 A separate building permit is required for excavation and shoring, plus modified geotechnical engineer's letter.
- 025 If the work cannot be completed in the same day, the owner must follow the requirements of Section 8.2 of the Vancouver Building By-law for Protection of the Public and Fire Safety on fencing off construction sites.
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GENERAL USE	SPECIFICS/LOCATION	AREA (SF)	OCC	GENERAL USE	SPECIFICS/LOCATION	AREA (SF)	OCC
R21 GAS STN - SPLT ISL			F2	R70 RETAIL STORE			E
R41 MTR VHC WASH			F3				
ITEM	SPECIFICS/REFERENCE	QTY/AMT		ITEM	SPECIFICS/REFERENCE	QTY/AMT	
2020 GAS TANK		46000 GU		2040 PUMP		5	

RELATED PERMITS: BU423092 CONSTRUCT 5702 GRANVILLE ST
 APPROVALS REQUIRED BEFORE PERMIT IS COMPLETED INCLUDE : FIRE INSPECTION

AS OWNER OR OWNERS' AGENT, I HAVE VERIFIED THAT THE INFORMATION CONTAINED WITHIN THIS DOCUMENT AND ASSOCIATED PLANS IS CORRECT, AND DESCRIBES A USE, A BUILDING OR A WORK WHICH COMPLIES WITH ALL RELEVANT BY-LAWS AND STATUTES. I ACKNOWLEDGE THAT RESPONSIBILITY FOR BY-LAW COMPLIANCE RESTS WITH THE OWNER AND THE OWNER'S EMPLOYEES, AGENTS AND CONTRACTORS. I WILL INDEMNIFY AND SAVE HARMLESS THE CITY OF VANCOUVER, ITS OFFICIALS, EMPLOYEES AND AGENTS AGAINST ALL CLAIMS, LIABILITIES AND EXPENSES OF EVERY KIND, IN RESPECT OF ANYTHING DONE OR NOT DONE PURSUANT TO THIS APPLICATION OR FACT SHEET OR ENSUING PERMIT, INCLUDING NEGLIGENCE AND/OR THE FAILURE TO OBSERVE ALL BY-LAWS, ACTS OR REGULATIONS.

FEE	AMOUNT	FEE	AMOUNT	SIGNATURE
657 TANK - OTHER	140.00			
				DATE
				ISSUED BY
				J WONG.
				FOR THE
				FIRE CHIEF
INVOICE : 305288		TOTAL		\$140.00



Corporate Head Office:

5151 CANADA WAY
BURNABY, BRITISH COLUMBIA
CANADA V5E 3N1

TELEPHONE 604 515 5151
FACSIMILE 604 515 5150

WWW.MORROWENVY.COM
CORP@MORROWENVY.COM

2002 09 03

Project V9-335

VIA FAX: 604-873-7872

Fire Prevention Division
Vancouver Fire and Rescue Services
456 West Broadway
VANCOUVER, BC
V5Y 1R3

HAZCO
RON BOBKE
604 214 7000

FI 401349

ATTENTION: Mr. John Poole, Lieutenant of Customer Service

REFERENCE: Decommissioning of Pump Islands
and Underground Storage Tank Basins at the Esso Service Station
Located at 5702 Granville Street, Vancouver, BC

As requested by Imperial Oil Limited (IOL), Morrow Environmental Consultants Inc. (Morrow) will be providing environmental consulting services during the decommissioning of the pump islands and underground storage tank (UST) basins located at 5702 Granville Street in Vancouver, BC. The decommissioning activities are currently scheduled for the week of 2002 09 16.

Should you have any questions, please do not hesitate to contact Meredith Guest at 604-473-2073, ext. 12.


Daisy Lung, EIT

MORROW ENVIRONMENTAL CONSULTANTS INC.

DL/pv
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enc.

cc: Ms. Linda Eastcott, Imperial Oil Limited, Burnaby, BC

*Reviewed Oct 30/02
D. Johnson*

Corporate Head Office:
Burnaby, British Columbia

Regional Offices:

BRITISH COLUMBIA

Burnaby Kelowna
Victoria Cranbrook
Nanaimo Prince George

ALBERTA

Terrace
Fort St John

Calgary
Edmonton

MANITOBA

Winnipeg



CITY OF VANCOUVER



DATE ISSUED SEPTEMBER 12, 2002		PERMIT TYPE FIRE PREVENTION DIVISION PERMIT				PERMIT NUMBER P FI 401349	
LEGAL DESCRIPTION LOT BLOCK PLAN DIST					ADDRESS 5702 GRANVILLE ST		
ADDITIONAL ADDRESS INFORMATION					SPECIFICS		
APPLICATION DATE SEP 12, 2002	PURPOSE REMOVAL	PROJECT VALUE	ASSESSED VALUE	PLANS	METRIC NO	PLACE NAME	
TEMPORARY PERMIT DATES					TEMPORARY USE DATES		
					SUBTYPE		
					CO-ORDINATE		
APPLICANT CONTRACTOR HAZCO ENVIRONMENTAL SERVICES C/O RON BOBKE 160 13511 VULCAN WAY RICHMOND BC V6V 1K4				CONTACT 2 PROPERTY OWNER IMPERIAL OIL VANCOUVER BC		CONTACT 3	
TEL 604-231-0737	BUS.LICENSE 40414	TEL	BUS.LICENSE	TEL	BUS.LICENSE		
TEL 604-214-7000	CERTIFICATE	FAX	CERTIFICATE	FAX	CERTIFICATE		

PURSUANT TO THE FIRE BY-LAW, THE FOLLOWING WORK IS HEREBY AUTHORIZED:

to remove one tank on site capacity 5000 gallons setbacks 70m bottom of tank at 4.0m

PERMIT CONDITIONS AND NOTES:

- 001 THE WORK UNDER THIS PERMIT IS AUTHORIZED PURSUANT TO THE FIRE BY-LAW.
- 025 If the work cannot be completed in the same day, the owner must follow the requirements of Section 8.2 of the Vancouver Building By-law for Protection of the Public and Fire Safety on fencing off construction sites.
- 040 Tank removal must comply with subsection 4.10.3 of the Vancouver Fire By-law.
- 045 Written verification from contractor to District Fire Inspector for work complete.
- 050 Phone the District Fire Inspector at 604-873-7595 for an inspection prior to backfilling. Please arrange for the inspection at least 24 hours in advance. If the inspector is not available, photographs should be taken to illustrate that the site is not contaminated.

GENERAL USE	SPECIFICS/LOCATION	AREA (SF)	OCC	GENERAL USE	SPECIFICS/LOCATION	AREA (SF)	OCC
R21 GAS STN - SPLT ISL			F2				
ITEM	SPECIFICS/REFERENCE	QTY/AMT		ITEM	SPECIFICS/REFERENCE	QTY/AMT	
2010 OIL TANK		1	GU				

APPROVALS REQUIRED BEFORE PERMIT IS COMPLETED INCLUDE : FIRE INSPECTION
 PROCESSED BY: APPLICATION TAKEN BY D FLEMING PERMIT AUTHORIZED BY A KIRK
 PERMIT ISSUED BY D FLEMING

COMMENTS :

FEE	AMOUNT	FEE	AMOUNT	DEPARTMENT	
657 TANK - OTHER	140.00			FIRE DEPARTMENT	
				ATTENTION	FIRE INSPECTOR
				REASON	PERMIT INSPECTION
INVOICE : 300011		TOTAL	\$140.00		

PSD204.01

Imperial Oil
Products and Chemicals Division
3232 Underhill Ave.
Burnaby, BC V5A 3C7

Lawrence Ng
Real Estate Manager
Retail Division

Tel: (604) 420-3195
Fax: (604) 420-3196
Email: lawrence.ng
@esso.com

August 21, 2001

City of Vancouver
Environmental Protection
Unit 301 - 456 West Broadway
Vancouver, B.C.
V5Y 1R3

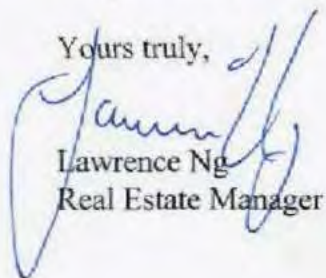
Attn: Mr. Hank Uyeyama

Re: 5702 Granville Street

Dear Sir:

As requested, please find enclosed a completed Site Profile for the above noted site along with a cheque in the amount of \$50.00 representing the application fee.

Yours truly,


Lawrence Ng
Real Estate Manager

CHECKED AUG 24, 2001

APPROVED [Signature]

RE: 5702 GRANVILLE
REZONING

SCHEDULE 1
Site Profile

(Version 1.2)

I CONTACT IDENTIFICATION

A. Name of Site Owner:

Last Hynes First Heather Middle Initial (s) M (and/or, if applicable)
Company Imperial Oil Limited
Owner's Civic Address 325, 9405 - 50th Street,
City Edmonton Province/State Alberta
Country Canada Postal Code/ZIP T6B 2T4

B. Person Completing Site Profile (leave blank if same as above):

Last Roberts First Nicholas Middle Initial (s) J (and/or, if applicable)
Company Morrow Environmental Consultants Inc.

C. Person to Contact Regarding the Site Profile:

Last Hynes First Heather Middle Initial (s) M (and/or, if applicable)
Company Imperial Oil
Mailing Address As above
City _____ Province/State _____
Country _____ Postal Code/ZIP _____
Telephone (780) 440 - 8111 Fax (780) 440 - 8124

II SITE IDENTIFICATION

IF Legally Titled, Registered Property

Site Street Address (if applicable) 5702 Granville Street
City Vancouver Postal Code V6M 3C7

PID numbers and associated legal descriptions. *Attach an additional sheet if necessary.*

PID	Legal Description
<u>009-014-772</u>	<u>Lot A of Lot 1, Block 6, District Lot 526, Plan 11771</u>

Total number of titled parcels represented by this site profile is: 1

**SCHEDULE 1
Site Profile**

(Version 1.2)

IF Untitled Crown Land

1) **PIN** numbers and associated Land Description. *Attach an additional sheet if necessary.*

<u>PIN</u>	<u>Land Description</u>
_____	_____
_____	_____
_____	_____
_____	_____

Total number of untitled, crown land parcels represented by this site profile is: _____

OR

2) Coordinates (using the North American Datum 1983 convention) for the centre of the site:

Latitude:	Degrees	49	Minutes	14	Seconds	0
Longitude:	Degrees	123	Minutes	8	Seconds	15

Please attach a map of appropriate scale showing the boundaries of the site.
(and, if available)

Crown Land file numbers. *Attach an additional sheet if necessary.*

(All the Following Questions Must Be Answered)

III COMMERCIAL AND INDUSTRIAL PURPOSES OR ACTIVITIES

Please indicate below, in the format of the example provided, which of the industrial and commercial purposes and activities from Schedule 2 have occurred or are occurring on this site.

EXAMPLE:

<u>Schedule 2 Reference</u>	<u>Description</u>
E1	appliance, equipment or engine repair, reconditioning, cleaning or salvage
F10	solvent manufacturing or wholesale bulk storage

Please print legibly. Attach an additional sheet if necessary.

<u>Schedule 2 Reference</u>	<u>Description</u>
F5	Petroleum product dispensing facilities, including service stations and cardlocks
_____	_____
_____	_____
_____	_____

**SCHEDULE 1
Site Profile**

(Version 1.2)

IV. AREAS OF POTENTIAL CONCERN			
	Is there currently or to the best of your knowledge has there previously been on the site any (please mark the appropriate column opposite the question):	YES	NO
A	Petroleum, solvent or other polluting substance spills to the environment greater than 100 litres?		X
B	Residue left after removal of piled materials such as chemicals, coal, ore, smelter slag, air quality control system baghouse dust?		X
C	Discarded barrels, drums or tanks?		X
V. FILL MATERIALS			
	Is there currently or to the best of your knowledge has there previously been on the site any deposit of (please mark the appropriate column opposite the question):	YES	NO
A	Fill dirt, soil, gravel, sand or like materials from a contaminated site or from a source used for any of the activities listed under Schedule 2?		X
B	Discarded or waste granular materials such as sand blasting grit, asphalt paving or roofing material, spent foundry casting sands, mine ore, waste rock or float?		X
C	Dredged sediments, or sediments and debris materials originating from locations adjacent to foreshore industrial activities, or municipal sanitary or stormwater discharges?		X
VI. WASTE DISPOSAL			
	Is there currently or to the best of your knowledge has there previously been on the site any landfilling, deposit or dumping in pits, ponds, lagoons or natural depressions of (please mark the appropriate column opposite the question):	YES	NO
A	Materials such as household garbage, mixed municipal refuse, or demolition debris?		X
B	Waste or byproducts such as tank bottoms, residues, sludge or flocculation precipitates from industrial processes or wastewater treatment?		X
C	Waste products from smelting or mining activities, such as smelter slag, mine tailings, or cull materials from coal processing?		X
D	Waste products from natural gas and oil well drilling activities, such as drilling fluids and muds?		X
E	Waste products from photographic developing or finishing laboratories; asphalt tar roofing manufacturing; boilers, incinerators or other thermal facilities (e.g. ash); appliance, small equipment or engine repair or salvage; dry cleaning operations (e.g. solvents); or automobile and truck parts cleaning or repair?		X

**SCHEDULE 1
Site Profile**

(Version 1.2)

VII. TANKS OR CONTAINERS USED OR STORED			
	Are there currently or to the best of your knowledge have there been previously on the site any (please mark the appropriate column opposite the question):	YES	NO
A	Underground fuel or chemical storage tanks?	X	
B	Above ground fuel or chemical storage tanks?		X
VIII. SPECIAL (HAZARDOUS) WASTES OR SUBSTANCES			
	Are there currently or to the best of your knowledge have there been previously on the site any (please mark the appropriate column opposite the question):	YES	NO
A	PCB-containing electrical transformers or capacitors either at grade, attached above ground to poles, located within buildings, or stored?		X
B	Waste asbestos or asbestos containing materials such as pipe wrapping, blown-in insulation or panelling buried?		X
C	Paints, solvents, mineral spirits or waste pest control products or pest control product containers stored in volumes greater than 205 litres?		X
IX. LEGAL OR REGULATORY ACTIONS OR CONSTRAINTS			
	To the best of your knowledge, are there currently any of the following pertaining to the site (please mark the appropriate column opposite the question):	YES	NO
A	Government orders or other notifications pertaining to environmental conditions or quality of soil, water, groundwater or other environmental media?		X
B	Liens to recover costs, restrictive covenants on land use, or other charges or encumbrances, stemming from contaminants or wastes remaining onsite or from other environmental conditions?		X
C	Government notification relating to past or recurring environmental violations at the site or any facility located on the site?		X
X. ADDITIONAL COMMENTS AND EXPLANATIONS			
<p>(Note 1: Please list any past or present government orders, permits, approvals, certificates and notifications pertaining to the environmental condition, use or quality of soil, surface water, groundwater or biota at the site.</p> <p>Note 2: If completed by a consultant, receiver or trustee, please indicate the type and degree of access to information used to complete this site profile. Attach extra pages if necessary):</p> <p>Stage 1 PSI current in progress</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>			

**SCHEDULE 1
Site Profile**

(Version 1.2)

XI. SIGNATURES

The person completing the site profile state that the above information is true, based on the person's current knowledge as of the date completed.

Nicholas La

2001 01 29.

Signature of person completing site profile

Date completed (YY-MM-DD)

XI. OFFICIAL USE

Local Authority

Reason For Submission (Please check one or more of the following)

Soil Removal

Subdivision Application Zoning Application Development Permit Variance Permit Demolition Permit

Date Received:

Local government contact:

Date Submitted to
Site Registrar:

Date forwarded to BC
Environment Manager:

AUGUST 24/01

Name: HANK UNEYAMA
Agency: CITY OF VANCOUVER
Address: 453 WEST 12TH AVENUE
VANCOUVER V5Y 1V4
Telephone (604) 813-7132 Fax (604) 813-7163

AUGUST 24, 2001

BC Environment Manager

Reason For Submission (Please check one or more of the following)

Under order Site Decommissioning Foreclosure

Date Received:

Assessed by / local contact:

Investigation
Required?

Decision Date:

Name _____
Region _____ YES NO
Telephone _____ Fax _____
If site profile entered, SITE ID # _____

Site Registrar

Date Received:

Entered on to site registry by:

Site ID #:

Entry Date:



SCALE 1 : 1,760





WASTE DISCHARGE PERMIT

Issued by the Environmental Protection Branch,
Permits and Licenses Department, City of Vancouver,
under the provisions of the Greater Vancouver Sewerage
& Drainage District Sewer Use By-law No. 164

PERMIT ISSUED TO:

Name: MORROW ENVIRONMENTAL CONSULTANTS INC.
Address: 5151 Canada Way
City: Burnaby BC V5E 3N1
Telephone: (604) 515-5151 FAX: (604) 515-5150

FOR NON-DOMESTIC WASTES DISCHARGED TO THE SEWER FROM:

Company Name: IMPERIAL OIL LIMITED
Address: 5702 Granville Street, Vancouver

CONTACT:

Name: Daisy Lung
Title: Project Co-ordinator
Telephone: (604) 473-2073 (Ext. 27)

NATURE OR TYPE OF BUSINESS: REMEDIATION

This Permit has been issued under the terms and conditions prescribed in the Greater Vancouver Sewerage & Drainage District Sewer Use By-law No. 164 and in the attached Appendices:

A & B

I understand the responsibilities for compliance with the Greater Vancouver Sewerage & Drainage District Sewer Use By-law No. 164 and the conditions of this Permit.

Michelle Wiper
Signature of Permittee

D.H. Robert
DISTRICT SEWAGE CONTROL MANAGER

Date Issued: SEP 19 2002

Date Amended:

APPENDIX A

TO WASTE DISCHARGE PERMIT NO. SC020327

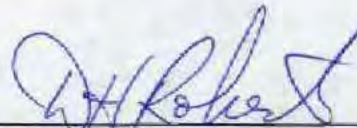
This Appendix sets out the standard conditions, engineering units, and the requirement for emergency procedures.

A. STANDARD CONDITIONS

1. Except where otherwise indicated in this Permit, all terms and conditions stipulated in Greater Vancouver Sewerage & Drainage District Sewer Use By-law No. 164 shall apply to this Permit.
2. The terms and conditions of this Permit may be amended as deemed necessary by the Manager.
3. Definitions contained within Greater Vancouver Sewerage & Drainage District Sewer Use By-law No. 164 apply to the terminology in this Permit.
4. The Permittee shall inspect the pollution control works regularly and maintain them in good working order. The District Sewage Control Manager shall be notified of any malfunctions of these works.
5. The discharge of non-domestic waste which has bypassed the authorized works is prohibited.
6. The Permittee shall notify the District Sewage Control Manager prior to implementing changes to any process, authorized works, or any other condition that may affect the quality and/or quantity of the discharge.

Date Issued:

SEP 19 2002



DISTRICT SEWAGE CONTROL MANAGER

Date Amended: _____

APPENDIX A

APPENDIX A (Cont'd)

TO WASTE DISCHARGE PERMIT NO. SC020327

B. ENGINEERING UNITS

The engineering units specified in this Permit are in accordance with the Metric System of measure. Approximate equivalent values for the British Imperial System can be calculated using the following conversion factors.

IGPD	÷	220	=	m ³ /day
IGPM	÷	0.22	=	ℓ/min
cfs	÷	35.3	=	m ³ /s
ppm	÷	1	=	mg/ℓ
lb	÷	2.205	=	kg

Where:

m ³	=	cubic metres	IGPD	=	Imperial gallons per day
ℓ	=	litres	IGPM	=	Imperial gallons per min
mg	=	milligrams	cfs	=	cubic feet per second
kg	=	kilograms	ppm	=	parts per million
s	=	seconds	lb	=	pounds

C. EMERGENCY PROCEDURES

In the event of an emergency or condition which prevents the continuing operation of any pollution control works or procedures designated by this Permit or results in a violation of any discharge criteria specified in this Permit, the Permittee shall notify the City of Vancouver Environmental Protection Branch at (604) 667-7285 (24 hours) immediately and shall undertake appropriate remedial action.

Date Issued: SEP 19 2002

DISTRICT SEWAGE CONTROL MANAGER

Date Amended: _____

APPENDIX A

APPENDIX B

TO WASTE DISCHARGE PERMIT NO. SC020327

This Appendix sets out the requirements for the authorized works.

A. AUTHORIZED WORKS

- 1. The works authorized are as follows:
 - (a) Storage Tank
 - (b) Bag Filters
 - (c) Two Carbon Vessels Connected in Series
 - (d) Related Appurtenances

B. AUTHORIZED RATE OF DISCHARGE AND VOLUME

- (a) Maximum rate of discharge of treated groundwater discharged to the sanitary sewer is 200 l/min.
- (b) Authorized volume discharge of treated groundwater to the sanitary sewer during the validity of the Permit is 200 cubic metres.

C. AUTHORIZED DISCHARGE CHARACTERISTICS

- (a) The PERMITTEE shall not discharge **Prohibited Waste** as defined in Schedule A of the By-law.
- (b) The PERMITTEE shall not discharge **Restricted Waste** as defined in Schedule B of the By-law unless otherwise specified in (c) below.
- (c)
 - Total Polycyclic Aromatic Hydrocarbons (PAH) 0.05 mg/l {maximum}
 - Total Extractable Hydrocarbons (TEH) 15 mg/l {maximum}
 - Total Benzene/Ethylbenzene/Toluene/Xylene (BETX) 1.0 mg/l {maximum}
 - Total Suspended Solids (TSS) 600 mg/l {maximum}
 - pH 5.5 - 10.5 range
 - Methyl Tertiary Butyl Ether (MTBE) 4.4 mg/l {maximum}
 - Total Cadmium 0.2 mg/l {maximum}
 - Total Chromium 4.0 mg/l {maximum}
 - Total Copper 2.0 mg/l {maximum}
 - Total Lead 1.0 mg/l {maximum}
 - Total Zinc 3.0 mg/l {maximum}

Date Issued: SEP 19 2002

DISTRICT SEWAGE CONTROL MANAGER

Date Amended: _____

APPENDIX B

APPENDIX B (Cont'd)

TO WASTE DISCHARGE PERMIT NO. SC020327

D. SAMPLING AND REPORTING REQUIREMENTS

- (a) One grab sample shall be taken during the first four hours of initial operation of the treatment system.
- (b) Further to (a) monthly grab sample shall be taken during the discharge period and subjected to the same analysis.
- (c) Samples must be collected in accordance with procedures in Standard Methods or other approved methods. The sample shall be analyzed within 48 hours by an approved laboratory using procedures from Standard Methods or other approved methods for the following parameters:
 - i. Total Polycyclic Aromatic Hydrocarbons (PAH)
 - ii. Total Extractable Hydrocarbons (TEH)
 - iii. Total Benzene/Ethylbenzene/Toluene/Xylene (BETX)
 - iv. Total Suspended Solids (TSS)
 - v. pH
 - vi. Methyl Tertiary Butyl Ether (MTBE)
 - vii. ICP Scan for total Heavy Metals
- (d) If the initial analysis for Methyl Tertiary Butyl Ether (MTBE) is less than minimum detectable concentration, then no further testing of MTBE is required.
- (e) The analysis of the sample taken in (a) & (b) above, must be reported to the District Sewage Control Manager within two weeks after the date of sampling.
- (f) Further to (e), a closure report shall be sent to the Manager and shall include the volume discharged during the discharge period, as well as the analytical data summary and discussion.

E. AUTHORIZED PERIOD OF DISCHARGE

The discharge is authorized for 90 days from September 19, 2002.

- F. We reserve the right to change the conditions of, or revoke, this Permit, at any time.

Date Issued: SEP 19 2002



DISTRICT SEWAGE CONTROL MANAGER

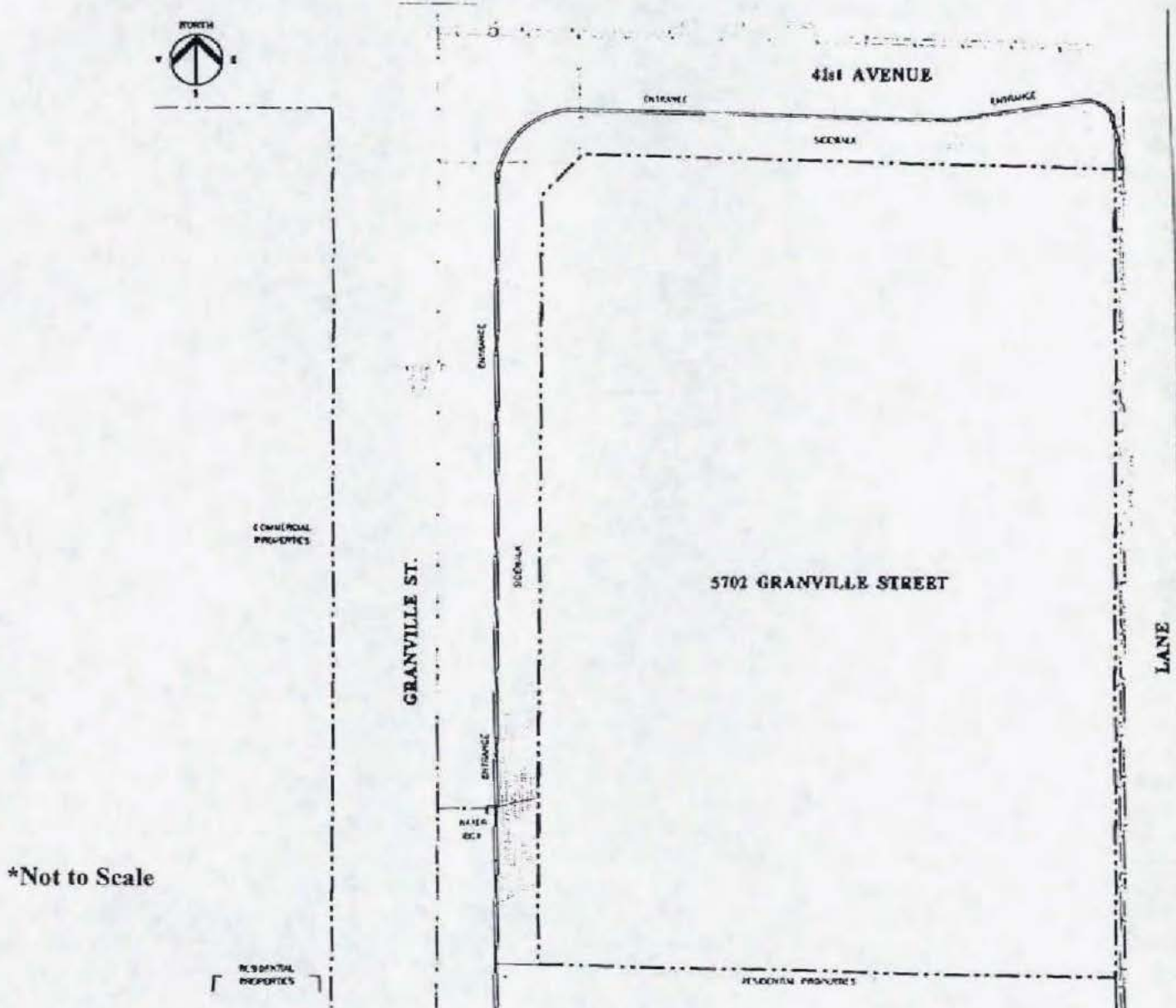
Date Amended: _____

APPENDIX B

APPENDIX B (Cont'd)

TO WASTE DISCHARGE PERMIT NO. SC020327

G. SITE PLAN



*Not to Scale

Date Issued: SEP 19 2002

DISTRICT SEWAGE CONTROL MANAGER

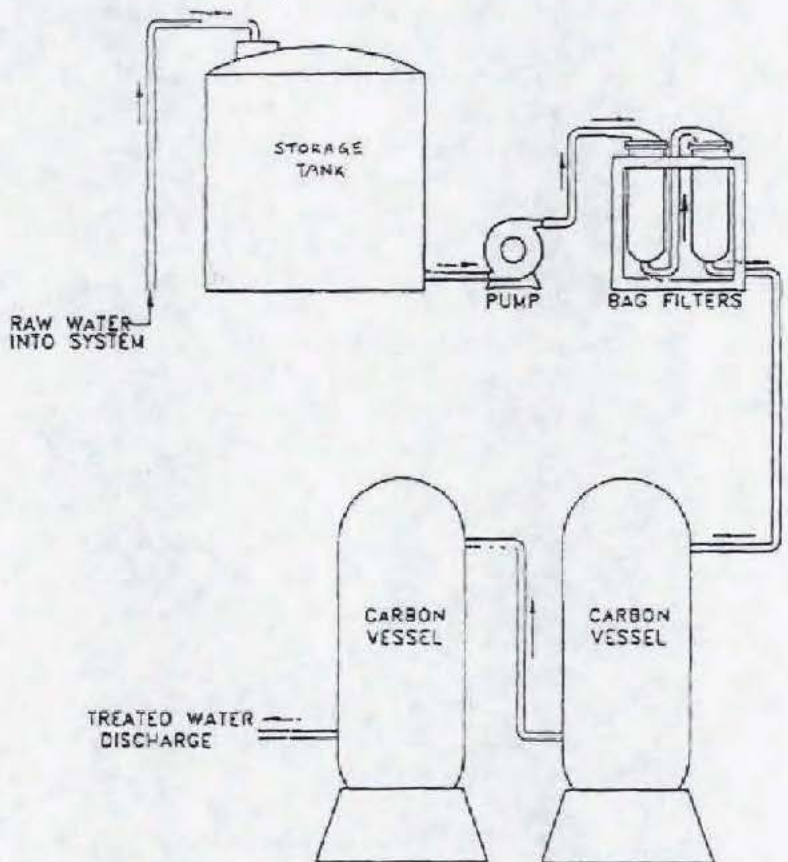
Date Amended: _____

APPENDIX B

APPENDIX B (Cont'd)

TO WASTE DISCHARGE PERMIT NO. SC020327

H. SITE PLAN



*Not to Scale

Date Issued: SEP 19 2002


DISTRICT SEWAGE CONTROL MANAGER

Date Amended: _____

APPENDIX B

CITY OF VANCOUVER INVOICE



MAIL CHEQUE OR MONEY ORDER TO:

Accounting Division, City of Vancouver
453 West 12th Avenue, Vancouver, British Columbia V5Y 1V4
Telephone (604) 873-7202

INVOICE # 0018028101
DATE: 2002/09/16
TO: MORROW ENVIRONMENTAL
CONSULTANTS INC.
5151 CANADA WAY
BURNABY BC V5E 3N1
Canada

YOUR REFERENCE:
OUR REFERENCE: SC020327

WASTE DISCHARGE PERMIT FEE FOR 90 DAYS FROM SEPTEMBER 19, 2002	\$560.00
AUTHORIZED VOLUME DISCHARGE OF 200 CUBIC METRES OF TREATED GROUNDWATER FROM 5702 GRANVILLE STREET TO THE SANITARY SEWER @ \$0.60 PER CUBIC METRE.	120.00

CONTACT PERSON: HANK UYEVAMA AT (604) 873-7732

P.S.T. AMOUNT PAYABLE	0.00
*G.S.T. AMOUNT PAYABLE	0.00
TOTAL AMOUNT PAYABLE	680.00

Payment of this invoice is NOW DUE

G.S.T NUMBER R121361042

INTEREST OF 1% PER MONTH WILL BE CHARGED ON AMOUNTS REMAINING UNPAID AFTER 90 DAYS
THE CITY OF VANCOUVER CHARGES A \$20 ADMINISTRATIVE FEE FOR ANY DISHONoured CHEQUE

CITY OF VANCOUVER INVOICE

Accounting Division, City of Vancouver
453 West 12th Avenue, Vancouver, British Columbia V5Y 1V4
Telephone (604) 873-7202

INVOICE #: 0018028101

DATE: 2002/09/16

TOTAL PAYABLE: 680.00

*PAYMENT OF THIS INVOICE IS NOW DUE

* PLEASE WRITE THIS INVOICE NUMBER ON YOUR CHEQUE OR
MONEY ORDER

* DO NOT SEND CASH IN THE MAIL

* INCLUDE THIS STUB WITH YOUR PAYMENT

2002/01/14 08.30.57

<= Permits PRISM Properties =>

City of Vancouver

PSA300.00 PSP300D

Address - Action Detail

Page 2 of 2

Address : 5702 GRANVILLE ST

Group 81: ENV PROTECTN INSPN

Status : OPEN

Date	Action by	Action	Action specifics	Reference
01NOV27	H UYEVAMA	N03 ROUTINE MONITOR	03 REFERRAL	
01NOV27	H UYEVAMA	R61 INFORMATION GIVEN	JOINT INSPECTION	
01NOV27	H UYEVAMA	993 SEE INTERNAL NOTES	ENV HEALTH	
01DEC20	N MCCREEDY	993 SEE INTERNAL NOTES	PLAN CHECKING	
02JAN14	H UYEVAMA	N12 SOIL ASSESSMENT	12 REZONING/SUBDIVISN	
02JAN14	H UYEVAMA	R32 FOLLOW-UP REQUIRED	RE: SUBDIVISION	
02JAN14	H UYEVAMA	993 SEE INTERNAL NOTES		

F1=Help F2=Print F3=Jump F4=Table F5=Refresh F6=Page F7=Prev
 F8=Next F9=Desc F11=Update F12=Return F13=Last update by
 F14=Action attributes F15=Notes F16=Business license
 F17=Addr insp schedule F18=Address inquiry F21=Address/permit search

2002/01/14 08.30.43

PSA270.00 PSP270CW

AD424427: ADDRESS CONTROL

Note type: INTERNAL NOTES

Title : ENV PROTECTION INSPECTION

Permits PRISM Properties =>
Permit - Update Note

City of Vancouver
Page 2 of 3

Address: 5702 GRANVILLE ST

Last update by: H UVEYAMA

Date updated : 02JAN14

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19 investigation report is granted at this time since site investigations are conducted as a part of an independent
20 remediation process, (3) above decision pertains only to the above rezoning application and (4) any future
21 application for the site requires a further advice from the Ministry. Rezoning Application is approved. Please note
22 that future application such as Subdivision, Demolition and/or Development requires a clearance from the MWLAP.

23

24 Nov 27/01:- Referral from Environmental Health:- Arnaud Zondag, Environmental Health Inspector passed on a complaint
25 of gasoline odour in the house south of the above service station. The odour in the house occurs periodically.
26 Arnaud Zondag and myself conducted a joint inspection of the service station. There is a vent pipe from the underground
27 storage tanks (UST) located by the south east side of the property. When restocking the UST, a vapour recovery system
28 is used, minimizing loss of gasoline vapour. At the time of inspection, we did not smell any gasoline odour by the south
29 side of the property, closest point to the house in question. We also spoke to a gas service attendant and he informed
30 us that he did not notice any strong odour of gasoline while at work. I have informed the complainant of above findings.

31

32 Dec20/01: - Building Permit Plans are required for our approval for this new gas station and car wash. An erosion and
33 sediment control plan is required during construction

34 Jan 14/02:- Re: Subdivision:- Requested an advice from the Ministry of Water, Land and Air Protection (MWLAP) for the

F1=Help	F2=print	F5=Refresh	F6=Page	F7=Prev page	F8=Next page	F11=Update
F12=Return		F13=Insert line		F14=Delete line	F15=Prev note	F16=Next note
F18=Delete note		F19=Prev10		F20=Next10	F22=Print note	

2002/01/14 08.30.51

PSA270.00 PSP270CW

AD424427: ADDRESS CONTROL

Note type: INTERNAL NOTES

Title : ENV PROTECTION INSPECTION

Permits PRISM Properties =>
Permit - Update Note

City of Vancouver
Page 3 of 3

Address: 5702 GRANVILLE ST

Last update by: H UYEVAMA

Date updated : 02JAN14

35 above subdivision application. Hold approval until we receive a clearance from the MNLAP.

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F1=Help	F2=print	F5=Refresh	F6=Page	F7=Prev page	F8=Next page	F11=Update
F12=Return		F13=Insert line		F14=Delete line	F15=Prev note	F16=Next note
F18=Delete note		F19=Prev10		F20=Next10	F22=Print note	

Roberts, Doug

From: Kyle, Tracy
Sent: March 1, 2002 11:43 AM
To: Roberts, Doug
Subject: RE: 5702 Granville - esso

As discussed, we are Ok with their information based on extrapolation

Tracy

-----Original Message-----

From: Roberts, Doug
Sent: Thursday, February 28, 2002 1:04 PM
To: Kyle, Tracy
Subject: RE: 5702 Granville - esso

A development permit application triggered the need for rezoning/subdivision. The subdivision(dedication) is for a Corner cutoff. This prompted our request to find out if there was any contamination within the proposed dedication....from the report from ESSO it doesn't appear to be although this is based on extrapolation from the nearest boreholes

We can either request more info(ie. do some drilling in the dedicated area) or except the info they have sent us. I'm in favour of the latter...what do you think..

Cheers

-----Original Message-----

From: Kyle, Tracy
Sent: February 27, 2002 11:42 AM
To: Roberts, Doug
Subject: 5702 Granville - esso

I got the copy of the letter you sent with the note to call you. I know that you mentioned this site yesterday and I cannot remember what it was. My mind is a sieve lately.

Also, Hazco contacted me and indicated that they are sending some information on some additional remediation they would like to do in the lane at 12th and Commercial. I will let you know when it arrives.

Tracy

2001/09/25 08.37.15

<= Permits PRISM Properties =>

City of Vancouver

PSA300.00 PSP300D

Address - Action Detail

Page 1 of 2

Address : 5702 GRANVILLE ST

Group 81: ENV PROTECTN INSPN

Status : OPEN

Date	Action by	Action		Action specifics	Reference
00JAN17	H UYEVAMA	060 OPEN GROUP			
00JAN17	H UYEVAMA	N15 FILE RESEARCH	01	ROUTINE	
00JAN17	H UYEVAMA	R61 INFORMATION GIVEN		RECORDS FOUND	
00JAN17	H UYEVAMA	993 SEE INTERNAL NOTES			
01AUG17	H UYEVAMA	N12 SOIL ASSESSMENT	12	REZONING/SUBDIVISN	
01AUG17	H UYEVAMA	R32 FOLLOW-UP REQUIRED		RE:REZONING	
01AUG17	H UYEVAMA	993 SEE INTERNAL NOTES			
01AUG24	H UYEVAMA	N55 SITE PROFILE FWD	25	FORWARD TO B.C.E.	
01AUG24	H UYEVAMA	993 SEE INTERNAL NOTES		RE: REZONING	
01AUG24	H UYEVAMA	R62 INFORMATION RECVD		\$50 REC'D	
01SEP25	H UYEVAMA	N12 SOIL ASSESSMENT	12	REZONING/SUBDIVISN	
01SEP25	H UYEVAMA	R90 ACCEPTED		RE:REZONING	
01SEP25	H UYEVAMA	993 SEE INTERNAL NOTES			

F1=Help F2=Print F3=Jump F4=Table F5=Refresh F6=Page F7=Prev
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 F14=Action attributes F15=Notes F16=Business license
 F17=Addr insp schedule F18=Address inquiry F21=Address/permit search

2001/09/25 08.49.56

PSA270.00 PSP270CW

AD424427: ADDRESS CONTROL

Note type: INTERNAL NOTES

Title : ENV PROTECTION INSPECTION

Permits PRISM Properties =>
Permit - Update Note

City of Vancouver
Page 1 of 2

Address: 5702 GRANVILLE ST

Last update by: H UYEHAMA

Date updated : 01SEP25

01 Jan 17/00:- Re: File Research:- Following records were found: (1) inspection on December 8/75 show that there were 4 -
02 5000 gal underground storage tank (UST) for gasoline and 1 - 500 gal UST for waste oil, (2) an enforcement letter
03 from the City dated November 12/76 was sent to Imperial Oil Limited at 475 West Georgia to take a necessary corrective
04 action for pumps which are losing prime, (3) noted dispensers were leaking during the inspection on Nov 10/76, (4) the
05 manager of the service station reported inventory loss of 1100 litre of gasoline during February 1985, (5) an UST was
06 removed in March 1986 and (6) a Development and Building Permit was issued to construct a kiosk on the site on March
07 10/97.

08
09 Aug 17/01:- Re:Rezoning:- A site profile is required for the above referenced site.

10
11 Aug 24/01:- A site profile for the above referenced site have been forwarded to the Ministry of Water, Land and Air
12 Protection (MWLAP) for their review. Hold approval of rezoning until we receive a clearance from the MWLAP.

13
14 Sept 25/01:- Re: Rezoning:- Received a copy of Letter from the Ministry of Water, Land and Air Protection (MLWLAP)
15 for the above site Re: Site Profile Submission/Notice of Intent to Undertake Independent Remediation Application for
16 Rezoning 5702 Granville Street. The ministry replied that: (1) does not presently require submission of a site
17 investigation report under section 26.2 of the Waste Management Act, (2) released from submission of a site

F1=Help	F2=print	F5=Refresh	F6=Page	F7=Prev page	F8=Next page	F11=Update
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F18=Delete note		F19=Prev10		F20=Next10	F22=Print note	

2001/09/25 09:50:02

PSA270.00 PSP270CW

AD424427: ADDRESS CONTROL

Note type: INTERNAL NOTES

Title : ENV PROTECTION INSPECTION

Permits PRISM Properties =>
Permit - Update Note

City of Vancouver

Page 2 of 2

Address: 5702 GRANVILLE ST

Last update by: H UYEVAMA

Date updated : 01SEP25

18 investigation report is granted at this time since site investigations are conducted as a part of an independent
19 remediation process, (3) above decision pertains only to the above rezoning application and (4) any future
20 application for the site requires a further advice from the Ministry. Rezoning Application is approved. Please note
21 that future application such as Subdivision, Demolition and/or Development requires a clearance from the MWLAP.
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F1=Help	F2=print	F5=Refresh	F6=Page	F7=Prev page	F8=Next page	F11=Update
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F18=Delete note		F19=Prev10		F20=Next10	F22=Print note	



December 11, 2002

Domenic Losito, MBA, REHO
Regional Director, Health Protection
Environmental Health Services
Vancouver Coastal Health Authority
800 - 601 West Broadway
Vancouver, B.C. Canada V5Z 4C2

Dear Sir:

**RE: Environmental Health Concerns Related to the New Development of
5702- 5716 Granville St. - Esso Gasoline Station**

This letter is further to my telephone conversation with you today and my previous correspondence from 18th of October, 2002 which was personally delivered to your secretary. You advised me that you misplaced this correspondence and therefore I enclose a copy of this October 18th letter.

As set out in my October 18th, 2002 letter, I request the following:

- that the air quality at my home be monitored now on a daily basis.
- If this process is not started within one week, it will be impossible to collect proper data and make accurate comparisons, as the gas station is opening soon. This request was made almost two months ago so has now become urgent.
- that the air quality of my home be monitored after the development is completed and the cars start to que up in front of our windows for the car wash. In this way a proper comparison can be made as to air quality as proper data will have been collected
- It is important that I receive copies of all reports made of all air testing and monitoring.
- Once the gas station is opened, I request that the air quality be monitored on a regular basis. A permanent monitoring device should be installed with costs to be absorbed by the gas station or the city. This development is dangerous to our health because of the car emissions, exhaust (especially caused by idling cars for the car wash) and additional air pollution which will result. You have in your possession a medical certificate from Dr. Otto.
- I also request a copy of the environmental report made by Mr. Uyeyama. This has become extremely urgent because my Mother and I are experiencing declining health. As advised, my Mother's breathing has been seriously affected. Medication prescribed by the doctor is not alleviating this cough nor improving her health. This deterioration

in health is a direct result of the polluted air from the development site. **Dr. A. Otto has advised as follows: "This is to confirm the above (M PoP) suffers from a chronic pulmonary condition likely caused by, in part by automobile exhaust emissions"**

I would like to make an appointment to meet with you personally. As you mentioned, this could be Tuesday or Wednesday, the 16th or 17th of December, preferably after 10:00 a.m. Would you please call me to set up an appointment time. I may be reached at 604.732.1707.

s.22(1)



Copy to Mr. Hank Uyeyama
Environmental Protection Officer
Environmental Protection Branch,
Permits & Licenses for the City of Vancouver

2001/12/19 11.29.55

<= Permits PRISM Properties =>

City of Vancouver

PSA270.00 PSP270CW

Permit - Update Note

Page 2 of 2

AD424427: ADDRESS CONTROL

Address: 5702 GRANVILLE ST

Note type: INTERNAL NOTES

Last update by: H UYEVAMA

Title : ENV PROTECTION INSPECTION

Date updated : 01NOV28

18 investigation report is granted at this time since site investigations are conducted as
 a part of an independent
 19 remediation process, (3) above decision pertains only to the above rezoning application
 and (4) any future
 20 application for the site requires a further advice from the Ministry. Rezoning
 Application is approved. Please note
 21 that future application such as Subdivision, Demolition and/or Development requires a
 clearance from the MWLAP.
 22

23 Nov 27/01:- Referral from Environmental Health:- Arnaud Zondag, Environmental Health
 Inspector passed on a complaint
 24 of gasoline odour in the house south of the above service station. The odour in the
 house occurs periodically.
 25 Arnaud Zondag and myself conducted a joint inspection of the service station. There is a
 vent pipe from the underground
 26 storage tanks (UST) located by the south east side of the property. When restocking
 the UST, a vapour recovery system
 27 is used, minimizing loss of gasoline vapour. At the time of inspection, we did not smell
 any gasoline odour by the south
 28 side of the property, closest point to the house in question. We also spoke to a gas
 service attendant and he informed
 29 us that he did not notice any strong odour of gasoline while at work. I have informed
 the complainant of above findings.
 30

31

32

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F20=Next10

F8=Next page

F15=Prev note

F22=Print

2002/09/17 13.25.05

<= Units PRISM Properties =>

City of Vancouver

PSA300.00 PSP300D

Address - Action Detail

Page 3 of 3

Address : 5702 GRANVILLE ST

Group 81: ENV PROTECTN INSPN

Status : OPEN

Date	Action by	Action	Action specifics	Reference
02SEP17	H UYEVAMA	N31 ISSUE PERMIT	10 SRCE CNTRL PERMIT	SC 020327
02SEP17	H UYEVAMA	993 SEE INTERNAL NOTES		

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2002/09/17 13.24.58

PSA270.00 PS2270CW

AD424427: ADDRESS CONTROL

Note type: INTERNAL NOTES

Title : ENV PROTECTION INSPECTION

<= [redacted] ts PRISM Properties =>
Permit - Update Note

City of Vancouver
Page 3 of 3

Address: 5702 GRANVILLE ST

Last update by: H UYEVAMA

Date updated : 02SEP17

35 above subdivision application. Hold approval until we receive a clearance from the MWLAP.

36

37 Mar 4/02:- Re: Subdivision:- Doug Roberts have reviewed the information that was forwarded to us by the Environmental
38 Consultant on behalf of Imperial Oil Limited and determined that there is low risk of contamination in the corner
39 cut-off (north-west corner of the site). Subdivision for the corner cut-off dedication to the City is approved from
40 our branch.

41

42 Sept 9/02:- Re: E0422910:- Received a clearance from the MWLAP (see notes under Sept 24/01). B0422910 is approved.

43

44 Sept 17/02:- Re: SC020327:- Issued waste discharge permit SC020327 for the above site. The permit is for 90 days from
45 September 19, 2002 and authorizes discharge of 200 cubic metres of treated groundwater from the site to the sanitary
46 sewer at a maximum rate of 200 l/min.

47

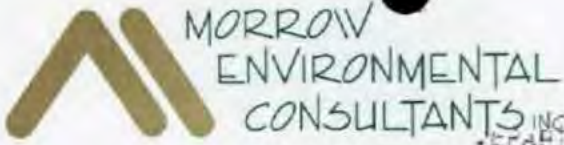
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F18=Delete note		F19=Prev10		F20=Next10	F22=Print note	



MORROW ENVIRONMENTAL CONSULTANTS INC.

DEPARTMENT OF PERMITS & LICENSES
ENVIRONMENTAL PROTECTION BRANCH

CHECKED OCT. 22, 2002

APPROVED [Signature]

RESTOR GRANVILLE
SC020327



2002 10 18

Permits & Licenses Department
Vancouver City Hall, East Wing
453 West 12th Avenue
VANCOUVER, BC
V5Y 1V4

ATTENTION: Mr. Hank Uyeyama, Environmental Protection Officer

REFERENCE: Esso Service Station
5702 Granville, Vancouver, BC

On behalf of Imperial Oil Limited (IOL), Morrow Environmental Consultants Inc. (Morrow) provided environmental consulting services during the site decommissioning, site assessment and remediation activities conducted at the above referenced site. The remediation program planned for the site has now been completed. Accessible hydrocarbon impacted soil on the site was excavated prior to the redevelopment of the property into a new service station.

We trust that the foregoing information is sufficient for your current requirements. Should you require any further information or have any questions please do not hesitate to contact the undersigned.

Meredith Guest, P. Eng.
Project Manager

MORROW ENVIRONMENTAL CONSULTANTS INC.

MAG/js
T:\V9\335\LA18\K LDA.DOC

cc: Ms. Linda Eastcott, Imperial Oil Limited, Burnaby, BC



DEPARTMENT OF PERMITS & LICENSES
ENVIRONMENTAL PROTECTION BRANCH
CHECKED SEPT. 9/02
APPROVED [Signature]

RE: 5702 GRANDVILLE
BU 422 910

Facsimile Cover Sheet

To: SCOTT AND RON B
Company:
Phone:
Fax:

From: LINDA
Company: Imperial Oil Limited
5945 Kathleen Avenue
Suite 405 - Metrotown Place III
Burnaby, B.C. V5H 4J7
Phone: (604) 451-5517
Fax: (604) 451-1347

Date: Aug 29/02
Pages including this cover page: 7

Comments: Attached is the site profile sent to BCMWLAP w/ letter for your Demolition Permit. This should speed up application process

NOTICE: THIS FACSIMILE TRANSACTION MAY CONTAIN INFORMATION WHICH IS CONFIDENTIAL. IT IS INTENDED SOLELY FOR THE PERSONAL USE OF THE DESIGNATED RECIPIENT. If you have received this facsimile in errors, any personal use, copying or dissemination of its contents is prohibited. Please notify the sender immediately by telephone at the number indicated on this page to arrange return of the facsimile at the sender's expense. Thank you for your cooperation.

If you need a Ministry contact on the Permit it is Stephen Dankevoey
Shahs



Imperial Oil Limited
Products and Chemicals Division
Engineering, Maintenance and Repair
Suite 405, 5945 Kathleen Avenue
Burnaby, B.C.
V5H 4J7

Adrian Michielsen, P.Eng.
Site Remediation Specialist

Tel: (604) 451-5517
Fax: (604) 451-1347

August 20, 2001

Ministry of Water, Land and Air Protection
Lower Mainland Region
10470 - 152nd Street
SURREY, BC
V3R 0R3

ATTENTION: Mr. A. McCammon, M.Sc., P. Geo.
Assistant Regional Waste Manager

REFERENCE: 5702 Granville St., Vancouver, BC

Imperial Oil wishes to advise the Ministry of Imperial Oil's intent to proceed with independent remediation, in accordance with Guidance Document No. 4 (Independent Remediation) at the above referenced site.

Imperial Oil retained Morrow Environmental Consultants Inc. (MECI) to undertake a Detailed Site Investigation (DSI) of the property to identify and determine the extent of any impacts. The investigation work was conducted between 1999 and 2001. The investigation identified and delineated the impacts beneath the site from historical operations on the site.

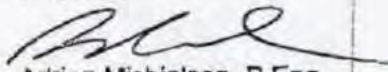
Imperial Oil is in the process of submitting to the City of Vancouver our **application for rezoning** of the property. The plan is to replace all of the underground facilities and rebuild the service station in 2003. At that time, Imperial Oil would undertake the remediation of the identified impacts, likely by excavating the impacted soil beneath the site and transporting it offsite for disposal. A qualified contractor and consultant would be retained to undertake the remediation. The proposed rebuild is scheduled for 2003. Attached is a copy of the Site Profile that will be submitted to the City of Vancouver along with our application for rezoning.

Imperial Oil confirms the following:

- Imperial Oil will accept responsibility for any contamination for which it is in fact and at law the responsible party for but not otherwise.
- Imperial Oil is the current owner of the property and will remain the owner following the redevelopment activities.

We trust that the information provided is sufficient for your requirements so that the Ministry can advise the City that no further information is required at this time.

Regards,



Adrian Michielsen, P.Eng.
Sr. Site Remediation Specialist

cc: Lawrence Ng, Imperial Oil Real Estate Manager, Burnaby, BC (w/o enclosure)

SCHEDULE 1 Site Profile

(Version 1.2)

I CONTACT IDENTIFICATION

A. Name of Site Owner:

Last Hynes First Heather Middle Initial (s) M (and/or, if applicable)
 Company Imperial Oil Limited
 Owner's Civic Address 325, 9405 - 50th Street,
 City Edmonton Province/State Alberta
 Country Canada Postal Code/ZIP T6B 2T4

B. Person Completing Site Profile (leave blank if same as above):

Last Roberts First Nicholas Middle Initial (s) J (and/or, if applicable)
 Company Morrow Environmental Consultants Inc.

C. Person to Contact Regarding the Site Profile:

Last Hynes First Heather Middle Initial (s) M (and/or, if applicable)
 Company Imperial Oil
 Mailing Address As above
 City _____ Province/State _____
 Country _____ Postal Code/ZIP _____
 Telephone (780) 440 - 8111 Fax (780) 440 - 8124

II SITE IDENTIFICATION

IF Legally Titled, Registered Property

Site Street Address (if applicable) 5702 Granville Street
 City Vancouver Postal Code V6M 3C7

PID numbers and associated legal descriptions. *Attach an additional sheet if necessary.*

PID	Legal Description
<u>009-014-772</u>	<u>Lot A of Lot 1, Block 6, District Lot 526, Plan 11771</u>

Total number of titled parcels represented by this site profile is: 1

SCHEDULE 1 Site Profile

(Version 1.2)

IF Untitled Crown Land

1) PIN numbers and associated Land Description. *Attach an additional sheet if necessary.*

<u>PIN</u>	<u>Land Description</u>

Total number of untitled, crown land parcels represented by this site profile is: _____

OR

2) Coordinates (using the North American Datum 1983 convention) for the centre of the site:

Latitude:	Degrees	49	Minutes	14	Seconds	0
Longitude:	Degrees	123	Minutes	8	Seconds	15

Please attach a map of appropriate scale showing the boundaries of the site.
(and, if available)

Crown Land file numbers. *Attach an additional sheet if necessary.*

(All the Following Questions Must Be Answered)

IF COMMERCIAL AND INDUSTRIAL PURPOSES OR ACTIVITIES

Please indicate below, in the format of the example provided, which of the industrial and commercial purposes and activities from Schedule 2 have occurred or are occurring on this site.

EXAMPLE:

<u>Schedule 2 Reference</u>	<u>Description</u>
E1	appliance, equipment or engine repair, reconditioning, cleaning or salvage
F10	solvent manufacturing or wholesale bulk storage

Please print legibly. Attach an additional sheet if necessary.

<u>Schedule 2 Reference</u>	<u>Description</u>
F5	Petroleum product dispensing facilities, including service stations and cardlocks

SCHEDULE 1 Site Profile

(Version 1.2)

IV. AREAS OF POTENTIAL CONCERN			
	Is there currently or to the best of your knowledge has there previously been on the site any (please mark the appropriate column opposite the question):	YES	NO
A	Petroleum, solvent or other polluting substance spills to the environment greater than 100 litres?		X
B	Residue left after removal of piled materials such as chemicals, coal, ore, smelter slag, air quality control system baghouse dust?		X
C	Discarded barrels, drums or tanks?		X
V. FILL MATERIALS			
	Is there currently or to the best of your knowledge has there previously been on the site any deposit of (please mark the appropriate column opposite the question):	YES	NO
A	Fill dirt, soil, gravel, sand or like materials from a contaminated site or from a source used for any of the activities listed under Schedule 2?		X
B	Discarded or waste granular materials such as sand blasting grit, asphalt paving or roofing material, spent foundry casting sands, mine ore, waste rock or float?		X
C	Dredged sediments, or sediments and debris materials originating from locations adjacent to foreshore industrial activities, or municipal sanitary or stormwater discharges?		X
VI. WASTE DISPOSAL			
	Is there currently or to the best of your knowledge has there previously been on the site any landfilling, deposit or dumping in pits, ponds, lagoons or natural depressions of (please mark the appropriate column opposite the question):	YES	NO
A	Materials such as household garbage, mixed municipal refuse, or demolition debris?		X
B	Waste or byproducts such as tank bottoms, residues, sludge or flocculation precipitates from industrial processes or wastewater treatment?		X
C	Waste products from smelting or mining activities, such as smelter slag, mine tailings, or cull materials from coal processing?		X
D	Waste products from natural gas and oil well drilling activities, such as drilling fluids and muds?		X
E	Waste products from photographic developing or finishing laboratories; asphalt tar roofing manufacturing; boilers, incinerators or other thermal facilities (e.g. ash); appliance, small equipment or engine repair or salvage; dry cleaning operations (e.g. solvents); or automobile and truck parts cleaning or repair?		X

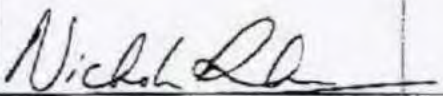
SCHEDULE 1 Site Profile

(Version 1.2)

VII. TANKS OR CONTAINERS USED OR STORED			
	Are there currently or to the best of your knowledge have there been previously on the site any (please mark the appropriate column opposite the question):	YES	NO
A	Underground fuel or chemical storage tanks?	X	
B	Above ground fuel or chemical storage tanks?		X
VIII. SPECIAL (HAZARDOUS) WASTES OR SUBSTANCES			
	Are there currently or to the best of your knowledge have there been previously on the site any (please mark the appropriate column opposite the question):	YES	NO
A	PCB-containing electrical transformers or capacitors either at grade, attached above ground to poles, located within buildings, or stored?		X
B	Waste asbestos or asbestos containing materials such as pipe wrapping, blown-in insulation or panelling buried?		X
C	Paints, solvents, mineral spirits or waste pest control products or pest control product containers stored in volumes greater than 205 litres?		X
IX. LEGAL OR REGULATORY ACTIONS OR CONSTRAINTS			
	To the best of your knowledge, are there currently any of the following pertaining to the site (please mark the appropriate column opposite the question):	YES	NO
A	Government orders or other notifications pertaining to environmental conditions or quality of soil, water, groundwater or other environmental media?		X
B	Liens to recover costs, restrictive covenants on land use, or other charges or encumbrances, stemming from contaminants or wastes remaining onsite or from other environmental conditions?		X
C	Government notification relating to past or recurring environmental violations at the site or any facility located on the site?		X
X. ADDITIONAL COMMENTS AND EXPLANATIONS			
<p>(Note 1: Please list any past or present government orders, permits, approvals, certificates and notifications pertaining to the environmental condition, use or quality of soil, surface water, groundwater or biota at the site. Note 2: If completed by a consultant, receiver or trustee, please indicate the type and degree of access to information used to complete this site profile. Attach extra pages if necessary):</p> <p>Stage 1 PSI current in progress</p> <hr/> <hr/> <hr/> <hr/>			

SCHEDULE 1 Site Profile

(Version 1.2)

XI. SIGNATURES			
The person completing the site profile state that the above information is true, based on the person's current knowledge as of the date completed.			
		2001 01 29	
Signature of person completing site profile		Date completed (YY-MM-DD)	
XI. OFFICIAL USE			
Local Authority			
Reason For Submission (Please check one or more of the following)			
Subdivision Application <input type="checkbox"/> Zoning Application <input type="checkbox"/> Development Permit <input type="checkbox"/> Variance Permit <input type="checkbox"/> Demolition Permit <input type="checkbox"/>			Soil Removal <input type="checkbox"/>
Date Received:	<u>Local government contact:</u>	Date Submitted to Site Registrar:	Date forwarded to BC Environment Manager:
	Name: _____		
	Agency: _____		
	Address: _____		
	Telephone _____ Fax _____		
BC Environment Manager			
Reason For Submission (Please check one or more of the following)			
Under order <input type="checkbox"/> Site Decommissioning <input type="checkbox"/> Foreclosure <input type="checkbox"/>			
Date Received:	<u>Assessed by / local contact:</u>	Investigation Required?	Decision Date:
	Name _____		
	Region _____	YES NO	
	Telephone _____ Fax _____		
	If site profile entered, SITE ID # _____		
Site Registrar			
Date Received:	<u>Entered on to site registry by:</u>	Site ID #:	Entry Date:

DIRECTOR

R.V. Hebert, P.Eng.

ASSISTANT DIRECTORS:

K.D. Armstrong — License & Business Tax Division

J. Perri — Property Use Division

R.L. Maki, P.Eng. — Permits & Inspection Division



PERMITS & LICENSES DEPARTMENT

City Hall, 453 W. 12 Ave.,
Vancouver, British Columbia
Canada V5Y 1V4,
(604) 873-7011

Please refer to:

March 6, 1986

Westmount Construction Ltd.
6841 Burlington Avenue
Burnaby, B. C.
V5J 4H3

Attention: Mr. Iain Summers

Dear Sir:

Re: Tank Removal - 5702 Granville Street

As per your request, this will confirm that there was no appreciable soil contamination warranting any further action after tank removal at the above location.

Yours truly,

A handwritten signature in dark ink, appearing to read "D.H. Roberts".

D. H. Roberts, Supervisor
Industrial Waste Control Branch
For: R. V. Hebert, P. Eng.
DIRECTOR

DHR:lc



LICENCES AND INSPECTIONS
ENVIRONMENTAL PROTECTION BRANCH

BRITISH COLUMBIA CHECKED *September 5, 2006*
Re: *5702 Granville*
APPROVED



August 10, 2006

Regional File: 26250-20/
Victoria File: 26250-20/7476
SITE number: 7476

VIA FAX ONLY: 604-451-1347 and 604-873-7963

Imperial Oil Limited
Suite 405 – 5945 Kathleen Avenue
Burnaby, BC V5H 4J7
Attention: Keith Tanner

City of Vancouver
453 West 12th Avenue
Vancouver, BC V5Y 1V4
Attention: Neil McCreedy

Dear Sirs:

Re: **Independent Remediation
Draft Guidance Document #4 Process
Imperial Oil – 5702 Granville Street, Vancouver**

This letter is to confirm the ministry's receipt of information regarding independent remediation of the above-referenced site. Site remediation has been undertaken in general accordance with the ministry's draft Guidance Document #4 – "Investigation and Remediation Processes and Local Government Permit Process", dated November 26, 1997.

In accordance with the draft guidance document, we confirm that closure information was submitted to the ministry and was discussed with Imperial Oil Limited at a meeting on 30 June 2006.

The ministry requests that additional work be carried out at the site including confirmatory sampling of soil near the eastern site boundary to ensure that contamination has not migrated offsite onto neighbouring property. This work may be limited to the area around test pit T02-13. Sampling results are to be submitted to the ministry for final closure.

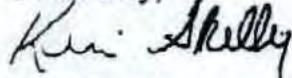
- 2 -

Please be advised that those persons undertaking site investigations and remediation at contaminated sites in British Columbia are required to do so in accordance with the requirements of the *Environmental Management Act* and regulations (e.g. Contaminated Sites Regulation, Hazardous Waste Regulation, etc.). The ministry considers these persons responsible for identifying and addressing any human health or environmental impacts associated with the contamination.

The foregoing comments are based on the most recent information provided to the ministry regarding the indicated site. The ministry, however, makes no representation or warranty as to its accuracy or completeness. The ministry expressly reserves the right to change or substitute different requirements where circumstances warrant.

Please contact the undersigned at (604) 582-5357 if you have any questions about this letter.

Yours truly,



Kerri Skelly
Contaminated Sites Officer