
557 EAST CORDOVA STREET (COMPLETE APPLICATION)
DE416178 - ZONE DEOD

SH/JMB/CL/LH

DEVELOPMENT PERMIT STAFF COMMITTEE MEMBERS

Present:

J. Greer (Chair), Development Services
R. Thé, Engineering Services
T. Driessen, Park Board

Also Present:

S. Hein, Urban Design & Development Planning
J. Bosnjak, Development Services
C. Lau, Development Services
C. Mauboules, Housing Policy
T. Knowles Yarnell, Central Area Planning
T. Wanklin, Central Area Planning
D. Garrison, Housing Policy
A. Law, Development Services

APPLICANT:

Gair Williamson Architect Inc.
Attention: Gair Williamson
219 - 209 Carrall Street
Vancouver, BC
V6B 2J2

PROPERTY OWNER:

Boffo Homes (Cordova Street) Inc.
1391 Venables Street
Vancouver, BC
V5L 2G1

EXECUTIVE SUMMARY

- **Proposal:** To develop the site with a four storey multiple dwelling building containing 29 residential units (24 market units on the 2nd to 4th floors and 5 social housing units on the ground floor) with parking at grade having vehicular access from the lane.

See Appendix A Standard Conditions

Appendix B Standard Notes and Conditions of Development Permit

Appendix C Processing Centre - Building comments

Appendix D Plans and Elevations

Appendix E Applicant's Design Rationale

● **Issues:**

1. Social housing requirement
2. Livability of Cordova Street fronting ground oriented social housing units
3. Livability of courtyard oriented units
4. Parking requirements

- **Urban Design Panel: SUPPORT**
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DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATION: APPROVE

THAT the Board APPROVE Development Application No. DE416178 submitted, the plans and information forming a part thereof, for a four storey multiple dwelling building containing 29 residential units (24 market units on the 2nd to 4th floors and 5 social housing units on the ground floor) with parking at grade having vehicular access from the lane, subject to the following conditions:

1.0 Prior to the issuance of the development permit, revised drawings and information shall be submitted to the satisfaction of the Director of Planning, clearly indicating:

- 1.1 provision of a draft Operational Management Plan (OMP), in consultation with neighbouring property owners, residents and businesses, to the satisfaction of the Managing Director of Social Development; and

Note to Applicant: The OMP should address the management of the social housing units. A finalized OMP will be required for release of the Occupancy Permit.

- 1.2 arrangements to be made to the satisfaction of the Managing Director of Social Development and the Director of Legal Services to secure the five social housing units as rental in perpetuity, or for the life of the building and to secure the rent levels.

Note to Applicant: This will require a housing agreement as per section 565.2 of the Vancouver Charter, which will stipulate that the tenant contribution towards rent, for all of the social housing units (5) will be no more than the shelter component of Income Assistance (currently \$375). This agreement will also include covenants requiring all five units to be legally and beneficially owned by a single legal entity and used only to provide rental housing for terms of not less than one month at a time and prohibiting the separate sale or transfer of legal or beneficial ownership of any such units (which will require all such units to be contained within a single air space parcel or strata lot in perpetuity, or for the life of the building).

- 1.3 design development to more clearly demarcate public and private areas, and improve Crime Prevention Through Environmental Design (CPTED) performance, for ground-oriented Cordova Street fronting units;

Note to applicant: Additional front yard setback, grade separation for entries, screening/fencing, layered landscaping and main residential entry expression is required. Opportunities for individual landscape expression, while ensuring privacy and security, is also required.

- 1.4 design development to improve solar and acoustical performance for south facing upper Cordova Street fronting units;

Note to applicant: Solar shading is required. Landscape strategies towards acoustical buffering should be considered.

- 1.5 design development to maximize natural light into, and improve visual quality for, internal spaces;

Note to applicant: Strategies to maximize transparency between the parkade and wall along gridline 5, and for the residential breezeway, is required. Relocation, reduction or re-configuration of related mechanical, electrical and bike storage spaces should be considered.

- 1.6 design development of the shared courtyard to improve potential for communal exchange while ensuring more distinctive individual unit/entry expression;
- Note to applicant:** Opportunities for shared programming between the market and social housing units, including urban agriculture and special event gathering, should be reflected in the courtyard's revised design. See also Standard Condition A.1.13.
- 1.7 design development to the lane elevation to improve the overall visual quality and CPTED performance including enhanced surveillance;
- Note to applicant:** Provision of a lighting strategy that enhances safety and security while minimizing glare for residents of the proposed development and possible future development is required.
- 1.8 provision of an elevator, or lift, to ensure upper unit access for all ages and related mobility;
- 1.9 design development to improve the visual quality of exposed sidewalls; and
- Note to applicant:** Additional texture and/or colour should be considered. Opportunities to express community/local identity, for areas permanently visible, should also be considered.
- 1.10 provision of details for courtyard oriented stairs, guards, security screens and the elevator/lift enclosure to ensure optimal transparency and openness.
- 2.0 That the conditions set out in Appendix A be met prior to the issuance of the Development Permit.
- 3.0 That the Notes to Applicant and Conditions of the Development Permit set out in Appendix B be approved by the Board.

• **Technical Analysis (Sub-area 2 – Cordova Street):**

	PERMITTED (MAXIMUM)	REQUIRED	PROPOSED
Site Size ¹			74.95 ft. x 121.99 ft.
Site Area ¹			9,143 sq. ft.
Floor Area ²	22,858 sq. ft.		24,715 sq. ft.
FSR ²	2.50		2.70
Height	49.2 ft.		Top of Parapet Wall 47.97 ft. Top of Elevator Machine Room 49.03 ft.
Front Yard ³	9.84 ft.		1.96 ft.
Parking ⁴	Small Car: 8 (25% max.)	Total Disability Spaces 2	Standard 10 Small Car 0 Car Share 1 <u>Disability 2</u> Total 13 (19 with Disability Bonus & Car Share Bonus)
Bicycle Parking ⁵		Total Class A Class B 36 6	Total Class A Class B 30 6
Unit Type			Studio - 5 One-bedroom - 12 <u>Two-bedroom - 12</u> Total 29

¹ **Note on Site Size and Site Area:** The proposed site size and site area is based on the properties being consolidated. See Standard Condition A.2.1.

² **Note on Floor Space Ratio (FSR):** The Downtown-Eastside/Oppenheimer District Official Development Plan (DEOD ODP) has a maximum FSR of 1.0, however the DPB may permit an increase in FSR to 2.5 FSR in this location, provided that at least 20% of the floor area permitted above a floor space of 1.0, or at least 20% of the additional residential units, is developed for social housing. This project meets the DEOD ODP 20% social housing requirements, see further discussion under Response to Applicable Bylaws and Guidelines below. Standard Condition A.1.1 seeks compliance (a reduction of 1,857 sq. ft.) with Section 5.5.1(b) - Density of the DEOD ODP.

³ **Note on Front Yard:** The proposal is seeking a relaxation of the Front Yard requirements. The Development Permit Board may relax the front yard requirement for all or a portion of the frontage provided it takes into account the depths of the adjacent front yards. Subject to the recommended design development conditions pertaining to the Cordova Street fronting ground oriented interface, and anticipated improved livability of the interior courtyard, staff support the proposed front yard required to achieve the courtyard form noting that this form provides for greater livability and social exchange than an internalized double-loaded corridor apartment form.

⁴ **Note on Parking:** The proposed parking for this site is deficient. The applicant is seeking a relaxation of 9 stalls for this proposal. Staff are supportive of this request, subject to compliance with the non-market housing obligation as outlined and required Recommended Condition 1.2.

⁵ **Note on Bicycle Parking:** Standard Condition A.1.2 seeks compliance with Section 6.2.1.2 - Bicycle Parking of the Parking By-law.

• **Legal Description**

Lots 21, 22 & 23
 Block 53
 District Lot 196
 Plan 196

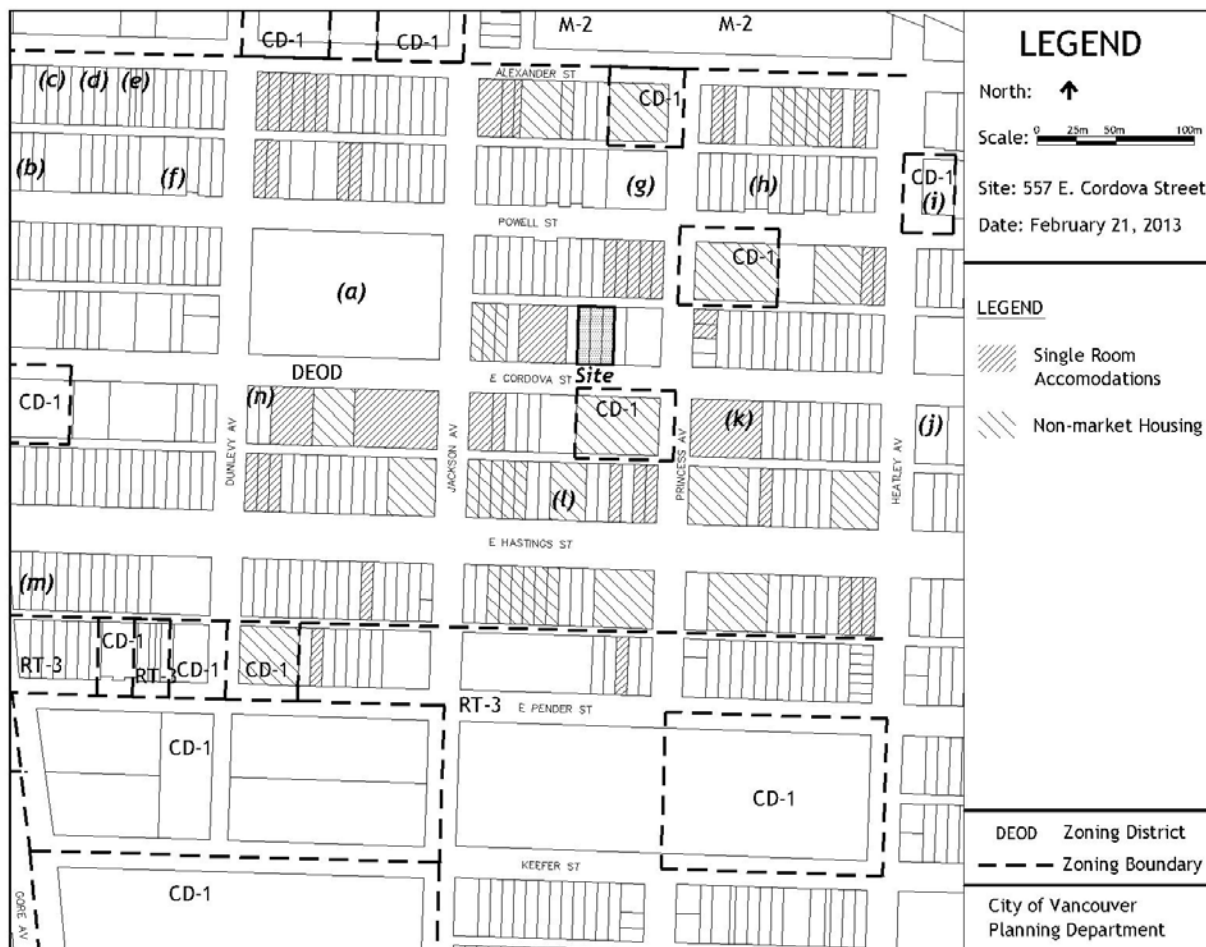
• **History of Application:**

12 09 22 Complete DE submitted
 12 10 24 Urban Design Panel
 13 02 27 Development Permit Staff Committee

• **Site:** The mid-block site is located on the north side of East Cordova Street between Jackson and Princess Avenues.

• **Context:** Significant adjacent development includes:

- | | |
|--|-----------------------------------|
| (a) Oppenheimer Park | (h) Powell Place |
| (b) Umbrella | (i) Triage |
| (c) Evelyn Saller Centre | (j) Strathcona Mental Health Team |
| (d) WISH Social Service Centre | (k) Union Gospel Mission |
| (e) Lookout Downtown | (l) Sheway |
| (f) Vancouver Intensive Supervision Unit | (m) 1 st United Church |
| (g) Downtown Community Health | (n) Life Skills Centre |



• **Background:**

This site is located in Sub-Area 2 (Cordova Street) of the Downtown-Eastside/Oppenheimer Official Development Plan (DEOD ODP). As such, its density is regulated by Section 5 of the Downtown-Eastside Official Development Plan. The proposed density is greater than 1 FSR. Therefore, the decision to permit density above 1.0 FSR rests with the Development Permit Board under Section 5.5.1.

The 500 block of Cordova Street is characterised by older non-market housing developments, some original single family housing includes a collection of important heritage houses clustered at the west end of the block, as well as a few undeveloped lots. This development proposal is for an undeveloped lot and will not directly displace residents or commercial tenancy. However, some members of the community have expressed strong concerns that increased market development in the Downtown Eastside (DTES) results in increases to land values and rents in turn leading to displacement of existing low-income residents and low-income serving businesses.

To address these concerns, in 2011, Council directed the City Manager to strike a community committee to “enhance and accelerate a DTES Local Area Plan and to develop a clear strategy to implement the existing Council-approved DTES Housing Plan.” The primary purpose of the DTES Local Area Planning Process (LAPP) is to ensure that the future of the DTES improves the lives of those who currently live in the area, particularly low-income people and those who are most vulnerable. In March 2012, Council approved the planning framework for the LAPP that outlined a broad community engagement strategy to discuss issues including the pace of change of development in the neighbourhood, ways to mitigate displacement of low-income residents in light of revitalisation efforts, and how to capture opportunities for improving the quality of life of residents in the DTES as the neighbourhood changes. Some of the key areas of focus for the DTES Local Area Planning Program include: housing and homelessness, local economy, land use and built form, social issues and urban health. Council also approved interim development guidelines and an interim rezoning policy at the March meeting. These policies manage the pace of development and provide staff, the LAPP Committee and other stakeholders the mechanisms needed to consider opportunities and risks for development in the community. More specifically, the policies will allow time to assess what might be required to achieve the long-term housing objectives and implementation of the DTES Housing Plan.

• **Applicable By-laws and Guidelines:**

1. Downtown-Eastside / Oppenheimer ODP (DEOD), Sub- Area 2 (Cordova Street)
2. Downtown-Eastside / Oppenheimer Design Guidelines
3. Housing and Homelessness Strategy 2012-2021
4. Downtown Eastside Housing Plan (2005)

• **Response to Applicable By-laws and Guidelines:**

1. Downtown Eastside / Oppenheimer ODP (DEOD ODP), Sub- Area 2 (Cordova Street)

The DEOD ODP sets out as the following goals for housing:

- 1) Retain existing and provide new affordable housing for the population of the Downtown Eastside Oppenheimer area.
- 2) Upgrade the quality of the existing housing stock to City standards.
- 3) Increase the proportion of self-contained dwelling units, through rehabilitation and new construction.

While the proposed application meets the 20% social housing requirements through the provision of five units of social housing, the majority of units in the development would not be affordable to the current population of the DEOD (Note: the 2006 Census shows that 70% of residents in the DEOD are low-income, with an annual median income of \$13,691).

The Cordova Street sub-area, as described in the ODP, is intended to be a medium density residential area, suitable for residential development for a variety of household types. Development should upgrade the standard of accommodation including the provision of new, self-contained social housing where possible. In the DEOD, development applications over 1 FSR must include 20% social housing. Social housing means residential units owned and operated by government or a non-profit organization. The applicant is working with Community Builders who are intended to own and manage the units. Staff have reviewed information from Community Builders about their track record as a housing operator and are satisfied that have the capacity to successfully manage these units. While the DEOD ODP defines social housing, it is silent on the required rent levels. The City requires the applicant to enter into a housing agreement to restrict all of the social housing unit rents to a maximum tenant contribution of no more than the shelter component of Income Assistance (currently \$375).

2. Downtown Eastside / Oppenheimer Design Guidelines

Staff believe that the proposed contemporary expression respectfully contributes to the prevailing and anticipated contextual quality and character as a background building. While the future streetscape, anticipated related setbacks and public realm intent will be clearly understood/determined after the Community Plan is approved, staff believe that the proposed courtyard form is more livable for this relatively small vacant site, to be appropriate in re-establishing a more urban, safe and walkable character for Cordova Street.

Further work is required to the Cordova Street frontage/interface, improved overall livability and improvements to the general quality of the courtyard. These changes are sought under Recommended Conditions 1.3 thru and 1.8 inclusively.

3. Housing and Homelessness Strategy 2012-2021

The Housing and Homelessness Strategy describes the City's overall direction for housing, including what we need and how we will achieve it over the next ten years. It identifies the different kinds of housing necessary to meet the needs of our citizens, as well as ways to improve and better preserve the housing we currently have. The goals of the strategy are to end street homelessness and provide more affordable housing choices for all Vancouverites. This includes housing that is accessible, affordable and suitable for all income levels, seniors, families and residents challenged by disability. These five social housing units will help achieve the City-wide social housing target of 5,000 additional new social housing units.

4. Downtown Eastside Housing Plan (2005)

The area's historic role has been to provide a home to low- and moderate-income people, especially singles and newcomers to Vancouver. One goal of the Downtown Eastside Housing Plan is to maintain roughly 10,000 units of low-income housing in the DTES and to increase its quality over time. Single Room Occupancy (SRO's) hotels are to be replaced with new self-contained social housing for singles and support services will be provided in a portion of the units to give stability to residents.

The role of the DEOD, as discussed in the Housing Plan, is that it shall continue to be a predominantly low-income area, emphasizing social housing. The Plan further recommends that the DEOD zoning be reviewed to ensure that the area can maintain this role into the future. Due to the large number of heritage buildings in other DTES sub-areas and limited number of available development sites, the Housing Plan states that the DEOD will need to accommodate more than the 1-for-1 SRO replacement to make up for other sub-areas not being able to achieve this goal. The Plan also notes that if market development becomes attractive in the DEOD, despite the 20% social housing requirement, it is unlikely that achieving 1-for-1 SRO replacement will be possible.

Staff believe this development application meets the DEOD 20% social housing policy. Specifically, the project supports the DTES Housing Plan's goal to create new social housing (owned and operated by a government or non-profit partner) and to improve the quality of the low-income housing stock through the provision of new, permanent, self-contained social housing units by providing 5 social housing units

(See Housing Policy and Social Policy Commentary, p. 11). The housing obligation is secured under Recommended Condition 1.2. In addition, the applicant is expected to demonstrate, to the satisfaction of the Managing Director of Social Development and the Director of Legal Services, that the legal title to the social housing units has been transferred to a registered non-profit operator at an agreed upon per unit price which allows the non-profit operator to rent the units at or below the shelter component of Income Assistance.

Staff acknowledge that the proposed development signals market interest in the DEOD, which if unmanaged, may compromise the ability for the DEOD to achieve its role as described in the DTES Housing Plan. Therefore, while the project meets the intent of this current policy, the policy is under review through DTES LAPP currently underway.

• **Conclusion:**

Staff believe that the proposed development application demonstrates approvability under the prevailing applicable by-laws, policies and guidelines. The proposed form of development, and anticipated quality and character, could make a positive contribution to the more challenged Cordova Street context subject to design development sought in the Recommended Conditions.

Through review and public consultation, staff note that there is significant community opposition to this application, in particular as the City is actively engaged in a Local Area Planning Process for this area that seeks to “enhance and accelerate” a Local Area Plan and to develop a clear strategy to implement the existing Council-approved DTES Housing Plan. Staff affirm, while acknowledging the community concerns noted, that this application is approvable (subject to conditions noted above) as it would comply with the prevailing zoning and intent of the related design guidelines.

While these attributes of the development application should be acknowledged, staff must reinforce the importance of the on-going work with the community, and related stakeholders, through the LAPP. The LAPP, to ultimately be effective in creating an appropriate and effective community plan, must rely heavily on the emerging strength of partnership and shared good will that is necessary at this critical moment in order to undertake the hard work of reconciling housing strategies that achieve the necessary capacities and tenure. Staff believe that the importance of this shared work of the LAPP over the coming weeks and months must be emphasized and appreciated. Staff are therefore, anxiously and with some hesitation, recommending APPROVAL appreciating that the Local Area Planning Process is at such a critical moment in meeting the anticipated date for Council consideration of November 20, 2013.

URBAN DESIGN PANEL

The Urban Design Panel reviewed this application on October 24, 2012, and provided the following comments:

EVALUATION: SUPPORT (9-0)

- **Introduction:** Scot Hein, Development Planner, introduced the proposal for a residential building that will contain a social housing component. Mr. Hein described the zoning for the site noting that a parking relaxation is being sought. The proposal is under prevailing zoning and context but it is starting to identify a new built form. The building will have a contemporary expression with an industrial context.

Advice from the Panel on this application is sought on the following:

- Comments on the liveability of the courtyard; and
- Comments on the ground plane interface and the fronting units on the street.

Mr. Hein took questions from the Panel.

- **Applicant's Introductory Comments:** Gair Williamson, Architect, further described the proposal noting that the non-market component is at grade. He also described the material palette for the project.

Jenny Chow, Architect, noted the context for the area which has a lot of history. The project encourages a mixed community including a variety of unit types (studios, 1 bedroom and 2 bedroom townhomes). It is a 4-storey residential building with 24 units of achievable home ownership on the second, third and fourth levels. There is an interior courtyard which will allow passive ventilation. The non-market housing will be set back three feet from the property line and provides a covered entry and small gardens for the units. The upper level units will be accessed from the street. There is also a third floor exterior gallery above the courtyard that allows access to 12 2-storey townhomes. They also have private roof decks. Ms. Chow described the architecture for the proposal that references the historical heritage of the area. Each unit will have Juliette balcony type windows to maximize light into the units. There are 12 parking stalls proposed of which 20% will have electric charging stations plus a place for car share. Bike storage and a bike repair room will also be provided.

Senga Lindsay, Landscape Architect, described the landscape plans for the proposal. Three trees will be planted in the courtyard. On the top level outdoor patio space is provided for the residents. A separation between the ground level units and the street will be provided with plantings.

The applicant team took questions from the Panel.

- **Panel's Consensus on Key Aspects Needing Improvement:**
 - design development to improve access to the building;
 - design development to provide privacy to the upper units;
 - consider sun shades on the rear units;
 - consider adding rest areas in the circulation;
 - consider further separation between the ground plane units and the sidewalk; and
 - design development to improve the main entry into building.
- **Related Commentary:** The Panel supported the proposal and thought it was a clean and sophisticated project.

The Panel agreed that it was a great project especially the arrangement of the units, circulation and materiality. They thought the courtyard was a good addition but one Panel member thought there should be more social sustainability aspects in the project such as seating areas. Several Panel members thought the residential entry needed to be improved with one Panel member suggesting finding a way to get some natural light into the corridor. As well, they thought the units at grade should be front loaded units.

A couple of Panel members suggested adding some colour or glass blocks into the party wall to soften the expression. Several Panel members thought there should be a lift in the building to help residents move their belongings or for people with disabilities. They appreciated the notion of creating an art opportunity and suggested using local artists.

Although the Panel supported the landscape plans they thought the expression might need to be revised. One Panel member suggested creating a front yard expression along Cordova Street and to further express the character of the neighbourhood.

Regarding sustainability, it was noted that the upper levels on the back will require sun shades. As well a couple of Panel members thought the glass next to the floor in the units should be insulated spandrel glass.

- **Applicant's Response:** Mr. Williamson thanked the Panel for their comments. He noted that initially they were looking at having the non-market housing inboard of the building but now their primary entry is from the street. He said they would look at sun screens on the upper level. He added that he agreed that it is a long corridor at the main entry. As well he said he did not know if there was any money in the budget to include a lift in the building.

ENGINEERING SERVICES

The application proposes a total of 29 residential units, five of which will be developed as social housing. Required parking for social housing at a rate of one space for every six social housing units is consistent with recent practice.

The Parking By-law standard for the market units in the DEOD is one space per 70 sq. m of gross floor area, which works out to approximately 1.1 spaces per market unit. Staff expect to review the parking standard for the DEOD in the near future and expect that the minimum required parking will be reduced.

The application proposes parking for the market units is approximately of 0.75 effective parking spaces per unit - which falls between the current Downtown and City-wide parking standards. Nearby on-street parking is largely unregulated and modest parking spillover can be expected. This site falls outside of the residential parking permit zone to the south (Strathcona) so parking pressures in that neighbourhood will be minimally affected.

The recommendations of Engineering Services are contained in the prior-to conditions noted in Appendix A attached to this report.

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

Additional work is required to ensure that the development meets general principles for CPTED performance. Staff are recommending design development, with a special focus on the Cordova Street fronting and lane environments, under Recommended Conditions 1.3 and 1.7.

HOUSING POLICY/CENTRAL AREA PLANNING

The 2005 DTES Housing Plan sets out a vision for housing in the neighbourhood which includes:

- maintaining 10,000 units of low-income housing but increasing its quality over time;
- one-for-one replacement of SROs with self-contained social housing for singles;
- the integration of market housing (rental, owner-occupied and live-work) with an emphasis on moderate-income affordability for new units;
- the development of new market housing to proceed at similar pace as new low-income social housing; and
- developing affordable housing throughout City.

The DEOD ODP includes a 20% social housing requirement for any development over 1 FSR. The 20% inclusionary zoning policy has historically limited market development and resulted in projects that have included 100% social and/or supportive housing. The DTES Housing Plan acknowledges that as mixed-use projects become viable (i.e. can achieve the 20% social housing requirement), the targets for replacing SROs in the sub-area may be compromised. This concern has been raised by the community and is acknowledged by city staff. Options to address issues related to the pace of change in the neighbourhood and the ability to replace SROs will be addressed through the Local Area Planning Process currently underway.

This application meets the 20% social housing provision as required by the DEOD ODP. A Housing Agreement will secure all five social housing units as rental units in perpetuity or for the life of the building and will restrict rents so that the tenant contribution is no more than the shelter component of income assistance (currently \$375). (See Recommended Condition 1.2)

The applicant has identified Community Builders as the non-profit housing operator. The organization has a history in the neighbourhood and is an experienced operator. A draft Operations Management Plan (OMP) will be required as a condition of the Development Permit, with completion to occur prior to the issuance of the Occupancy Permit. The OMP outlines the operating parameters for the five social housing units and includes protocols to manage operational issues. The Operations Management Plan also requires a written annual status report, including annual rent rolls to be submitted to the City. (See Recommended Condition 1.1)

SOCIAL DEVELOPMENT

The proposed 4 storey building on this site includes 12 units with two or more bedrooms (41 % of total units) which may be suitable for families with children. The High Density Housing for Families with Children Guidelines are therefore being considered in the review of plans for this site. Each of the family units has a private rooftop amenity patio suitable for a range of children's play activity. The second floor courtyard also provides an opportunity for children who may live here to interact and play.

The City of Vancouver Food Policy identifies environmental and social benefits associated with urban agriculture and seeks to encourage opportunities to grow food in the city. The "Urban Agriculture Guidelines for the Private Realm" encourage edible landscaping and shared gardening opportunities in private developments. Design development should be considered to the common courtyard and to the private rooftop patios to include garden plots, compost bins and the necessary infrastructure to support urban agricultural activity such as tool storage chest / potting bench and hose bibs or a high efficiency irrigation system. (See Standard Condition A.13)

PROCESSING CENTRE - BUILDING

This Development Application submission has not been fully reviewed for compliance with the Building By-law. The applicant is responsible for ensuring that the design of the building meets the Building By-law requirements. The options available to assure Building By-law compliance at an early stage of development should be considered by the applicant in consultation with Processing Centre-Building staff.

To ensure that the project does not conflict in any substantial manner with the Building By-law, the designer should know and take into account, at the Development Application stage, the Building By-law requirements which may affect the building design and internal layout. These would generally include: spatial separation, fire separation, exiting, access for physically disabled persons, type of construction materials used, firefighting access and energy utilization requirements.

Further comments regarding Building By-law requirements are contained in Appendix C attached to this report.

NOTIFICATION

On January 18, 2013, 392 notification postcards were sent to neighbouring property owners advising them of the application, and offering additional information on the city's website. 24 emails were sent to organizations and individuals that have requested to be added to a mailing list to be notified of

applications in the Downtown Eastside. In addition, approximately 1000 postcards and 60 posters were distributed by the EMBERS society as part of a pilot project to better notify residents in rental buildings during the Local Area Planning Process.

There have been 3 responses received, the comments are summarized below:

- *applaud developer for including five units of social housing, disappointed that not more units could be offered at 100% welfare rate*
- *more of this type of safe, affordable housing is needed within the community*
- *livability of units: sound and privacy on south facing units are impacted as this is a high traffic arterial, concern for sun and day-lighting to units, narrow units, ventilation, safety*
- *gentrification of DTES*
- *full support of the application*

An 'Open House' was held on January 30, 2013 from 5pm to 8pm at the Jim Green Residence, 415 Alexander Street. 35 people signed in and 11 comment sheets were received and summarized below. A questionnaire was included on comment forms to determine how people heard of the open house: 1 owner postcard, 3 tenant postcard, 1 website, 1 poster, 3 LAPP, 3 building resident (Jim Green Residence).

- *great to see this project, good for the area, no problem, nice project*
- *concern for eventual displacement of low income DTES residents, gentrification*
- *dislike courtyard is private for owners, contrary to social mix, increases marginalization, displacement and exclusion*
- *all 5 units should be at welfare rate*
- *do the 3 units meet 20% in DEOD?*
- *Sustainable food for all, rooftop garden should be open to all residents with a mentor program for garden skills for residents in social housing units*
- *Condos should not be allowed in the DEOD until enough self-contained social housing to replace DEOD and other SROs from other DTES sub areas*
- *The City needs to increase % of social housing required as a rate of change mechanism*
- *Nice to see property companies paying attention to low income earners*
- *Would be nice to see mortgages subsidized as well, a non-sell agreement could be made to protect all parties, nothing greater for self-esteem than property ownership*
- *Like the concept of social mix*

Staff response:

The Recommended Conditions seek further design development to improve the livability of the Cordova Street fronting units, noting the challenging automobile noise/exhaust and southerly exposure. Staff are recommending design development to improve the quality of the courtyard environment, including opportunities for shared programming between respective tenures. Staff are specifically recommending that shared opportunities for urban agriculture be pursued for the courtyard.

The DTES is undergoing change and staff acknowledge that the pressure of market development has been increasing. This project meets the current 20% social housing requirement but the policy itself is under review as part of the DTES LAPP process to determine whether it can meet the objectives of the DTES Housing Plan over the long term. The completion of the DTES LAPP, and Council consideration of the DTES Community Plan, is anticipated for November 20, 2013.

DEVELOPMENT PERMIT STAFF COMMITTEE COMMENTS:

Staff Committee acknowledges the important on-going work with the Downtown Eastside community through the Local Area Planning Process (LAPP) and the considerable shared effort to address the challenging questions of housing capacity/tenure and market driven gentrification. The timing of this development permit application, approvable under existing zoning, policies and guidelines, is challenging as the LAPP process will review the existing policy to determine whether it can meet the objectives of the DTES Housing Plan over the long term.

Staff Committee recognized and considered the importance of providing five new Social Housing units with a tenant contribution towards rent being no more than the shelter component of Income Assistance. Staff Committee also recognized and considered that the site is vacant with no attributed displacement of existing housing and that the project, subject to the design development conditions contained in this report, would achieve a livable, well considered courtyard oriented form of development on a relatively small site in the current market. These attributes and anticipated compliance with prevailing zoning, policies and guidelines have contributed to Staff Committee's recommendation to advance to the Development Permit Board for consideration prior to the conclusion of the LAPP.

The Staff Committee has considered the approval sought by this application and concluded that with respect to the Zoning and Development By-law and Official Development Plan it requires decisions by both the Development Permit Board and the Director of Planning.

With respect to the decision by the Development Permit Board, the application requires the Development Permit Board to exercise discretionary authority as delegated to the Board by Council.

With respect to the Parking By-law, the Staff Committee has considered the approval sought by this application and concluded that it seeks a relaxation of parking. The Staff Committee supports the relaxations proposed.

J. Greer
Chair, Development Permit Staff Committee

S. Hein
Senior Urban Designer/Development Planner

J. Bosnjak
Project Coordinator

Project Facilitator: C. Lau

DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATIONS

The following is a list of conditions that must also be met prior to issuance of the Development Permit.

A.1 Standard Conditions

- A.1.1 compliance with Section 5.5.1(b) - Density, of the Downtown-Eastside/Oppenheimer Official Development Plan;

Note to Applicant: A reduction of 1,857 sq. ft. is required to meet the maximum FSR allowed. Some areas on the main floor were not excluded from FSR as they are above base surface. Please contact the Project Coordinator for more information.

- A.1.2 compliance with Section 6.2.1.2 - Bicycle Parking of the Parking By-law;

Note to Applicant: A total of 36 Class A bicycle spaces are required for this site.

- A.1.3 details of bicycle rooms, in accordance with Section 6 of the Parking By-law, which demonstrates the following:

- a minimum of 20 percent of the bicycle spaces to be secured via lockers;
- a maximum of 30 percent of the bicycle spaces to be vertical spaces;
- a provision of one electrical receptacle per two bicycle spaces for the charging of electric bicycles; and
- notation (on the plans) that "construction of the bicycle rooms to be in accordance with Section 6.3 of the Parking By-law";

- A.1.4 confirmation that at least 20 percent of all off-street parking spaces will be available for charging of electric vehicles;

Note to Applicant: Although this is a Building By-law requirement under Part 13 of the Vancouver Building By-law, the Director of Planning is seeking acknowledgement that this condition can be met during the Building review of this development. For more information, refer to the website link: <http://vancouver.ca/sustainability/EVcharging.htm>

- A.1.5 design development to locate, integrate and fully screen any emergency generator, exhaust or intake ventilation, electrical substation and gas meters in a manner that minimizes their visual and acoustic impact on the building's open space and the Public Realm;

Standard Landscape Conditions

- A.1.6 design development to the second floor courtyard to provide opportunities for social gathering with a central seating area. In addition, the provision of urban agriculture plots adjacent to this seating area, should be explored;

- A.1.7 provision of an elevation drawing of the proposed garden wall with attached courtyard seating proposed in the architectural drawings for the second floor courtyard. The drawing should include details of materials and height;
-

- A.1.8 illustration on the provision of information on the Site Plan or the Landscape Plan of the site, showing the existing trees to be removed or retained;

Note to applicant: Clarification should be provided regarding the retention or removal of a 1.5 ft. diameter Maple tree growing on the vacant lot to the west of the site, a 1.4 ft. diameter shared property line tree and a 1.1 ft. diameter City of Vancouver tree. A report from an ISA certified arborist is required assessing the feasibility of retaining or removing the trees. Permission is required from the owner of the vacant lot and from the COV Street Tree Department in order to remove these trees. Dimensioned tree barriers should be included for any trees to be retained.

- A.1.9 coordination of the Landscape Plan (page L1.0) with the architectural plans regarding to the configuration of the planters on the 2nd floor courtyard and the roof plan;

- A.1.10 provision of large scale section (1/4"=1' or 1:50) illustrating the building to public realm interface of the at grade social housing units facing East Cordova Street;

Note to applicant: The section should include the building façade to the street curb, as well as any steps, retaining walls, guardrails, fences and planters. The location of the underground parking slab should be included in the section;

- A.1.11 provision of large scale (1/4"=1' or 1:50) sections of the second floor courtyard and roof deck planters. The planters should meet the BCSLA minimum Standards for Planting on Slab;

- A.1.12 provision of a high efficiency irrigation system for the second floor courtyard and for the roof gardens. Notations to that effect should be added to the drawings; and

Note to applicant: The irrigation system design and installation system shall be in accordance with the Irrigation Industry of B.C. Standards and Guidelines.

Standard Social Development Conditions

- A.1.13 consideration for design development to the common outdoor amenity in the 2nd level courtyard and to the private rooftop patios to include accessible garden plots, compost bins, and the necessary infrastructure to support urban agricultural activity such as tool storage chest / potting bench, and hose bibs or a high efficiency irrigation system.

A.2 Standard Engineering Conditions

- A.2.1 arrangements to the satisfaction of the General Manager of Engineering Services and the Director of Legal Services for the consolidation of Lots 21, 22, 23, Block 53, DL 196, Plan 196 to create a single parcel;

- A.2.2 arrangements to the satisfaction of the General Manager of Engineering Services and the Director of Legal Services for the release of Easement & Indemnity agreement 530620M (commercial crossing) prior to Occupancy;

Note to Applicant: Arrangements are to be secured prior to issuance of the development permit, with release to occur prior to issuance of an Occupancy Permit for the site. Provision of a letter of commitment is required.

- A.2.3 arrangements to the satisfaction of the General Manager of Engineering Services and the Director of Legal Services for the proposed roof-level metal sunshade encroaching onto City
-

street. The sunshade must be lightweight and demountable, extending no greater than 3 ft. over the property line;

Note to Applicant: An application to the City Surveyor is required. For general information see the encroachment guide at: http://vancouver.ca/files/cov/building_encroachment_guide.pdf

- A.2.4 clarification regarding the large access doors to the transformer room that appear to swing out over the lane (page A3.02). Doors must not swing over the property line;
- A.2.5 provide design elevations at the property line adjacent all entrances, parking areas, garbage room, and transformer pad;
- A.2.6 compliance with the Parking and Loading Supplement to the satisfaction of the General Manager of Engineering Services, including:
 - i. provision of required additional parking stall width for spaces accessed by a 6.1 m (20 ft.) manoeuvring aisle;
 - ii. provision of additional design elevations throughout the parking area;
 - iii. provision of additional parking stall width in space 12 to comply with the required dimensions and which is at the same elevation.

Note to Applicant: Both the adjacent pathway and the parking space must be at the same elevation to facilitate disability access. Please contact Rob Waite in the Neighbourhood and Parking Transportation Branch at 604.873.7217 for more information.

- A.2.7 arrangements are to be made, to the satisfaction of the General Manager of Engineering Services and Director of Legal Services, for the provision, operation and maintenance of the proposed shared vehicle and the provision and maintenance of the parking space for use exclusively by such shared vehicles;

Note to Applicant: The parking stall must be a full size vehicle space, if not, written confirmation from a car share organization accepting a small car stall is required.

- A.2.8 confirmation from the Park Board that the existing back boulevard street tree can be removed as it appears to conflict with the proposed development;
- A.2.9 provision of a canopy application;

Note to Applicant: Canopies must be demountable and meet the requirements of the Building By-law.

- A.2.10 the General Manager of Engineering Services will require all utility services to be underground for this "conditional" development. All electrical services to the site must be primary with all electrical plant, which include but not limited to, junction boxes, switchgear, pad mounted transformers and kiosks (including non-BC Hydro kiosks) are to be located on private property with no reliance on public property for placement of these facilities. There will be no reliance on secondary voltage from the existing overhead electrical network on the street right-of-way. Any alterations to the existing overhead/underground utility network to accommodate this development will require approval by the Utilities Management Branch. The applicant is required to show details of how the site will be provided with all services being underground. We strongly recommend very early consultation with BC Hydro to address any potential servicing concerns.

A.3 Standard Licenses & Inspections (Environmental Protection Branch) Conditions:

- A.3.1 that the property owner shall, as required by the Manager of Environmental Protection and the Director of Legal Services in their discretion, do all things and/or enter into such agreements deemed necessary to fulfill the requirements of Section 571(B) of the Vancouver Charter; and
 - A.3.2 provision of soils reports.
-

B.1 Standard Notes to Applicant

- B.1.1 The applicant is advised to note the comments of the Processing Centre-Building, Vancouver Coastal Health Authority and Fire and Rescue Services Departments contained in the Staff Committee Report dated February 27, 2013. Further, confirmation that these comments have been acknowledged and understood, is required to be submitted in writing as part of the "prior-to" response.
- B.1.2 It should be noted that if conditions 1.0 and 2.0 have not been complied with on or before **September 25, 2013**, this Development Application shall be deemed to be refused, unless the date for compliance is first extended by the Director of Planning.
- B.1.3 This approval is subject to any change in the Official Development Plan and the Zoning and Development Bylaw or other regulations affecting the development that occurs before the permit is issuable. No permit that contravenes the bylaw or regulations can be issued.
- B.1.4 Revised drawings will not be accepted unless they fulfill all conditions noted above. Further, written explanation describing point-by-point how conditions have been met, must accompany revised drawings. An appointment should be made with the Project Facilitator when the revised drawings are ready for submission.
- B.1.5 A new development application will be required for any significant changes other than those required by the above-noted conditions.

B.2 Conditions of Development Permit:

- B.2.1 All approved off-street vehicle parking, loading and unloading spaces, and bicycle parking spaces shall be provided in accordance with the relevant requirements of the Parking By-law prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.
 - B.2.2 All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.
 - B.2.3 Any phasing of the development, other than that specifically approved, that results in an interruption of continuous construction to completion of the development, will require application to amend the development to determine the interim treatment of the incomplete portions of the site to ensure that the phased development functions are as set out in the approved plans, all to the satisfaction of the Director of Planning.
 - B.2.4 This site will be affected by a Development Cost Levy By-law. Levies will be required to be paid prior-to issuance of Building Permits. For more information, please refer to the Development Cost Levies Information Bulletin, available at the Planning Department Reception Counter, or online at vancouver.ca/financegrowth. The next increase is scheduled for September 30, 2011; projects without a Building Permit in process will be charged at a higher rate. Additional information about the increase can be found at vancouver.ca/commsvcs/planning/infobul1.pdf.
-

Processing Centre - Building comments

The following comments are based on the preliminary drawings prepared by Gair Williamson Architects dated on September 19, 2012 with some floor plan changes dated December 5, 2012 for the proposed Development Application. This is a preliminary review in order to identify issues which do not comply with the Vancouver Building Bylaw #9419 as amended (VBBL), and includes a review of Subsection 3.2.5. "Provisions for Fire Fighting".

This project is to construct a four storey residential building with 24 units for "achievable home ownership" units on the 2nd to 4th floors and 5 units of social housing on ground floor with 12 parking spaces and 1 car share space on the ground level with vehicle access from the lane.

1. The construction requirement for 3.2.2. must comply for this project.
2. Sprinklers are required.
3. Fire separations with ratings require ULC number for all wall and floor assemblies.
4. Standpipe Systems are required as per Article 3.2.5.8.
5. Fire Department Connections must meet Article 3.2.5.16.
6. The corridor on the ground level that serves the dwelling units and the storage rooms is a public corridor and it is required to have exits at either end. The door that separates the bike storage and the dwelling units is required to swing in both directions.
7. Every exit door must swing in the direction of exit travel as per 3.4.6.11., further review of the parkade location is recommended. Also, two exits are required for buildings greater than two storeys are per article 3.4.2.1.; the parkade only has one exit.
8. Demonstrate the exiting for the small parking stall/garage and for the car share vehicle.
9. Demonstrate how the existing requirements are met with the use of the secured gate on the ground level.
10. More details are required at the building application stage for the roof hatch in regards to handrails, opening and closing, rise and run of the stairs, and etc.
11. *Egress from dwelling units must meet Article 3.3.4.4.
12. *Exterior Passageway Exceptions as per Article 3.4.4.3. requires an exit stair at each end of the passageway. However, both exit stairs from the third floor only lead to a floor area below. Therefore, the exits for this building are misleading and perhaps not complying as exit stairs.
13. *Protection of Exit Facilities as per Article 3.2.3.13. are required for the exit stairs on second and third floors.
14. The exits on the ground floor are partially enclosed and opened from the second floor. Therefore, fire separations are required and demonstrate how this meets the Integrity of Exits as per Article 3.4.4.4.

* Items marked with an asterisk have been identified as serious non-conforming Building By-law issues.

Written confirmation that the applicant has read and has understood the implications of the above noted comments is required and shall be submitted as part of the "prior to" response.

The applicant may wish to retain the services of a qualified Building Code consultant in case of difficulty in comprehending the comments and their potential impact on the proposal. Failure to address these issues may jeopardize the ability to obtain a Building Permit or delay the issuance of a Building Permit for the proposal.

555 EAST CORDOVA STREET

Vancouver, BC

NON-MARKET HOUSING & ACHIEVABLE HOME OWNERSHIP ISSUED FOR DEVELOPMENT PERMIT APPLICATION

PROJECT INFORMATION

CIVIC ADDRESS: 548 - 557 E CORDOVA STREET, VANCOUVER, BC.

SITE AREA
9,156 sf

ZONING
DECD SUBJ AREA 2

PROPOSED OCCUPANCY
TOTAL FLOOR SPACE RATIO

GROUP C (MARKET AND NON MARKET HOUSING)
PERMITTED: 1.0
PERMITTED: 2.5 (WITH SOCIAL HOUSING)
PROPOSED: 2.5 (WITH SOCIAL HOUSING)

SITE DIMENSIONS
PROPOSED BUILDING HEIGHT
ALLOWABLE BUILDING HEIGHT
REAR YARD
SIDE YARD

122' X 75'
45'
45'
NONE REQUIRED
NONE REQUIRED

GROSS FLOOR AREA

LEVEL

GROUND FLOOR 8,822.6 sf
FIRST FLOOR 6,528.3 sf
THIRD FLOOR 6,528.2 sf
FOURTH FLOOR 6,528.2 sf
TOTAL GFA 31,728.5 sf

**NET FLOOR AREA
(INCLUDES EXCLUSIONS)**

LEVEL

LEVEL	MARKET RESIDENTIAL FLOOR	NON MARKET RESIDENTIAL FLOOR
GROUND FLOOR	6,628.8 sf	2,998.8 sf
SECOND FLOOR	6,628.8 sf	
THIRD FLOOR	6,628.8 sf	
FOURTH FLOOR	6,628.8 sf	
TOTAL	20,117.0 sf	2,998.8 sf
TOTAL NFA	23,115.8 sf	

PARKING?

REQUIRED	PROPOSED
CAR SPACES 30	12 * 1 CAR SHARE (EQUIVALENT TO 9) = 17
LONG TERM BICYCLE 30	30
LOADING 0	0

RESIDENTIAL UNITS

NON-MARKET RENTAL (SOCIAL)

REQUIRED: 3 UNITS (PER DECD BY-LAW - 20% OF ADDITIONAL UNITS ABOVE FSR OF 1.0)
5 UNITS (PER INTERIM DEVELOPMENT GUIDELINES FOR DTES)

PROPOSED: 5 UNITS

ACHIEVABLE HOME OWNERSHIP

PROPOSED: 24 UNITS

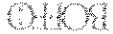
NOT TO SCALE
ALL DIMENSIONS TO BE CONFIRMED ON SITE
IN THE CASE OF DISCREPANCY BETWEEN THIS DRAWING AND THE ACTUAL SITE CONDITIONS, THE ACTUAL SITE CONDITIONS SHALL PREVAIL.
NOT FOR CONSTRUCTION
PRELIMINARY DRAWING ONLY

DO NOT SCALE DIMENSIONS
ALL DIMENSIONS TO BE CONFIRMED ON SITE
IN THE CASE OF DISCREPANCY BETWEEN THIS DRAWING AND THE ACTUAL SITE CONDITIONS, THE ACTUAL SITE CONDITIONS SHALL PREVAIL.
NOT FOR CONSTRUCTION
PRELIMINARY DRAWING ONLY

DATE: 10/10/2018
TIME: 10:00 AM

DATE: 10/10/2018
TIME: 10:00 AM

GANWILLIAMSARCHITECTS
1000 WEST 10TH AVENUE, SUITE 100
VANCOUVER, BC V6H 1T6
TEL: 604-681-1111
WWW.GANWILLIAMSARCHITECTS.COM



DATE: 10/10/2018
TIME: 10:00 AM

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TIME: 10:00 AM

A0.01

ARCHITECTURAL DRAWING

Dwg. number	Dwg. title
A0	CONTENTS
A0.01	COVER SHEET
A0.02	PROJECT INFORMATION
A0.03	PROJECT INFORMATION • LOCATION PLAN
A0.04	BUILDING GRADES • SURVEY PLAN
A0.05	SITE PLAN • STATISTICS • DESIGN RATIONALE
A0.06	EXISTING CONTEXT PHOTOGRAPHS
A0.07	EXISTING CONTEXT PHOTOGRAPHS, CONTEXT PLAN
A0.08	MODEL PERSPECTIVE
A2	PROPOSED PLANS
A2.01	PROPOSED GROUND LEVEL PLAN
A2.02	PROPOSED SECOND LEVEL PLAN
A2.03	PROPOSED THIRD LEVEL PLAN
A2.04	PROPOSED FOURTH LEVEL PLAN
A2.05	PROPOSED ROOF LEVEL PLAN
A3	PROPOSED ELEVATIONS
A3.01	PROPOSED SOUTH (STREET) ELEVATION
A3.02	PROPOSED NORTH ELEVATION
A3.03	PROPOSED SOUTH COURTYARD ELEVATION
A3.04	PROPOSED WEST ELEVATION
A3.05	PROPOSED EAST ELEVATION
A4	PROPOSED SECTIONS
A4.01	PROPOSED CROSS SECTION
A4.02	PROPOSED LONGITUDINAL SECTION
A8	FSR
A8.01	FSR OVERLAY - GROUND LEVEL PLAN
A8.02	FSR OVERLAY - SECOND LEVEL PLAN
A8.03	FSR OVERLAY - THIRD LEVEL PLAN
A8.04	FSR OVERLAY - ROOF LEVEL PLAN
A8.05	FSR OVERLAY - ROOF LEVEL PLAN

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 THE ARCHITECT IS TO BE INFORMED
 BY THE CLIENT IMMEDIATELY
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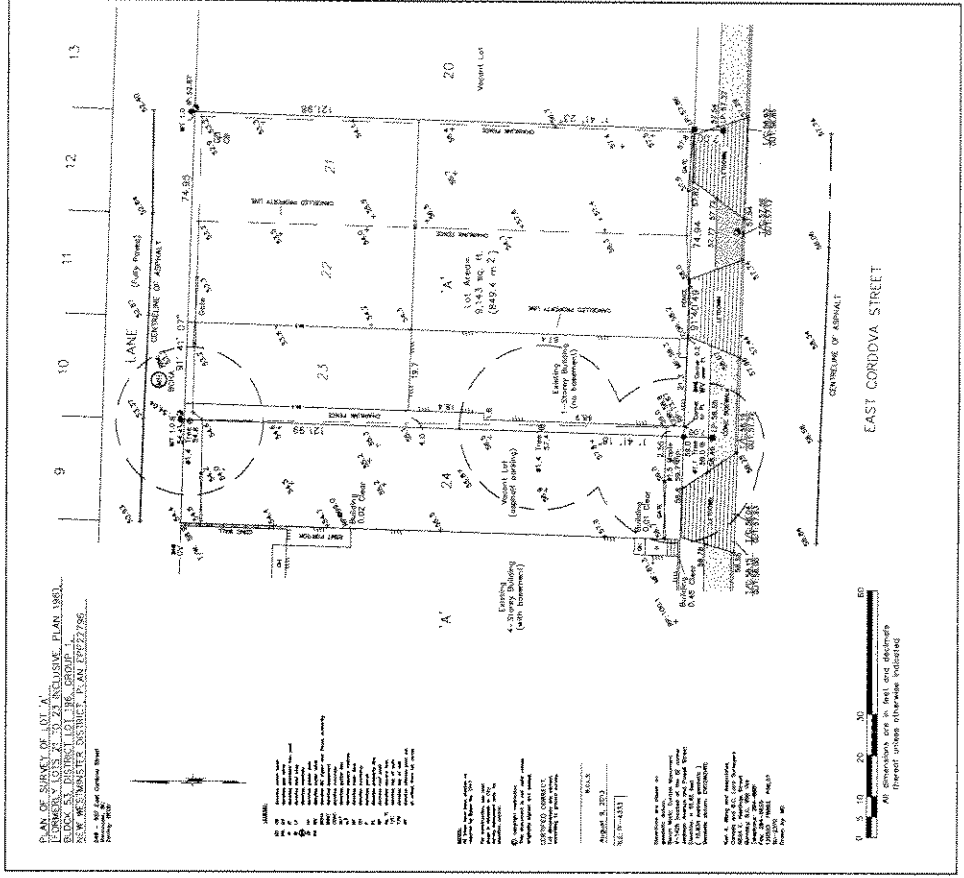
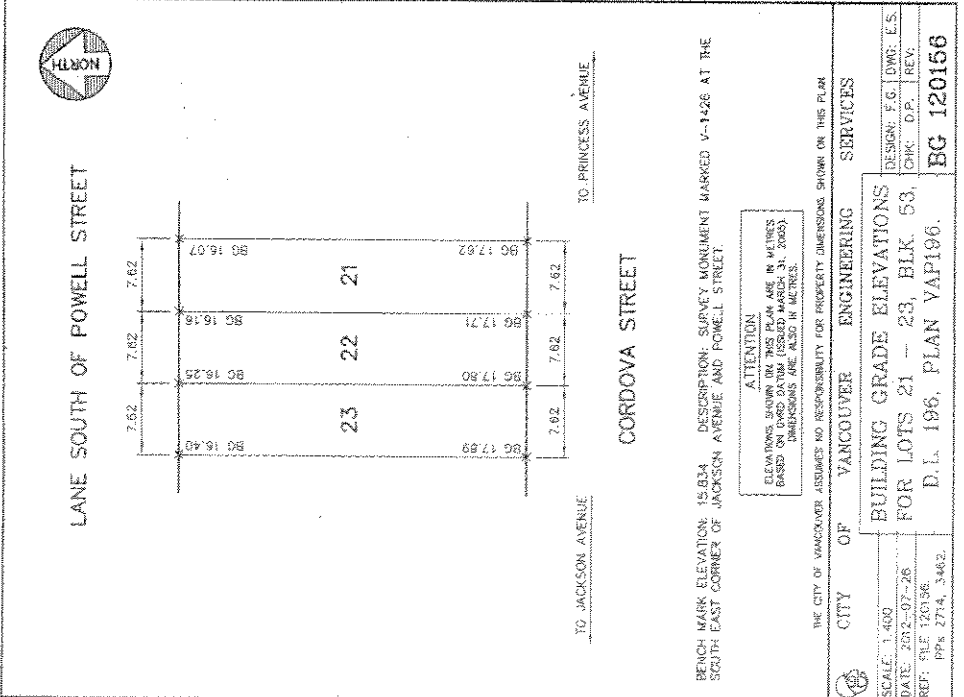
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A0.02



ALL DIMENSIONS TO BE CONFIRMED ON SITE

IN THE CASE OF DISCREPANCY, THE ARCHITECT IS TO BE NOTIFIED

THIS PLAN IS FOR INFORMATION ONLY

PRELIMINARY DIMENSIONS ONLY

DATE: 2012-07-26

SCALE: 1:400

DESIGN: F.G.

CHK: D.P.

DATE: 2012-07-26

SCALE: 1:400

DESIGN: F.G.

CHK: D.P.

DATE: 2012-07-26

SCALE: 1:400

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DATE: 2012-07-26

SCALE: 1:400

DESIGN: F.G.

CHK: D.P.

DATE: 2012-07-26

SCALE: 1:400

DESIGN: F.G.

CHK: D.P.

DATE: 2012-07-26

SCALE: 1:400

DESIGN: F.G.

CHK: D.P.

DATE: 2012-07-26

SCALE: 1:400

DESIGN: F.G.

CHK: D.P.

DATE: 2012-07-26

SCALE: 1:400

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A0.04

PROJECT INFORMATION	
PROJECT NAME	388 E CORDOVA RENOVATION
CLIENT	388 E CORDOVA RENOVATION
DATE	10/15/2014
NO. OF SHEETS	1
SHEET NO.	1
DATE	10/15/2014
PROJECT LOCATION	388 E CORDOVA STREET, JACKSONVILLE, FL 32202
PROJECT TYPE	RENOVATION
PROJECT PHASE	PRELIMINARY
PROJECT STATUS	PRELIMINARY
PROJECT DESCRIPTION	RENOVATION OF 388 E CORDOVA STREET, JACKSONVILLE, FL 32202. THE PROJECT CONSISTS OF RENOVATING THE EXISTING 10,000 SQ. FT. BRICK BUILDING TO PROVIDE HOUSING FOR 12 UNITS. THE PROJECT WILL INCLUDE RENOVATING THE EXISTING BUILDING, PROVIDING NEW INTERIOR FINISHES, AND PROVIDING NEW EXTERIOR FINISHES.
PROJECT CONTACT	388 E CORDOVA RENOVATION
PROJECT PHONE	
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	
PROJECT ADDRESS	388 E CORDOVA STREET, JACKSONVILLE, FL 32202
PROJECT CITY	JACKSONVILLE, FL 32202
PROJECT STATE	FL 32202
PROJECT COUNTY	DUVAL COUNTY, FL 32202
PROJECT ZIP	32202
PROJECT ZIP+4	32202-3400
PROJECT FIPS	12000000
PROJECT UNITS	12
PROJECT SQUARE FEET	10,000
PROJECT PERMITS	NO
PROJECT APPROVALS	NO
PROJECT COMMENTS	

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMITS
2	ISSUED FOR PERMITS
3	ISSUED FOR PERMITS
4	ISSUED FOR PERMITS
5	ISSUED FOR PERMITS
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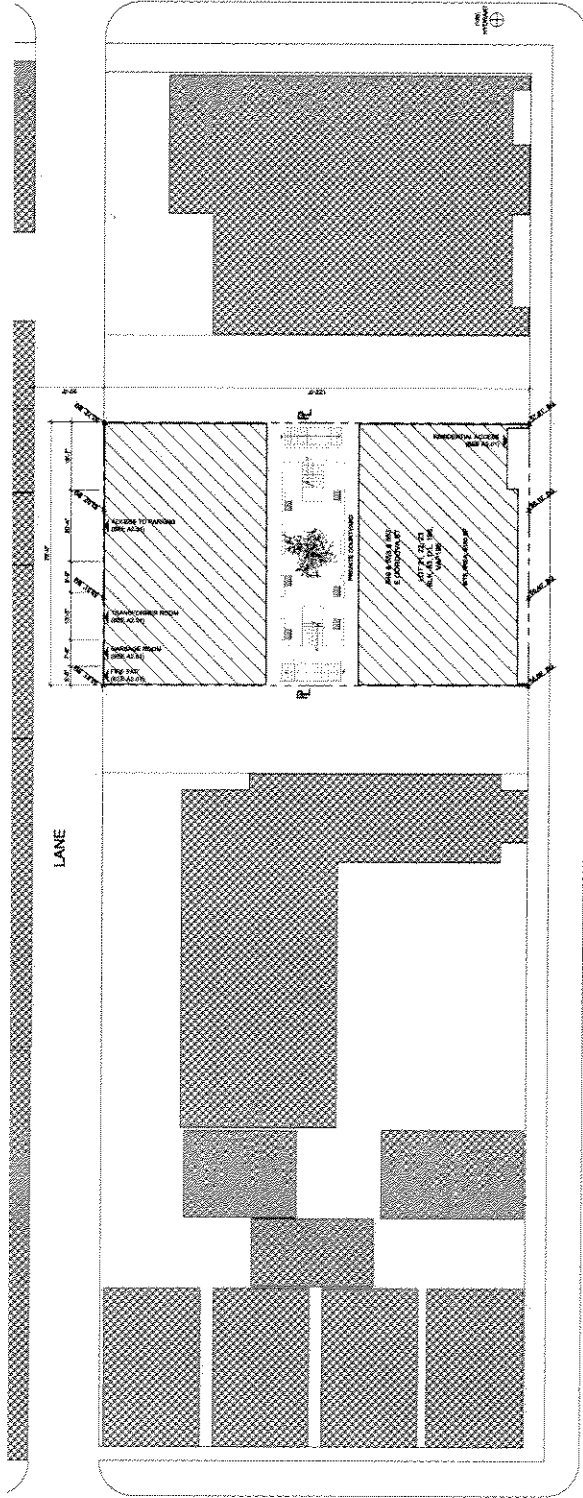
388 E CORDOVA DESIGN RATIONALE

The proposed development for the site of 388 E Cordova Street will consist of a new, six-unit multi-family housing project. The project will consist of a new, six-unit multi-family housing project. The site of 388 E Cordova Street is located in the historic downtown area of Jacksonville, Florida. The site is currently vacant and is surrounded by other multi-family housing projects. The site is well-served by public transportation and is located in a walkable neighborhood. The proposed development will provide a mix of housing types, including single-family detached homes, townhomes, and multi-family units. The development will be designed to be sensitive to the historic character of the neighborhood and to provide a high-quality living environment for its residents. The development will include a mix of housing types, including single-family detached homes, townhomes, and multi-family units. The development will be designed to be sensitive to the historic character of the neighborhood and to provide a high-quality living environment for its residents.

388 E CORDOVA PARKING RATIONALE

The proposed development for the site of 388 E Cordova Street will consist of a new, six-unit multi-family housing project. The project will consist of a new, six-unit multi-family housing project. The site of 388 E Cordova Street is located in the historic downtown area of Jacksonville, Florida. The site is currently vacant and is surrounded by other multi-family housing projects. The site is well-served by public transportation and is located in a walkable neighborhood. The proposed development will provide a mix of housing types, including single-family detached homes, townhomes, and multi-family units. The development will be designed to be sensitive to the historic character of the neighborhood and to provide a high-quality living environment for its residents. The development will include a mix of housing types, including single-family detached homes, townhomes, and multi-family units. The development will be designed to be sensitive to the historic character of the neighborhood and to provide a high-quality living environment for its residents.

LANE



E CORDOVA STREET

1 SITE PLAN
SCALE: 1/8" = 1'-0"

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A0.05

DATE: 10/15/2014
PROJECT: 388 E CORDOVA RENOVATION
SHEET: 1 OF 1

NO. OF SHEETS: 1
SHEET NO.: 1

DATE: 10/15/2014
PROJECT: 388 E CORDOVA RENOVATION
SHEET: 1 OF 1

NO. OF SHEETS: 1
SHEET NO.: 1

DATE: 10/15/2014
PROJECT: 388 E CORDOVA RENOVATION
SHEET: 1 OF 1

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SHEET: 1 OF 1

NO. OF SHEETS: 1
SHEET NO.: 1

DATE: 10/15/2014
PROJECT: 388 E CORDOVA RENOVATION
SHEET: 1 OF 1

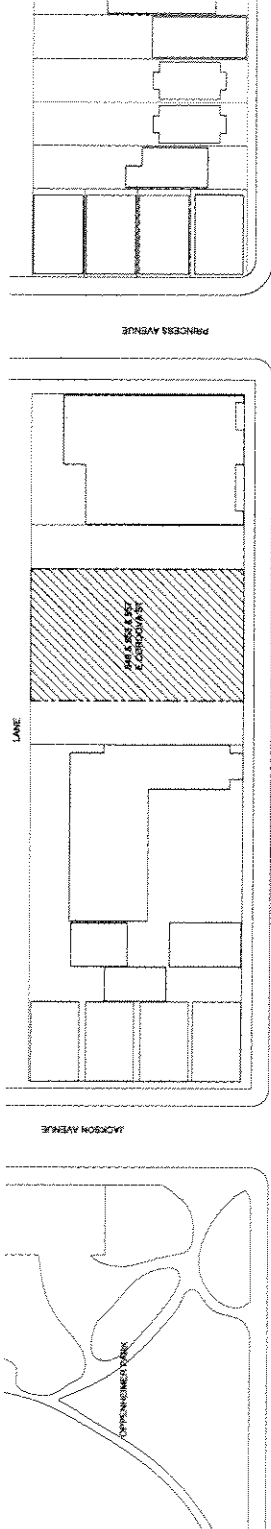
NO. OF SHEETS: 1
SHEET NO.: 1

DATE: 10/15/2014
PROJECT: 388 E CORDOVA RENOVATION
SHEET: 1 OF 1

NO. OF SHEETS: 1
SHEET NO.: 1

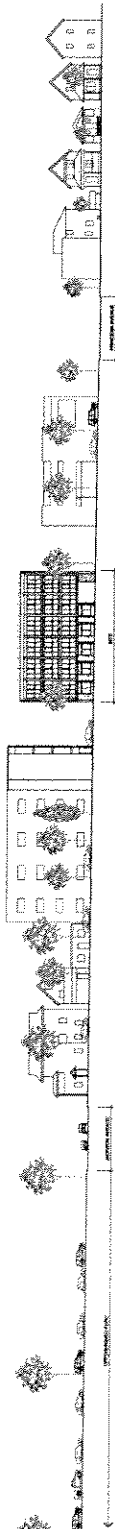
DATE: 10/15/2014
PROJECT: 388 E CORDOVA RENOVATION
SHEET: 1 OF 1

NO. OF SHEETS: 1
SHEET NO.: 1



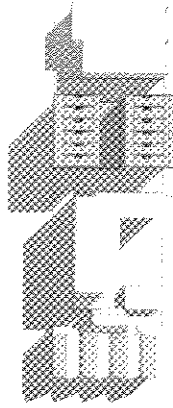
21
SCALE: 1/8" = 1'-0"

STREET CONTEXT PLAN



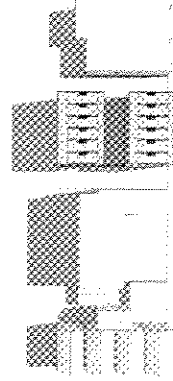
22
SCALE: 1/8" = 1'-0"

STREETSCAPE



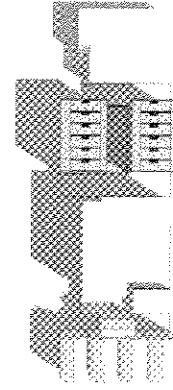
23
SCALE: 1/8" = 1'-0"

MARCH 21 - 1000



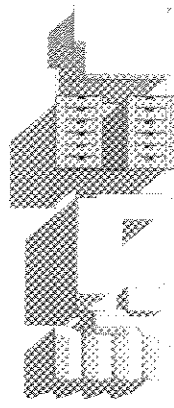
24
SCALE: 1/8" = 1'-0"

MARCH 21 - 1200



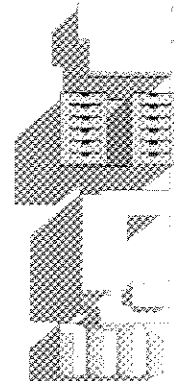
25
SCALE: 1/8" = 1'-0"

MARCH 21 - 1400



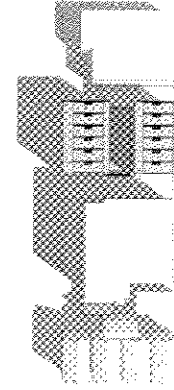
26
SCALE: 1/8" = 1'-0"

SEPTEMBER 21 - 1000



27
SCALE: 1/8" = 1'-0"

SEPTEMBER 21 - 1200



28
SCALE: 1/8" = 1'-0"

SEPTEMBER 21 - 1400

DATE: _____

PROJECT: _____

SCALE: _____

DATE: _____

PROJECT: _____

SCALE: _____

DATE: _____

PROJECT: _____

SCALE: _____

DATE: _____

PROJECT: _____

SCALE: _____

DATE: _____

PROJECT: _____

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PROJECT: _____

SCALE: _____

DATE: _____

PROJECT: _____

SCALE: _____

DATE: _____

PROJECT: _____

SCALE: _____

DATE: _____

PROJECT: _____

SCALE: _____

Appendix D; page 6 of 25

DATE: 09/18/2012
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

SCALE: 1/8" = 1'-0"
 SHEET: A0.07

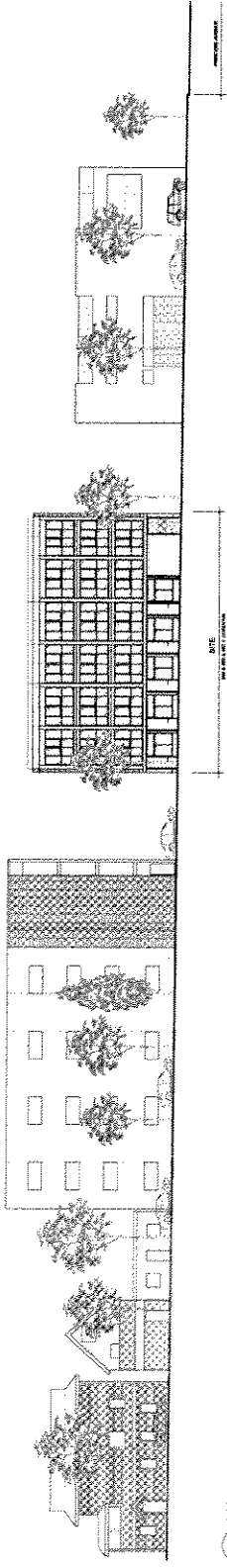
THIS DRAWING IS THE PROPERTY OF [FIRM]
 AND IS NOT TO BE REPRODUCED OR
 TRANSMITTED IN ANY FORM OR BY ANY
 MEANS, ELECTRONIC OR MECHANICAL,
 INCLUDING PHOTOCOPYING, RECORDING,
 OR BY ANY INFORMATION STORAGE AND
 RETRIEVAL SYSTEM, WITHOUT THE
 WRITTEN PERMISSION OF [FIRM]

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	09/18/2012
2	ISSUED FOR PERMIT	09/18/2012
3	ISSUED FOR PERMIT	09/18/2012
4	ISSUED FOR PERMIT	09/18/2012
5	ISSUED FOR PERMIT	09/18/2012
6	ISSUED FOR PERMIT	09/18/2012
7	ISSUED FOR PERMIT	09/18/2012
8	ISSUED FOR PERMIT	09/18/2012
9	ISSUED FOR PERMIT	09/18/2012
10	ISSUED FOR PERMIT	09/18/2012

DATE: 09/18/2012
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

SCALE: 1/8" = 1'-0"
 SHEET: A0.07

THIS DRAWING IS THE PROPERTY OF [FIRM]
 AND IS NOT TO BE REPRODUCED OR
 TRANSMITTED IN ANY FORM OR BY ANY
 MEANS, ELECTRONIC OR MECHANICAL,
 INCLUDING PHOTOCOPYING, RECORDING,
 OR BY ANY INFORMATION STORAGE AND
 RETRIEVAL SYSTEM, WITHOUT THE
 WRITTEN PERMISSION OF [FIRM]

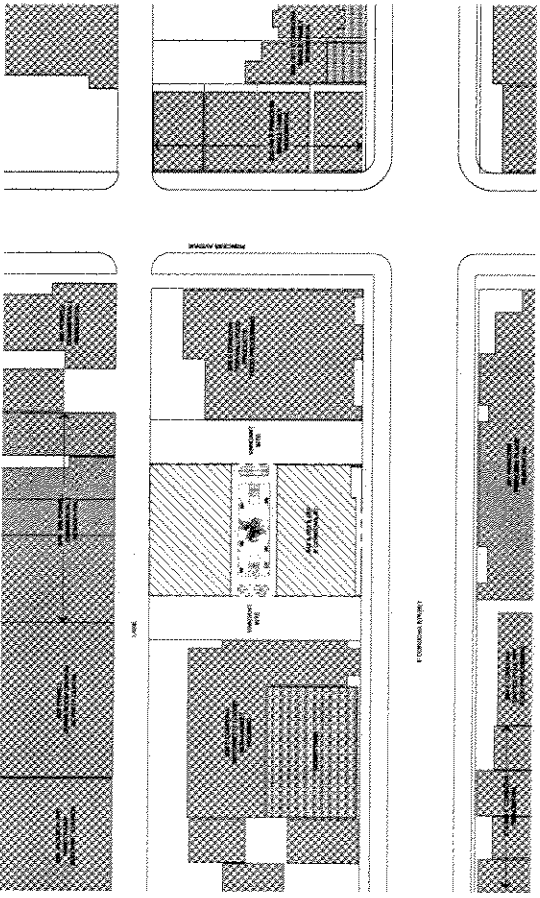


CORDOVA STREET SCAPE
 SCALE: 1/8" = 1'-0"

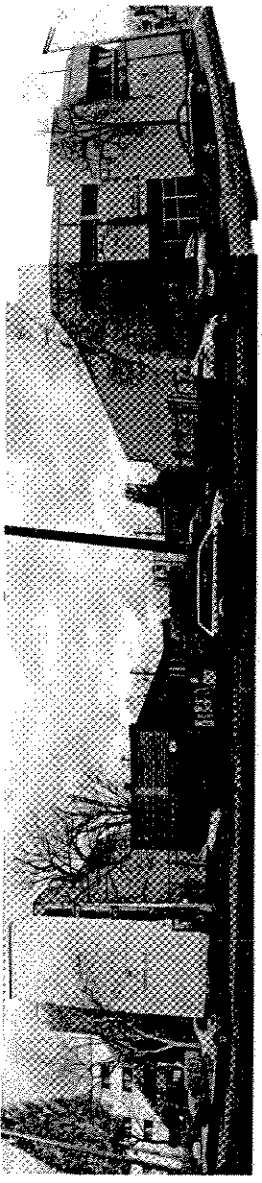


AERIAL PHOTOGRAPHS
 SCALE: 1/8" = 1'-0"

AERIAL PHOTOGRAPHS
 SCALE: 1/8" = 1'-0"



CONTEXT PLAN
 SCALE: 1/8" = 1'-0"



VIEW FROM CORDOVA STREET
 SCALE: 1/8" = 1'-0"

VIEW FROM CORDOVA STREET
 SCALE: 1/8" = 1'-0"

Appendix D; page 7 of 25

A0.07

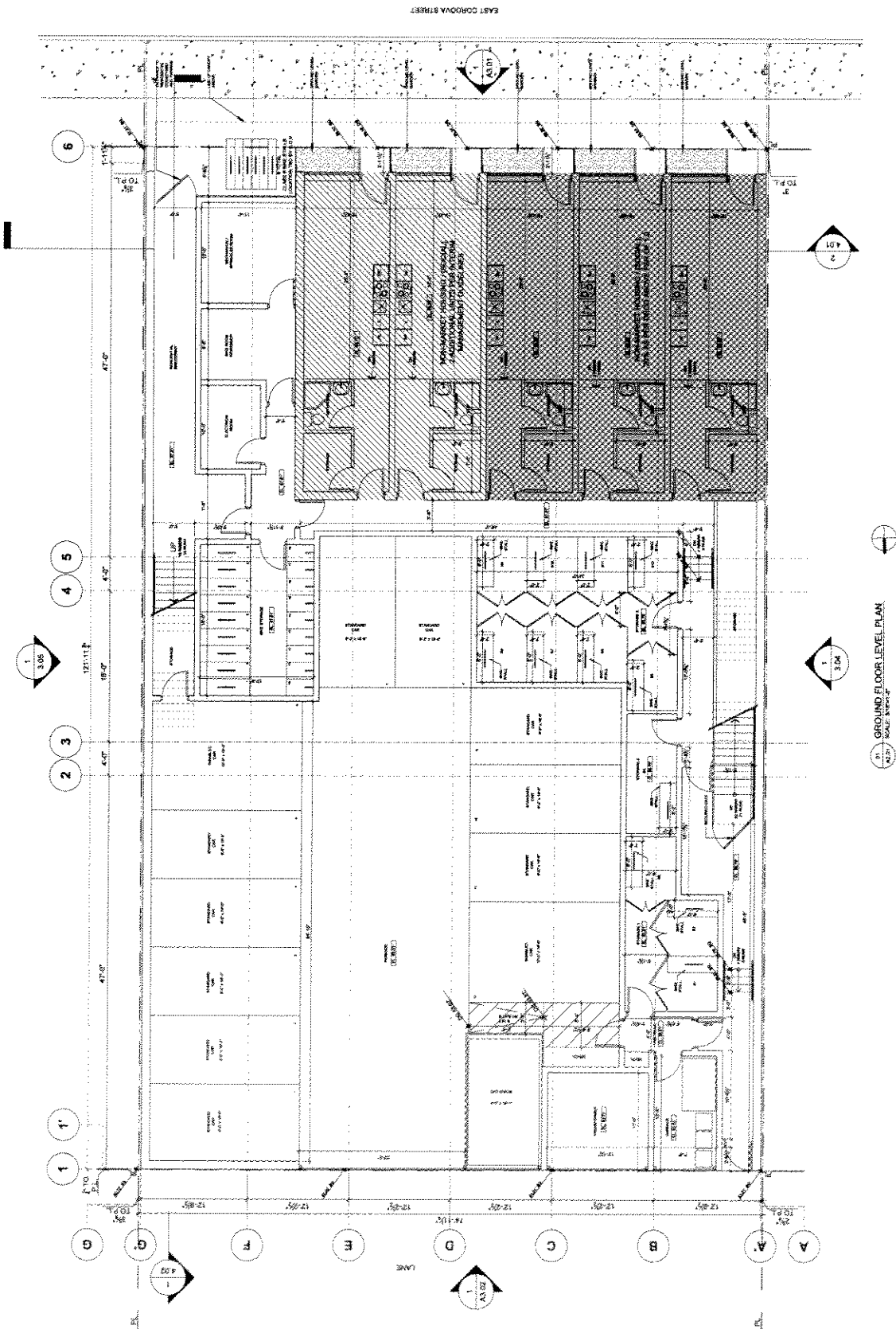
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (DIR) BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (DIR) BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES AND THE CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS (DIR) BEFORE COMMENCING CONSTRUCTION.

CASTLELLI ARCHITECTS
 1000 W. 10TH STREET, SUITE 200
 LOS ANGELES, CA 90057
 TEL: (213) 481-1111
 FAX: (213) 481-1112
 WWW.CASTLELLIARCHITECTS.COM

ROTH
 1000 W. 10TH STREET, SUITE 200
 LOS ANGELES, CA 90057
 TEL: (213) 481-1111
 FAX: (213) 481-1112
 WWW.ROTHARCHITECTS.COM

605 EAST CORDOVA
 605 EAST CORDOVA STREET
 LOS ANGELES, CA 90014
 PROJECT NO. 10000000000000000000
 SHEET NO. A2.01
 DATE: 08/14/2014
 DRAWN BY: J. [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]
 ALL NOTED ON A2.01

A2.01



Appendix D; page 9 of 25

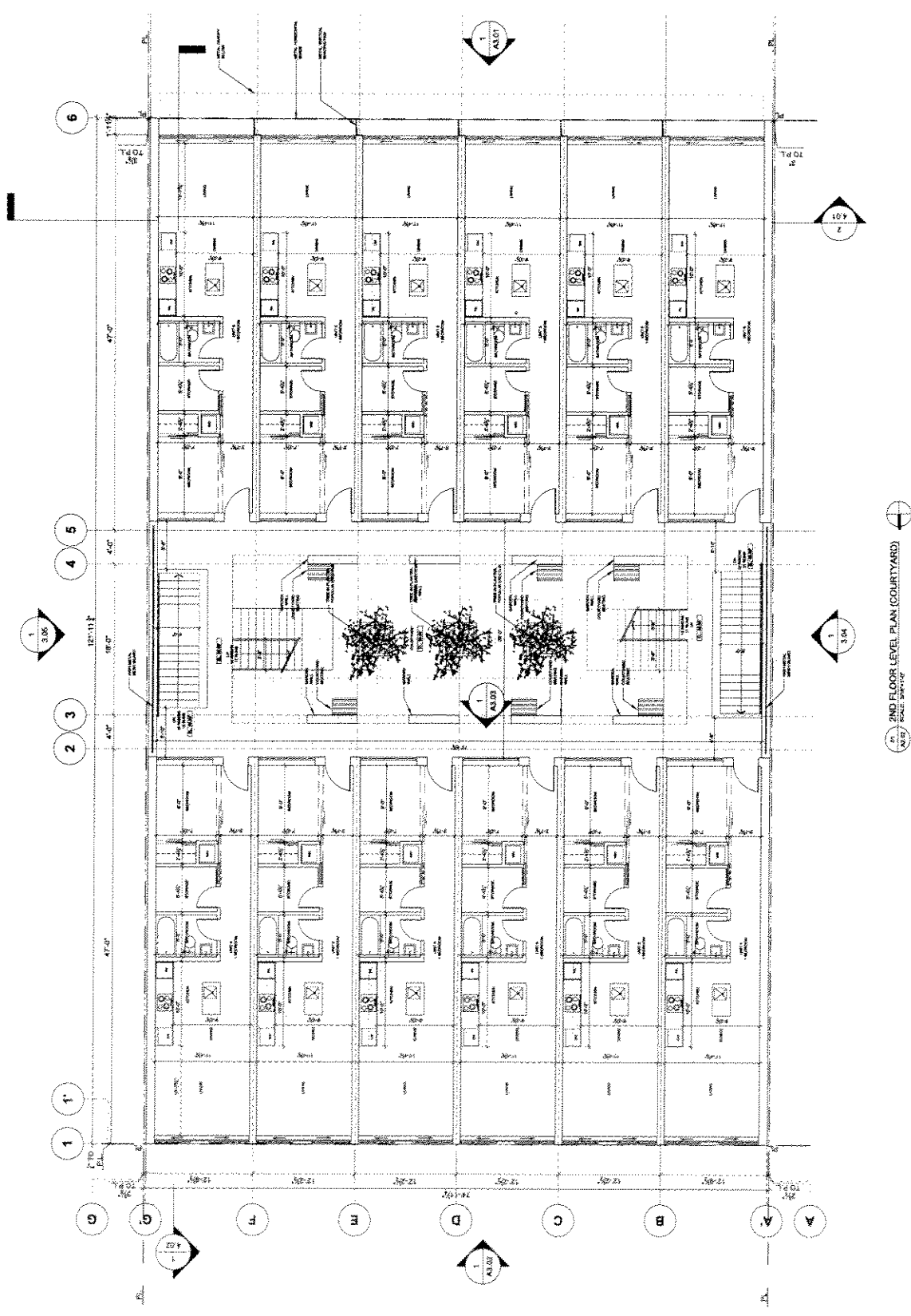
NOTES:
 1. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC) AND ALL APPLICABLE LOCAL ORDINANCES.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND HEATING CODE (IPC) AND ALL APPLICABLE LOCAL ORDINANCES.
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND ALL APPLICABLE LOCAL ORDINANCES.
 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AND ALL APPLICABLE LOCAL ORDINANCES.
 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SMOKE AND ALARM CODE (ISAC) AND ALL APPLICABLE LOCAL ORDINANCES.
 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SAFETY CODE (ISC) AND ALL APPLICABLE LOCAL ORDINANCES.
 9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE OF BOATS (ICB) AND ALL APPLICABLE LOCAL ORDINANCES.
 10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODE OF BOATS (ICB) AND ALL APPLICABLE LOCAL ORDINANCES.

DAVID WILLIAMS ARCHITECTS
 1000 EAST CORONADO STREET, SUITE 100
 SAN ANTONIO, TEXAS 78204
 TEL: 214.520.1234
 FAX: 214.520.1235
 WWW.DAVIDWILLIAMSARCHITECTS.COM

BOHO
 1000 EAST CORONADO STREET, SUITE 100
 SAN ANTONIO, TEXAS 78204
 TEL: 214.520.1234
 FAX: 214.520.1235
 WWW.BOHODENVER.COM

PROJECT: 001 EAST CORONADO
 1000 EAST CORONADO STREET, SUITE 100
 SAN ANTONIO, TEXAS 78204
 ARCHITECT: DAVID WILLIAMS ARCHITECTS
 DATE: 08/15/2018
 DRAWING NO.: 2018-001-001
 SHEET NO.: 01 OF 01
 SCALE: AS SHOWN
 PROJECT STATUS: FOR PERMITTING
 PROJECT TYPE: RESIDENTIAL

A2.02



Appendix D; page 10 of 25

CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO BE COMPAIRED ON SITE
 IN THE PRESENCE OF THE ARCHITECT AND THE GENERAL CONTRACTOR
 BEFORE WORKING COMMENCEMENT.
 NOT FOR CONSTRUCTION
 FOR INFORMATION PURPOSES ONLY

GARRETT LAMBSON ARCHITECTS
 1000 15th Street, NW
 Washington, DC 20004
 Phone: 202.462.1000
 Fax: 202.462.1001
 www.garrett-lambson.com

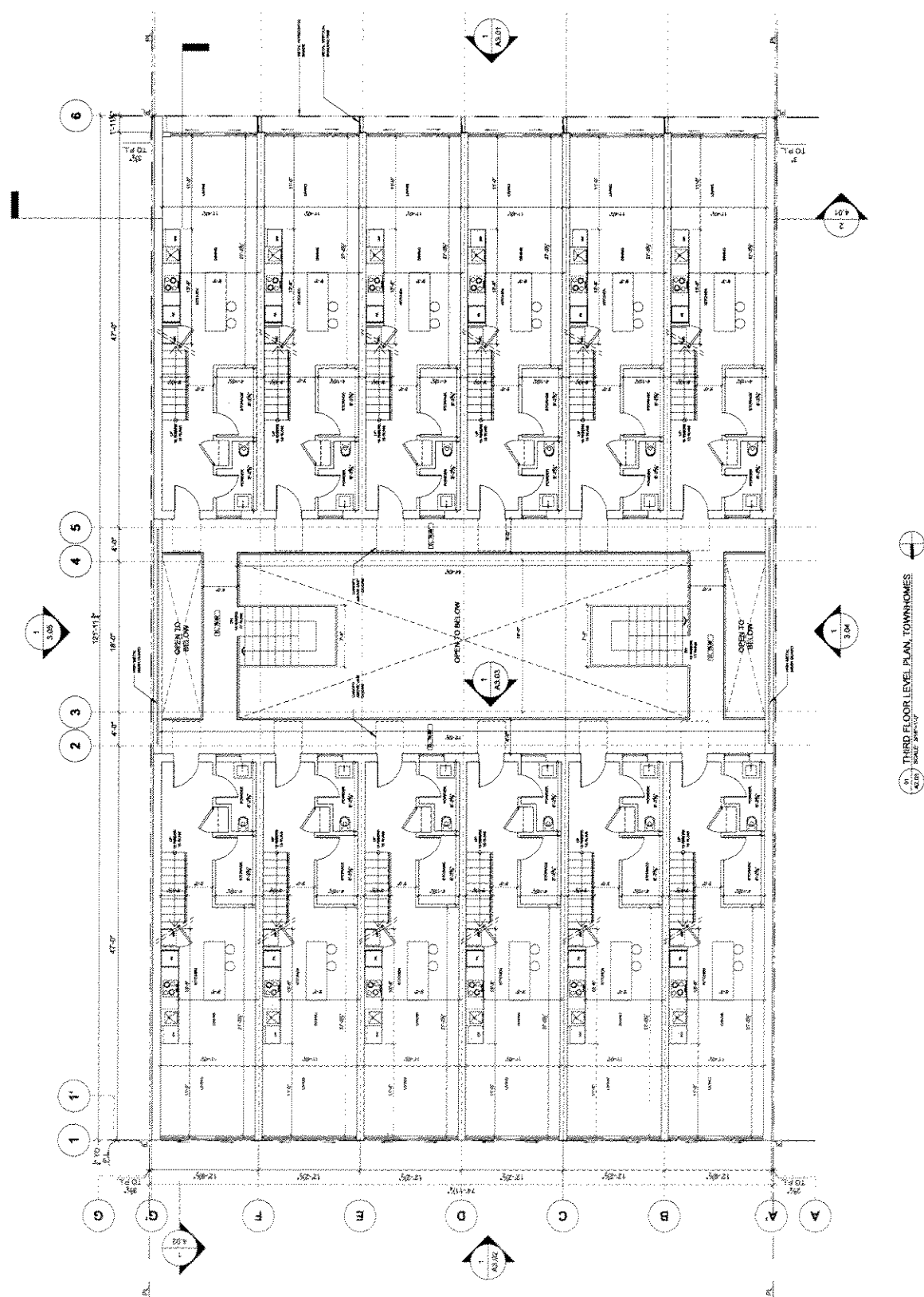
BOHO

BOHO HOME CONSTRUCTION, INC.
 1000 15th Street, NW
 Washington, DC 20004
 Phone: 202.462.1000
 Fax: 202.462.1001
 www.bohome.com

SEE EAST CORRIDOR
 SECTION 100000 - FINISHES
 WALLS
 CEILING
 FLOORING
 MILLWORK
 PAINT

SHEET NO. A2.03
 DATE: 08/15/2011
 PROJECT: BOHO HOME CONSTRUCTION, INC.
 1000 15th Street, NW
 Washington, DC 20004
 PHONE: 202.462.1000
 FAX: 202.462.1001
 WWW: WWW.BOHOME.COM

A2.03



THIRD FLOOR LEVEL PLAN, TOWNHOMES
 SCALE: 1/8" = 1'-0"

Appendix D : page 11 of 25

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS TO BE COMPLETED ON SITE.
 3. IN THE CASE OF DISCREPANCY BETWEEN DIMENSIONS, THE DIMENSION TO BE COMPLETED ON SITE SHALL PREVAIL.
 4. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF BOSTON DEPARTMENT OF PUBLIC WORKS CONSTRUCTION MANUAL (LATEST EDITION).
 5. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF BOSTON DEPARTMENT OF PUBLIC WORKS CONSTRUCTION MANUAL (LATEST EDITION).

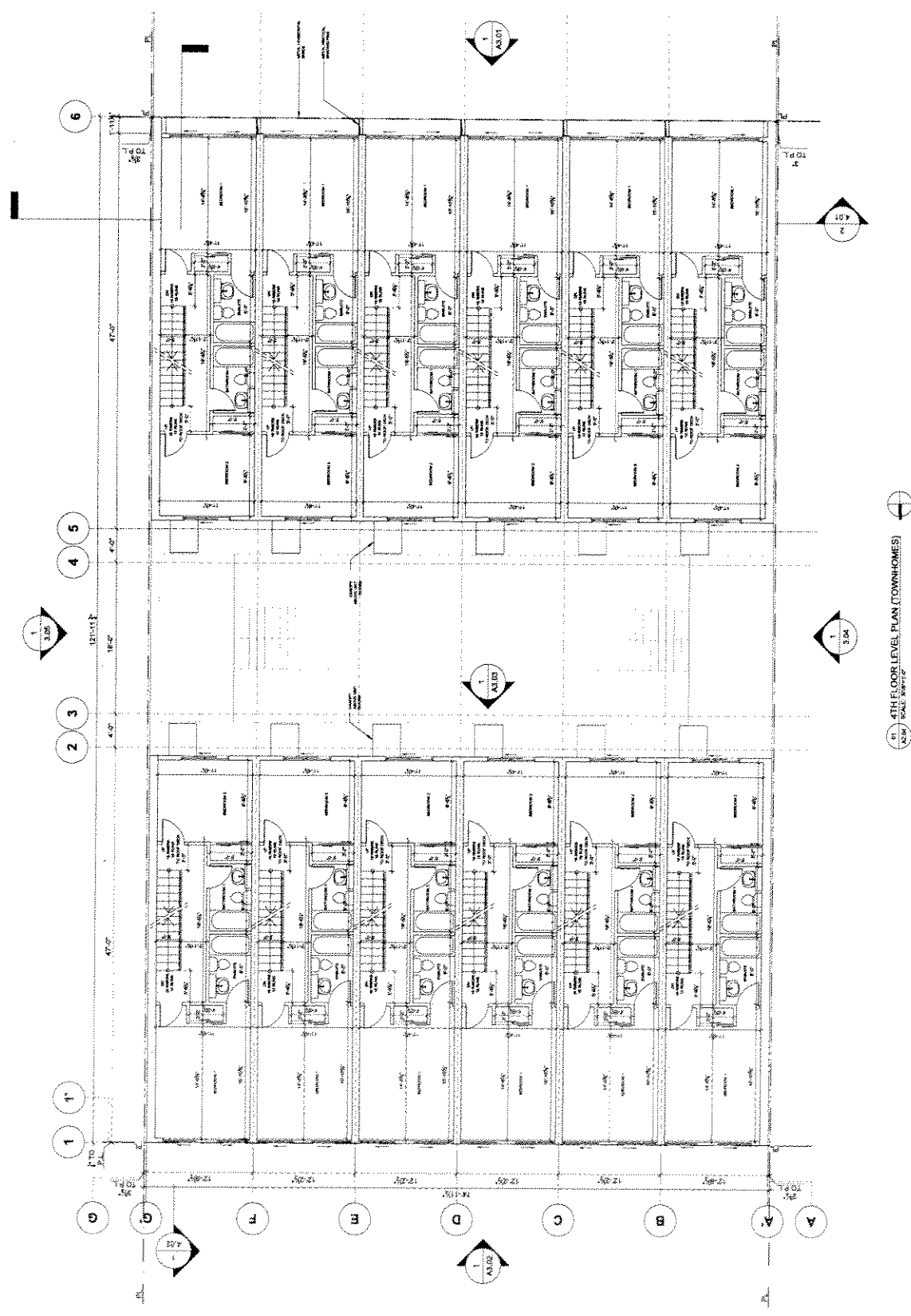
GARY WILLIAMSON ARCHITECTS
 100 STATE STREET, SUITE 200
 BOSTON, MA 02109
 TEL: 617.552.1234
 FAX: 617.552.1235
 WWW: GARYWILLIAMSONARCHITECTS.COM



PROJECT: 4TH FLOOR LEVEL PLAN (TOWNHOMES)
 LOCATION: 100 STATE STREET, BOSTON, MA
 DATE: 12/20/2018
 DRAWN BY: J. WILSON
 CHECKED BY: G. WILLIAMSON
 SCALE: AS SHOWN

DATE: 12/20/2018
 DRAWN BY: J. WILSON
 CHECKED BY: G. WILLIAMSON
 SCALE: AS SHOWN
 PROJECT: 4TH FLOOR LEVEL PLAN (TOWNHOMES)
 LOCATION: 100 STATE STREET, BOSTON, MA
 DATE: 12/20/2018
 DRAWN BY: J. WILSON
 CHECKED BY: G. WILLIAMSON
 SCALE: AS SHOWN

A2.04



Appendix D; page 12 of 25

1. ALL DIMENSIONS TO BE COMPLETED ON SITE
 2. IN THE CASE OF DISCREPANCY, THE DIMENSIONS TO BE USED SHALL BE THOSE SHOWN ON THIS DRAWING
 3. ALL DIMENSIONS TO BE COMPLETED ON SITE

DO NOT SCALE DRAWINGS
 ALL DIMENSIONS TO BE COMPLETED ON SITE
 IN THE CASE OF DISCREPANCY, THE DIMENSIONS TO BE USED SHALL BE THOSE SHOWN ON THIS DRAWING
 4. ALL DIMENSIONS TO BE COMPLETED ON SITE
 5. ALL DIMENSIONS TO BE COMPLETED ON SITE

NO.	REVISION	DATE

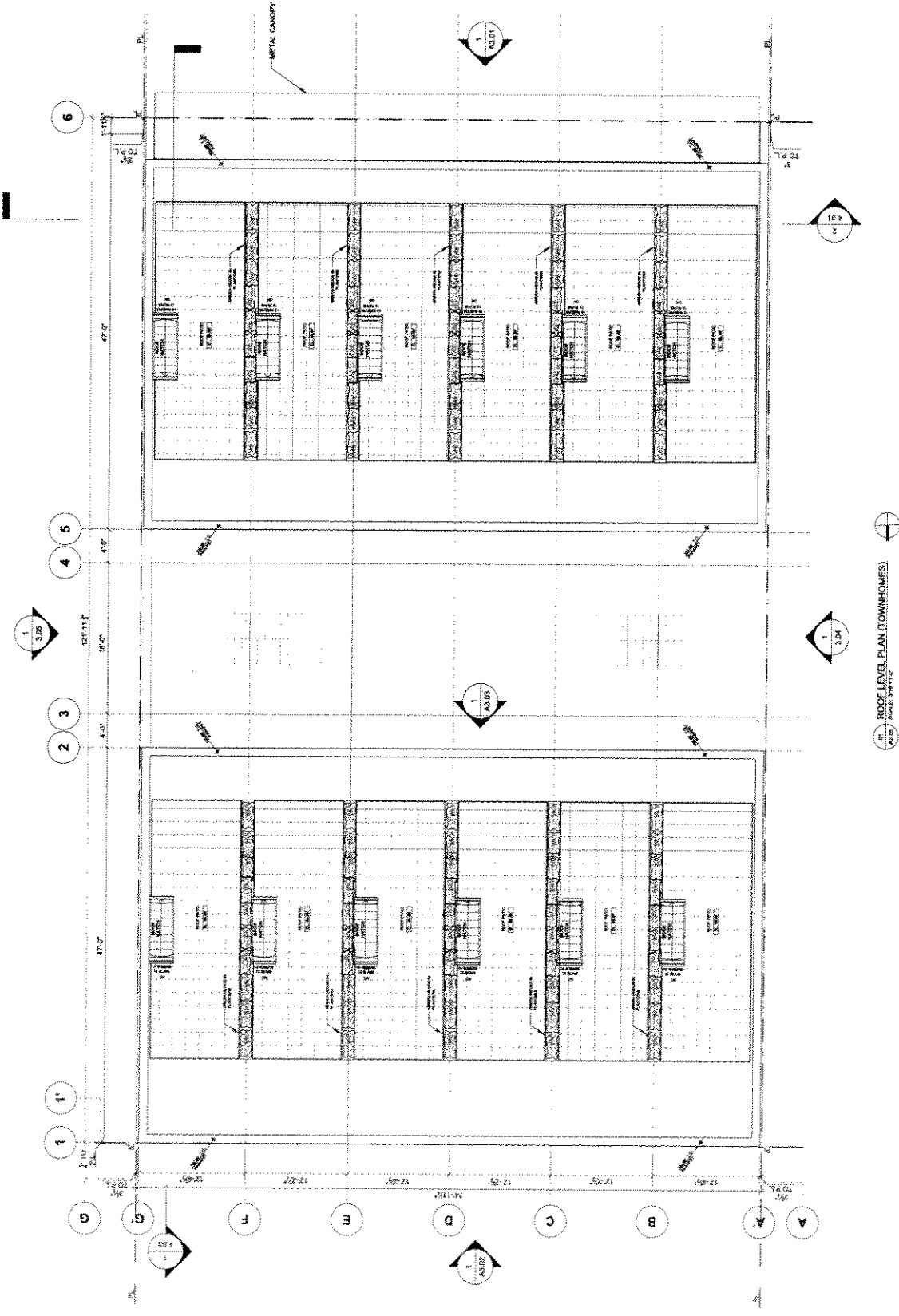
CAROLINE LAMBERSHAM ARCHITECTS
 100 EAST CORONA STREET
 SUITE 200
 WASHINGTON, DC 20002

BOHCO

ALL DIMENSIONS TO BE COMPLETED ON SITE
 IN THE CASE OF DISCREPANCY, THE DIMENSIONS TO BE USED SHALL BE THOSE SHOWN ON THIS DRAWING

PROJECT: 565 EAST CORONA
 565 EAST CORONA STREET
 WASHINGTON, DC 20002
 DRAWING: ROOF LEVEL PLAN
 DATE: 10/20/11
 SCALE: AS SHOWN
 DESIGNER: JAC
 CHECKER: CJK
 APPROVED FOR SUBMITTAL: [Signature]
 APPROVED FOR CONSTRUCTION: [Signature]
 DATE: 10/20/11
 ALL DIMENSIONS TO BE COMPLETED ON SITE

A2.05



Appendix D; page 13 of 25

DATE: 10/15/14
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: 300 EAST CONDOVA

SCALE: 1/8" = 1'-0"

NOTES:
 1. ALL DIMENSIONS TO BE COMPLETED ON SITE.
 2. IN THE CASE OF DISCREPANCY, THE FIELD DIMENSIONS SHALL CONTROL.
 3. VERIFY ALL DIMENSIONS WITH THE ARCHITECT BEFORE CONSTRUCTION.
 4. VERIFY ALL DIMENSIONS WITH THE ARCHITECT BEFORE CONSTRUCTION.

PROJECT: 300 EAST CONDOVA
 SHEET: A3.01

DATE: 10/15/14

GARIBOLDI ARCHITECTS
 1000 EAST CONDOVA STREET
 SUITE 100
 DENVER, CO 80202

BOHO

PROJECT: 300 EAST CONDOVA
 SHEET: A3.01

DATE: 10/15/14

PROJECT: 300 EAST CONDOVA

SHEET: A3.01

SCALE: 1/8" = 1'-0"

DATE: 10/15/14

PROJECT: 300 EAST CONDOVA

SHEET: A3.01

SCALE: 1/8" = 1'-0"

DATE: 10/15/14

PROJECT: 300 EAST CONDOVA

SHEET: A3.01

SCALE: 1/8" = 1'-0"

DATE: 10/15/14

PROJECT: 300 EAST CONDOVA

SHEET: A3.01

SCALE: 1/8" = 1'-0"

DATE: 10/15/14

PROJECT: 300 EAST CONDOVA

SHEET: A3.01

SCALE: 1/8" = 1'-0"

DATE: 10/15/14

PROJECT: 300 EAST CONDOVA

SHEET: A3.01

SCALE: 1/8" = 1'-0"

DATE: 10/15/14

PROJECT: 300 EAST CONDOVA

SHEET: A3.01

SCALE: 1/8" = 1'-0"

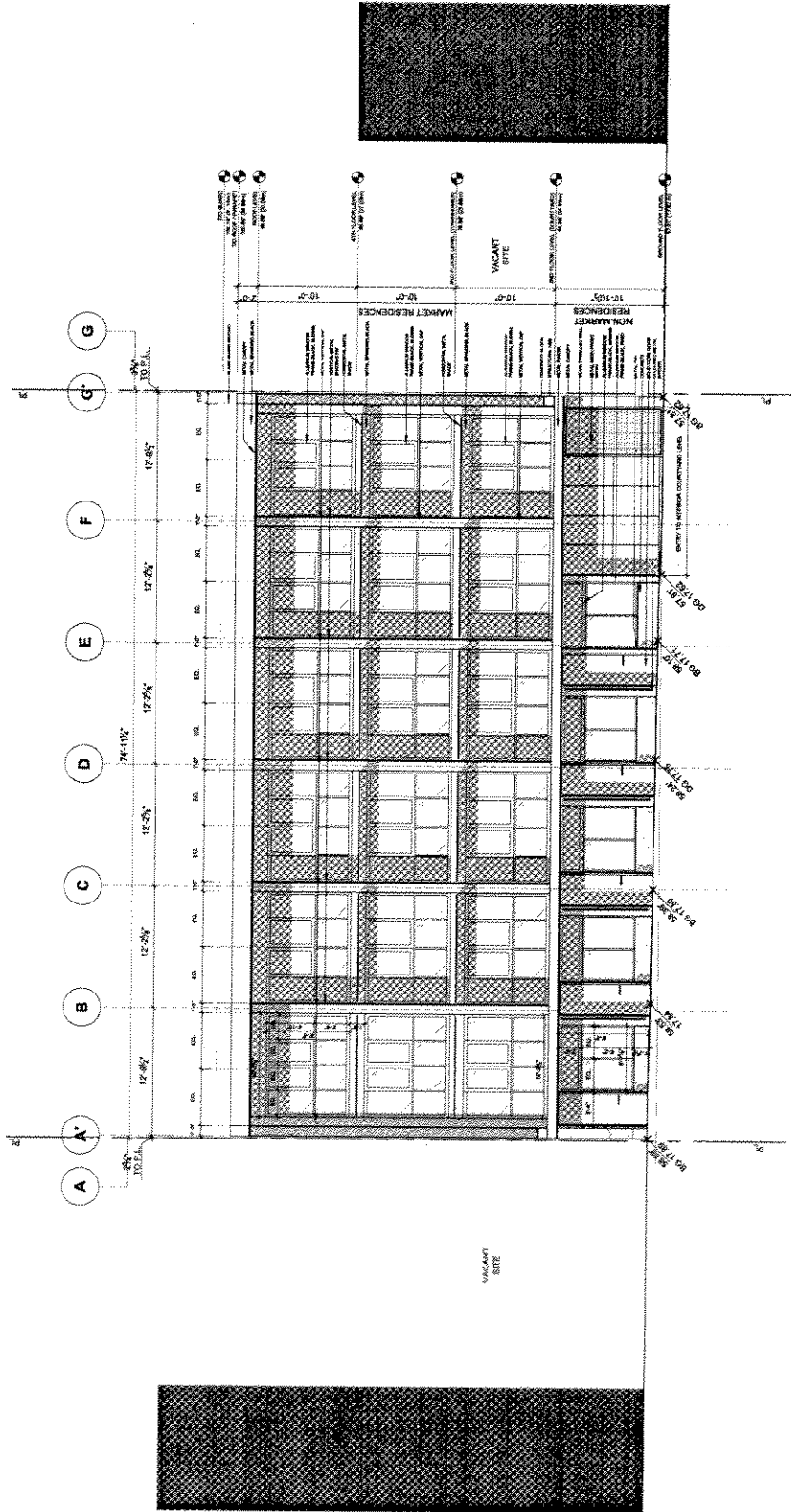
DATE: 10/15/14

PROJECT: 300 EAST CONDOVA

SHEET: A3.01

SCALE: 1/8" = 1'-0"

DATE: 10/15/14



1/8" = 1'-0"
 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

Appendix D ; page 14 of 25

A3.01

NOTES:
 1. ALL DIMENSIONS TO BE CONFORMED TO THE
 2. THE SCALE OF THE DRAWING
 3. THE SCALE OF THE DRAWING
 4. THE SCALE OF THE DRAWING

NOTES:
 1. ALL DIMENSIONS TO BE CONFORMED TO THE
 2. THE SCALE OF THE DRAWING
 3. THE SCALE OF THE DRAWING
 4. THE SCALE OF THE DRAWING

NOTES:
 1. ALL DIMENSIONS TO BE CONFORMED TO THE
 2. THE SCALE OF THE DRAWING
 3. THE SCALE OF THE DRAWING
 4. THE SCALE OF THE DRAWING

NOTES:
 1. ALL DIMENSIONS TO BE CONFORMED TO THE
 2. THE SCALE OF THE DRAWING
 3. THE SCALE OF THE DRAWING
 4. THE SCALE OF THE DRAWING

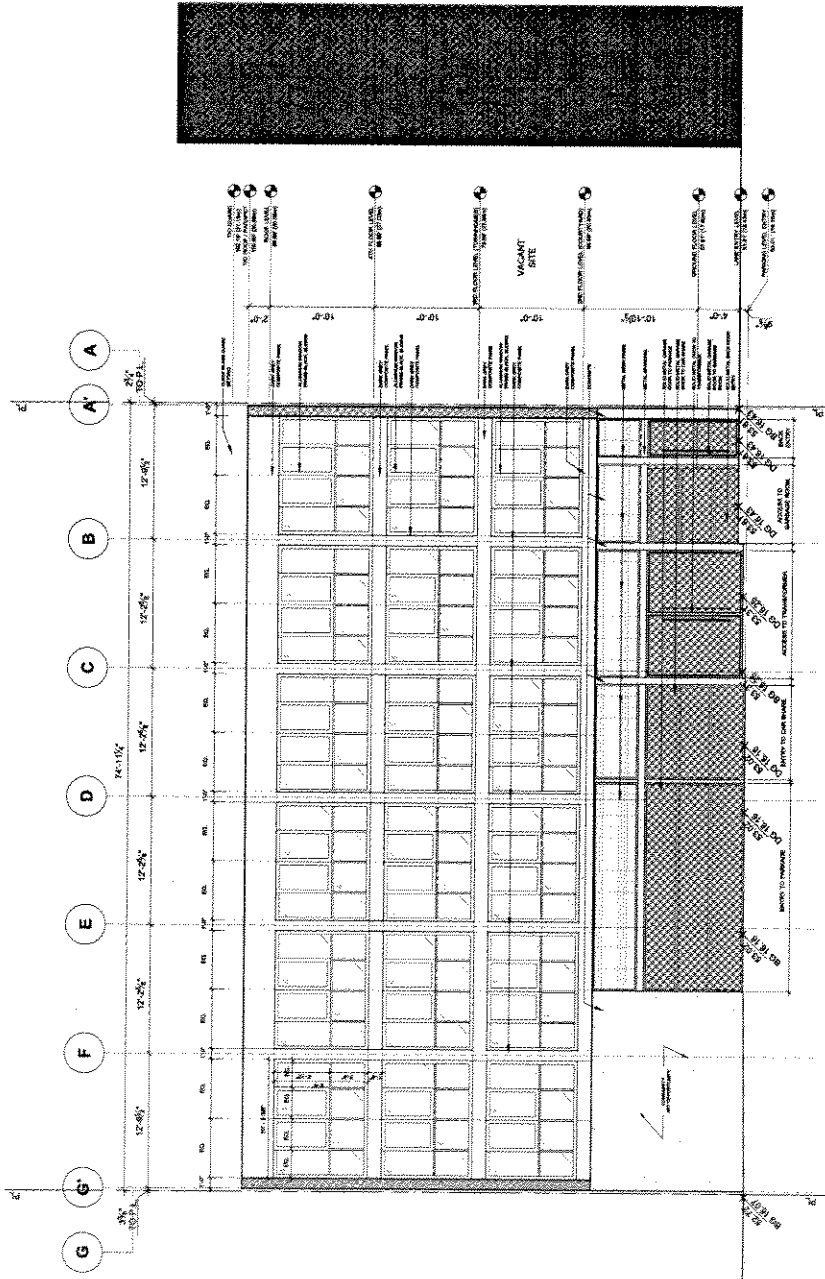
NOTES:
 1. ALL DIMENSIONS TO BE CONFORMED TO THE
 2. THE SCALE OF THE DRAWING
 3. THE SCALE OF THE DRAWING
 4. THE SCALE OF THE DRAWING

BOHO

NOTES:
 1. ALL DIMENSIONS TO BE CONFORMED TO THE
 2. THE SCALE OF THE DRAWING
 3. THE SCALE OF THE DRAWING
 4. THE SCALE OF THE DRAWING

NOTES:
 1. ALL DIMENSIONS TO BE CONFORMED TO THE
 2. THE SCALE OF THE DRAWING
 3. THE SCALE OF THE DRAWING
 4. THE SCALE OF THE DRAWING

A3.02



Appendix D; page 5 of 25

NORTH ELEVATION

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

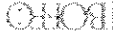
NOTES:

1. ALL DIMENSIONS TO BE COMPARED ON SITE.
 2. ALL DIMENSIONS TO BE COMPARED ON SITE.
 3. IN THE CASE OF DISCREPANCY BETWEEN DIMENSIONS, THE DIMENSIONS SHOWN ON THIS DRAWING SHALL TAKE PRECEDENCE.
 4. NOT FOR CONSTRUCTION.
 5. FOR INFORMATION PURPOSES ONLY.

DATE: 10/25/2017

SCALE: AS SHOWN

500 WILLIAMSBURG ARCHITECTS
 1000 BROADWAY, SUITE 2000
 BROOKLYN, NY 11211



500 WILLIAMSBURG ARCHITECTS
 1000 BROADWAY, SUITE 2000
 BROOKLYN, NY 11211

500 WILLIAMSBURG ARCHITECTS
 1000 BROADWAY, SUITE 2000
 BROOKLYN, NY 11211

500 WILLIAMSBURG ARCHITECTS
 1000 BROADWAY, SUITE 2000
 BROOKLYN, NY 11211

500 WILLIAMSBURG ARCHITECTS
 1000 BROADWAY, SUITE 2000
 BROOKLYN, NY 11211

500 WILLIAMSBURG ARCHITECTS
 1000 BROADWAY, SUITE 2000
 BROOKLYN, NY 11211

500 WILLIAMSBURG ARCHITECTS
 1000 BROADWAY, SUITE 2000
 BROOKLYN, NY 11211

500 WILLIAMSBURG ARCHITECTS
 1000 BROADWAY, SUITE 2000
 BROOKLYN, NY 11211

500 WILLIAMSBURG ARCHITECTS
 1000 BROADWAY, SUITE 2000
 BROOKLYN, NY 11211

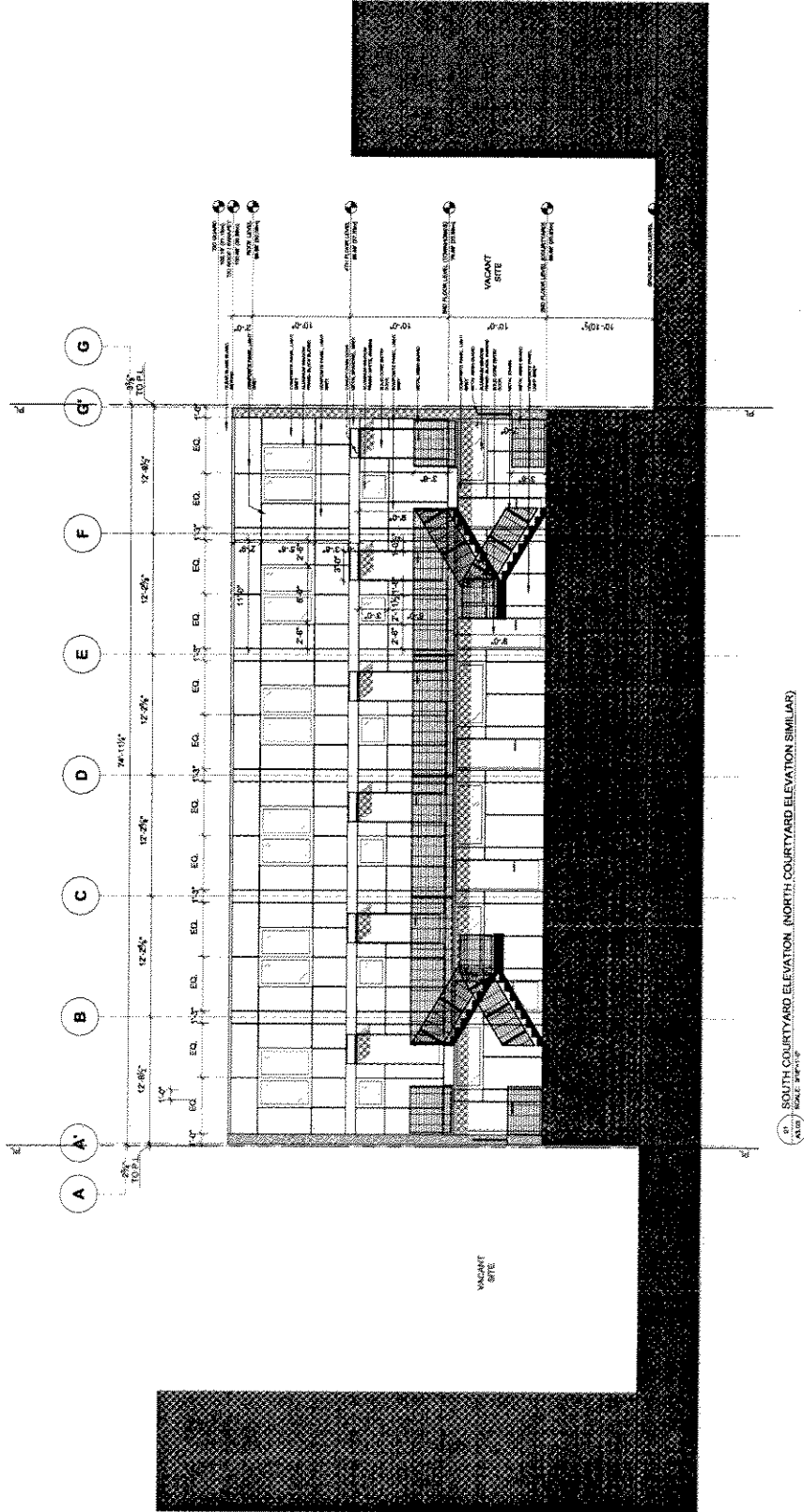
500 WILLIAMSBURG ARCHITECTS
 1000 BROADWAY, SUITE 2000
 BROOKLYN, NY 11211

500 WILLIAMSBURG ARCHITECTS
 1000 BROADWAY, SUITE 2000
 BROOKLYN, NY 11211

500 WILLIAMSBURG ARCHITECTS
 1000 BROADWAY, SUITE 2000
 BROOKLYN, NY 11211

500 WILLIAMSBURG ARCHITECTS
 1000 BROADWAY, SUITE 2000
 BROOKLYN, NY 11211

A3.03



1/8\"/>

Appendix D ; page 16 of 25

DATE: 10/15/13
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

SCALE: AS SHOWN
 ALL DIMENSIONS TO BE COMPARED ON SITE
 ALL DIMENSIONS TO BE COMPARED ON SITE
 ALL DIMENSIONS TO BE COMPARED ON SITE

NOT FOR CONSTRUCTION
 FOR INFORMATION ONLY
 ALL DIMENSIONS TO BE COMPARED ON SITE
 ALL DIMENSIONS TO BE COMPARED ON SITE

DATE: 10/15/13
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

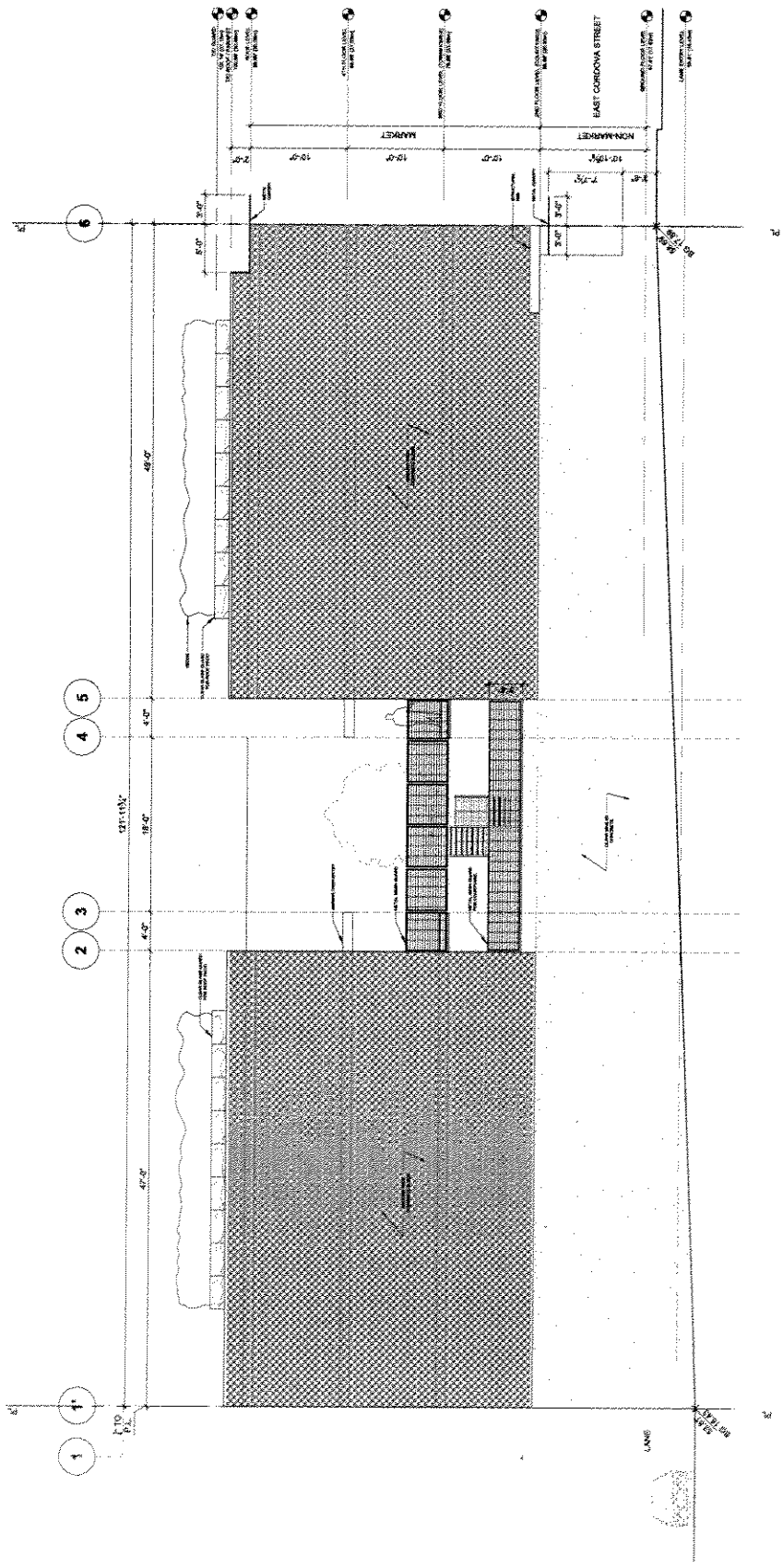
DATE: 10/15/13
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

DATE: 10/15/13
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

DATE: 10/15/13
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

DATE: 10/15/13
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

A3.04



WEST ELEVATION
 10/15/13

Appendix D; page 17 of 25

NOTES:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

DATE: _____

NOTE:
 DO NOT SCALE DIMENSIONS.
 ALL DIMENSIONS TO BE COMPARED ON SITE.
 IN THE CASE OF DISCREPANCY,
 THE CONTRACTOR SHALL CONTACT THE ARCHITECT
 BEFORE MAKING ANY CORRECTIONS.
 NOT FOR CONSTRUCTION.
 PRELIMINARY DRAWING ONLY.

PROJECT NO. _____

DATE: _____

GARWILLIAMS ARCHITECTS
 1000 ...
 ...

BOHO

555 EAST CORDOVA
 ...
 ...

DATE: _____

PROJECT NO. _____

DATE: _____

DATE: _____

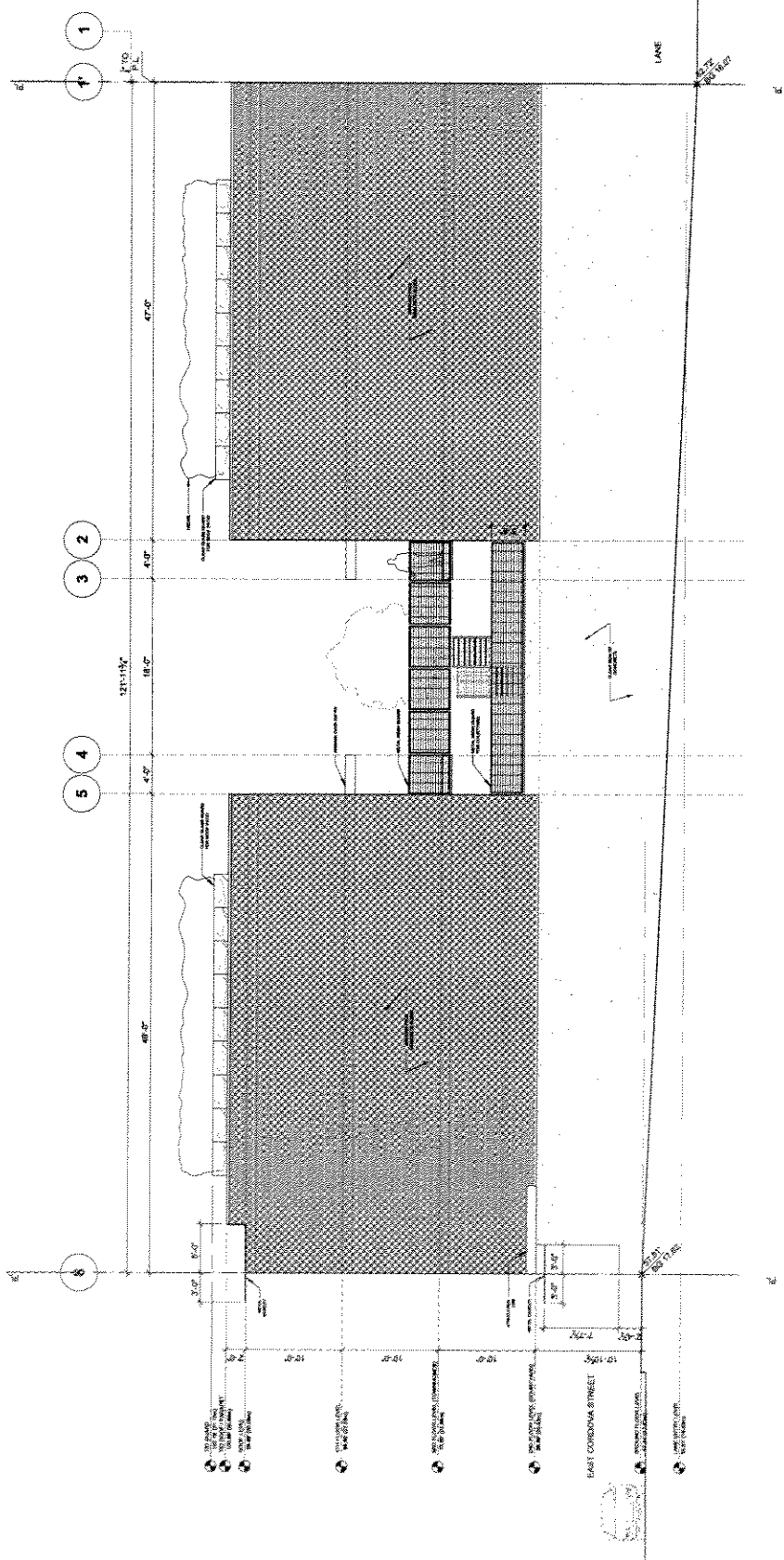
DATE: _____

DATE: _____

DATE: _____

DATE: _____

A3.05



1/8" = 1'-0"
 EAST ELEVATION

Appendix D; page 18 of 25

DATE: 09/15/2012
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT: 100 EAST CORONA STREET, WASHINGTON, DC

ALL DIMENSIONS TO BE CHECKED ON SITE
 IN THE CASE OF DISCREPANCY
 THE ARCHITECT'S DIMENSIONS
 SHALL PREVAIL OVER ALL OTHERS
 INCLUDING DIMENSIONS ON
 PREVIOUS DRAWINGS ONLY

NO.	REVISION	DATE

BOHRO
 BOHRO ARCHITECTS, INC.
 100 EAST CORONA STREET, WASHINGTON, DC 20002
 TEL: 202-462-1000 FAX: 202-462-1001

BOHRO

PROJECT: 100 EAST CORONA STREET, WASHINGTON, DC
 SHEET: A4.01

DATE: 09/15/2012
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN

PROJECT: 100 EAST CORONA STREET, WASHINGTON, DC
 SHEET: A4.01

DATE: 09/15/2012
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN

PROJECT: 100 EAST CORONA STREET, WASHINGTON, DC
 SHEET: A4.01

DATE: 09/15/2012
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN

PROJECT: 100 EAST CORONA STREET, WASHINGTON, DC
 SHEET: A4.01

DATE: 09/15/2012
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN

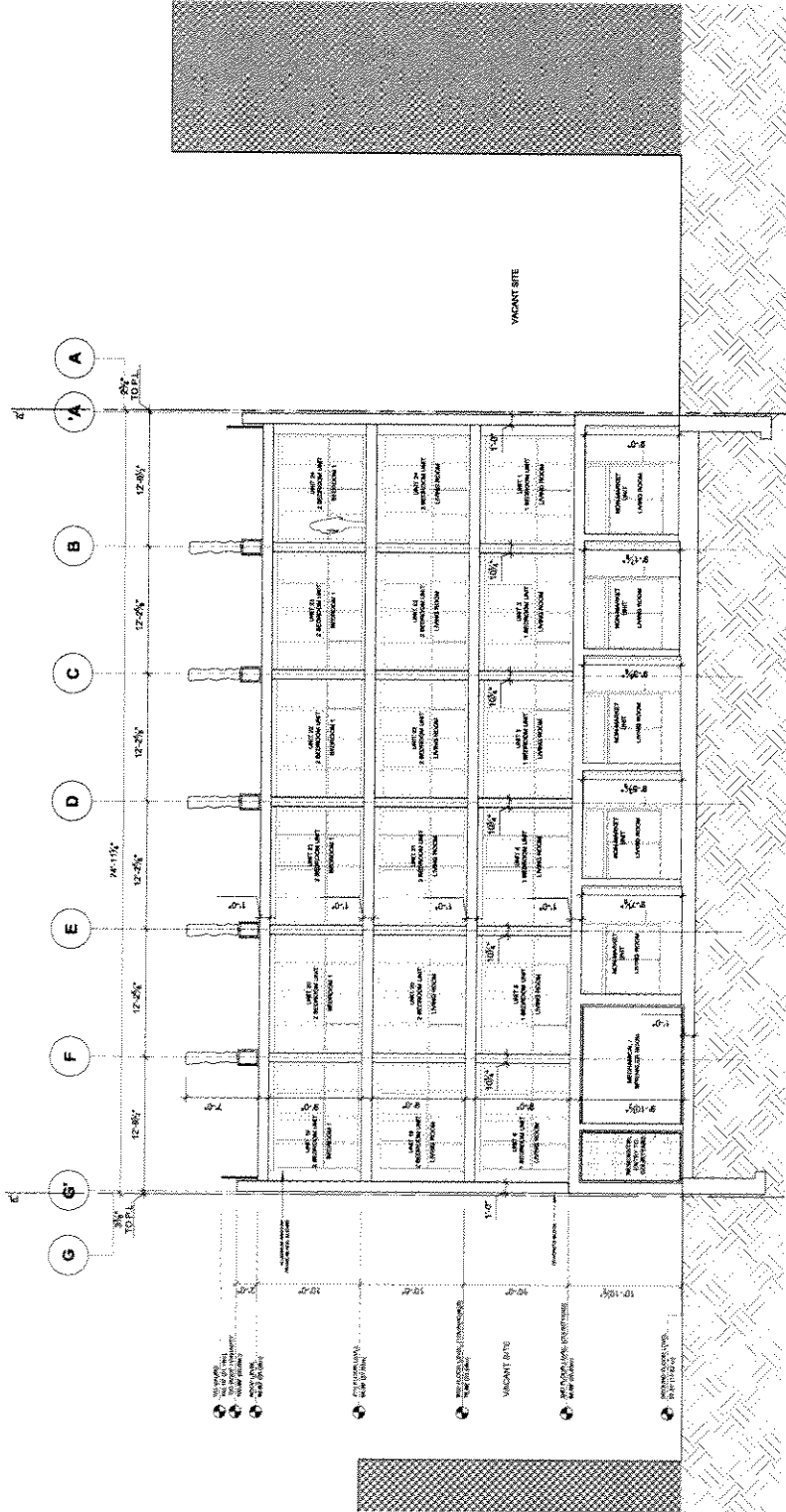
PROJECT: 100 EAST CORONA STREET, WASHINGTON, DC
 SHEET: A4.01

DATE: 09/15/2012
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN

PROJECT: 100 EAST CORONA STREET, WASHINGTON, DC
 SHEET: A4.01

DATE: 09/15/2012
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN

PROJECT: 100 EAST CORONA STREET, WASHINGTON, DC
 SHEET: A4.01



CROSS SECTION
 SCALE: 1/8" = 1'-0"

Appendix D ; page 9 of 25

DATE: 10/20/10
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]

SCALE: AS SHOWN
 ALL DIMENSIONS TO BE CONFIRMED ON SITE
 IN THE CASE OF DISCREPANCY
 THE ARCHITECT'S DRAWINGS SHALL
 PREVAIL OVER THE PHOTOGRAPHIC
 RECORD DRAWINGS.
 THIS DRAWING IS FOR CONSTRUCTION ONLY.

NO.	REVISION	DATE

GAUTRELL-LAMBORN ARCHITECTS
 1000 17th Street, NW
 Atlanta, GA 30334
 Phone: 404.525.1100
 Fax: 404.525.1101
 Website: www.gautrell-lamborn.com



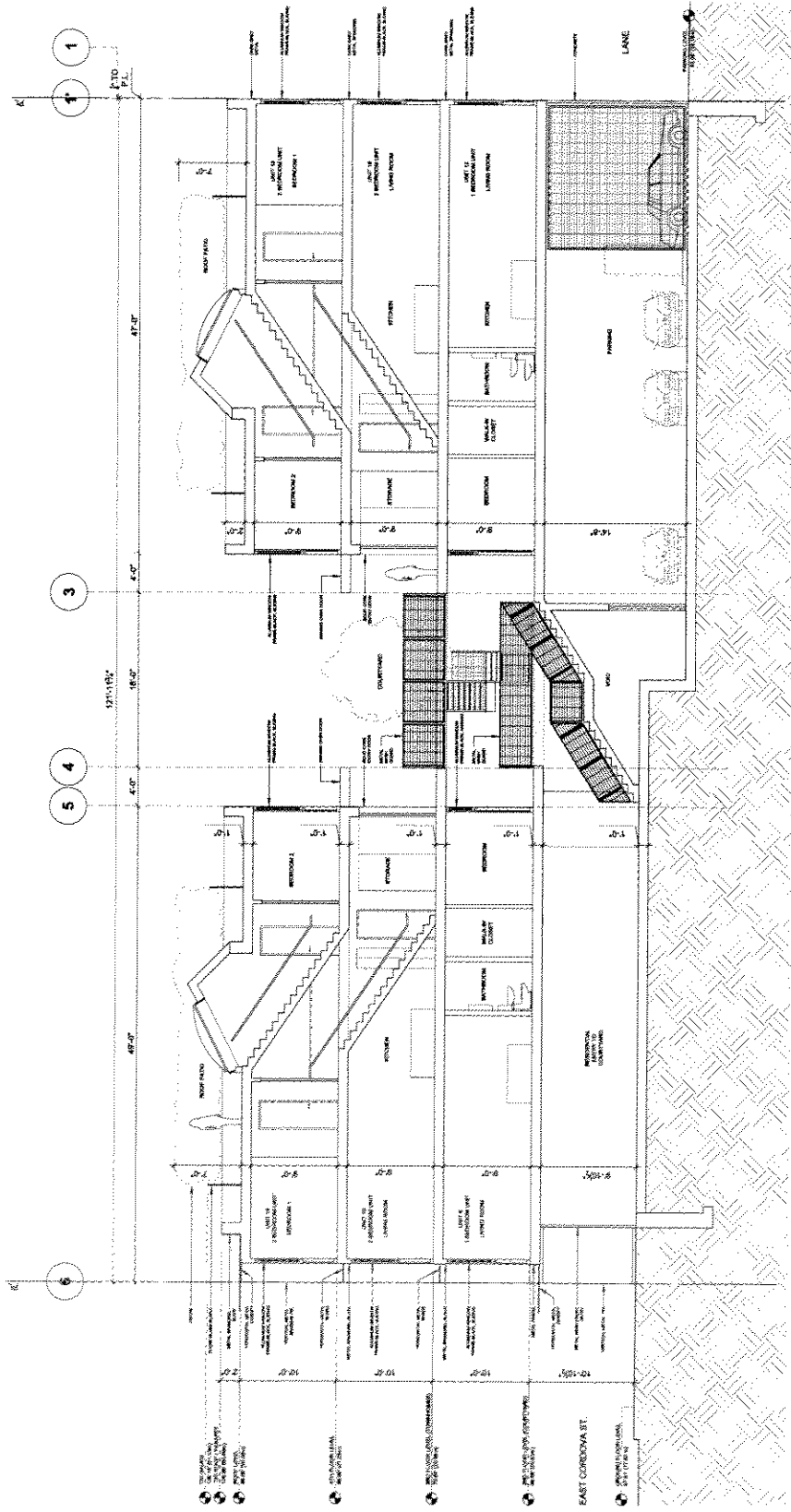
PROJECT: [Name]
 LOCATION: [Name]
 DATE: [Date]

SEE EAST CORONA
 AND EAST CORONA STREET
 VIEWS FOR
 PROPOSED LONGITUDINAL SECTION

DATE: [Date]
 DRAWN BY: [Name]
 CHECKED BY: [Name]

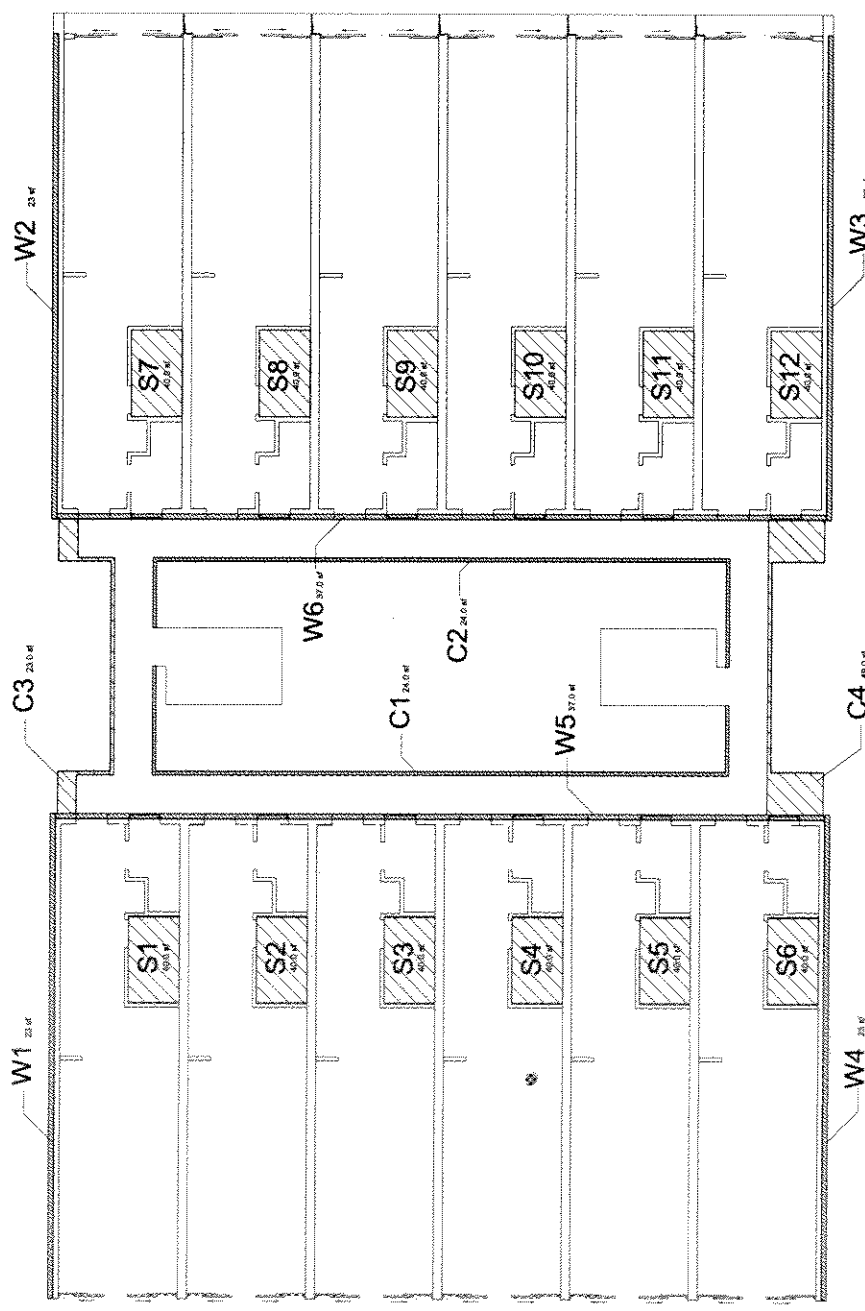
PROJECT: [Name]
 LOCATION: [Name]
 DATE: [Date]

A4.02



41 LONGITUDINAL SECTION
 SCALE: 3/8"=1'-0"

Appendix D ; page 20 of 25



PROPOSED THIRD FLOOR FSR OVERLAY, TOWNHOMES
 1/4" = 1'-0" SCALE, NORTH

3RD FLOOR	
GROSS FLOOR AREA	7,775.0 sf
AREA EXCLUSIONS	786.0 sf
AREA EXCLUSIONS: <ul style="list-style-type: none"> - 11-113 STAIRWELL (43.0 sf, 0.5%) - C1 (COMMUNITY AMENITY) (24.0 sf, 0.3%) - C2 (COMMUNITY AMENITY) (24.0 sf, 0.3%) - W1 (STAIRWELL WALL) (24.0 sf, 0.3%) - W2 (STAIRWELL WALL) (24.0 sf, 0.3%) - W3 (STAIRWELL WALL) (24.0 sf, 0.3%) - W4 (STAIRWELL WALL) (24.0 sf, 0.3%) - W5 (STAIRWELL WALL) (24.0 sf, 0.3%) - W6 (STAIRWELL WALL) (24.0 sf, 0.3%) 	
TOTAL FSR AREA	7,000.0 sf

TOTAL FSR	
SITE AREA	9,150.0 sf
FLOOR AREAS AFTER EXCLUSIONS	
GROUND	2,460.0 sf
SECOND	2,077.0 sf
THIRD	2,000.0 sf
FOURTH	5,775.0 sf
FIFTH	10.0 sf
TOTAL NET AREA	13,362.0 sf
FSR	2.8

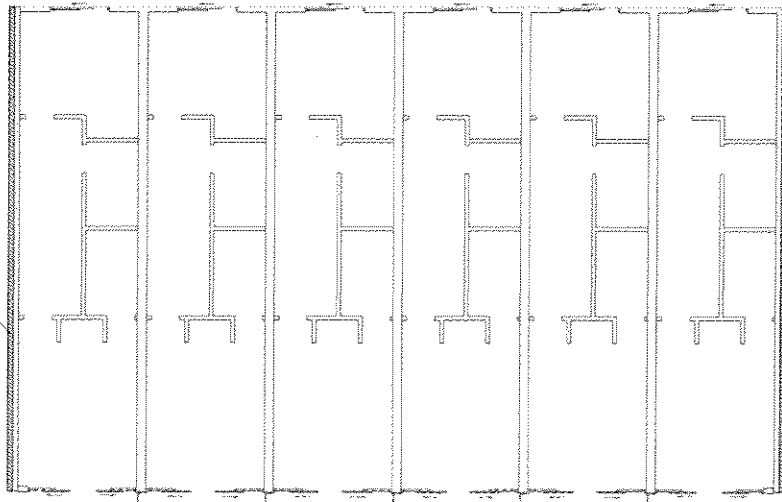
NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 5. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND MANNER AT ALL TIMES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
 7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 8. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 9. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND MANNER AT ALL TIMES.

CAHILL WILLIAMS ARCHITECTS
 1000 15th Street, Suite 1000
 San Francisco, CA 94103
 (415) 774-1100
 www.cahillwilliams.com

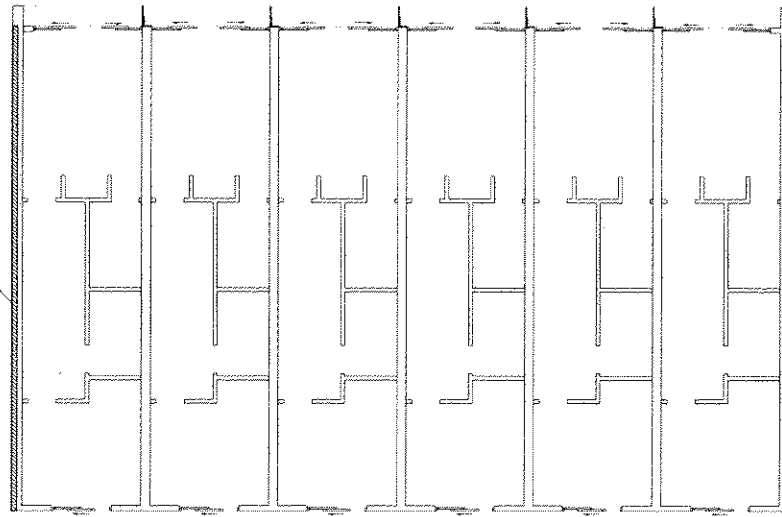
PROJECT: 3RD FLOOR FSR OVERLAY, TOWNHOMES
 SHEET: A8.03
 DATE: 08/15/2023
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT LOCATION: 1500 15th Street, San Francisco, CA 94103

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W1 23' 4"



W2 23' 4"



W4 23' 4"

W3 23' 4"

4TH FLOOR LEVEL PLAN FSR OVERLAY, TOWNHOMES
 SCALE: 3/8"=1'-0"



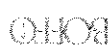
4TH FLOOR	
GROSS FLOOR AREA	8,641.0 SF
AREA EXCLUSIONS	93.0 SF
NET FLOOR AREA (23' 4" x 114.1')	8,548.0 SF
TOTAL FSR AREA	8,765.0 SF

TOTAL FSR	
SITE AREA	8,150.0 SF
FLOOR AREAS AFTER EXCLUSIONS	
GROUND	2,960.0 SF
SECOND	7,077.0 SF
THIRD	7,096.0 SF
FOURTH	6,776.0 SF
ROOF	63.0 SF
TOTAL NET AREA	23,968.0 SF
FSR	2.9

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 PROJECT NO.: _____
 SHEET NO.: _____

DO NOT SCALE DIMENSIONS
 ALL DIMENSIONS TO BE COMPARED ON SITE
 IN THE CASE OF DISCREPANCY
 BETWEEN DRAWING AND FIELD
 RECORDS, FIELD RECORDS SHALL CONTROL
 NOT FOR CONSTRUCTION
 FOR ARCHITECT'S INFORMATION ONLY

GAHWILLIAMSONARCHITECTS
 1000 BROADWAY, SUITE 200
 NEW YORK, NY 10018



DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 PROJECT NO.: _____
 SHEET NO.: _____

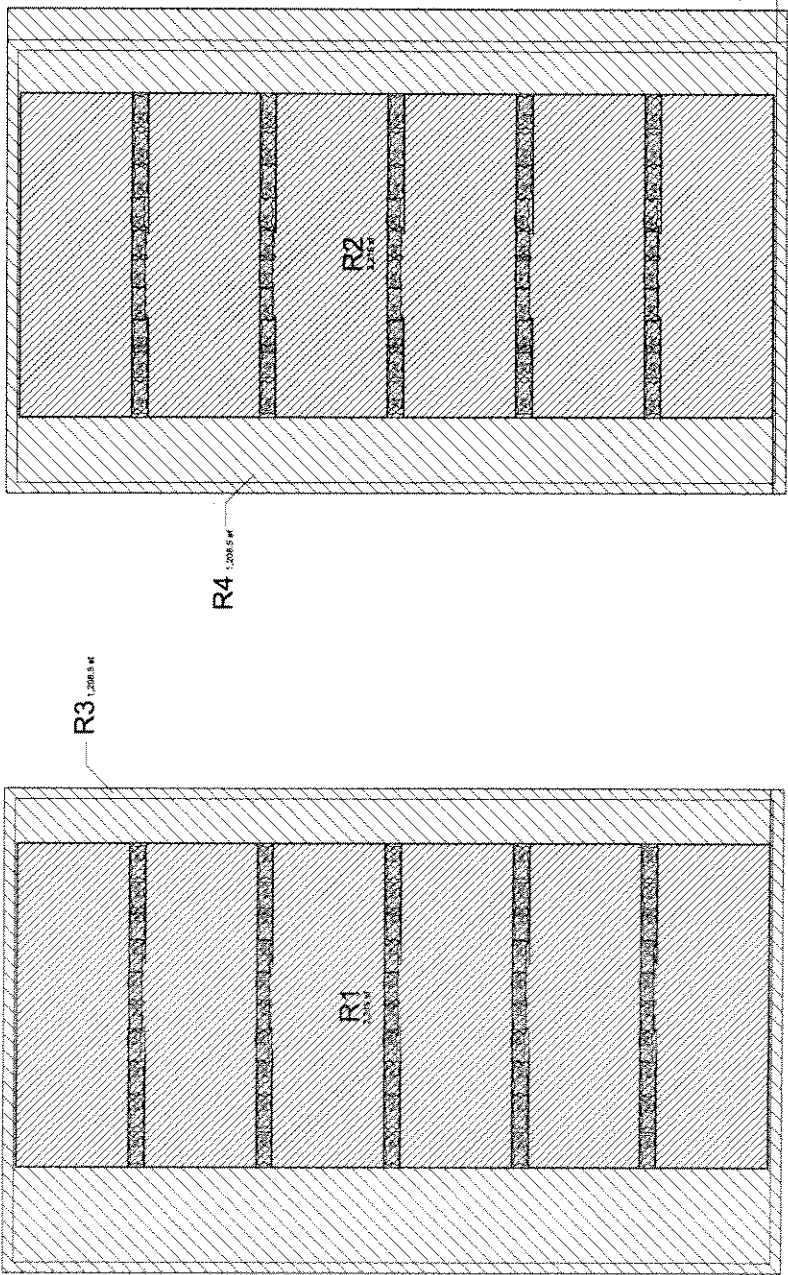
555 EAST CORDOVA
 NEW YORK, NY 10017

PROJECT NO.: _____
 SHEET NO.: _____

SCALE: _____

A8.04

Appendix D: page 24 of 26



R3 1,208.8 sf

R4 1,208.8 sf

R1

R2

ROOF LEVEL PLAN FSR OVERLAY, TOWNHOMES
SCALE: 3/8"=1'-0"

GROUND FLOOR	8847.0 sf
GROSS FLOOR AREA	8847.0 sf
AREA EXCLUSIONS	4,845.0 sf
IN THE GROUND FLOOR	2,077.0 sf
(NOT INCLUDING TOWER SPACES)	2,768.0 sf
TOTAL NET AREA	3,999.0 sf

TOTAL FSR	6,195.0 sf
SITE AREA	6,195.0 sf
FLOOR AREAS AFTER EXCLUSIONS	
GROUND	5,850.0 sf
SECOND	7,077.0 sf
THIRD	7,077.0 sf
FOURTH	6,178.0 sf
FIFTH	6,178.0 sf
TOTAL NET AREA	23,360.0 sf
FSR	2.5

DATE: 08/11/2011
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 ALL DIMENSIONS TO BE COMPARED ON SITE
 IN THE NAME OF THE ARCHITECT
 BEFORE WORK CAN COMMENCE
 NOT FOR CONSTRUCTION
 (PLANNING/PERMITTING ONLY)

LAURENCE ARCHITECTS
 1000 WEST 10TH AVENUE
 SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111
 WWW.LAURENCEARCHITECTS.COM

DATE: 08/11/2011
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 ALL DIMENSIONS TO BE COMPARED ON SITE
 IN THE NAME OF THE ARCHITECT
 BEFORE WORK CAN COMMENCE
 NOT FOR CONSTRUCTION
 (PLANNING/PERMITTING ONLY)

A8.05

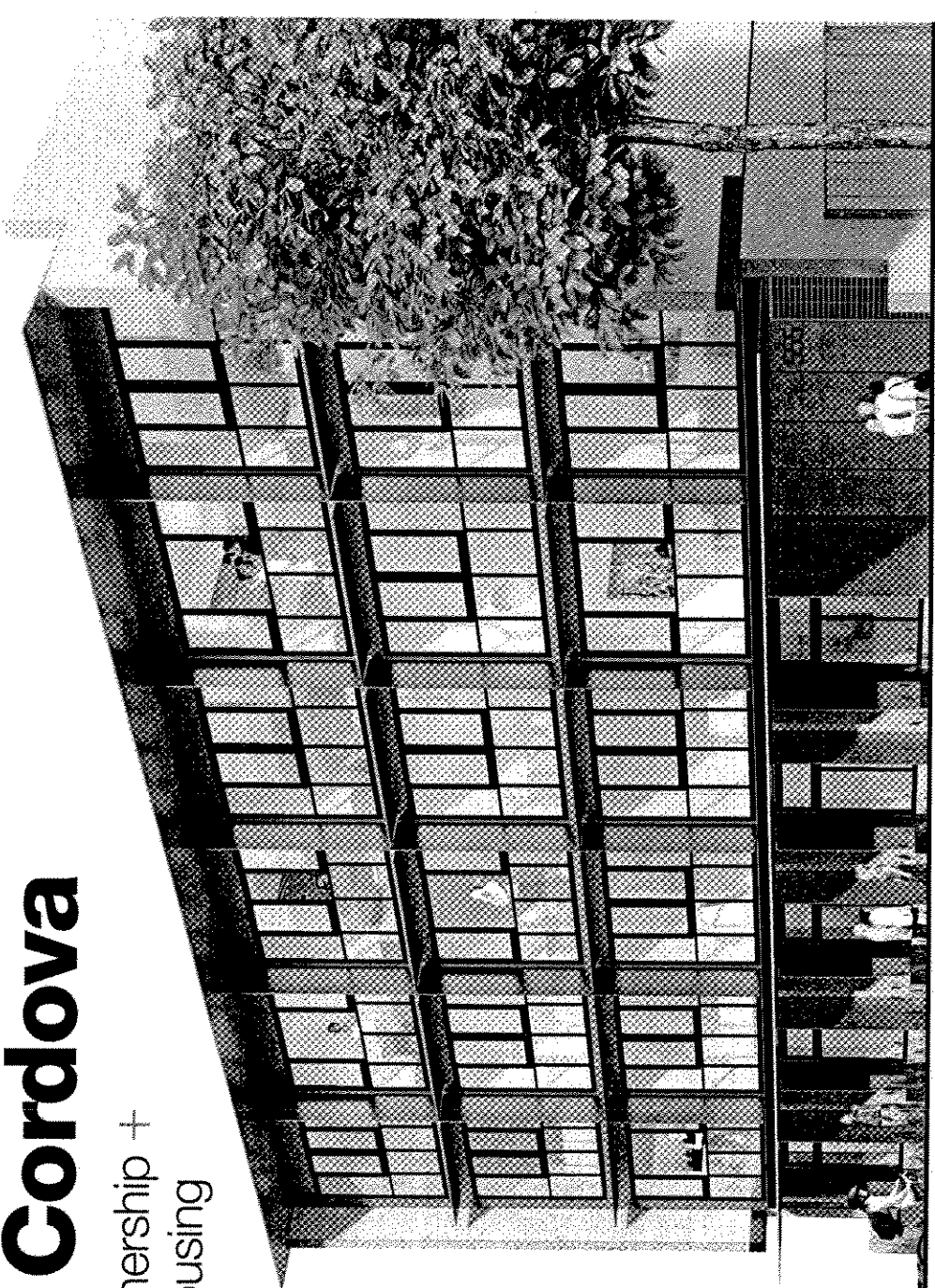
Appendix D; page 25 of 25

555 East Cordova

Achievable Home Ownership +
Non-Market Rental Housing



GAIRWILLIAMSONARCHITECTS
community builders group
EMERGING AT WORK



555 East Cordova | Boffo + CBG

Executive Summary

Achievable Home Ownership

Achievable Family Housing

Non-Market Rental

Community Revitalization Without Displacement

Brownfield Renewal

Enhanced Bike Facilities

Reduced Vehicle Parking + Community Car Share

Community Art Opportunity

About

Boffo Family of Companies

"We are a company founded on a set of time-honoured principles. We have been so since our inception in 1983. We create and build homes and commercial properties that we can be proud of. That you can enjoy for years to come. We are the Boffo Family of Companies. Our name is on everything we do, and it has been for two generations. We love what we do and we believe in the properties we develop. It's why we stand behind our work with our family name. Our father founded his company. Under his guidance, we are here to continue the tradition, integrity, focus, hard work. We strive to honour our past and celebrate the future."

- Flavia and Daniel Boffo

From building design, right through to property management, we care about creating places, not just spaces. The Boffo Family of Companies founded by Jacinto Boffo originally in 1983 as Boffo Bros. Landscaping and Construction, is a second generation family real estate company led by his daughter and son, Flavia and Daniel Boffo. Boffo Homes Inc. encompasses our residential developments. For our industrial and commercial endeavours, there's Boffo Properties Inc. And Boffo Building Inc. oversees construction project management initiatives. Together, with a team of industry leading professionals, we share the same passion, values, and drive to ensure our Boffo Family of Companies is always one step ahead.

A belief in developing a sense of community is also a deep held value. We founded the Boffo Foundation to build on this belief and help others. The Boffo Foundation exists because we believe in a sense of community. We seek out community programs where we think we can make a lasting difference and so far this has taken us from the streets of Vancouver to the Watoto villages in Africa. Whether it is by giving the gift of time by volunteering or providing material support, our commitment is a long term one. Just like the foundations of the buildings we create.

As a team, the Boffo Family of Companies honours our rich past while celebrating our future.

To learn more, visit us at www.boffofamilyofcompanies.com.

Gair Williamson Architects
Gair Williamson Architects was founded in 2002 and has since been focused on urban densification and a concern for the city as a repository of cultural memory.

We believe that densification in inner city neighbourhoods leads to deeper social interaction and civic accountability, and we pursue the retention of cultural memory through a clear distinction between the existing urban fabric and our contemporary interventions.

To facilitate these aspirations, our work strives to unite the often opposing interests of the community and developer and the conflicting priorities of the art of architecture and the economics of the marketplace.

Of particular interest to the firm are critical explorations into the larger social and cultural issues pertaining to the architecture of affordable housing and a reconsideration of the 21st century workplace.

Within our portfolio of housing, office, assembly, and restaurant projects we believe that pursuing the craft of architecture can result in an architecture of lasting relevance.

Context

South Elevation

This proposed development for the site of 549-557 East Cordova Street will consist of a mix of non-market rental (social) housing and achievable home ownership totaling 29 units in an outright Dwelling use within the DECO - Sub Area 2 zoning requirements.

The 5 units of social housing are located at the ground level fronting East Cordova Street with 24 units of achievable home ownership located on the second, third and fourth levels.

The non-market housing fronting the street will be set back three feet to provide covered entries and small gardens for these units.

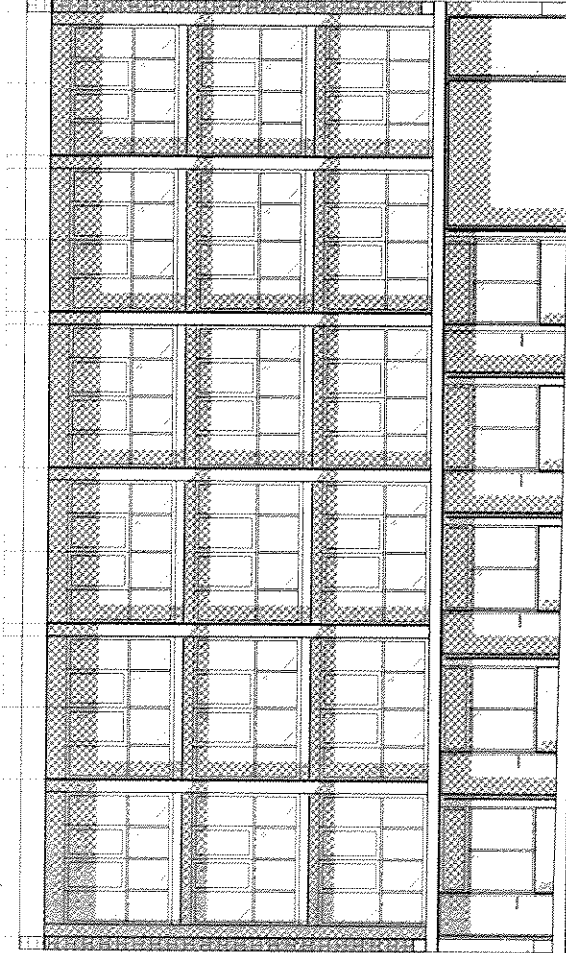
The upper level achievable market housing will be accessed from an exterior second floor common courtyard that is entered through a breezeway from the street.

This interior courtyard will provide for maximum security as well as a landscaped outdoor area for the 12 second floor residences, and will be a sound buffer from Cordova Street traffic.

A third floor exterior gallery above the courtyard gives access to 12 two-story, double aspect family-oriented townhomes with expansive roof decks.

The architectural character of the project will contribute to the evolving Cordova streetscape by developing a modern architectural vocabulary that references both the local historical industrial buildings in the area and the heritage houses that enter directly from the street.

The south facing Cordova Street facade of the project is distinguished by burnished metal sunscreens that filter light to the upper floor units and by coloured corten steel panels at grade that mark the entries to the ground floor non-market homes. These sunscreens visually define each home and establish a dynamic presence on Cordova Street that will change throughout the day as the play of shadows shifts across the facade.



Context

North Elevation

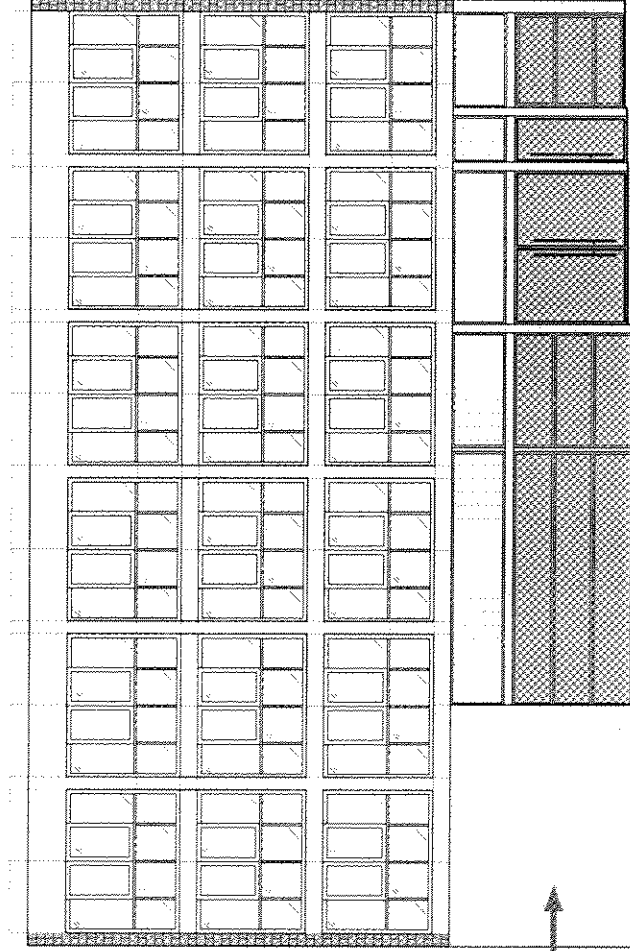
The lane elevation of the building, contain all servicing accesses as well as a 275 square foot well area that will be contributed as a community art opportunity.

The parking and service/utility areas will be entered from the rear lane to avoid loading traffic onto Cordova Street. However, due to the site dimensions and affordable / non-trucker residential aspects of the development, underground parking to meet the full requirements of the parking bylaw is prohibitive.

The project provides 12 standard, secure parking stalls at grade, 20% of which will have electric charging plug-ins, plus one car share, in addition to enhanced bike storage facilities and a bike repair / workshop room. The location of this development is also in close proximity to public transit and bike lanes which will help minimize reliance on personal vehicles.

All mechanical and structural systems for the building are engineered for maximum energy efficiency optimizing passive heating and cooling systems, with all materials sourced for their minimal carbon impact on the environment, while passive ventilation (double aspect operable windows) will be provided in all of the upper level units.

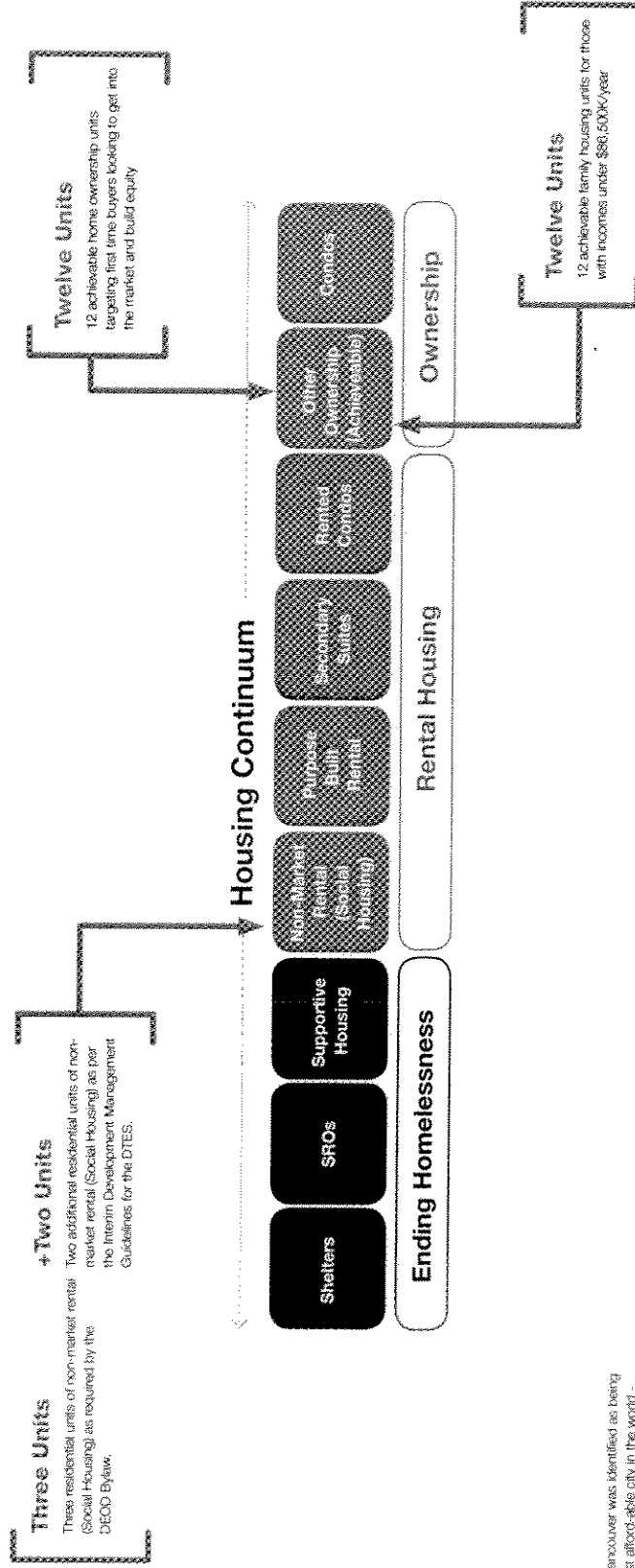
The development of this site will serve to improve the neighborhood fabric through an architecturally inspiring housing opportunity and will contribute to the evolving mixed use character of the community.



Community
Art Opportunity

Achievable Home Ownership

Ensuring Housing Costs are Less Than 40% of Gross Household Income



*“Vancouver’s median house price was \$678,500.
Median income was \$63,800.”*

—Barbara Yaffe, September 4, 2012

Last January, Vancouver was identified as being the second least affordable city in the world - after Hong Kong - with a population greater than one million.

The eighth annual Demographic International housing Affordability Survey, covering 325 metro areas, looked at house prices divided by gross annual median household income, which is a reasonable way to test affordability.

Non-Market Rental

Social Housing

Community Builders

Community Builders Group (CBG) is a humanitarian organization operating internationally in Haiti, Burundi, DR Congo, Kenya, Tanzania, Uganda as well as in Vancouver's Downtown Eastside. CBG was registered as a charity by the Canadian Revenue Agency in 1987 and incorporated under the Society Act of British Columbia in 1999.

CBG's mission is to support communities of extreme poverty in their quest to find natural pathways to wellness and self-sufficiency. CBG values respect for all persons, sustainability, open learning and emergence.

Whole Life Housing is in demand in Vancouver's Downtown Eastside (DTEs). Tenant Support Coordinators receive up to five requests a day for housing in each building, but have only two rooms available each month. CBG operates six whole life housing centres in Vancouver catering to 800 persons per year who receive housing placements, peer support, medical services, addiction counselling, meals, advanced peer support, housekeeping and employment training, with a vision to double its efforts in the next two years, keeping its distinctive decentralized structure. CBG employs 40 full and part-time persons in Vancouver.

The administration office of CBG is located at Canada Place in Vancouver, overlooking Burrard Inlet and the DTEs. The office services CBG operations with bottom-up administration. Professionals and office staff volunteer and paid) perform accounting and administrative services. The volunteer board of directors reviews financial and operational matters and makes decisions about future programs. CBG is a beneficiary of pro bono services offered by a network of entrepreneurs, professionals and experienced volunteers. Capital funds for self-sustaining efforts are provided by benevolent investors.

Operational Management

CBG proposes to manage the units with its current full-time staff which include: a General Manager for Supportive and Low Income Housing; six Tenant Support Coordinators; a Maintenance Supervisor; and a Staff Accountant. Other part-time operational and administrative staff will be assigned duties to the program as required.

CBG proposes to select tenants from a waiting list, based on low-income housing need and ability to live independently. Once accepted, tenants will enter into rental agreements under the guidelines of the Residential Tenancy Branch and will also agree to be in ongoing cooperation with CBG and the building's strata council.

Funding Strategy

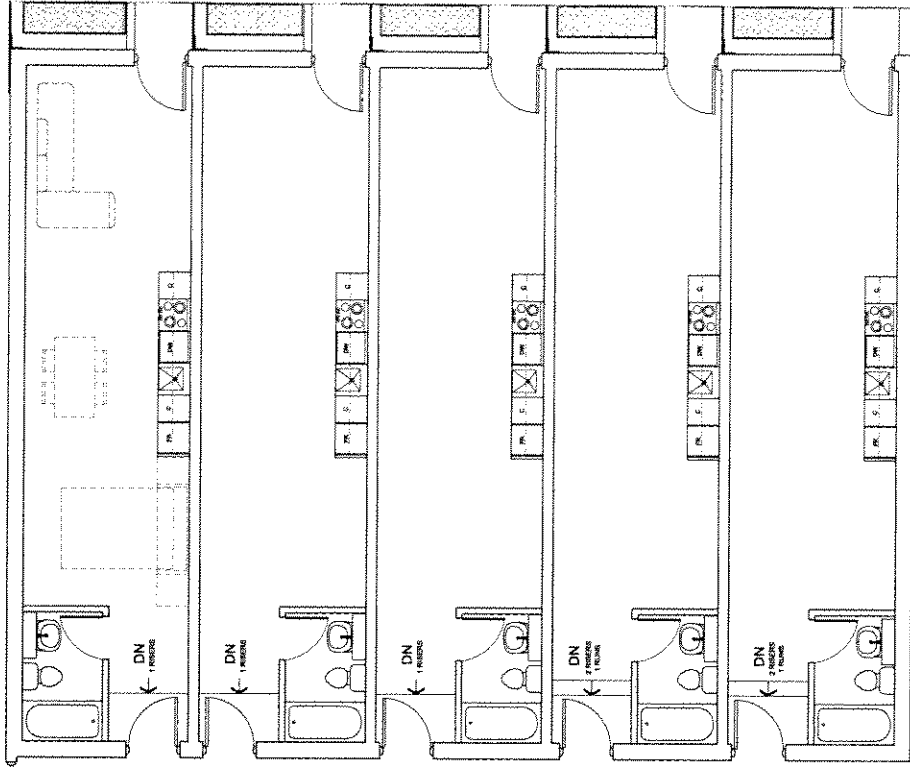
CBG proposes to seek capital grants to cover the full purchase price (at cost) of the self-contained units. A proposed net monthly surplus will be used to compensate CBG's management expenses.

Sustainability

CBG has operated in Vancouver's core since 2002 and has a long-term commitment to low-income and supportive housing. CBG functions as permanent operating partner of The Dotsion Foundation and Anhalt Holdings (Jubilee Rooms). CBG has built administrative and operational capacity to accommodate 500 units of both supportive and low-income housing in Vancouver's core. CBG employees and directors make long term commitments and personnel turn-over is low.

community builders group

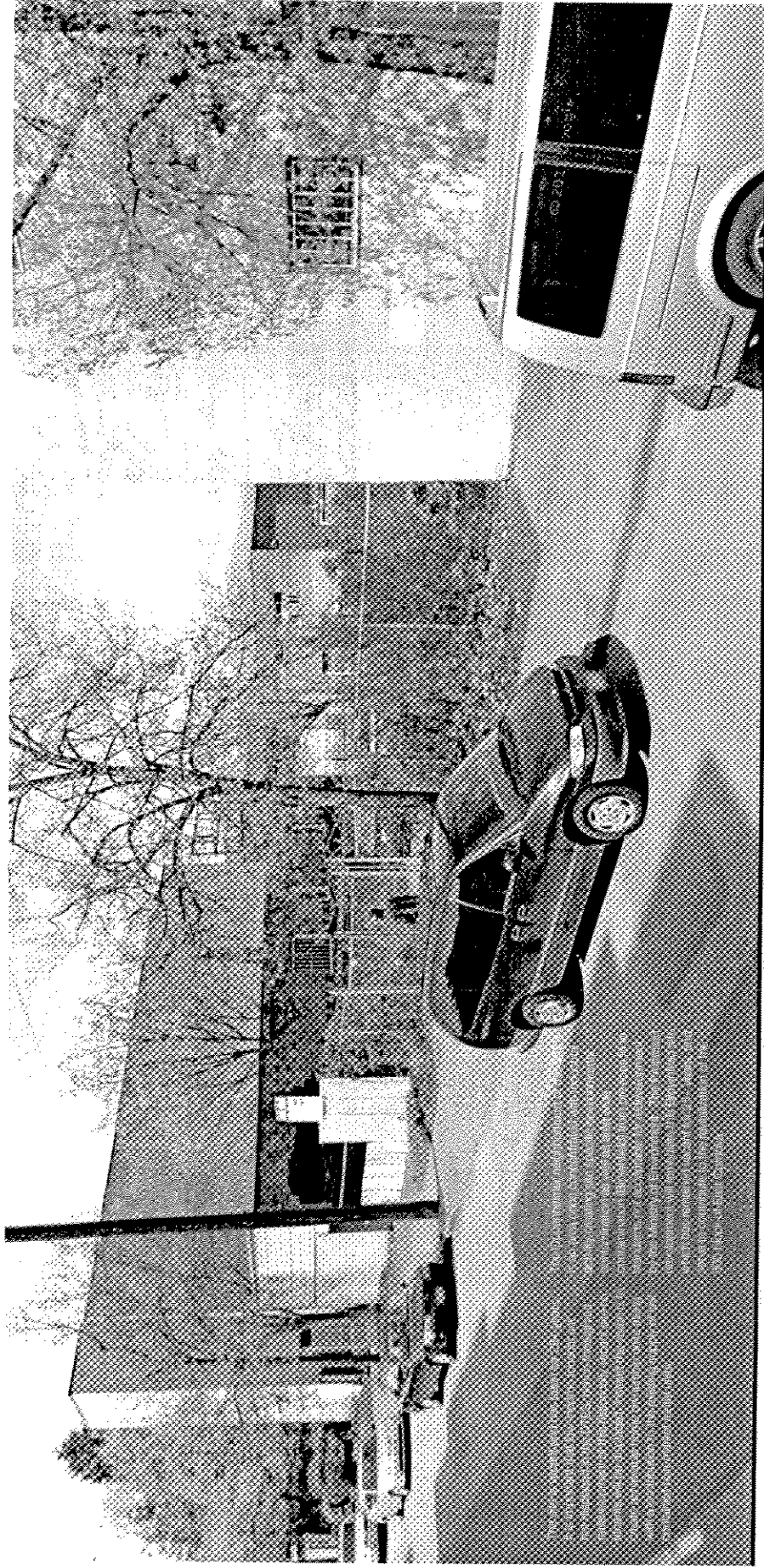
emergence at work



Five units non-market rental (Social Housing) as per DECO and Interim Development Management Guidelines.

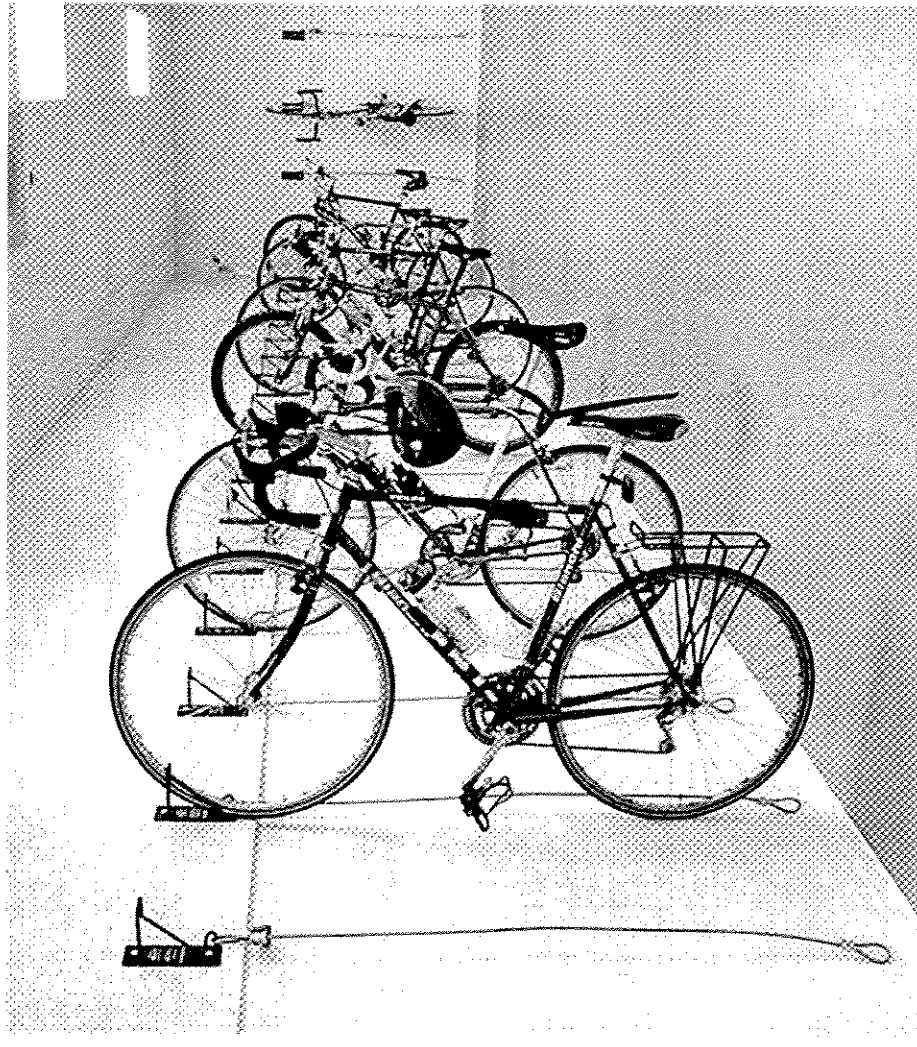
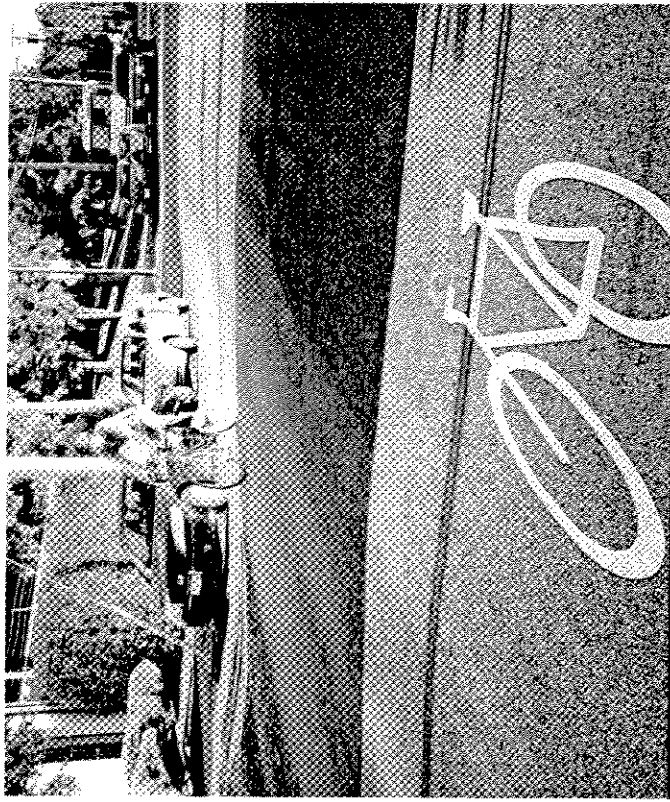
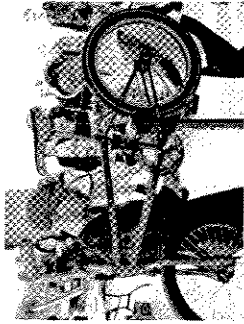
Community Revitalization

Without Displacement + Brownfield Renewal



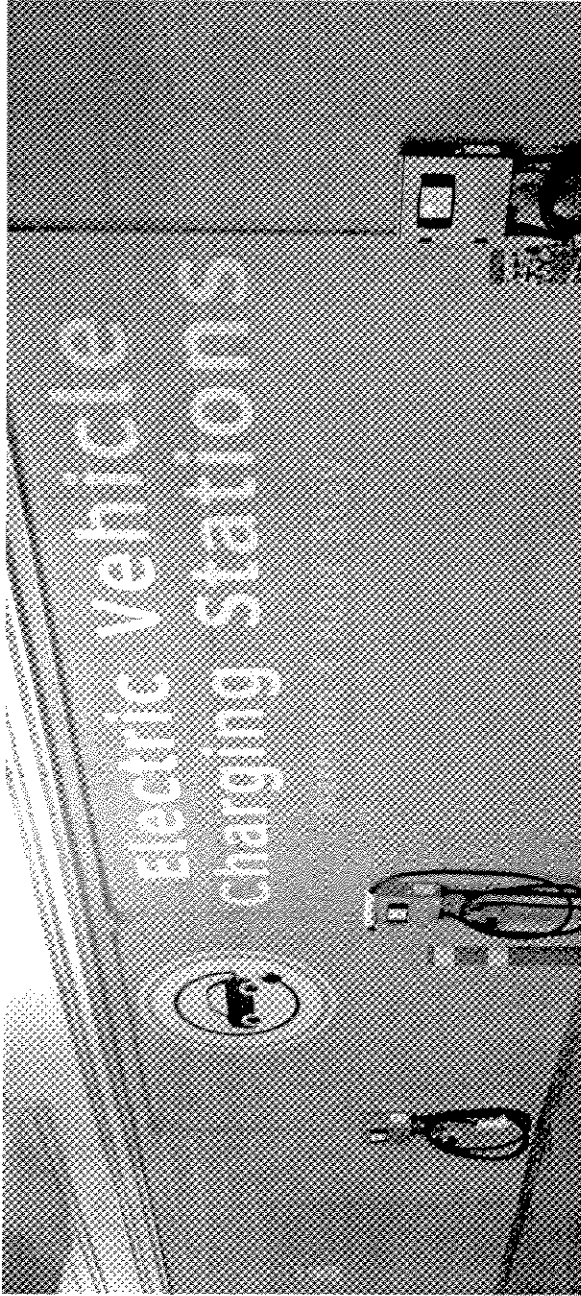
Enhanced Bike Facilities

Enhanced Bike Facilities will add to the community services. With separated bike lanes, the adoption of a public bicycle system, increased bicycle parking and a variety of bicycle friendly events, it has become clear that Vancouver is supporting a popular bike culture. We are enhancing bike facilities onsite with a bike repair/worksop room and improved storage facilities.



Reduced Vehicle Parking

+ Community Car Share Program



20% of parking stalls will include electric vehicle charging stations.



“Urban infill housing is targeted at first time buyers who do not rely on a car for everyday activities and seek affordable housing options in the City.”

Proposed Development

The proposed development is planned to have 24 achievable residential units which can be supported with 13 secure parking stalls. Of the 13 stalls, one is for a car-share vehicle to support the residential component of the building and for use by residents while the remaining 12 stalls provide one stall per each of the 12 family units.

Current Parking Bylaw Requirements

The parking bylaw stipulates one parking stall for each 70 square meters (753.5 sq.ft.) of gross floor area. At 31,727 sq.ft., the bylaw would require the provision of 42 parking stalls.

Site Limitations

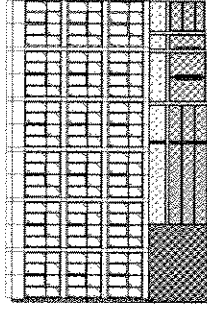
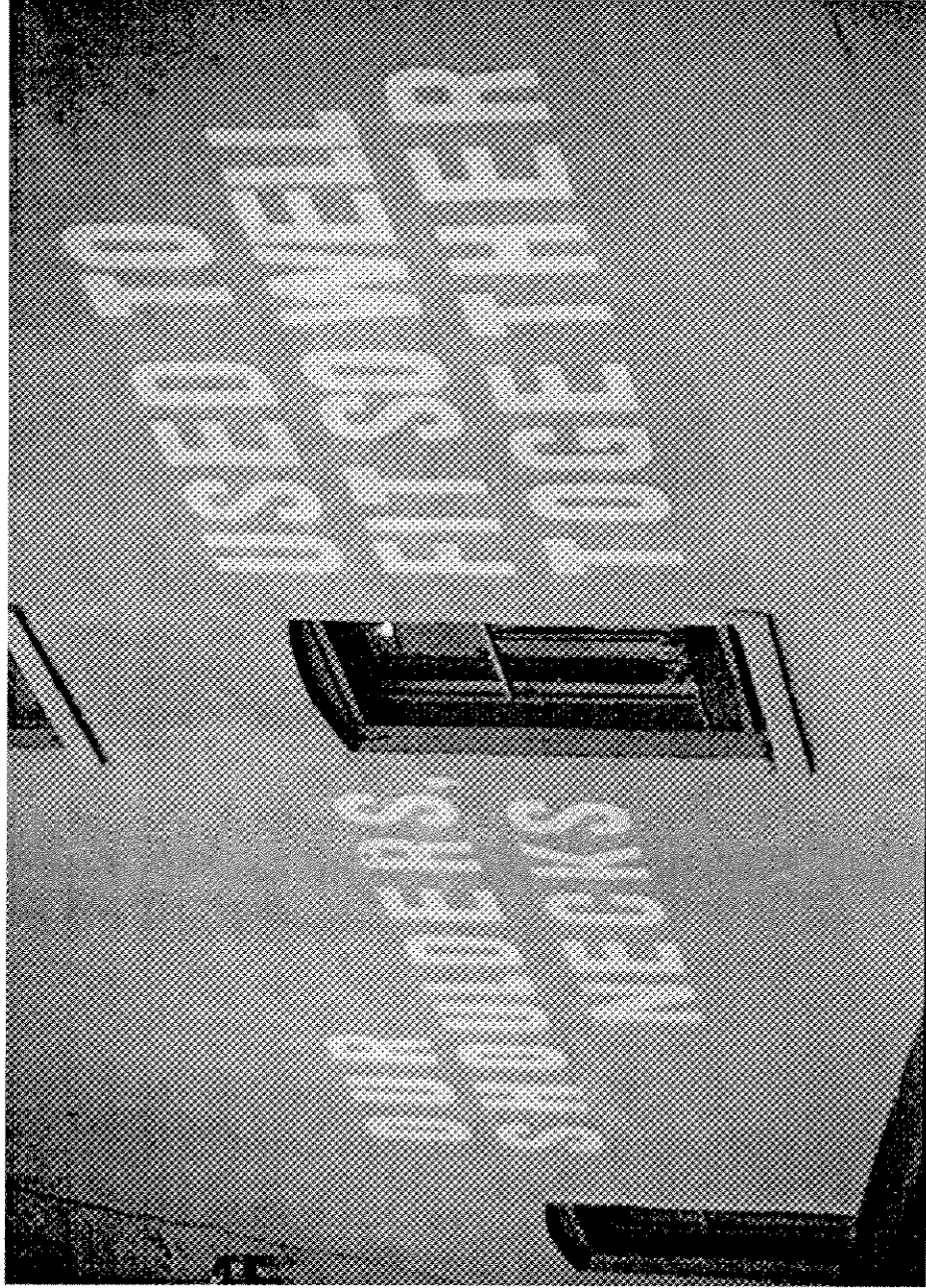
Underground parking is costly to construct in the City of Vancouver, and even more so on a limited site infill site. Meeting the parking bylaw requirements would translate into a minimum of three levels underground parking given the site's location in an underground parking structure with a limiting narrow lot width.

Housing Affordability

Housing is expensive in Vancouver. The incremental cost to construct underground parking in this project which caters to a mix of achievable home ownership units and non-market housing would add close to \$235 / month* to mortgage payments of the achievable units (\$40,000 per stall) or alternatively \$2,16,000 per each of the proposed non-market rental units. This is counter intuitive to City objectives of providing affordable housing options for buyers and tenants that do not rely on vehicles.

*25 year amortization
4.25% annual interest
5 year term
Add 26 U/G stalls

Community Art Opportunity



The Downtown Eastside is rich with cultural talent. An integral part of building community is art and providing a community canvas for a local artist to create artwork to highlight the history of the area will add to the community creation. The back wall of the development is reserved for a public art opportunity.

“Vancouver is a growing and diverse city with significant housing challenges. Providing a range of housing options is critical to the social and economic health of the City.”

—Vancouver’s Housing and Homelessness Strategy 2012–2021, A home for everyone.