

## 1. Descriptive Information

### 1.1 Design Rationale for Whole Site

The purpose of this project is to provide stable, affordable non-market housing for low and moderate income Aboriginal tenants in Vancouver. The design intent of the project is to inter-connect Aboriginal cultural expression within a “western” apartment concept and massing. The location in Vancouver is consistent with other properties owned and managed by Lu’ma Native BCH Housing Society. Vancouver is an area within Metro Vancouver home to a growing Aboriginal population coming into the Metro area.

Page | 1 of 4

Accessibility is provided through handicap-accessible units. An elevator serves the basement, main floor commercial and all residential floors in the building.

Cultural expression is to be integrated into the design of the exterior facades, building lobby, amenity room and common areas through the use of form, material, texture and colour.

Resident Services in the building include laundry rooms on each floor, amenity room on the main floor. A common landscaped outdoor patio will be available to all tenants. The basement level includes secure tenant bicycle storage room and tenant storage lockers.

Architectural Form – cognizant of building heights in the neighbourhood, the roof of the building has been kept flat except for some cultural expression in the form of traditional gable-end longhouse. This traditional form reflects Indigenous architecture of the West Coast.

### 1.2 Requested relaxations, variances or increases:

None.

### 1.3 Existing Use of Site:

The current site is vacant. The site is owned by the City of Vancouver.

### 1.4 Social Amenities:

The site is located on the east side of Main Street and a walkable distance to shopping and transit.

1.5 CPTED Strategy:

The building is accessible at grade from both Main Street and Station Street. The building lobby is visible from the interior of the building and from Main street.

Lighting of common areas such as corridors, lobby, and stairwells to be adequate and areas of shadows to be minimized.

Site address to be visible from Main Street and Station Street.

Basement storage to be access controlled, well lit, properly signed and with formal surveillance cameras

1.6 Sustainability:

The redeveloped project site will provide additional employment opportunities during the construction and operation of the site. Local contractors and workers will be used in the project.

The redevelopment of the site will result in an increase to the property tax base. It will create an increased demand for materials and products. It will produce spin-off opportunities for the service sector.

The redevelopment of the site will use existing municipal infrastructure and services.

A plan will be put in place to control erosion to reduce negative impacts on water and air quality during construction. This means that we want to prevent the loss of soil during construction due to storm water runoff and wind erosion. The soil will be covered with tarps so the wind won't blow it around.

To reduce the heat island effect and minimize impact on microclimate and human and wildlife habitat, the building will use a light (parchment) colored roof material to achieve its solar reflectivity.

In creating a sustainable site we will limit the use of tap water (or, potable water) for landscape irrigation. In this project we will not use any potable water for irrigation. We will achieve our landscaping through using local plants and drought resistant plants

Another aspect in creating this building will be through the use of materials and resources during construction. Instead of sending construction waste to the landfill, we will recycle it.

The building envelope and systems will be designed to maximize energy performance. The building will also use no CFC-based refrigerants in the HVAC system and zero use of halons in the fire suppression equipment.

The design strategy with this building is to ensure it lasts a long time. A large component of this durability is the exterior walls, roofing and concrete foundation. The intent of this durable building strategy is to prevent premature failure of the building and its components and assemblies.



# MIXED-USE DEVELOPMENT

## 950 MAIN STREET VANCOUVER BC

APRIL 13TH 2017

**PATRICK R. STEWART ARCHITECT**

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**ARCHITECTURAL**

- A1.0 COVER SHEET
- A1.1 ONING
- A1.2 BUILDING CODE REVIEW
- A1.3 SITE PLAN
- A1.4 STREET ELEVATIONS
- A1.5 STREETScape
- A1.6 SHADOW ANALYSIS
- A1.7 WINDOW OVERLAY

- A2.1 FLOOR PLAN
- A2.1BFSR TRACE OVERLAY
- A2.1CFSR TRACE OVERLAY
- A2.2 FLOOR PLAN
- A2.2BFSR TRACE OVERLAY

**SURVEY**

- N3210WINDOWS
- N3210TOPO

- A3.1 BUILDING SECTION
- A3.2 BUILDING SECTION

- A4.2 ELEVATION
- A4.3 ELEVATION

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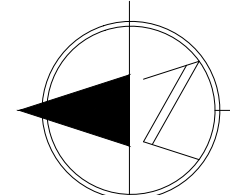


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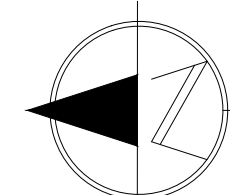


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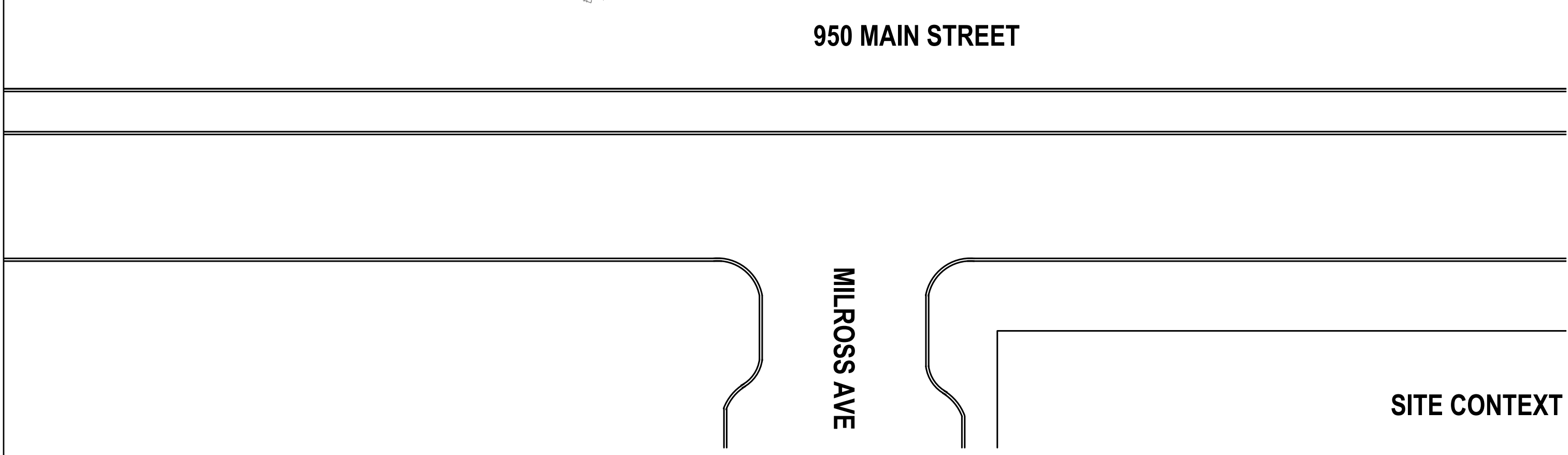
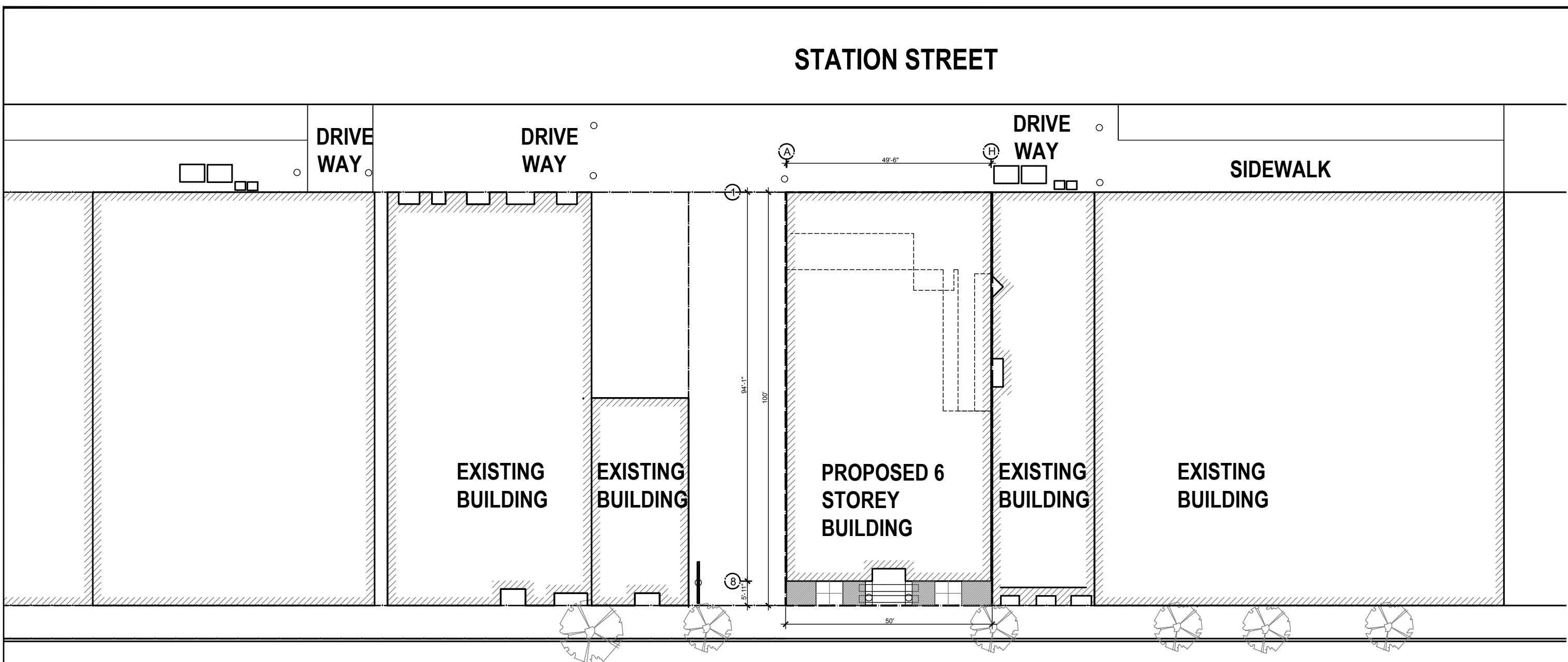
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8	04/13/17	REVISED DP SUBMISSION	CT		

Architects Seal

Project Name  
**950 MAIN STREET**  
940-950 MAIN STREET,  
Vancouver, B.C.

**COVER SHEET**

Rev No.	Project No.	Dwg No.
8	15-03	A1.0

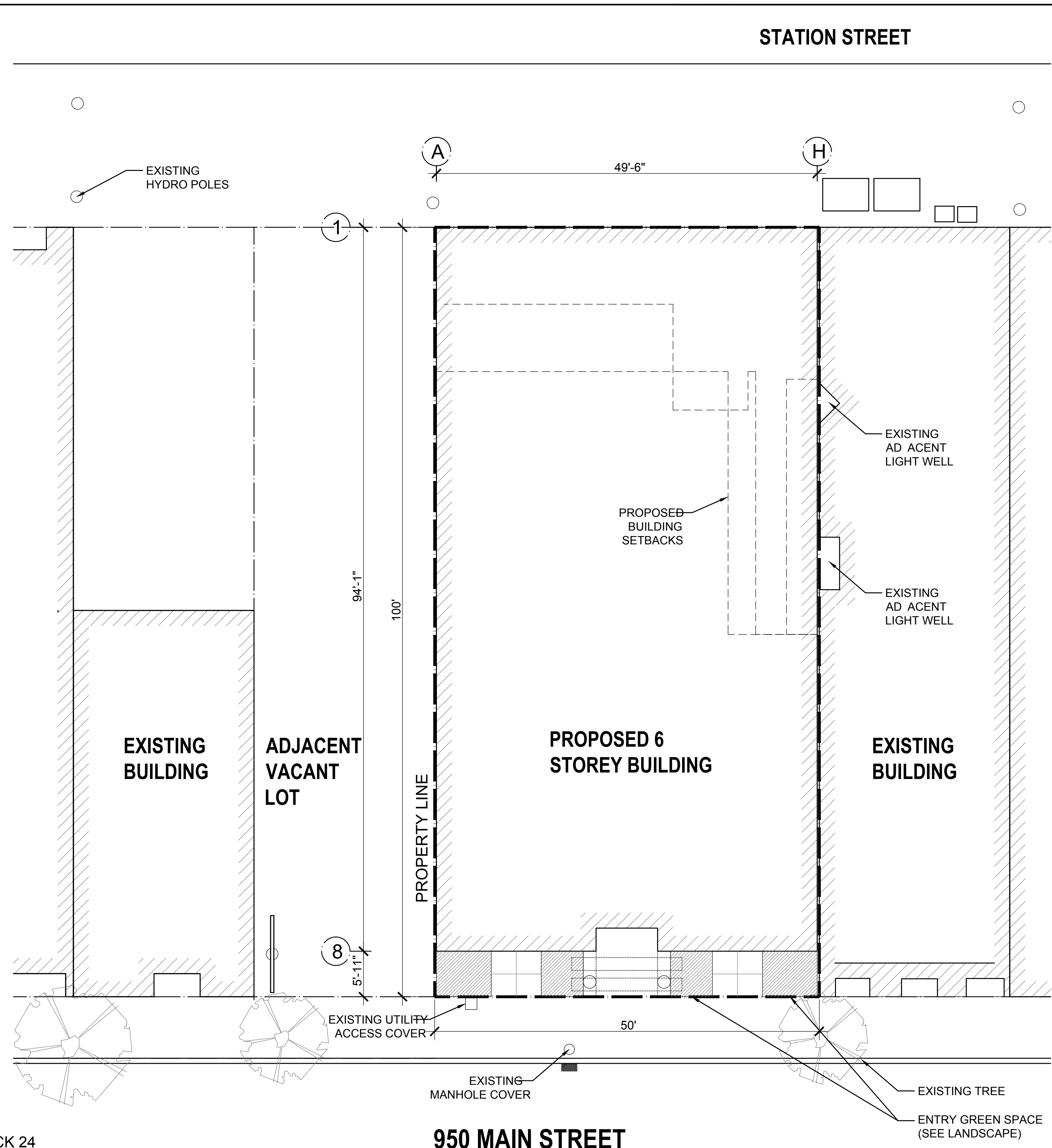


**SITE PLANNING DATA**

**LEGAL DESCRIPTION**  
 LOT 10 AND LOT 11 OF BLOCK 24 DISTRICT LOT 196 GROUP 1 NWD PLAN 184 PLAN EPP65193

CURRENT ZONING: FC 1	PERMITTED	PROPOSED
TOTAL SITE AREA	5001 S .FT.	
SITE COVERAGE	NOT APPLICABLE	
BUILDING HEIGHTS	22.9m 75'	18.39m 60'4"
FRONT YARD (4.1 FRONT YARD)	N f t s q	5'11" f m P t L
REAR YARD (4.6.1 REAR YARD)	N s q	N
SIDE YARD (4.5.1 SIDE YARD)	N s s q	3"
4.10 H t A f D t N t A		
4.11 V t A f D t N t A		
PROPOSED C ss B L	O P S St	

LOT 10 AND LOT 11 BOTH OF BLOCK 24  
 DISTRICT LOT 196 GROUP 1 NWD PLAN  
 184 PLAN EPP65193

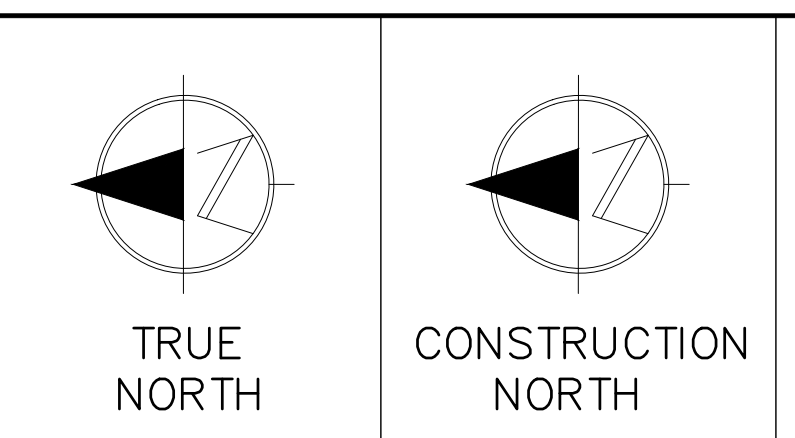


**SITE PLAN**  
 SCALE: 1/8" = 1' - 0"

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**950 MAIN STREET**  
 940-950 MAIN STREET,  
 Vancouver, B.C.  
**ZONING**  
 Rev No. 7 Project No. 15-03 Dwg No. A1.1

## BUILDING CODE REVIEW

BUILDING CODE VANCOUVER BUILDING CODE BYLAW 2014  
 BUILDING CODE C RESIDENTIAL OCCUPANCIES  
 BUILDING CODE PART 3  
 BUILDING CODE BUILDING CODE

3.2.2.43. Group C, up to 6 Storeys, Sprinkled  
 THE BUILDING SHALL BE OF NONCOMBUSTIBLE CONSTRUCTION, AND

- A) FLOOR ASSEMBLIES SHALL BE FIRE SEPARATIONS WITH A FIRE-RESISTANCE RATING NOT LESS THAN 1 HR.ING SHALL BE OF NONCOMBUSTIBLE CONSTRUCTION,
- B) MEZZANINES SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 1 HR, AND
- C) LOADBEARING WALLS, COLUMNS AND ARCHES SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN REQUIRED BY THE SUPPORTED ASSEMBLY.

FIRE SEPARATION BETWEEN SUITES (3.3.4.2.) = 1 HOUR  
 PUBLIC CORRIDOR SEPARATIONS (3.3.1.4.(1)) = 45 MINS  
 STORAGE ROOM SEPARATIONS (3.3.4.3.) = 1 HOUR

BUILDING AREA 22,445 SQ FT  
 BUILDING HEIGHT 6 STOREYS

OCCUPANCY LOAD		
RESIDENTIAL UNITS		
2ND	6 UNITS X 2 PERSONS / SLEEPING ROOM = 12	
3RD	5 UNITS X 2 PERSONS / SLEEPING ROOM = 10	
4TH	5 UNITS X 2 PERSONS / SLEEPING ROOM = 10	
5TH	5 UNITS X 2 PERSONS / SLEEPING ROOM = 10	
6TH	5 UNITS X 2 PERSONS / SLEEPING ROOM = 10	
<b>TOTAL</b>	<b>26 UNITS</b>	<b>52</b>

NUMBER OF EXITS 3.4.2.1 2 EXITS  
 DISTANCE BETWEEN EXITS 3.4.2.3 9 M (29.5')  
 TRAVEL DISTANCE 3.4.2.5 30 M (98.4')  
 THE TRAVEL DISTANCE TO AT LEAST ONE EXIT SHALL BE NOT MORE THAN F) 30 M IN ANY FLOOR AREA OTHER THAN THOSE REFERRED TO IN CLAUSES (A) TO (E)  
 DISABLED ACCESS 3.8.2.3. RESIDENTIAL MAIN ENTRANCE ONLY  
 EXIT WIDTH 3.4.3.2.8. CORRIDOR: 1100MM, STAIRS & RAMPS 1100MM; DOORS 800MM  
 EXIT CAPACITY 3.4.3.2. 6.1MM / PERSON DOORWAYS AND CORRIDORS 8MM / PERSON STAIRS

LEVEL	GROSS FLOOR AREA
BASEMENT	2486.67
GROUND	4656.43
SECOND	4115.95
THIRD	2062.79
FOURTH	3041.11
FIFTH	3041.11
SIXTH	3041.11
<b>TOTAL</b>	<b>22,445 Sq/ft</b>

## BUILDING AREA CALCULATIONS/PROJECT AREAS

LEVEL	GROSS FLOOR AREA	PARKING, RAMP, SERVICE, BULK STORAGE, UNOCCUPIED ROOF	BALCONIES/PATIOS	THERMAL	UNIT STORAGE	FINAL AREA FOR FSR
BASEMENT	2486.67				—	
GROUND	4656.43	1794.52		41.01	—	2820.90
SECOND	4115.95	72.5	800.37	43.10	—	3199.98
THIRD	2062.79	72.5	192.75	43.11	—	1754.43
FOURTH	3041.11	72.5	28.0	41.61	—	2899
FIFTH	3041.11	72.5	28.0	41.61	—	2899
SIXTH	3041.11	72.5	28.0	41.61	—	2899
<b>TOTAL</b>	<b>22445.17</b>	<b>2157.02</b>	<b>1077.12</b>	<b>252.05</b>	<b>—</b>	<b>16472.31</b>

$$FSR = \frac{NET\ AREA}{SITE\ AREA} = \frac{16472.31}{5000} = 3.29$$

## STATEMENT OF BALCONIES



BALCONIES ARE EXCLUDED FROM FAR CALCULATIONS

LEVEL	BALCONY AREA
SECOND	150.81
THIRD	192.75
FOURTH	28.0
FIFTH	28.0
SIXTH	28.0
<b>TOTAL BALCONY AREA</b>	<b>427.56</b>

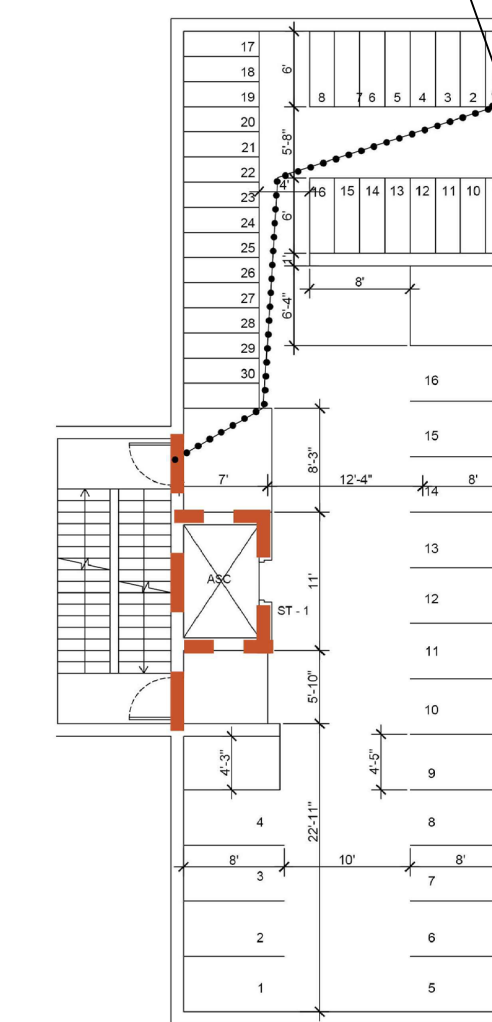
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 NOT COUNTED  
 NOT COUNTED

$$PERCENT = \frac{BALCONY\ AREA}{FINAL\ AREA} = \frac{427.56}{16472.31} = 00.02\%$$

## LEGEND

45 MIN FFR FIRE SEPARATION   
 1 HR FFR FIRE SEPARATION 

3.4.2.5. MAX DISTANCE TO EXIT = 30M (15.5 M PROPOSED)

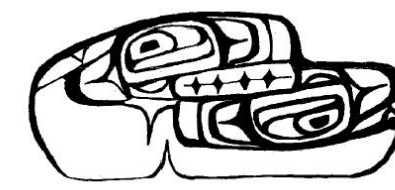


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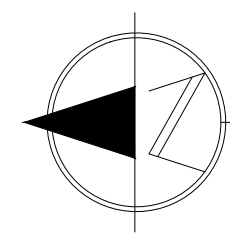


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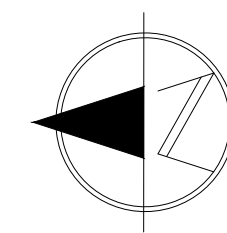
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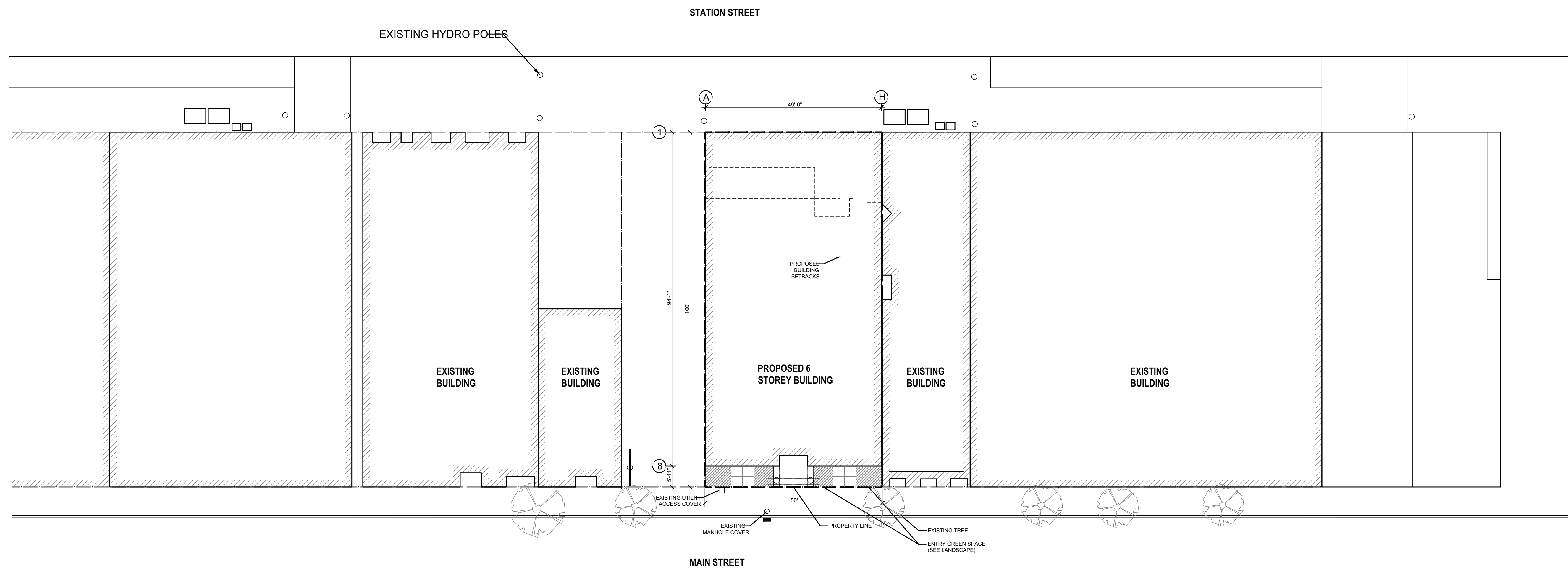
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Project Name  
**950 MAIN STREET**  
 940-950 MAIN STREET,  
 Vancouver, B.C.

**BUILDING CODE REVIEW**

Rev No. 8 Project No. 15-03 Dwg No. A1.2



1 SITE CONTEXT  
 AT.3 SCALE: 1/16" = 1' - 0"

MILLROSS AVE

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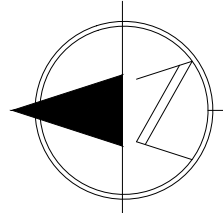
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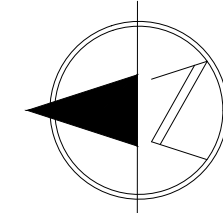
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Project Name  
**950 MAIN STREET**  
 940-950 MAIN STREET,  
 Vancouver, B.C.

**SITE PLAN**

Rev No.	Project No.	Dwg No.
8	15-03	A1.3



1 MAIN STREET ELEVATION  
A1.4 SCALE: 1/16" = 1' - 0"



2 STATION STREET ELEVATION  
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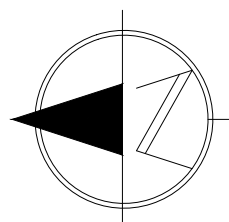
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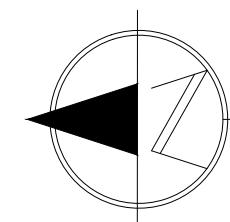
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**STREET ELEVATIONS**

Rev No.	Project No.	Dwg No.
7	15-03	A1.4





DEVELOPMENT SITE

**STREETSCAPE MAIN ST WEST SIDE**  
NTS



DEVELOPMENT SITE

**STREETSCAPE STATION ST EAST SIDE**  
NTS



**STREET VIEWS**

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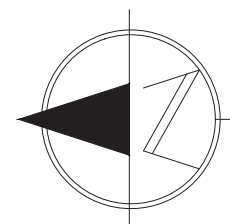
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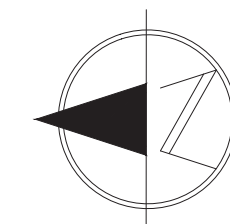
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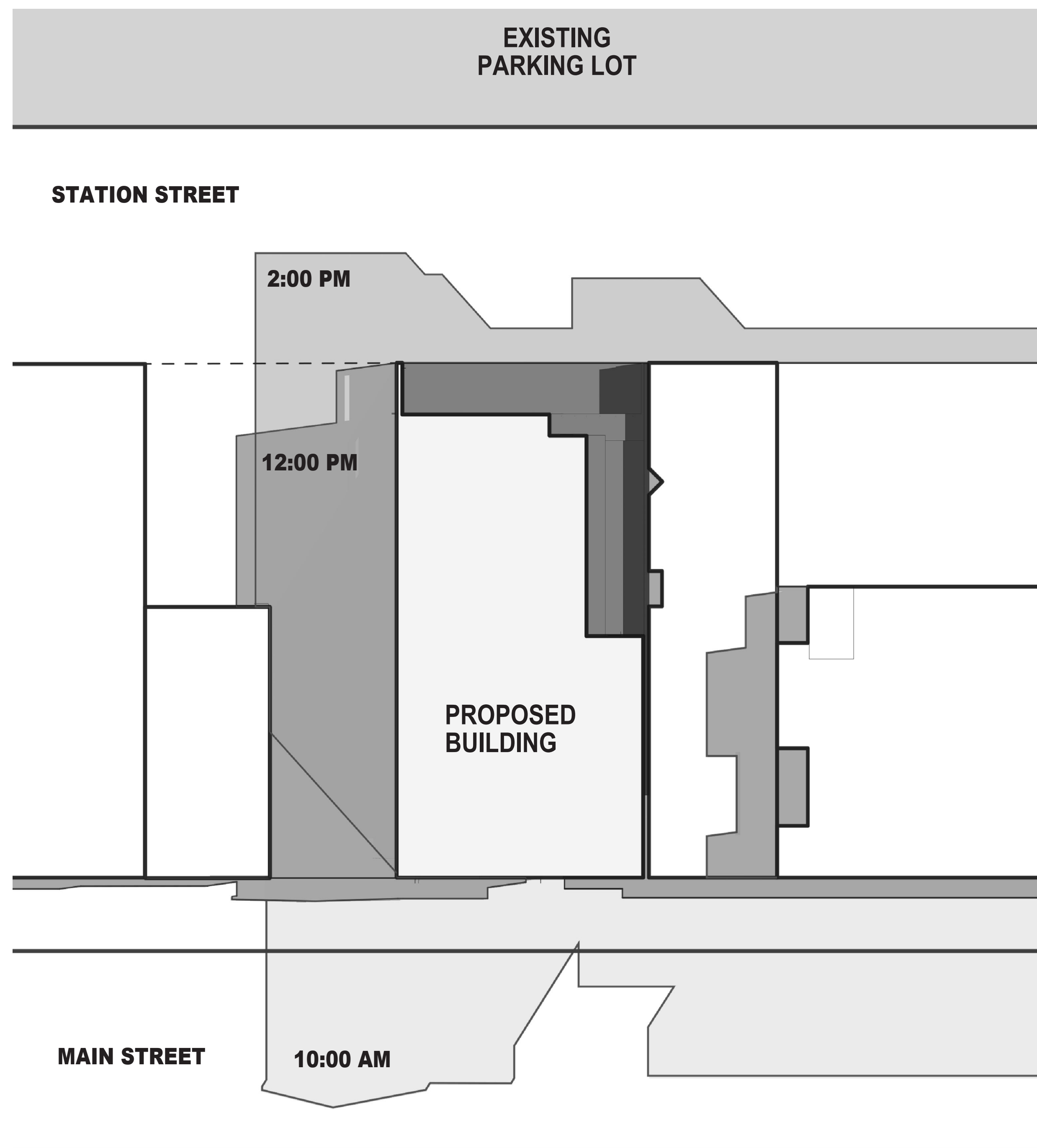
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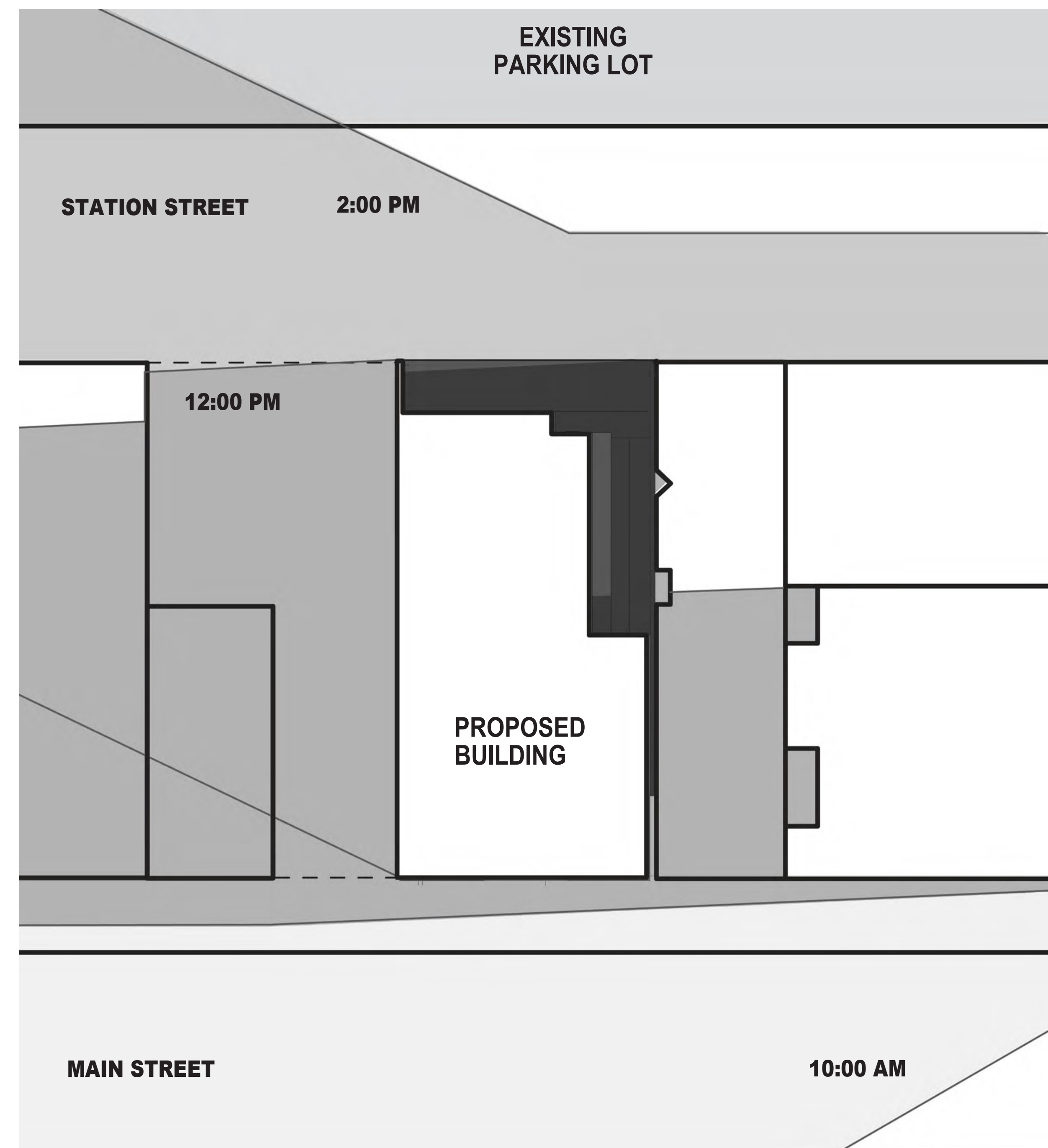
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**STREETSCAPE**

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**1 SHADOW ANALYSIS- SUMMER SOLSTICE**  
SCALE: 1/16"=1'0"

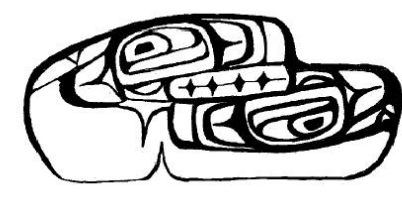


**2 SHADOW ANALYSIS- WINTER SOLSTICE**  
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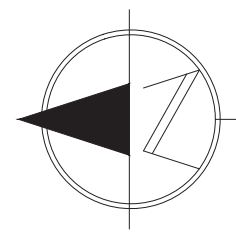


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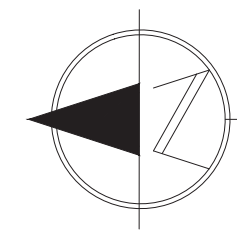


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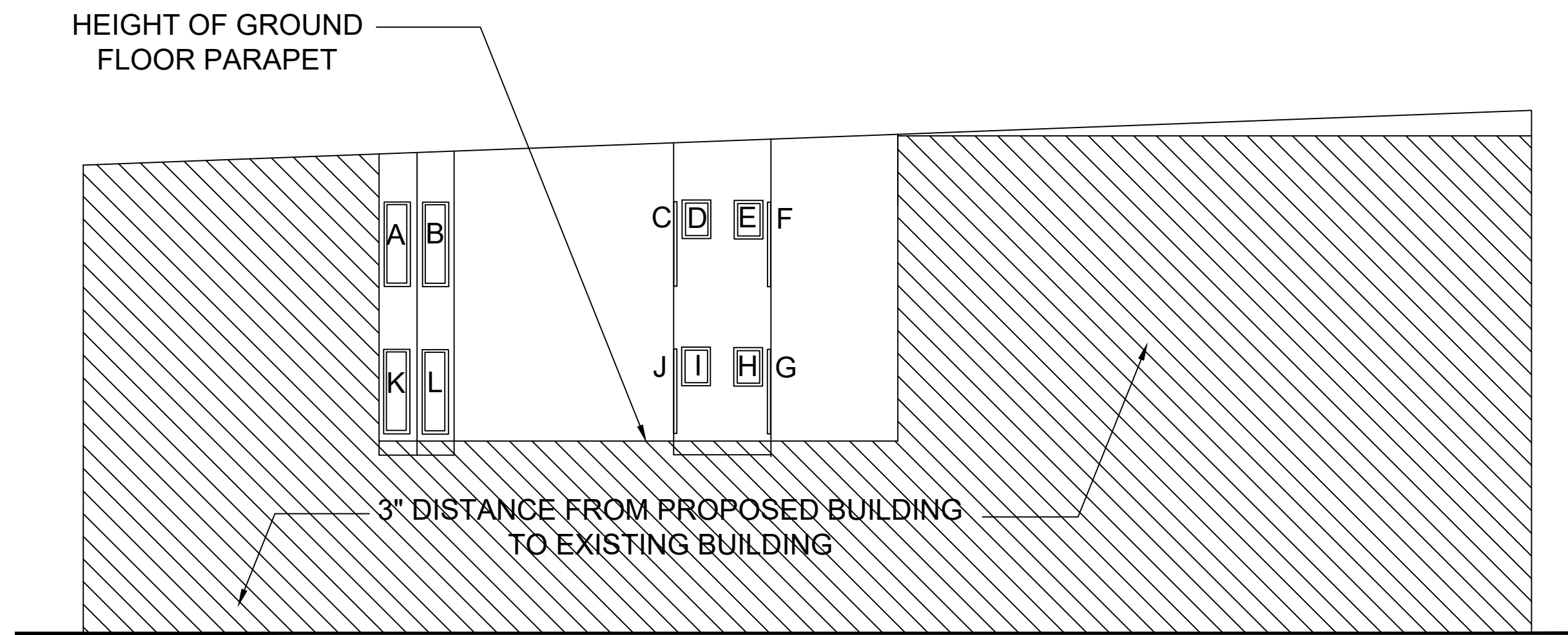
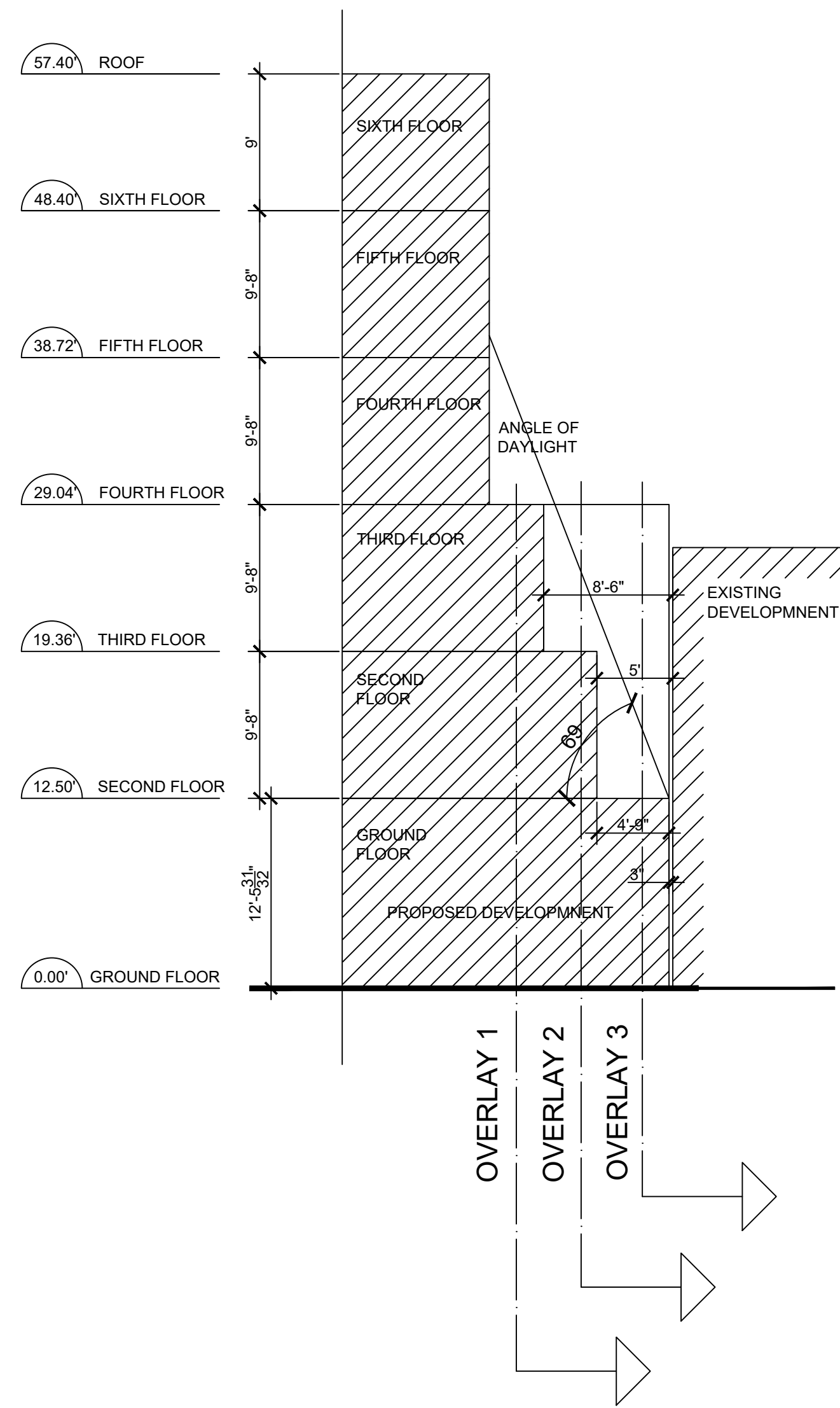
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8	04/13/17	REVISED DP SUBMISSION	CT		

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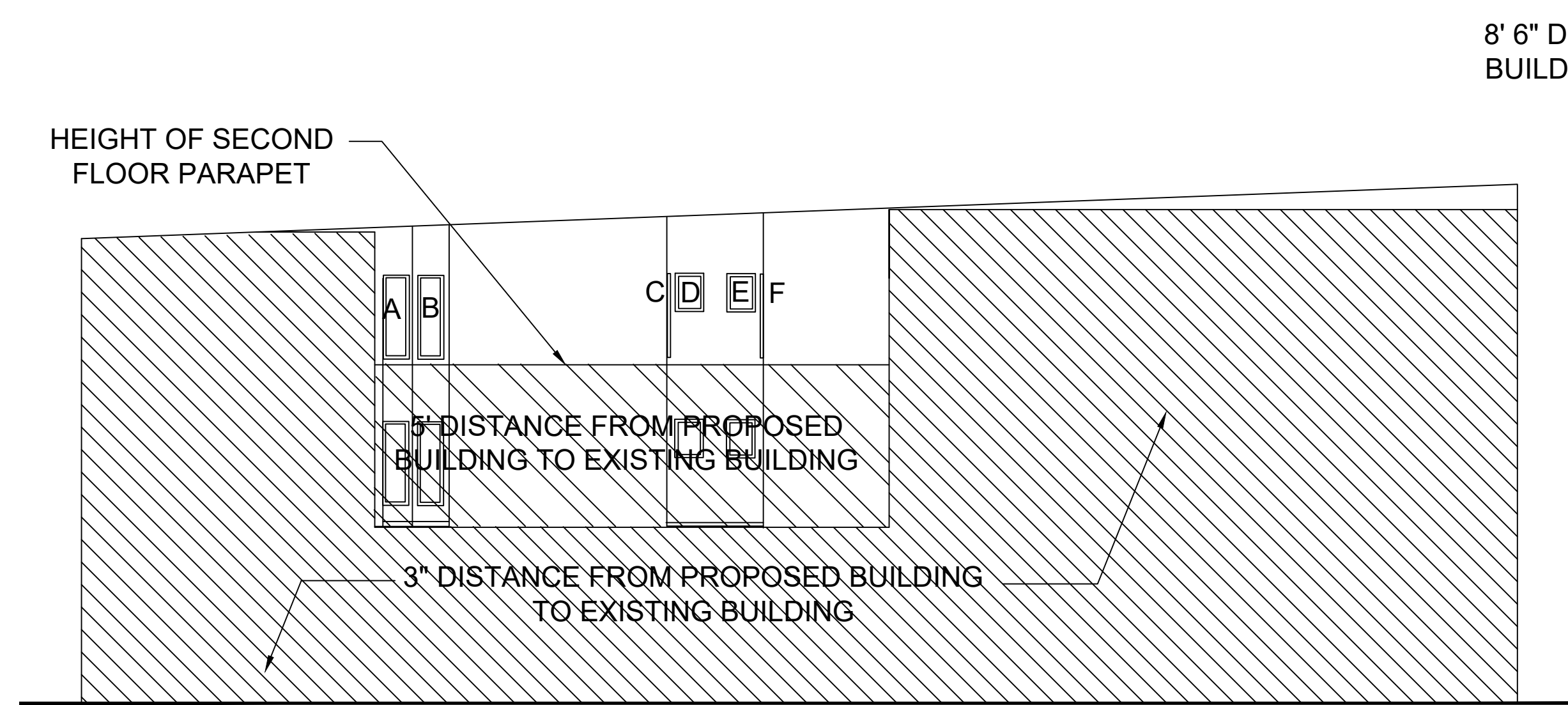
Project Name  
**950 MAIN STREET**  
940-950 MAIN STREET,  
Vancouver, B.C.

**SHADOW ANALYSIS**

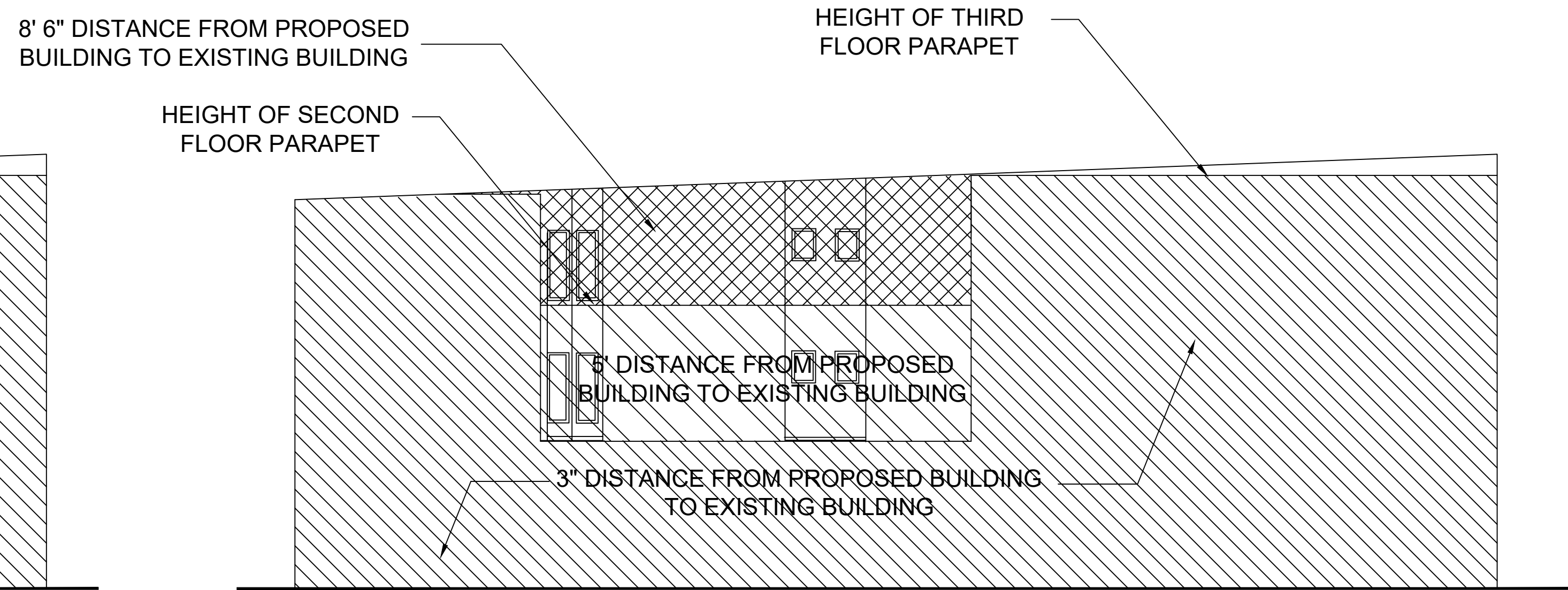
Rev No.	Project No.	Dwg No.
8	15-03	A1.6



**OVERLAY 1** HEIGHT OVERLAY OF SOUTH WALL IN RELATION TO 956 MAIN STEET



**OVERLAY 2** HEIGHT OVERLAY OF SOUTH WALL IN RELATION TO 956 MAIN STEET

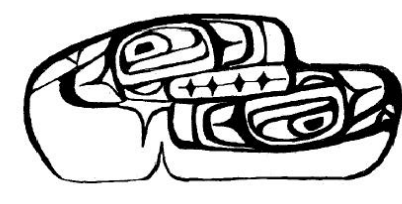


**OVERLAY 3** HEIGHT OVERLAY OF SOUTH WALL IN RELATION TO 956 MAIN STEET

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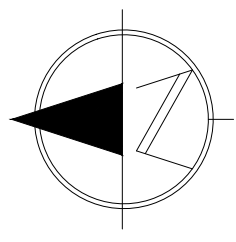


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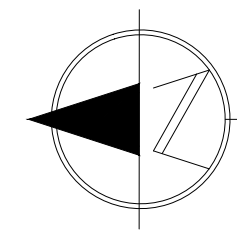


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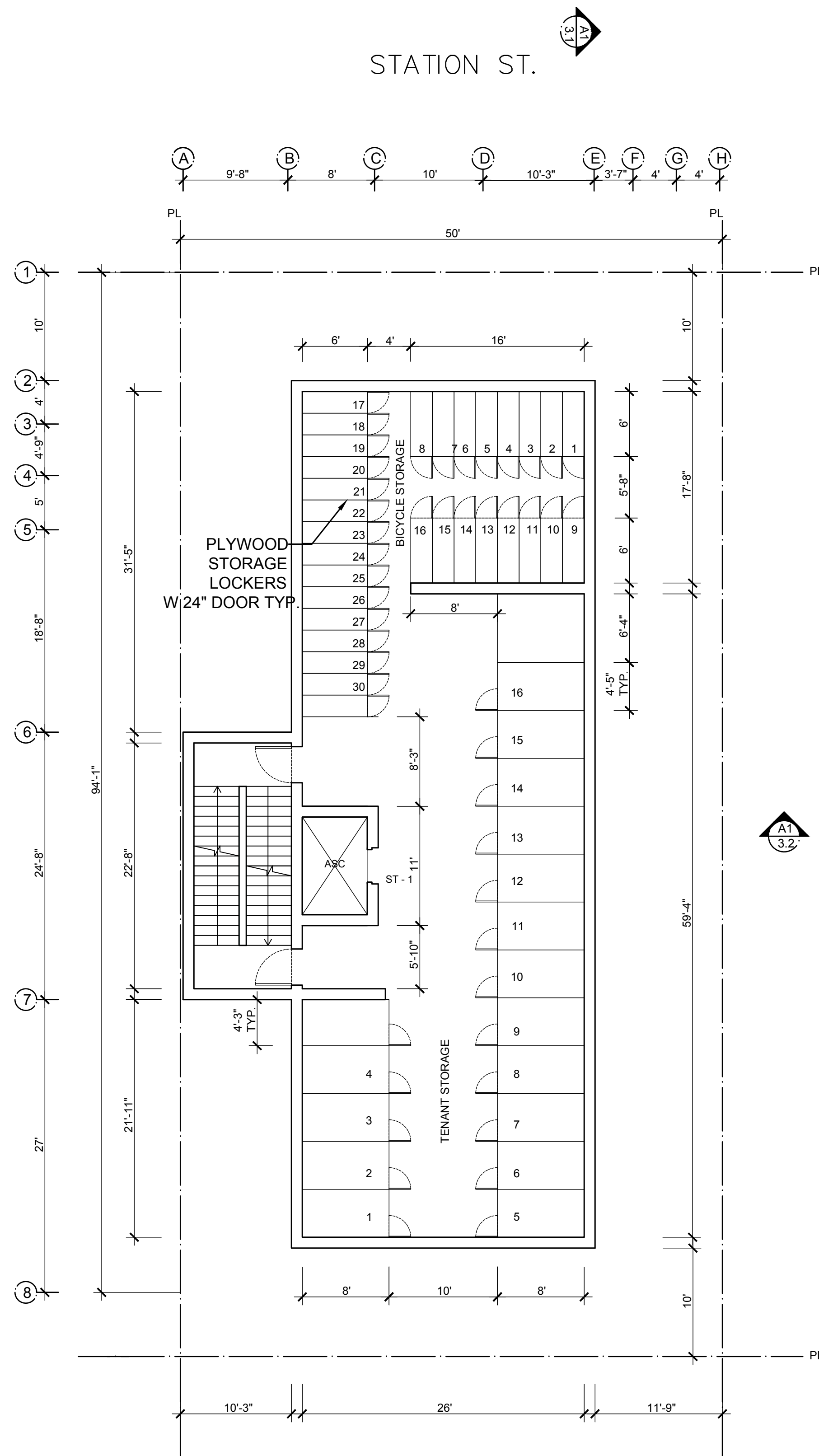
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2	07/08/14	COV REVIEW #2	CT		
3	05/10/15		TP	DRAWN	CT+TP
4	04/25/16		TP		
5	05/30/16		TP	CHECKED	PRS
6	01/16/17	DP SUBMISSION	CT		
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8	04/13/17	REVISED DP SUBMISSION	CT		

Architects Seal

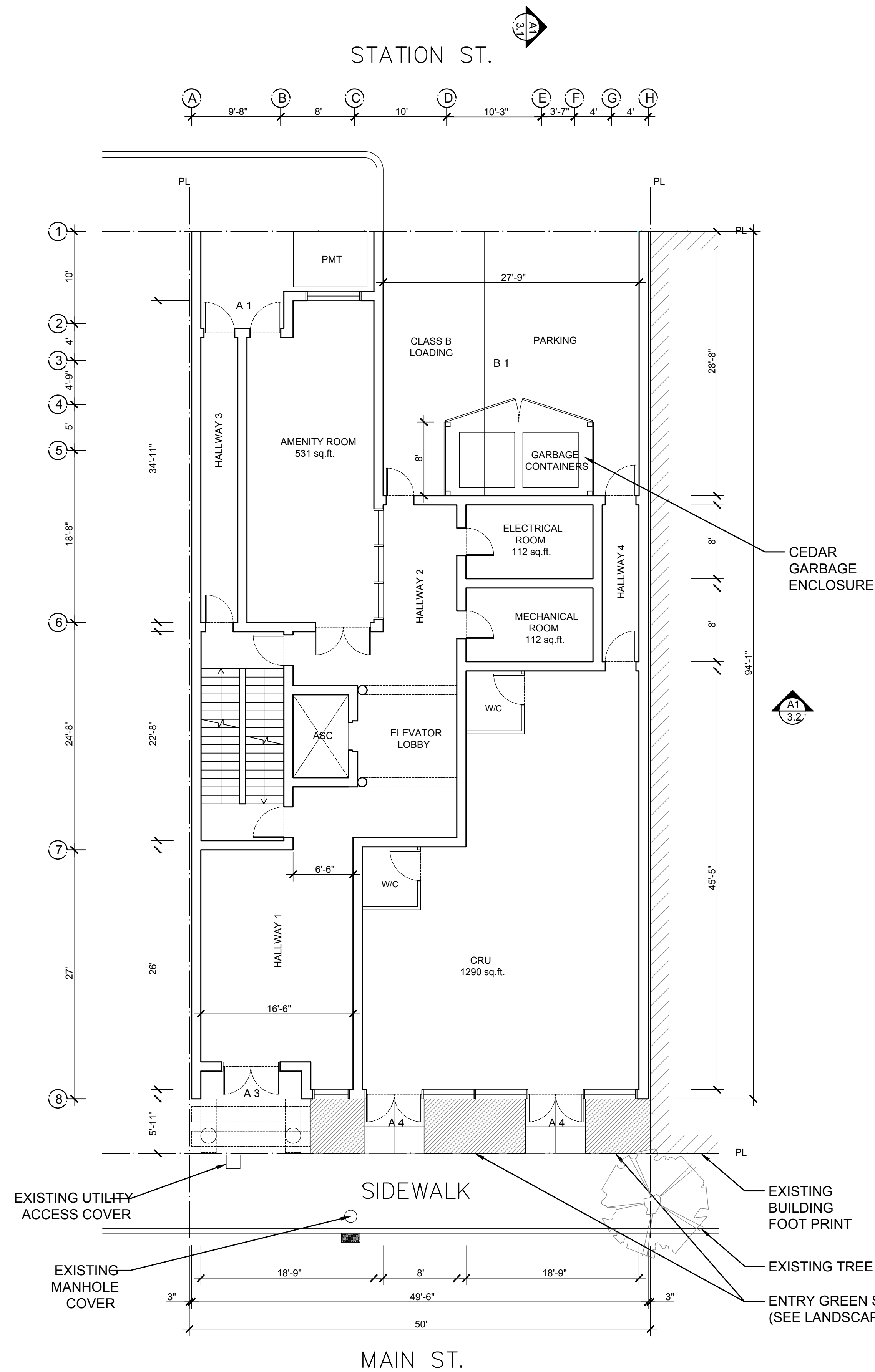
Project Name  
**950 MAIN STREET**  
 940-950 MAIN STREET,  
 Vancouver, B.C.

**WINDOW OVERLAY**

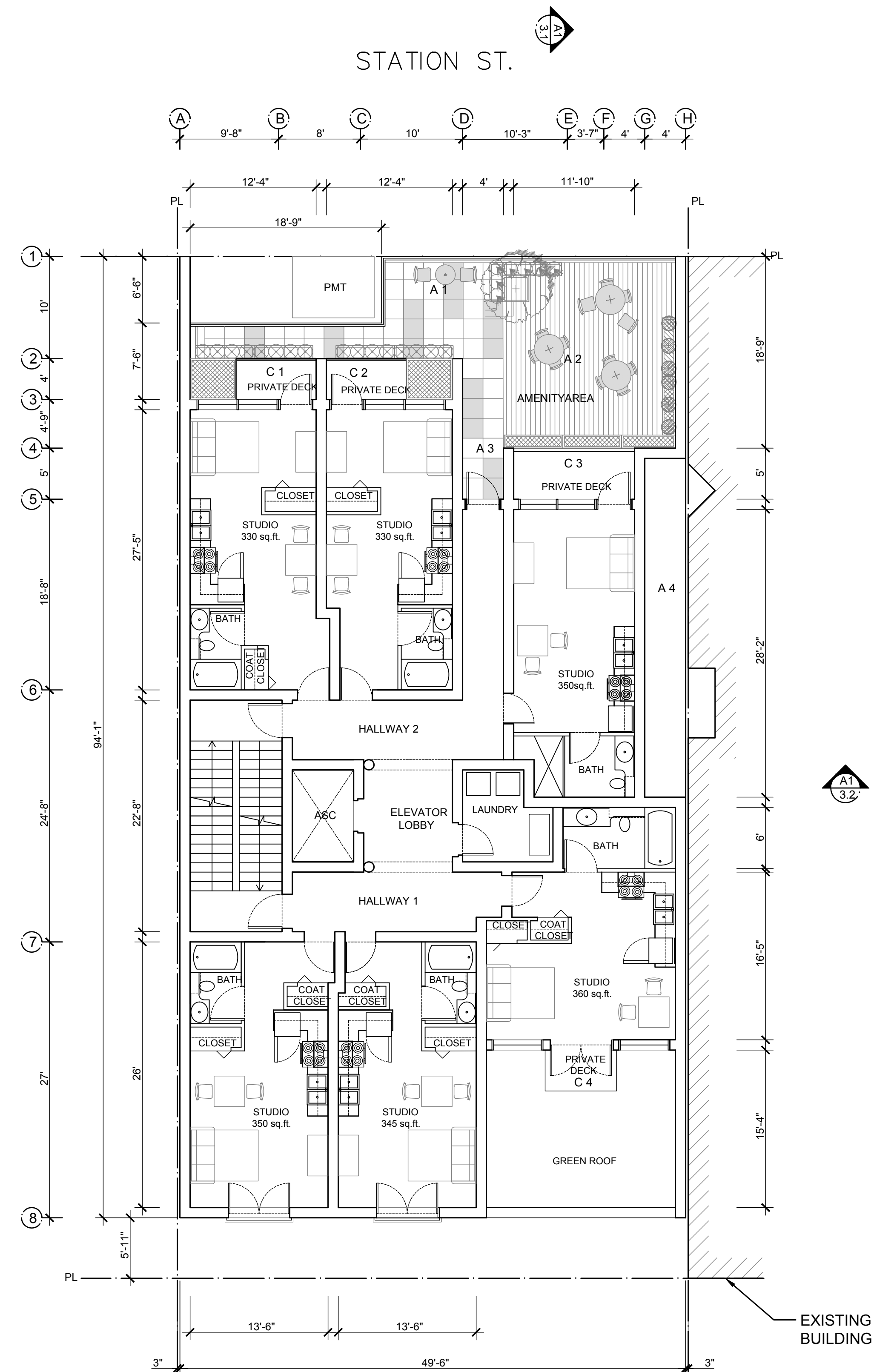
Rev No.	Project No.	Dwg No.
8	15-03	A1.7



FLOOR PLAN: BASEMENT  
 A2.1 SCALE: 1/8" = 1' - 0"



FLOOR PLAN: MAIN FLOOR  
 A2.1 SCALE: 1/8" = 1' - 0"

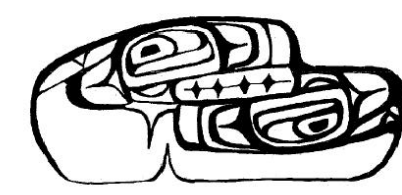


FLOOR PLAN: FLOOR 2  
 A2.1 SCALE: 1/8" = 1' - 0"

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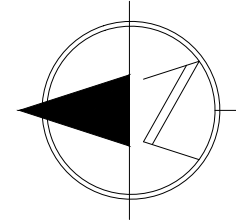


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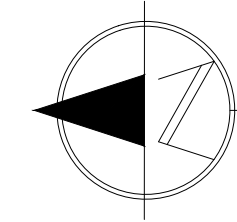


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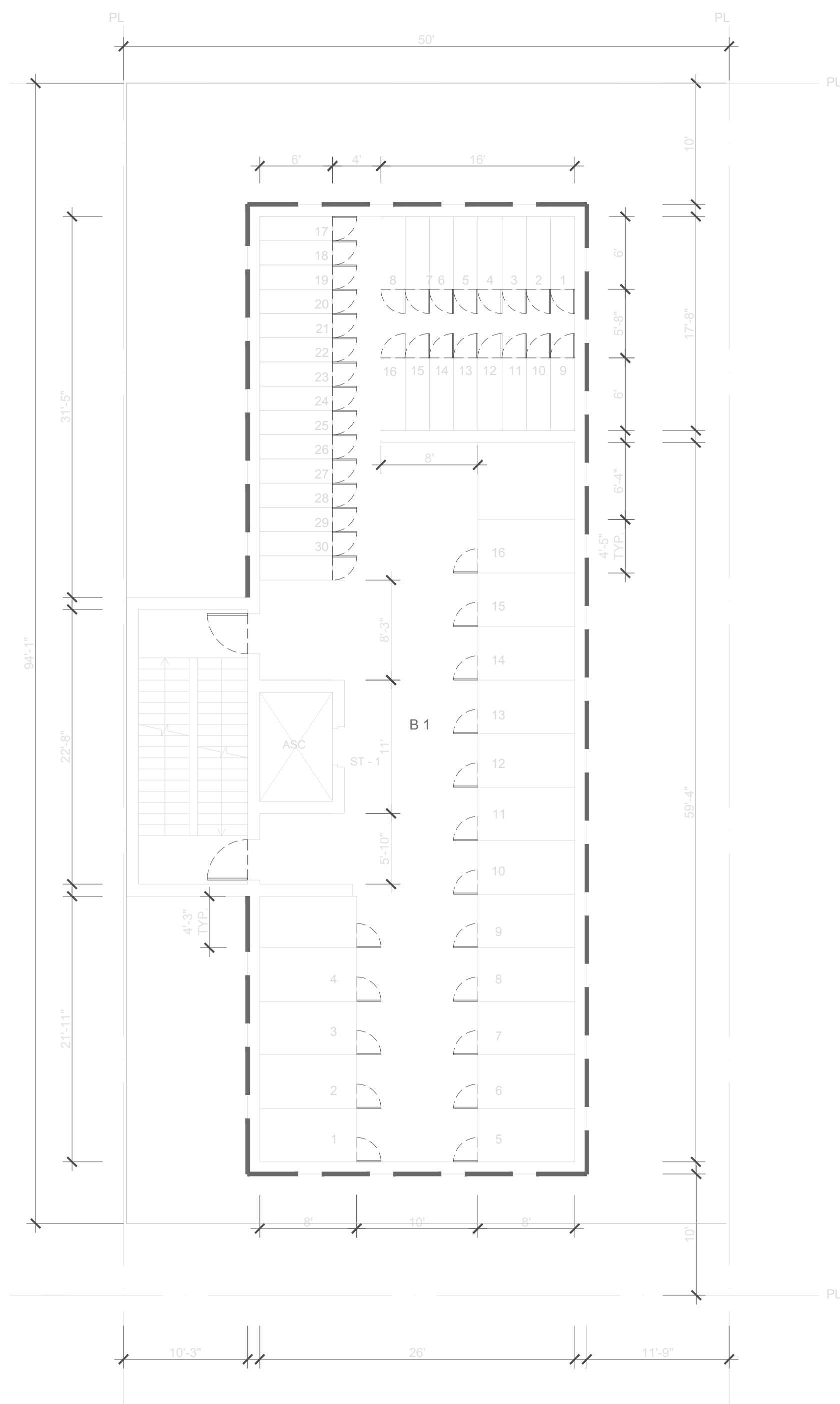
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2	07/08/14	COV REVIEW #2	CT		
3	05/10/15		TP	DRAWN	CT+TP
4	04/25/16		TP		
5	05/30/16		TP	CHECKED	PRS
6	01/16/17	DP SUBMISSION	CT		
7	02/27/17	REVISED DP SUBMISSION	CT		
8	04/13/17	REVISED DP SUBMISSION	CT	SCALE	AS NOTED

Architects Seal

Project Name  
**950 MAIN STREET**  
 940-950 MAIN STREET,  
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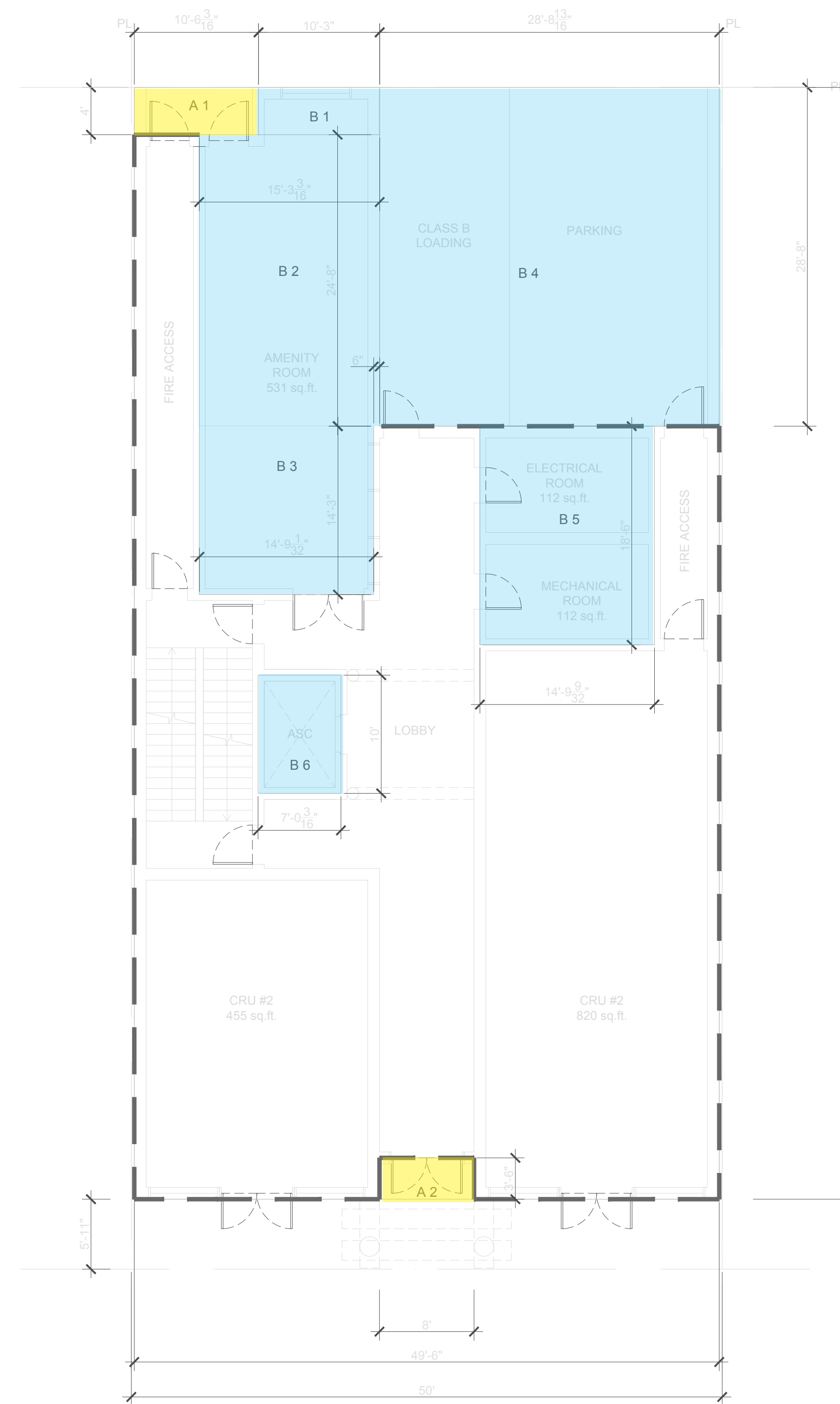
FLOOR PLANS: B-SECOND FLOOR

Rev No. 8 Project No. 15-03 Dwg No. A2.1



GROSS PERIMETER AREA	2486.67	SQ/FT
CALCULATION DEDUCTIONS:		
	0.00	
	0.00	
GROSS FLOOR AREA	2486.67	
USE DEDUCTIONS:		
BELOW GRADE		
B1	2486.67	
	2486.67	
NET FLOOR AREA	0.00	SQ/FT
FINAL AREA FOR FSR	0.00	SQ/FT

1 FLOOR PLAN: BASEMENT  
A2.1B SCALE: 1/8" = 1' - 0"



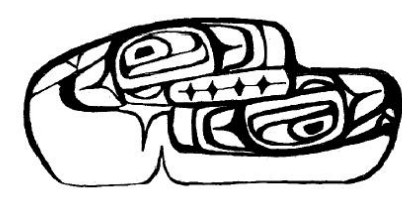
GROSS PERIMETER AREA	4657.13	SQ/FT
CALCULATION DEDUCTIONS:		
A 1	42.0	
A 2	28.0	
	70.0	
GROSS FLOOR AREA	4656.43	SQ/FT
USE DEDUCTIONS:		
AMENITIES, SERVICE, MECHANICAL		
B 1	41.0	
B 2	376.17	
B 3	210.19	
B 4	821.78	
B 5	272.88	
B 6	72.5	
	1794.52	
NET FLOOR AREA	2861.91	SQ/FT
THERMAL DEDUCTIONS:		
NET PERIMETER LENGTH	246.08 FT x 2'	
	41.01	SQ/FT
FINAL AREA FOR FSR	2820.9	SQ/FT

2 FLOOR PLAN: MAIN FLOOR  
A2.1B SCALE: 1/8" = 1' - 0"

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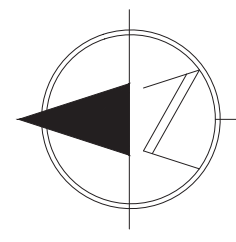


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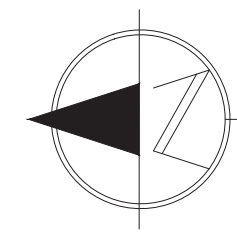


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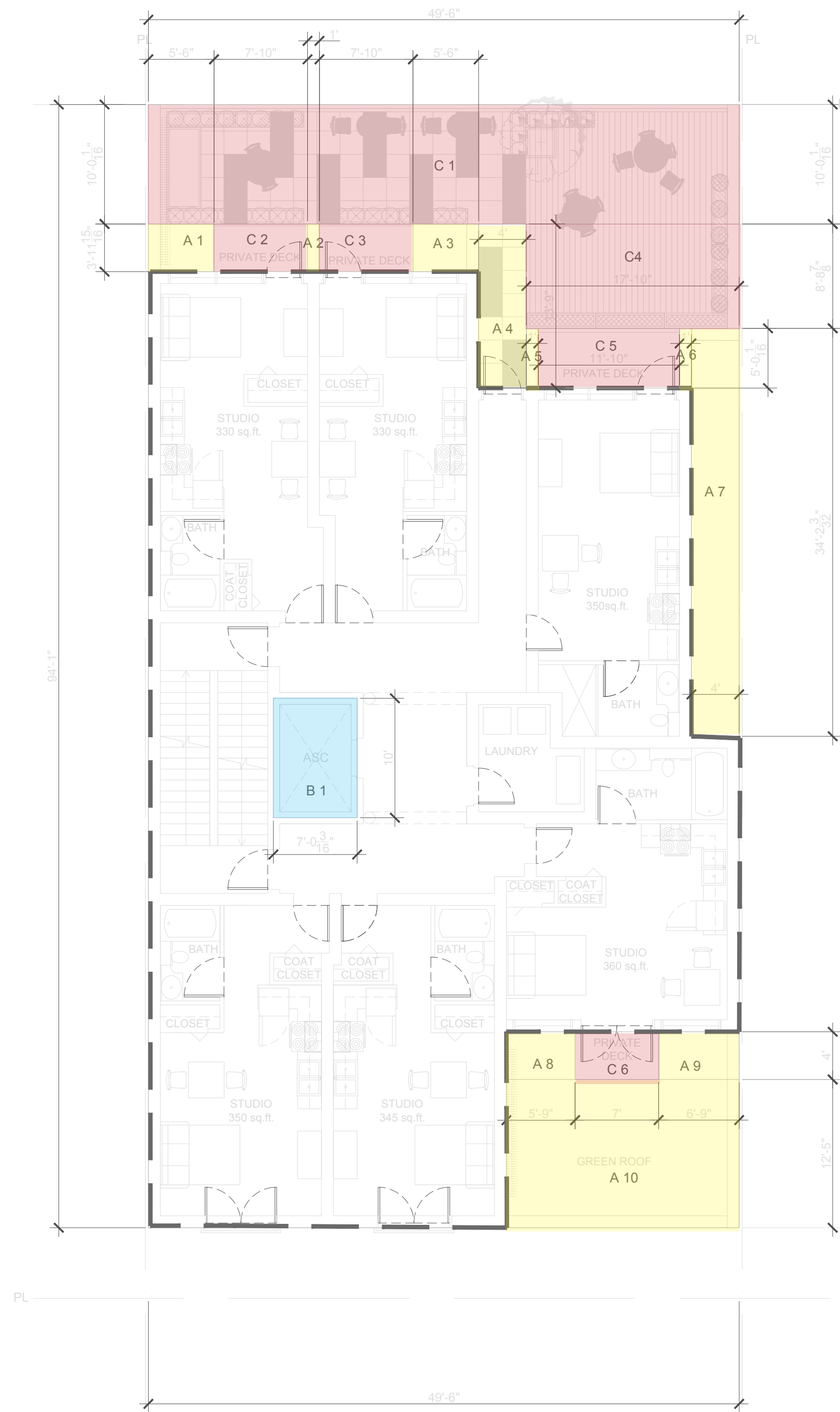
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2	07/08/14	COV REVIEW #2	CT		
3	05/10/15		TP	DRAWN	CT+TP
4	04/25/16		TP		
5	05/30/16		TP	CHECKED	PRS
6	01/16/17	DP SUBMISSION	CT		
7	02/27/17	REVISED DP SUBMISSION	CT	SCALE	AS NOTED
8	04/13/17	REVISED DP SUBMISSION	CT		

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Project Name  
**950 MAIN STREET**  
940-950 MAIN STREET,  
Vancouver, B.C.

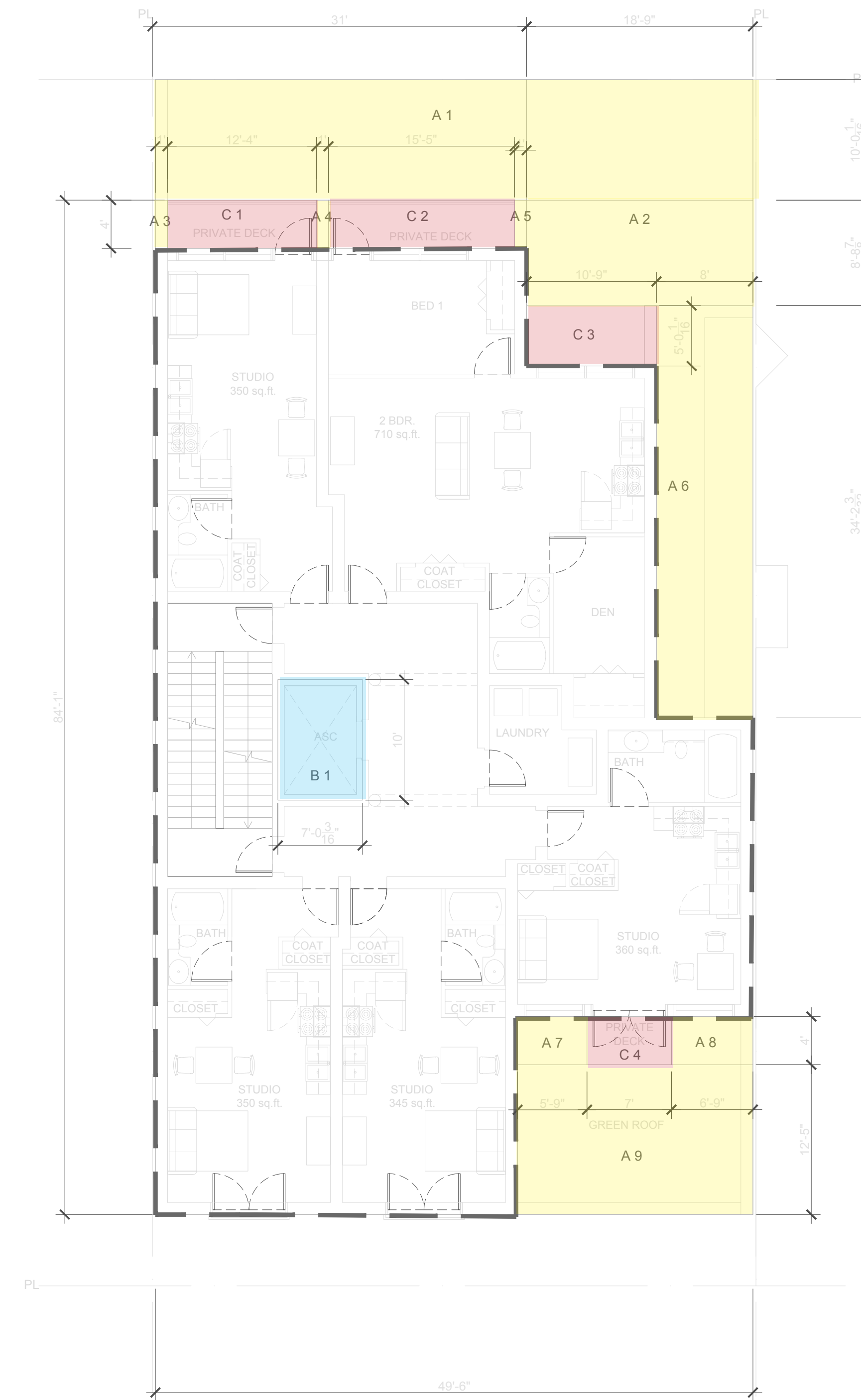
**FSR TRACE OVERLAY**

Rev No.	Project No.	Dwg No.
8	15-03	A2.1B



GROSS PERIMETER AREA	4657.13 SQ/FT
CALCULATION DEDUCTIONS:	
A 1	22.0
A 2	4.0
A 3	22.0
A 4	55.0
A 5	5.0
A 6	5.0
A 7	136.67
A 8	23.0
A 9	27.0
A 10	242.13
	<hr/>
	541.18
GROSS FLOOR AREA	4115.95 SQ/FT
USE DEDUCTIONS:	
AMENITIES, SERVICE, MECHANICAL	
B 1	72.5
	<hr/>
	72.5
PATIOS, BALCONIES	
C 1	495.0
C 2	31.33
C 3	31.33
C 4	154.56
C 5	60.15
C 6	28.0
	<hr/>
	800.37
NET FLOOR AREA	3243.08 SQFT
THERMAL DEDUCTIONS:	
NET PERIMETER LENGTH	$\frac{258.61 \text{ FT} \times 2''}{43.10 \text{ SQFT}}$
FINAL AREA FOR FSR	3199.98 SQFT

1 FLOOR PLAN: FLOOR 2  
A2.1C SCALE: 1/8" = 1' - 0"



GROSS PERIMETER AREA	4657.13 SQ/FT
CALCULATION DEDUCTIONS:	
A 1	495.0
A 2	1521.88
A 3	4.0
A 4	4.0
A 5	4.0
A 6	273.33
A 7	23.0
A 8	27.0
A 9	242.13
	<hr/>
	2594.34
GROSS FLOOR AREA	2062.79 SQ/FT
USE DEDUCTIONS:	
AMENITIES, SERVICE, MECHANICAL	
B 1	72.5
	<hr/>
	72.5
PATIOS, BALCONIES	
C 1	49.33
C 2	61.67
C 3	53.75
C 4	28.0
	<hr/>
	192.75
NET FLOOR AREA	1797.54 SQFT
THERMAL DEDUCTIONS:	
NET PERIMETER LENGTH	$\frac{258.64 \text{ FT} \times 2''}{43.11 \text{ SQFT}}$
FINAL AREA FOR FSR	1754.43 SQFT

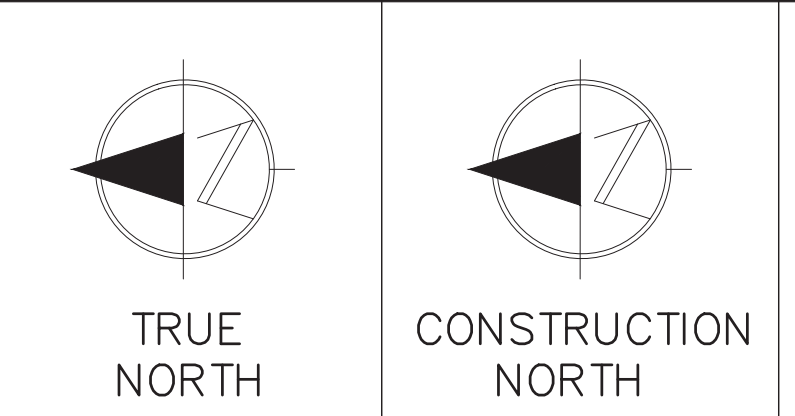
2 FLOOR PLAN: FLOOR 3  
A2.1C SCALE: 1/8" = 1' - 0"

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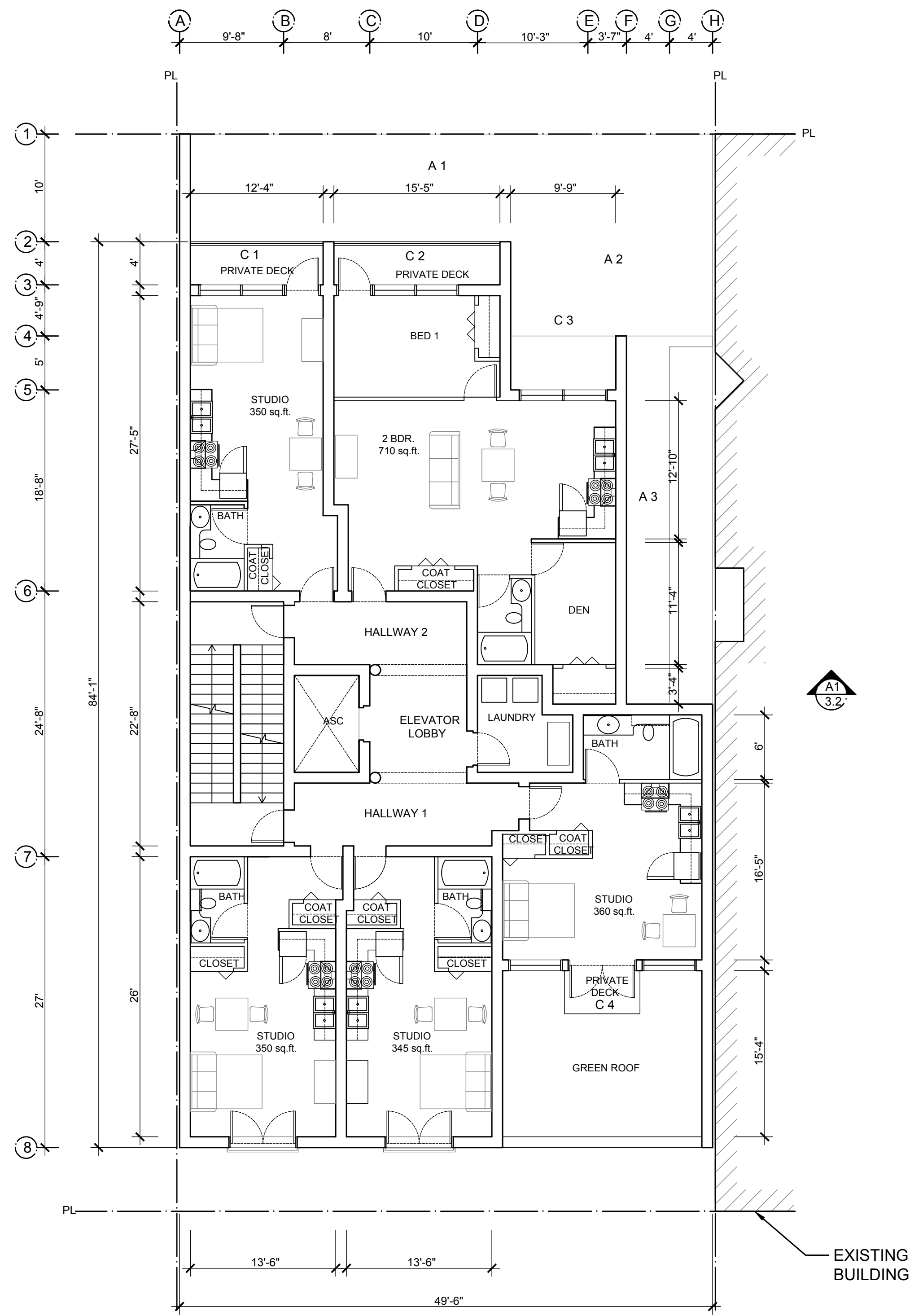
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2	07/08/14	COV REVIEW #2	CT		PRS
3	05/10/15		TP		CT+TP
4	04/25/16		TP		
5	05/30/16		TP		PRS
6	01/16/17	DP SUBMISSION	CT		
7	02/27/17	REVISED DP SUBMISSION	CT		
8	04/13/17	REVISED DP SUBMISSION	CT		AS NOTED

Project Name  
**950 MAIN STREET**  
940-950 MAIN STREET,  
Vancouver, B.C.  
**FSR TRACE OVERLAY**

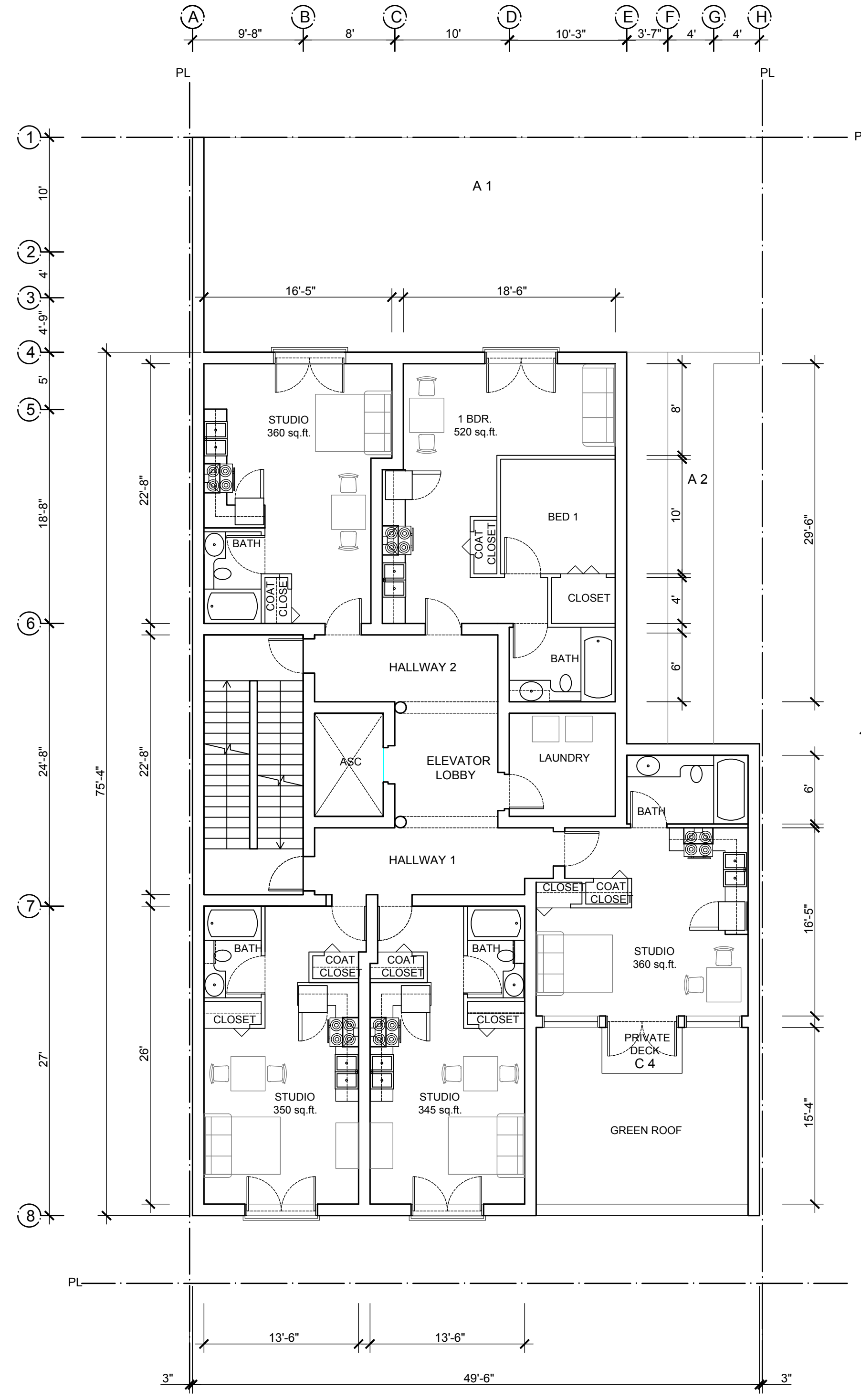
Rev No.	Project No.	Dwg No.
8	15-03	A2.1C

STATION ST.

STATION ST.



1 FLOOR PLAN: FLOOR 3  
SCALE: 1/8" = 1' - 0"



2 FLOOR PLAN: FLOOR 4,5,6  
SCALE: 1/8" = 1' - 0"

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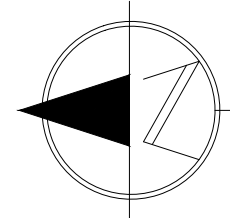
**Patrick R. Stewart Architect**

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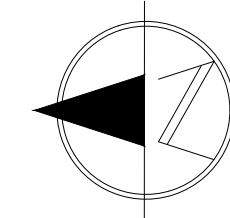
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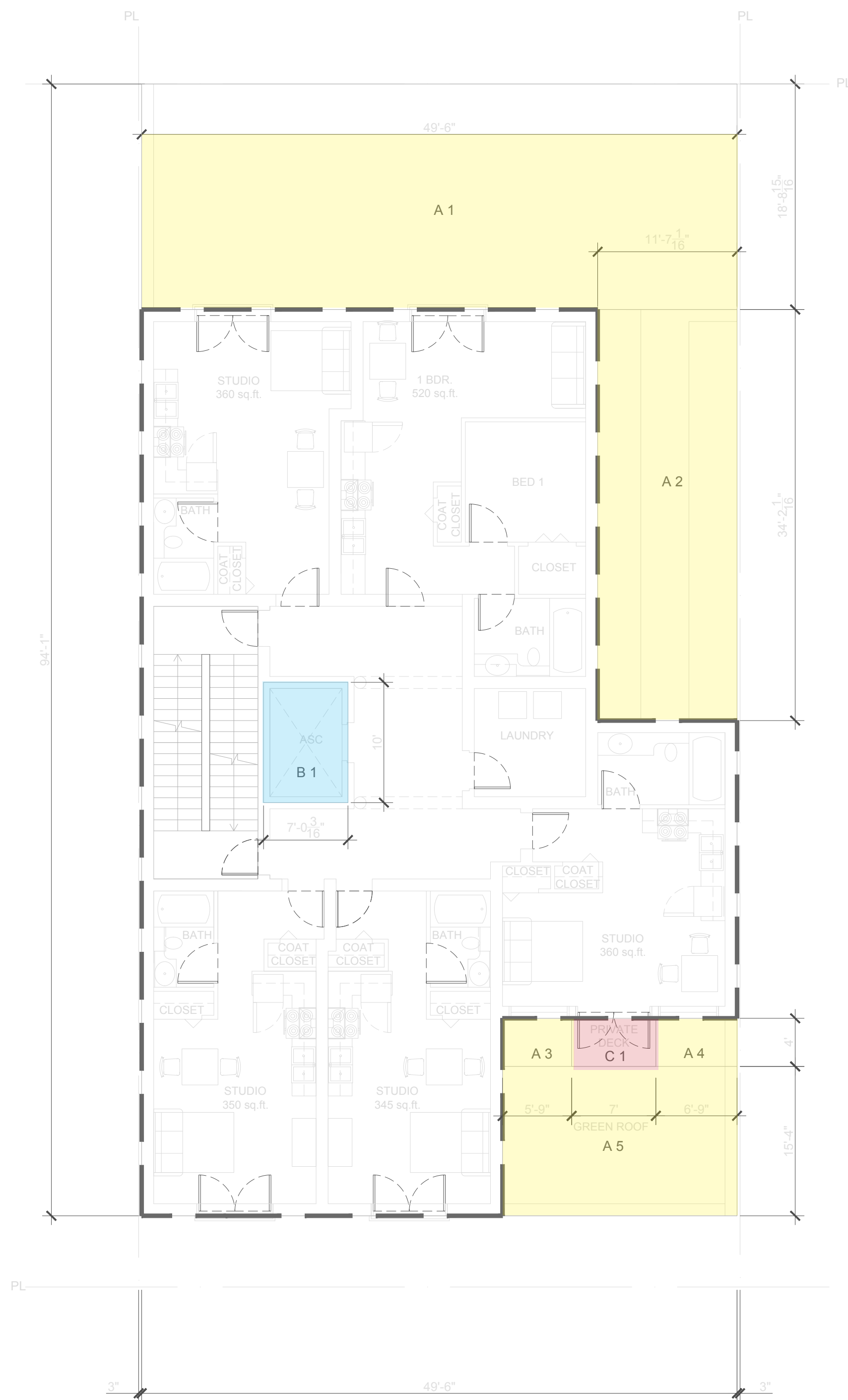
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6	01/16/17	DP SUBMISSION	CT		
7	02/27/17	REVISED DP SUBMISSION	CT		
8	04/13/17	REVISED DP SUBMISSION	CT	SCALE	AS NOTED

Architects Seal

Project Name  
**950 MAIN STREET**  
940-950 MAIN STREET,  
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FLOOR PLANS: THIRD -SIXTH FLOOR

Rev No. 8 Project No. 15-03 Dwg No. A2.2



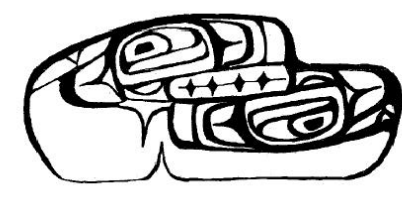
GROSS PERIMETER AREA	4657.13	SQ/FT
CALCULATION DEDUCTIONS:		
A 1	928.13	
A 2	395.76	
A 3	23.0	
A 4	27.0	
A 5	242.13	
	1616.02	
GROSS FLOOR AREA	3041.11	SQ/FT
USE DEDUCTIONS:		
AMENITIES, SERVICE, MECHANICAL		
B 1	72.5	
	72.5	
PATIOS, BALCONIES		
C 1	28.0	
	28.0	
NET FLOOR AREA	2940.61	SQFT
THERMAL DEDUCTIONS:		
NET PERIMETER LENGTH	249.68 FT x 2"	
	41.61 SQFT	
FINAL AREA FOR FSR	2899	SQFT

FLOOR PLAN: FLOOR 4,5,6  
 A2.2B SCALE: 1/8" = 1' - 0"

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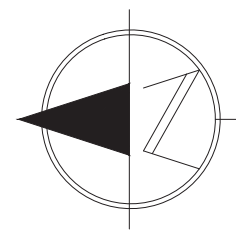


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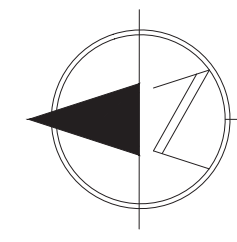


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REV	DATE	DESCRIPTION	BY	START DATE	JULY 5, 2016
1	01/27/14	COV REVIEW #1	PRS	DESIGNED	PRS
2	07/08/14	COV REVIEW #2	CT		
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4	04/25/16		TP		
5	05/30/16		TP	CHECKED	PRS
6	01/16/17	DP SUBMISSION	CT		
7	02/27/17	REVISED DP SUBMISSION	CT	SCALE	AS NOTED
8	04/13/17	REVISED DP SUBMISSION	CT		

Architects Seal

Project Name  
**950 MAIN STREET**  
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**FSR TRACE OVERLAY**

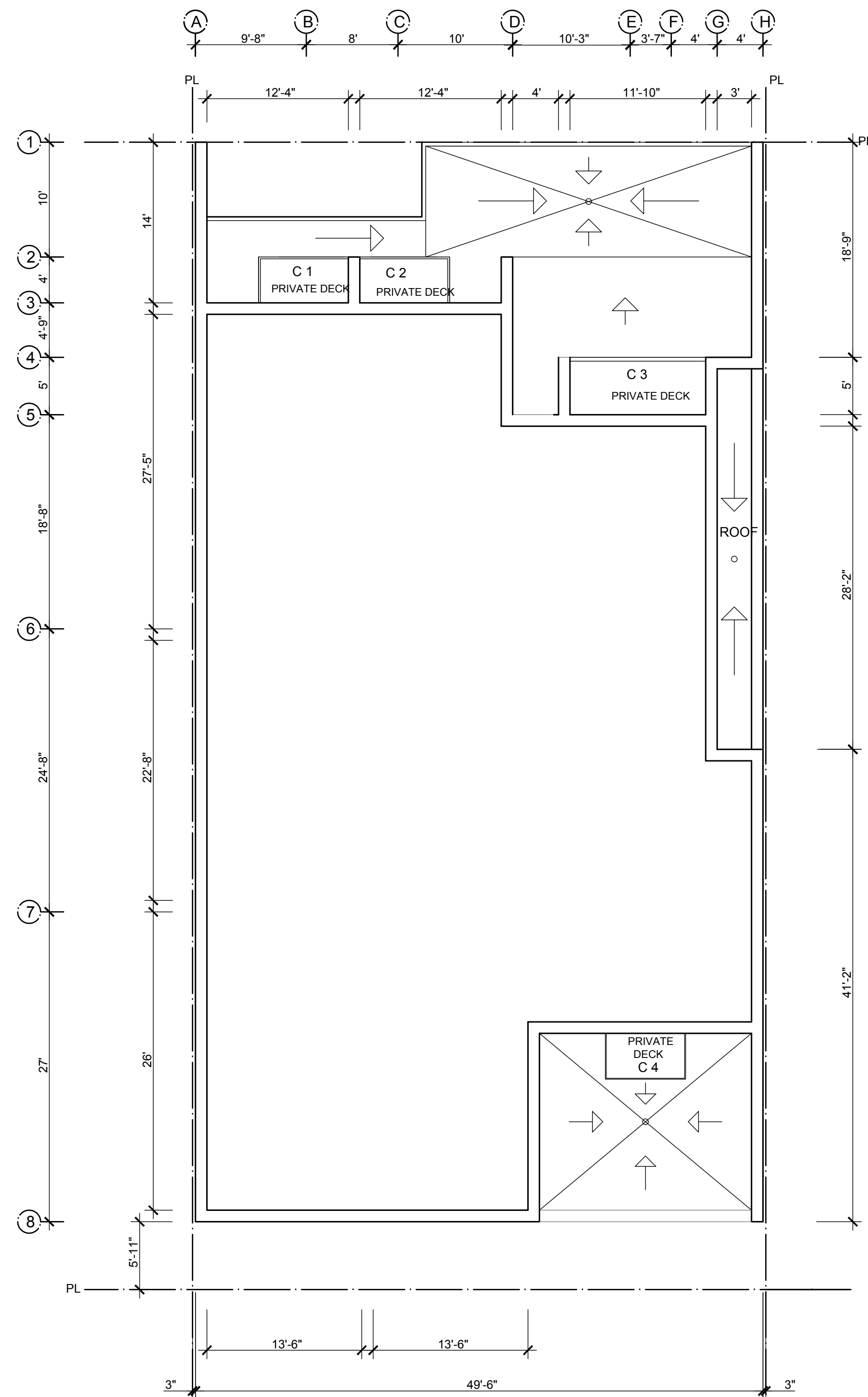
Rev No.	Project No.	Dwg No.
8	15-03	A2.2B



STATION ST.

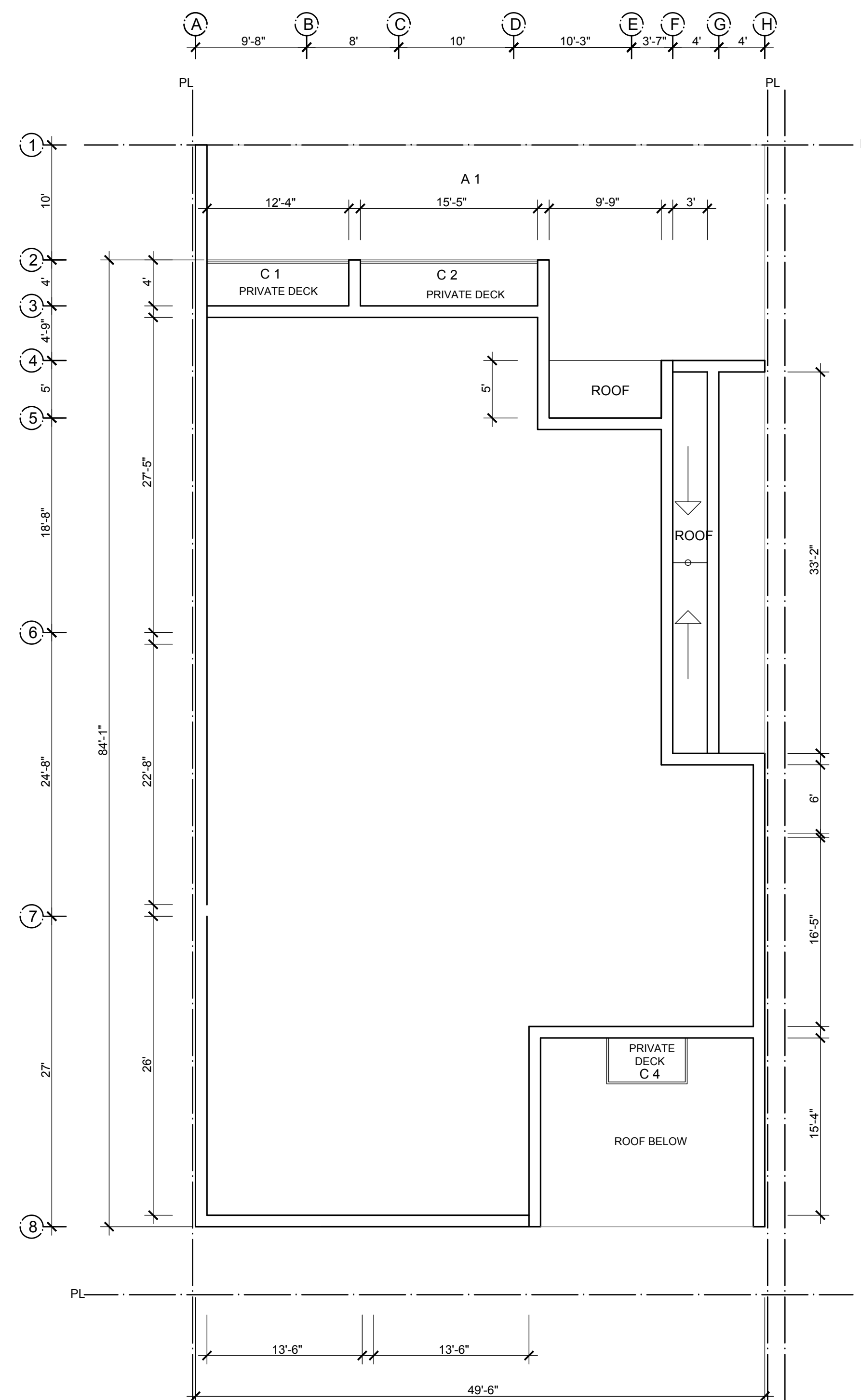
STATION ST.

STATION ST.



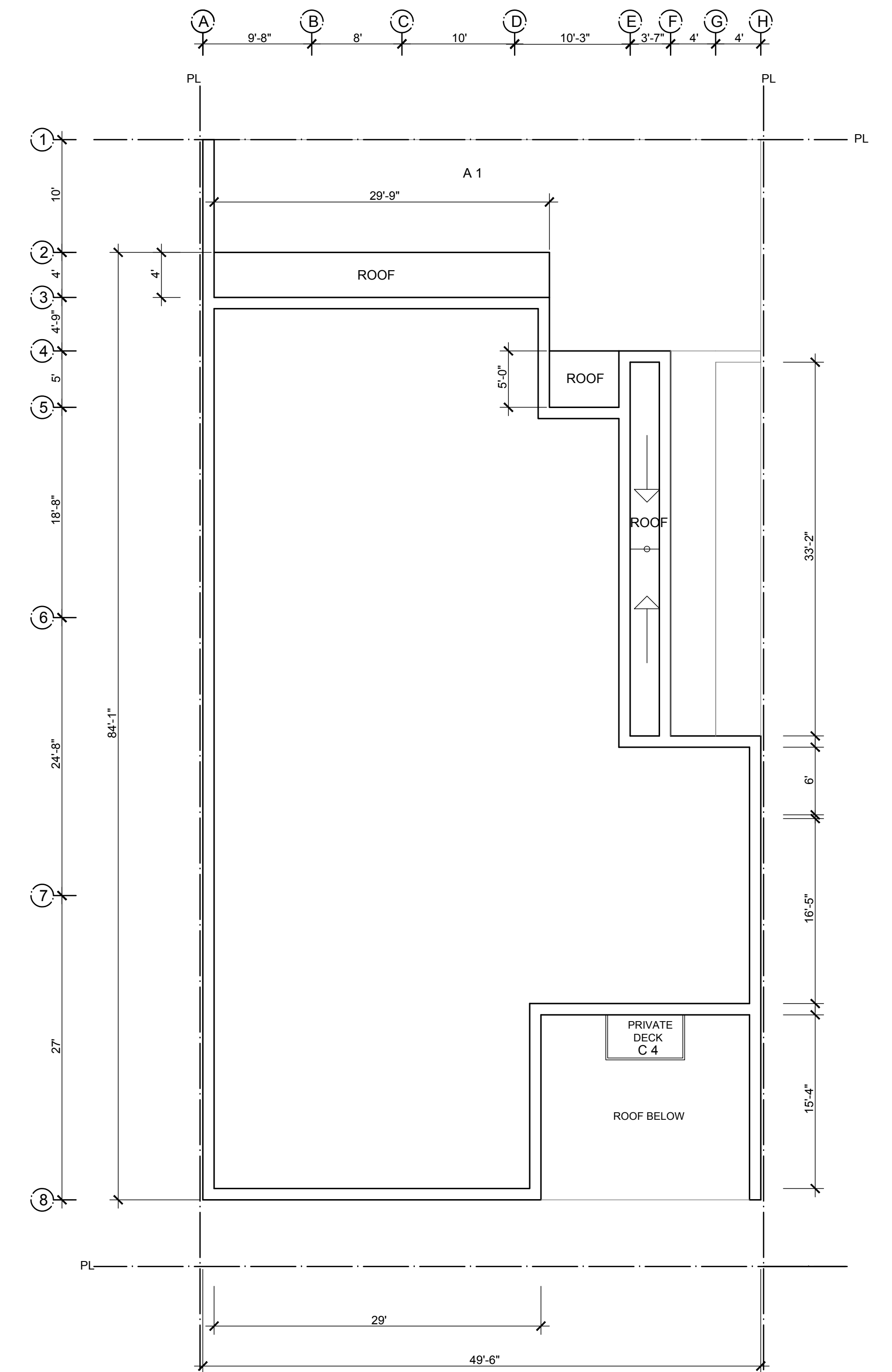
MAIN ST.

1 MAIN FLOOR ROOF PLAN  
A2.3 SCALE: 1/8" = 1' - 0"



MAIN ST.

2 SECOND FLOOR ROOF PLAN  
A2.3 SCALE: 1/8" = 1' - 0"



MAIN ST.

3 THIRD FLOOR ROOF PLAN  
A2.3 SCALE: 1/8" = 1' - 0"

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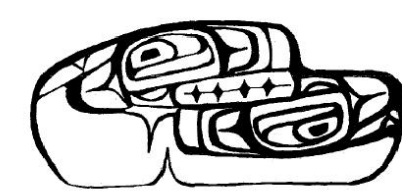
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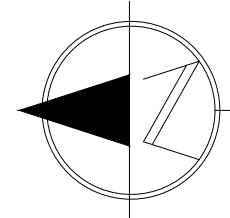
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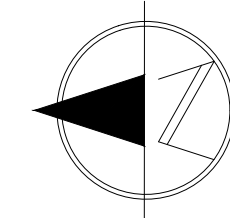
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REV	DATE	DESCRIPTION	BY	START DATE	JULY 5, 2016
1	01/27/14	COV REVIEW #1	PRS	DESIGNED	PRS
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6	01/16/17	DP SUBMISSION	CT		
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8	04/13/17	REVISED DP SUBMISSION	CT	SCALE	AS NOTED

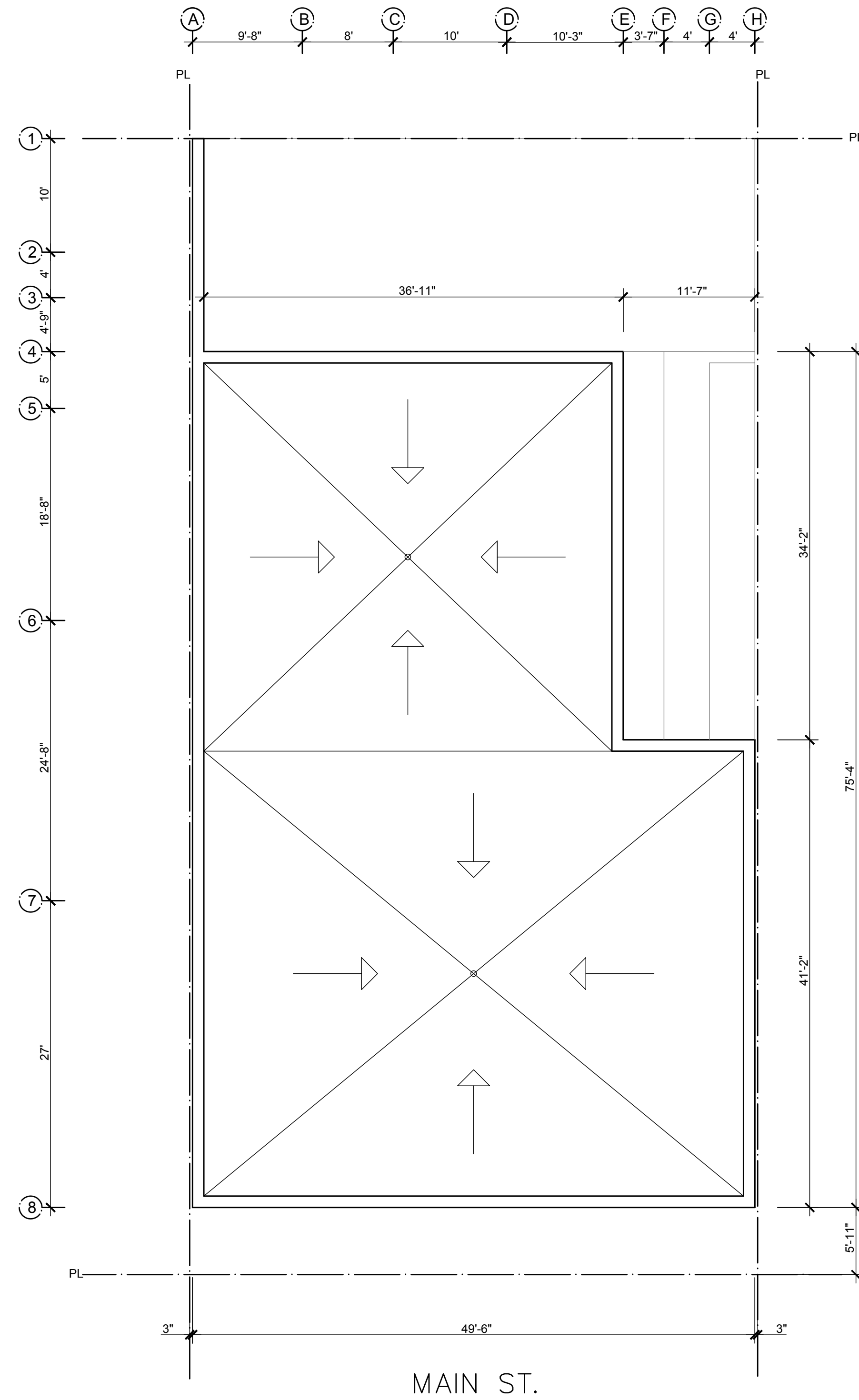
Architects Seal

Project Name  
**950 MAIN STREET**  
940-950 MAIN STREET,  
Vancouver, B.C.

ROOF PLANS: MAIN-THIRD FLOOR

Rev No. 8 Project No. 15-03 Dwg No. A2.3

STATION ST.



1 ROOF PLAN  
A2.4 SCALE: 1/8" = 1' - 0"

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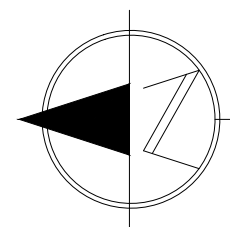
**Patrick R. Stewart Architect**

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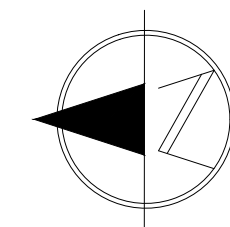
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CANADA

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patrickreidstewart@gmail.com

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CONSTRUCTION NORTH

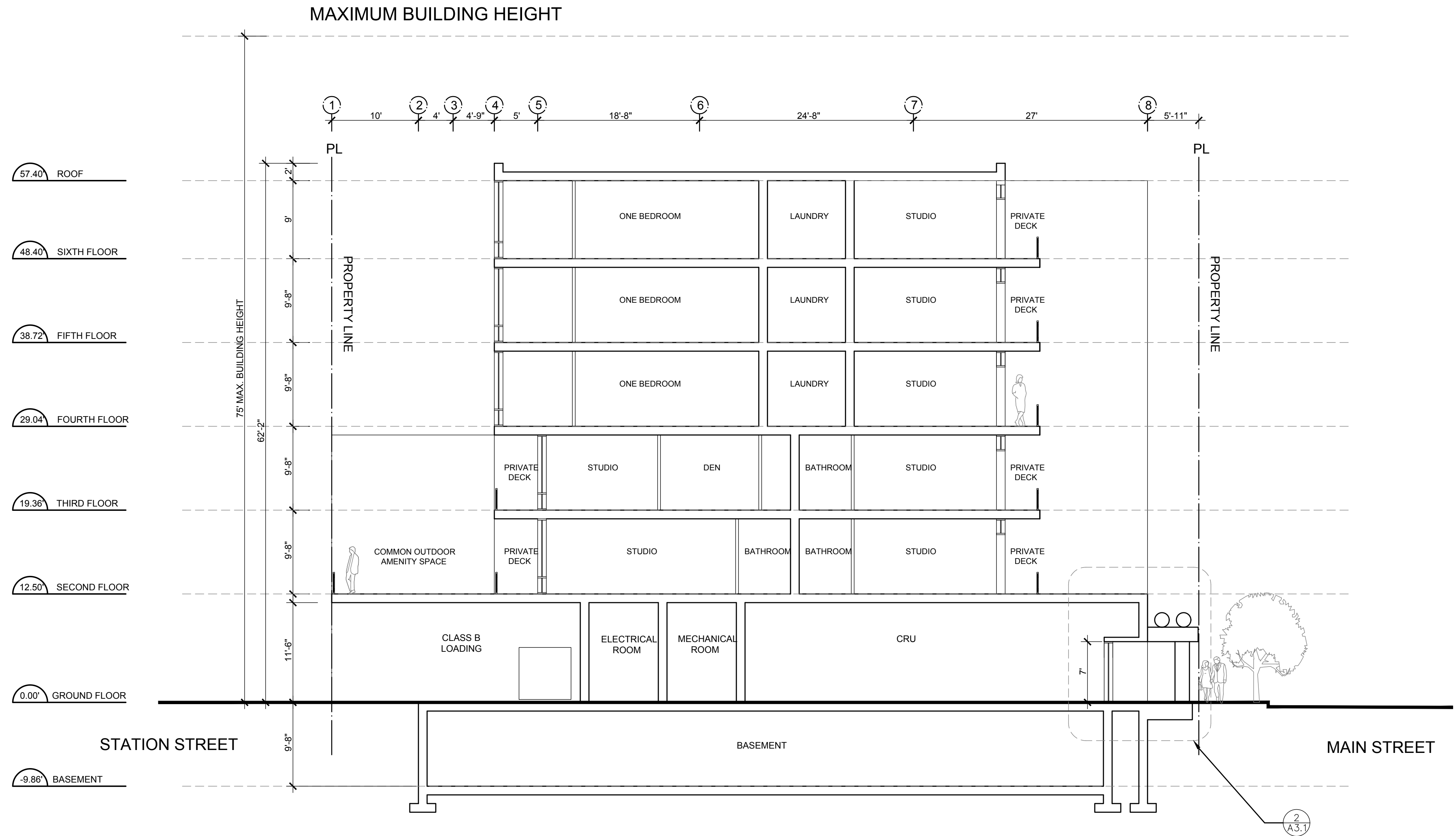
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3	05/10/15		TP	DRAWN	CT+TP
4	04/25/16		TP		
5	05/30/16		TP	CHECKED	PRS
6	01/16/17	DP SUBMISSION	CT		
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8	04/13/17	REVISED DP SUBMISSION	CT	SCALE	AS NOTED

Architects Seal

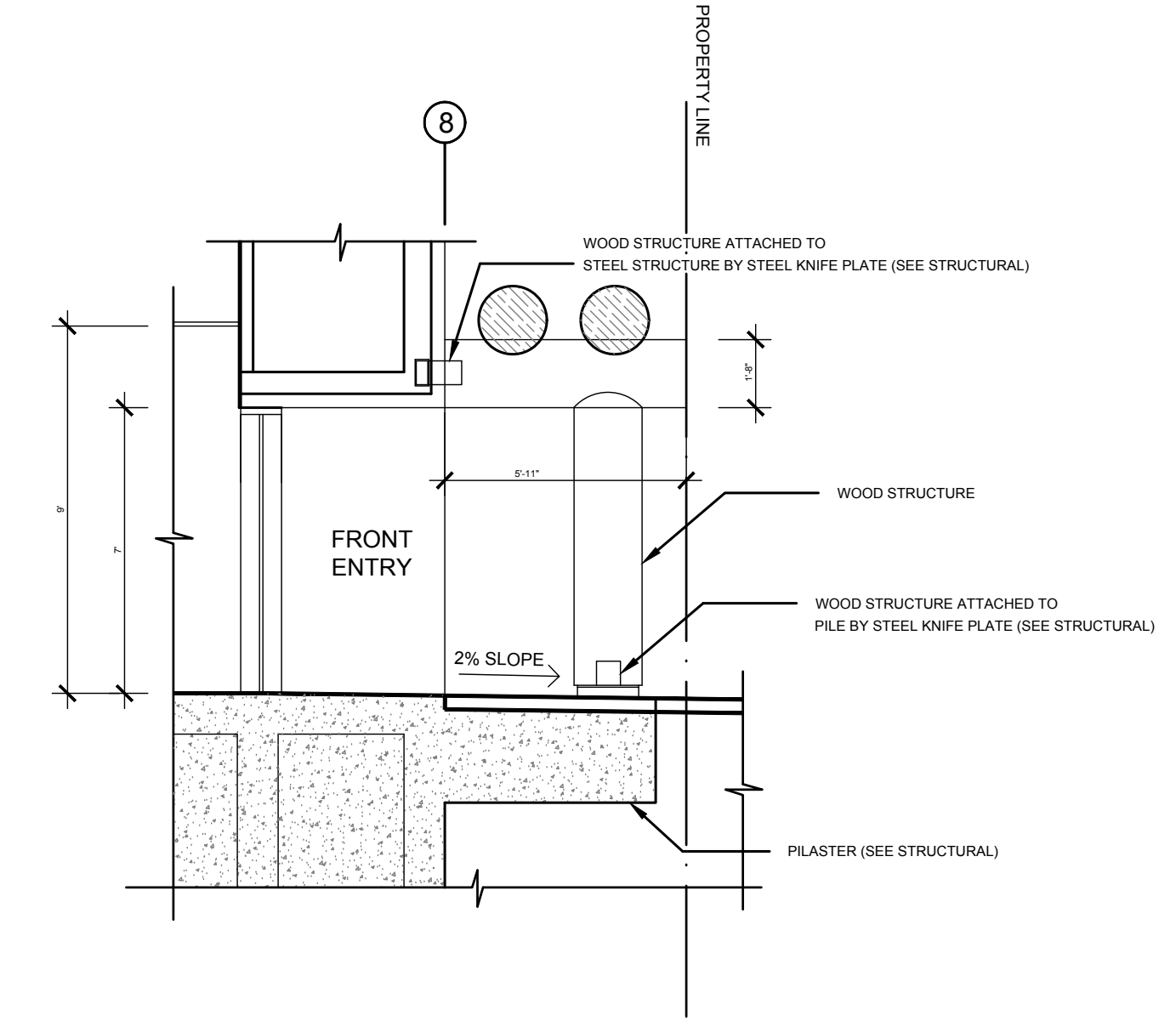
Project Name  
**950 MAIN STREET**  
940-950 MAIN STREET,  
Vancouver, B.C.

**ROOF PLAN**

Rev No.	Project No.	Dwg No.
8	15-03	A2.4



1 BUILDING SECTION  
SCALE: 1/8" = 1' - 0"

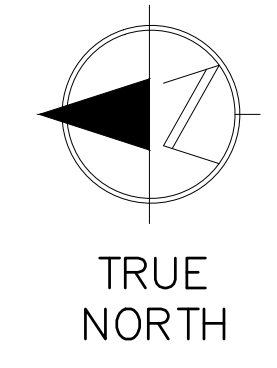


2 LOG STRUCTURE DETAIL  
SCALE: 1/4" = 1' - 0"

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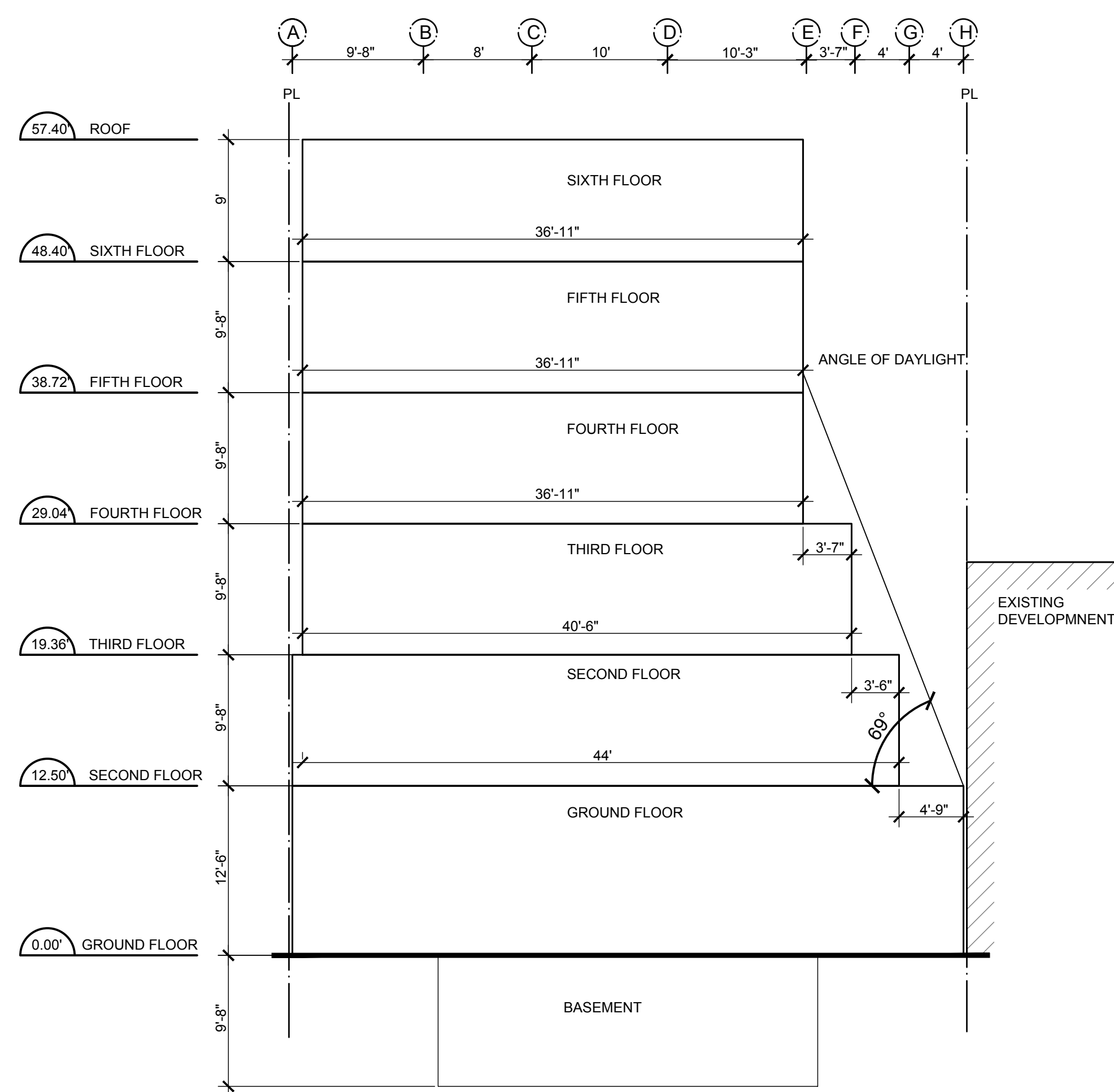
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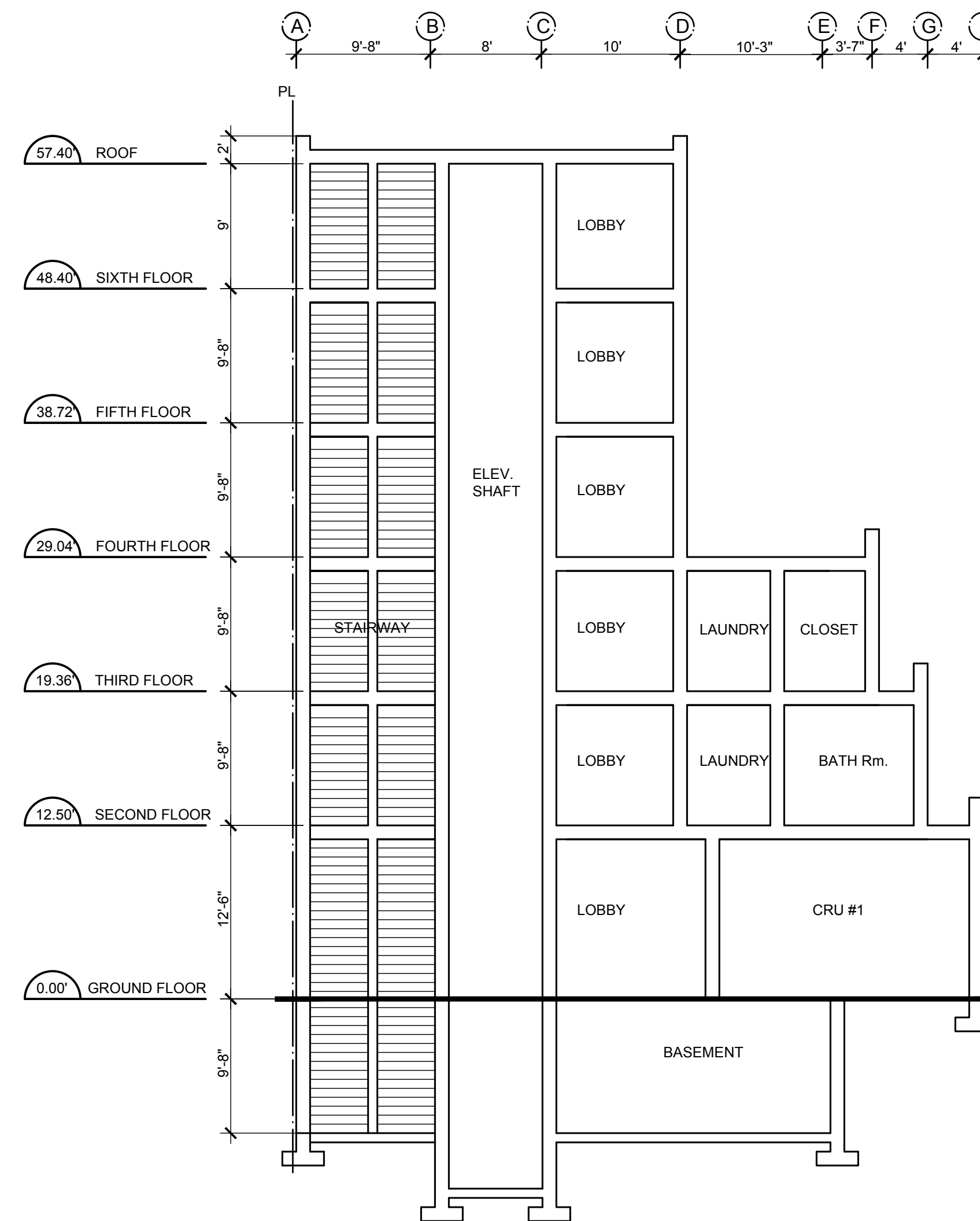
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8	04/13/17	REVISED DP SUBMISSION	CT	SCALE	AS NOTED

Architects Seal

Project Name  
**950 MAIN STREET**  
940-950 MAIN STREET,  
Vancouver, B.C.  
**BUILDING SECTION**  
Rev No. 8 Project No. 15-03 Dwg No. A3.1



1 DAYLIGHT SECTION  
 A3.2 SCALE: 1/8" = 1' - 0"



2 CROSS SECTION  
 A3.2 SCALE: 1/8" = 1' - 0"

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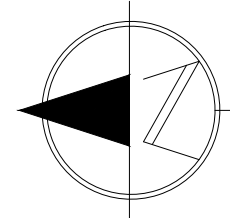
**Patrick R. Stewart Architect**

Architects Address

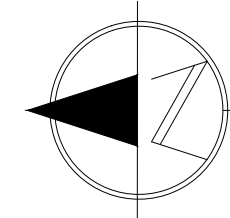
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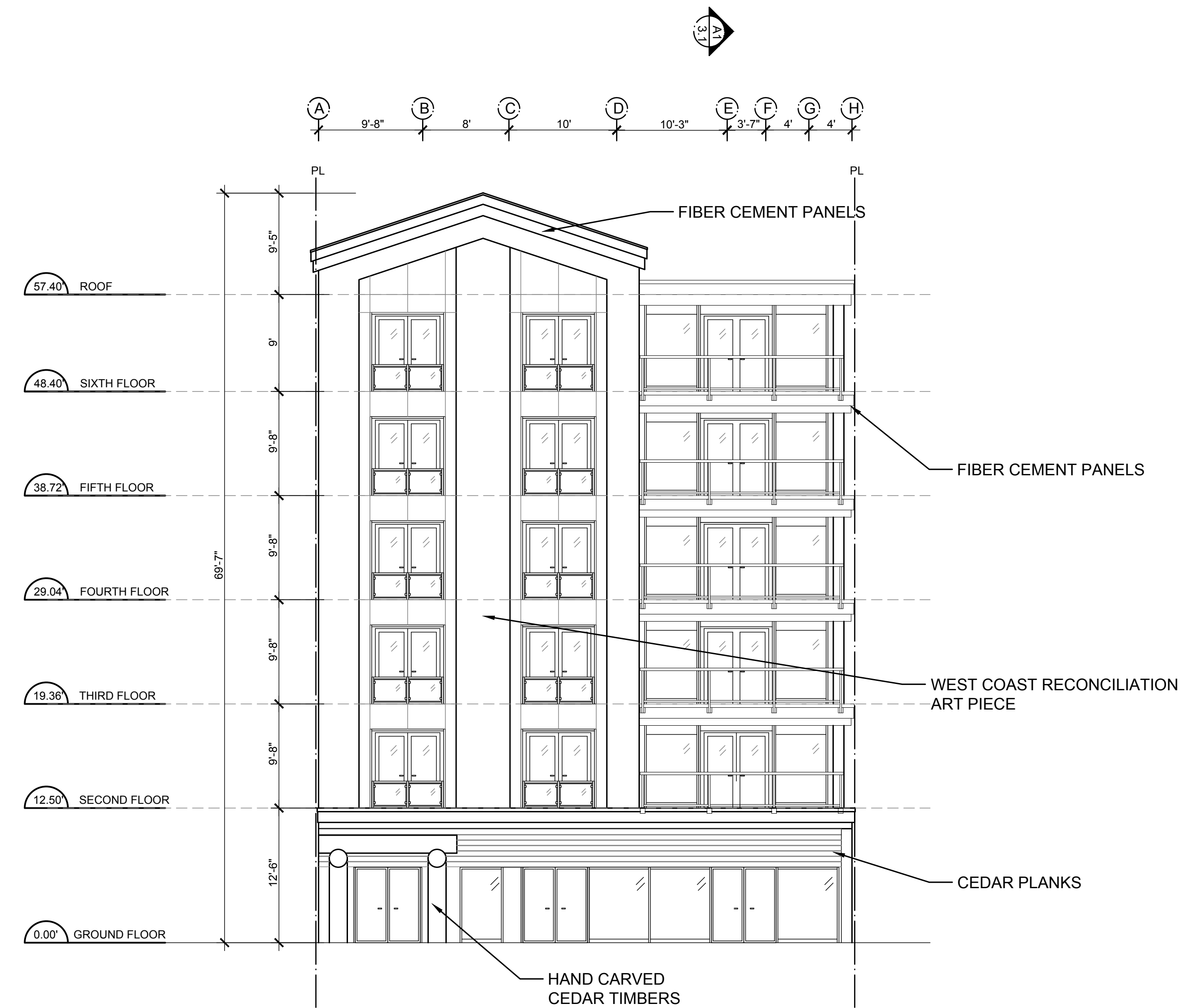
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Architects Seal

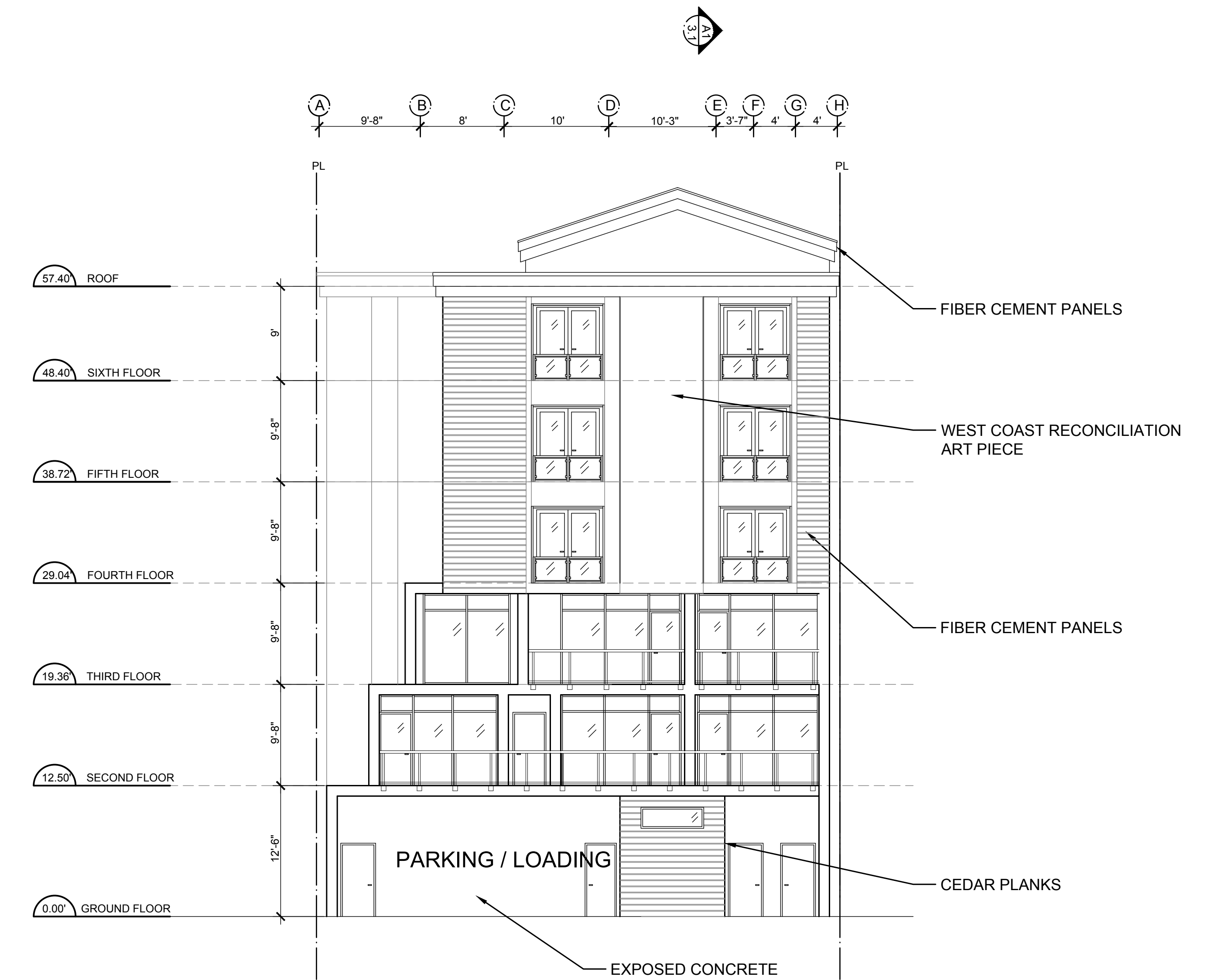
Project Name  
**950 MAIN STREET**  
 940-950 MAIN STREET,  
 Vancouver, B.C.

**BUILDING SECTION**

Rev No. Project No. Dwg No.  
**8 15-03 A3.2**



1 WEST ELEVATION (MAIN STREET)  
 A4.2 SCALE: 1/8" = 1' - 0"



2 EAST ELEVATION (STATION STREET)  
 A4.2 SCALE: 1/8" = 1' - 0"

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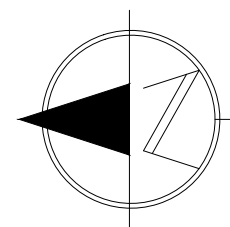
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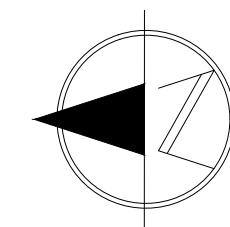
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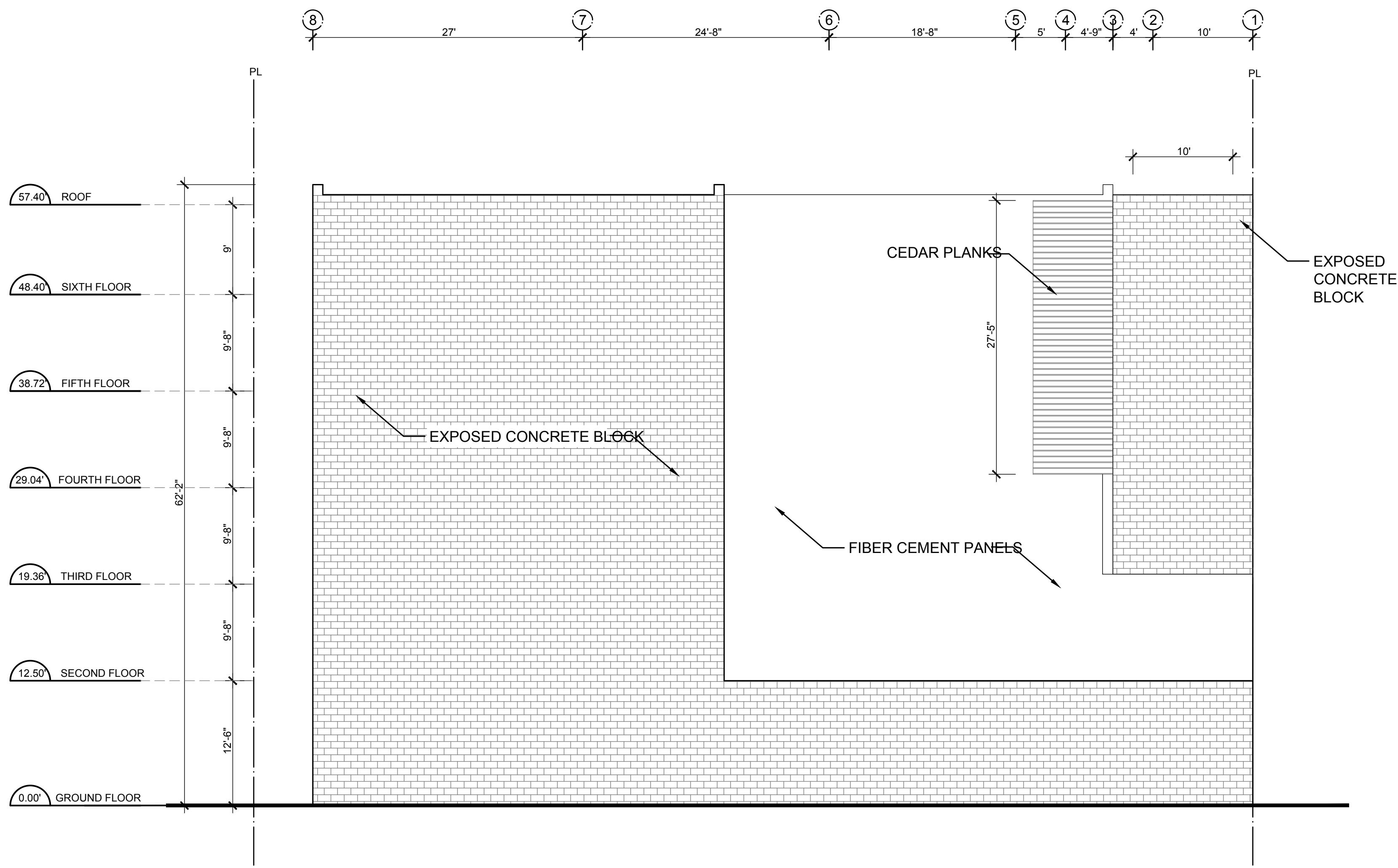
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8	04/13/17	REVISED DP SUBMISSION	CT	SCALE	AS NOTED

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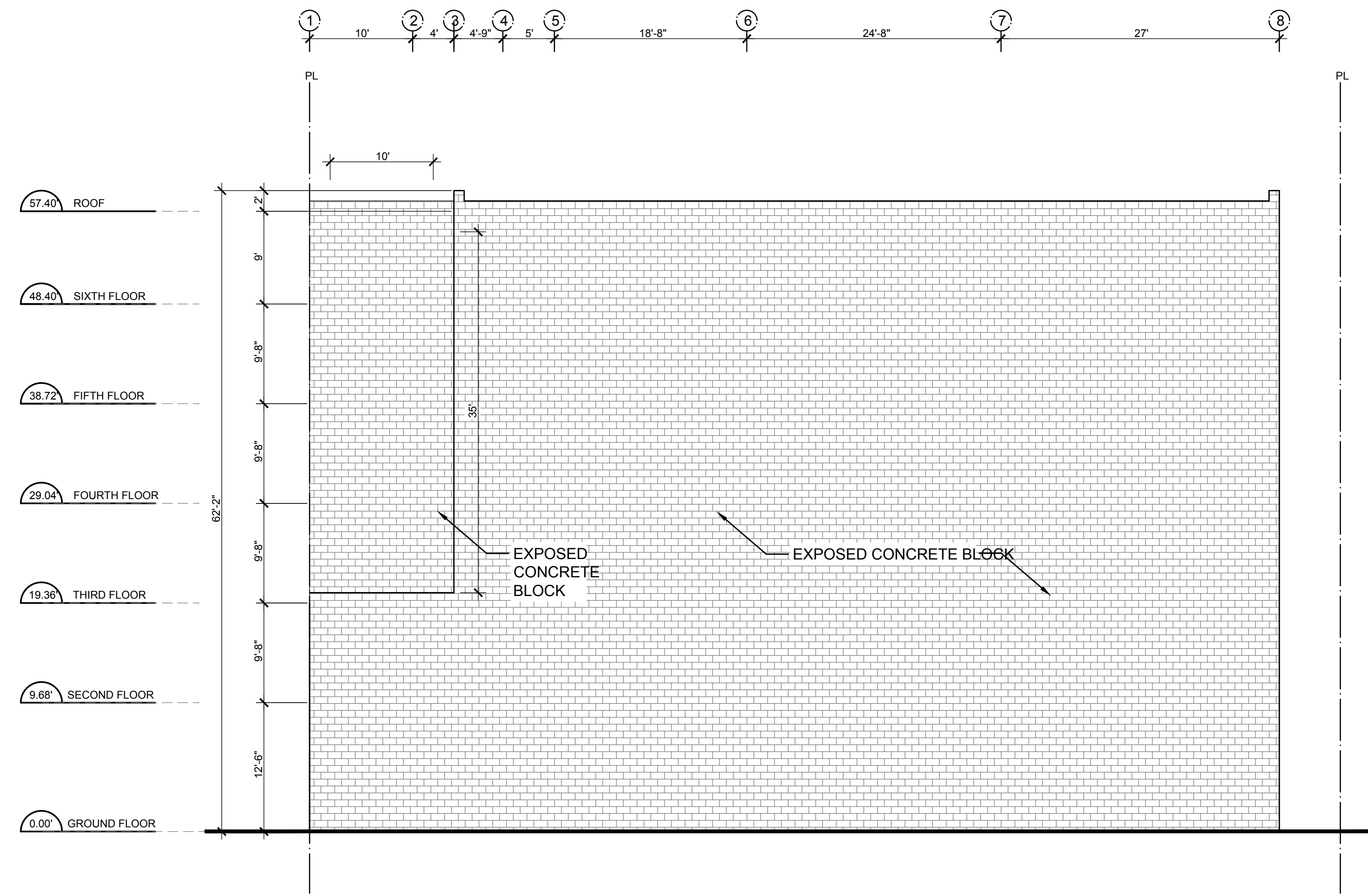
Project Name  
**950 MAIN STREET**  
 940-950 MAIN STREET,  
 Vancouver, B.C.

**ELEVATIONS**

Rev No.	Project No.	Dwg No.
8	15-03	A4.2

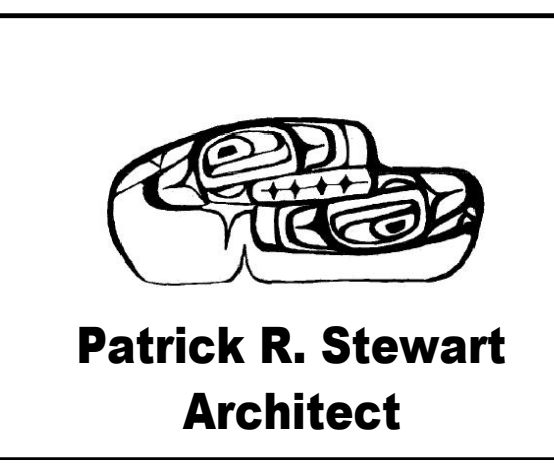


2 NORTH ELEVATION  
 A4.3 SCALE: 1/8" = 1' - 0"

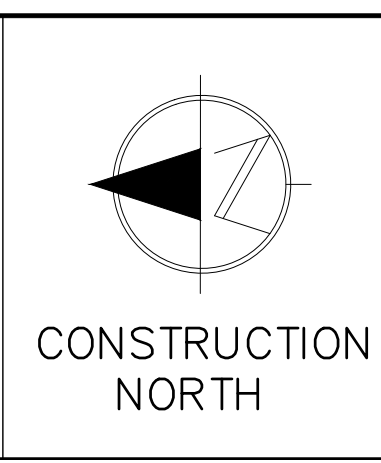
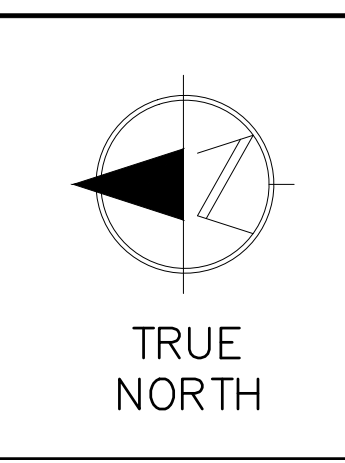


1 SOUTH ELEVATION  
 A4.3 SCALE: 1/8" = 1' - 0"

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Architects Seal

Project Name  
**950 MAIN STREET**  
 940-950 MAIN STREET,  
 Vancouver, B.C.  
**ELEVATIONS**  
 Rev No. 8 Project No. 15-03 Dwg No. A4.2

# SKETCH PLAN OF WINDOW ELEVATIONS ON BUILDING SITUATED ON LOT 12 BLOCK 24 DISTRICT LOT 196 GROUP 1 NWD PLAN 184

**CIVIC ADDRESS:**

956 Main Street, Vancouver

SCALE 1" : 16'



The intended plot size of this plan is 22" in width and 17" in height (B size) when plotted at a scale of 1":16'

**LEGEND**

X### DENOTES GEODETIC ELEVATION

**NOTES:**

Measurements shown are to the exterior of building.

Window locations are approximate only and are measured to outside of window edge.

Elevations are Geodetic (CVD28 GVRD - IN FEET)  
Derived from Control Monument V-1595  
located at the intersection of Prior Street  
and Station Street. Elevation = 13.28ft.

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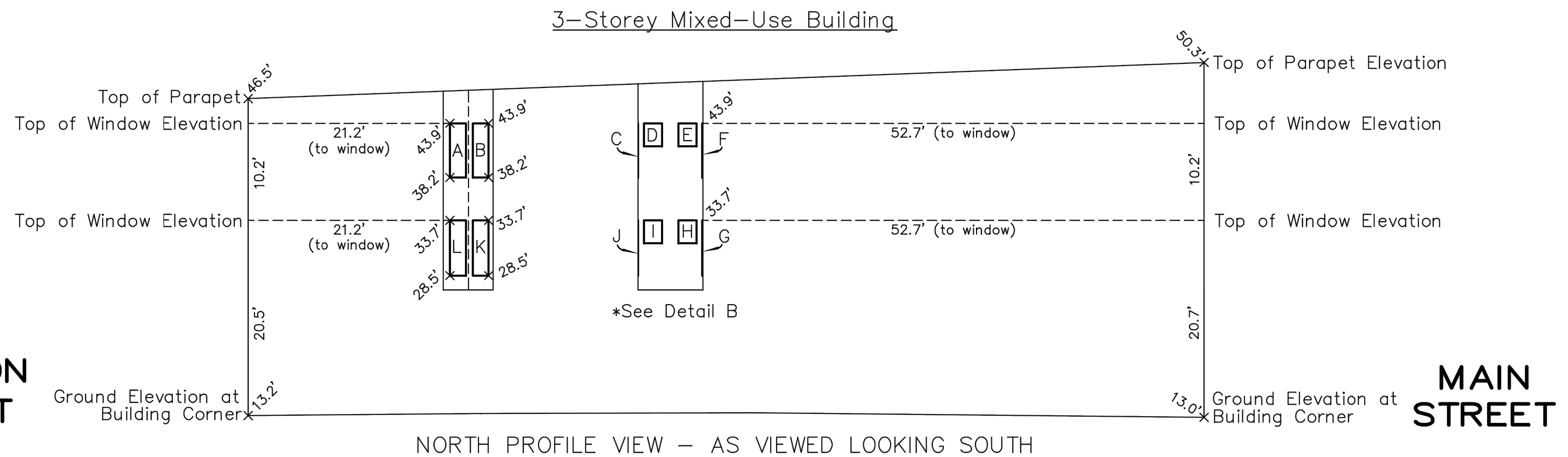


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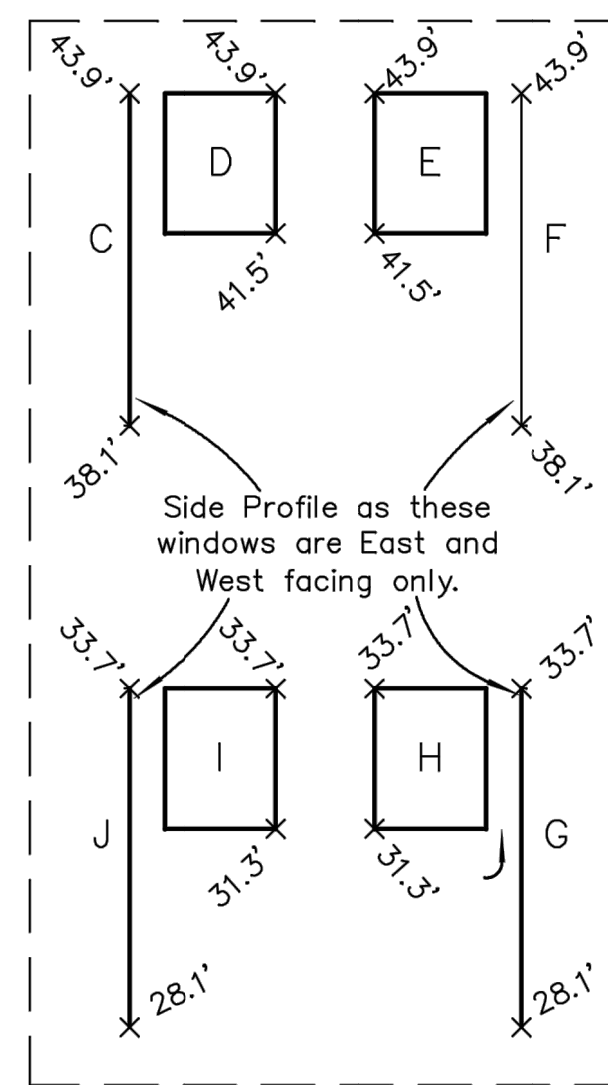
FILE: N3210-WINDOWS-FT R1

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**STATION STREET**



NORTH PROFILE VIEW - AS VIEWED LOOKING SOUTH



Detail B

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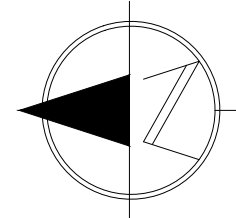


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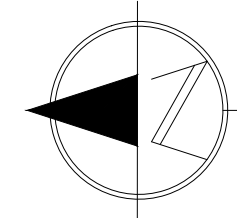


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8	04/13/17	REVISED DP SUBMISSION	CT	SCALE	AS NOTED

Architects Seal

Project Name  
**950 MAIN STREET**  
940-950 MAIN STREET,  
Vancouver, B.C.

**SURVEY - WINDOWS**

Rev No. 8 Project No. 15-03 Dwg No. N3210

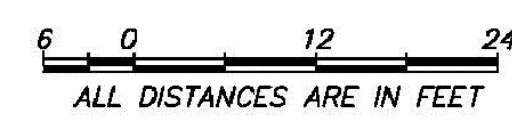
# TOPOGRAPHIC SITE PLAN OVER PROPOSED LOT A BLOCK 24 DISTRICT LOT 196 GROUP 1 NWD PLAN EPP65193

## CIVIC ADDRESS:

946 Main Street, Vancouver  
950 Main Street, Vancouver

PID: 005-749-239 (LOT 10 PLAN 184)  
PID: 005-749-484 (LOT 11 PLAN 184)

SCALE 1" : 16'



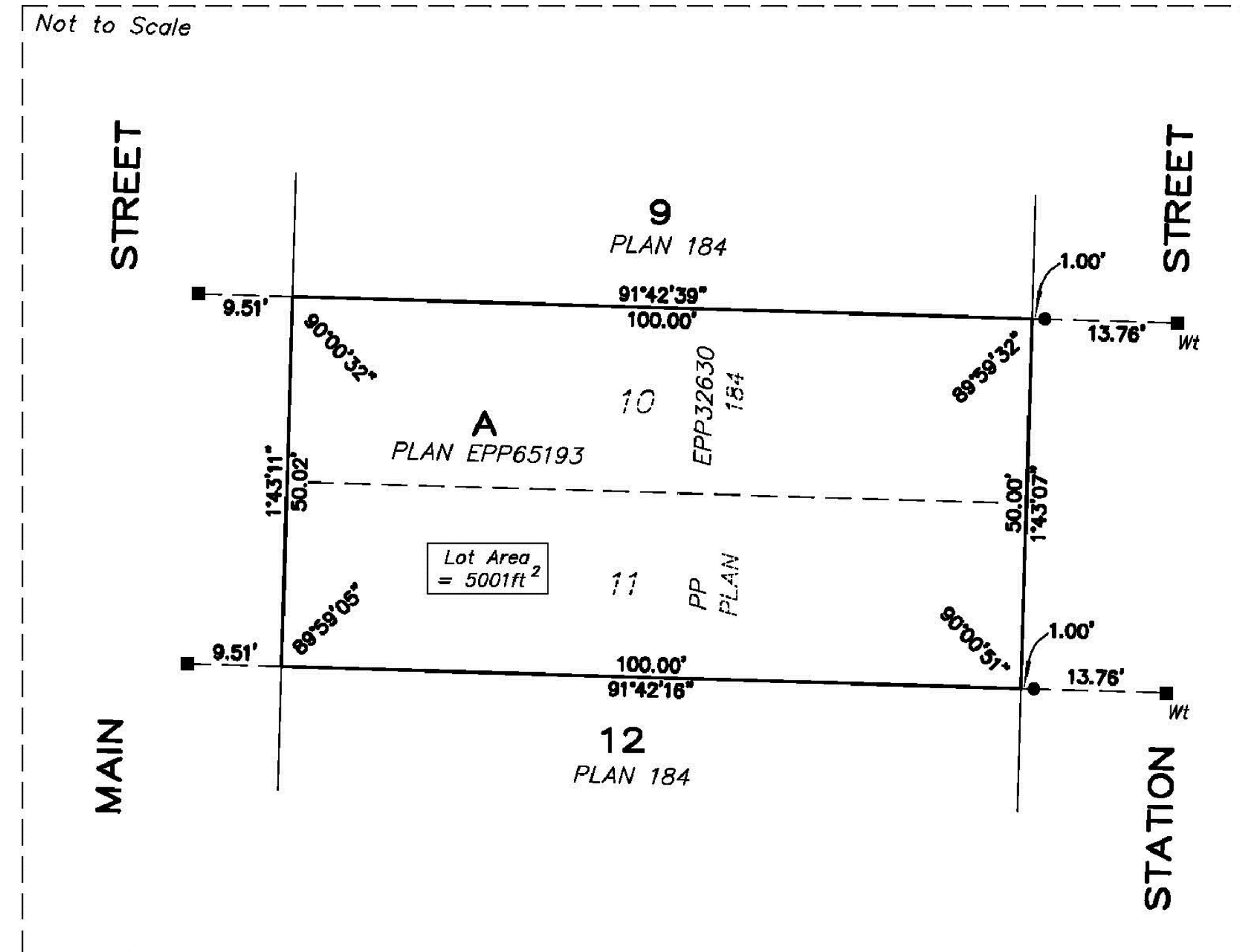
ALL DISTANCES ARE IN FEET  
The intended plot size of this plan is 22" in width and 17" in height (B size) when plotted at a scale of 1":20'

### LEGEND

- DENOTES STANDARD IRON POST
- DENOTES LEAD PLUG
- Wt DENOTES WITNESS
- PP DENOTES POSTING PLAN
- ft<sup>2</sup> DENOTES SQUARE FEET
- ☒ DENOTES CATCH BASIN - TOP ENTRY
- ☒ DENOTES WATER METER
- Σ DENOTES GAS VALVE
- <sub>HM</sub> DENOTES BC HYDRO MANHOLE
- <sub>Misc.</sub> DENOTES MISCELLANEOUS MANHOLE
- ⊕ DENOTES POWER POLE
- ×#### DENOTES GROUND ELEVATION
- Dec. DENOTES DECIDUOUS
- ⊙ DENOTES TREE AND CANOPY EXTENT
- Conc. DENOTES CONCRETE
- PL DENOTES PROPERTY LINE



Lot Detail  
Not to Scale



### NOTES:

Lot dimensions are derived from Plan EPP65193

Measurements shown are to the exterior of building.

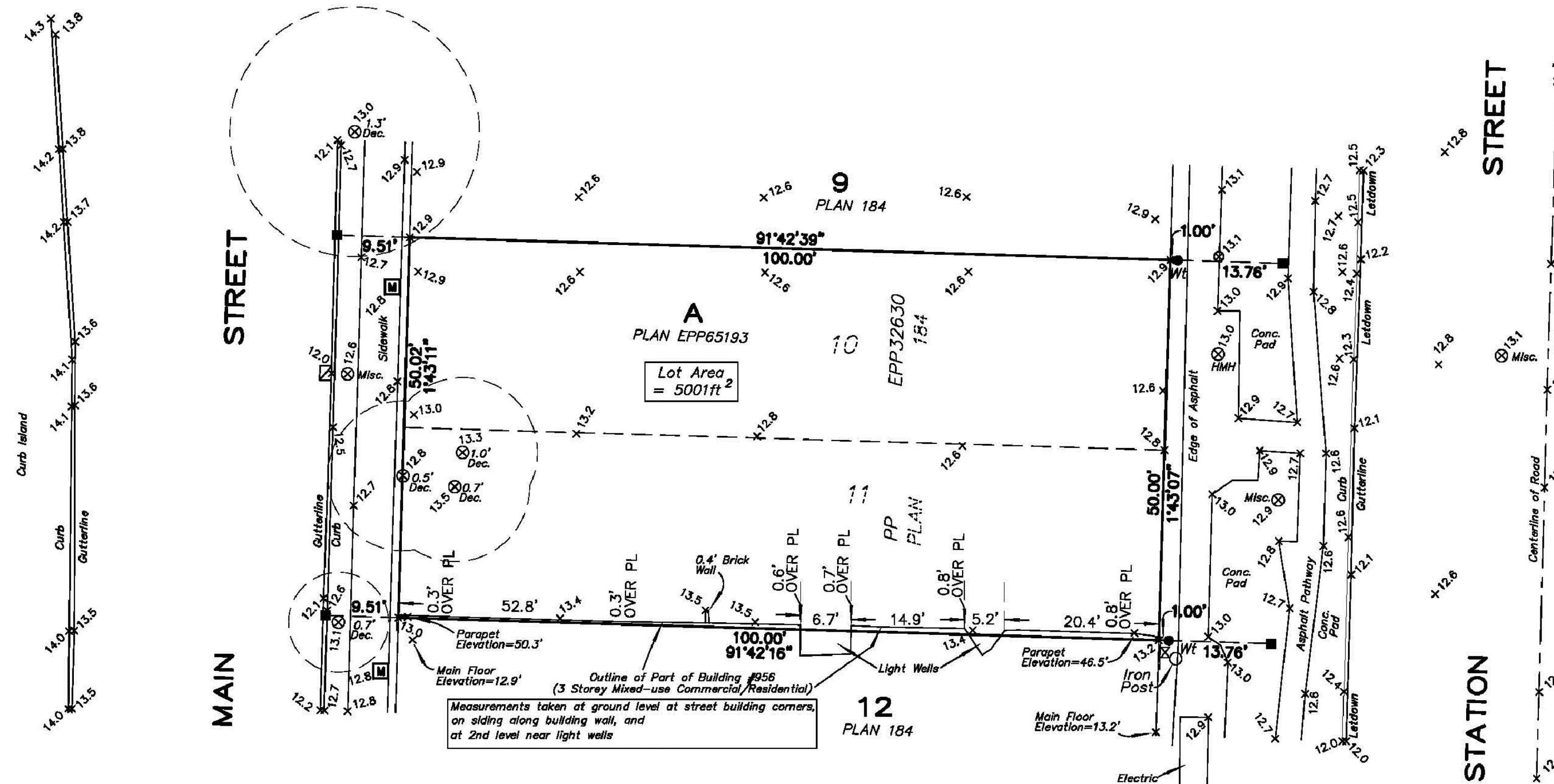
Elevations are Geodetic (CVD28 GVRD-2005 - IN FEET)  
Derived from Control Monument V-1595  
located at the intersection of Prior Street  
and Station Street. Elevation = 13.28ft.

Contractor to verify all service locations and inverts prior to construction.

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Tree diameters are taken at 4.6ft. above grade and are shown in feet.

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CERTIFIED CORRECT  
DATED THIS 8TH DAY OF SEPTEMBER, 2016

Craig Nakamura B.C.L.S.

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED  
BUILDING OFFSETS SHOWN ON THIS PLAN ARE NOT TO BE USED TO RE-ESTABLISH PROPERTY LINES OR CORNERS



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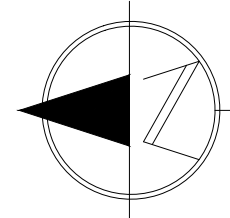


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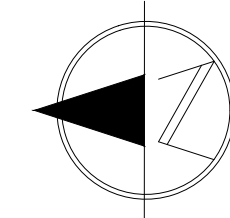


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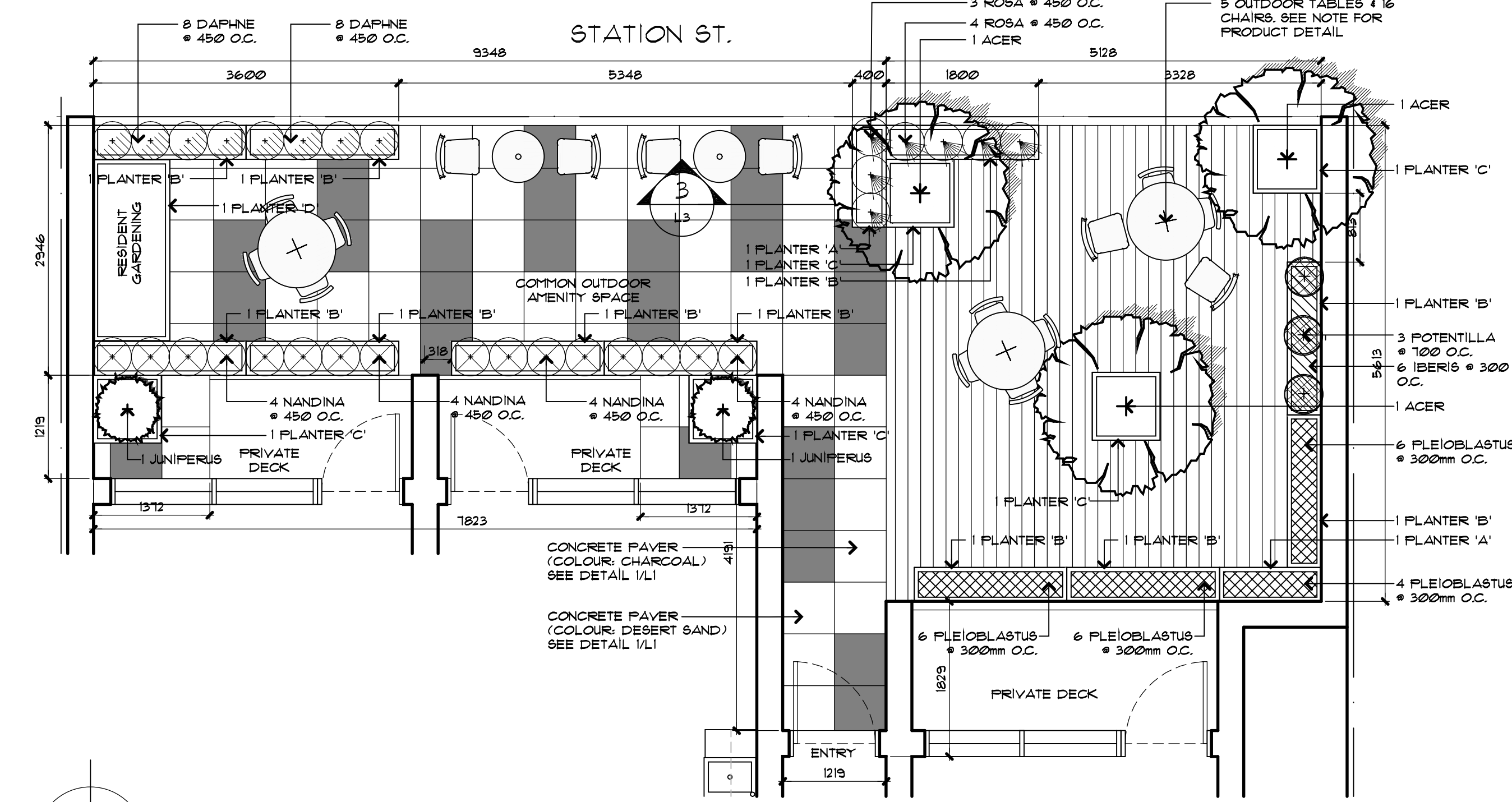
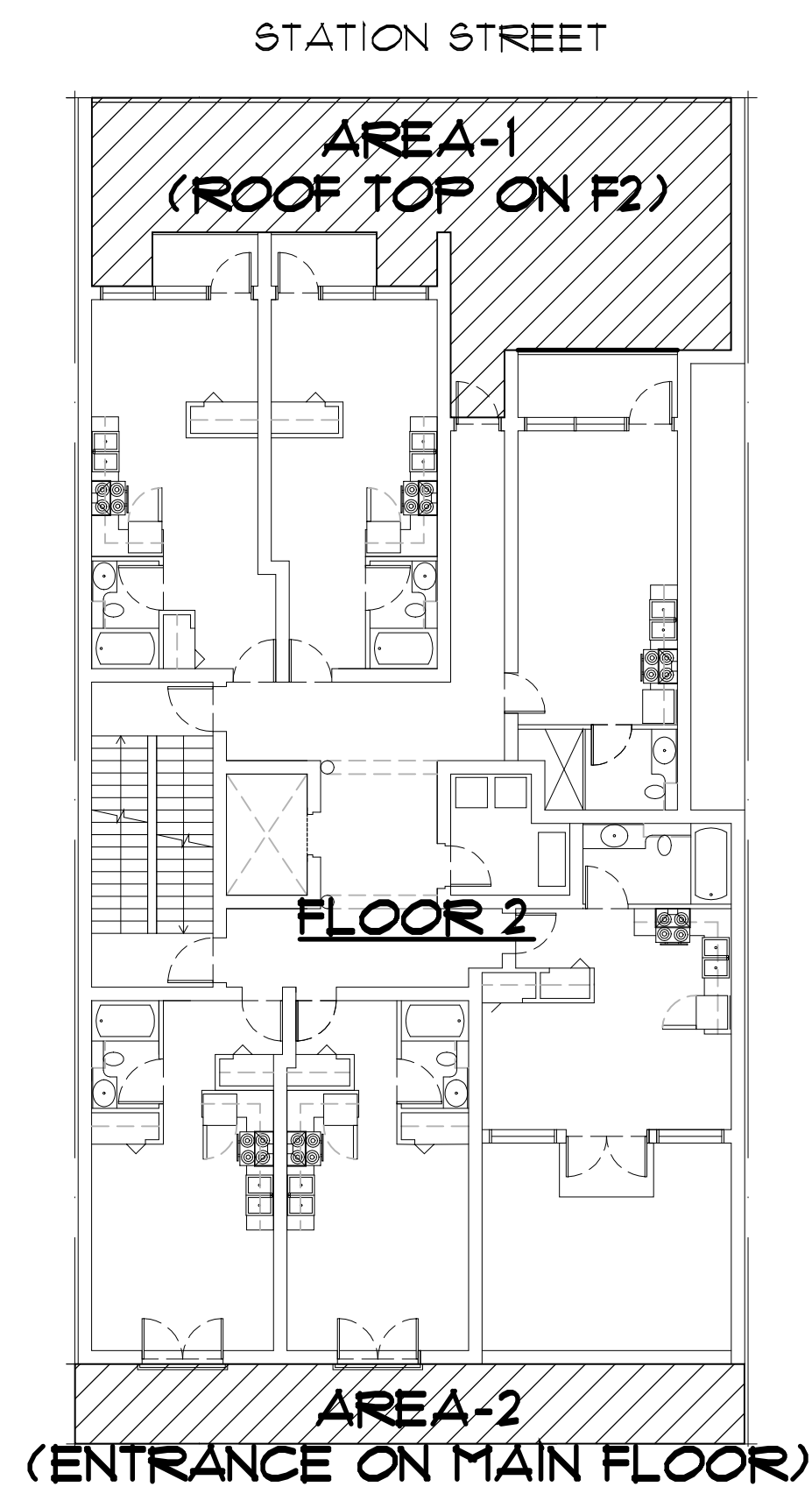
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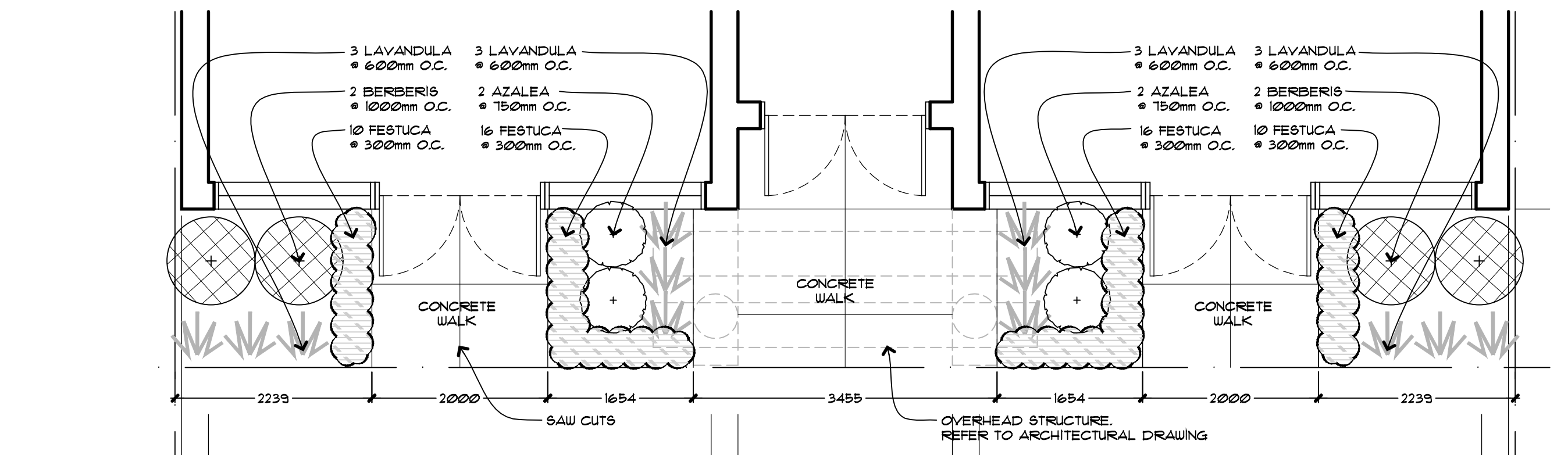
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Project Name  
**950 MAIN STREET**  
940-950 MAIN STREET,  
Vancouver, B.C.  
**SURVEY - TOPO**  
Rev No. 7 Project No. 15-03 Dwg No. N3210

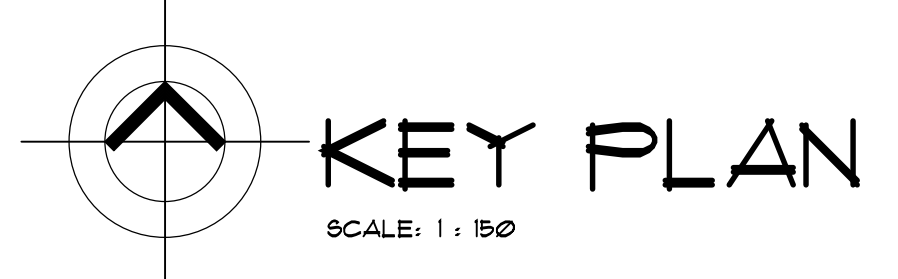




**LANDSCAPE PLAN - AREA 1**  
SCALE: 1:50



**LANDSCAPE PLAN - AREA 2**  
SCALE: 1:50



- ### LANDSCAPE SPECIFICATIONS:
- TOPSOIL AND PLANTING MEDIUM**
    - PLANTING MEDIUM FOR PLANTINGS SHALL BE PRO MIX AS SUPPLIED BY THE ANSWER GARDEN PRODUCTS (604-856-6221) OR APPROVED EQUAL.
    - TOPSOIL FOR GRASSSED AREAS TO MEET THE REQUIREMENTS OF THE B.C. LANDSCAPE STANDARD, LATEST EDITION. CONTRACTOR IS RESPONSIBLE FOR TESTING TOPSOIL AND PROVIDING TEST RESULTS TO THE L.A.
    - SPREAD TOPSOIL AND PLANTING MEDIUM TO PLANTERS AS PER DETAILS
    - FERTILIZER AND CHEMICAL ADDITIVES SHALL BE AS REQUIRED TO OBTAIN THE STANDARDS FOR GROWING MEDIUM AND TOPSOIL AS SET OUT IN THE B.C. LANDSCAPE STANDARD, BCNTA, BCSLA, LATEST EDITION.
  - PLANT MATERIALS**
    - ALL PLANT MATERIALS SHALL BE NURSERY GROWN CONTAINER STOCK AND COMPLY WITH THE STANDARDS OF THE B.C. LANDSCAPE STANDARD, BCNTA, BCSLA, LATEST EDITION WITH RESPECT TO SIZE, GRADING AND QUALITY.
    - TREES SHALL BE GUYED AS PER DETAILS.
    - PRUNING SHALL BE DONE AS REQUIRED TO REMOVE DEAD OR INJURED BRANCHES ONLY.
    - ALL SHRUBS ARE TO BE PLANTED IN A CONTINUOUS BED WITH A MINIMUM OF 3" COMPOSTED BARK MULCH UNDER TREES AND SHRUBS AND 2" UNDER GROUNDCOVERS.
    - LANDSCAPE ARCHITECT TO NOTIFY OF FREE INSPECTION OF TREES AT NURSERY PRIOR TO SHIPPING. LANDSCAPE ARCHITECT MAY WAIVE THIS INSPECTION AT THEIR DISCRETION, BUT THAT DOES NOT WAIVE THE LANDSCAPE ARCHITECTS RIGHT TO REJECT PLANTS AT SITE.
    - SUBMIT CERTIFICATION TO L.A. THAT NURSERY OF SOURCE FOR ALL PLANT MATERIAL IS FREE FROM PHYTOPHTORA RAMORUM (SUDDEN OAK DEATH VIRUS)
    - ALL PLANT MATERIAL IS TO BE THOROUGHLY WATERED TWICE WITHIN 24 HOURS OF BEING PLANTED.
  - INSTALLATION**
    - THE CONTRACTOR SHALL NOTIFY CITY AND LANDSCAPE ARCHITECT FOR INSPECTION AFTER COMPLETION OF PLANTING.
  - MAINTENANCE**
    - MAINTENANCE SHALL CONTINUE UNTIL SUBSTANTIAL PERFORMANCE OF THE PROJECT.
  - GUARANTEE**
    - ALL PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. IF PLANTED IN LATE FALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM FOLLOWING SPRING.

### PLANT LIST

**NOTE:** PLANT LIST COUNTS ARE FOR CONVENIENCE ONLY. IN THE CASE OF DISCREPANCY WITH PLAN, THE PLAN WILL GOVERN.

**NOTE:** NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT. AREA OF SEARCH FOR MATERIAL IS TO BE LOWER MAINLAND AND FRASER VALLEY.

TYPE	QTY	LATIN / COMMON NAME	SIZE	REMARK
<b>TREE</b>				
	3	ACER PALMATUM KOTO NO ITO / JAPANESE MAPLE	3cm CAL.	POTTED
	2	JUNIPERUS SCOPULORUM 'BLUE ARROW' / BLUE ARROW JUNIPER	15M H. MIN.	POTTED
<b>SHRUB</b>				
	8	DAFNE TANGUTICA / TANGUT DAPHNE	NO. 2 POT	
	16	NANDINA DOMESTICA / HEAVENLY BAMBOO	NO. 1 POT	
	22	PLEIOBLASTUS VIRIDISTRATUS / DWARF GREEN STRIPE BAMBOO	NO. 1 POT	
	3	POTENTILLA FRUTICOSA GOLD DROP / GOLD DROP POTENTILLA	NO. 2 POT	
	1	ROSA FLORIBUNDA ANGEL FACE / PURPLE ROSE	NO. 2 POT	
	4	AZALEA JAPONICA 'GIRARD'S ROSE' / JAPANESE AZALEA	NO. 1 POT	
	4	BERBERIS THUNBERGII 'ROYAL BURGUNDY' / JAPANESE BARBERRY	NO. 2 POT	
	12	LAVANDULA AUGUSTIFOLIA 'HIDCOTE' / ENGLISH LAVENDER	NO. 1 POT	
<b>PERENNIALS, GRASSES, GROUND COVERS, ETC.</b>				
	6	IBERIS / CANDYTURT	NO. 1 POT	
	52	FESTUCA OVINA 'GLAUCA' / BLUE FESCUE	NO. 1 POT	

**NOTES:**

**SITE FURNITURE:**

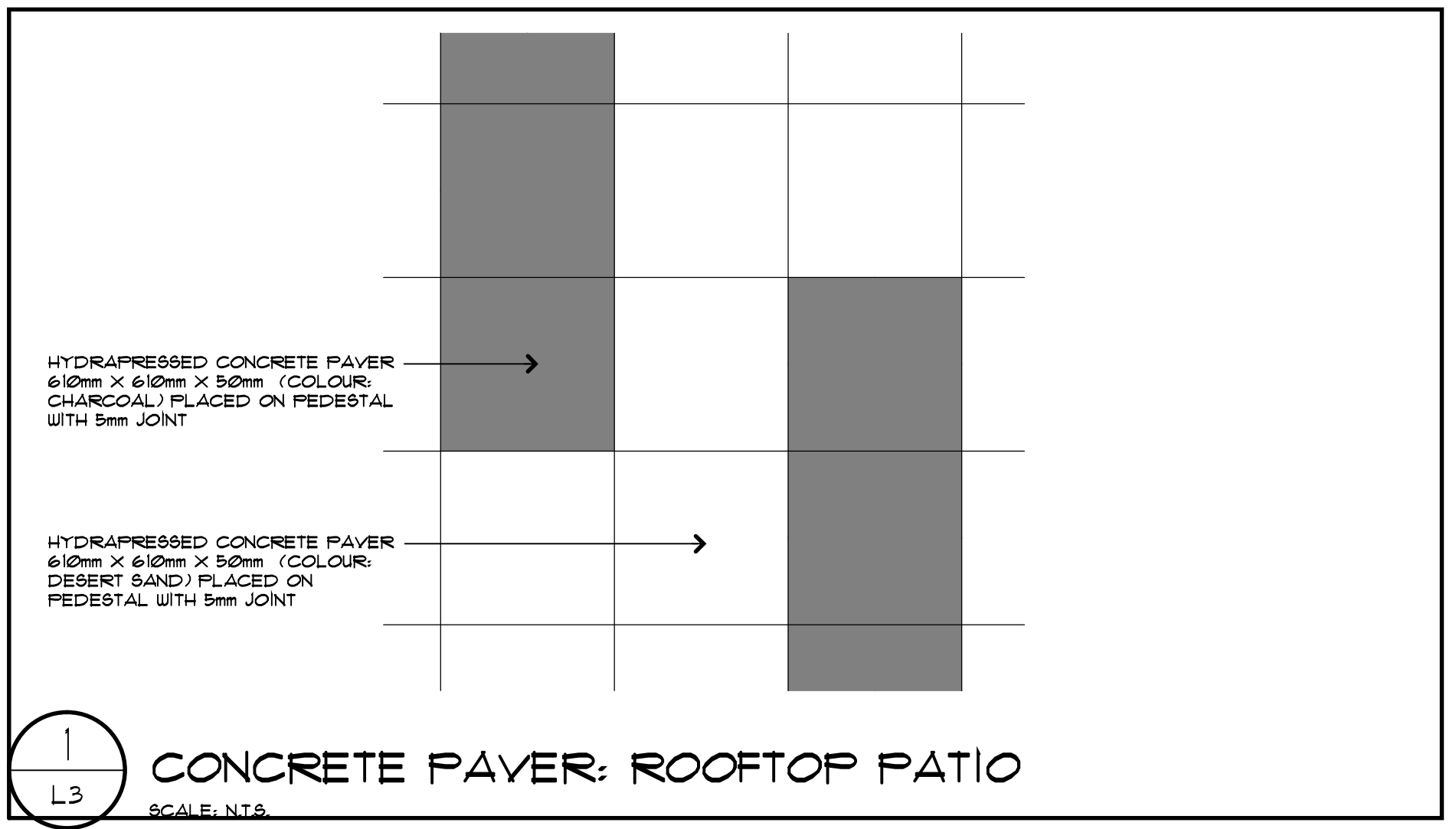
- FOR PRODUCT INFORMATION, CONTACT LANDFORMS AT 1-800-521-2546 OR WWW.LANDFORMS.COM
- PROVIDE 9 TABLES WITH 30" CATENA TOP AND FREESTANDING SUPPORT. COLOUR TO BE SILVER STAINLESS STEEL.
- PROVIDE 36 CATENA CHAIRS. COLOUR TO BE SILVER STAINLESS STEEL.

**PLANTING MEDIUM FOR ROOFTOP:**

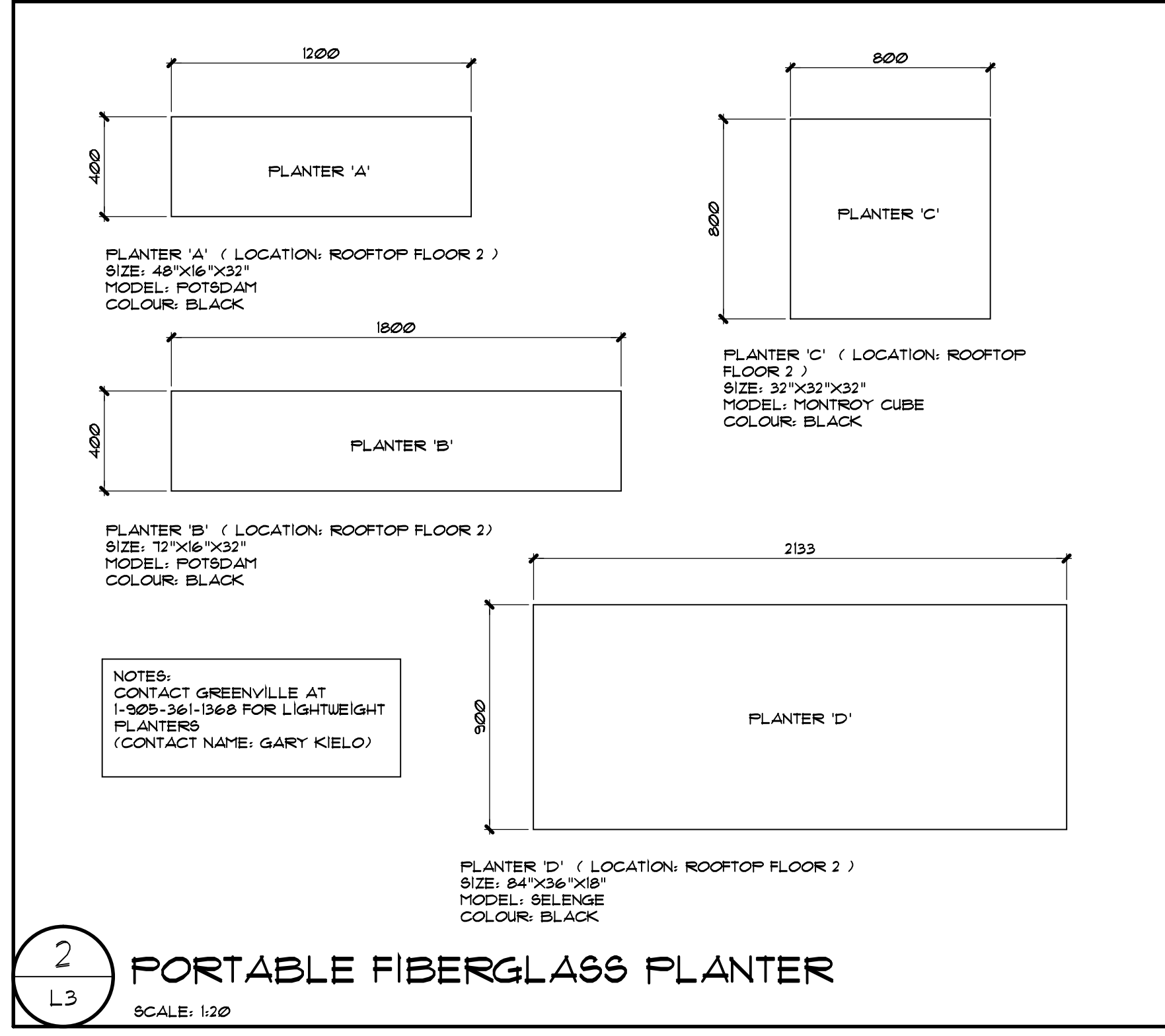
- LIGHT WEIGHT GROWING MEDIUM SHALL BE CITYSOIL MIX. CONTACT VARDIM MARUSIN AT 604-271-3060.

**PAVERS:**

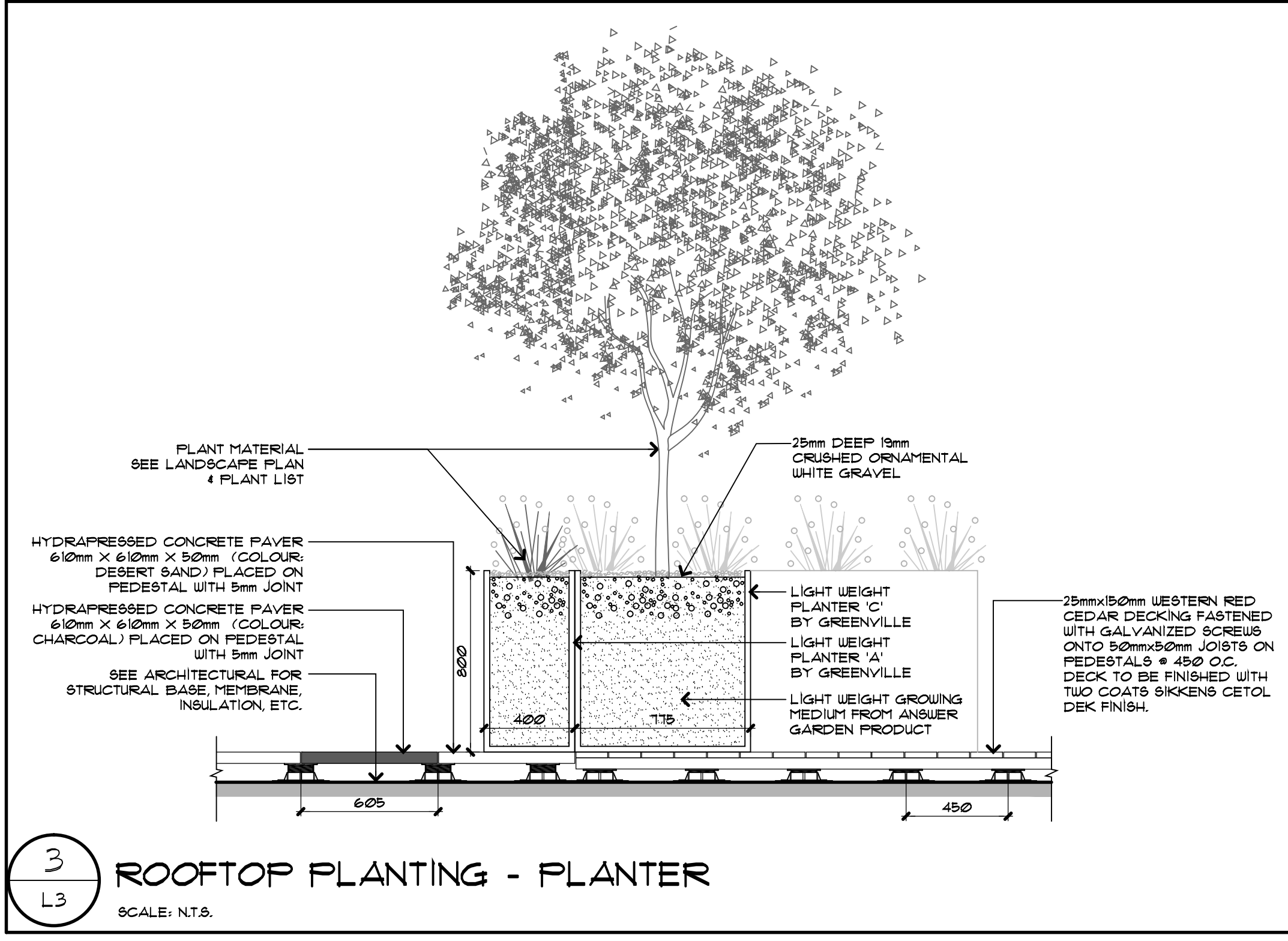
- HYDRAPRESSED SLABS AND BLACKJACK PEDESTALS TO BE SUPPLIED BY ABBOTSFORD CONCRETE PRODUCTS, 1-800-663-4091.
- BLACKJACK PEDESTALS FOR HYDRAPRESSED SLABS REQUIRE BJ SPACERS TABS. BLACKJACK PEDESTALS FOR WOOD DECKING REQUIRE BJ JOIST HOLDER. SEE ABBOTSFORD CONCRETE PRODUCTS FOR REST OF PEDESTAL ASSEMBLY.



**1**  
L3  
**CONCRETE PAVER: ROOFTOP PATIO**  
SCALE: NTS

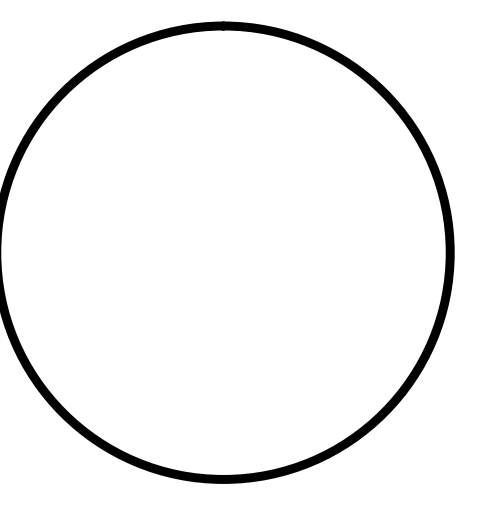


**2**  
L3  
**PORTABLE FIBERGLASS PLANTER**  
SCALE: 1:20



**3**  
L3  
**ROOFTOP PLANTING - PLANTER**  
SCALE: NTS

CRAVEN/HUSTON/POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C., V2P 4S3 TEL: 793-9445



PROJECT NAME:  
**ABORIGINAL SHELTER & HOUSING LANDSCAPE**  
950 MAIN STREET  
VANCOUVER, BC

DRAWING NAME:  
**ROOFTOP LANDSCAPE PLAN AND DETAILS**

ALL DIMENSIONS TO BE VERIFIED ON SITE

NO.	REVISIONS / ISSUES	DATE
1	ISSUED FOR DP	01/16/17
2	RE-ISSUED FOR REVISED DP	04/13/17

PROJECT NUMBER: **17008**

SCALE: 1:50

DATE: JAN 16, 2017

DESIGNED BY: GARY KIELO

CHECKED BY: GARY KIELO

APPROVED BY: GARY KIELO

FOR THE CLIENT: CRAVEN/HUSTON/POWERS ARCHITECTS

FOR THE CONTRACTOR: ANSWER GARDEN PRODUCTS

FOR THE LANDSCAPE ARCHITECT: CRAVEN/HUSTON/POWERS ARCHITECTS

FOR THE ARCHITECT: CRAVEN/HUSTON/POWERS ARCHITECTS

FOR THE ENGINEER: CRAVEN/HUSTON/POWERS ARCHITECTS

FOR THE PLANTER MANUFACTURER: GREENVILLE

FOR THE PAVEMENT MANUFACTURER: ABBOTSFORD CONCRETE PRODUCTS

FOR THE GRAVEL SUPPLIER: CRUSHED ORNAMENTAL WHITE GRAVEL

FOR THE GROWING MEDIUM SUPPLIER: ANSWER GARDEN PRODUCTS

FOR THE CEDAR DECKING SUPPLIER: WESTERN RED CEDAR DECKING

FOR THE GALVANIZED SCREWS SUPPLIER: GALVANIZED SCREWS

FOR THE JOISTS SUPPLIER: WESTERN RED CEDAR JOISTS

FOR THE PEDESTALS SUPPLIER: ABBOTSFORD CONCRETE PRODUCTS

FOR THE JOISTS ON PEDESTALS SUPPLIER: WESTERN RED CEDAR JOISTS

FOR THE DECK TO BE FINISHED WITH TWO COATS SIKKENS CETOL DEK FINISH SUPPLIER: SIKKENS

