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1754-1772 PENDRELL STREET

ISSUED FOR DEVELOPMENT PERMIT APPLICATION

DP APPLICATION 14 Oct 2015
RE-DESIGNED FOR REZONING 19 Dec 2014
ISSUED FOR REZONING 23 Aug 2013

HENRIQUEZ PARTNERS ARCHITECTS
1754-1772
Pendrell Street
Vancouver, BC

TITLE SHEET

DATE 23 AUGUST 2013
SCALE 1:5000
JOB NO 1317

A0.00

- OWNER**
WAK PROJECTS CORP
501 - 1087 West Cordova Street
Vancouver, BC V6C 1C7
Tel: 604.655.8965
- CONSTRUCTION MANAGER**
LADD BUILDING CODE CONSULTANTS
4th Floor - 780 Beatty Street
Vancouver, BC V6B 2M1
Tel: 604.682.7149
- ARCHITECT**
HENRIQUEZ PARTNERS ARCHITECTS
462 West Pendrell Street
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Tel: 604.687.5981
- MECHANICAL CONSULTANT**
STERLING COOPER
688-1189 Albritton Street
Vancouver, BC V6E 2C3
Tel: 604.724.9339
- LANDSCAPE ARCHITECT**
HAPA COLLABORATIVE
483-375 West 59th Avenue
Vancouver, BC V6P 1J6
Tel: 604.909.4130
- LEED CONSULTANT**
KARE CONSULTING
1533 Pemberton Avenue
Vancouver, BC V7P 2R6
Tel: 604.824.0094
- ENVELOPE CONSULTANT**
MORRISON HERSFIELD
310-1271 88th Creek Drive
Vancouver, BC V6P 1S7
Tel: 604.454.0402
- TRAFFIC CONSULTANT**
BUNT & ASSOCIATES
1550-1050 W Pendrell St
Vancouver, BC V6P 4T3
Tel: 604.885.8427
- ACCUSTRUCTURAL CONSULTANT**
BK CONSULTANTS LTD
308 - 1200 Lynn Valley Road
Vancouver, BC V1Z 2A2
Tel: 604.885.2208
- GEOTECHNICAL CONSULTANT**
GEO PACIFIC CONSULTANTS LTD
215 - 1200 West 73rd Avenue
Vancouver, BC V6P 6G5
Tel: 604.430.0922
- STRUCTURAL CONSULTANT**
GLOTTMAN SIMPSON
101 - 1691 West 8th Avenue
Vancouver, BC V6P 1H5
Tel: 604.734.8822
- ELECTRICAL CONSULTANT**
HEMETZ (SA) & ASSOC.
2009 West 4th Avenue
Vancouver, BC V6J 1N3
Tel: 604.735.6562

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The Client and Architect warrant that the information provided in this application is true and correct to the best of their knowledge and belief. The Client and Architect warrant that the information provided in this application is true and correct to the best of their knowledge and belief. The Client and Architect warrant that the information provided in this application is true and correct to the best of their knowledge and belief.

The Contractor shall be responsible for all dimensions on this drawing. The Contractor shall be responsible for all dimensions on this drawing. The Contractor shall be responsible for all dimensions on this drawing. The Contractor shall be responsible for all dimensions on this drawing. The Contractor shall be responsible for all dimensions on this drawing.

RE-ISSUED FOR REDLINING 19 Dec 2014
 ISSUED FOR REDLINING 23 Aug 2013

OF APPLICATION 14 Oct 2015

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 ISSUED FOR REDLINING 23 Aug 2013

OF APPLICATION 14 Oct 2015

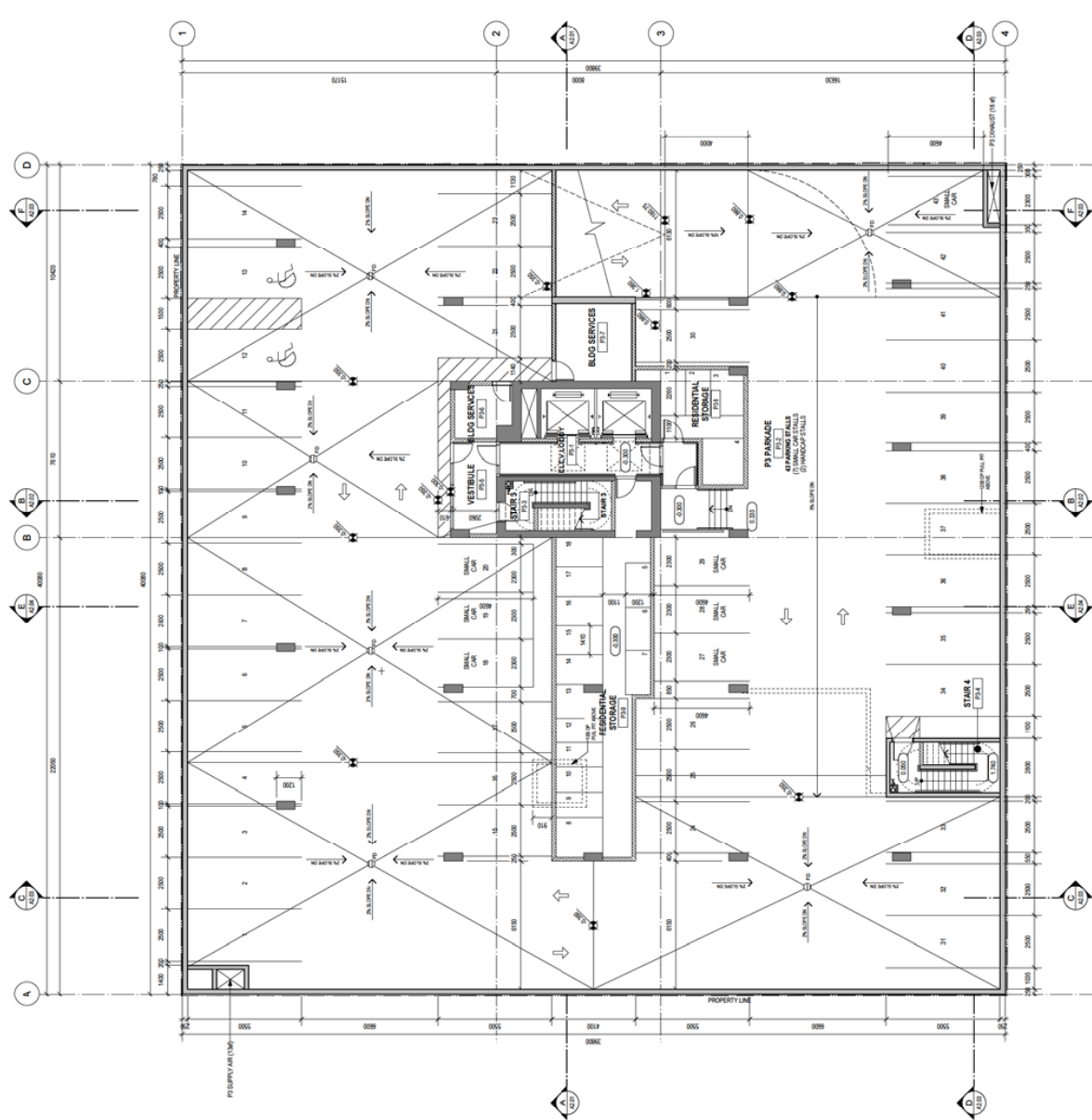
RE-ISSUED FOR REDLINING 19 Dec 2014
 ISSUED FOR REDLINING 23 Aug 2013

OF APPLICATION 14 Oct 2015

HENRIQUEZ PARTNERS ARCHITECTS
 1754-1772 Pendrell Street
 Vancouver, BC

P3 PARKING

A1.01



Sustainable Performance Features:

- SS4.2 Bicycle Storage:** Provision of secure, lockable bicycle storage for residents.
- SS4.3 Low-Emitting and Fuel-Efficient Vehicles:** Provision of secure, lockable bicycle storage for residents.
- SS4.4 Alternative Transportation:** Provision of secure, lockable bicycle storage for residents.
- SS4.1 and DS.1.1 Heat Island Effect: Non-Roof:** Energy-efficient lighting and fixtures contribute to the reduction of the urban heat island effect.
- EA4 and EA.1 Energy Performance:**
 - Energy-efficient lighting and fixtures contribute to the reduction of the urban heat island effect.
 - Refrigerated Energy System located within the project.
- MS1 Storage and Collection of Recyclables:** Provision of secure, lockable bicycle storage for residents.



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THE ARCHITECTS: WEISS/ARCHITECTS
THE ARCHITECTS: WEISS/ARCHITECTS
THE ARCHITECTS: WEISS/ARCHITECTS
THE ARCHITECTS: WEISS/ARCHITECTS
THE ARCHITECTS: WEISS/ARCHITECTS

The Applicant is responsible for all dimensions on this plan and is required to verify that the dimensions are correct and that the plan is in accordance with the City of Vancouver Building Code and the City of Vancouver Zoning Bylaw. The Applicant is also responsible for ensuring that the plan is in accordance with the City of Vancouver Building Code and the City of Vancouver Zoning Bylaw.

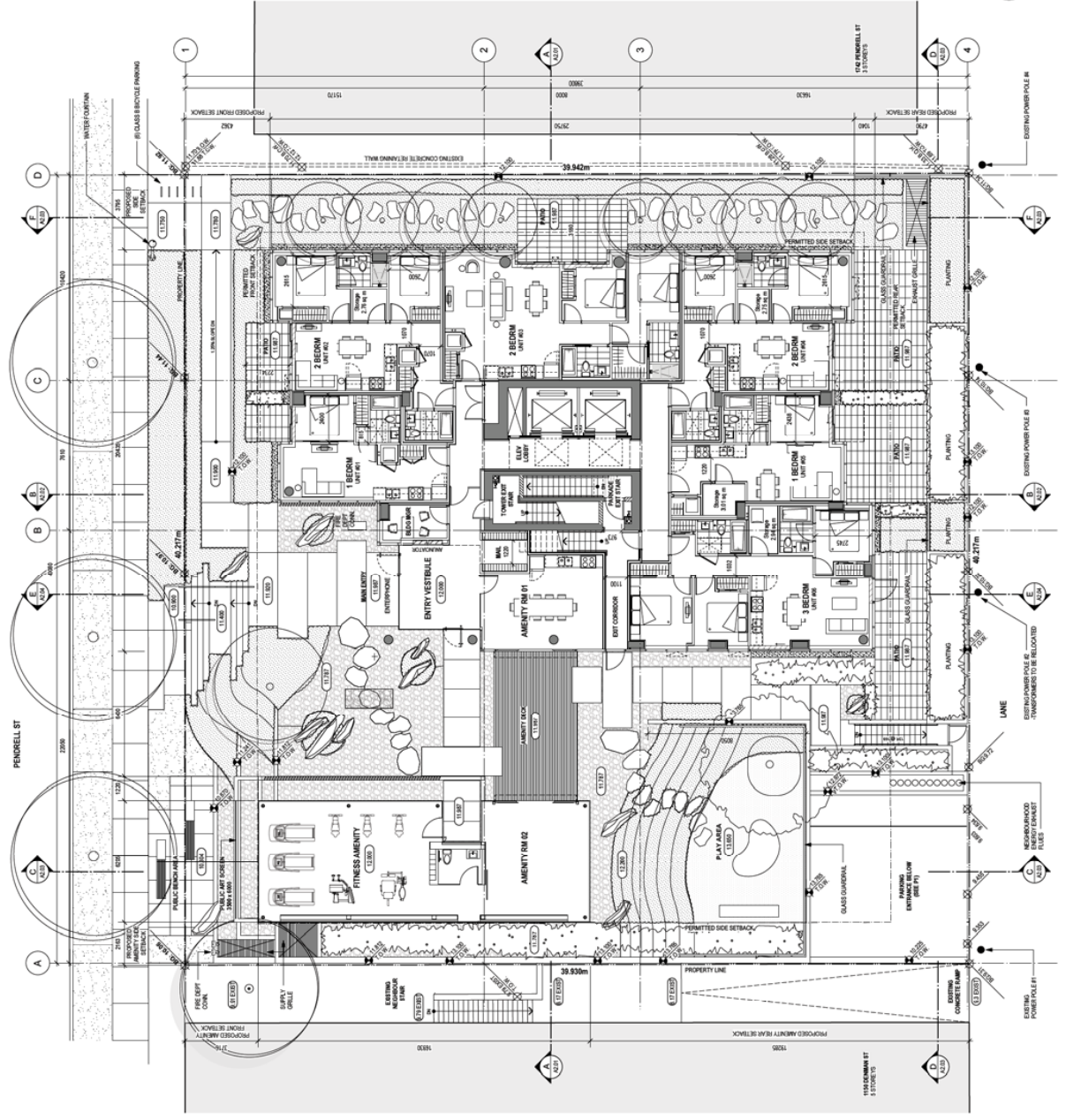
DATE OF APPLICATION: 14.03.2015
RE-ISSUED FOR REDLINING: 19 DEC 2014
ISSUED FOR REDLINING: 23 Aug 2013

HENRIQUEZ PARTNERS ARCHITECTS
1754-1772 Pendrell Street Vancouver, BC

GROUND PLAN (MARKET)

Table with columns for DATE (27 JUL 2015), DRAWN BY (L.T.), CHECKED BY (G.H.S. & P.W.), and SCALE (1:500).

A1.04



Sustainable Performance Features:
SSP Construction Activity Pollution Prevention
SSP Site Selection
SSP Site Preparation
SSP Site Restoration
SSP Site Security
SSP Site Safety
SSP Site Access
SSP Site Orientation
SSP Site Design
SSP Site Construction
SSP Site Occupancy
SSP Site Decommissioning

- SSP1: Site Selection
- SSP2: Site Preparation
- SSP3: Site Restoration
- SSP4: Site Security
- SSP5: Site Safety
- SSP6: Site Access
- SSP7: Site Orientation
- SSP8: Site Design
- SSP9: Site Construction
- SSP10: Site Occupancy
- SSP11: Site Decommissioning

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The Applicant, its agents, consultants, and subcontractors shall be responsible for all dimensions on this drawing. Dimensions shall be taken from the face of the wall unless otherwise indicated. Dimensions shall be taken from the centerline of the wall unless otherwise indicated. Dimensions shall be taken from the centerline of the wall unless otherwise indicated. Dimensions shall be taken from the centerline of the wall unless otherwise indicated.

THE CONSULTANT SHALL BE RESPONSIBLE FOR ALL DIMENSIONS ON THIS DRAWING. DIMENSIONS SHALL BE TAKEN FROM THE FACE OF THE WALL UNLESS OTHERWISE INDICATED. DIMENSIONS SHALL BE TAKEN FROM THE CENTERLINE OF THE WALL UNLESS OTHERWISE INDICATED. DIMENSIONS SHALL BE TAKEN FROM THE CENTERLINE OF THE WALL UNLESS OTHERWISE INDICATED.

REVISIONS

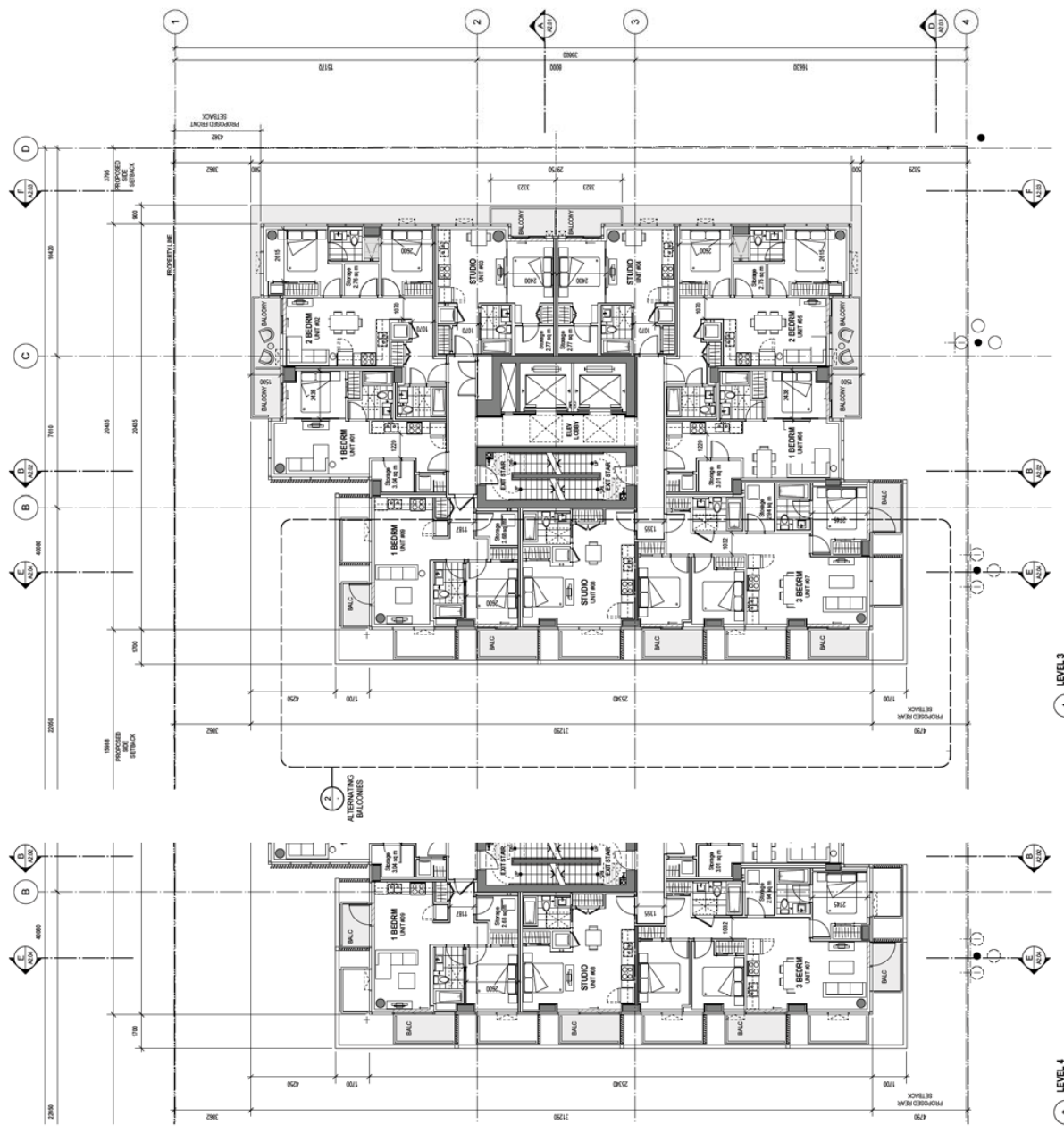
NO.	DATE	DESCRIPTION
1	14 OCT 2015	ISSUED FOR PERMIT
2	19 DEC 2014	RE-ISSUED FOR REZONING
3	23 AUG 2013	ISSUED FOR REZONING

HENRIQUEZ PARTNERS ARCHITECTS
1754-1772 Pendrell Street, Vancouver, BC
V6C 3R4
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www.hpa.ca

LEVEL 3-4 PLANS (AFFORDABLE)

DATE: 27 AUG 2015
DRAWN BY: GHLS/PW
CHECKED BY: 1317

A1.06



Sustainable Performance Features:

- WE1 and WE3 Water Use Reduction: Water saving devices for fixtures, showers and sinks; low flow showerheads and 1.6 liter flush valves and sinks; low flow toilets.
- EQ2 and EQ3 Energy Performance: Appliances and lighting that are Energy Star certified.
- EQ4 Increased Ventilation: Mechanical exhaust fans for kitchen and bathroom; low velocity fans for mechanical exhaust; mechanical exhaust fans for kitchen and bathroom.
- EQ5 Low-Globing Materials: Low-VOC interior and exterior paint and finishes; low-VOC carpeting.
- EQ6 Low-Emitting Materials: Low-VOC interior and exterior paint and finishes; low-VOC carpeting.
- EQ7 Low-Emitting Materials: Low-VOC interior and exterior paint and finishes; low-VOC carpeting.
- EQ8 Low-Emitting Materials: Low-VOC interior and exterior paint and finishes; low-VOC carpeting.



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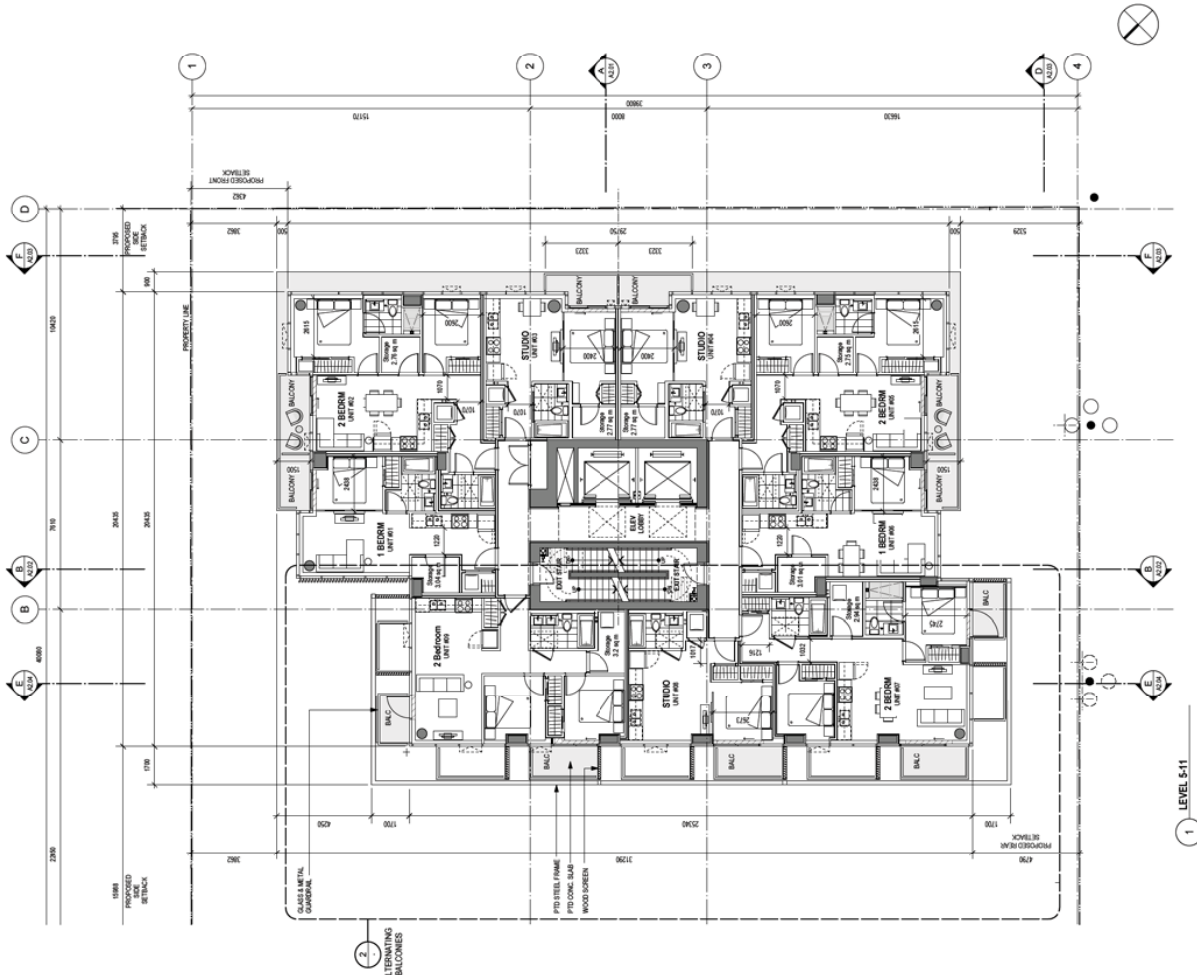
DATE OF APPLICATION: 14.02.2015
RE-ISSUED FOR REZONING: 19 DEC 2014
ISSUED FOR REZONING: 23 AUG 2013

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1754-1772 Pendrell Street, Vancouver, BC
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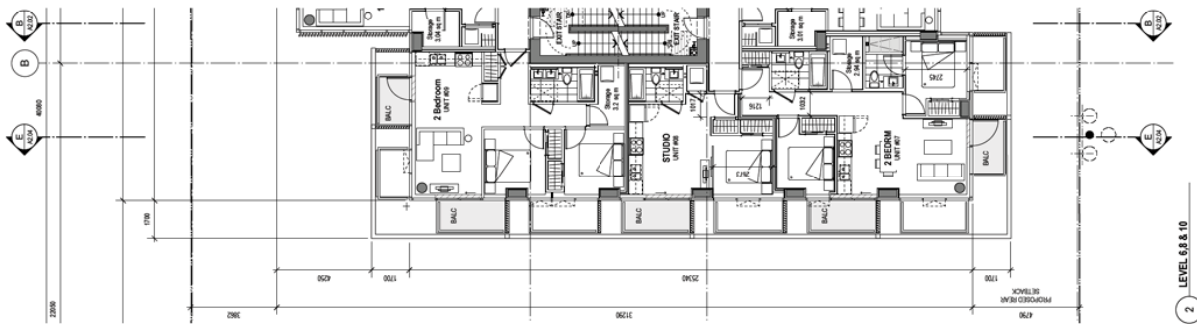
LEVEL 5-11 PLAN (MARKET)

DATE: 27 AUG 2015
SCALE: 1:100
DRAWN BY: GHLS/PW
CHECKED BY: 1317

A1.07



1 LEVEL 5-11



2 LEVEL 6, 8 & 10

Sustainable Performance Features:
WE1 and WE3 Water Use Reduction: Water saving devices are installed in all bathrooms and kitchen sinks. Low flow showerheads are installed in all bathrooms and kitchen sinks. The flow rate of all showerheads is limited to 2.0 gpm/psi. The flow rate of all kitchen faucets is limited to 1.2 gpm/psi.
EQ1 and EQ2 Energy Performance: Appliances and lighting are Energy Star certified. The lighting system is designed to provide adequate lighting while minimizing energy consumption. The lighting system is designed to provide adequate lighting while minimizing energy consumption. The lighting system is designed to provide adequate lighting while minimizing energy consumption.
EQ3 Increased Ventilation: Mechanical exhaust fans are installed in all bathrooms and kitchen sinks. The exhaust fans are designed to provide adequate ventilation while minimizing energy consumption. The exhaust fans are designed to provide adequate ventilation while minimizing energy consumption. The exhaust fans are designed to provide adequate ventilation while minimizing energy consumption.
EQ4 and EQ4.2 Low-Globing Materials: Low-globing materials are used for all interior and exterior surfaces. The materials are designed to provide adequate durability while minimizing energy consumption. The materials are designed to provide adequate durability while minimizing energy consumption. The materials are designed to provide adequate durability while minimizing energy consumption.
EQ5 Low-Globing Materials: Low-globing materials are used for all interior and exterior surfaces. The materials are designed to provide adequate durability while minimizing energy consumption. The materials are designed to provide adequate durability while minimizing energy consumption. The materials are designed to provide adequate durability while minimizing energy consumption.
EQ6 Performance: The building is designed to provide adequate performance while minimizing energy consumption. The building is designed to provide adequate performance while minimizing energy consumption. The building is designed to provide adequate performance while minimizing energy consumption.
EQ7 Performance: The building is designed to provide adequate performance while minimizing energy consumption. The building is designed to provide adequate performance while minimizing energy consumption. The building is designed to provide adequate performance while minimizing energy consumption.
EQ8 Performance: The building is designed to provide adequate performance while minimizing energy consumption. The building is designed to provide adequate performance while minimizing energy consumption. The building is designed to provide adequate performance while minimizing energy consumption.

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NOT TO SCALE - This drawing is intended to illustrate the proposed design and is not a contract document. It is subject to change without notice. The contractor shall verify all dimensions and conditions shown on this drawing before construction. The contractor shall be responsible for all dimensions and conditions shown on this drawing. The contractor shall be responsible for all dimensions and conditions shown on this drawing. The contractor shall be responsible for all dimensions and conditions shown on this drawing.

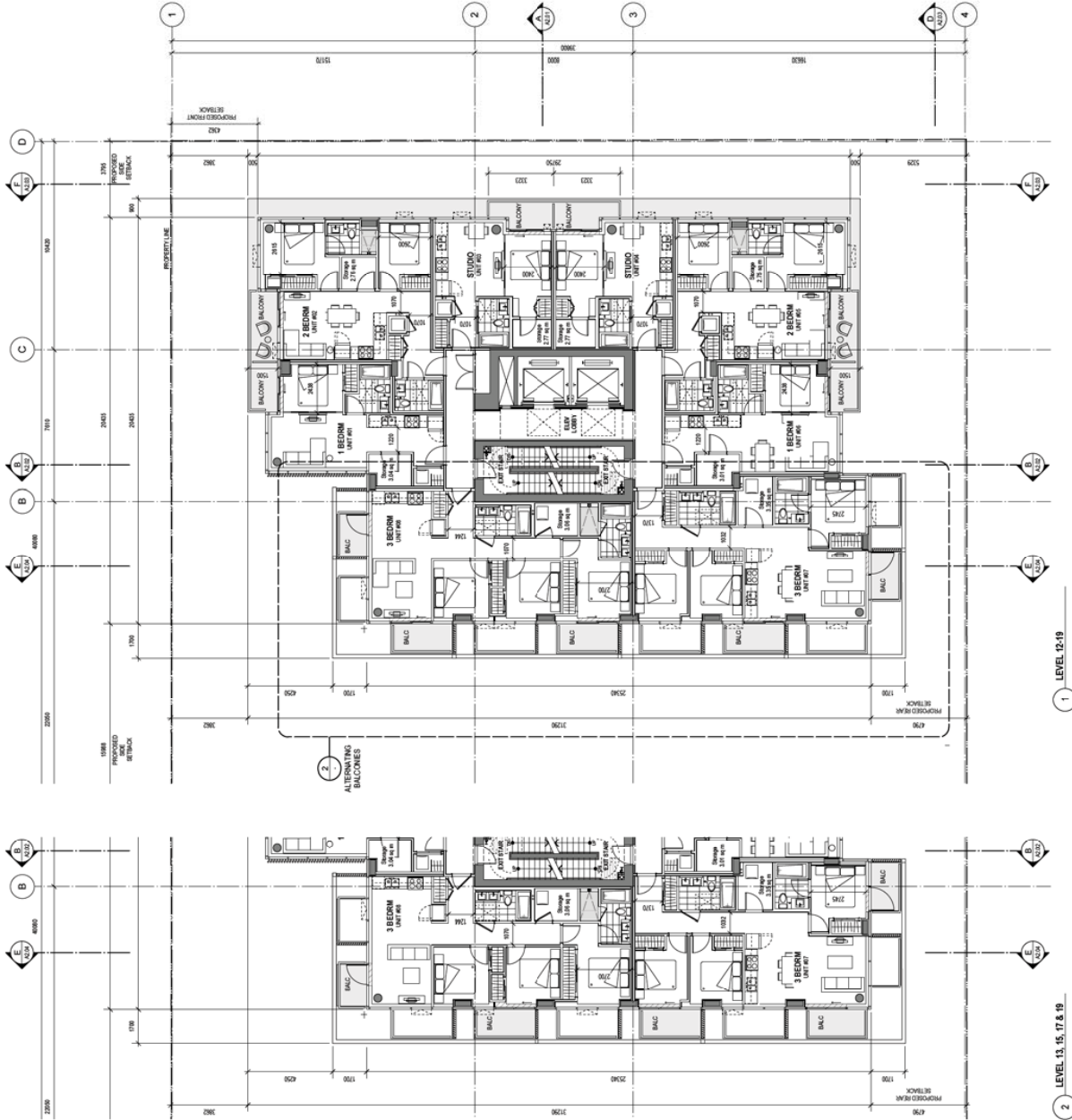
DATE OF APPLICATION: 14.02.2015
 RE-ISSUED FOR REZONING: 19 DEC 2014
 ISSUED FOR REZONING: 23 AUG 2013

HENRIQUEZ PARTNERS ARCHITECTS
 1754-1772
 Pendrell Street
 Vancouver, BC

LEVEL 12-19 PLAN (MARKET)

DATE: 27 AUG 2015
 SCALE: 1:100
 DRAWN BY: GHLS/PW
 CHECKED BY: 1317

A1.08



Sustainable Performance Features:

- WE1 and WE3 Water Use Reduction:** Water conservation fixtures, low-flow toilets and showers, and low-flow faucets.
- EQ1 and EQ2 Energy Performance:** Appliances and lighting with Energy Star labels. High-efficiency HVAC systems. High-efficiency water heaters. High-efficiency hot water circulation pumps.
- EQ3 Increased Ventilation:** Mechanical ventilation with heat recovery (MVHR) system.
- EQ4 Low-Carbon Building Materials:** Low-carbon concrete, masonry, and other building materials.
- EQ5 Low-Carbon Building Materials:** Low-carbon concrete, masonry, and other building materials.
- EQ6 Low-Carbon Building Materials:** Low-carbon concrete, masonry, and other building materials.
- EQ7 Low-Carbon Building Materials:** Low-carbon concrete, masonry, and other building materials.
- EQ8 Low-Carbon Building Materials:** Low-carbon concrete, masonry, and other building materials.



1 LEVEL 12-19

2 LEVEL 13, 15, 17 & 19

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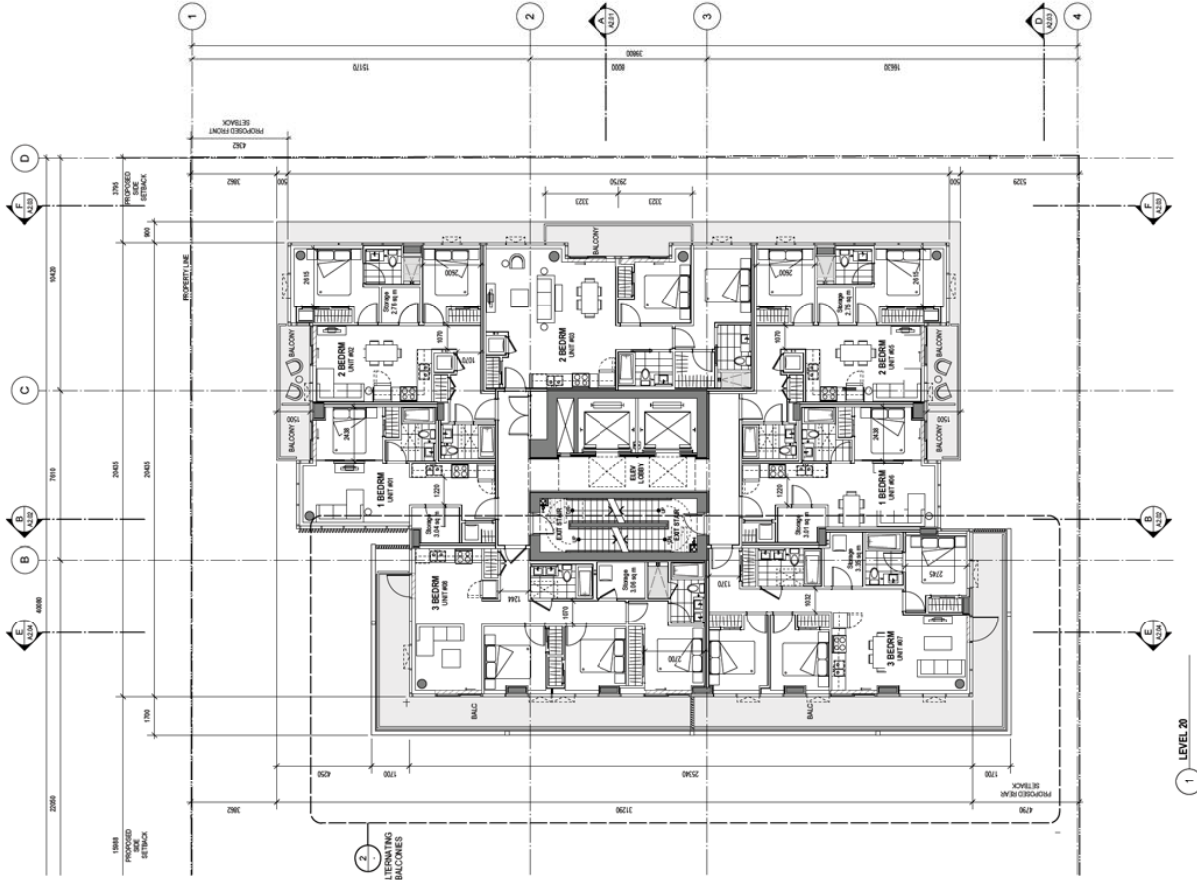
DATE OF APPLICATION: 14 OCT 2015
 RE-ISSUED FOR REZONING: 19 DEC 2014
 ISSUED FOR REZONING: 23 AUG 2013

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 1754-1772 Pendrell Street, Vancouver, BC
 Tel: 604.687.5611 Fax: 604.687.7830

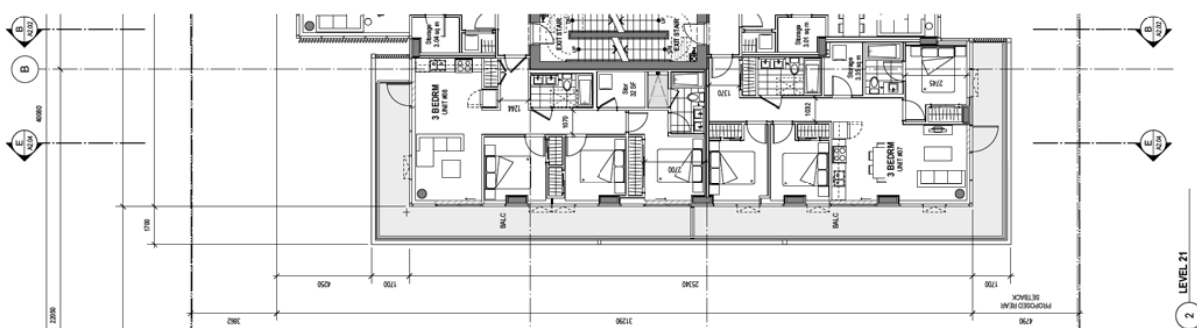
MARKING TITLE
LEVEL 20-21 PLAN (MARKET)

DATE: 27 AUG 2015
 SCALE: 1:100
 DRAWN BY: GHLS/PW
 CHECKED BY: 1317

A1.09



1 LEVEL 20



2 LEVEL 21

Sustainable Performance Features:
 WE1 and WE3 Water Use Reduction: Water conservation fixtures, low-flow toilets and showers, low-flow faucets, low-flow dishwashers and low-flow washing machines, and low-flow showerheads.
 EQ4 and EQ5 Energy Performance: Appliances and lighting with Energy Star labels. High-efficiency HVAC systems. High-efficiency water heaters. High-efficiency hot water tanks. High-efficiency refrigerators. High-efficiency freezers. High-efficiency ice makers. High-efficiency freezers with ice makers. High-efficiency freezers with ice makers. High-efficiency freezers with ice makers.
 EQ3 Increased Ventilation: Mechanical ventilation system with demand-controlled ventilation (DCV).
 EQ1 and EQ2 Low-Emitting Materials: Low-VOC paints, primers, sealants, adhesives, caulks, and finishes. Low-VOC carpeting. Low-VOC flooring. Low-VOC wall coverings. Low-VOC ceiling coverings. Low-VOC acoustic treatments. Low-VOC ceiling treatments. Low-VOC wall treatments. Low-VOC ceiling treatments.
 EQ2 Low-Emitting Materials: Low-VOC paints, primers, sealants, adhesives, caulks, and finishes. Low-VOC carpeting. Low-VOC flooring. Low-VOC wall coverings. Low-VOC ceiling coverings. Low-VOC acoustic treatments. Low-VOC ceiling treatments. Low-VOC wall treatments. Low-VOC ceiling treatments.



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 WWW.WESTBANKARCHITECTS.COM

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 Pendrell Street
 Vancouver, BC

DATE: 27 AUG 2015
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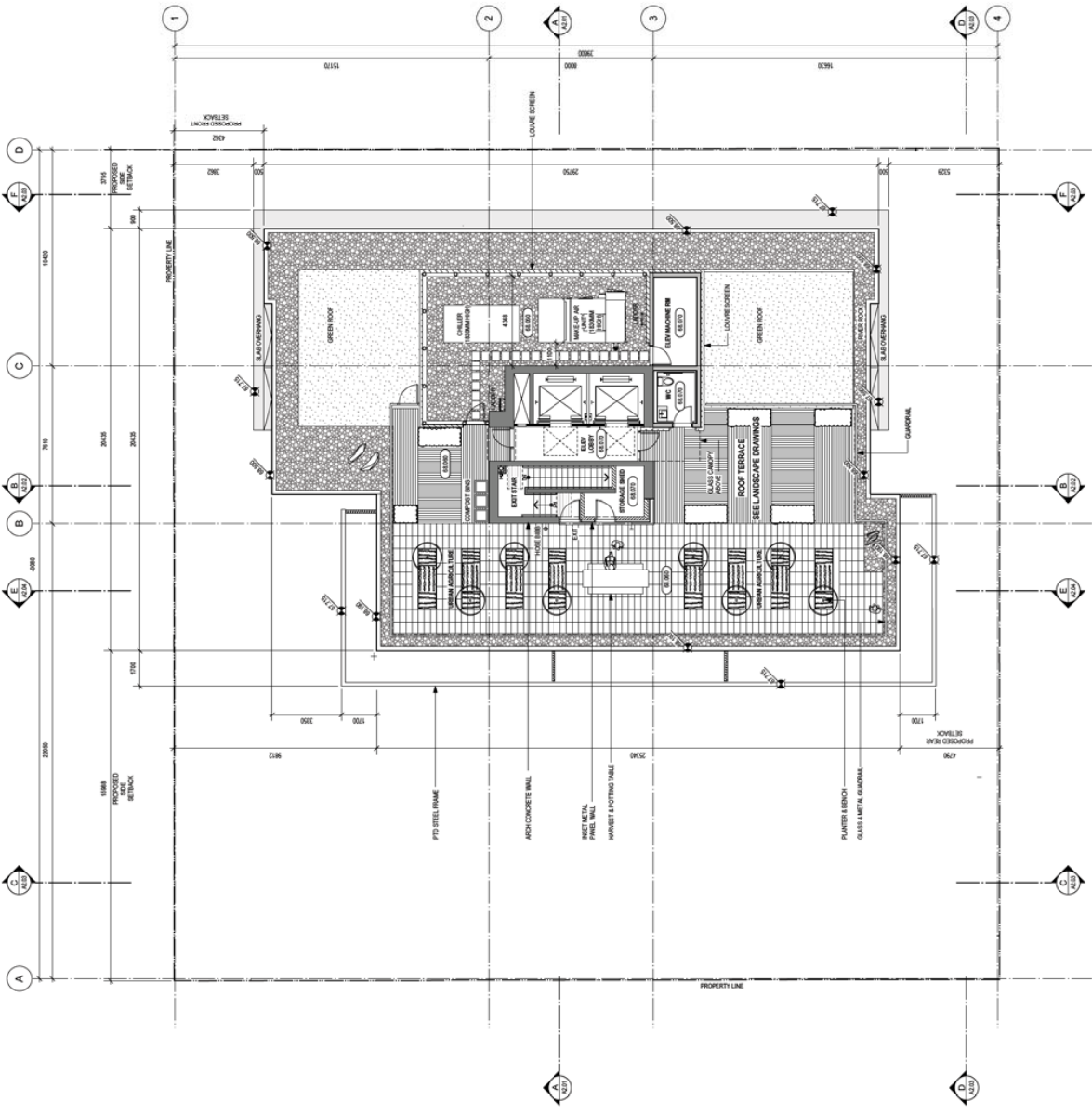
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DATE: 27 AUG 2015
 DRAWN BY: GHLS/PW
 CHECKED BY: 1317



A1.10

Sustainable Performance Features:
 SS5.1 and SS5.2 Site Development and Maximize Open Space
 SS5.2 Stormwater Design: Quantity Control
 SS5.2 Heat Island Effect: Roof
 WE1 Water Efficient Landscaping

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TEL: 604.681.2800 FAX: 604.681.2801
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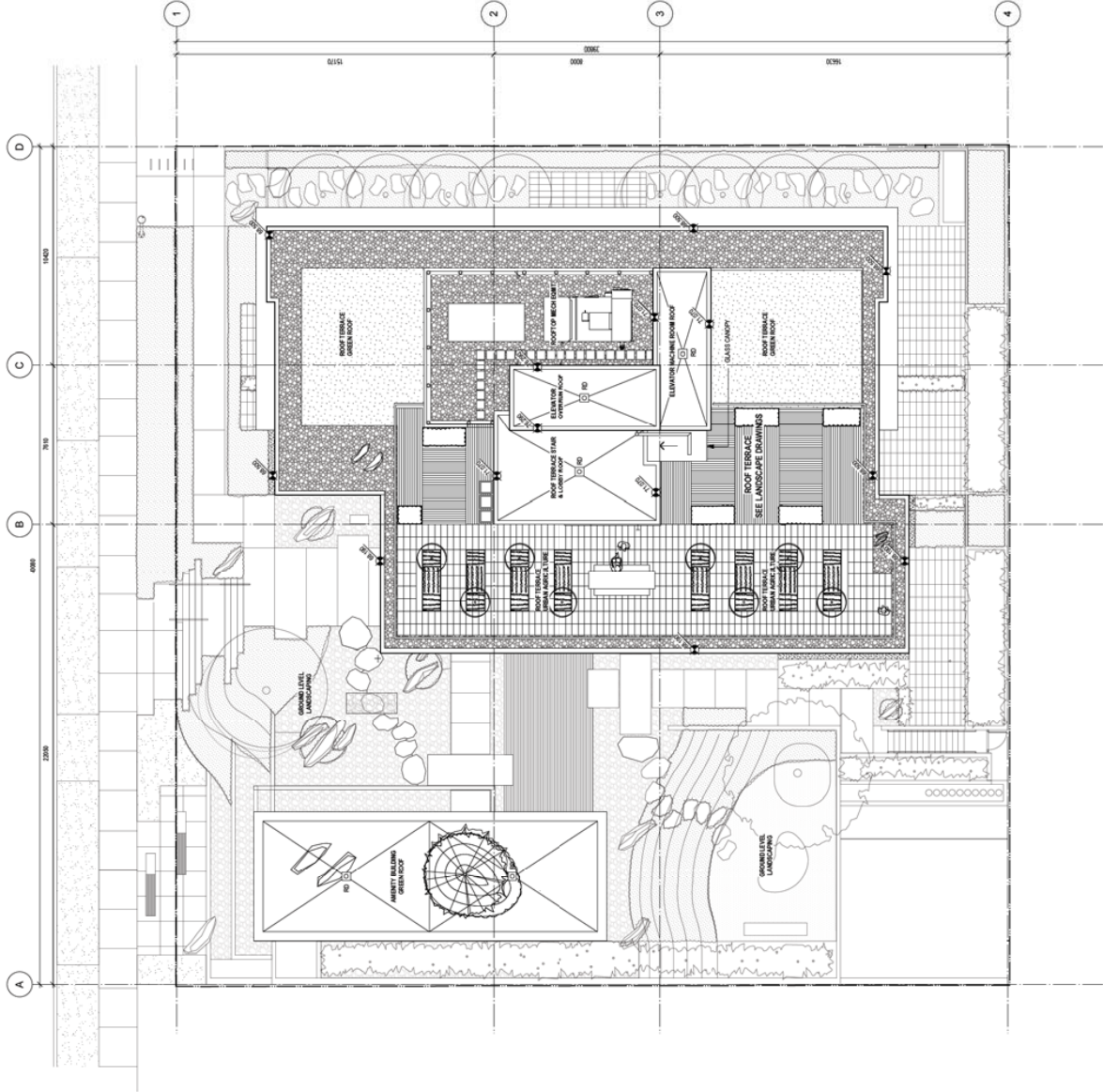
DATE: 14.02.2015
 RE-ISSUED FOR REZONING: 19 Dec 2014
 ISSUED FOR REZONING: 23 Aug 2013

**HENRIQUEZ PARTNERS
R10 ARCHITECTS**
 1754-1772
 Pendrell Street
 Vancouver, BC

ROOF PLAN

DATE: 27 AUG 2015
 SCALE: 1/100
 DRAWN BY: GH & PW
 CHECKED BY: 1317

A1.11



Sustainable Performance Features:

- SS5.1 and SS5.2 Site Development and Maximize Open Space:** Maximize amount of vegetative open space and provide for high landscape area.
- SS5.2 Stormwater Design: Quantity Control:** Stormwater management system will be incorporated into the design.
- SS5.2 Heat Island Effect: Roof:** High albedo roof will contribute to the reduction of the urban heat island effect.
- WE.1 Water Efficient Landscaping:** Use of high efficiency irrigation system, include smart watering system, and high quality, low water consumption plants.



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1750 PENDRELL STREET
RE-ISSUED FOR REZONING 19 Dec 2014
ISSUED FOR REZONING 21 Aug 2013

WESTBANK ARCHITECTS
910 ARCHITECTS
1100 West 1st Ave
Vancouver, BC V6C 2P4
TEL: 604.681.2587 FAX: 604.681.2533

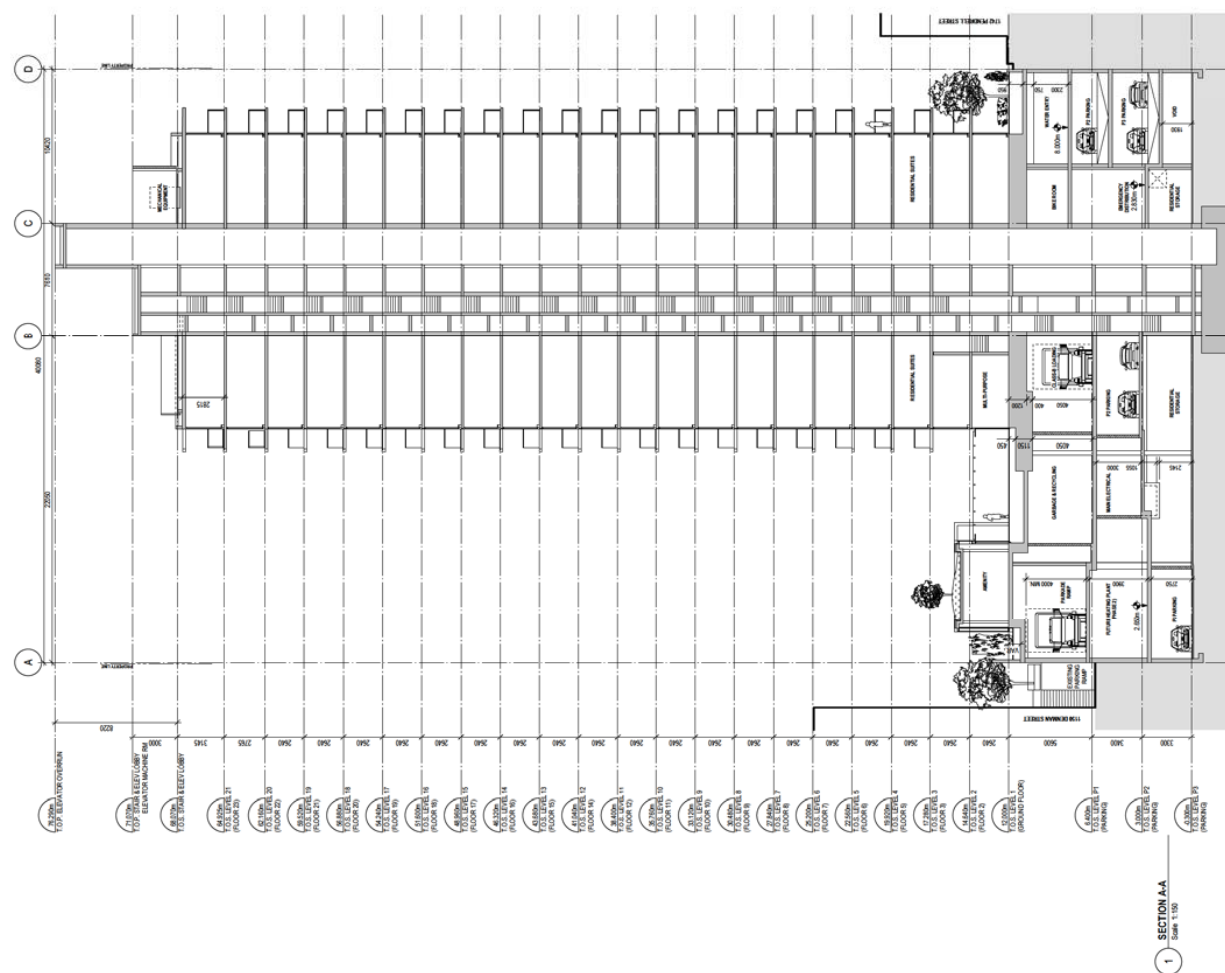
1754 - 1772 Pendrell Street
VANCOUVER, BC

SECTION A-A

DATE: 19 JULY 2015
SCALE: 1/8" = 1'-0"
DRAWN BY: JAD
CHECKED BY: PW
JOB NO: 1317

A2.01

SUSTAINABLE PERFORMANCE FEATURES
LEED and EACD Fundamentals & Enhanced
 An independent consulting activity has been engaged for LEED and EACD Fundamentals & Enhanced certification. The project is designed to meet LEED Gold certification and EACD Gold certification. The project is designed to meet LEED Gold certification and EACD Gold certification. The project is designed to meet LEED Gold certification and EACD Gold certification.



SECTION A-A
Scale: 1/8" = 1'-0"

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Architect: HENRIQUEZ PARTNERS 910 ARCHITECTS
Engineer: HENRIQUEZ PARTNERS 910 ARCHITECTS
Contractor: HENRIQUEZ PARTNERS 910 ARCHITECTS

DATE OF APPLICATION: 14 Oct 2014
RECEIVED FOR REVIEW: 19 Dec 2014
ISSUED FOR REZONING: 23 Aug 2013

HENRIQUEZ PARTNERS 910 ARCHITECTS
1017 West 10th St
Vancouver, BC V6H 2G6
Tel: 604.687.2887 Fax: 604.687.2833

1754 - 1772 Pendrell Street
Vancouver, BC

SECTION B-B

DATE: 19 Aug 2014
SCALE: 1/8" = 1'-0"
DRAWN BY: PW
CHECKED BY: 1317

A2.02

SUSTAINABLE PERFORMANCE FEATURES

LEED Gold Certification
The project is designed to achieve LEED Gold Certification. The project will be certified by the Green Building Certification Institute (GBCI) under the U.S. Green Building Council (USGBC) LEED v4.1 for Commercial Interiors (LEED-CI) rating system.

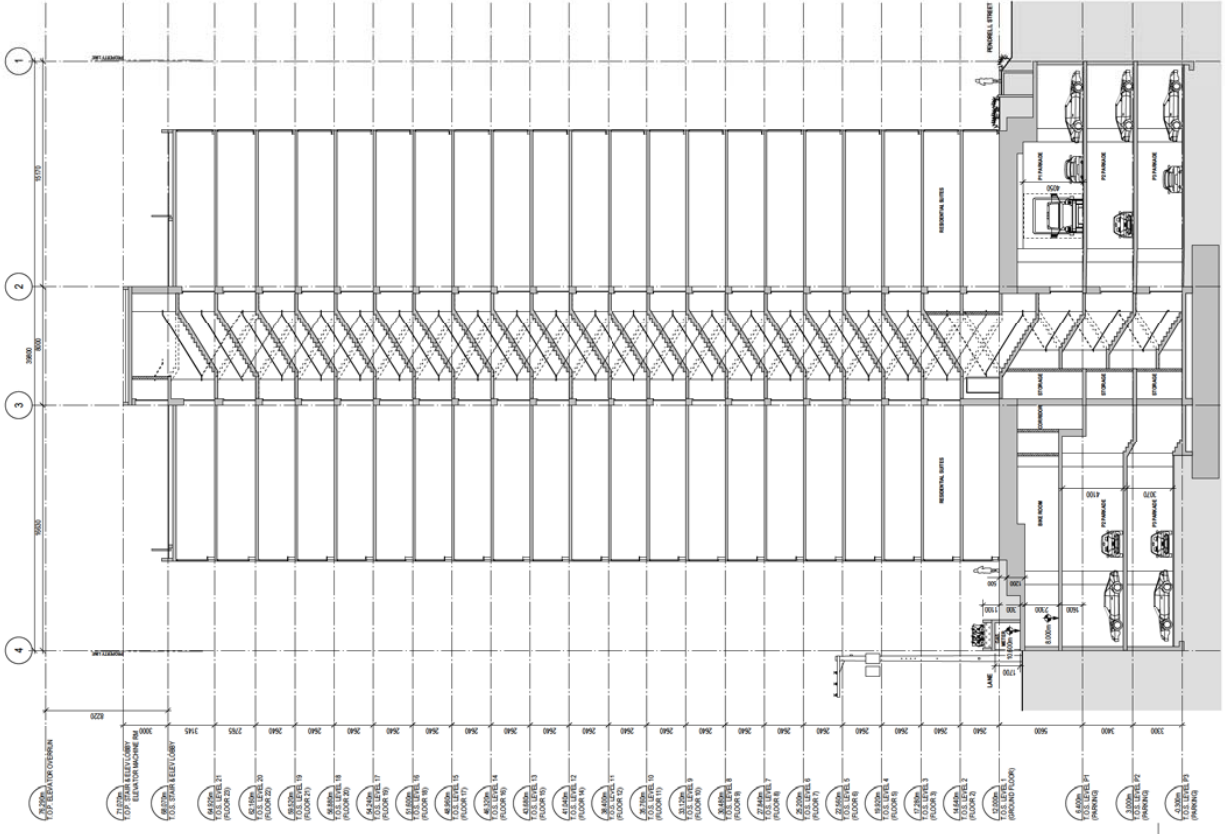
Energy and Water Conservation
The project will incorporate energy-efficient lighting, HVAC systems, and water-saving fixtures. The project will also incorporate sustainable materials and construction practices.

Indoor Air Quality (IAQ)
The project will incorporate low-VOC materials, enhanced ventilation, and air filtration systems to ensure high indoor air quality.

Waste Management
The project will incorporate a comprehensive waste management plan, including recycling and composting programs.

Water Conservation
The project will incorporate water-saving fixtures, including low-flow toilets and faucets, and a rainwater harvesting system.

Green Building Practices
The project will incorporate sustainable construction practices, including the use of locally sourced materials and green building practices.



SECTION B-B
Scale: 1/8" = 1'-0"

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SUSTAINABLE PERFORMANCE FEATURES:
 Design and LEED certification activity to be completed for LEED Gold certification. The design and construction of this project shall be in accordance with the applicable laws, codes, and regulations of the Province of Ontario and the City of Toronto. The design and construction of this project shall be in accordance with the applicable laws, codes, and regulations of the Province of Ontario and the City of Toronto. The design and construction of this project shall be in accordance with the applicable laws, codes, and regulations of the Province of Ontario and the City of Toronto.

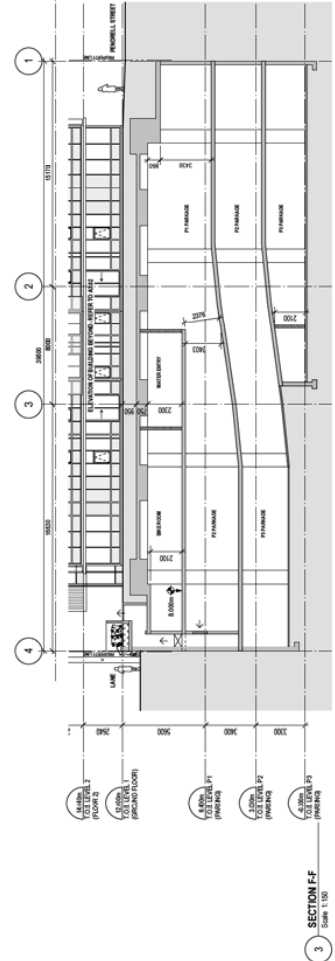
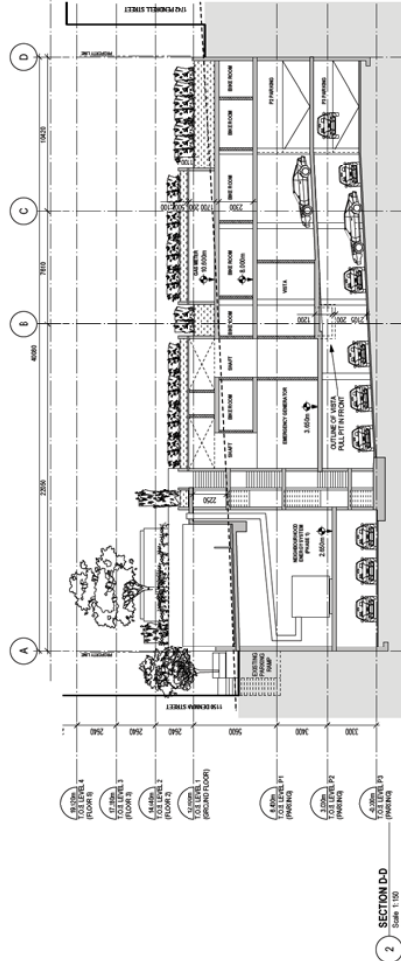
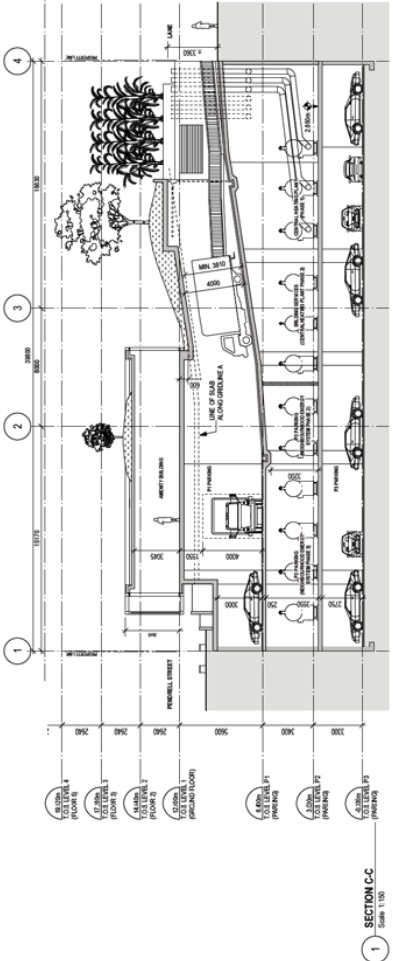
DATE OF APPLICATION: 14 Oct 2014
 RE-ISSUED FOR REZONING: 19 Dec 2014
 ISSUED FOR REZONING: 21 Aug 2013

WESTBANK ARCHITECTS
 910 ARCHITECTS
 1750 PENDRELL STREET
 TORONTO, ONTARIO M5G 1S7
 TEL: 416.597.2587 FAX: 416.597.2533

1754 - 1772 Pendrell Street
 WINDHAMER, BC

SECTION C-C, D-D & F-F
 SHEET: 19 AUG 2015
 SCALE: 1:150
 DRAWN: J. WILSON
 CHECKED: P. WILSON
 PROJECT: 1317

A2.03



west bank

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SUSTAINABLE PERFORMANCE FEATURES
 The project has been designed to meet or exceed the following sustainable performance features:
 • LEED Gold Certification
 • Energy Star Rating
 • WaterSense Water Fixtures
 • Low VOC Formulations
 • Recycled Content Materials
 • Green Building Practices
 • Sustainable Sourcing
 • Greenhouse Gas Reduction
 • Air Quality Improvement
 • Noise Reduction
 • Thermal Comfort
 • Indoor Air Quality
 • Daylighting
 • Views
 • Acoustic Performance
 • Security
 • Life Cycle Cost
 • Resilience
 • Community Benefits
 • Local Procurement
 • Greenhouse Gas Reduction
 • Air Quality Improvement
 • Noise Reduction
 • Thermal Comfort
 • Indoor Air Quality
 • Daylighting
 • Views
 • Acoustic Performance
 • Security
 • Life Cycle Cost
 • Resilience
 • Community Benefits
 • Local Procurement

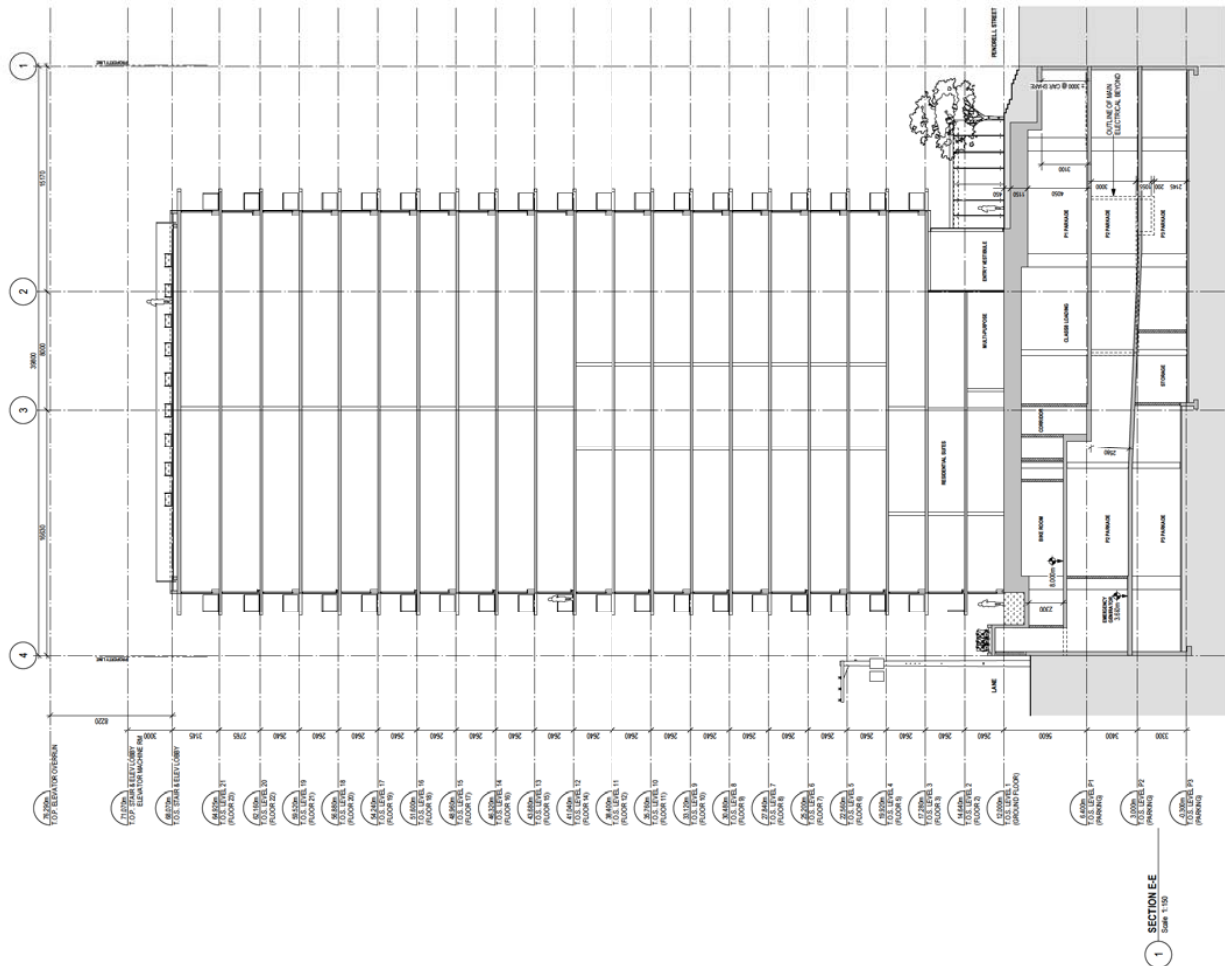
WESTBANK ARCHITECTS
 910 ARCHITECTS
 1750 PENDRELL STREET
 VANCOUVER, BC
 TEL: 604.687.2887 FAX: 604.687.2833

1754 - 1772 Pendrell Street
 VANCOUVER, BC

SECTION E-E

DATE	19 AUG 2013	REVISION	RD
SCALE	1:150	PROJECT	PW
WORKSHEET	1317		

A2.04



SECTION E-E
 Scale: 1:150

west bank

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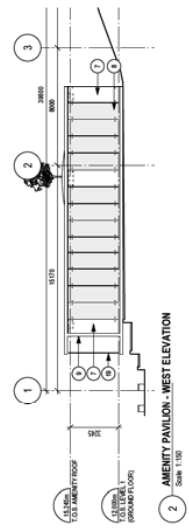
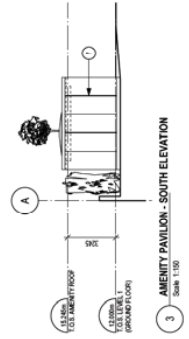
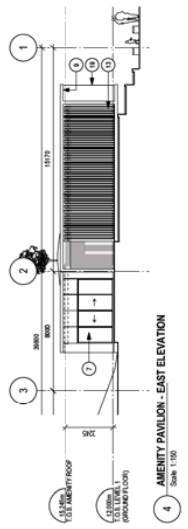
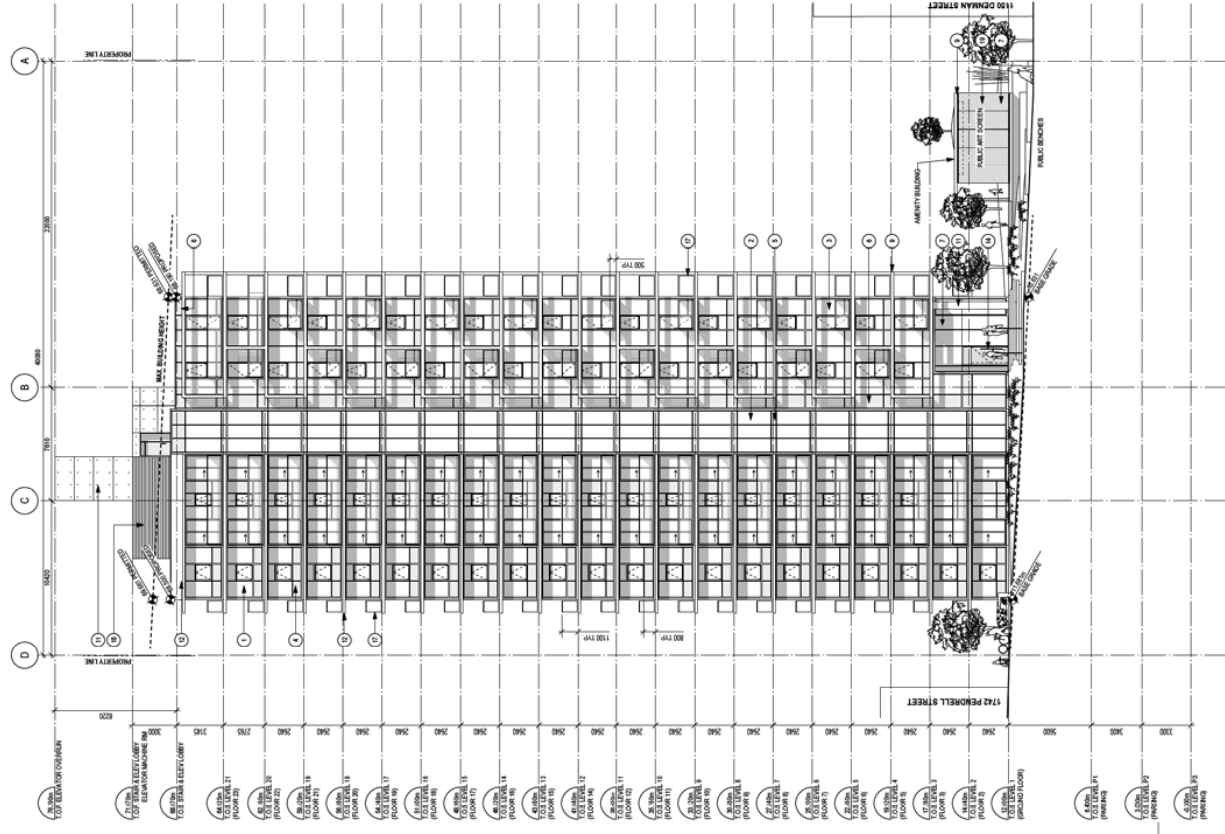
RE-ISSUED FOR REZONING 19 Dec 2014
ISSUED FOR REZONING 22 Aug 2013
DATE: 14 Oct 2014
PROJECT: 1750 PENDRELL STREET
ARCHITECT: HENRIQUEZ PARTNERS 910 ARCHITECTS
1754 - 1772 Pendrell Street
WINDHAM, VT

HENRIQUEZ PARTNERS
910 ARCHITECTS
1754 - 1772 Pendrell Street
WINDHAM, VT
TEL: 802.887.2587 FAX: 802.887.2532

MATERIALS LEGEND:

1	WINDOW WALL GLAZING 1A
2	WINDOW WALL GLAZING 1B
3	WINDOW WALL GLAZING 2
4	GLASS WINDOW WALL SPANDREL 1A
5	GLASS WINDOW WALL SPANDREL 1B
6	GLASS WINDOW WALL SPANDREL 2
7	STRUCTURAL GLAZING SPANDREL
8	PAINTED STEEL FRAME
9	PAINTED METAL DOOR
10	PAINTED METAL LATE
11	GLASS AND METAL BALCONY GUARD
12	PAINTED METAL LOBBY
13	PUBLIC ART SCREEN IN STEEL FRAME
14	MEADOWWOOD ENERGY SYSTEM WALLS

SUSTAINABLE PERFORMANCE FEATURES:
Egyp and EAC3 Fundamental & Enhanced
An independent commissioning authority has been engaged for the project.
LEED v4.1 Green Performance 4.0
The project targets LEED v4.1 Green Performance 4.0. The project will be certified through a whole building energy model.
MR2 and MR3 Construction Waste Management
75% of construction waste will be recycled (average of 25% per year).
MR4 and MR5 Recycled Content and Regional Sourcing
Prefabricated steel joists will be recycled content.
Goal: LEED v4.1 Green Performance 4.0
An energy or water conservation plan will be implemented.
Energy performance and light quality.



NORTH ELEVATION

DATE	24 AUG 2015	SCALE	1:100	PROJECT	PW
DRAWN		CHECKED			
DATE		SCALE		PROJECT	
NO.	1317				

A3.01

1 NORTH ELEVATION
Scale 1:100

west bank

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PROJECT: WEST BANK
ADDRESS: 1750 PENDRELL STREET, SUITE 100, VANCOUVER, BC V6L 2R6
DATE: 24 AUG 2015
DRAWN BY: J. HENRIQUEZ
CHECKED BY: J. HENRIQUEZ
SCALE: 1/8" = 1'-0"

RE-ISSUED FOR REZONING 19 Dec 2014
ISSUED FOR REZONING 22 Aug 2013

1750 PENDRELL STREET
VANCOUVER, BC
HENRIQUEZ PARTNERS ARCHITECTS
910 ARCHITECTS
1000 WEST 10TH STREET, SUITE 100
VANCOUVER, BC V6L 2R6
TEL: 604.687.5267 FAX: 604.687.2533

1754 - 1772 Pendrell Street
VANCOUVER, BC

DATE: 24 AUG 2015
SCALE: 1/8" = 1'-0"
DRAWN BY: J. HENRIQUEZ
CHECKED BY: J. HENRIQUEZ

A3.02

- MATERIALS LEGEND:**
- 1 WINDOW WALL GLAZING 1A
 - 2 WINDOW WALL GLAZING 1B
 - 3 WINDOW WALL GLAZING 2
 - 4 GLASS WINDOW WALL SPANDREL 1A
 - 5 GLASS WINDOW WALL SPANDREL 1B
 - 6 GLASS WINDOW WALL SPANDREL 2
 - 7 STRUCTURAL GLAZING SPANDREL
 - 8 PAINTED STEEL FRAME
 - 9 GLASS AND PAINTED STEEL CANOPY
 - 10 ARCHITECTURAL CONCRETE
 - 11 PAINTED ARCHITECTURAL CONCRETE
 - 12 WOOD SCREEN
 - 13 WOOD ENTRY DOOR
 - 14 PAINTED METAL DOOR
 - 15 PAINTED METAL LITE
 - 16 GLASS AND METAL BALCONY GUARD
 - 17 PAINTED METAL LOBBY
 - 18 PUBLIC ART SCREEN IN STEEL FRAME
 - 19 MEDIUMWOOD ENERGY SYSTEM WALLS

SUSTAINABLE PERFORMANCE FEATURES:

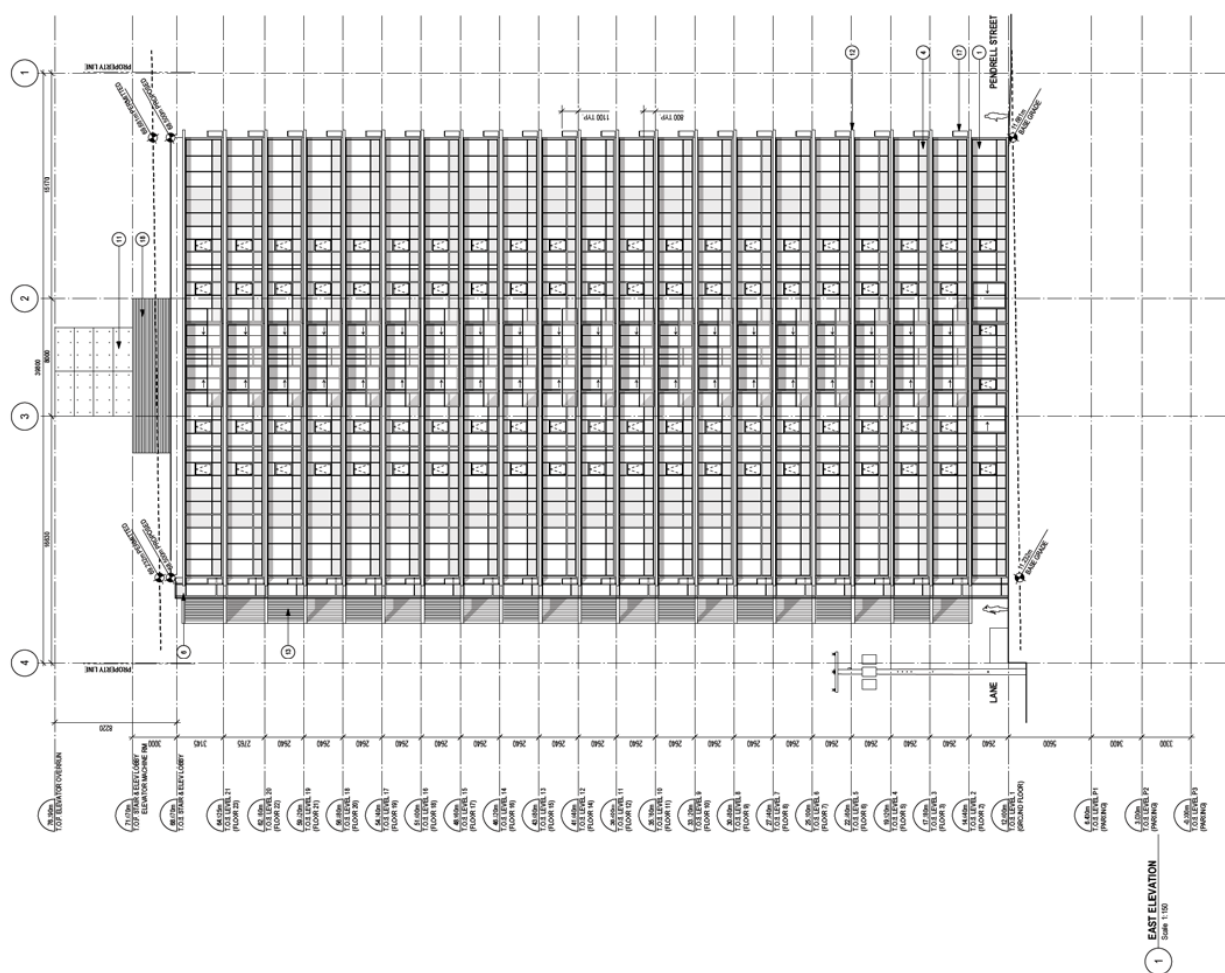
Energy and LEED Fundamental & Enhanced
An independent sustainability authority has been engaged for LEED certification. The project is a LEED Gold project. The project is a LEED Gold project. The project is a LEED Gold project. The project is a LEED Gold project.

MR2 and MR3 Construction Waste
Management
75% of construction waste will be recycled. 25% of construction waste will be recycled. 25% of construction waste will be recycled. 25% of construction waste will be recycled.

MR6 and MR12 Recycled Content and Regional Content
Products will be purchased in compliance with regional/local content.

Goal 1 will include 25% construction material. Goal 1 will include 25% construction material. Goal 1 will include 25% construction material. Goal 1 will include 25% construction material.

An owner or user engagement plan will be implemented. An owner or user engagement plan will be implemented. An owner or user engagement plan will be implemented. An owner or user engagement plan will be implemented.



1 EAST ELEVATION
Scale: 1/8" = 1'-0"

west bank

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DESIGNER: HENRIQUEZ PARTNERS ARCHITECTS
 ADDRESS: 1750 PENDRELL STREET, SUITE 100, WILMINGTON, DE 19804
 PHONE: (302) 441-1111
 FAX: (302) 441-1112
 EMAIL: INFO@HENRIQUEZPARTNERS.COM

DATE: 11/01/2013
 PROJECT: 1750 PENDRELL STREET
 SHEET: 1750 - 1772 PENDRELL STREET
 SCALE: 1/8" = 1'-0"
 DRAWN BY: J. HENRIQUEZ
 CHECKED BY: J. HENRIQUEZ
 APPROVED BY: J. HENRIQUEZ
 REVISIONS:
 1. 11/01/2013: INITIAL DESIGN
 2. 11/01/2013: REVISIONS FOR REZONING
 3. 11/01/2013: REVISIONS FOR REZONING
 4. 11/01/2013: REVISIONS FOR REZONING

HENRIQUEZ PARTNERS ARCHITECTS
 910 ARCHITECTS
 0127
 1750 PENDRELL STREET, SUITE 100
 WILMINGTON, DE 19804
 TEL: 302.441.1111 FAX: 302.441.1112
 WWW.HENRIQUEZPARTNERS.COM

1754 - 1772 Pendrell Street
 WILMINGTON, DE

DATE: 24 AUG 2013
 TIME: 11:50
 DRAWN BY: J. HENRIQUEZ
 CHECKED BY: J. HENRIQUEZ
 APPROVED BY: J. HENRIQUEZ

A3.03

- MATERIALS LEGEND:**
- 1 WINDOW WALL GLAZING 1A
 - 2 WINDOW WALL GLAZING 1B
 - 3 WINDOW WALL GLAZING 2
 - 4 GLASS WINDOW WALL SPANDREL 1A
 - 5 GLASS WINDOW WALL SPANDREL 1B
 - 6 GLASS WINDOW WALL SPANDREL 2
 - 7 STRUCTURAL GLAZING
 - 8 STRUCTURAL GLAZING SPANDREL
 - 9 PAINTED STEEL FRAME
 - 10 GLASS AND PAINTED STEEL CANOPY
 - 11 ARCHITECTURAL CONCRETE
 - 12 PAINTED ARCHITECTURAL CONCRETE
 - 13 WOOD SCREEN
 - 14 WOOD ENTRY DOOR
 - 15 PAINTED METAL DOOR
 - 16 PAINTED METAL LITE
 - 17 GLASS AND METAL BALCONY GUARD
 - 18 PAINTED METAL LOBBY
 - 19 PAULIC MET SCREEN IN STEEL FRAME
 - 20 MEDIUMWOOD ENERGY EFFICIENT GLAZING

SUSTAINABLE PERFORMANCE FEATURES:

Energy and LEED Fundamentals & Enhanced
 An independent commissioning authority has been engaged for the project.

LEED v4.1 Green Performance 2.0
 The project is designed to achieve a minimum LEED v4.1 Green Performance score of 27% (LEED Silver).

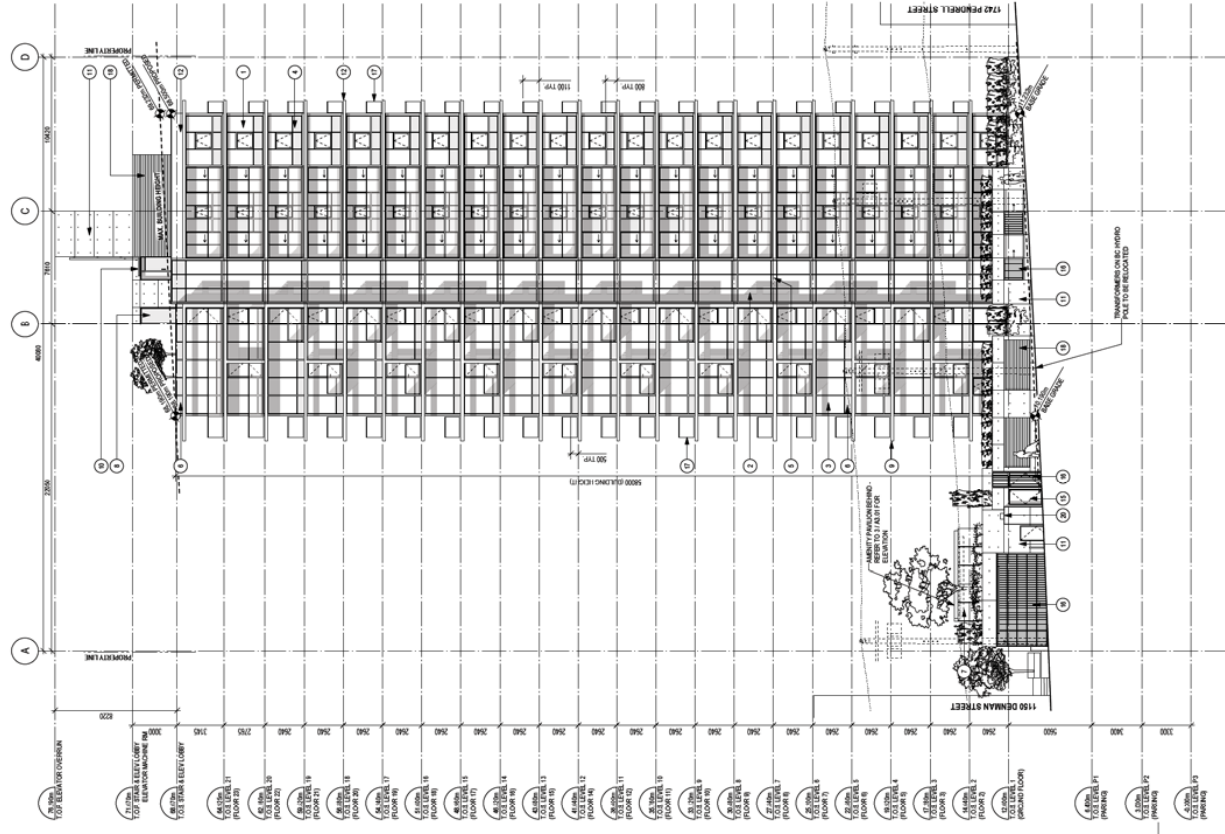
Water Conservation
 The project will include water saving fixtures and will be certified through a water saving program.

MR2 and MR3 Construction Waste Management
 The project will be certified through a waste management program.

MR4 and MR5 Recycled Content and Regional Sourcing
 The project will be certified through a recycled content program.

MR6 and MR7 Low Volatile Organic Compound (VOC) Content
 The project will be certified through a low VOC program.

MR8 and MR9 Low Global Warming Potential (GWP)
 The project will be certified through a low GWP program.



1 SOUTH ELEVATION
 Scale: 1/8" = 1'-0"

west bank

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PROJECT: 1750 PENDRELL STREET, WILKINSON, BC
DATE: 24 AUG 2015
DRAWN BY: J. HENRIQUEZ
CHECKED BY: J. HENRIQUEZ
SCALE: AS SHOWN
JOB NO: 1317

RE-ISSUED FOR REZONING 19 Dec 2014
ISSUED FOR REZONING 22 Aug 2013

HENRIQUEZ PARTNERS ARCHITECTS
910 ARCHITECTS
1017
1750 PENDRELL STREET, WILKINSON, BC
V3L 2K1
TEL: 604.897.2587 FAX: 604.897.2533

1754 - 1772 Pendrell Street
WILKINSON, BC

WEST ELEVATION

A3.04

- MATERIALS LEGEND:**
- 1 WINDOW WALL GLAZING 1A
 - 2 WINDOW WALL GLAZING 1B
 - 3 WINDOW WALL GLAZING 2
 - 4 GLASS WINDOW WALL SPANDELL 1A
 - 5 GLASS WINDOW WALL SPANDELL 1B
 - 6 GLASS WINDOW WALL SPANDELL 2
 - 7 STRUCTURAL GLAZING
 - 8 STRUCTURAL GLAZING SPANDELL
 - 9 PAINTED STEEL FRAME
 - 10 GLASS AND PAINTED STEEL CANOPY
 - 11 ARCHITECTURAL CONCRETE
 - 12 PAINTED ARCHITECTURAL CONCRETE
 - 13 WOOD SCREEN
 - 14 WOOD ENTRY DOOR
 - 15 PAINTED METAL DOOR
 - 16 PAINTED METAL LATE
 - 17 GLASS AND METAL BALCONY GUARD
 - 18 PAINTED METAL LOBBY
 - 19 PULCRAFT SCREEN IN STEEL FRAME
 - 20 MEDIUMWOOD ENERGY EFFICIENT GLAZING

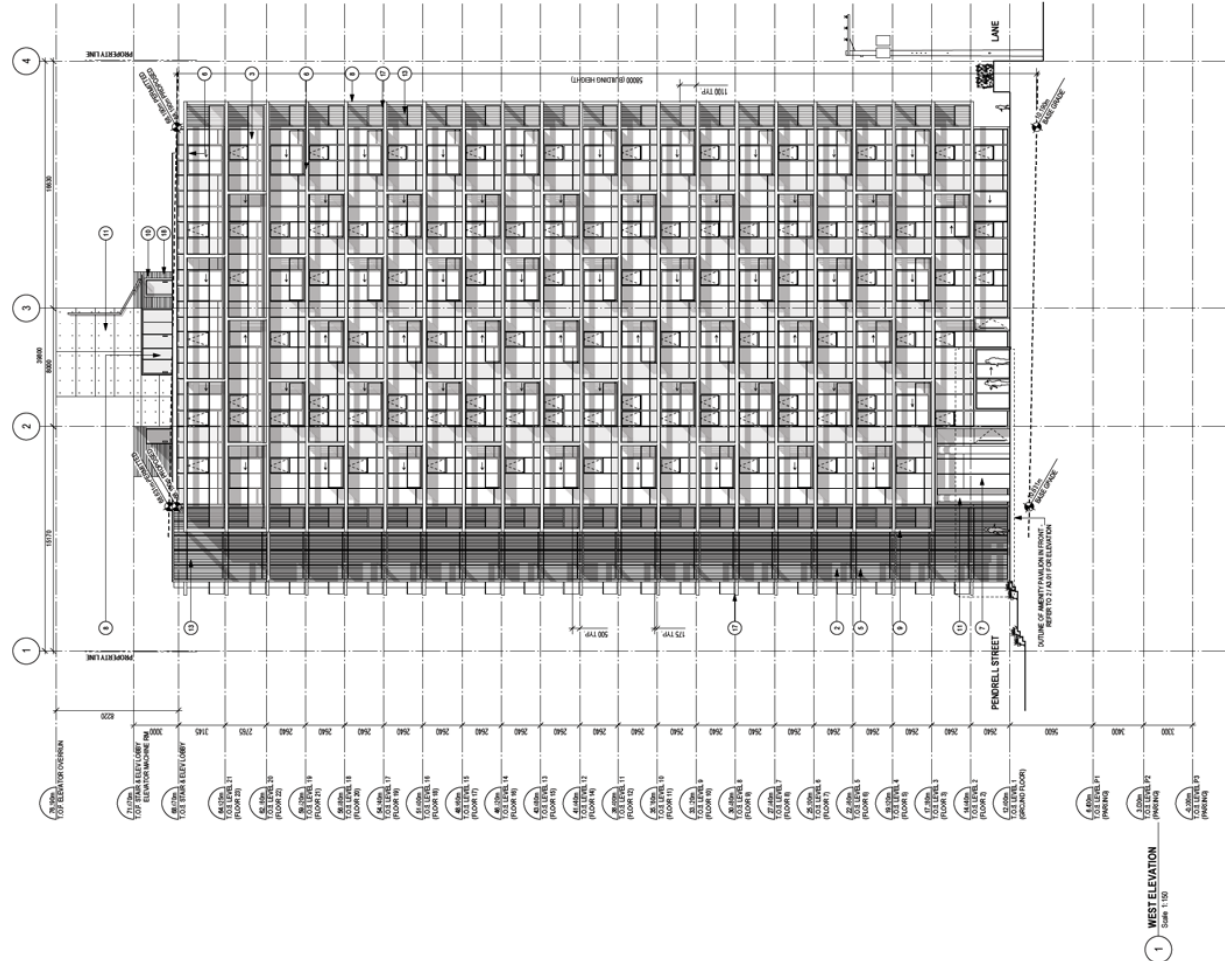
SUSTAINABLE PERFORMANCE FEATURES:

Energy and EAC3 Fundamental & Enhanced
An independent sustainability analysis has been engaged for this project. EAC3 Energy Performance 4+
The project's Energy Performance 4+ rating (27% better than the 2011 BC Building Code) will contribute to a 20% energy saving in the building's energy use.

MRC2 and MRC3 Construction Waste Management
75% of construction waste will be recycled (average of 25% of 2011 BC Building Code).

MRC4 and MRC5 Recycled Content and Regional Content
Products will be purchased in compliance with regional/local content.

Goal 1 will EAC3.2 Construction Indoor Air Quality
An indoor air quality management plan will be implemented through the project's green building strategy.



1 WEST ELEVATION
Scale: 1/50