CITY OF VANCOUVER
PLANNING & DEVELOPMENT SERVICES

DEVELOPMENT PERMIT STAFF COMMITTEE REPORT
DEC 16, 2015

FOR THE DEVELOPMENT PERMIT BOARD
JAN 11, 2016

49 E 1st AVENUE (COMPLETE APPLICATION)
DE419622 – CD-1 (612)

SDB/JMB/LK/LM

DEVELOPMENT PERMIT STAFF COMMITTEE MEMBERS

Present:	**Also Present:**
J. Greer (Chair), Development Services	S. Black, Urban Design & Development Planning
M. Holm, Engineering Services	J. Bosnjak, Development Services
D. Naundorf, Housing Policy and Projects	L. King, Development Services
M. Roddis, Park Board	M. Vitkovic, Development Services
	C. Joseph, Engineering Services
	K. Mulji, Engineering Services
	A. Zacharias, Engineering Services

APPLICANT:	**PROPERTY OWNER:**
Concert Properties Ltd.	Concert Real Estate Corporation
c/o Kate Sunderland-Ratzlaff	9 – 1190 Hornby Street
9 – 1190 Hornby Street	Vancouver, BC
Vancouver, BC	V6Z 2K5
V6Z 2K5	

EXECUTIVE SUMMARY

- **Proposal:** To develop the site with a 14-storey multiple dwelling building (Building 3) having 107 units and a 12-storey multiple dwelling building (Building 4) having 70 units, all over two levels of underground parking having vehicular access from Pullman Porter Street.

See Appendix A Standard Conditions
Appendix B Standard Notes and Conditions of Development Permit
Appendix C Processing Centre – Building Comments
Appendix D Plans and Elevations
Appendix E Revised West Elevation – Building 3
Appendix F Applicant's Design Rationale
Appendix G Applicant's Response to Rezoning Conditions

- **Issues:**
  1. Architectural design of buildings
  2. Sustainable design measures

- **Urban Design Panel: Support (6-1)**

DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATION: APPROVE

THAT the Board APPROVE Development Application No. DE419622 submitted, the plans and information forming a part thereof, thereby permitting the development of a 14-storey multiple dwelling building (Building 3) having 107 units and a 12-storey multiple dwelling building (Building 4) having 70 units, all over two levels of underground parking having vehicular access from Pullman Porter Street, subject to the following conditions and Council's approval of the Form of Development:

1.0 Prior to the issuance of the development permit, revised drawings and information shall be submitted to the satisfaction of the Director of Planning, clearly indicating:

1.1 design development and legal arrangements, to the satisfaction of the General Manager of Parks and Recreation, the General Manager of Engineering Services, the Chief Building Official, and the Director of Legal Services, for the north south walkway between East 1st Avenue and Switchman Street, on East Park and adjacent to the development site as follows:

i) design development to shift the walkway to be within 5.5 m of the west property line of Lot 356 and to provide a 3.0 m wide landscaped buffer strip between the 2.5 m wide walkway and the Lot 356 fence line;
ii) design development to relocate the proposed park trees such that they do not interfere with the 7.0 m wide registered utility Statutory Right of Way also adjacent to Lot 356;
iii) arrangements for an easement over the East Park for access (building ingress and egress) purposes, to be in favour of Lot 356, over the north-south walkway and east-west walkway connections to Lot 356. The easement agreement is to contain provisions for the maintenance and construction of the walkway and landscaping including tree planting by the Lot 356 owner;
iv) arrangements for a no-build covenant, for Vancouver Building By-law spatial separation purposes, over a 2.1 m wide portion of the access easement area; and
v) provision of an alternative solution with respect to the Vancouver Building By-law to address the unprotected openings along the west face of the building. See Building comments in Appendix C;

Note to Applicant: The 3.0 m landscaped buffer must contain planted materials other than sodded lawn in order to prevent access to and use of the landscaped buffer, including a variety of shrubs, grasses, and perennials to provide seasonal colour and year round visual interest as well as forage and habitat areas for birds and pollinators. SEFC / Olympic Village landscape guidelines should be applied to the design and maintenance of this area. The 2.5 m north-south walkway should be designed with a higher caliber of materials and treatment than the proposed CIP concrete, given the prominence of the walkway with respect to the park, and to distinguish it from the sidewalk adjacent to East 1st Avenue. The SEFC Public Realm Plan also references the expression of the shoreline and the use of tactile paving for primary pedestrian linkages in this area. A revised landscape plan should be submitted.

1.2 design development to carry the exterior design of the west elevations more consistently around to the other building elevations;

Note to Applicant: This can be accomplished by continuing design elements such as the curved beams and continuous lines farther around the building.

1.3 design development to the open area between Buildings 3 and 4 to create a more usable public space, rather than just a walk-through zone;

Note to Applicant: This could be achieved by widening the space between the buildings as much as possible, providing more amenities such as passive seating opportunities and other furnishings, higher quality materials, small gathering and gardening areas, wayfinding signage and other site features. Visual elements should create an intriguing character to attract the casual visitor. Columns, planter walls, overhead beams and other structures must be kept clear of the public right of way. Confirm that the area will not be gated and include signage indicating public access.

1.4 design development to the loading area between Buildings 3 and 4 to ensure its function, appearance and quality as an attractive public space between buildings when not in active use for loading;

Note to Applicant: This should be accomplished by continuing the public space surfaces through the open space rather than marking out the loading area; removing the overhead beams between buildings; and by providing sturdy and attractively designed bollards that prevent unintended vehicle use, an operations plan to limit usage, and other measures. Design should be in consultation with Engineering and Planning staff. See also Standard Engineering Conditions A.2.1 and A.2.2.

1.5 design development to increase the area and/or intensity of rooftop planting;

Note to Applicant: Intent is to offer more opportunities for urban agriculture, stormwater facility, common access outdoor space, and other landscape benefits rather than hard surface areas.

1.6 confirmation that the application is on track to meeting the Green Buildings Policy for Rezonings including a minimum of LEED® Gold rating, including a minimum of 63 points in the LEED® rating system, with 1 point for water efficiency and stormwater management, and a minimum of 6 points under Optimize Energy Performance; and

Note to Applicant: Provide an updated LEED® checklist and sustainable design strategy outlining how the proposed points will be achieved, a letter of confirmation from an accredited professional confirming that the building has been designed to meet these goals, and a receipt including registration number from the CaGBC. The checklist and strategy should be incorporated into the drawing set. Application for certification of the project will also be required under the policy.

1.7 notation on the plans of those built elements intended to meet the Rezoning Policy For Sustainable Large Developments.

Note to Applicant: Built features required to fulfill the sustainable strategy narrative provided in the application should be labeled with a reference to appropriate policy section. A legend should be included on the landscape and architectural plans to consolidate these notes.

2.0 That the conditions set out in Appendix A be met prior to the issuance of the Development Permit.

3.0 That the Notes to Applicant and Conditions of the Development Permit set out in Appendix B be approved by the Board.

- **Technical Analysis:**

	PERMITTED (MAXIMUM)	REQUIRED	PROPOSED
Site Area[1]			Overall 279,253 sq.ft. Sub-Area 3 & 4 45,561 sq.ft.
Floor Area	202,340 sq. ft.		202,340 sq.ft.
Balconies	24,281 sq. ft.		Open 20,923 sq.ft.
Amenity	10,000 sq. ft.		2,679 sq.ft.
Height[2]	**145.51** ft.		Building 3 Top of Parapet Wall 137.40 sq.ft. Top of Elevator Machine/Stair 148.82 sq.ft. Building 4 Top of Parapet Wall 118.74 sq.ft. Top of Elevator Machine/Stair 130.24 sq.ft.
Parking[3]	Residential 235 Visitor 27 Small Car 34 (25% max.)	Residential 135 Disability 7 Visitor 13	**Residential (Building 3 & 4)** Standard 168 Small Car 53 Disability 12 Visitor 15 Total 248
Bicycle Parking		Class A / Class B Residential 221 / 12	Class A / Class B Residential 257 / 12
Loading		Class A / Class B Total 0 / 1	Class A / Class B Total 0 / 1
Unit Type		- 35% of Dwelling Units must include two or more bedrooms; - minimum of 62 dwelling units to be two or more bedroom;	Bldg 3 One Bed 51 Two Bed 55 Three Bed 1 Total 107 Bldg 4 One Bed – 16 Two Bed – 51 Three Bed – 3 Total 70 Two Bed or more: 110 (62%)

[1] **Note on Site Area:** The proposed site area is based on the properties comprised of Parcel Area 3A and 3B of the South East False Creek Official Development Plan. This parcel has six sub-areas to which this application relates to sub-area 3 and 4.

[2] **Note on Height:** The proposal meets Section 10.11.1 of the Zoning and Development bylaw that allows for height increases for the elevator mechanical room/stair. The proposal does not encroach into the established View Cone 3: Queen Elizabeth to the Downtown skyline and North Shore Mountains.

[3] **Note on Parking:** The overall proposed parking is above the maximum permitted per the Parking bylaw. Standard Condition A.1.2 seeks compliance with Section 4.5A.1 – Required and Permitted Parking Spaces of the Parking Bylaw.

Note on Parking Level: This development permit only consists of review of the parking area for Building 3 and 4. The other areas are not part of this application and for reference only (See Standard Condition A.1.3).

- **Legal Description**

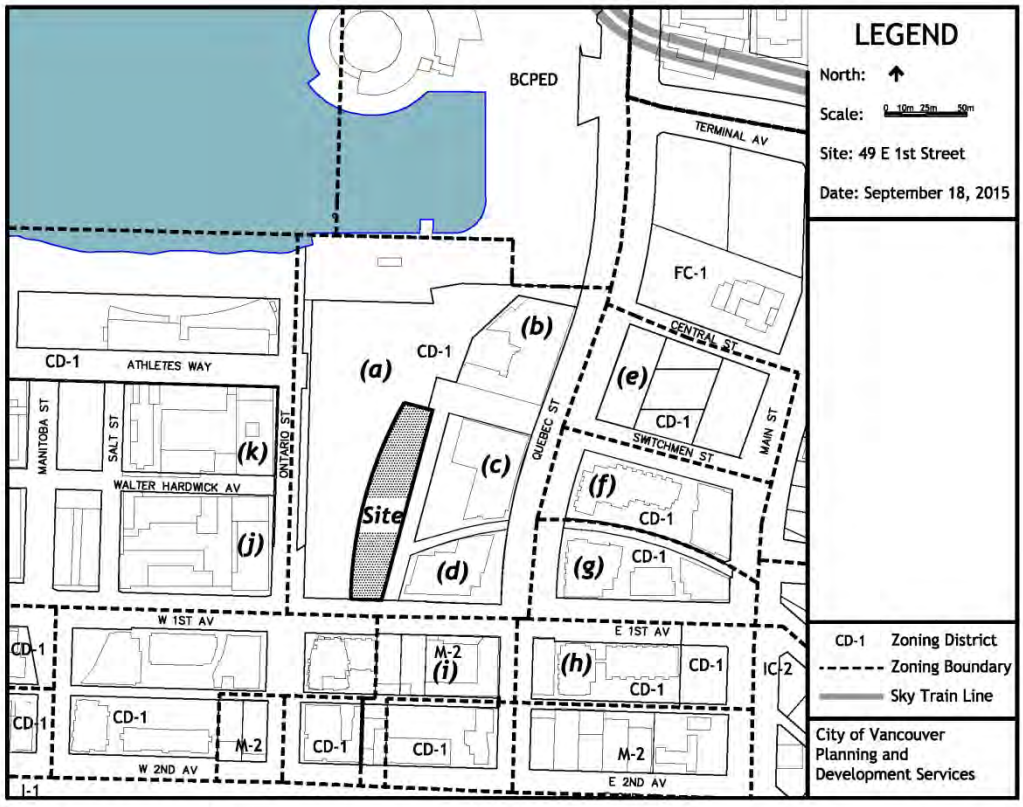
Lot:	356
District Lot:	False Creek
Plan:	EPP46205

- **History of Application:**
  15 09 31 Complete DE submitted
  15 10 21 Urban Design Panel
  15 12 16 Development Permit Staff Committee

- **Site:** The site is located in Southeast False Creek and is bound by East 1st Avenue, the East Park and Buildings 1 (15-storey non-market multiple dwelling building) and 2 (15-storey multiple dwelling building) of the overall development. The site contains Pullman Porter Street along the east edge which has been secured through a Statutory Right of Way.

- **Context:** Significant adjacent development includes:

(a) East Park
(b) Building 5 - 1551 Quebec Street – 18-storey residential building (approved rezoning application)
(c) Building 2 - Voda at the Creek - 1661 Quebec Street – 15-storey residential building (approved development application)
(d) Building 1 - 95 East 1st Avenue –15-storey non-market residential building (approved development application)
(e) Central, 1618 Quebec Street – 18-storey mixed-use residential/office building
(f) Lido, 110 Switchmen Street – 19-storey mixed-use residential/commercial building
(g) Block 100, 111 East 1st Avenue - 15-storey mixed-use residential/commercial building
(h) Meccanica, 108 East 1st Avenue - 12-storey residential building
(i) Mario's Gelato, 88 East 1st Avenue – 4-storey ice-cream manufacturing plant.
(j) Sails (Village on False Creek), 1661 Ontario Street - 12-storey mixed use residential/commercial building
(k) Kayak (Village on False Creek), 1633 Ontario Street – 11-storey mixed-use residential/commercial building



● **Background:**

On June 10, 2014, City Council approved an application to rezone a consolidated set of properties from M-2 to CD-1 (Comprehensive Development) District to allow 58,020 s.m. (624,525 sq. ft.) of residential development in five separate buildings. This rezoning was done in accordance to the Southeast False Creek Official Development Plan, and includes a 9,748 s.m. (104,925 sq. ft.) non-market affordable housing building as a major component of the public benefits derived from this and other rezonings within the Southeast False Creek precinct. Buildings 2 to 5 within the rezoning area, are to be entirely composed of market residential use.

This application follows the site rezoning with a proposal for a 14 storey multiple dwelling building (Building 3) and a 12 storey multiple dwelling building (Building 4). Separate Development Permits have been issued for a multiple dwelling building at 1661 Quebec Street (Building 2) and for a non-market affordable housing building at 95 East 1st Avenue (Building 1).

The applications already submitted for the other 3A/3B sites immediately to the east will be required to provide the majority of new publicly-accessible areas for vehicular and pedestrian movement throughout the rezoning area. These would include Pullman Porter Street, Railspur Mews, Railspur Plaza, and Switchman Street. In addition, applications for the adjacent sites included a design for a common underground parking area to serve Buildings 3, 4, and 2.

● **Applicable By-laws and Guidelines:**

CD-1 By-law 612 (enacted June 23, 2015) – The CD-1 By-law sets limits to building height and density for this particular sub-area, as well as delineate urban design requirements of the proposal, including building setbacks and general interfaces between the private and public spaces. Furthermore, Design Development Rezoning Conditions were included to address Urban Design deficiencies that were identified in the Rezoning application.

Southeast False Creek Public Realm Plan (July 20, 2006) – The SEFC Public Realm Plan outlines the requirements for a specialized treatment of the public realm, evoking the cultural history of the area as well as the sustainability features within the neighbourhood. Specialized paving treatment, street furniture, lighting standards and historical references are expected to be incorporated within the public realm treatment of this CD-1 area.

Southeast False Creek Private Lands – Public Realm Enrichment Guidelines – The SEFC Private Lands - Public Realm Enrichment Guidelines further outline the public realm requirements to the Private Lands within SEFC (outside of the Athlete's Village). Historical references to the area through public art or the provision of historical artifacts are required, as well as customized street furniture and paving patterns.

Southeast False Creek Design Guidelines for Additional Penthouse Storeys (July 20, 2010) – Following the development of the Olympic Village in 2010, Council recognized an opportunity for the developers of the privately owned lands within SEFC to contribute further towards public benefits (e.g. Housing affordability, heritage), and directed staff to develop a policy approach for increases in building height. The resulting policy supports up to two additional partial penthouse storeys, and commensurate density, on buildings in certain areas within SEFC. These additional storeys are subject to urban design analysis to ensure a minimization of impact on the public and private realms.

Southeast False Creek Official Development Plan (SEFC ODP) – The SEFC ODP envisioned the transformation of underutilized industrial waterfront land into a high-density, predominantly residential neighbourhood, demonstrating the City's ability to move significantly towards more sustainable development practices. It seeks to encourage vitality, livability, diversity, and cultural

richness in a manner that respects the history and context of the area.

Southeast False Creek Green Building Strategy (adopted July 2004 and amended July 2008) – This policy provides a green building strategy for Southeast False Creek, requiring the achievement of a minimum baseline of environmental performance in all facets of building design and construction. This strategy applies to all medium and high density residential, mixed-use, commercial, institutional, and industrial developments in SEFC. This includes connectivity to the existing Neighbourhood Energy Utility and a sustainability strategy that will demonstrate how the project will earn LEED Gold certification.

High-Density Housing for Families with Children Guidelines - These guidelines apply for any development that proposes a density that is 75 dwelling units per hectare or higher. The guidelines describe the recommended design of child-friendly areas, including indoor and outdoor amenity spaces and outdoor play areas.

● **Response to Applicable By-laws and Guidelines:**

CD-1 By-law 612

The application generally meets the requirements of this by-law, except as noted in the Technical Analysis and Standard Conditions in Appendix A.

Southeast False Creek Public Realm Plan, and
Southeast False Creek Private Lands – Public Realm Enrichment Guidelines

This application is substantially consistent with the Southeast False Creek Public Realm Plan and Guidelines. The "Railyard" cultural history and historical shorelines of the site are reflected by and marked by paving treatment. Street furniture and lighting recall the industrial past. Native plant species, metal rails and rail yard remnants are some of the character defining elements used.

Southeast False Creek Official Development Plan (SEFC ODP), and
Southeast False Creek Design Guidelines for Additional Penthouse Storeys

This application is substantially consistent with the form of development proposed at rezoning, which the rezoning report noted was generally in conformance with the ODP and Penthouse guidelines. For example, the penthouse areas are set back from the levels below by between 6 and 29 ft., which can be seen at level 13 of Building 3 and level 11 of building 4. However, as some rooftop open space has been reduced in this application, staff recommend an offsetting improvement to the remaining open spaces (see Condition 1.5).

Southeast False Creek Green Building Strategy

This policy is addressed within the Response to Rezoning Condition section for item A. (b) 6.

High-Density Housing for Families with Children Guidelines

This policy is addressed in the Housing Policy & Projects section.

- **Response to Applicable Design Development Rezoning Conditions:**

Rezoning Condition A.(b)5:	Design development to the proposed building setbacks from property lines to conform with setbacks listed in the 3A/3B Design guidelines, in order to support sufficient area for private patios, private porches, private overhead balconies, public sidewalks, enhanced landscape treatments and other urban design considerations. That the proposed semi-private courtyards of Buildings 2 and 5 be redesigned to be fully accessible by the public, and visibly welcoming from the public sidewalk.
Applicant Response:	Building setbacks for Buildings 3 and 4 conform to those listed in Design Guidelines. (Courtyard extends off of Railspur Mews and is open to the public and noted as part of DE application for Building 2).
Staff Assessment:	Building setbacks are noted in the Design guidelines in Section 3.2, and include the provision of a minimum 8 ft. setback from the curved west property line for patios and landscaping on private property to enhance the public realm, and a 3.3 ft. setback from the new north-south street (Pullman Porter Street). The application meets these requirements. However, a public sidewalk, landscaping buffer and access pathways to private patios are proposed to be located on the future East Park property, rather than within the building setback as required in the rezoning condition. While this location has been accepted in this case from an urban design perspective for Building 3 and 4 (subject to agreements), it does constrain the future design of the East Park, and staff recommend that Building 5 be designed to avoid reliance on Park space. Condition 1.1 is recommended to deal with the property and building code implications of the proposed design for Buildings 3 and 4.

Rezoning Condition A.(b)6:	Identification on the plans and elevations of the built elements contributing to the building's sustainability performance in achieving LEED® Gold, including a minimum of 63 points in the LEED® rating system, and, specifically, a minimum of 6 points under Optimize Energy Performance. Note to applicant: Provide a LEED® checklist confirming the above and a detailed written description of how the above-noted points have been achieved with reference to specific building features in the development, and notation of the features on the plans and elevations. The checklist and description should be incorporated into the drawing set. Registration and application for certification of the project are also required under the policy.
Applicant Response:	See LEED checklist that is part of Buildings 3 and 4 Development Permit submission.
Staff Assessment:	The application does not include information on the plans, but does provide the checklist listed in the Note on sheet A1-5. Confirmation of the green building measures is recommended in Condition 1.6.

	The application also includes a wide-ranging sustainable strategy narrative addressing the separate policy for sustainable larger developments. Confirmation of the sustainable measures under this policy is recommended in Condition 1.7.

This report also considers the advice of the Urban Design Panel (pg. 10), in response to which staff recommend further design development to the exterior façade and to the space between Buildings 3 and 4 (see Conditions 1.2 to 1.3).

● **Conclusion:** The application generally meets the relevant policies and the measures established at rezoning. Staff recommend support, subject to the conditions noted.

URBAN DESIGN PANEL

The Urban Design Panel reviewed this application on October 21, 2015, and provided the following comments:

EVALUATION: SUPPORT (6-1)

- **Introduction:** Sailen Black, Development Planner, started by mentioning that in 2014 Council rezoned a set of properties to allow 624,525 sq. ft. of residential development in five separate buildings. These included a 104,925 sq. ft. non-market affordable housing building and daycare in Building 1. The plan also includes two new roads and a new public space, Railspur Mews, which follows the historic railway tracks.

  Buildings 1 and 2 have been reviewed already, and Building 5 will be seen in the future. The current proposal being reviewed is for Buildings 3 and 4.

  All of the buildings were seen at the rezoning stage by the Urban Design Panel in October 2013, and some items were noted as needing improvement. These included:

  - Design development to improve the architectural expression;
  - Design development to improve how the project relates to the urban scale;
  - Consider a more subtle interpretation of the rail yard context.

  The following policies apply to the area:

  CD-1 By-law – noted above

  Southeast False Creek Public Realm Plan

  Specialized treatment of the public realm, evoking the cultural history of the area as well as the sustainability features within the neighbourhood

  - paving treatment, street furniture, lighting standards and historical references

  Southeast False Creek Private Lands – Enrichment Guidelines

  - references to the area through public art or the provision of historical artifacts are required, as well as customized street furniture and paving patterns

Southeast False Creek Green Building Strategy

- sustainability strategy includes LEED Gold certification

High-Density Housing for Families with Children Guidelines

- provision of child-friendly areas, including indoor and outdoor amenity spaces, outdoor play areas

The proposal is a complete development permit application which includes two new multiple dwellings at 14 and 12-storeys over a common parkade structure linked to Building 2. Multiple pedestrian connections around and through site exist, including between Buildings 3 and 4. Outdoor patios and doorways proposed along Park edge which helps to animate the open space. A loading bay was originally proposed on Pullman Street, but is now proposed in the pedestrian open space between buildings.

Advice from the Panel on this application was sought on the following:

1. Quality of the public realm interface, including the Park edge and the public pathway between buildings
2. Resolution of architectural character in response to the different geometries and conditions on each of the four sides, including the curve of the Park
3. Detailed architectural and landscape design of the other elements

- **Applicant's Introductory Comments:** The applicant team noted that there is a reductionist approach to the project. The precinct and park have been re-designed to enhance them. One objective was to increase the size of park and open the views to the Telus World of Science. This would make a better link with the surrounding lands and create a more passive park.

  An enclave of buildings has been designed with a hierarchy of building expressions to create a better sense of place. The essence of curvature has been played up line how the buildings have been lined up. Foreground buildings are calm and reflective, and the horizontal expression will make these buildings stand out.

  The terraces at the ground are pulled back to create a good public/private interface, and there is an arching expression of the entrance canopies which is meant to reflect the arch of the park. Generous balconies allow for natural light to be brought into the vertical and horizontal expressions of the building. Overall these buildings mean to create a calm and meaningful expression.

  In terms of materials the base is stone sheet, the centre is concrete and the townhouses are dark stone.

  Although there is limited space on the ground floor, it aims to celebrate the two shore-lines. There are also a lot of industrial things on the ground plane with expressed metal and a utilitarian look to reference the rail yards.

  There is urban agriculture and a kid's play area on the upper deck. The amenities are shared across the buildings, and include a lot of vegetative cover.

- **Panel's Consensus on Key Aspects Needing Improvement:**

  - The building expression needs to be more cohesive and calmed. - The middle is good, but the top and bottom need work.
  - The top could have more delight.
  - The base material is out of sync with the 'floating' aspect of the building; revise the materials to be more in keeping with marine location.
  - The central piece of the landscape should be a place to anchor the site better, and could have better connection with interior spaces – currently just a path.
  - The trellis piece seems stuck on and doesn't relate – possibly mark the passage with art or something else to celebrate the entries architecturally.
  - Step the slab on the private property to facilitate tree growth.
  - Change the balcony projections at the end of the building as they ruin curves.
  - Solve thermal bridging issues.
  - The glass on top of the horizontal railings matters in its detailing and needs to be done well.

- **Related Commentary:** The panel thanked the applicant for their presentation, and noted that the building is visually appealing.

  ARCHITECTURE OF BUILDING:
  While some panel members thought that the building was too busy and some thought it was too calm, all agreed that it does not do enough to reference the nautical theme which it purports to embody. Currently the buildings having a form with a 'stern' and 'bow' are the only reference to the ship theme. Another curved element at the first level would help to give a hint as to what these buildings are about.

  At the top of the building the geometry of the penthouse is too foreign. Use the deck edge to connect the two geometries better. The nautical theme could be strengthened by using a slightly different treatment for the penthouse to create a 'wheelhouse' on top.

  The punch-opening façade looks weak; if the glassy façade on the north building could be brought to the south building at the courtyard it would add a transparency and lightness to the area. The west façade would be more successful if it was less notched and more continuous. The entrance needs design development as the trellis elements do not relate to the rest of the building.

  The materiality seems expected, and could also do more to harken more to the nautical theme. One panellist felt that the stone should not look slick and manufactured. It should also carry up the building and not just stop at the base.

  The shared amenity spaces work well together. However, there are no washrooms associated with the amenities on the lower floor. The amenities on the upper levels could also use some more covered outdoor space.

  LANDSCAPE:
  There is rail on one side and shoreline on the other and these seem to clash a bit. The public realm interface could be improved by taking a position on what the reference is.

  The townhouses on the ground floor work well, but the applicants are encouraged to add a regular line of strong trees on that side. There is a lot of activation and integration around the buildings, and the pathway connection might be better as a courtyard pushed out beyond the path. Something is needed to punctuate the space and provide a better connection with the interiors. Marking the path with art rather than just the canopy might be better.

SUSTAINABILITY:
The balconies are very thin and do little to minimize the thermal break. More work is needed to solve the thermal bridge issues.

- **Applicant's Response:** The applicant team thanked the panel for their positive comments and noted that they will do their best to incorporate them into the project. While the two shore-lines shown are a requirement of the public realm, the comments about the sentry elements and the potential for a 'wheelhouse' were appreciated.

ENGINEERING SERVICES

The recommendations of Engineering Services are contained in the prior-to conditions noted in Appendix A attached to this report.

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

Staff recommendations are contained in the prior-to conditions noted in Appendix A.

HOUSING POLICY & PROJECTS

The proposed 12 and 14-storey buildings on this site, include 110 units with two or more bedrooms (62% of total units comprised of 106, 2-bedroom units and 4, 3-bedroom units) which may be suitable for families with children. The High Density Housing for Families with Children Guidelines are applicable to this site. Consistent with the guidelines, multi-purpose amenity rooms with accessible washroom, kitchenette and storage closet is planned for level 13 of Building 3 and level 11 of Building 4. Further common indoor amenity space in the form of a ground floor gym (Building 3) and lounge (Building 4) is also planned.

Consistent with the guidelines, the indoor amenity rooms are each adjacent to a common outdoor amenity patio. The outdoor amenity area on level 13 of Building 3 includes urban agriculture as well as a children's play area with play hut and balancing logs which allows for a range for creative and motor-skills developing play activity for a range of ages.

Confirmation is needed that the common amenity spaces in each building, particularly the children's play area in Building 3 is accessible to residents of both buildings (see Standard Condition A.1.22)

URBAN AGRICULTURE

The City of Vancouver Food Policy identifies environmental and social benefits associated with urban agriculture and seeks to encourage opportunities to grow food in the city. The "Urban Agriculture Guidelines for the Private Realm" encourage edible landscaping and shared gardening opportunities in new developments. Consistent with these guidelines, plans for Level 11 of Building 4 and level 13 of Building 3 include accessible urban agriculture plots and the supporting infrastructure for urban agricultural activity, compost bin, a potting bench and a hose bib. Design development is needed to ensure the hose bib location is convenient and accessible to the common garden plots and to confirm that tool storage will be accommodated within the planned "custom benches" (see Standard Condition A.1.23).

PARK BOARD

The park, currently referred to as East Park, will be designed through a Park Board led process. A thorough public engagement process involving neighbourhood residents in the programming and design of the park is anticipated to occur later in 2018. The park design will be finalized in response to the public input.

Development adjacent to park space is required to provide space for private patios, porches, balconies, public sidewalk, transitional landscape treatment, and access pathways on the development site. For future development sites adjacent to East Park, sufficient building setbacks are therefore required to ensure these elements are located on private property.

PROCESSING CENTRE – BUILDING

This Development Application submission has not been fully reviewed for compliance with the Building By-law. The applicant is responsible for ensuring that the design of the building meets the Building By-law requirements. The options available to assure Building By-law compliance at an early stage of development should be considered by the applicant in consultation with Processing Centre-Building staff.

To ensure that the project does not conflict in any substantial manner with the Building By-law, the designer should know and take into account, at the Development Application stage, the Building By-law requirements which may affect the building design and internal layout. These would generally include: spatial separation, fire separation, exiting, access for physically disabled persons, type of construction materials used, fire fighting access and energy utilization requirements.

Further comments regarding Building By-law requirements are contained in Appendix C attached to this report

NOTIFICATION

A site sign was placed on site and installation verified on October 16, 2015. On October 15, 2015, 1,108 notification postcards were sent to neighbouring property owners advising them of the application, and offering additional information on the city's website. At the time of this report no responses were received.

DEVELOPMENT PERMIT STAFF COMMITTEE COMMENTS:

The Staff Committee has considered the approval sought by this application and concluded that with respect to the Zoning and Development By-law it requires decisions by both the Development Permit Board and the Director of Planning.

With respect to the decision by the Development Permit Board, the application requires the Development Permit Board to exercise discretionary authority as delegated to the Board by Council.

The staff committee is confident that the proposal is consistent with the rezoning and supports the application with the conditions contained in this report.

J. Greer
Chair, Development Permit Staff Committee

S. Black, Architect AIBC
Development Planner

J. Bosnjak
Project Coordinator

Project Facilitator: L. King

DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATIONS

The following is a list of conditions that must also be met prior to issuance of the Development Permit.

A.1 Standard Conditions

A.1.1 the proposed form of development can and does become approved by City Council;

A.1.2 compliance with the number of parking spaces in accordance with the Parking By-law, to the satisfaction of the General Manager of Engineering Services;

Note to Applicant: Parking spaces are to not exceed the maximum permitted per the Parking By-law. Section 4.5A.1 of the Parking Bylaw permits a maximum of 235 parking spaces for Building 3 and 4. This number includes any Visitor/Disability spaces.

A.1.3 removal of off-street parking information from the plans not part of this application;

Note to Applicant: Parking calculations for Building 2 were reviewed during the development permit applications for that building. Stall lines and parking counts are to be removed and parking areas should be noted as "Not part of this application". It is the applicant's responsibility to ensure compliance with the parking by-law for Building 2.

A.1.4 provision of detailed floor and roof elevations for each floor and roof level in the building, as related to the existing grades on site;

Note to Applicant: Top of guard/parapet and top of elevator shaft parapet to be provided on elevation plans.

A.1.5 provision of building grades and existing/finished elevations on site plan;

A.1.6 compliance with the "Bulk Storage – Residential Developments" Bulletin;

Note to Applicant: A storage room must be accessed from a common area or hallway within the dwelling unit. (See TH-1, level 2, Building 3 and TH-7, level 2, Building 4;)

A.1.7 update floor area and parking numbers in the statistics table on A-03;

Note to Applicant: Floor area numbers do not match the overlays. Parking numbers need to be updated.

A.1.8 provision of an FSR overlay to show roof deck and open balcony areas;

Note to Applicant: The overlay must distinguish the different areas sought as exclusions.

A.1.9 an acoustical consultant's report shall be submitted which assesses noise impacts on the site and recommends noise mitigation measures in order to achieve noise criteria;

A.1.10 written confirmation shall be submitted by the applicant that:

- the acoustical measures will be incorporated into the final design and construction, based on the consultant's recommendations; and

- mechanical (ventilators, generators, compactors and exhaust systems) will be designed and located to minimize the noise impact on the neighbourhood and to comply with Noise By-law #6555;

A.1.11 design development to locate, integrate and fully screen any emergency generator, exhaust or intake ventilation, electrical substation and gas meters in a manner that minimizes their visual and acoustic impacts on the building's open space and the Public Realm;

Crime Prevention Through Environmental Design (CPTED)

A.1.12 design development to take into consideration the principles of CPTED, having particular regard for reducing opportunities for:

i) theft in the underground parking
ii) residential break and enter
iii) mail theft
iv) mischief in alcoves and vandalism, such as graffiti

Landscape

A.1.13 design development to provide outdoor spaces that are flush with the existing grades, creating a seamless landscape without the reliance on raised planters;

Note to Applicant: This will require deeper excavation of the parkade.

A.1.14 provision of maximized tree growing medium and planting depths for tree and shrub planters to ensure long term viability of the landscape.

Note to Applicant: Underground parking slabs and retaining walls may need to be altered, sloped or lowered to provide adequate depth and continuous soil volumes. Growing mediums and planting depths for larger trees should be minimum 36". For trees planted along Pullman Porter Lane where no Engineering infrastructure conflicts, Silva Cells should be extended under sidewalk.

A.1.15 design development to improve sustainability by the provision of edible plants, in addition to urban agriculture plots;

Note to Applicant: Edible plants can be used as ornamentals as part of the landscape design. Shared gardening areas should reference and be designed to adhere to Council's Urban Agriculture Guidelines for the Private Realm and should provide maximum solar exposure, universal accessibility and provided with amenities such as, raised beds, water for irrigation, potting bench, tool storage and composting

A.1.16 provision of section details at a minimum scale of 1/4"=1'-0" scale to illustrate typical proposed landscape elements including paving, furnishings, historical features, planters on structures, benches, fences, gates, arbours and trellises, and other features;

Note to Applicant: Details should confirm adherence to the SEFC Public Realm Enrichment Guide and Public Realm Plan. Planter section details must confirm depth of proposed planting on structures is deep enough to accommodate rootballs of proposed trees well into the future. Planting details should confirm the use of soil cells or structural soil for tree plantings on grade (see Standard Engineering Condition A.2.6).

A.1.17 provision of sections (1/4"=1' or 1:50) illustrating the buildings to public realm interface facing the street, confirming a delineated private to public transition of spaces.

Note to Applicant: The section should include the building façade, as well as any steps, retaining walls, guardrails, fences and planters. The location of the underground parking slab should be included in the section.

A.1.18 coordination of new proposed street trees with Engineering and Park Board and the addition of the standard note regarding street trees: "Final species, quantity and spacing to the approval of City Engineer and the Park Board. Contact Eileen Curran (604-871-6131) of Engineering Streets Division regarding street tree spacing and quantity. Contact Cabot Lyford (604-257-8587) of Park Board regarding tree species."(see Standard Engineering Condition A.2.6);

A.1.19 provision of a high-efficiency automatic irrigation system for all planters on parkade slab and minimum of hose bibs to be provided for landscape on grade;

A.1.20 provision of a landscape lighting plan;

Note to Applicant: Lighting details can be added to the landscape drawings; all existing light poles should be shown.

A.1.21 provision of a trellis and vines over the underground garage access ramp;

Housing Policy and Projects

A.1.22 confirmation that the common amenity spaces in each building, particularly the children's play area in Buildings 3 is accessible to residents of both buildings; and

A.1.23 design development to the urban agriculture areas on level 11 of Building 4 and level 13 of Building 3 to ensure the hosebib location is convenient and accessible to the common garden plots and to confirm that tool storage will be accommodated within the custom benches noted.

A.2 Standard Engineering Conditions

A.2.1 approval by the City Engineer of any above-grade portion of the development within the East Park Walkway Statutory Right of Way area (see CA4573659-62);

A.2.2 modification, prior to occupancy, of the East Park Walkway Statutory Right of Way Agreement (CA4573659-62) to accommodate the proposed loading space. A topographic survey of the Statutory Right of Way area is also required prior to occupancy;

A.2.3 arrangements to the satisfaction of the General Manager of Engineering Services and the Director of Legal Services for the release of the master no-development covenant registered as CA4467768;

A.2.4 arrangements to the satisfaction of the General Manager of Engineering Services and the Director of Legal Services for the release of Statutory Right of Way Agreement BB1319675 and Covenant BB13119676 (for NEU; the area defined on Plan EPP11215 is now Road);

A.2.5 provision of final building grades and corresponding design elevations at all entries;

A.2.6 provision of a streetscape design plan to the satisfaction of the General Manager of Engineering Services and the Director of Planning, in keeping with the Southeast False Creek Public Realm Enhancement Guidelines;

Note to Applicant: A separate application to the General Manager of Engineering Services noting the following is required;

- Provision of protected bike lanes, concrete sidewalks and boulevards on East 1st Avenue as per the City's approved geometric design.

- Provision of sodded lawn and street trees in the boulevard between the sidewalk and the protected bike lane, and exposed aggregate concrete and trees in grates in the boulevard between the travel lane and the protected bike lane on East 1st Avenue. Coordination of the landscape plans and sections for 1st Avenue.

- Provision of a 2.4 m broom finish cast in place concrete sidewalk with saw cut joints on East 1st Avenue.

  Note to Applicant: All CIP sidewalks and walkways in the public realm shall have broom finish and saw cut joints and the materials legend is to be updated to reflect this.

- Provision of curb ramps with score lines in the direction of travel as per the City of Vancouver Street Restoration Manual.

- Provision of a planter wall of a maximum height of 24" measured from the sidewalk to the top of the wall along the sidewalk on Pullman Porter Street to match the east side of the street.

  Note to Applicant: The applicant has proposed a 3'-7" high wall on drawing L2.1 which given the limited sidewalk space will make walking along the street uncomfortable.

- Provision of planting along Pullman Porter Street to match the east side.

  Note to Applicant: This information forms part of this DE and must be included on the landscape plans. All plants in the boulevards on Pullman Porter Street should grow to a maximum mature height of 2'-0" when measured from the adjacent sidewalk and not encroach onto the sidewalk.

- Provision of all plant material proposed in the public realm along the streets, pedestrian walkway and the East Park that meet the planting specifications outlined in the 2009 Southeast False Creek Private Lands Public Realm Enrichment Guide.

  Note to Applicant: Rhododendron, azalea and other plant material not specified in the Guide are not acceptable.

- Remove the note on drawing L-1.2 that indicates 3 bike racks located in the landscaped area near the intersection of Pullman Porter Street and the pedestrian walkway, north of the loading bay.

- Provision of plant material behind the benches proposed on East 1st Avenue that will not grow to 8 feet tall and encroach onto the benches.

A.2.7 compliance with the Parking and Loading Design Supplement to the satisfaction of the General Manager of Engineering Services;

Note to Applicant: The following items are required to meet provisions of the Parking By-law and the Parking and Loading Design Supplement.

- Provision of design elevations on both sides of the parking ramp at all breakpoints, both sides of the loading bay, and at all entrances.

  Note to Applicant: Show design elevations for the ramp connections to Building 2 on P1 and P2 to confirm the slopes shown.

- Provision of an improved plan showing the required maneuvering for the largest vehicle to access the Class B loading spaces.

  Note to Applicant: This is required to confirm that the required maneuvering is being provided in one movement.

- Provision of automatic door openers on the doors providing access to the bicycle room(s) and note on plans.

- Provision of an improved plan showing the access route from the Class A bicycle spaces to reach the outside.

  Note to Applicant: The route must be 'stairs free' and confirm the use of the parking ramp, if required.

- Provision of a section drawing between gridlines PJ and PK showing elevations, vertical clearance, and security gates for the parking ramp connection to Building 2.

  Note to Applicant: 2.3 m (7.5') of vertical clearance is required for the disability stall access and should be noted on plans.

- Provision of a minimum 36" centre to centre spacing between individual Class B bicycle racks and between a bike rack and any adjacent wall or obstruction in order to accommodate two bicycles on each rack in accordance with the Bicycle Parking Guidelines, 2nd Edition (2010) published by the Association of Pedestrian and Bicycle Professionals (apbp).

- Extend canopy or relocate Class B bicycle spaces to be undercover.

  Note to Applicant: The following was a condition from the rezoning. Provision of Class B bicycle parking to be located close to the doors, undercover, and clearly visible from inside the building and from the street.

Please contact Dave Kim of the Neighbourhood Parking and Transportation Branch at 604-871-6279 for more information or refer to the Parking and Loading Design Guidelines at the following link:
(http://vancouver.ca/home-property-development/parking-policies-guidelines.aspx)

A.2.8 arrangements to the satisfaction of the General Manager of Engineering Services and Director of Legal Services for a Statutory Right of Way over the NEU room and the NEU piping which will run from the building entry point to the NEU room;

A.2.9 provision of a dedicated NEU room for housing the energy transfer station to the satisfaction of the General Manager of Engineering Services;

Note to Applicant: The room must be located on the P1 level and in close proximity to the existing NEU distribution piping installed to service this site. The current "NEU Room" location shown at the south east corner of the site is acceptable, although a 6 foot wide access door is preferred.

A.2.10 provision of dedicated space for the installation of NEU distribution piping from the NEU service entry point to the NEU room to the satisfaction of the General Manager of Engineering Services; and

Note to Applicant: The NEU distribution piping will be installed by the City. Its routing will be to the satisfaction of the General Manager of Engineering Services; the applicant is to submit design drawings for approval which clearly indicate a reasonable, available pipe route, suspended from the ceiling of the P1 level. The piping requires an unimpeded 1.0 m wide space provision.

A.2.11 clarify garbage pick-up operations. Confirmation that a waste hauler can access and pick up from the location shown is required. Pick up operations should not require the use of public property for storage, pick up or return of bins to the storage location.

B.1 Standard Notes to Applicant

B.1.1 The applicant is advised to note the comments of the Processing Centre-Building, Vancouver Coastal Health Authority and Fire and Rescue Services Departments contained in the Staff Committee Report dated December 16, 2015. Further, confirmation that these comments have been acknowledged and understood, is required to be submitted in writing as part of the "prior-to" response.

B.1.2 It should be noted that if conditions 1.0 and 2.0 have not been complied with on or before **July 11, 2016** this Development Application shall be deemed to be refused, unless the date for compliance is first extended by the Director of Planning.

B.1.3 This approval is subject to any change in the Official Development Plan and the Zoning and Development Bylaw or other regulations affecting the development that occurs before the permit is issuable. No permit that contravenes the bylaw or regulations can be issued.

B.1.4 Revised drawings will not be accepted unless they fulfill all conditions noted above. Further, written explanation describing point-by-point how conditions have been met, must accompany revised drawings. An appointment should be made with the Project Facilitator when the revised drawings are ready for submission.

B.1.5 A new development application will be required for any significant changes other than those required by the above-noted conditions.

B.2 Conditions of Development Permit:

B.2.1 All approved off-street vehicle parking, loading and unloading spaces, and bicycle parking spaces shall be provided in accordance with the relevant requirements of the Parking By-law prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.

B.2.2 All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.

B.2.3 Detailed design of the HVAC and mechanical heating system including any provisions for waste heat recovery and reuse must be reviewed and approved by the General Manager of Engineering Services prior to issuance of building permit.

Note to Applicant: The applicant shall refer to the Energy Utility System By-law (9552) and NEU Developer Document (2014) for specific design requirements, which include provisions related to the location of the mechanical room(s), centralization of mechanical equipment, pumping and control strategy, and other hydronic heating and domestic hot water system minimum requirements. The applicant is encouraged to work closely with Staff to ensure adequate provisions for NEU compatibility are provided for in the mechanical design.

B.2.4 Any phasing of the development, other than that specifically approved, that results in an interruption of continuous construction to completion of the development, will require application to amend the development to determine the interim treatment of the incomplete portions of the site to ensure that the phased development functions are as set out in the approved plans, all to the satisfaction of the Director of Planning.

B.2.5 The issuance of this permit does not warrant compliance with the relevant provisions of the Provincial Health and Community Care and Assisted Living Acts. The owner is responsible for obtaining any approvals required under the Health Acts. For more information on required approvals and how to obtain these, please contact Vancouver Coastal Health at 604-675-3800 or visit their offices located on the 12th floor of 601 West Broadway. Should compliance with the health Acts necessitate changes to this permit and/or approved plans, the owner is responsible for obtaining approval for the changes prior to commencement of any work under this permit. Additional fees may be required to change the plans.

B.2.6 A flood plain covenant must be entered into prior to issuance of the building permit.

B.2.7 A topographic survey must be provided confirming that the works are located within the area defined on Statutory Right of Way Plan EPP46206 prior to issuance of the occupancy permit.

B.2.8 The owner must complete construction of the rental building on the city-owned Lot 355 prior to issuance of an occupancy permit.

B.2.9 This site is affected by a Development Cost Levy By-law and levies will be required to be paid prior to issuance of Building Permits.

Processing Centre – Building Comments

The following comments are based on the architectural drawings dated August 31, 2015 that have been submitted for Development Application DE419622. This is a cursory review in order to identify issues which do not comply with the 2014 Vancouver Building By-law #10908 (VBBL).

1. The high building provisions of Subsection 3.2.6. are applicable.

2. The adaptable housing requirements of 3.8.5. are applicable to all dwelling units in the building. The requirements of 3.8.2.27.(4) are in addition to 3.8.5.

3. Demonstration of compliance with ASHRAE 90.1-2010 will be required at the Building Permit stage.

4. Egress/ exit from the visitor and residential portion of the parkade to be reviewed with respect to security requirements. It appears that visitor portion is provided with access to one exit only.

5. Buildings 3 and 4 are proposed to be in construction in the vicinity of the west and north property lines facing the adjacent parkland. The current amount of unprotected openings exceeds the maximum unprotected openings permitted by the VBBL. Legal agreements (i.e. no build covenants) are typically not in general acceptable in lieu of engineering solutions. In this case, an alternative solution using a covenant and easement agreement would be acceptable.

6. Two-level dwellings are proposed to be located on the 1st and 2nd storey. The proposed egress/ exit arrangement (egress doors to the public corridor provided on the lower level only) does not meet requirements of VBBL for egress from 2-level dwellings.

7. Addressing, floor level and suite numbering shell comply to the requirements of Bulletin 2015-005-BU (revised October 20, 2015)

The applicant may wish to retain the services of a qualified Building Code consultant in case of difficulty in comprehending the comments and their potential impact on the proposal. Failure to address these issues may jeopardize the ability to obtain a Building Permit or delay the issuance of a Building Permit for the proposal.

Please indicate the address and permit number on the subject of your incoming mails and emails to the City of Vancouver.

THE CREEK
BUILDINGS 3 & 4

DEVELOPMENT PERMIT APPLICATION

49 EAST 1ST AVENUE
BUILDINGS 3&4
THE CREEK
SOUTHEAST FALSE CREEK

CITY OF VANCOUVER
AUGUST 24, 2015

RAFII ARCHITECTS INC. + RICHARD HENRY ARCHITECT INC.

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LIST OF DRAWINGS:

ARCHITECTURAL:

A0-0	COVER
A0-1	LIST OF DRAWINGS & PROJECT TEAM
A0-2	DESIGN RATIONALE
A0-3	PROJECT DATA
A0-4	CONTEXT AERIAL PHOTOS
A0-5	CONTEXT PLAN
A0-6	CONTEXT PHOTOS
A0-7	3D CONTEXT
A0-8	ISOMETRIC VIEWS
A0-9	PERSPECTIVES
A0-10	STREETSCAPES
A0-11	OPEN SPACES
A0-12	SHADOW ANALYSIS - MARCH
A0-13	SHADOW ANALYSIS - JUNE
A0-14	VIEW ANALYSIS - PLAN
A0-15	VIEW ANALYSIS - PERSPECTIVES
A0-16	VIEW ANALYSIS - PERSPECTIVE
A1-1	SURVEY PLAN
A1-2	SUBDIVISION PLAN
A1-3	PHASING PLAN & SCOPE OF WORK
A1-4	SUSTAINABILITY SUMMARY
A1-5	LEED SCORECARD
A1-6	SITE PLAN
A2-1	OVERALL - LEVEL P2 PLAN
A2-2	OVERALL - LEVEL P1 PLAN
A2-3	OVERALL - LEVEL 1 PLAN
A2-4	OVERALL - LEVEL 2 PLAN
A2-5	OVERALL - LEVEL 3 PLAN
A2-6	OVERALL - LEVELS 4-10 PLAN
A2-7	OVERALL - LEVEL 11 PLAN
A2-8	OVERALL - LEVEL 12 PLAN
A2-9	OVERALL - LEVEL 13 PLAN
A2-10	OVERALL - LEVEL 14 PLAN
A2-11	OVERALL - MECHANICAL LEVEL
A2-12	OVERALL - ROOF PLAN
A2-1a	BUILDING 3 - LEVEL P2 PLAN
A2-2a	BUILDING 3 - LEVEL P1 PLAN
A2-3a	BUILDING 3 - LEVEL 1 PLAN
A2-4a	BUILDING 3 - LEVEL 2 PLAN
A2-5a	BUILDING 3 - LEVEL 3 PLAN
A2-6a	BUILDING 3 - LEVELS 4-10 PLAN
A2-7a	BUILDING 3 - LEVEL 11 PLAN
A2-8a	BUILDING 3 - LEVEL 12 PLAN
A2-9a	BUILDING 3 - LEVEL 13 PLAN
A2-10a	BUILDING 3 - LEVEL 14 PLAN
A2-11a	BUILDING 3 - MECHANICAL LEVEL
A2-12a	BUILDING 3 - ROOF PLAN

ARCHITECTURAL (CONTINUED):

A2-1b	BUILDING 4 - LEVEL P2 PLAN
A2-2b	BUILDING 4 - LEVEL P1 PLAN
A2-3b	BUILDING 4 - LEVEL 1 PLAN
A2-4b	BUILDING 4 - LEVEL 2 PLAN
A2-5b	BUILDING 4 - LEVEL 3 PLAN
A2-6b	BUILDING 4 - LEVELS 4-10 PLAN
A2-7b	BUILDING 4 - LEVEL 11 PLAN
A2-8b	BUILDING 4 - LEVEL 12 PLAN
A2-9b	BUILDING 4 - MECHANICAL LEVEL
A2-12b	BUILDING 4 - ROOF PLAN
A3-1	OVERALL - WEST ELEVATION
A3-2	OVERALL - SOUTH & NORTH ELEVATIONS
A3-3	OVERALL - EAST ELEVATION
A3-1a	BUILDING 3 - WEST ELEVATION
A3-2a	BUILDING 3 - SOUTH & NORTH ELEVATIONS
A3-3a	BUILDING 3 - EAST ELEVATION
A3-1b	BUILDING 4 - WEST ELEVATION
A3-2b	BUILDING 4 - SOUTH & NORTH ELEVATIONS
A3-3b	BUILDING 4 - EAST ELEVATION
A4-1	OVERALL - SECTION A
A4-1a	BUILDING 3 - SECTION A
A4-1b	BUILDING 4 - SECTION A
A4-2	SECTION B
A4-3	SECTIONS C & D

LANDSCAPE:

L-1.0	NEIGHBORHOOD PLAN
L-1.1	BUILDING 3 LANDSCAPE PLAN
L-1.2	BUILDING 4 LANDSCAPE PLAN
L-1.3	BUILDING 4 LEVEL 11 LANDSCAPE PLAN
L-1.4	BUILDING 3 LEVEL 13 LANDSCAPE PLAN
L-2.1	LANDSCAPE SECTIONS A & B
L-2.2	LANDSCAPE SECTIONS C & D
L-2.3	LANDSCAPE SECTIONS E, F, G

REVISIONS

No	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	SC

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Client
CONCERT

Project Title
THE CREEK
BUILDINGS 3 & 4

Drawing Title
LIST OF DRAWINGS &
PROJECT TEAM

Date: AUGUST 2015	Project No.: 13-04
Scale: N.T.S.	Drawing No.: A 0-1
Drawn By: TG	
File number: 2013 DEVELOPMENT APPLICATION 4 PANEL.pln	

DESIGN RATIONALE:

INTRODUCTION
This Development Permit application comprises 2 buildings and is part of a previously rezoned comprehensive CD-1 development for Parcels 3A and 3B in the Southeast False Creek area on the south shore of False Creek. This Development Permit application contains a proposal for two residential-only buildings that are intended to be market strata ownership. These buildings are the 3rd and 4th buildings included as part of the overall development plan for The Creek development that once complete will have 4 residential market buildings and 1 rental building that will be owned and operated by the City of Vancouver. (Note: Buildings 1 and 2 are under separate Development Permit applications). The adjacent park to the east is to be designed and constructed by the City of Vancouver and timing of this park is to coincide with the completion of The Creek development.

EXISTING POLICY CONTEXT
In addition to the general direction created for the overall precinct illustrated in the rezoning application the following (and other) documents were used to guide the development of this proposal:

- SEFC Policy Statement
- CD-1 Rezoning Bylaw Provisions for Area 3A and 3B SEFC
- SEFC Official Development Plan and most recent amendments
- SEFC Public Realm Plan
- Green Building Strategy for SEFC
- High Density Housing for Families with Children Guidelines
- SEFC Design Guidelines for Additional Penthouse Stories

RELEVANCE TO REZONING PROPOSAL CRITERIA
This Development Permit proposal adheres to the general criteria outlined in the original rezoning application including issues established by the new planning for the neighbourhood that amended the original ODP plan and became part of the CD-1 Bylaw for the overall development of The Creek. In addition to the new plan the project conforms to the Design Principles and Placemaking objectives outlined in the proposal for this area of the development, as well as the Sites 3A & 3B Design Guidelines.

SITE DESCRIPTION
The Development Permit application for Buildings 3 & 4 showcase that these buildings are bounded to the west by a new emerging City of Vancouver owned park called East Park. This park forms a green space buffering between "The Village at SEFC" and a new roadway named Pullman Porter Street to the east of Buildings 3 & 4. 1st Avenue is directly south and Switchmen Street is directly north along with East Park. Further north/east is the final phase of The Creek development that includes the last building, Building 5. Directly east at Pullman Porter Street are Buildings 1 & 2.

USE, DENSITY AND PARKING
The site area for Buildings 3 & 4 combined is 45,651 sf. As mentioned the use is expressly residential as is allowed in the CD-1 rezoning and provides for 177 units including 1, 2 & 3 bedroom configurations, occupying 110,227 sf of net floor area for building 3 and 92,137 sf of net floor area for building 4. Density for these parcels is within the maximum permitted as outlined in the CD-1 Bylaw. Area exclusions include up to 12% open balconies and storage units. Enclosed balconies are not being used as an exclusion. The number of family units proposed exceeds the minimum 35% required and stands at 62%. The number of parking spaces provided is 248, including 15 visitors, 8 Electric Vehicles and 30 Electric Vehicle Fitted. The parking ramp is located off of Pullman Porter Street and will provide shared access to Buildings 2, 3 & 4. As part of the shared access, Buildings 3 & 4 can utilize the 5 car share spaces that are located in Building 2's parkade.

FORM AND HEIGHT

Building 3
The overall height proposed is 14 stories and conforms to the CD-1 Bylaw and is 40.0m (131.50') to the floor below the 2 penthouse levels. It is 46.3m (152.17') to the top of the penthouse roof parapet which is below 48.95m (160.60') allowed. These heights are measured from the new Flood Construction Level datum of 4.6m (15.09') geodetic. The upper 2 penthouse levels are largely set back from the main building massing as suggested by the City SEFC Penthouse Guidelines.

Building 4
The overall height proposed for this building is 12 stories and conforms to the CD-1 Bylaw and is 34.3m (112.83') to the floor below the 2 penthouse levels. It is 40.6m (133.50') to the top of the penthouse roof parapet which is below 48.95m (160.60') allowed. These heights are measured from the new Flood Construction Level datum of 4.6m (15.09') geodetic. As with building 3 the upper 2 penthouse levels are largely set back from the main building massing as suggested by the guidelines.

Overall intent
The general forms of both buildings are as was illustrated in the original rezoning application and CD-1 Bylaw and Guidelines. Overall the intent was to gently step the building forms down towards the waterfront thereby softening the relationship with the foreshore walk and similarly reflecting the form of the buildings at the east end of the Village immediately across East Park. The overall site/building plan conforms with the desire for a sweeping curvature of building facades that were, and are, intended to reinforce the same gracious curvature of the "arc-in-the-park" park edge and pathway system.

Building setbacks conform to those indicated in the 3A&3B Design Guidelines with the exception that both buildings 3 and 4 have increased their setbacks along Pullman Porter Street by 2' to allow for a more gracious transition to the understory patio entrances of the 2 storey townhomes. Entries around the remaining perimeter of the buildings, from the streets and park, are as indicated in those guidelines, as are the main entries to each of the buildings accessed from Pullman Porter Street.

ARCHITECTURAL EXPRESSION
As was outlined in the Rezoning Application for The Creek development, a major formal purpose for the entire site was to create a hierarchy of background to foreground expressions for the overall development of the five buildings. Buildings 3 and 4 (this application) were deemed to be "foreground" expressions as reflecting their unique location along the future East Park and were intentionally stand out from the Southeast False Creek crowd.

In pursuit of this "foreground" objective buildings 3 and 4 have been designed to differentiate themselves from the milieu that is SEFC. Generally speaking there exists a lot of "visual noise" in the area, with seemingly all buildings competing for attention by way of various clever architectural attributes. While this contributes to an interesting richness of character and human scale for the area, to compete visually for attention with a high level of complexity poses the pitfall of them falling into this predominant milieu. For these two buildings it was felt that the best way to stand out from the crowd was to pursue a more simple and elegant overall form for their expressions. The first step towards this objective was to unite the two buildings as a pair of "sibling" forms rather than being two completely different expressions. The general sweeping balcony and façade expressions are in keeping with the "nautical" metaphor objective referencing the sweeping forms of an ocean liner superstructure and its hull.

Materials are in keeping with the higher quality of such established by the Village to the west. Stone sheet material is used to create and emphasize the two- storey scale of the townhomes that encircle each of the buildings. Horizontal elements are exaggerated with long balcony extensions that sweep almost continuously with the park edge but are punctuated with two differently formed, vertical "entry" expressions on either side of the passage through the site to the park and courtyard beyond. Horizontal window wall fenestration expressions complement the concrete banding, and play up the layered horizontal expression.

PUBLIC REALM

While most of the public realm components have been proposed as part of the Development Permits for Building 1 and 2 (Phase 1 of The Creek) it is worth revisiting them here as they are key attributes for every building in this development. The following are descriptions of these components from Phase one.

Phase one
Four very important components of the Public Realm will be constructed as part of the first phase of The Creek development: Switchmen Street, Pullman Porter Street (formerly labelled as the central laneway), the Courtyard, and Railspur Mews and Railspur Plaza.

Firstly, Switchmen Street will provide the principle vehicular and pedestrian entrance to the development as well as the new East Park to the west. Two contrasting streets were developed in this Creek neighbourhood with Switchmen being the more formal and more "boulevard-like" with Pullman Porter Street being much more intimate and informal.

Pullman Porter Street also has a boulevard experience with trees and shrubs on either side of this narrow right of way. The narrowness of this street is similar to Walter Hardwick Ave in Athletes Village and has seating and unique light fixtures that defines the intimate and internal nature of this street.

Railspur Mews that is located between Buildings 1 and 2 creates a visual and physical connection for pedestrians out to Quebec Street and beyond where it extends to the development to the east. Historical references to the "Railway Precinct" of which this neighbourhood is a part of, are proposed and include embedded rails forming the curvature of the old rail line, and rail car bumper stops are placed to act as bollards at each end to prevent cars from entering this pedestrian only route. Catenary overhead lighting is proposed here as well, to provide an intimate and unique character for this special passage.

A feature courtyard located just off of Railspur Mews, along with Railpur Plaza dovetails with these converging pathway systems of the heart of The Creek development. The south portion forms a heavy timber plaza (again referencing the heritage nature of the area) with areas to relax and meet. A central fountain water feature separates the wholly public plaza from the semi-public courtyard to the north. Both components act to decompress the tight confines of Pullman Porter Street and add a green oasis in The Creek's center. The central water feature is designed as a rusting wall fountain from sheet piling and forms the visual focus upon entering.

This phase (Buildings 3 and 4)
In addition to the elements previously noted, this Development Permit proposal for Buildings 3 and 4 includes an important passage linkage located between Buildings 3 and 4 and extends from East Park through the centre of The Creek and then proceeds through to Quebec Street. This access is an experiential "pinch-point" intended to both connect and separately identify The Creek as a smaller community within the larger Southeast False Creek community. A large arbour element unites the entrance canopies from both Buildings 3 and 4 into a single gracious curve that is intended to reference the curvature of the park as well as creating a strong sense of passage from one area to the other.

Townhouse entries and patios line this interface with the East Park and serve to animate the connection between The Creek and the park itself. A formal curving pathway in the Park links these western facing townhome entries, and large planters provide breaks at the unit entries to provide variety along this low wall. "Understung" townhome entry patios line Pullman Porter Street to provide a semi-private area between the public realm and the private one. Planters separate Pullman Porter Street from these patios and street trees line the edge.

AMENITY
Amenity access and provision are important attributes of these two buildings as part of phase two. Apart from the features described above as part of Phase One the park is the most important component for these two buildings in providing outdoor amenity space. Other outdoor areas include oversized balconies to the 12% maximum, and common rooftop spaces for private and common use in areas where the buildings terrace.

Other amenities include "dwelling" amenity spaces at the ground floor including a large lounge in building 4 and a common gym in building 3 flanking the passage to the park between the two structures. Upper levels provide "serenity lounges" for each building with kitchen and bar setups for resident use. All indoor amenity areas will be shared amongst both groups of residents.

Also very importantly immediate access can be had to the shops and SEFC community centre found at the heart of the "Village" next door and a close proximity to the Foreshore Seawall provides water access for ferries, canoeing, Dragon Boating and the likes. Granville Island and Science World also lie within easy reach along this important link. Grade access routes have been designed to optimize easy circulation amongst all these components.

REVISIONS

No.	Date	Details	By
1	AUG 26 - 2015	ISSUED FOR DP	VK

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CONCERT

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title:
DESIGN RATIONALE

Date: AUGUST 2015
Project No: 11-04
Scale: N.T.S.
Drawn By: RH
Drawing No. A 0-2
File name:

PROJECT DATA

LEGAL DECRIPTION:

LOT 356 FALSE CREEK GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP46205

PID: 029-631-793

MUNICIPAL ADDRESS:

49 EAST 1ST AVENUE, VANCOUVER, BC

ZONING:

CD-1 612

SITE AREA:

OVERALL SITE AREA:	279,253 SQ.FT.
BUILDINGS 3&4 SITE AREA:	45,561 SQ.FT.
TOTAL FLOOR SPACE:	**218,340 SQ.FT.**

NET FLOOR SPACE:

MAXIMUM PERMITTED:	202,340 SQ.FT.
PROPOSED:	**202,366 SQ.FT.**
SITE COVERAGE:	18,642/ 45,561 = 40.76%

BUILDING HEIGHT:

TO SHOULDER OF BUILDING

PERMITTED:	38.1m + 4.6m* = 42.7m (140.09')
PROPOSED BUILDING 3:	40.0m (131.50')
PROPOSED BUILDING 4:	34.3m (112.83')

TO TOP OF HABITABLE PENTHOUSE

PERMITTED:	44.35m + 4.6m* = 48.95m (160.60')
PROPOSED BUILDING 3:	46.3m (152.17')
PROPOSED BUILDING 4:	40.6m (133.50')

SETBACKS:

PARK (WEST)

PERMITTED:	8'-0"
PROPOSED:	8'-0"

PARK (NORTH)

PERMITTED:	0
PROPOSED:	3'-0"

PULLMAN PORTER STREET (EAST)

PERMITTED:	3'-4"
PROPOSED:	5'-1/2"

EAST 1ST AVENUE (SOUTH)

PERMITTED:	10'-0"
PROPOSED:	10'-0"

INTERNAL WALKWAY BETWEEN BUILDINGS 3&4:

PERMITTED:	4'-11"
PROPOSED:	4'-11"

LOADING:

CLASS A:	NO REQUIREMENT
CLASS B:	
REQUIRED:	1
PROVIDED:	1
CLASS C:	NO REQUIREMENT

* [illegible]

FLOOR SPACE AREA SUMMARY (S.Q.)

BUILDING	LEVEL	BUILDING 3 AREA BREAKDOWN: RESIDENTIAL UNITS	AMENITY	COMMON AREAS**	GROSS FLOOR AREA	EXCLUSIONS: WALL EXLUSIONS	STORAGE EXLUSION	AMENITY EXCLUSION	NET AREA
BUILDING 3	MAIN LEVEL	6,443	712	2,194	9,349	271	239	712	8,127
	LEVEL 2	7,397	-	958	8,355	273	195	-	7,887
	LEVEL 3	7,630	-	1491	9,121	270	338	-	8,513
	LEVEL 4-12	(9x7,650=)68,850	-	(9x1,491=)13,419	(9x9,141=) 82,269	(9x272=) 2,448	(9x337=) 3,033	-	(9x8,532=) 76,788
	LEVEL 13	3,499	599	1,078	5,176	170	96	599	4,311
	LEVEL 14	3,354	-	833	4,187	157	80	-	3,950
	MECH. LEVEL	-	-	665	665	51	-	-	614
	TOTAL	**97,173**	**1,311**	**20,638**	**119,122**	**3,640**	**3,981**	**1,311**	**110,190**

DECKS & BALCONIES

LEVEL	ROOF DECK AREA	BALCONY AREA	BALCONY % (BALCONY AREA / NET AREA)
MAIN LEVEL	2,571	-	-
LEVEL 2	-	98	1.2
LEVEL 3	1,529	347	4.1
LEVEL 4-12	-	(9x1,186)10,674	13.9
LEVEL 13	2,805	-	-
LEVEL 14	1,039	200	5.1
MECH. LEVEL	-	-	-
TOTAL	**7,944**	**11,317**	**10.3%**

MAX TOTAL PERMITTED 12%

BUILDING	LEVEL	BUILDING 4 AREA BREAKDOWN: RESIDENTIAL UNITS	AMENITY	COMMON AREAS**	GROSS FLOOR AREA	EXCLUSIONS: WALL EXLUSIONS	STORAGE EXLUSION	AMENITY EXCLUSION	NET AREA
BUILDING 4	MAIN LEVEL	6,347	626	2,252	9,225	266	270	626	8,063
	LEVEL 2	7,621	-	713	8,334	268	120	-	7,946
	LEVEL 3	7,605	-	1,322	8,927	262	268	-	8,397
	LEVEL 4-10	(7x7,605=)53,235	-	(7x1,322=) 9,254	(7x8,927=) 62,489	(7x262=) 1,834	(7x268=) 1,876	-	(7x8,397=) 58,779
	LEVEL 11	3,410	742	851	5,003	164	80	742	4,017
	LEVEL 12	3,756	-	839	4,595	155	80	-	4,360
	MECH. LEVEL	-	-	665	665	51	-	-	614
	TOTAL	**81,974**	**1,368**	**15,896**	**99,238**	**3,000**	**2,694**	**1,368**	**92,176**

LEVEL	ROOF DECK AREA	BALCONY AREA	BALCONY % (BALCONY AREA / NET AREA)
MAIN LEVEL	2,284	-	-
LEVEL 2	-	46	0.5
LEVEL 3	1,441	356	4.2
LEVEL 4-10	-	(7x1269 =) 8,883	15.1
LEVEL 11	3,097	-	-
LEVEL 12	398	311	7.2
MECH. LEVEL	-	-	-
TOTAL	**7,220**	**9,596**	**10.4%**

** EXCLUDING CORE, LOBBIES, CORRIDORS AND UTILITIES

MAX TOTAL PERMITTED 12%

BLDG 3&4 TOTAL:

GROSS FLOOR AREA PROVIDED:	**218,360**
NET AREA PROVIDED:	**202,366**
NET AREA ALLOWED:	**202,340**

PARKING CALCULATIONS

DESCRIPTION	BUILDING 3 & 4 CALCULATION (177 UNITS)	PROVIDED
RESIDENTIAL PARKING **MINIMUM:** 1 SPACE FOR EVERY 140m2 (1,507 SQ.FT.) OF GROSS FLOOR AREA	220,345 / 1,507 = 146.21 = **147**	
RESIDENTIAL PARKING **MAXIMUM:**		
0.5 SPACE FOR EVERY UNIT WITH FLOOR AREA LESS THAN 50m2 (538 SQ.FT.)	0 x 0.5 = **0**	
0.65 SPACE FOR EVERY UNIT WITH FLOOR AREA BETWEEN 50m2 (538 SQ.FT.) AND 189m2 (2,034 SQ.FT.)	177 x 0.65 = 115.05 = **116**	
PLUS 1 ADDITIONAL SPACE FOR EVERY 140m2 (1,507 SQ.FT.) OF G.F.A. (OF THOSE UNITS)	180,496 / 1,507 = 119.77 = **120**	
TOTAL PARKING MAXIMUM	0 + 116 + 120 = **236**	**248 (12 OVER)**
VISITOR PARKING MINIMUM: 0.075 SPACE FOR EVERY UNIT	177 x 0.075 = 13.28 = **14**	15
VISITOR PARKING MAXIMUM: 0.15 SPACE FOR EVERY UNIT	177 x 0.15 = 26.55 = **27**	
TOTAL MINIMUM REQUIRED: RESIDENTIAL + VISITOR MINIMUMS	147 + 14 = **161**	
HC STALLS REQUIRED: 1 + 0.034 SPACE FOR EVERY UNIT	1 + (177 x 0.034) = 7.02 = **8**	12
SMALL CAR MAXIMUM: 25% OF THE TOTAL PARKING PROVIDED	250 x 0.25 = 62.5 = **63**	53
E.V. FITTED MINIMUM: 20% OF THE TOTAL PARKING PROVIDED	250 x 0.20 = **50**	50
ELECTRIC VEHICLE MINIMUM: 3% OF THE TOTAL PARKING PROVIDED	250 x 0.03 = 7.5 = **8**	8

BIKE STORAGE SUMMARY

BICYCLE SPACE TYPE	BUILDING 3 & 4 CALCULATION (177 UNITS)	PROVIDED
CLASS A: MINIMUM 1.25 SPACES FOR EVERY UNIT	177 x 1.25 = 221.25 = **222**	257
HORIZONTAL BIKE SPACES: MIN. 50% OF REQUIRED	222 x 0.50 = 111 = **111**	157
VERTICAL BIKE SPACES: MAX. 30% OF REQUIRED	222 x 0.30 = 66.6 = **67**	54
BIKE LOCKERS: MIN. 20% OF THE TOTAL BIKE SPACES	222 x 0.20 = 44.4 = **45**	46
CLASS B: MINIMUM 6 SPACES PER BUILDING	**12**	12

UNIT SUMMARY

BUILDING	UNIT TYPE	NO. OF UNITS
BUILDING 3	TOWNHOUSE - 2 BED	8
	TOWNHOUSE - 3 BED + DEN	1
	1 BED	40
	1 BED + DEN	11
	2 BED	42
	PENTHOUSE - 2 BED	4
	PENTHOUSE - 2 BED + DEN	1
	TOTAL	**107**

BUILDING	UNIT TYPE	NO. OF UNITS
BUILDING 4	TOWNHOUSE - 2 BED	5
	TOWNHOUSE - 2 BED + DEN	1
	TOWNHOUSE - 3 BED	2
	TOWNHOUSE - 3 BED + DEN	1
	1 BED	8
	1 BED + DEN	8
	2 BED	33
	2 BED + DEN	6
	PENTHOUSE - 2 BED + DEN	4
	TOTAL	**70**

BLDG 3&4 TOTAL UNITS:	177
FAMILY UNITS:	110 (62%)

REVISIONS

No.	Date	Details	By
1	[illegible]	[illegible]	[illegible]

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Project Title: THE CREEK BUILDINGS 3 & 4

Drawing Title: PROJECT DATA

Date: AUGUST 2015	Project No.: 11-04
Scale: N.T.S.	Drawing No.: A 0-3
Drawn By: TG	

URBAN CONTEXT - AERIAL PHOTO 1

URBAN CONTEXT - AERIAL PHOTO 2

LEGEND

- A OVERALL SITE (FOR CONTEXT ONLY)
- B BUILDING 3-4 SITE
- C SEAWALL
- D SCIENCE WORLD
- E CREEKSIDE COMMUNITY CENTRE
- F THE VILLAGE PLAZA
- G PUBLIC DOCKS & FERRY
- H FUTURE DEVELOPMENT SITE PER ODP
- J COMPLETED / UNDER DEVELOPMENT
- K SKYTRAIN STATION
- L SALT COMMERCIAL BUILDING

REVISIONS

No.	Date	Details	By
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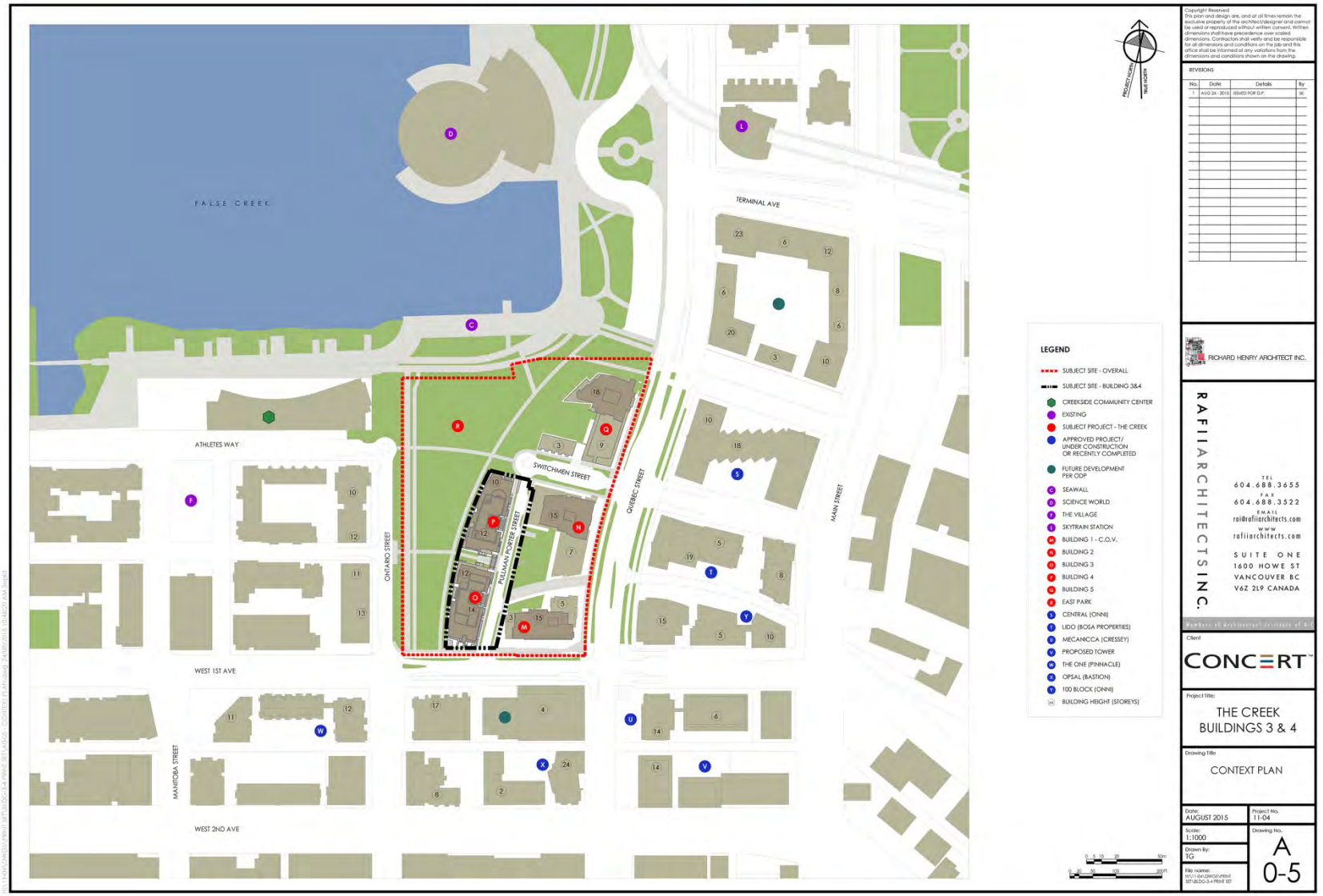
Drawing Title: CONTEXT AERIAL PHOTOS

Date: AUGUST 2015
Project No.: 11-04
Scale: N.T.S.
Drawing No.: A 0-4
Drawn By: IG
File name:



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1	AUG 24 - 2015	ISSUED FOR D.P.	DK

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Client: CONCERT

Project Title: THE CREEK BUILDINGS 3 & 4

Drawing Title: CONTEXT PLAN

Date: AUGUST 2015
Project No. 11-04
Scale: 1:1000
Drawing No. A 0-5
Drawn By: TG
File name:


1.


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KEY PLAN

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	SK

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CONCERT™

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
CONTEXT PHOTOS

Date: AUGUST 2015
Project No. 11-04
Scale: N.T.S.
Drawing No. A 0-6
Drawn By: IG
File name:

NORTH WEST BIRD'S EYE VIEW

SOUTH WEST BIRD'S EYE VIEW

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	SK

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Project title:
THE CREEK
BUILDINGS 3 & 4

Drawing title
3D CONTEXT

Date: AUGUST 2015
Project No. 11-04
Scale: N.T.S.
Drawing No. A 0-7
Drawn By: FMA
File name: 11-04 CONCERT PRINT SET BLDG 3-4 PRINT SET

NORTH WEST VIEW

NORTH EAST VIEW

SOUTH EAST VIEW

SOUTH WEST VIEW

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	TK

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Client
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Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
ISOMETRIC VIEWS

Date: AUGUST 2015	Project No. 11-04
Scale: N.T.S.	Drawing No. A 0-8
Drawn By: FMA	
File name:	

PERSPECTIVE FROM 1st & ONTARIO FACING NORTH EAST

PERSPECTIVE FROM THE SEAWALL FACING SOUTH EAST

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	SK

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Project Title:
THE CREEK
BUILDINGS 3 & 4

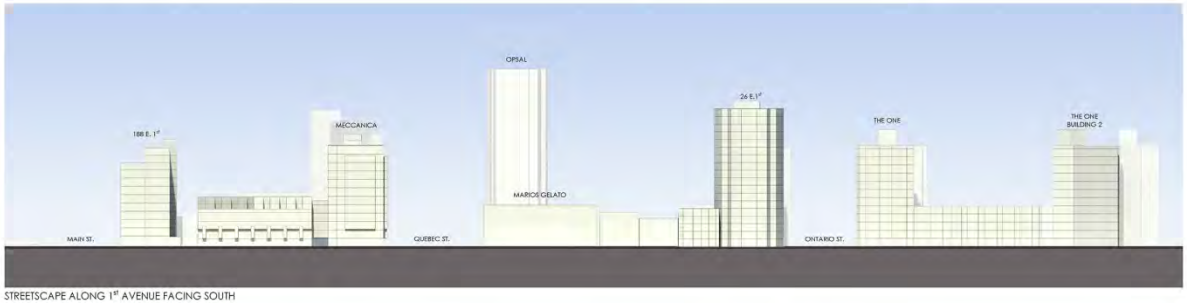
Drawing Title
PERSPECTIVES

Date: AUGUST 2015	Project No. 11-04
Scale: N.T.S.	Drawing No. A 0-09
Drawn By: FMA	
File name: 11-04 ZONING SUBMIT 2015.08.00-3-4 PRINT SET	

STREETSCAPE ALONG PULLMAN PORTER FACING WEST

STREETSCAPE NOTES:

- From a general massing perspective these two buildings step down towards the water from a 14 storey maximum height along First Avenue, to 10 storeys at the northern most edge towards the water
- The uppermost two levels of penthouse for each building have been massed in accordance with the Penthouse Guidelines for SEFC. Both levels are primarily "glassy" and held in from the edges of the floors below substantially.



STREETSCAPE ALONG 1st AVENUE FACING SOUTH

STREETSCAPE ALONG 1st AVENUE FACING NORTH

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	DK

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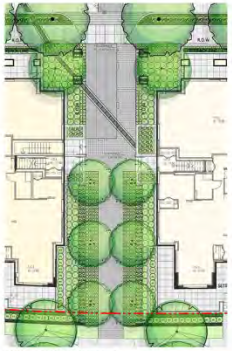
Drawing Title: STREETSCAPES

Date: AUGUST 2015
Project No.: 11-04
Scale: N.T.S.
Drawing No.: A 0-10
Drawn By: FMA
File name: 11-04 CONCEPT PRINT SET BLDG 3-4 PRINT SET



RAILSPUR PLAZA CONNECTION

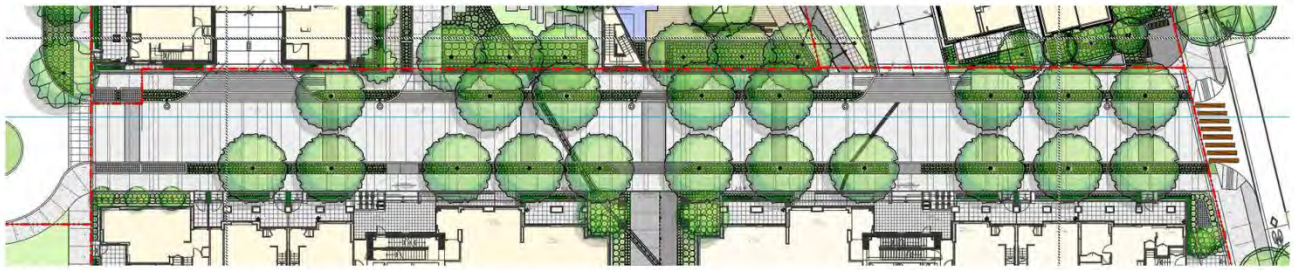
This pathway connects Railspur Plaza to the future East Park. The adjacent residential units are oriented towards the pedestrian pathway to provide casual surveillance.

- Granite paving crosswalk extends across Pullman Porter Street
- Bollard lighting is provided
- Granite paving bands outline the 1889 natural shoreline
- A loading area is defined by a change in paving and railway artifact seperators to celebrate the character of the 'railyards' precinct of SEFC.

EAST PARK ENTRANCES

Along the eastern edge of the future East Park, a generous 8' wide sidewalk links First Avenue to the seawall walkway. This tree-lined sidewalk also allows access to the residential units that face the park.

- Patios are raised 18" above the sidewalk and provide good overeight (eyes on the street)
- Low planting, small multi-stem trees green this edge of the project
- Entry piers, and metal patio gates punctuate and break up low retaining walls and fences along the edge of the patios
- Hedging between the patios provides privacy.



PULLMAN PORTER STREET

This street links First Avenue to Switchmen Street to the north. Trees in planted boulevards, as well as the 'street wall' effect of the building facades, give the street an urban character with a pedestrian scale.

- Granite paving reinforces the main entries to buildings 3 & 4
- Concrete bands give a finer grain to the street surface (pedestrian scale)
- Granite and corten steel bands marrying the natural 1889 and industrial 1913 shorelines cut across the street and sidewalk
- Custom metal light standards are designed to celebrate the 'railyards' precinct of SEFC.

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	DK

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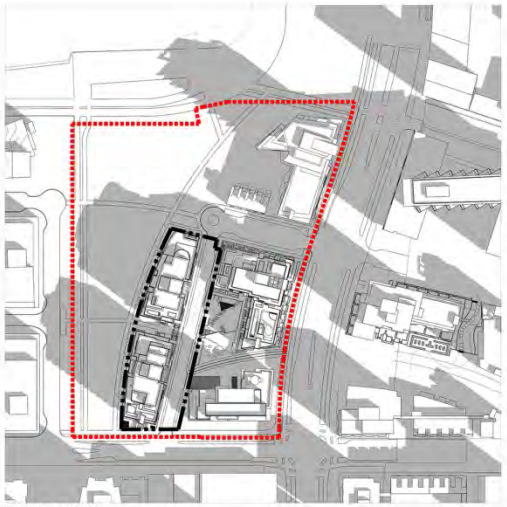
Client: CONCERT

Project Title: THE CREEK BUILDINGS 3 & 4

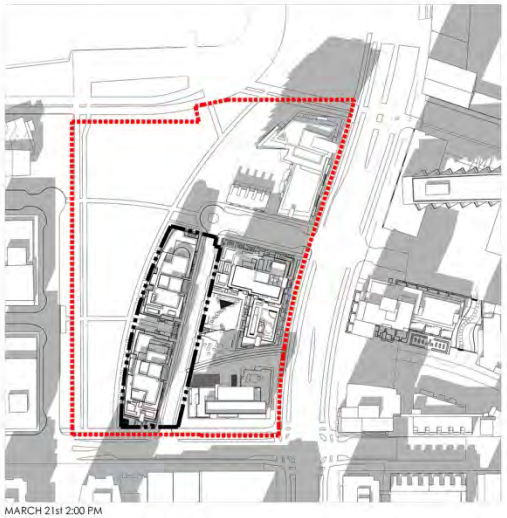
Drawing Title: OPEN SPACES

Date: AUGUST 2015
Project No.: 11-04
Scale: N.T.S.
Drawing No.: A 0-11
Drawn By: RO
File name:



MARCH 21st 10:00 AM

MARCH 21st 12:00 PM



MARCH 21st 2:00 PM

MARCH 21st 4:00 PM

THE CREEK - OVERALL SITE (SHOWN FOR CONTEXT ONLY)

BUILDING 3&4 SITE

REVISIONS

No.	Date	Details	By
1	AUG/24 - 2015	ISSUED FOR D.P.	DK

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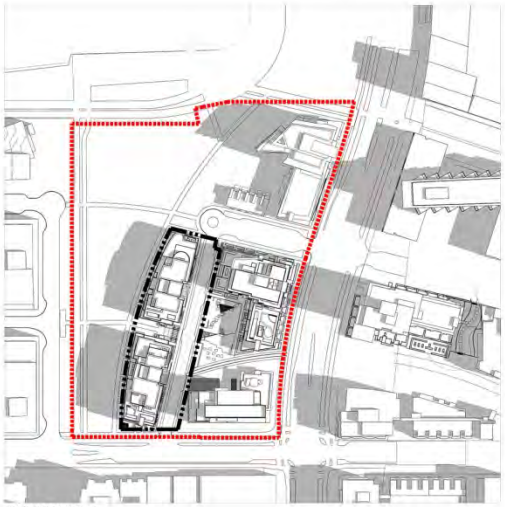
Project Title: THE CREEK BUILDINGS 3 & 4

Drawing Title: SHADOW ANALYSIS MARCH

Date: AUGUST 2015	Project No.: 11-04
Scale: N.T.S.	Drawing No.: A 0-12
Drawn By: FMA	
File name:	



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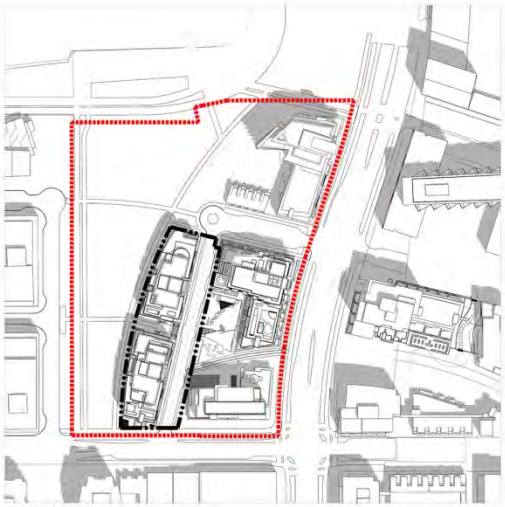

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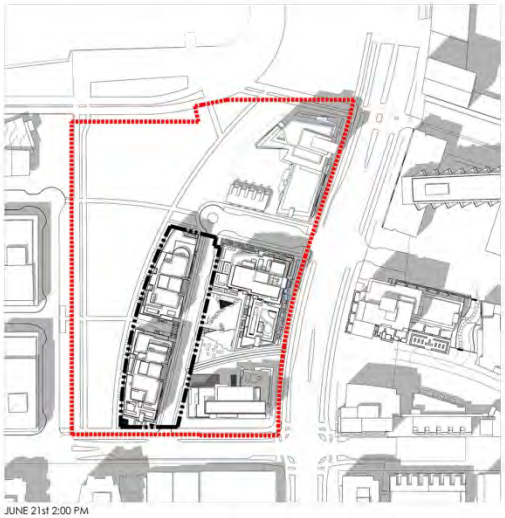

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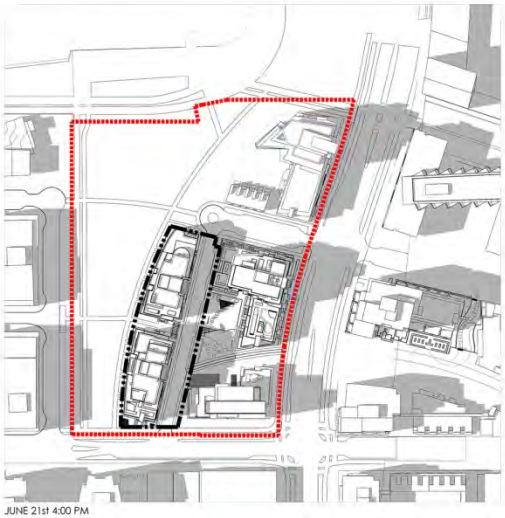

JUNE 21st 4:00 PM

THE CREEK - OVERALL SITE (SHOWN FOR CONTEXT ONLY)

BUILDING 3&4 SITE

PROJECT NORTH / TRUE NORTH

REVISIONS

No.	Date	Details	By
1	AUG/24 - 2015	ISSUED FOR D.P.	DK

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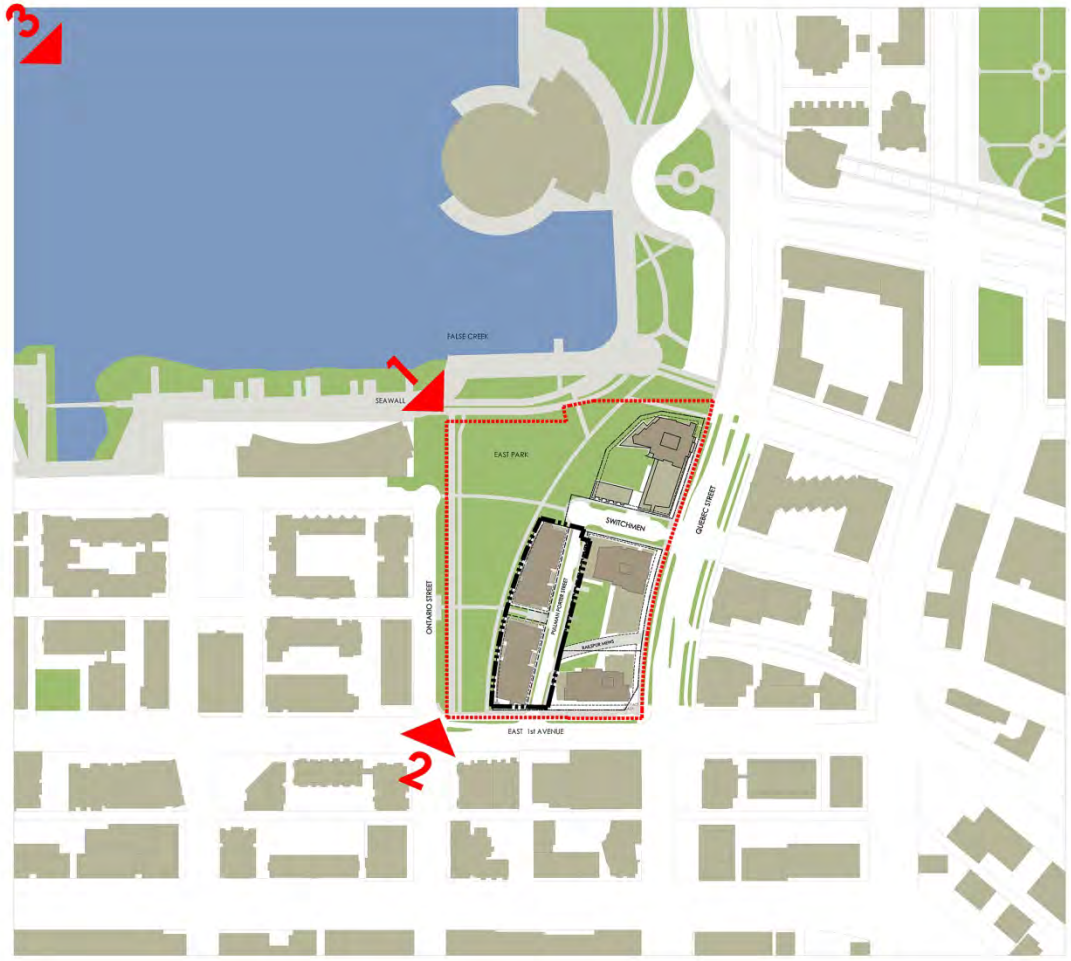
Project Title: THE CREEK BUILDINGS 3 & 4

Drawing Title: SHADOW ANALYSIS JUNE

Date: AUGUST 2015	Project No.: 11-04
Scale: N.T.S.	Drawing No.: A 0-13
Drawn By: FMA	
File name:	



- Buildings 3 and 4 have been formed in accordance with the rezoning approval and 3A and 3B Guidelines, and CD-1 Bylaw
- Views through to the west have been optimized and daylight penetration to the park has been as well
- Experientially the buildings form an expanding curvature mimicking the curvature of the park, progressively widening the view as it reveals the downtown, Science World, and the mountains to the north of the First Avenue entrance.

THE CREEK - OVERALL SITE (SHOWN FOR CONTEXT ONLY)

BUILDING 3&4 SITE

CAMERA POINT SEE A0-15 & A0-16 FOR VIEWS

PROJECT NORTH
TRUE NORTH

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	DK

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CONCERT™

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
VIEW ANALYSIS - PLAN

Date: AUGUST 2015	Project No. 11-04
Scale: N.T.S.	Drawing No. A 0-14
Drawn By: IG	
File name:	

VIEW 1: FROM SEAWALL

VIEW 2: FROM ONTARIO AND 1st AVE.

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	SK

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Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
VIEW ANALYSIS
PERSPECTIVES

Date: AUGUST 2015
Project No. 11-04
Scale: N.T.S.
Drawing No. A 0-15
Drawn By: FMA
File name:

VIEW 3: FROM ACROSS FALSE CREEK

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	SK

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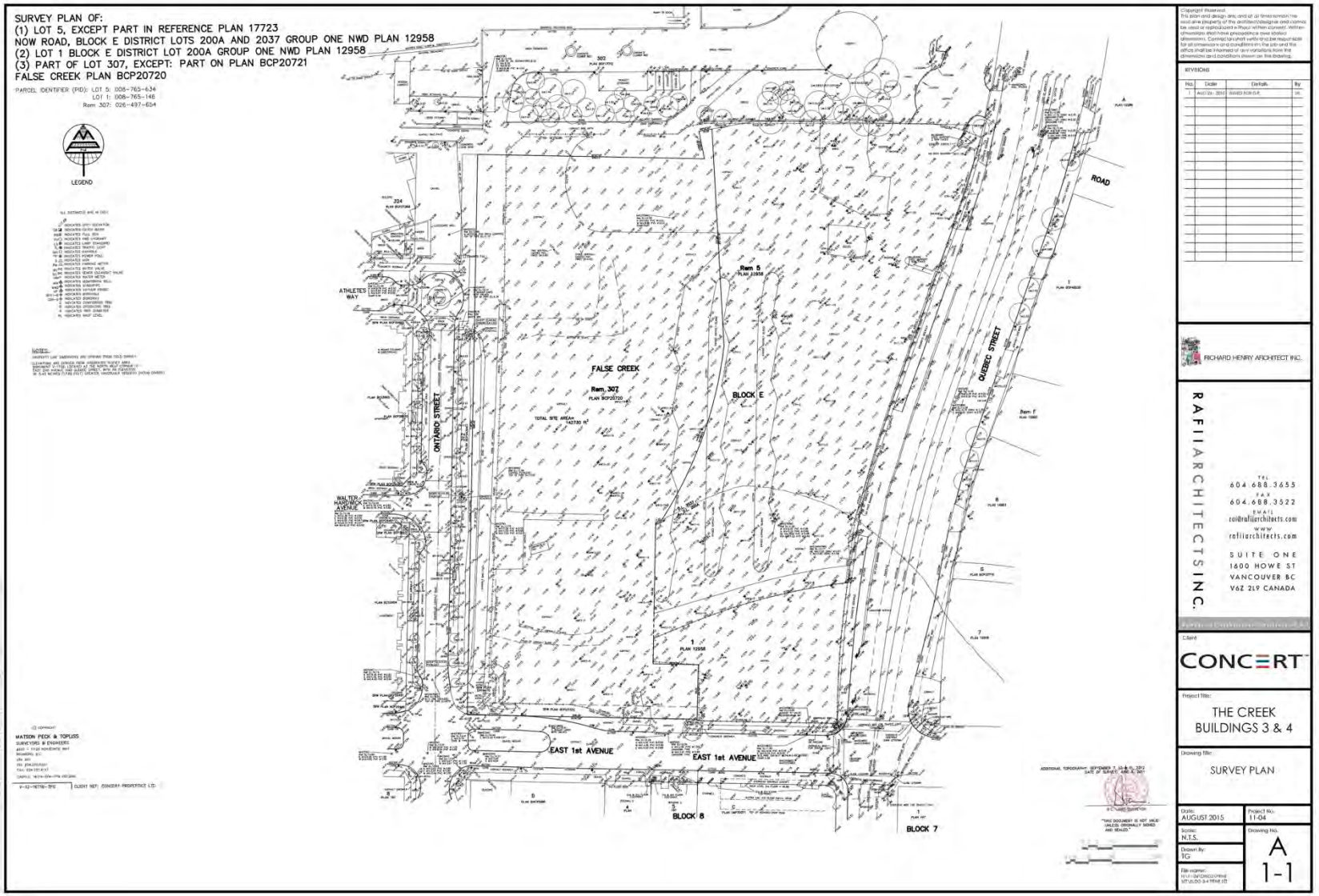
Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
VIEW ANALYSIS
PERSPECTIVE

Date: AUGUST 2015	Project No. 11-04
Scale: N.T.S.	Drawing No. A 0-16
Drawn By: FMA	
File name:	


SURVEY PLAN OF:
(1) LOT 5, EXCEPT PART IN REFERENCE PLAN 17723
NOW ROAD, BLOCK E DISTRICT LOTS 200A AND 2037 GROUP ONE NWD PLAN 12958
(2) LOT 1 BLOCK E DISTRICT LOT 200A GROUP ONE NWD PLAN 12958
(3) PART OF LOT 307, EXCEPT: PART ON PLAN BCP20721
FALSE CREEK PLAN BCP20720
PARCEL IDENTIFIER (PID): LOT 5: 008-765-634
LOT 1: 008-765-146
Rem 307: 026-497-604
LEGEND
NOTES:
MATSON PECK & TOPLISS
SURVEYORS & ENGINEERS
ATHLETE'S WAY
ONTARIO STREET
WALTER HARDWICK AVENUE
FALSE CREEK
Rem. 307
PLAN BCP20720
BLOCK E
Rem 5
PLAN 12958
QUEBEC STREET
ROAD
EAST 1st AVENUE
EAST 1st AVENUE
BLOCK 8
BLOCK 7
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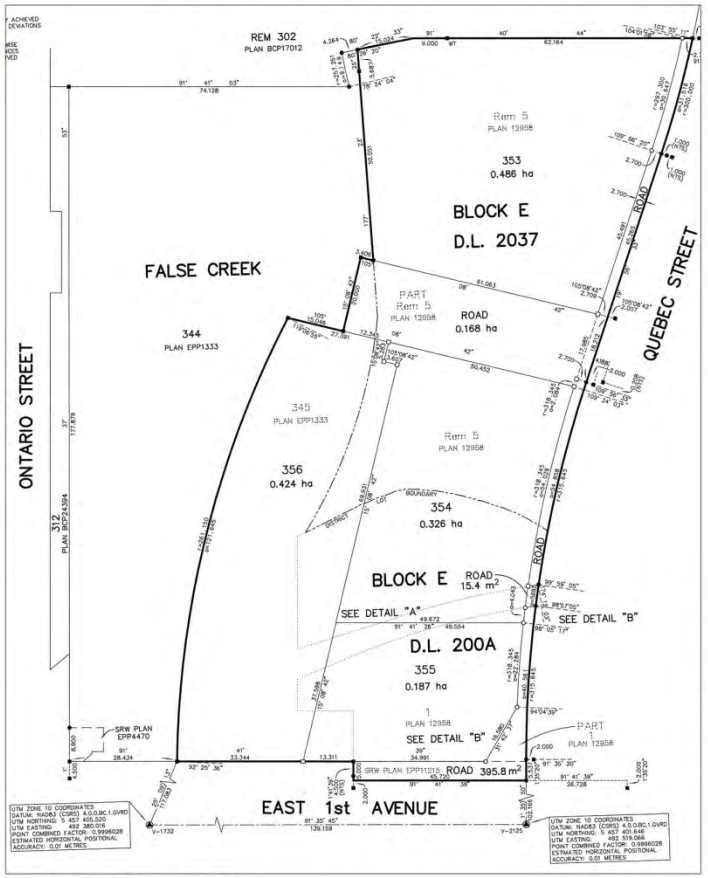
Client
CONCERT
Project Title:
THE CREEK
BUILDINGS 3 & 4
Drawing Title:
SURVEY PLAN
Date: AUGUST 2015
Project No. 11-04
Scale: N.T.S.
Drawn By: TG
Drawing No. A 1-1

CONCERT AREAS OF WORK



SURVEYOR SUBDIVISION PLAN

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REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	DK

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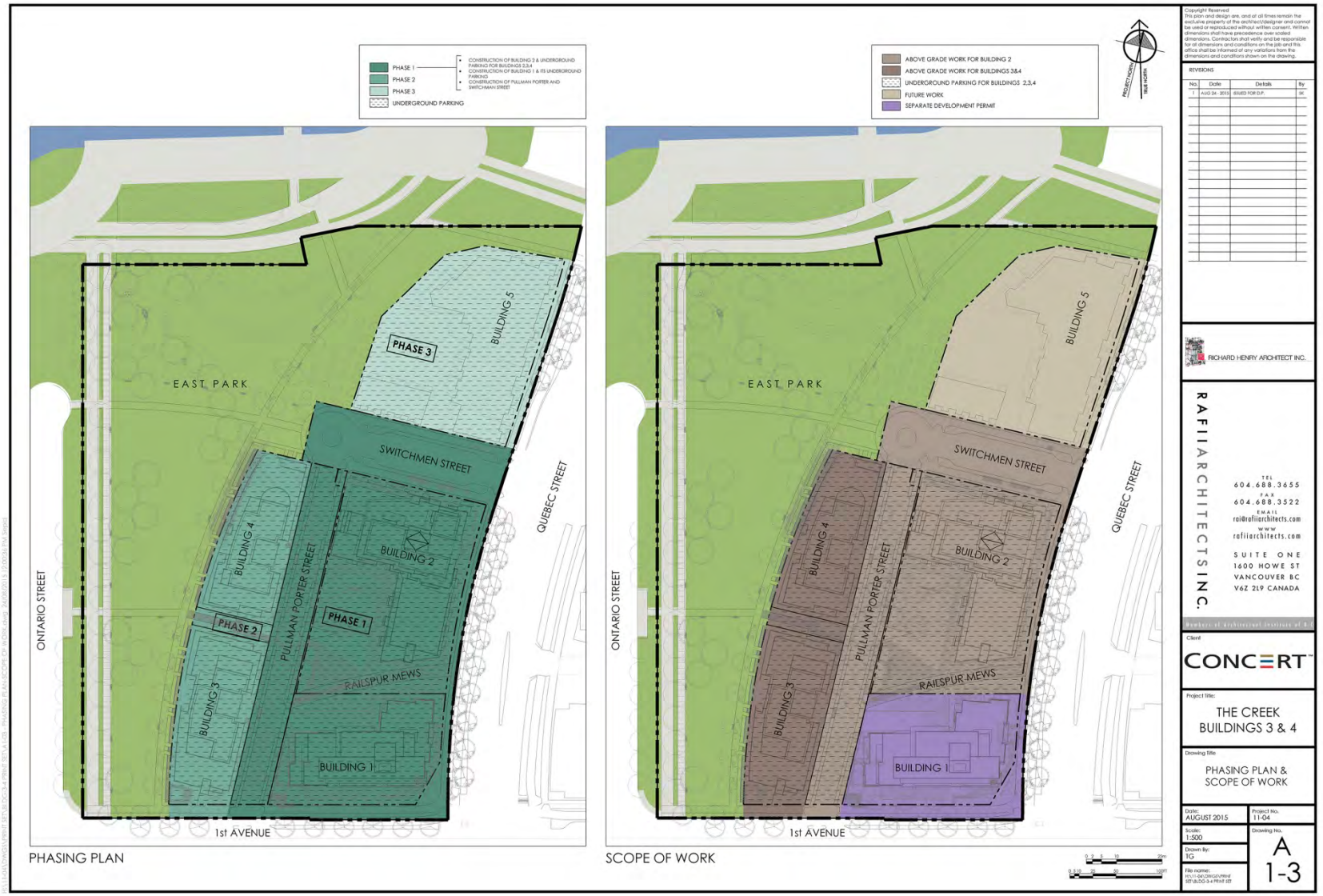
Client: CONCERT

Project title: THE CREEK BUILDINGS 3 & 4

Drawing title: SUBDIVISION PLAN

Date: AUGUST 2015
Project No. 11-04
Scale: 1:500
Drawing No. A 1-2
Drawn By: IG
File name:



REVISIONS

No.	Date	Details	By
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Client
CONCERT

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
PHASING PLAN &
SCOPE OF WORK

Date: AUGUST 2015
Project No. 11-04
Scale: 1:500
Drawing No. A 1-3
Drawn By: TG
File name:

SUSTAINABILITY:

SUSTAINABLE STRATEGY NARRATIVE

This narrative highlights how the strategies contained in the Policy for Sustainable Large Development Strategy Report have been incorporated into the design of Buildings 3 and 4.

The LEED scorecard references building features and elements on plans and elevations that will contribute to each of these buildings' sustainability performance in achieving LEED Gold.

SUSTAINABLE SITE

Sustainable design elements have been incorporated into the overall design of the Creek development including:

- Building siting strategy that maximizes park and open spaces: the West façade of buildings 3 and 4 face the park;
- A ground plane raised to 4.6m to meet Flood Construction Level requirements as part of the City's Climate Change Adaptions Strategy to address future sea level rise;
- Maximization of the green space at every level of the buildings, from Townhouse terraces to vegetated roof tops including urban agriculture;
- Landscape strategy of using deciduous trees as summer shading for these two buildings facing west on to the park;
- A pedestrian and bicycle path network that makes walking and cycling preferred transportation options.

Passive building design elements include:

- Strategic placement of operable windows to promote ventilation and reduce cooling loads;
- Reduction in window wall ratios in appropriate locations;
- Utilization of high quality building envelope and glazing;
- Balcony projections act like solar shading devices on west facing facades to reduce mid-summer sun penetration while taking advantage of winter sun exposure at lower angles.

ACCESS TO NATURE PLAN

The overall development meets the Greenest City walkability target for access to nature, with Creekside Park immediately to the north, and Southeast False Creek Park a 5 minute walk from the site (approximately 350m) on the west side of The Village on False Creek.

The proposed development will increase the neighbourhood's access to nature through the provision of the new East Park, an approximately 1.1ha green space including large shade trees amongst an open lawn, a kids play area and a viewing berm overlooking the Seawall and False Creek beyond. This park is envisioned to be lined with a double row of trees along its eastern edge directly in front of the western facades of Buildings 3 and 4. The City of Vancouver is responsible for the design and construction of the new East Park, with the goal of allowing these park improvements to be completed concurrently with Concert's phased development.

Each of the buildings has a rooftop amenity space including areas for urban agriculture.

SUSTAINABLE FOOD SYSTEMS

The following food system assets have been selected as most appropriate for this future neighbourhood:

- Urban Agriculture will be provided through the inclusion of rooftop urban agriculture plots for residents. This amenity will include areas dedicated to tool storage, compost bins, a potting bench and a source of potable water. These plots help improve the resiliency of local food production, facilitate neighbourly social interaction and contribute to healthy living.
- Edible Landscaping will be integrated into the townhouse and rooftop garden areas. Where practical, landscape selection will favor plants that also provide food, including fruit bearing bushes that will serve as both ornamental and functional assets.
- Composting is provided on site. Details of the food-composting component of the sustainable Food Systems Strategy can be found in the Zero Waste Planning Strategy.

GREEN MOBILITY

The overall development is well-located for walking, cycling and transit use, and could eventually be served by the city's future streetcar network. These connections are expected to attract residents who want to decrease the number of vehicle trips required in their everyday activities.

Pedestrian amenities permeate the overall site and align with the neighbouring street and walkway connections to the West and East. These connections will form an important component in knitting together the Southeast False Creek parcels, especially with the new developments to the east of Quebec Street.

The City of Vancouver Parking Bylaw for the provision of bicycle parking spaces is being met for Buildings 3 and 4. Class-A spaces allow for long-term storage and are located in the underground parkade in close proximity to the elevators. Short term Class-B spaces are located at grade near the building entrances.

All bike parking for Buildings 3 and 4 will be located on the P1 level. As with other buildings within the development, Buildings 3 and 4 have a Bike Hub room to accommodate a workshop including a workbench and a built-in air compressor. The Bike Hub room will support travel by bicycle by making repairs and maintenance easier, as well as provide a social area for cyclists. Doors into bicycle storage areas will have automatic openers.

The Creek development is well connected to transit with SkyTrain (Expo and Millennium Line via Main Street Science World Station), Canada Line and bus routes (5 routes providing connections across the City). One of the main priorities of the Green Mobility Plan is to improve pedestrian linkages around the site to access these stations and bus stops.

Concert Properties has provided parking in accordance with required vehicle parking rates of the Southeast False Creek Neighbourhood Plan. Electrical charging outlets will be provided for 20% of the parking spaces (approximately 30 stalls) to accommodate electric vehicles. Of these, 3% of total parking (approximately 8 stalls) will include "Electric Vehicle Only" signage with lockable outlet covers to ensure they are used as intended. The electrical infrastructure will be configured to allow for 40 amp service to all charging outlets, providing a measure of future-proofing as demand for electric vehicle charging grows.

Concert Properties has a letter of intent with Zipcar to provide six shared vehicles across the Quebec and 1st development: five are to be located in the Building 2 parkade, which is connected to the parkade for Buildings 3 and 4. The sixth will be located in the city owned and operated Building 1.

The project will also promote ride-sharing through simple measures such as bulletin board notices or information packages provided to residents. Ride-sharing involves two or more people sharing a car for a trip. The cost of the journey (fuel, tolls, parking, etc.) can be split between the driver and passengers, resulting in savings for all members. Ride-sharing also helps to reduce the number of vehicles on the road, and lowers parking demand.

RAINWATER MANAGEMENT

The existing site is relatively flat and impervious, with 90% asphalt cover and some gravel parking areas. There are no buildings on site.

The Rainwater Management Plan continues to be developed to ensure that the post-development rate and volume of stormwater runoff is less than or equal to the pre-development 2-year 24 hour storm. Further, 90% of the average runoff volume will be treated to remove at least 90% of Total Suspended Solids (TSS).

Green roofs and rooftop gardens will contribute to stormwater management targets. Stormwater will be directed to mechanical filtration systems maintaining continuous positive treatment of Total Suspended Solids (TSS) as well as free oils, heavy metals and nutrients that attach to fine sediment. Systems will be selected to remove a high level and wide variety of stormwater pollutants.

These strategies are designed to remove a large portion of any remaining pollutants and suspended solids before runoff is conveyed from the site.

ZERO WASTE PLANNING

Construction waste will be minimized through minimal packaging, on site protection of materials from weather damage, and efficient materials estimation. The project will be pursuing LEED's Construction Waste Management credit which requires diversion of at least 75% of construction waste from landfill or incineration.

Once the buildings are occupied, Buildings 3 and 4 will have one strata corporation which will oversee ongoing waste management. A Zero Waste Plan has been developed for each building within the development. Waste Management Inc. and Urban Impact provided input on the development of the strategies outlined in the Zero Waste Plan, which has informed site and building design decisions.

Concert Properties is committed and prepared to adhere to the requirements of the overall development's Zero Waste Plan. They have drawn from their experience implementing garbage and recycling programs that include, amongst other strategies, in-suite recycling and compost separation containers, and a tenant education program.

All buildings at Quebec and 1st will provide the means to recycle paper, metals, both hard and soft plastics, batteries, bulbs, appliances and electronic waste, as well as both kitchen and yard organics. Concert Properties and Waste Management have made the process simple to encourage recycling. Good lighting, sorting tables, and colour coded painted walls are provided in each recycling/garbage room. Icons will be added to text to avoid language barriers.

The space program and bin requirements were provided by Waste Management and are scaled to permit the avoidance of a compactor. Instead of using compactors, Waste Management proposed a smaller garbage container and provision of sufficient totes to receive the appropriately sorted waste.

On site composting has also been included in the landscaping design with compost bins provided at the rooftop outdoor amenity area for both Buildings 3 and 4.

AFFORDABLE HOUSING

The Southeast False Creek neighbourhood is intended to attract a diverse spectrum of residents and to accommodate a wide range of lifestyles with varying affordability thresholds including: young singles, couples, families and retirees. The proposed overall development at The Creek supports this diversity of residents by including a wide range of unit types: from studio and one-bedroom units to larger two and three bedroom units, as well as ground oriented townhomes. Specifically, Buildings 3 and 4 include 177 units, of which 62% are family units with 2 bedrooms or more, exceeding the requirements of the Southeast False Creek Official Development Plan. These include townhouses, penthouses, and units throughout the buildings of various configurations.

The development of Areas 3A and 3B will include a 135 non-market rental housing project (Building 1), to be owned by the CITY of Vancouver.

LOW CARBON

The Creek development will connect to the existing low carbon Neighbourhood Energy Utility which serves the Olympic Village, other new residential developments, Science World and the Great Northern Way campus. The provision of space heating and domestic hot water energy monitors will be provided for all units at The Creek including Buildings 3 and 4.

LEED GOLD

Buildings 3 and 4 are on track to achieve a LEED® Gold rating with registration and application for certification of the project with 64 points currently targeted. This gives the project a buffer over the LEED Gold threshold should any credits be deemed unattainable during the certification process. Throughout design development a number of other LEED credits will continue to be evaluated for environmental benefit and suitability with this project. The final selection of targeted credits may be different than those indicated in the draft scorecard (refer to separate page).

Buildings 3 and 4 are registered with the Canada Green Building Council.

REVISIONS

No.	Date	Details	By
1	AUG 06, 2015	ISSUED FOR DP	DL

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Client
CONCERT

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title:
SUSTAINABILITY
SUMMARY

Date: AUGUST 2015
Project No: 11-04
Scale: N.T.S.
Drawn By: TG
Drawing No. A 1-4

Quebec & 1st Buildings 3 & 4

LEED Canada NC 2009 Scorecard - Development Permit Estimate
Date: August 20, 2015

Target LEED Rating: Gold
Estimated LEED Rating: Gold

Yes	No		
64	24	**Total Estimated Points**	110 Possible Points
	22	**Points With Status To Be Confirmed**	Certified 40-49 points Silver 50-59 points Gold 60-79 points Platinum 80-110 points

Scorecard Notes:
The project is targeting LEED Gold Certification and is located in the Southeast False Creek development which was awarded LEED Neighborhood Development (ND) Platinum certification. The points that have been targeted for this project reflect the strategies described in Sustainable Large Development Strategy Report that was developed for the Quebec and 1st Site.

There are a number of points that are still being assessed for possible inclusion in the project (Points With Status To Be Confirmed), these credits will be assessed as the design is progressed further. This scorecard will continue to be updated through out the design, documentation and development phases of the project to reflect any changes in the status of points noted below.

Where possible notes on this scorecard refer to the documentation supporting the credits targeted.

Points in this scorecard represent estimates by the project team. The team intends to design and construct the project in compliance with LEED criteria for the credits below, but these points will only be confirmed once the project has been submitted to, and reviewed by, the Canada Green Building Council.

Yes	No	Sustainable Sites	26 Possible Points	Notes
Prerequisite		SSp1 Construction Activity Pollution Prevention	Required	An erosion and sedimentation control (ESC) plan will be produced for all construction activities associated with the project.
1		SSc1 Site Selection	1	The site is a redevelopment and meets LEED requirements.
5		SSc2 Development Density and Community Connectivity	3, 5	The site increases density above LEED requirements.
1		SSc3 Brownfield Redevelopment	1	Credit will be evaluated as the project is further developed.
6		SSc4.1 Alternative Transportation: Public Transportation Access	3, 6	Optimally located close to transit at Main Street and Terminal Ave.
1		SSc4.2 Alternative Transportation: Bicycle Storage & Changing Rooms	1	Bike parking capacity exceeds both LEED and VBBL requirements. A total of 257 class A spaces and a bike maintenance room are provided on P1. See A2-2. At grade, 12 class B spaces are provided.
3		SSc4.3 Alternative Transportation: Low-Emitting & Fuel-Efficient Vehicles	3	Eight parking spaces will be dedicated solely to Electric Vehicles, all on P1. Access to the power will be secured to ensure intended use (with signage indicating EV parking). See A2-2.
	2	SSc4.4 Alternative Transportation: Parking Capacity	2	Refer to Drawing A2-2, car sharing parking spaces will be included in the parkade of Building 2.
		SSc5.1 Site Development: Protect and Restore Habitat	1	Credit will be evaluated as the project is further developed.
1		SSc5.2 Site Development: Maximize Open Space	1	Open space will be maximized with the park expansion and localized landscaping and roof gardens.
		SSc6.1 Stormwater Design: Quantity Control	1	Not targeted.
1		SSc6.2 Stormwater Design: Quality Control	1	Removal of 90% Total Suspended Solids from Runoff will be achieved with a structural system (oilsyphon or similar). Details of the exact system will be determined as the project is further developed.
1		SSc7.1 Heat Island Effect: Non-Roof	1	100% of parking is underground. Refer to drawings A2-2 and A2-3.
		SSc7.2 Heat Island Effect: Roof	1	Vegetated roof surfaces will be provided, but are currently insufficient to earn LEED point. Refer to drawings L1.3 and L5.4
		SSc8 Light Pollution Reduction	1	Credit will be evaluated as the project is further developed.

Yes	No	Water Efficiency	10 Possible Points	Notes
Prerequisite		WEp1 Water Use Reduction	Required	Water efficient fixtured are provided (lav, shower, toilets)
2		WEc1 Water Efficient Landscaping	2, 4	A high efficiency irrigation system will be combined with native/adaptive plantings.
	2	WEc2 Innovative Wastewater Technologies	2	Not targeted.
3		WEc3 Water Use Reduction	2 - 4	Water efficient fixtures are provided (lav, shower, toilets)

Yes	No	Energy & Atmosphere	35 Possible Points	Notes
Prerequisite		EAp1 Fundamental Commissioning of Building Energy Systems	Required	CES has been contracted to provide Commissioning for the project.
Prerequisite		EAp2 Minimum Energy Performance	Required	ODV requirements exceed minimum performance levels. Credit will be evaluated as the project is further developed.
Prerequisite		EAp3 Fundamental Refrigerant Management	Required	Mechanical systems will comply with this prerequisite.
8	7	EAc1 Optimize Energy Performance	1 - 19	Credit will be confirmed as the project is further developed.
	7	EAc2 On-Site Renewable Energy	1 - 7	No use of on-site renewables is anticipated for the project.
2		EAc3 Enhanced Commissioning	2	CES has been contracted to provide Commissioning for the project.
2		EAc4 Enhanced Refrigerant Management	2	Based on design so far, the buildings are on track for this credit. Credit will be confirmed as the project is further developed.
3		EAc5 Measurement and Verification	3	Measurement and Verification strategies will be implemented to increase energy efficiency strategies and recording.
		EAc6 Green Power	2	Credit will be evaluated as the project is further developed.

RECOLLECTIVE

Yes	No	Materials & Resources	14 Possible Points	Notes
Prerequisite		MRp1 Storage and Collection of Recyclables	Required	Refer to drawing A2-2a for location of Recycling Room. Residents will have space to compost organics, recycle paper, plastics, metals, and cardboard as well as electronics, lightbulbs and so on.
	1	MRc1.1 Building Reuse: Maintain Existing Walls, Floors, and Roof	1 - 3	Not targeted.
	1	MRc1.2 Building Reuse: Maintain Interior Non-Structural Elements	1	Not targeted.
2		MRc2 Construction Waste Management	1 - 2	Targeted over 75% reduction
	2	MRc3 Materials Reuse	1 - 2	Credit will be evaluated as the project is further developed.
1		MRc4 Recycled Content	1 - 2	Over 10% recycled content targeted.
2		MRc5 Regional Materials	1 - 2	Over 20% of regionally sourced materials will be targeted.
		MRc6 Rapidly Renewable Materials	1	Credit will be evaluated as the project is further developed.
		MRc7 Certified Wood	1	Credit will be evaluated as the project is further developed.

Yes	No	Indoor Environmental Quality	15 Possible Points	Notes
Prerequisite		IEQp1 Minimum Indoor Air Quality Performance	Required	ASHRAE 62.1-2004 will be met and exceeded by complying with current GoV building bylaw.
Prerequisite		IEQp2 Environmental Tobacco Smoke (ETS) Control	Required	Air leakage testing will be performed on suites
		IEQc1 Outdoor Air Delivery Monitoring	1	Credit will be evaluated as the project is further developed.
1		IEQc2 Increased Ventilation	1	Credit will be evaluated as the project is further developed.
1		IEQc3.1 Construction IAQ Management Plan: During Construction	1	IAQ management plan will be designed and executed by the contractor.
1		IEQc3.2 Construction IAQ Management Plan: Before Occupancy	1	IAQ testing will occur before occupancy.
1		IEQc4.1 Low-Emitting Materials: Adhesives and Sealants	1	Low emitting materials will be used.
1		IEQc4.2 Low-Emitting Materials: Paints and Coatings	1	Low emitting materials will be used.
1		IEQc4.3 Low-Emitting Materials: Flooring Systems	1	Low emitting materials will be used.
1		IEQc4.4 Low-Emitting Materials: Composite Wood and Agrifibre Products	1	Low emitting materials will be used.
1		IEQc5 Indoor Chemical and Pollutant Source Control	1	MERV 13 filters will be provided to central air supply systems. Entryway systems will be installed in all applicable spaces, as shown on entrances from parkade (A2-2).
		IEQc6.1 Controllability of Systems: Lighting	1	Credit will be evaluated as the project is further developed.
		IEQc6.2 Controllability of Systems: Thermal Comfort	1	Credit will be evaluated as the project is further developed.
		IEQc7.1 Thermal Comfort: Design	1	Cooling will be provided. Credit will be evaluated as the project is further developed.
		IEQc7.2 Thermal Comfort: Verification	1	Credit will be evaluated as the project is further developed.
1		IEQc8.1 Daylight and Views: Daylight	1	The shallow floor plate and ample glazing contribute plenty of daylight.
1		IEQc8.2 Daylight and Views: Views	1	The shallow floor plate and ample glazing contribute views in regularly occupied spaces.

Yes	No	Innovation in Design	6 Possible Points	Notes
1		IDEc1.1 Innovation in Design: Exemplary IDc1	1	Credit will be met with exceedingly high development density in the project area.
1		IDEc1.2 Innovation in Design: Exemplary IDc1.1	1	Credit will be met with exceedingly high levels of transit in the project area.
1		IDEc1.3 Innovation in Design: Exemplary IDc7.1	1	Credit will be achieved via 100% underground parking. Refer to drawings A2-2 and A2-3.
1		IDEc1.4 Innovation in Design: Green Building Education	1	Credit will be evaluated as the project is further developed.
		IDEc1.5 Innovation in Design: Green Cleaning	1	Credit will be evaluated as the project is further developed.
1		IDEc1 LEED® Accredited Professional	1	Recollective are LEED APs.

Yes	No	Regional Priority	4 Possible Points	Notes
1		RPc1 Cluster Building	1	Building Durability Plan will be developed and implemented.
1		RPc2.1 Regional Priority: IDc2	1	SSc2 credit will be met.
1		RPc2.2 Regional Priority: MRc7	1	SSc6.1 credit will be met.
1		RPc2.3 Regional Priority: MRc2	1	MRc2 credit will be met.

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	GL

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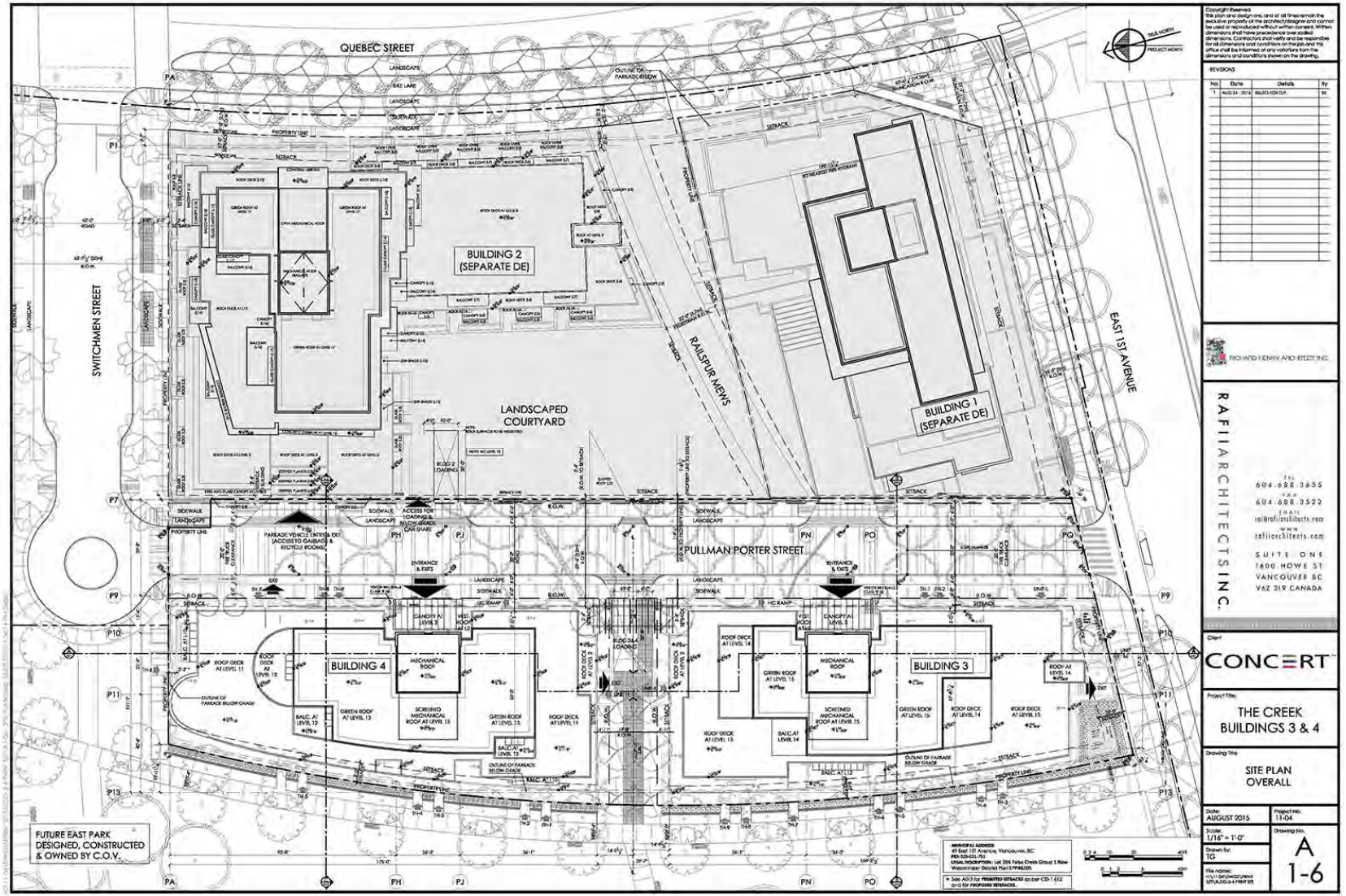
Client: CONCERT

Project Title: THE CREEK BUILDINGS 3 & 4

Drawing Title: LEED SCORECARD SUMMARY

Date: AUGUST 2015
Project No: 11-04
Scale: N.T.S.
Drawn By: IG
Drawing No. A 1-5
File name: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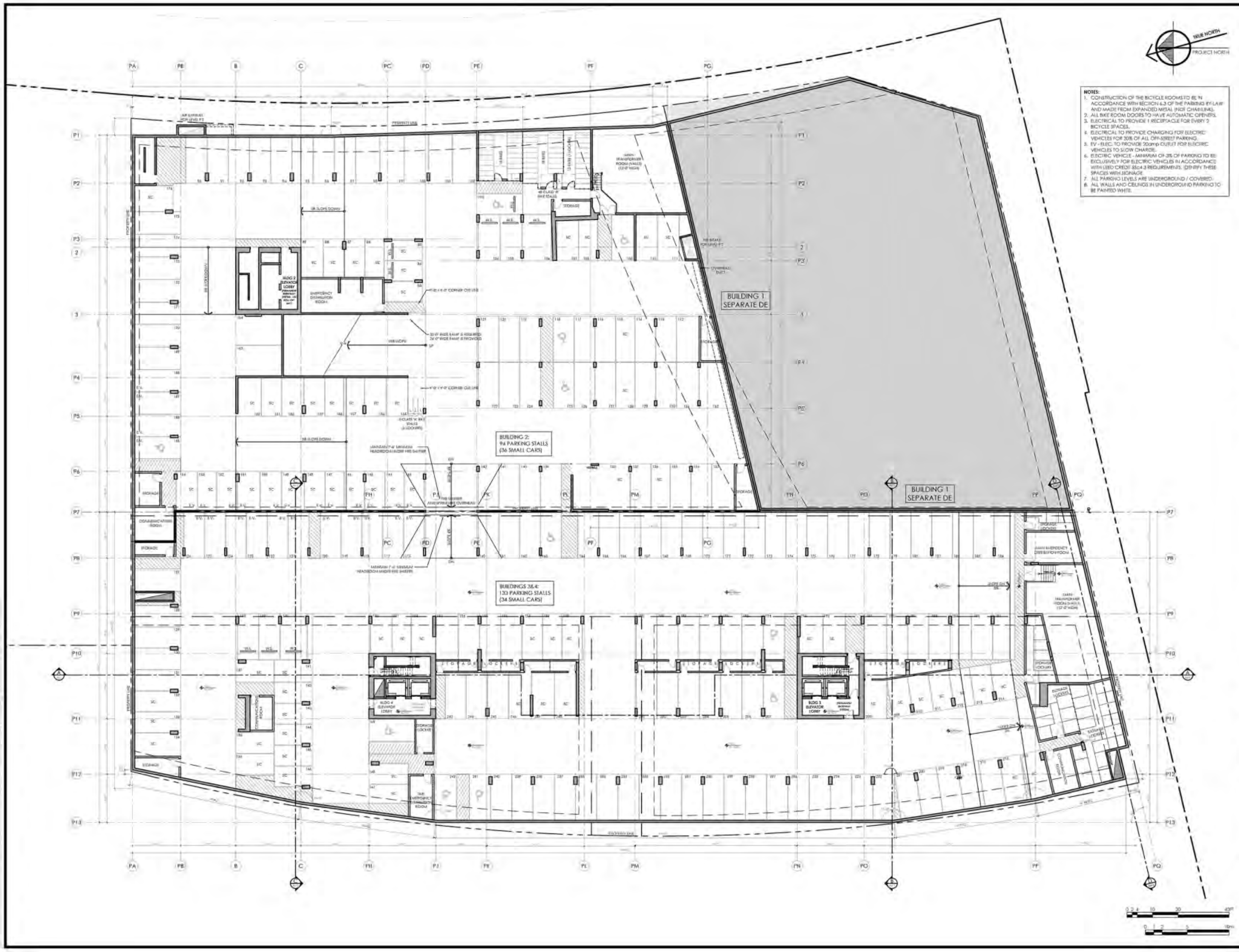
SWITCHMEN STREET
EAST 1ST AVENUE
RAILSPUR MEWS
PULLMAN PORTER STREET
BUILDING 1 (SEPARATE DE)
BUILDING 2 (SEPARATE DE)
BUILDING 3
BUILDING 4
LANDSCAPED COURTYARD
FUTURE EAST PARK DESIGNED, CONSTRUCTED & OWNED BY C.O.V.
RAFII ARCHITECTS INC.
CONCERT
THE CREEK BUILDINGS 3 & 4
SITE PLAN OVERALL
AUGUST 2015
1/16" = 1'-0"
A 1-6



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1	AUG 24 - 2015	ISSUED FOR D.P.	SK

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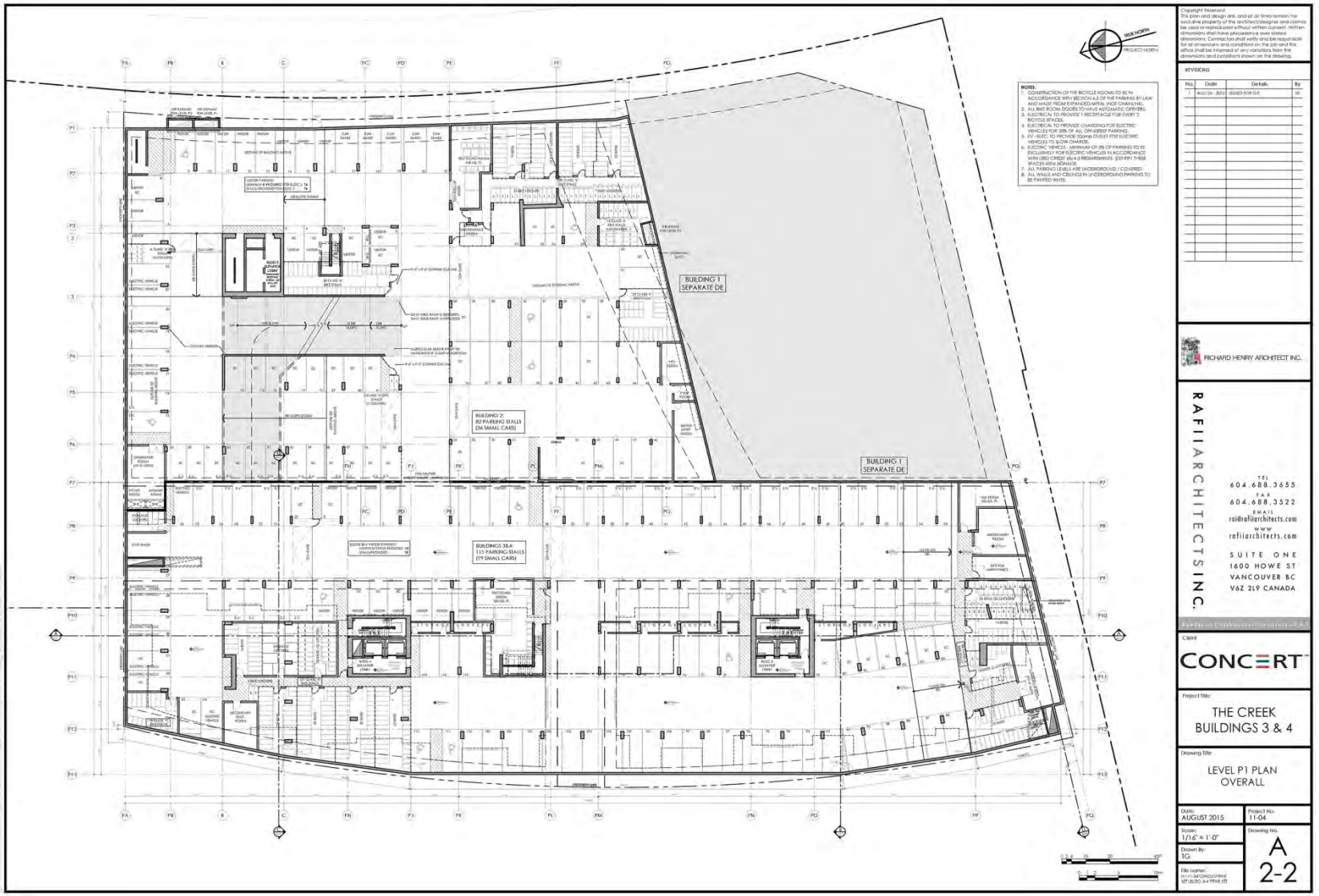
Client: CONCERT

Project Title: THE CREEK BUILDINGS 3 & 4

Drawing Title: LEVEL P2 PLAN OVERALL

Date: AUGUST 2015
Project No. 11-04
Scale: 1/16" = 1'-0"
Drawn By: TG
Drawing No. A 2-1


BUILDING 1
SEPARATE DE
BUILDING 2:
82 PARKING STALLS
(36 SMALL CARS)
BUILDING 1
SEPARATE DE
BUILDINGS 3&4:
115 PARKING STALLS
(19 SMALL CARS)
NOTES:
1. CONSTRUCTION OF THE BICYCLE ROOMS TO BE IN ACCORDANCE WITH SECTION 6.2 OF THE PARKING BY-LAW AND MADE FROM EXPANDED METAL (NOT CHAIN LINK).
2. ALL BIKE ROOM DOORS TO HAVE AUTOMATIC OPENERS.
3. ELECTRICAL TO PROVIDE 1 RECEPTACLE FOR EVERY 2 BICYCLE SPACES.
4. ELECTRICAL TO PROVIDE CHARGING FOR ELECTRIC VEHICLES FOR 20% OF ALL OFF-STREET PARKING.
5. EV - ELEC. TO PROVIDE 32amp OUTLET FOR ELECTRIC VEHICLES TO SLOW CHARGE.
6. ELECTRIC VEHICLE - MINIMUM OF 3% OF PARKING TO BE EXCLUSIVELY FOR ELECTRIC VEHICLES IN ACCORDANCE WITH LEED CREDIT SS 4.3 REQUIREMENTS. (20 EV, 7 RISE SPACES WITH SIGNAGE
7. ALL PARKING LEVELS ARE UNDERGROUND / COVERED.
8. ALL WALLS AND CEILINGS IN UNDERGROUND PARKING TO BE PAINTED WHITE.
PROJECT NORTH
REVISIONS
No. Date Details By
1 AUG 24 - 2015 ISSUED FOR D.P. DE
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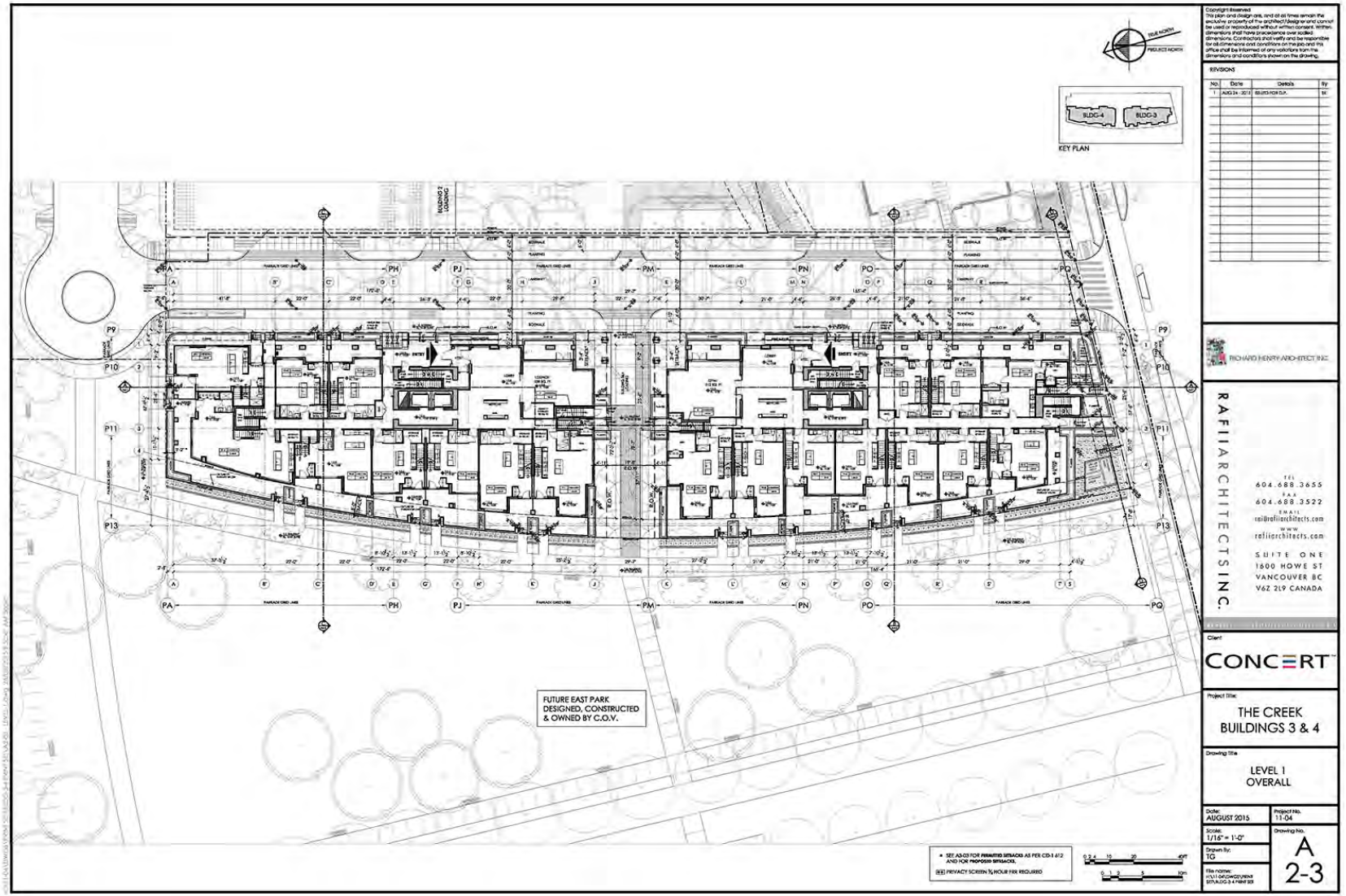
Client
CONCERT
Project Title:
THE CREEK
BUILDINGS 3 & 4
Drawing title
LEVEL P1 PLAN
OVERALL
Date: AUGUST 2015
Project No. 11-04
Scale: 1/16" = 1'-0"
Drawn By: TG
Drawing No. A 2-2


KEY PLAN
BLDG-4
BLDG-3
FUTURE EAST PARK
DESIGNED, CONSTRUCTED
& OWNED BY C.O.V.
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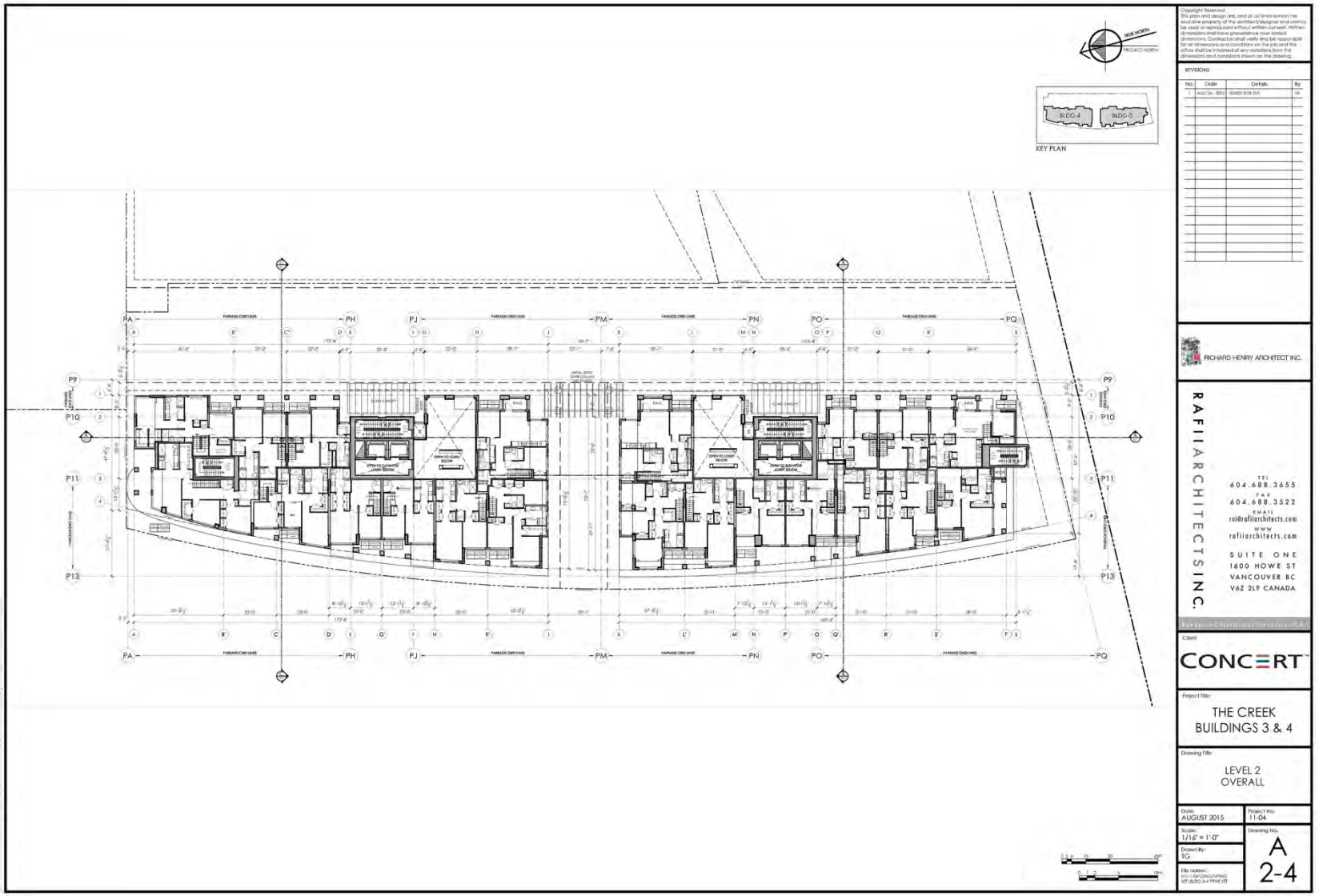
CONCERT
THE CREEK
BUILDINGS 3 & 4
LEVEL 1
OVERALL
AUGUST 2015
11-04
1/16" = 1'-0"
TG
A
2-3



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No.	Date	Details	By
1	AUG 04, 2015	ISSUED FOR DP	MK

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Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
LEVEL 2
OVERALL

Date: AUGUST 2015	Project No: 11-04
Scale: 1/16" = 1'-0"	Drawing No. A 2-4
Drawn By: TG	
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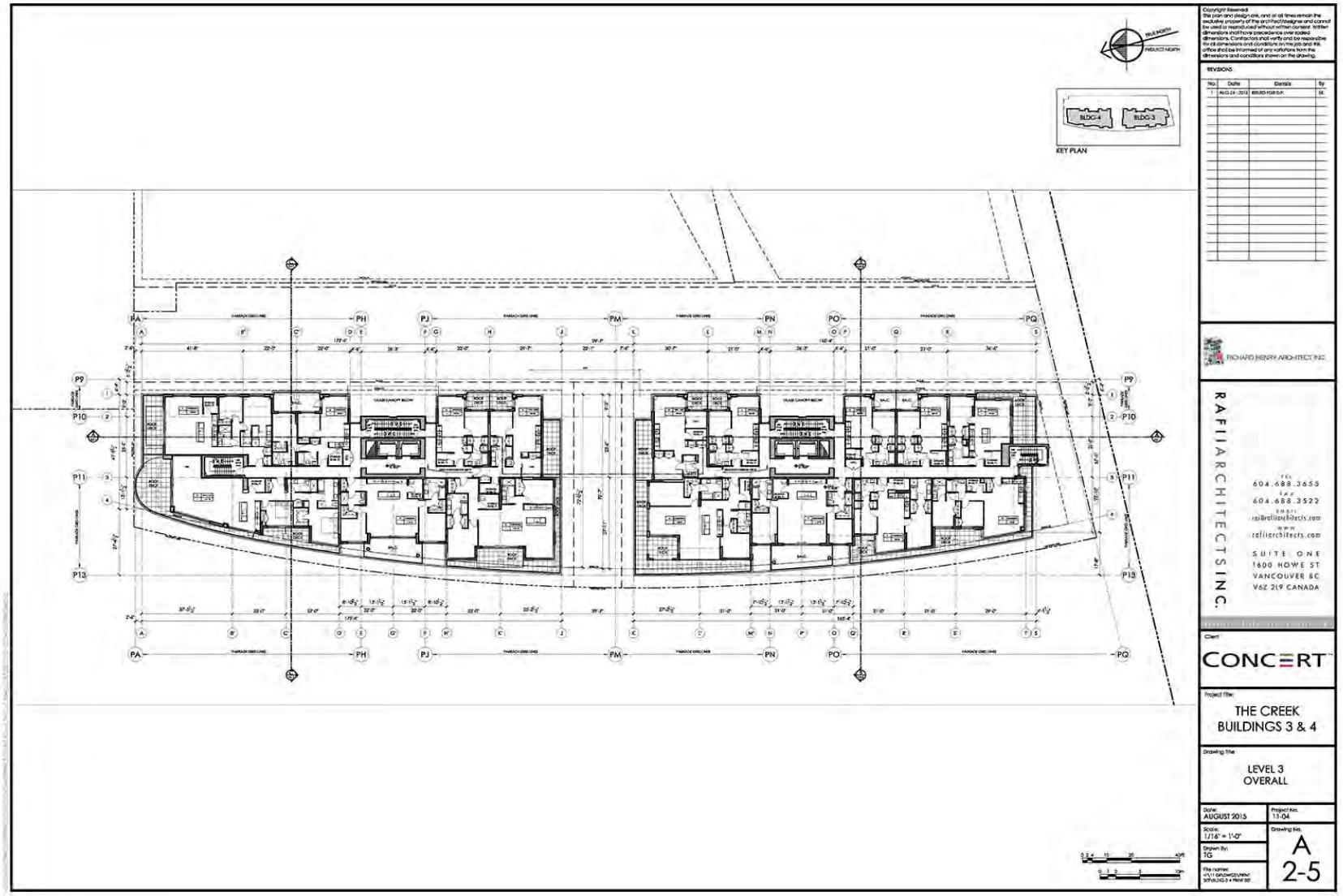

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CONCERT

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
LEVEL 3
OVERALL

Date: AUGUST 2015
Project No. 13-04
Scale: 1/16" = 1'-0"
Drawing No. A 2-5
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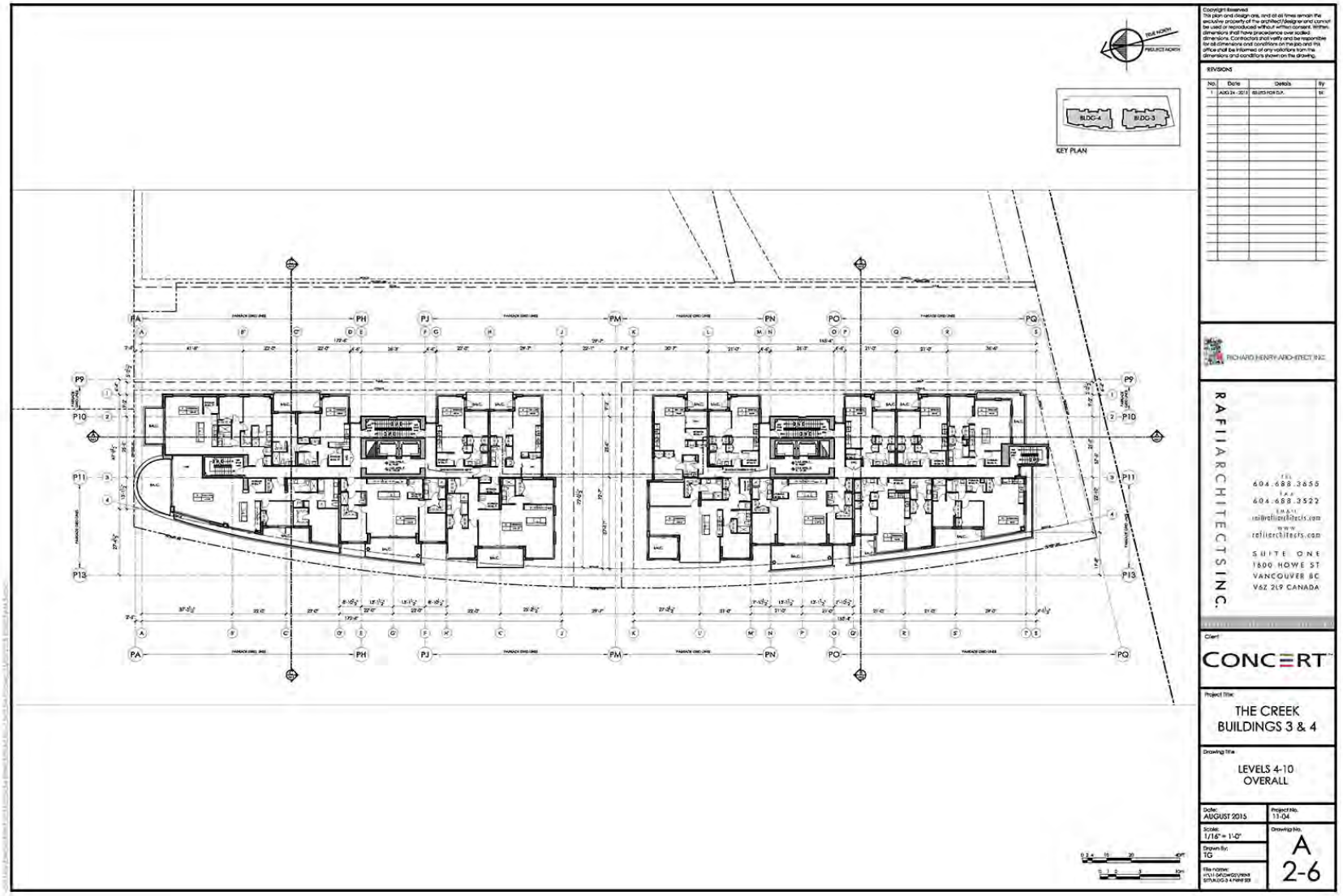

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CONCERT

Project Title
THE CREEK
BUILDINGS 3 & 4

Drawing Title
LEVELS 4-10
OVERALL

Date: AUGUST 2015
Project No. 13-04
Scale: 1/16" = 1'-0"
Drawing No. A 2-6
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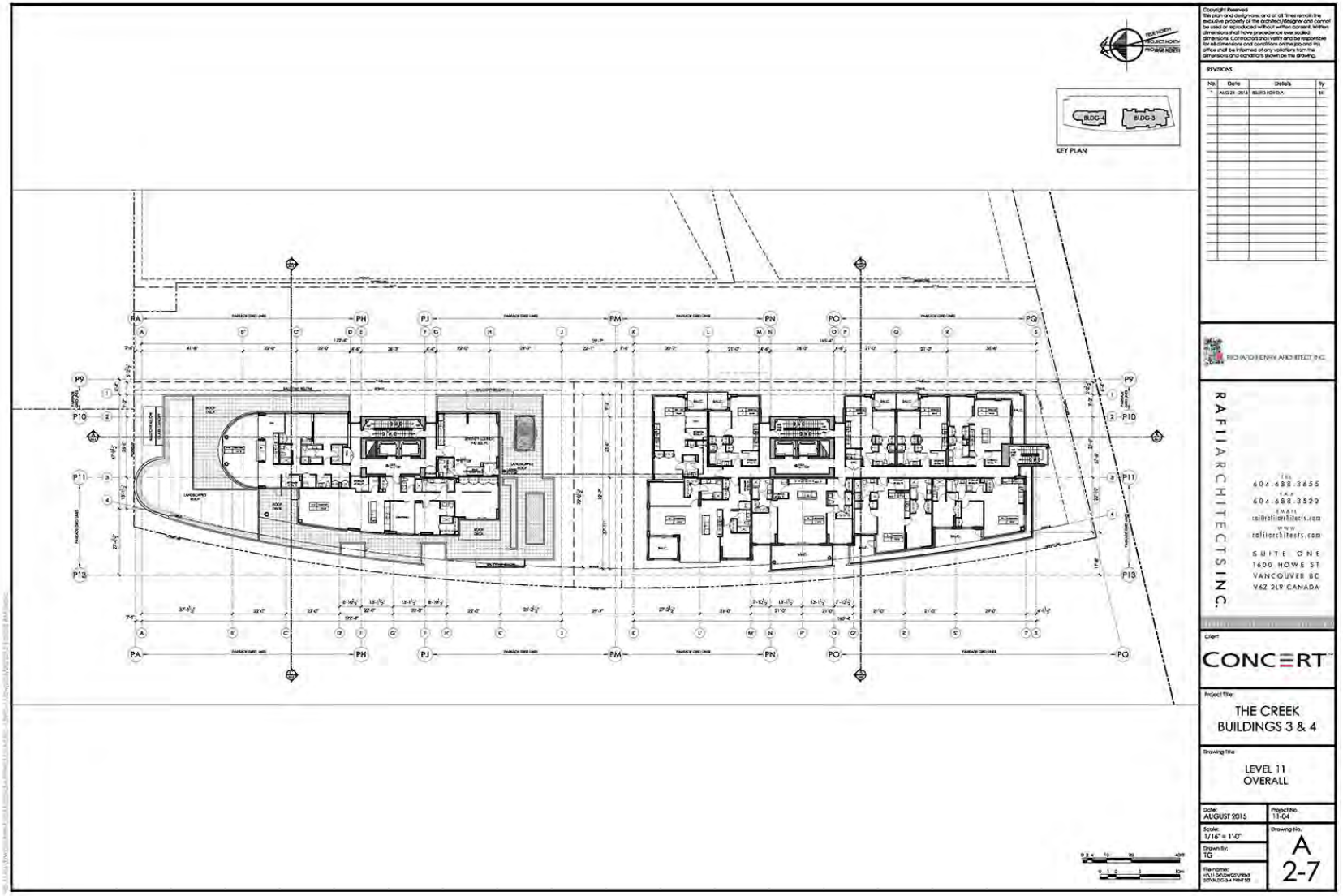
KEY PLAN
BLDG-4
BLDG-3
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SUITE ONE
1600 HOWE ST
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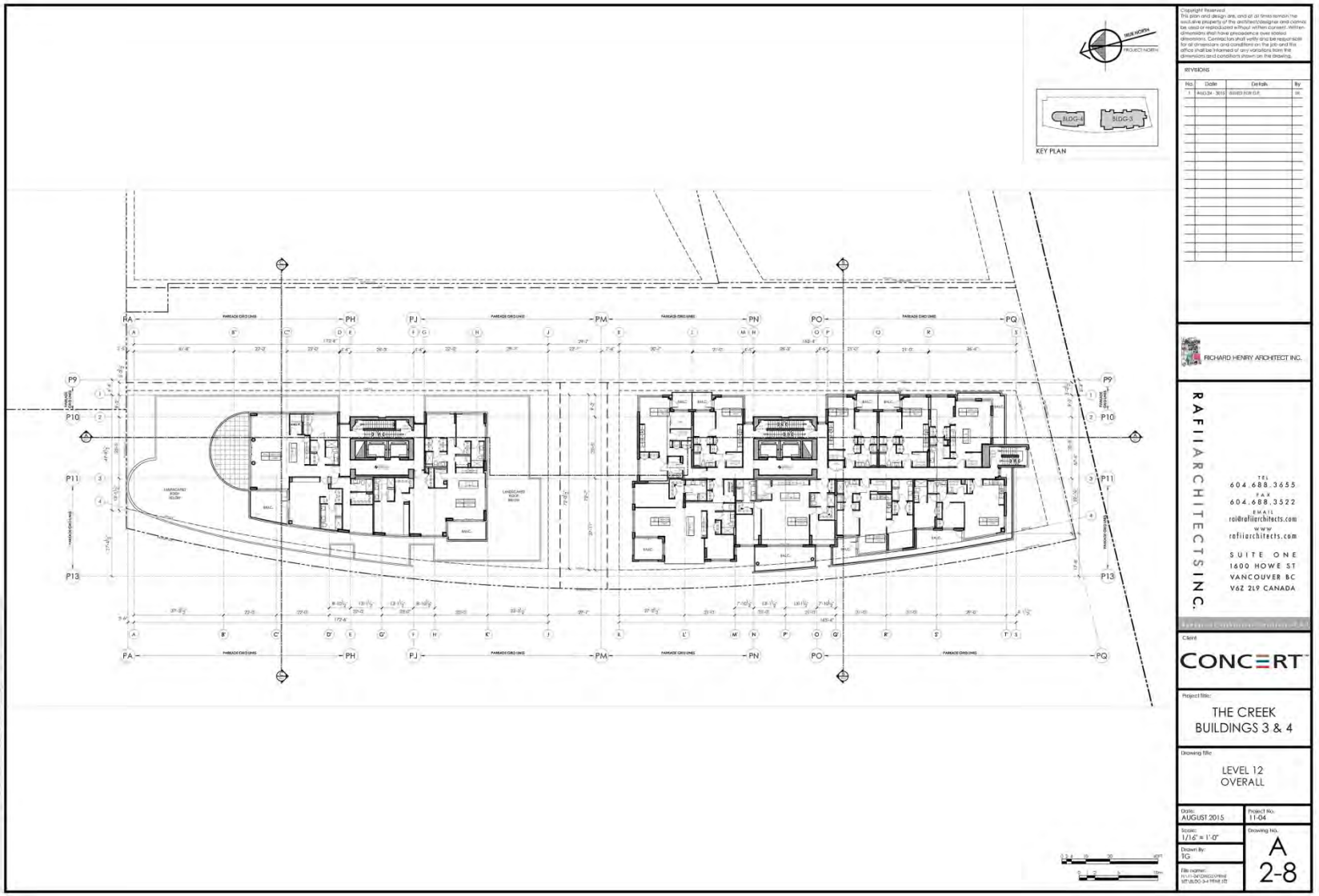
CONCERT
THE CREEK
BUILDINGS 3 & 4
LEVEL 11
OVERALL
AUGUST 2015
11-04
1/16" = 1'-0"
TG
A
2-7


PROJECT NORTH
BLDG-4
BLDG-3
KEY PLAN
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Client
CONCERT
Project Title:
THE CREEK
BUILDINGS 3 & 4
Drawing Title
LEVEL 12
OVERALL
Date: AUGUST 2015
Project No: 11-04
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Drawing No.
A
2-8
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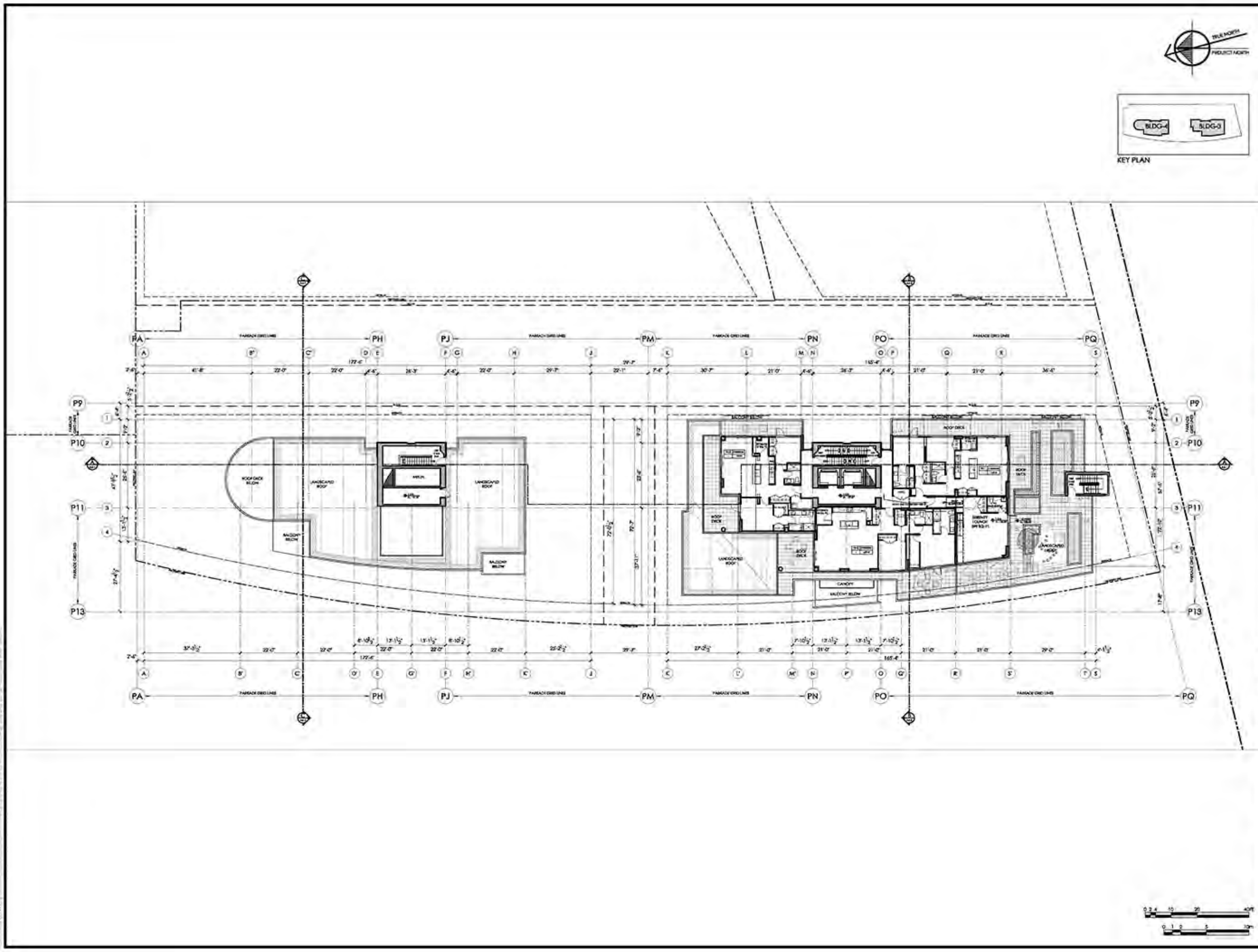

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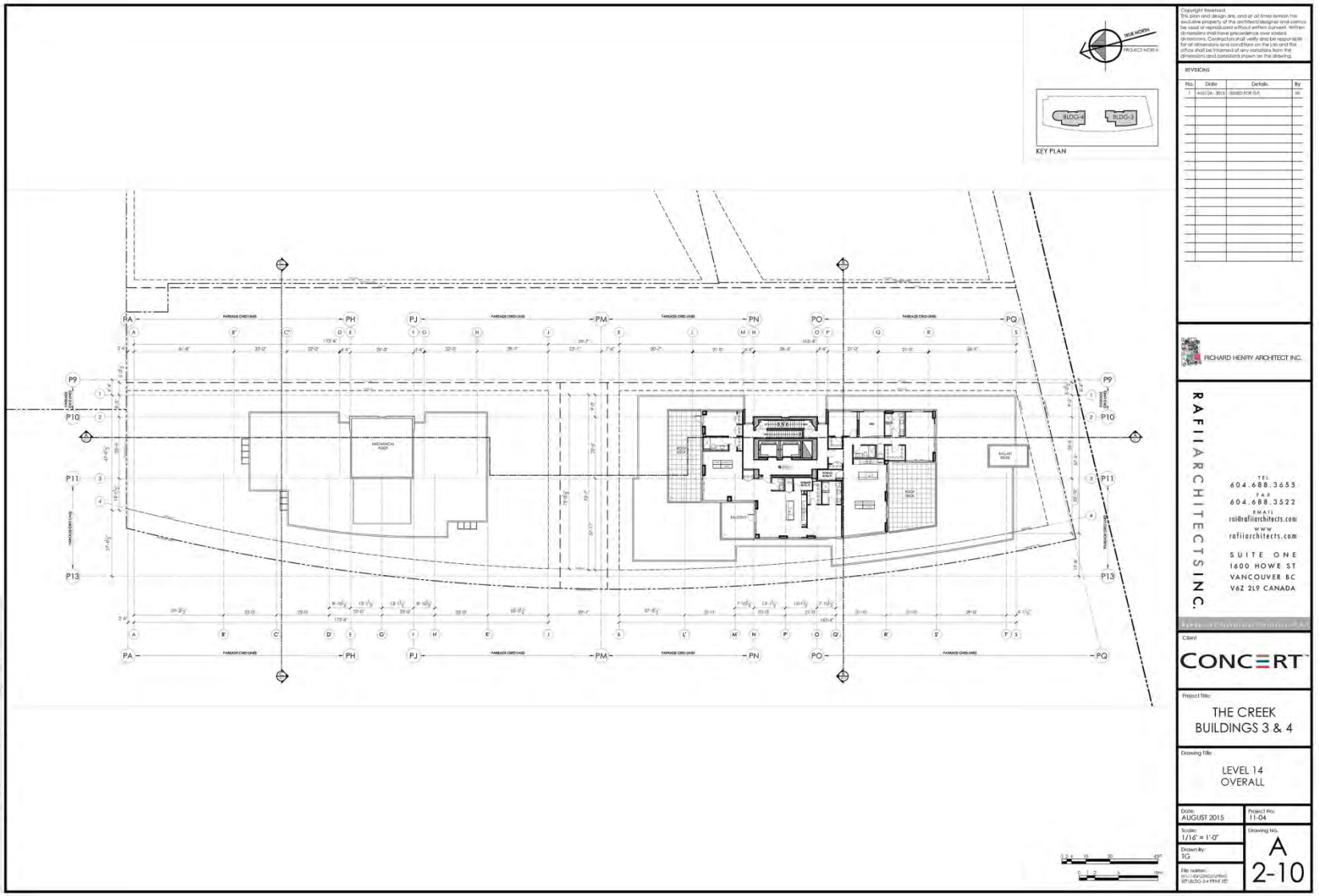
CONCERT

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title:
LEVEL 13
OVERALL

Date: AUGUST 2015
Project No. 11-04
Scale: 1/16" = 1'-0"
Drawn By: TG
Drawing No.
A
2-9


KEY PLAN
BLDG-4
BLDG-3
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Client
CONCERT
Project Title:
THE CREEK
BUILDINGS 3 & 4
Drawing Title
LEVEL 14
OVERALL
Date: AUGUST 2015
Project No: 11-04
Scale: 1/16" = 1'-0"
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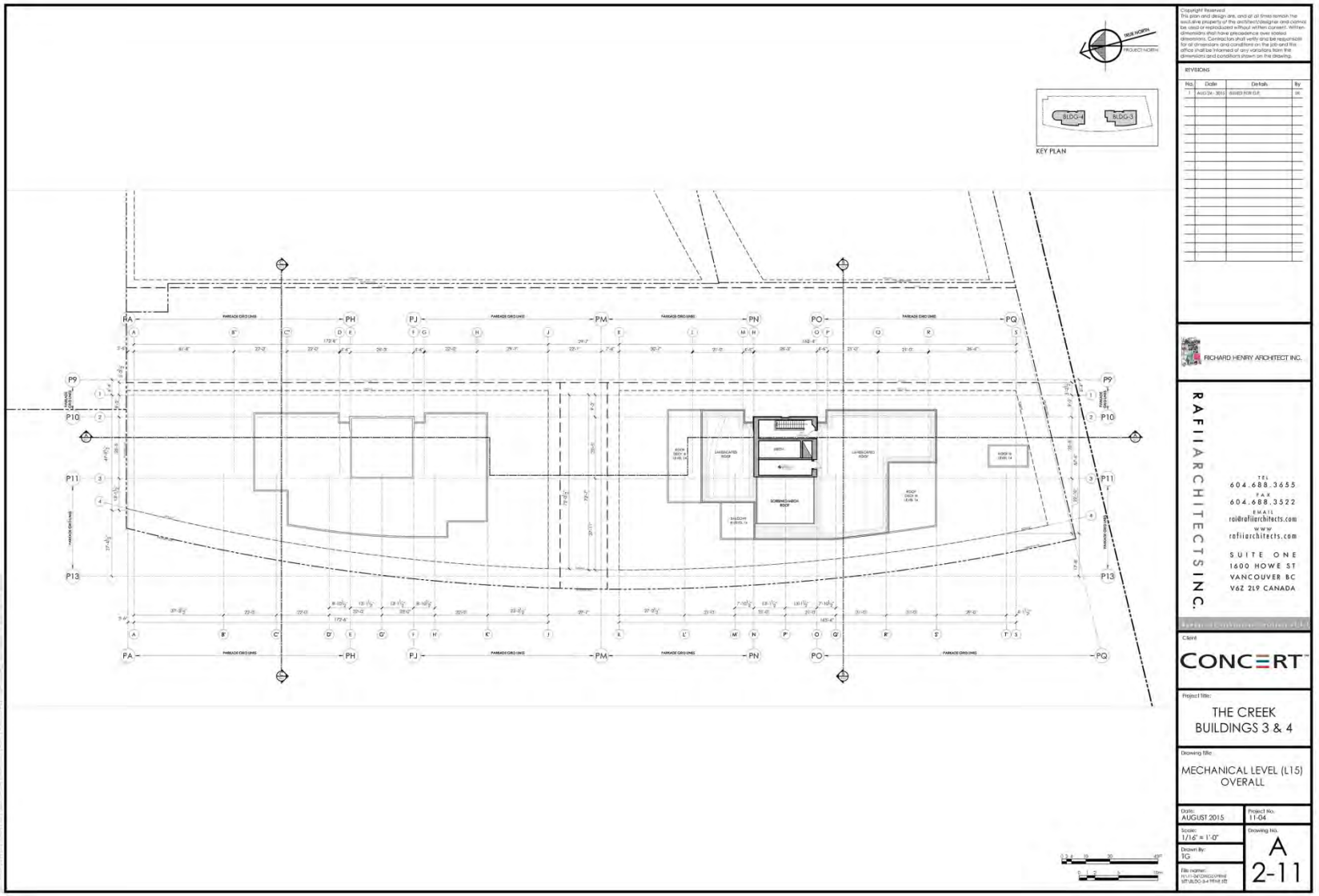
KEY PLAN
BLDG-4
BLDG-3
PROJECT NORTH
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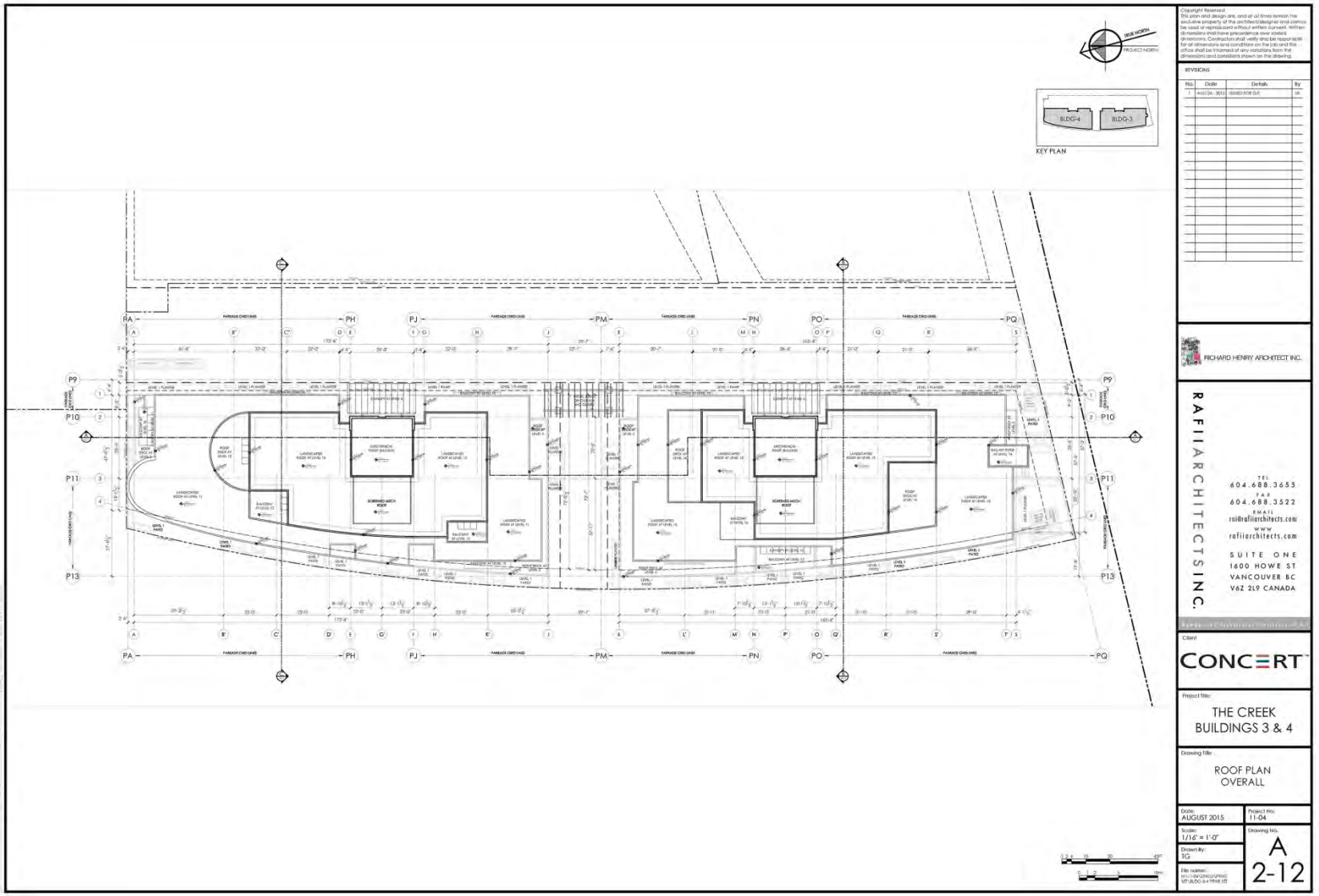
Client
CONCERT
Project Title:
THE CREEK
BUILDINGS 3 & 4
Drawing Title:
MECHANICAL LEVEL (L15)
OVERALL
Date: AUGUST 2015
Project No: 11-04
Scale: 1/16" = 1'-0"
Drawing No. A 2-11
Drawn By: IG


KEY PLAN
BLDG-4
BLDG-3
PROJECT NORTH
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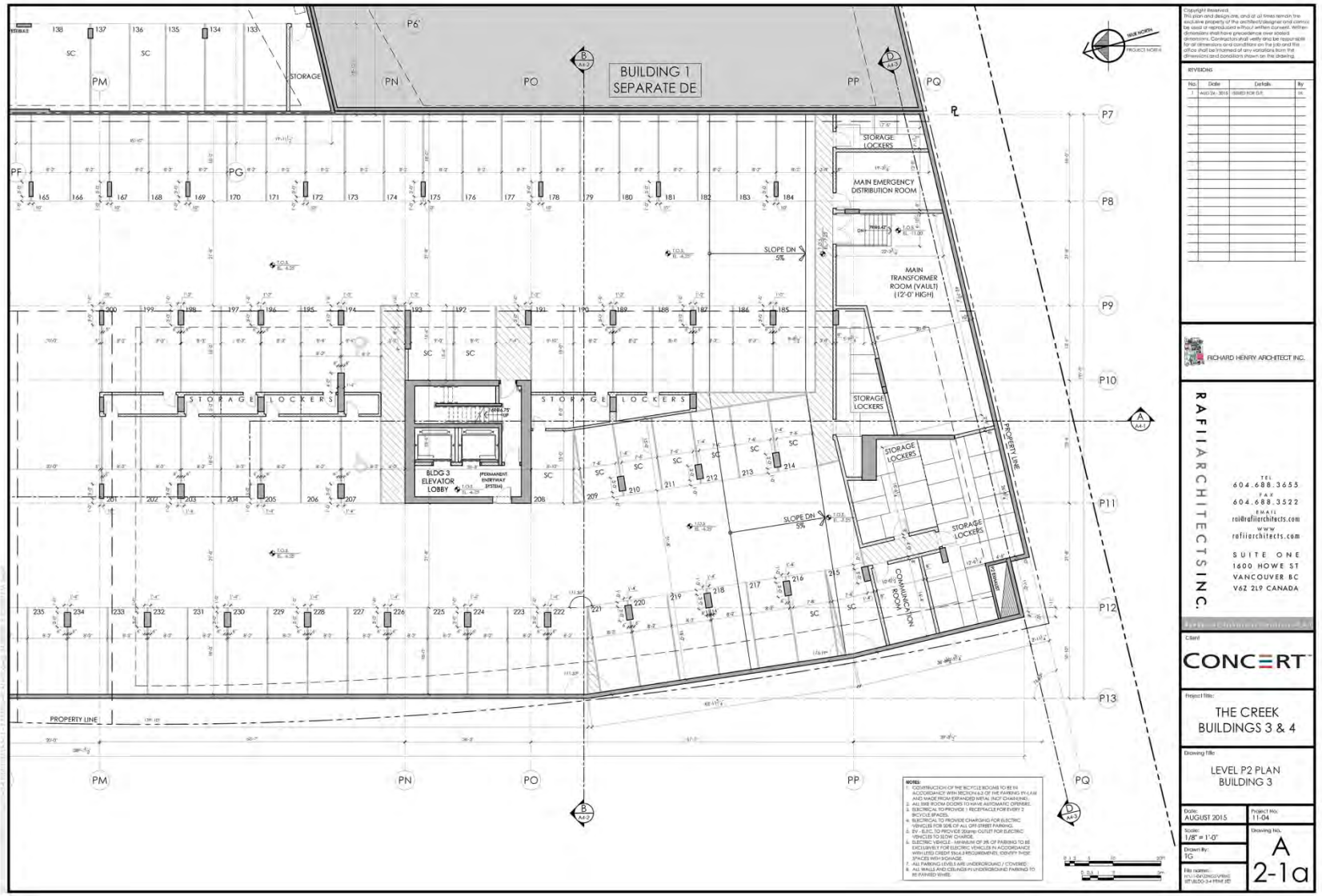
SUITE ONE 1600 HOWE ST VANCOUVER BC V6Z 2L9 CANADA
Client
CONCERT
Project Title:
THE CREEK BUILDINGS 3 & 4
Drawing Title
ROOF PLAN OVERALL
Date: AUGUST 2015
Project No: 11-04
Scale: 1/16" = 1'-0"
Drawing No. A 2-12
Drawn By: TG



REVISIONS

No.	Date	Details	By
1	AUG 26 - 2015	ISSUED FOR D.P.	DK

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Client
CONCERT

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
LEVEL P2 PLAN
BUILDING 3

Date: AUGUST 2015	Project No: 11-04
Scale: 1/8" = 1'-0"	Drawing No. A 2-1a
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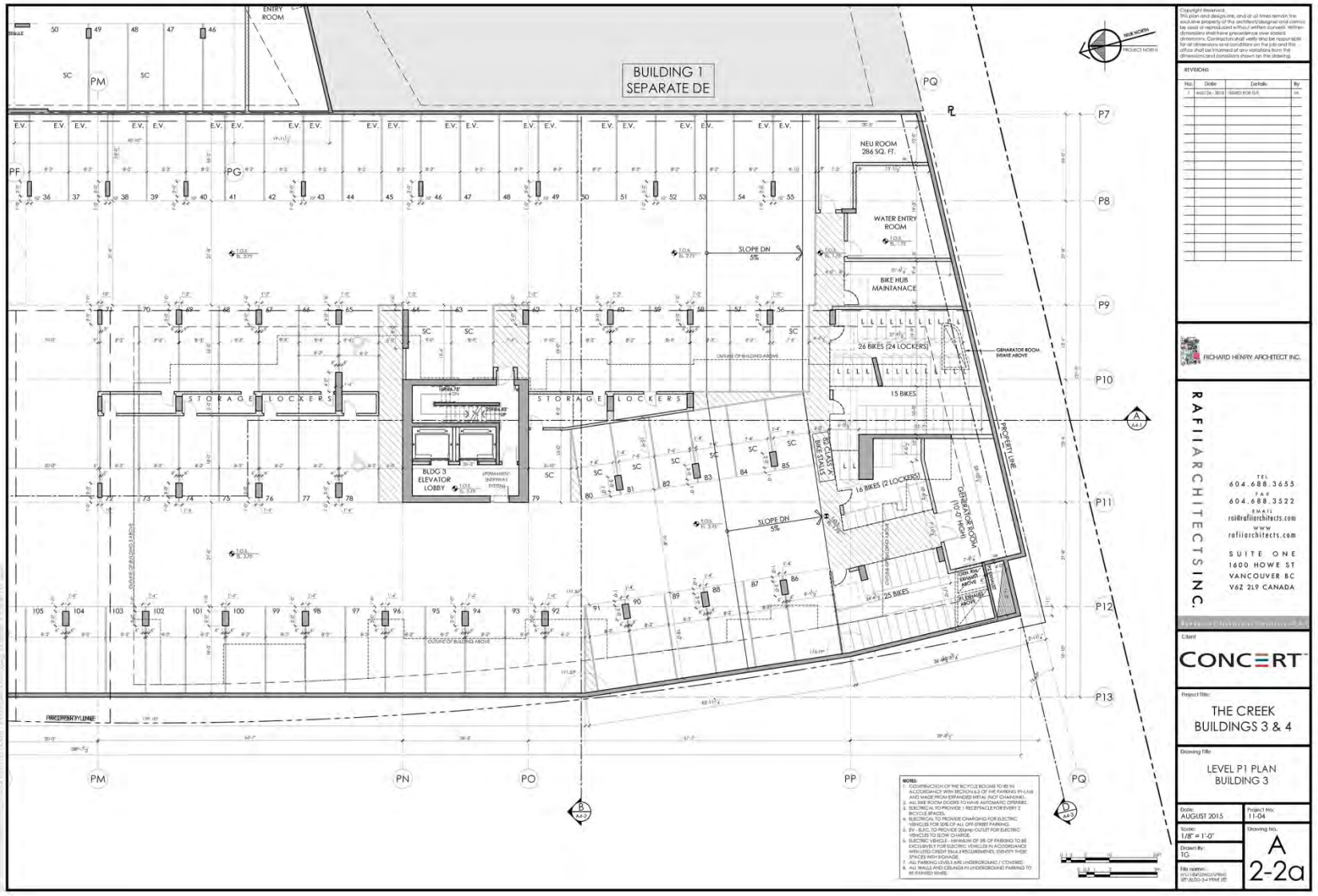

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1	AUG 26 - 2015	ISSUED FOR D.P.	RK

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V6Z 2L9 CANADA

Client
CONCERT

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
LEVEL P1 PLAN
BUILDING 3

Date: AUGUST 2015	Project No: 11-04
Scale: 1/8" = 1'-0"	Drawing No. A 2-2a
Drawn By: TG	
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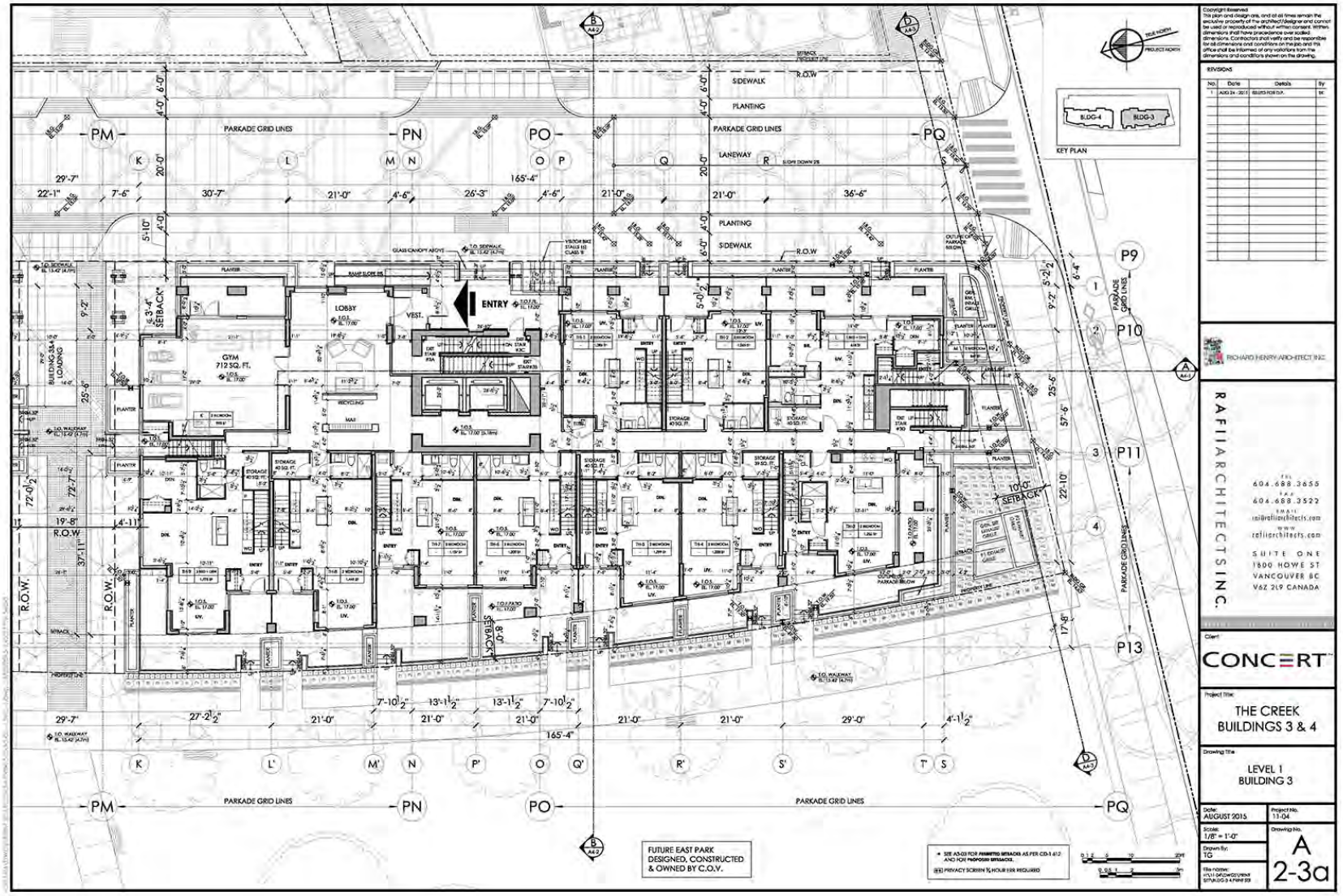
PARKADE GRID LINES
SIDEWALK
PLANTING
LANEWAY
R.O.W
ENTRY
LOBBY
VEST.
GYM
712 SQ. FT.
SETBACK
FUTURE EAST PARK
DESIGNED, CONSTRUCTED
& OWNED BY C.O.V.
KEY PLAN
BLDG-4
BLDG-3
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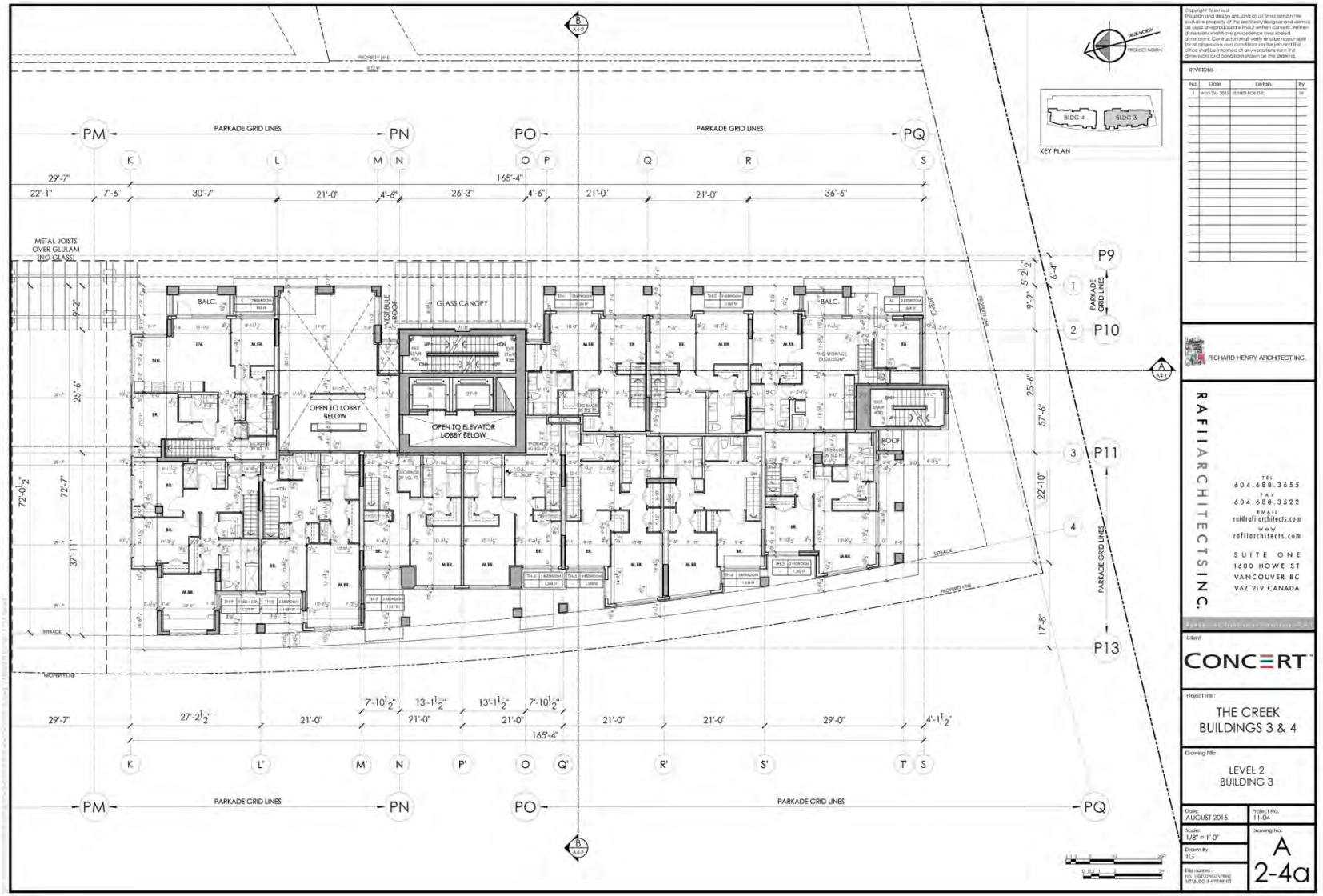
CONCERT
THE CREEK
BUILDINGS 3 & 4
LEVEL 1
BUILDING 3
AUGUST 2015
1/8" = 1'-0"
TG
A
2-3a



REVISIONS

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1	AUG'24 - 2015	ISSUED FOR DP	SB

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Client
CONCERT

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
LEVEL 2
BUILDING 3

Date: AUGUST 2015	Project No: 11-04
Scale: 1/8" = 1'-0"	Drawing No. A 2-4a
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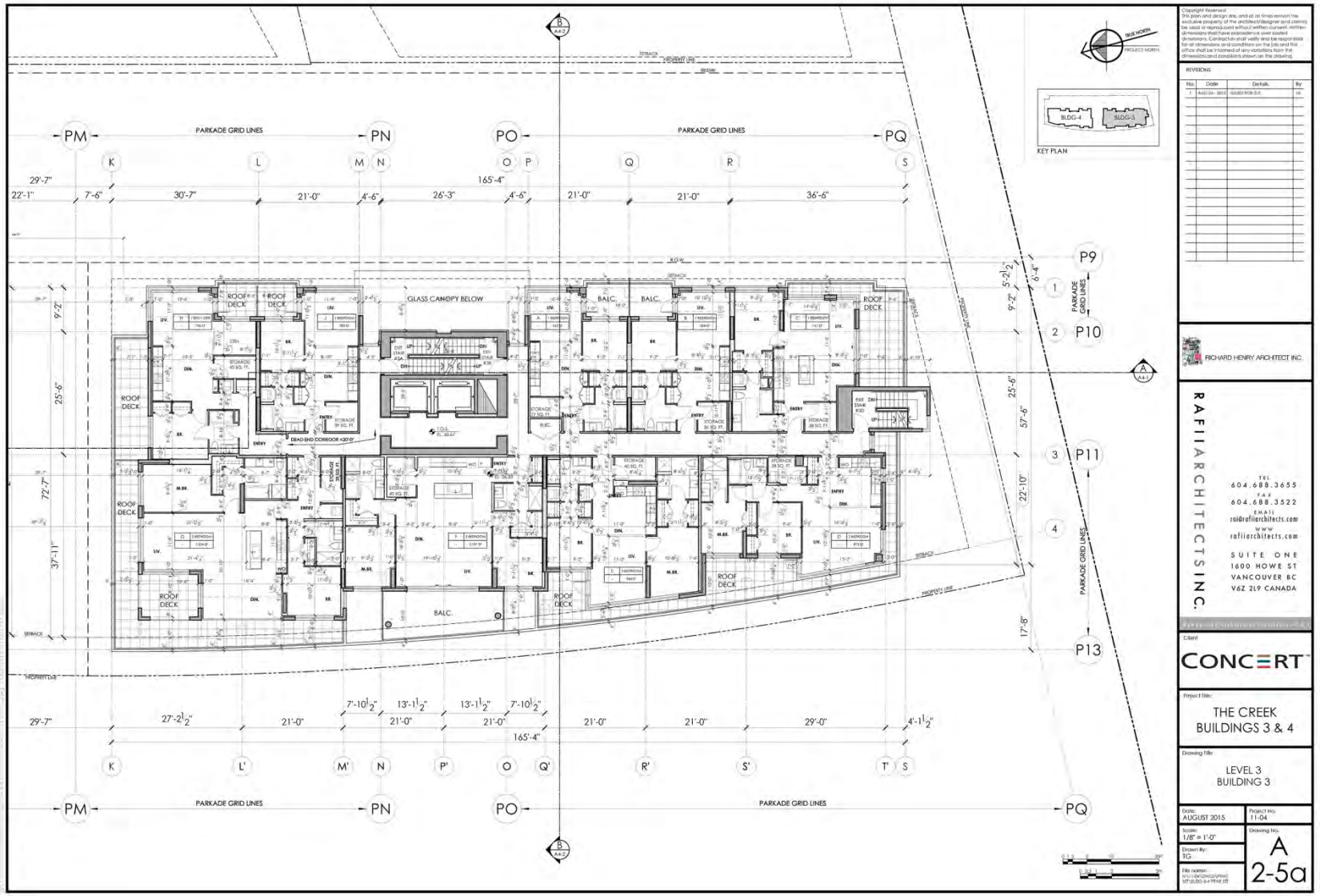

REVISIONS

No.	Date	Details	By
1	AUG 04 - 2015	ISSUED FOR D.P.	VK

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www rafiiarchitects.com

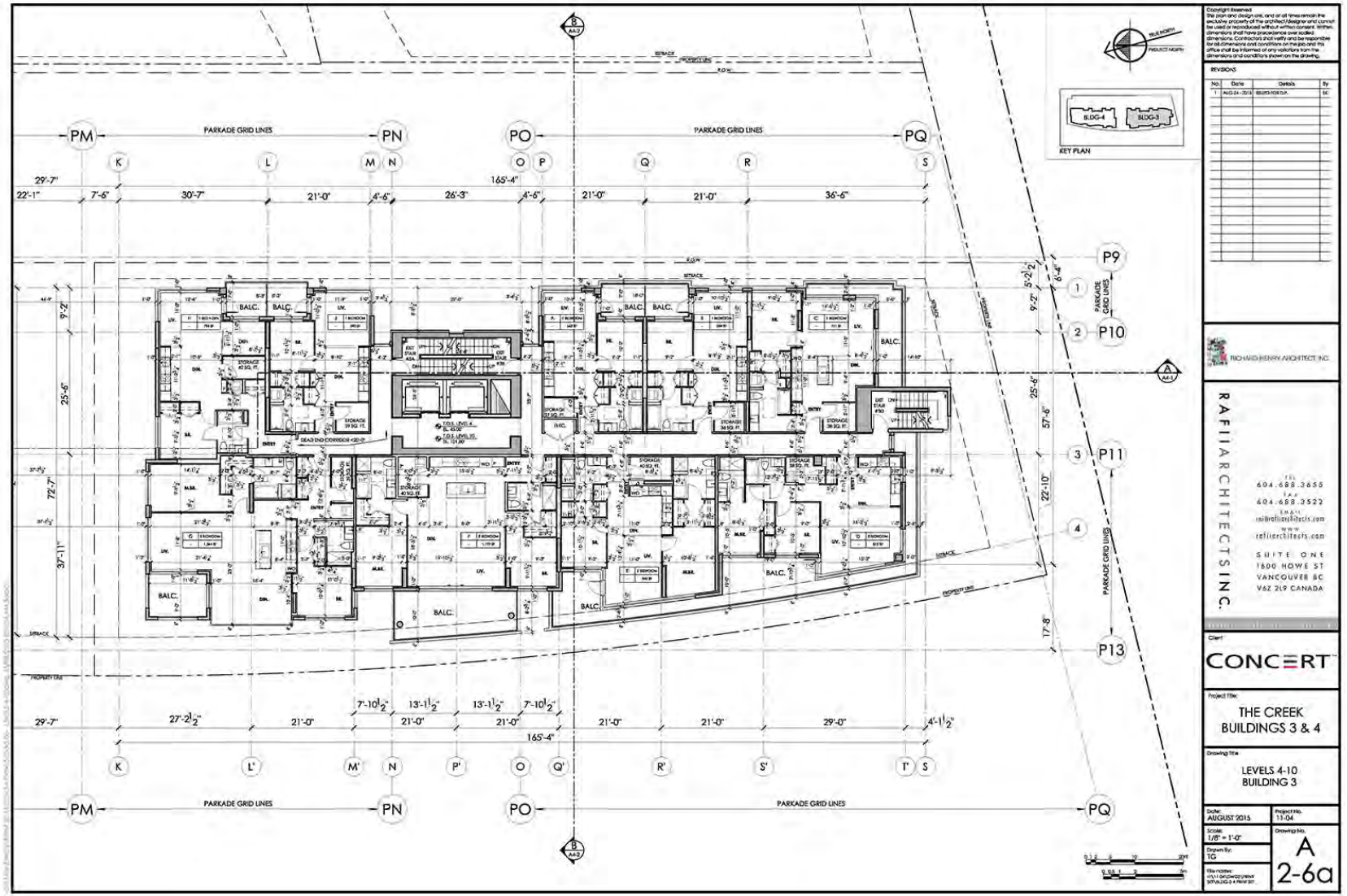
SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA

Client
CONCERT

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
LEVEL 3
BUILDING 3

Date: AUGUST 2015	Project No: 11-04
Scale: 1/8" = 1'-0"	Drawing No. A 2-5a
Drawn By: TG	
File name:	


PARKADE GRID LINES
PM
PN
PO
PQ
K
L
M
N
O
P
Q
R
S
29'-7"
22'-1"
7'-6"
30'-7"
21'-0"
4'-6"
26'-3"
4'-6"
21'-0"
21'-0"
36'-6"
165'-4"
BALC.
STORAGE
DEAD END CORRIDOR
P9
P10
P11
P13
PARKADE GRID LINES
9'-2"
25'-6"
37'-11"
72'-7"
57'-6"
22'-10"
17'-8"
5'-2"
6'-4"
7'-10½"
13'-1½"
13'-1½"
7'-10½"
27'-2½"
29'-0"
4'-1½"
K'
L'
M'
N'
P'
O'
Q'
R'
S'
T'
BLDG-4
BLDG-3
KEY PLAN
TRUE NORTH
PROJECT NORTH
REVISIONS
No.
Date
Details
By
RICHARD HENRY ARCHITECT INC.
RAFII ARCHITECTS INC.
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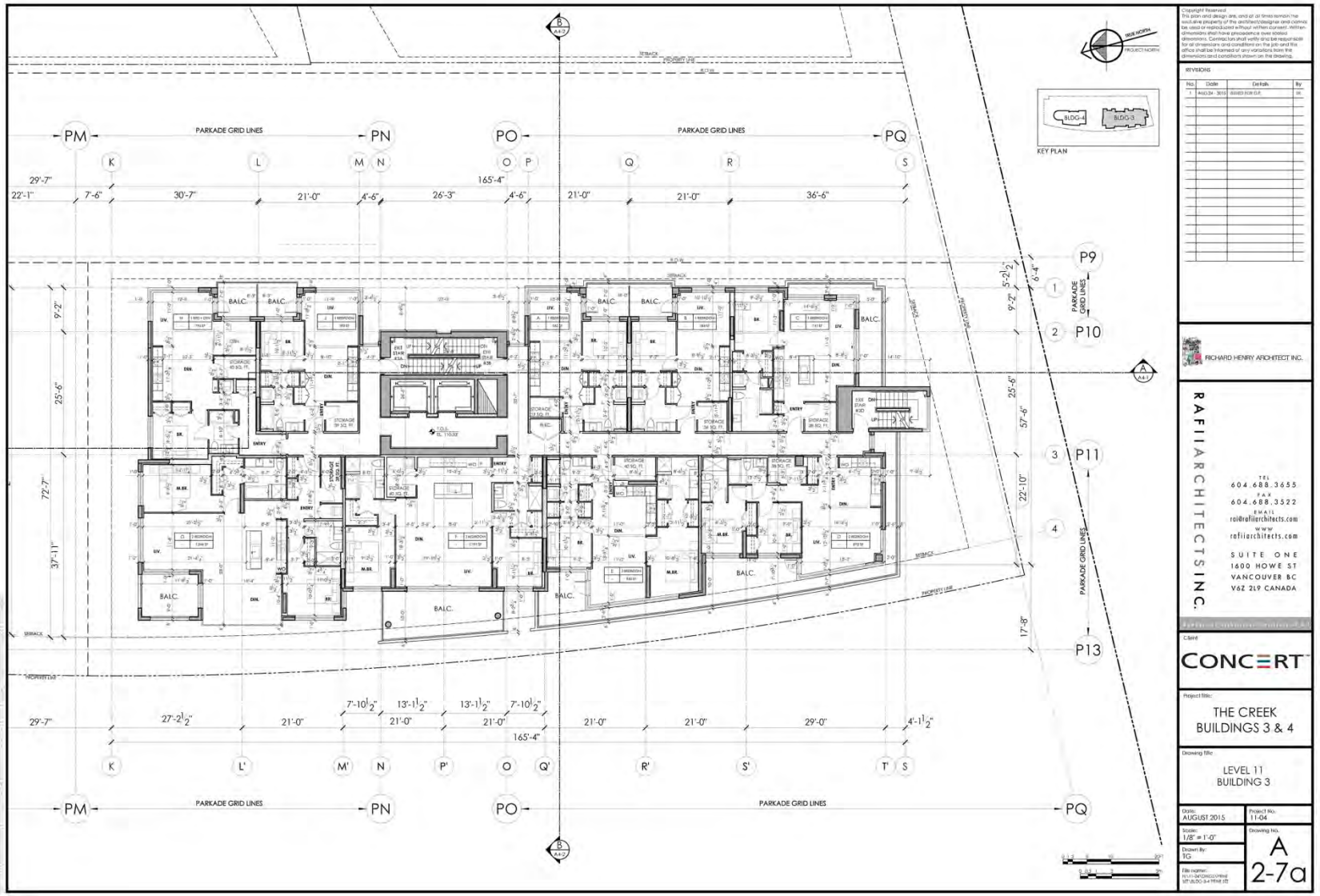
SUITE ONE
1800 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA
Client
CONCERT
Project Title:
THE CREEK
BUILDINGS 3 & 4
Drawing Title
LEVELS 4-10
BUILDING 3
Date:
AUGUST 2015
Project No.
13-04
Scale:
1/8" = 1'-0"
Drawing No.
A
2-6a
Drawn By:
TG



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REVISIONS

No.	Date	Details	By
1	AUG.24 - 2015	ISSUED FOR D.P.	DE

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SUITE ONE
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VANCOUVER BC
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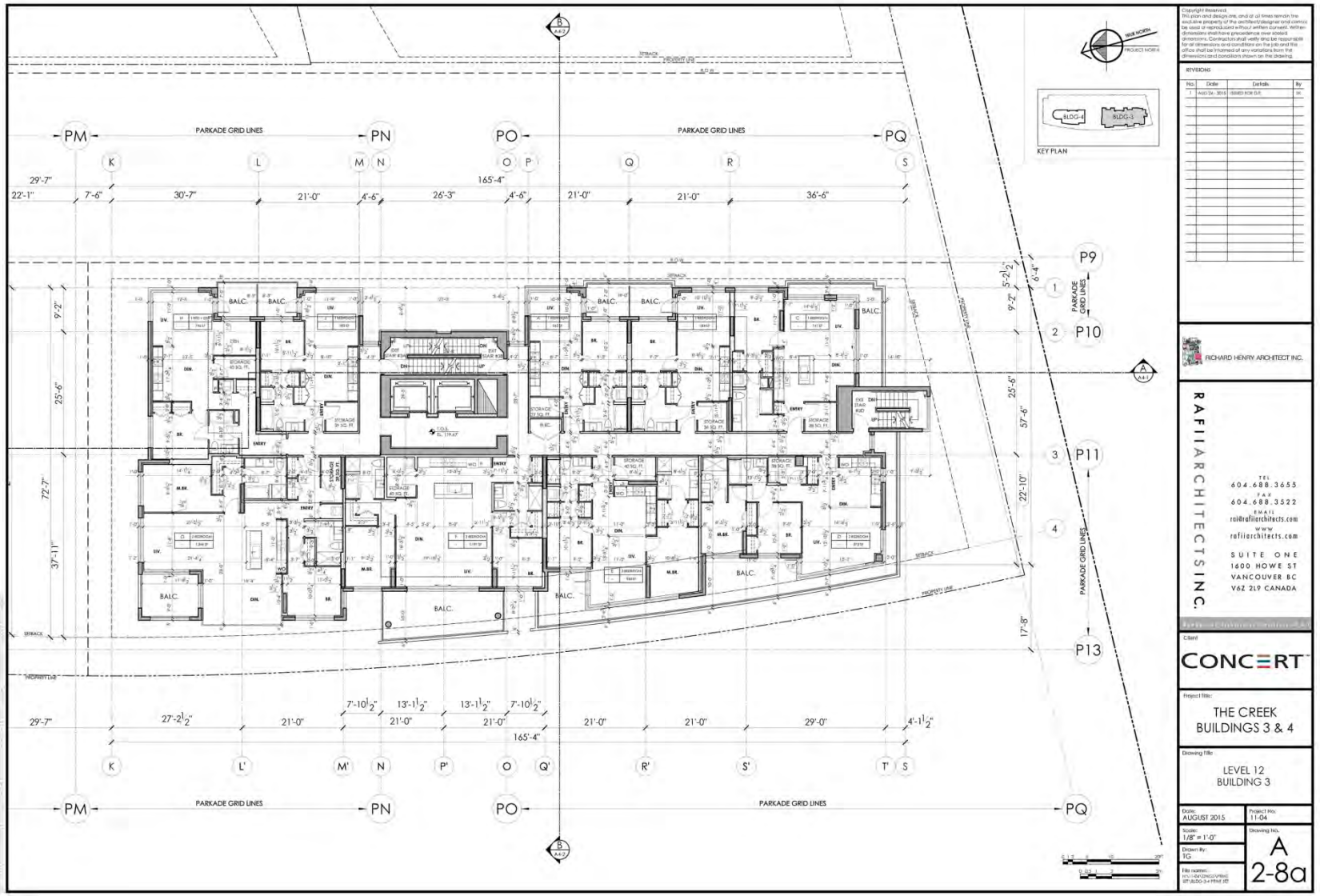
Client: CONCERT

Project title: THE CREEK BUILDINGS 3 & 4

Drawing title: LEVEL 11 BUILDING 3

Date: AUGUST 2015
Project No.: 11-04
Scale: 1/8" = 1'-0"
Drawing No.: A 2-7a
Drawn By: TG
File name:


PM
PARKADE GRID LINES
PN
PO
PARKADE GRID LINES
PQ
K
L
M
N
O
P
Q
R
S
29'-7"
22'-1"
7'-6"
30'-7"
21'-0"
4'-6"
26'-3"
4'-6"
21'-0"
21'-0"
36'-6"
165'-4"
BALC.
STORAGE
ENTRY
P9
P10
P11
P13
PARKADE GRID LINES
9'-2"
25'-6"
37'-11"
72'-7"
5'-2½"
9'-2"
6'-4"
25'-6"
57'-6"
22'-10"
17'-8"
29'-7"
27'-2½"
21'-0"
7'-10½"
13'-1½"
21'-0"
13'-1½"
21'-0"
7'-10½"
21'-0"
21'-0"
29'-0"
4'-1½"
165'-4"
K'
L'
M'
N
P'
O
Q'
R'
S'
T'
S
PM
PARKADE GRID LINES
PN
PO
PARKADE GRID LINES
PQ
KEY PLAN
BLDG-4
BLDG-3
PROJECT NORTH
REVISIONS
No.
Date
Details
By
AUG 24 - 2015
ISSUED FOR D.P.
DK
RICHARD HENRY ARCHITECT INC.
RAFII ARCHITECTS INC.
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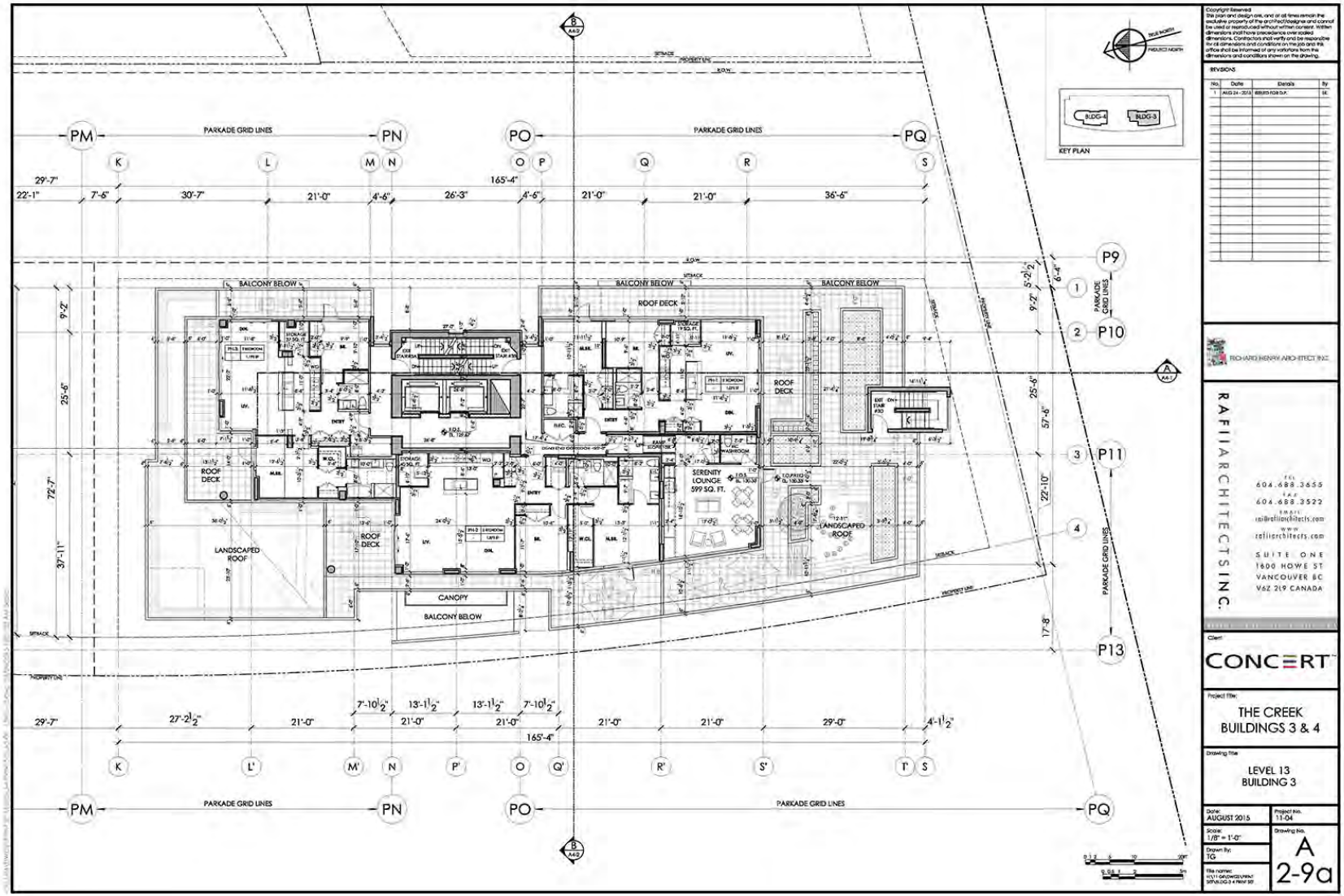
SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA
Client
CONCERT
Project Title:
THE CREEK
BUILDINGS 3 & 4
Drawing Title
LEVEL 12
BUILDING 3
Date:
AUGUST 2015
Project No:
11-04
Scale:
1/8" = 1'-0"
Drawing No.
A
2-8a
Drawn By:
TG


PARKADE GRID LINES
BALCONY BELOW
ROOF DECK
SERENITY LOUNGE 599 SQ. FT.
LANDSCAPED ROOF
CANOPY
SETBACK
PROPERTY LINE
KEY PLAN
BLDG-4
BLDG-3
REVISIONS
RICHARD HENRY ARCHITECT INC.
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SUITE ONE
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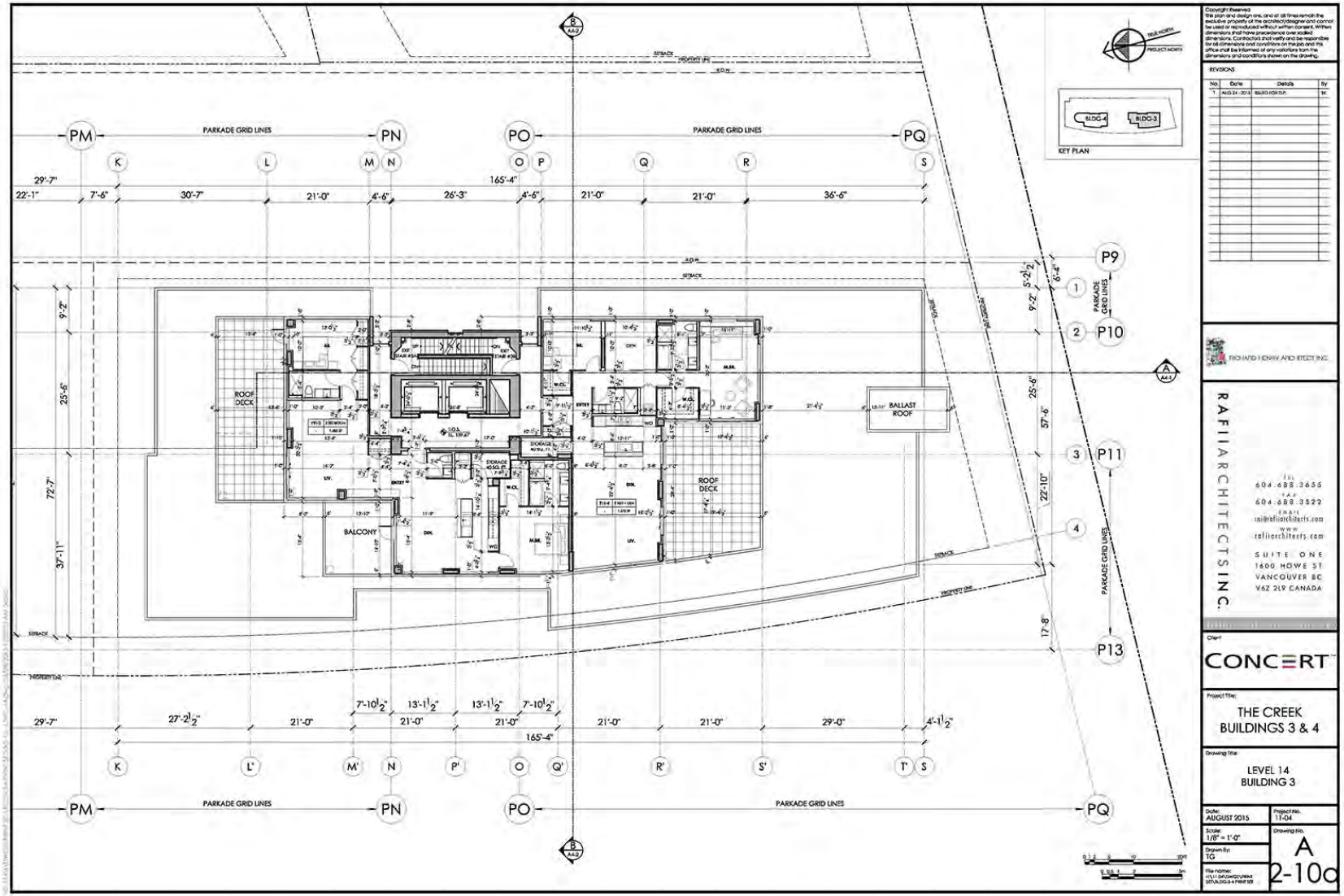
V6Z 2L9 CANADA
CONCERT
THE CREEK
BUILDINGS 3 & 4
LEVEL 13
BUILDING 3
AUGUST 2015
1/8" = 1'-0"
TG
11-04
A
2-9a


PARKADE GRID LINES
PM
PN
PO
PQ
K
L
M
N
O
P
Q
R
S
29'-7"
22'-1"
7'-6"
30'-7"
21'-0"
4'-6"
26'-3"
4'-6"
21'-0"
21'-0"
36'-6"
165'-4"
SETBACK
PROPERTY LINE
ROOF DECK
BALCONY
BALLAST ROOF
STORAGE
W.I.C.
M.BR.
DEN
DN.
UP
DOWN
P9
P10
P11
P13
1
2
3
4
9'-2"
25'-6"
37'-11"
72'-7"
5'-2"
6'-4"
57'-6"
22'-10"
17'-8"
7'-10½"
13'-1½"
27'-2½"
21'-0"
29'-0"
4'-1½"
KEY PLAN
BLDG-4
BLDG-3
TRUE NORTH
PROJECT NORTH
REVISIONS
No.
Date
Details
By
AUG 24 - 2015
ISSUED FOR D.P.
TK
RICHARD HENRY ARCHITECT INC.
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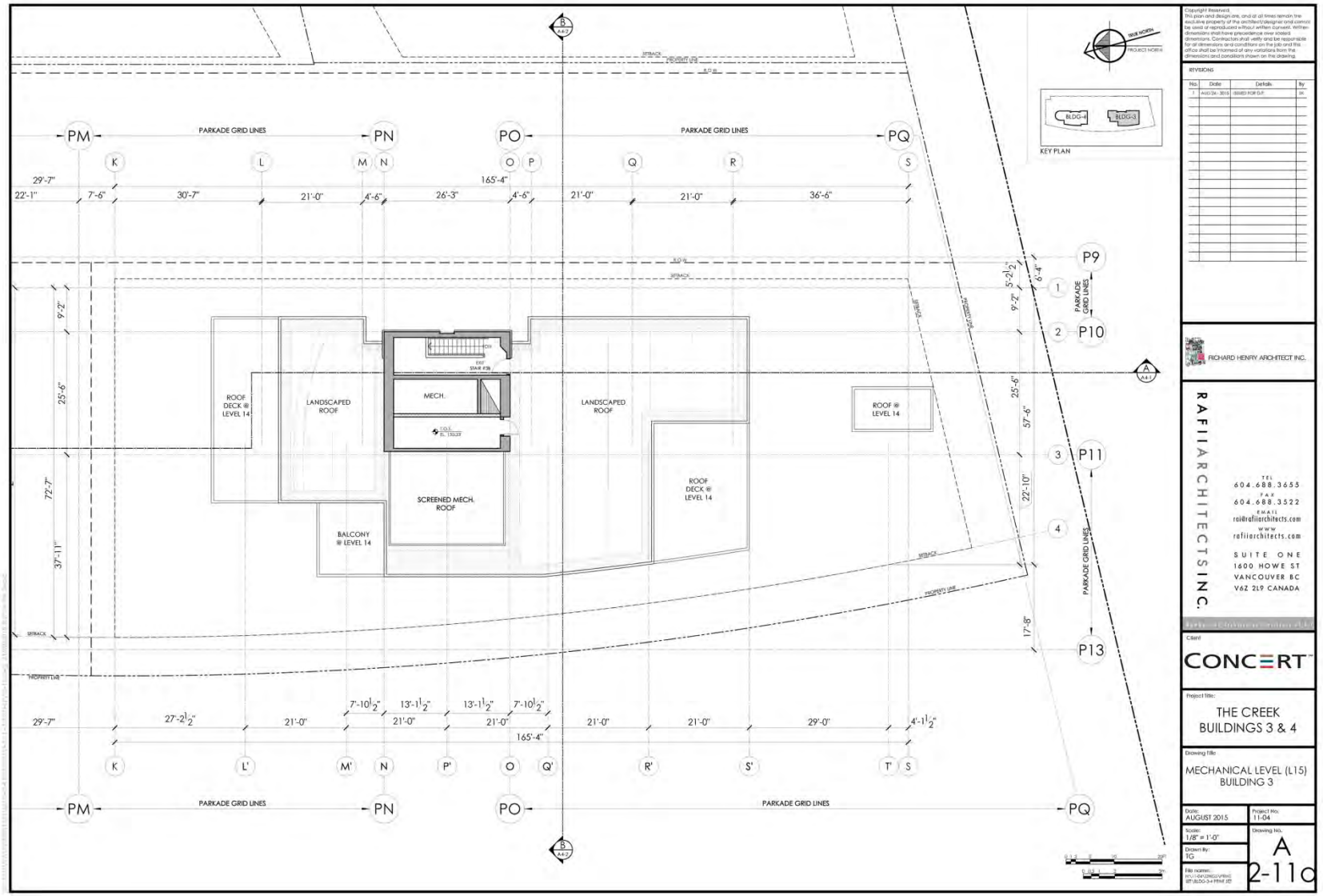
SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA
Client
CONCERT
Project Title:
THE CREEK
BUILDINGS 3 & 4
Drawing Title
LEVEL 14
BUILDING 3
Date:
AUGUST 2015
Project No.
11-04
Scale:
1/8" = 1'-0"
Drawing No.
A
2-10c
Drawn By:
TG
File name:



REVISIONS

No.	Date	Details	By
1	AUG/24 - 2015	ISSUED FOR D.P.	DK

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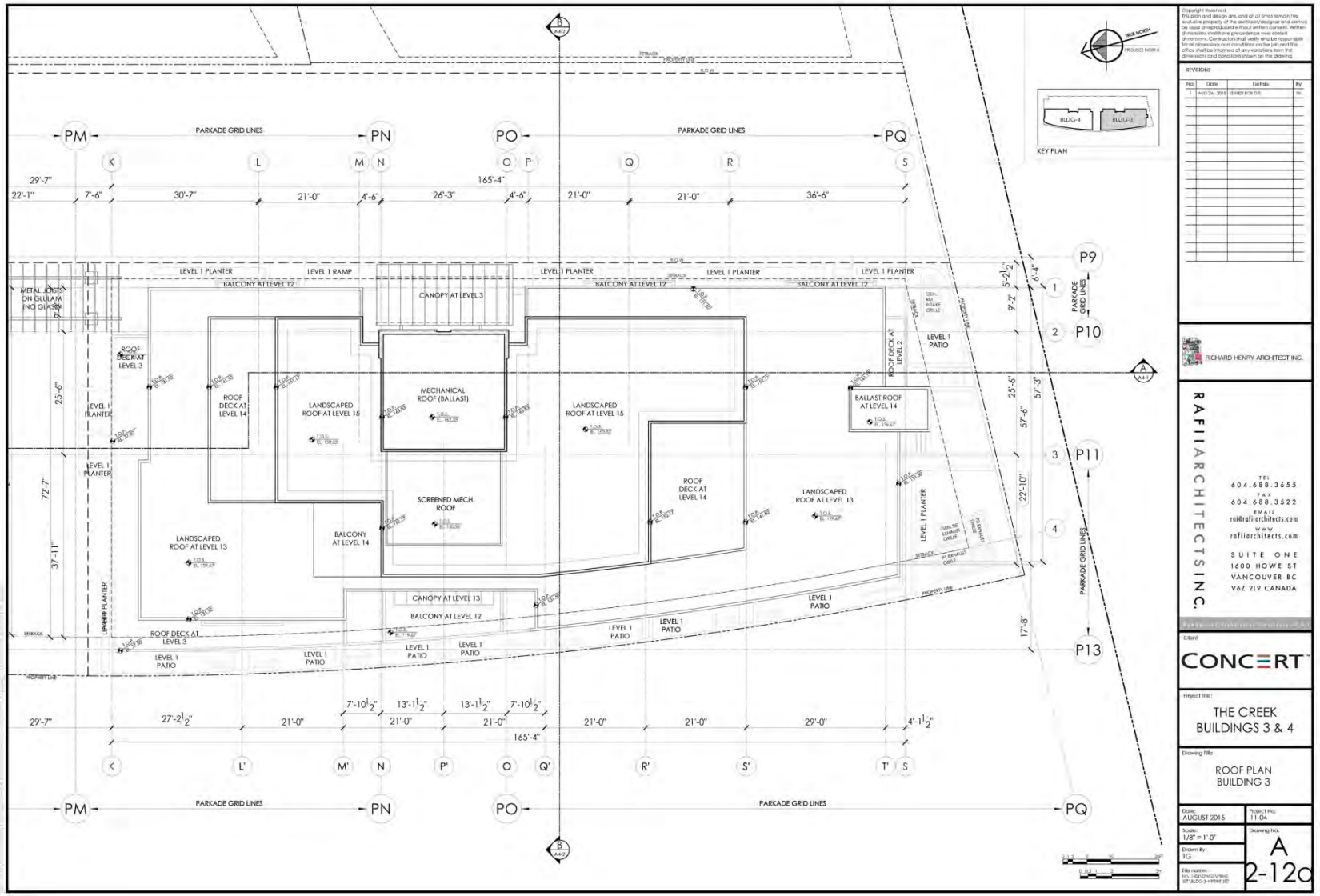
Client
CONCERT

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
MECHANICAL LEVEL (L15)
BUILDING 3

Date: AUGUST 2015	Project No: 11-04
Scale: 1/8" = 1'-0"	Drawing No. A 2-11c
Drawn By: TG	
File name:	



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No.	Date	Details	By
1	AUG 26 - 2015	ISSUED FOR D.P.	RK

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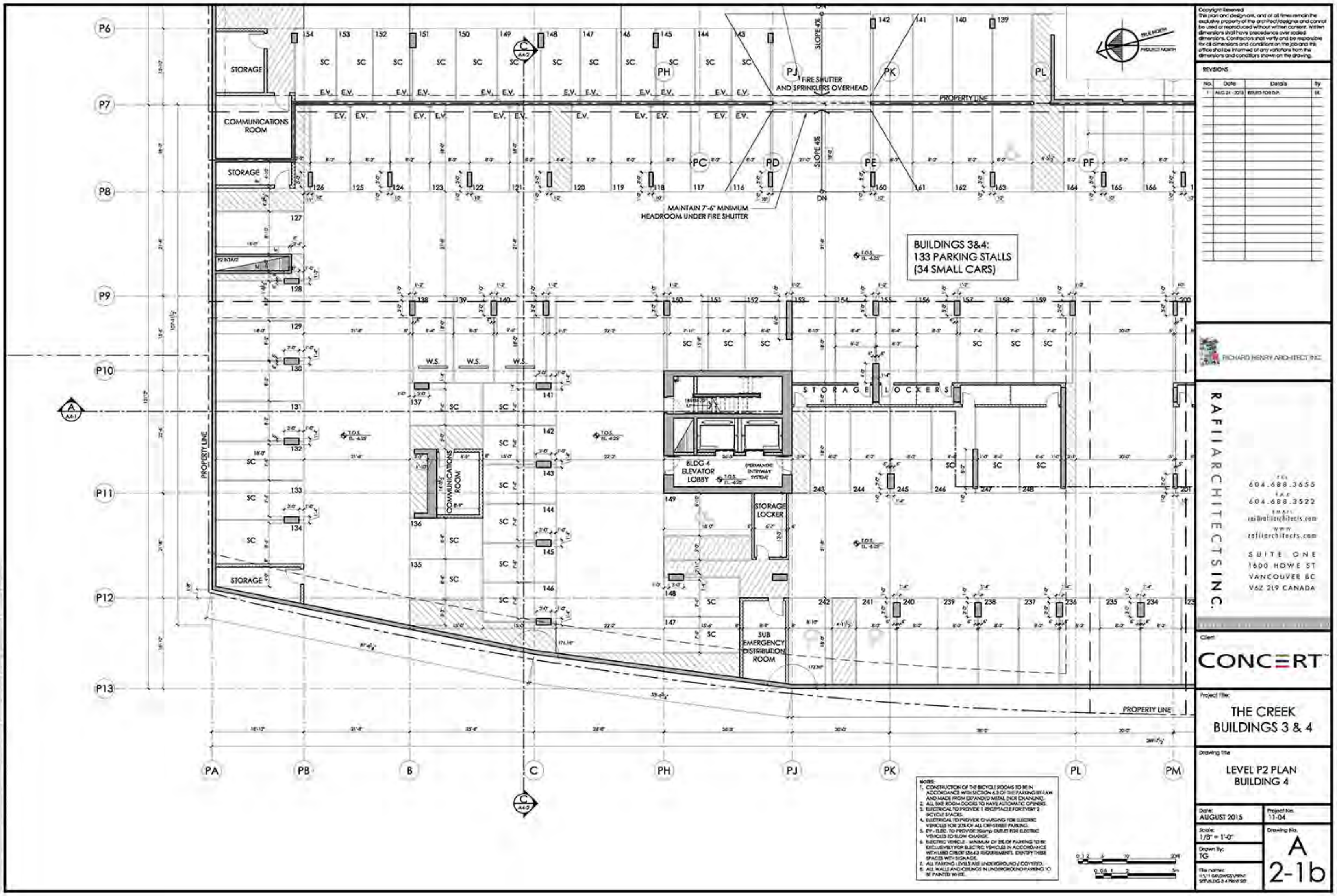
V6Z 2L9 CANADA

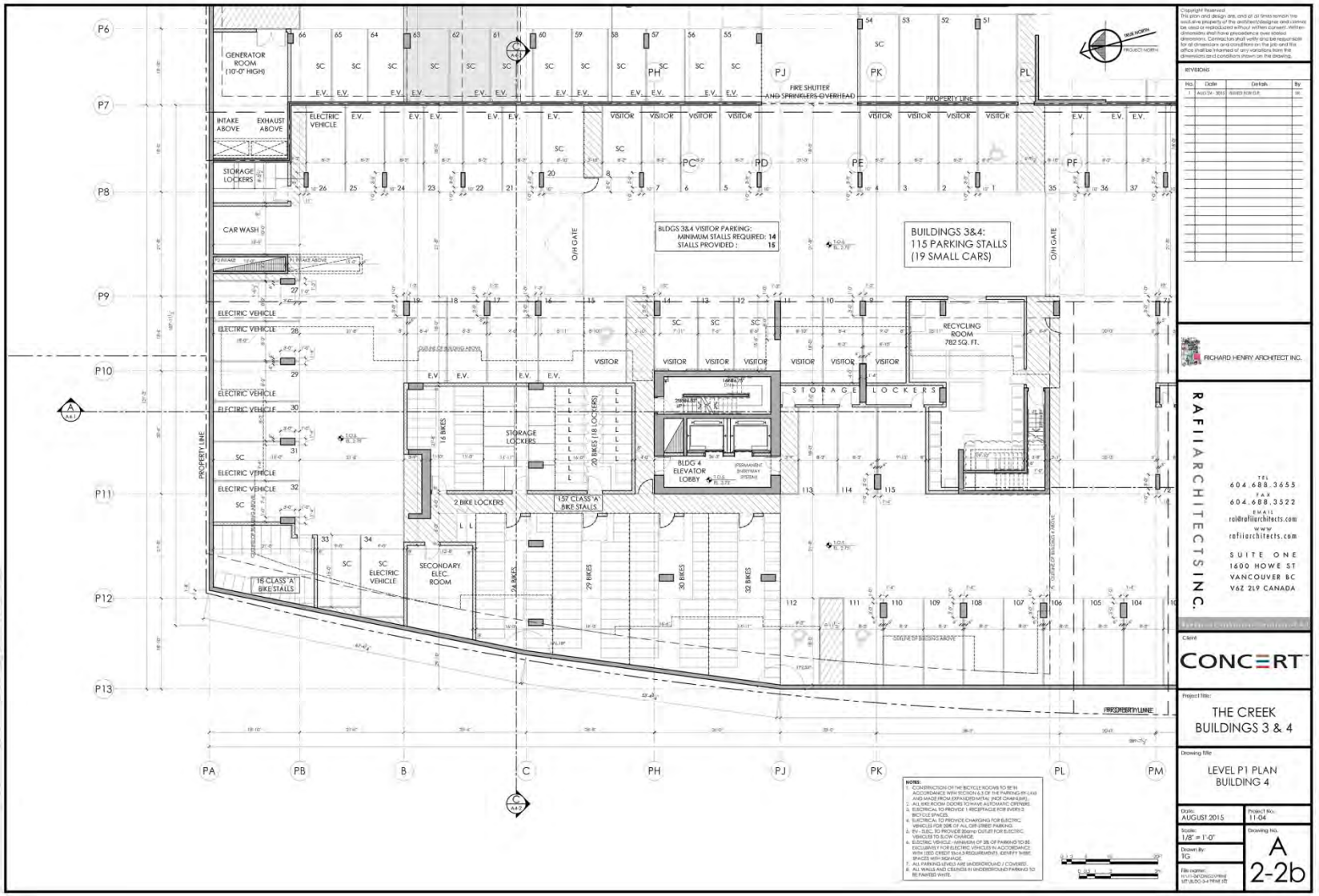
Client
CONCERT

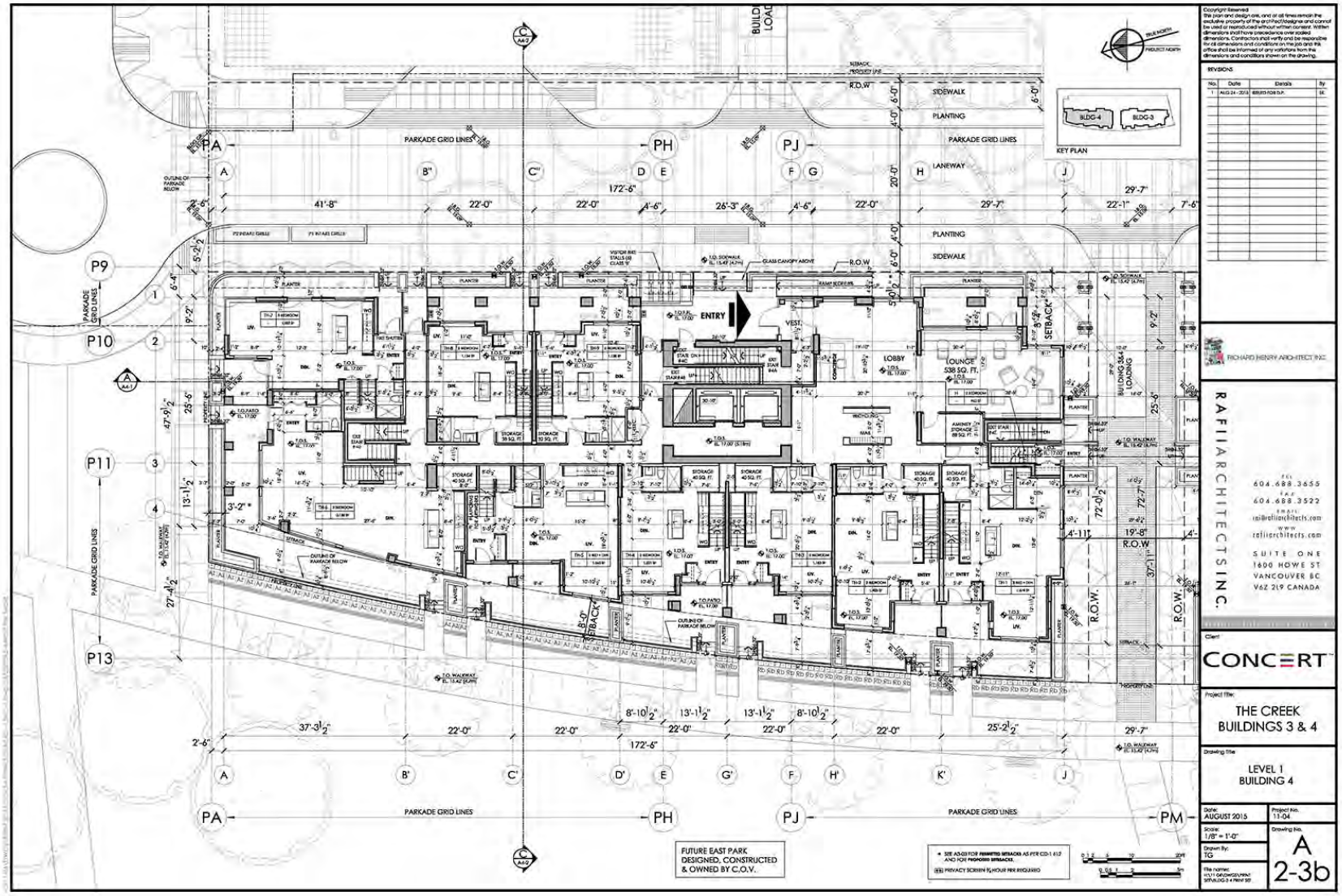
Project Title:
THE CREEK
BUILDINGS 3 & 4

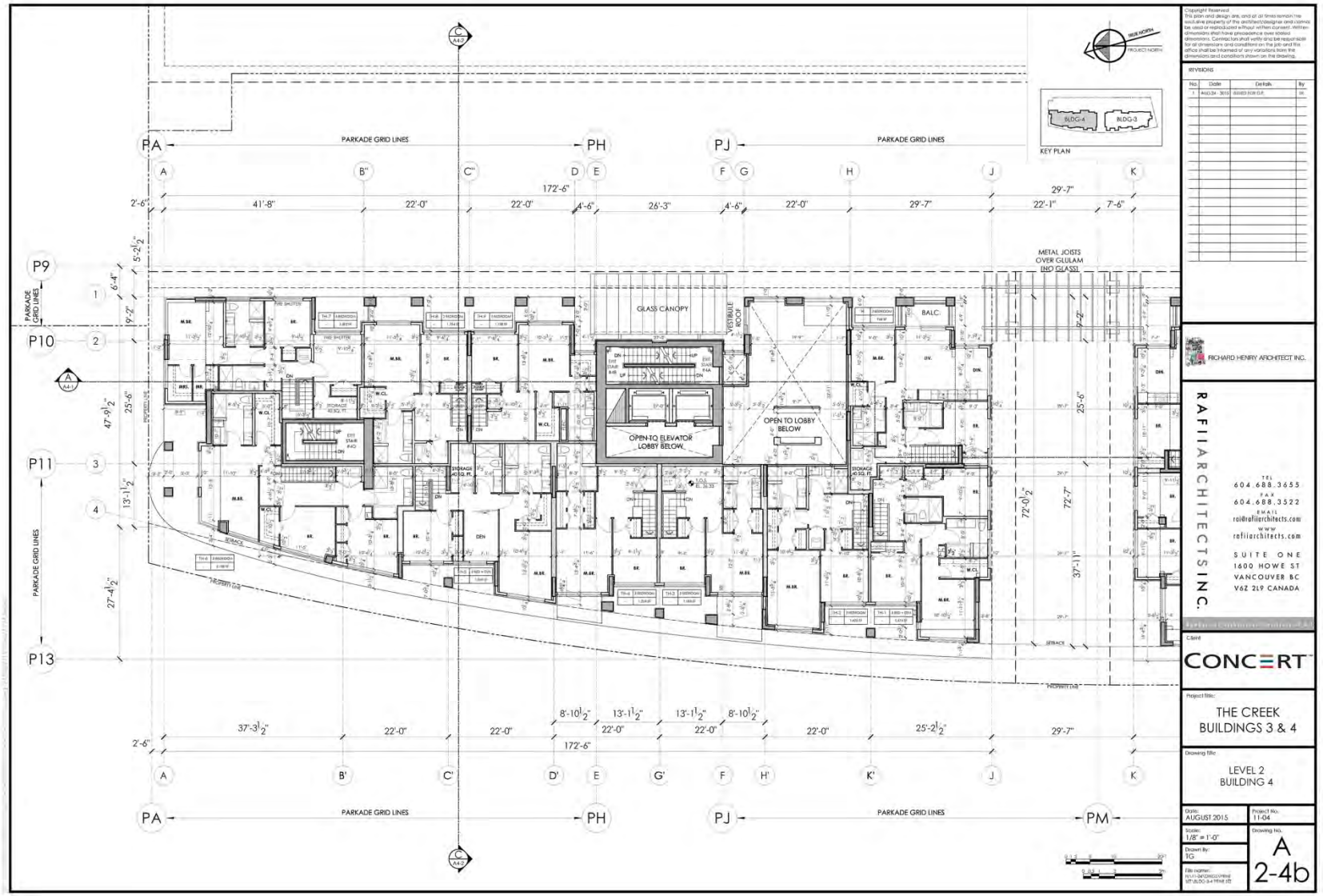
Drawing Title
ROOF PLAN
BUILDING 3

Date: AUGUST 2015
Project No: 11-04
Scale: 1/8" = 1'-0"
Drawing No. A 2-12c
Drawn By: TG
File name:


BUILDINGS 3&4:
133 PARKING STALLS
(34 SMALL CARS)
STORAGE
COMMUNICATIONS ROOM
FIRE SHUTTER AND SPRINKLERS OVERHEAD
MAINTAIN 7'-6" MINIMUM HEADROOM UNDER FIRE SHUTTER
PROPERTY LINE
STORAGE LOCKERS
BLDG 4 ELEVATOR LOBBY
STORAGE LOCKER
SUB EMERGENCY DISTRIBUTION ROOM
RICHARD HENRY ARCHITECT INC.
RAFIIARCHITECTSINC.
604.688.3655
604.688.3522
rafiiarchitects.com
SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA
CONCERT
THE CREEK
BUILDINGS 3 & 4
LEVEL P2 PLAN
BUILDING 4
AUGUST 2015
11-04
1/8" = 1'-0"
TG
A
2-1b


BUILDINGS 3&4:
115 PARKING STALLS
(19 SMALL CARS)
BLDGS 3&4 VISITOR PARKING:
MINIMUM STALLS REQUIRED: 14
STALLS PROVIDED : 15
GENERATOR ROOM (10'-0" HIGH)
CAR WASH
STORAGE LOCKERS
ELECTRIC VEHICLE
INTAKE ABOVE
EXHAUST ABOVE
O/H GATE
RECYCLING ROOM 782 SQ. FT.
STORAGE LOCKERS
BLDG 4 ELEVATOR LOBBY
2 BIKE LOCKERS
157 CLASS 'A' BIKE STALLS
18 CLASS 'A' BIKE STALLS
SECONDARY ELEC. ROOM
FIRE SHUTTER AND SPRINKLERS OVERHEAD
PROPERTY LINE
RICHARD HENRY ARCHITECT INC.
RAFII ARCHITECTS INC.
CONCERT
THE CREEK
BUILDINGS 3 & 4
LEVEL P1 PLAN
BUILDING 4
AUGUST 2015
1/8" = 1'-0"
A
2-2b


PARKADE GRID LINES
PA
PH
PJ
PM
P9
P10
P11
P13
ENTRY
LOBBY
LOUNGE 538 SQ. FT.
SETBACK
R.O.W
SIDEWALK
PLANTING
LANEWAY
KEY PLAN
BLDG-4
BLDG-3
FUTURE EAST PARK DESIGNED, CONSTRUCTED & OWNED BY C.O.V.
RICHARD HENRY ARCHITECT INC.
RAFII ARCHITECTS INC.
604.688.3655
604.688.3522
SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA
CONCERT
THE CREEK
BUILDINGS 3 & 4
LEVEL 1
BUILDING 4
AUGUST 2015
1/8" = 1'-0"
TG
A
2-3b


PARKADE GRID LINES
PA
PH
PJ
PM
KEY PLAN
BLDG-4
BLDG-3
METAL JOISTS OVER GLULAM (NO GLASS)
GLASS CANOPY
VESTIBULE ABOVE
BALC.
OPEN TO ELEVATOR LOBBY BELOW
OPEN TO LOBBY BELOW
STORAGE 40 SQ. FT.
SETBACK
PROPERTY LINE
HIGHWAY 1/10
172'-6"
41'-8"
22'-0"
26'-3"
29'-7"
22'-1"
7'-6"
37'-3½"
25'-2½"
72'-0½"
37'-11"
RICHARD HENRY ARCHITECT INC.
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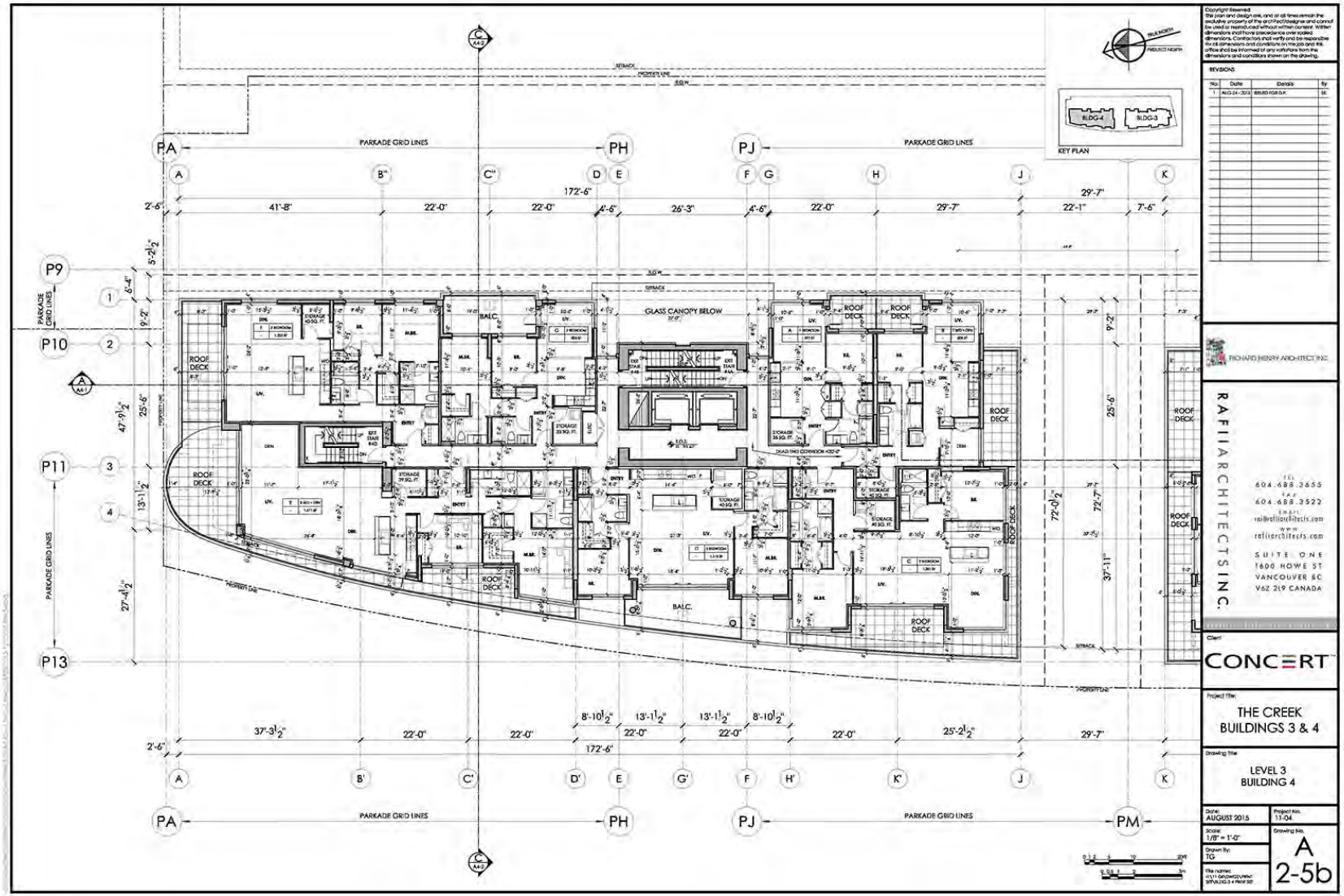
SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA
CONCERT
THE CREEK
BUILDINGS 3 & 4
LEVEL 2
BUILDING 4
AUGUST 2015
11-04
1/8" = 1'-0"
TG
A
2-4b


PARKADE GRID LINES
PA
PH
PJ
PM
P9
P10
P11
P13
KEY PLAN
BLDG-4
BLDG-3
GLASS CANOPY BELOW
ROOF DECK
BALC.
RICHARD HENRY ARCHITECT INC.
RAFII ARCHITECTS INC.
604.688.3655
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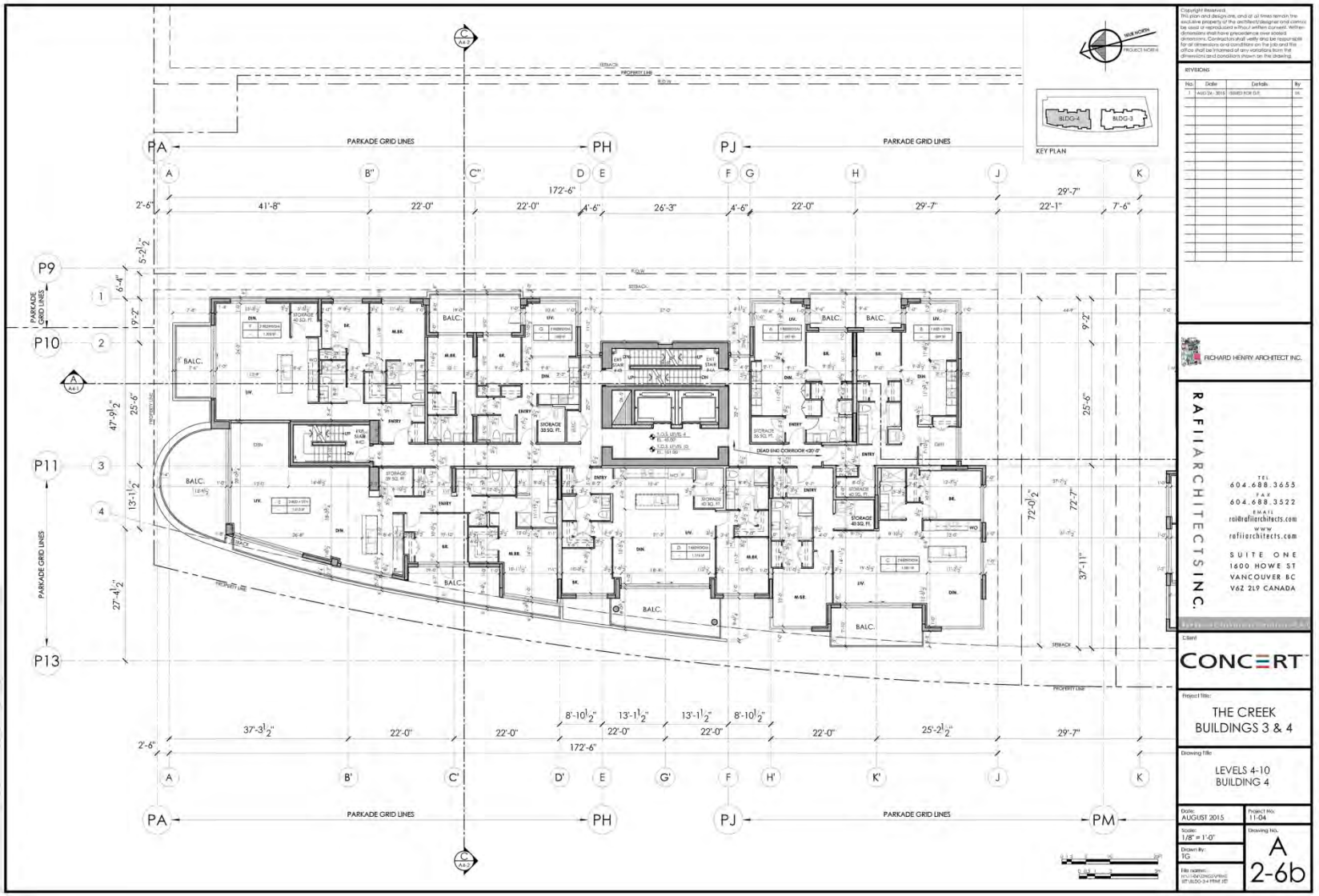
SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA
CONCERT
THE CREEK
BUILDINGS 3 & 4
LEVEL 3
BUILDING 4
AUGUST 2015
1/8" = 1'-0"
TG
A
2-5b


PARKADE GRID LINES
PA
PH
PJ
PM
P9
P10
P11
P13
KEY PLAN
BLDG-4
BLDG-3
RICHARD HENRY ARCHITECT INC.
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SUITE ONE
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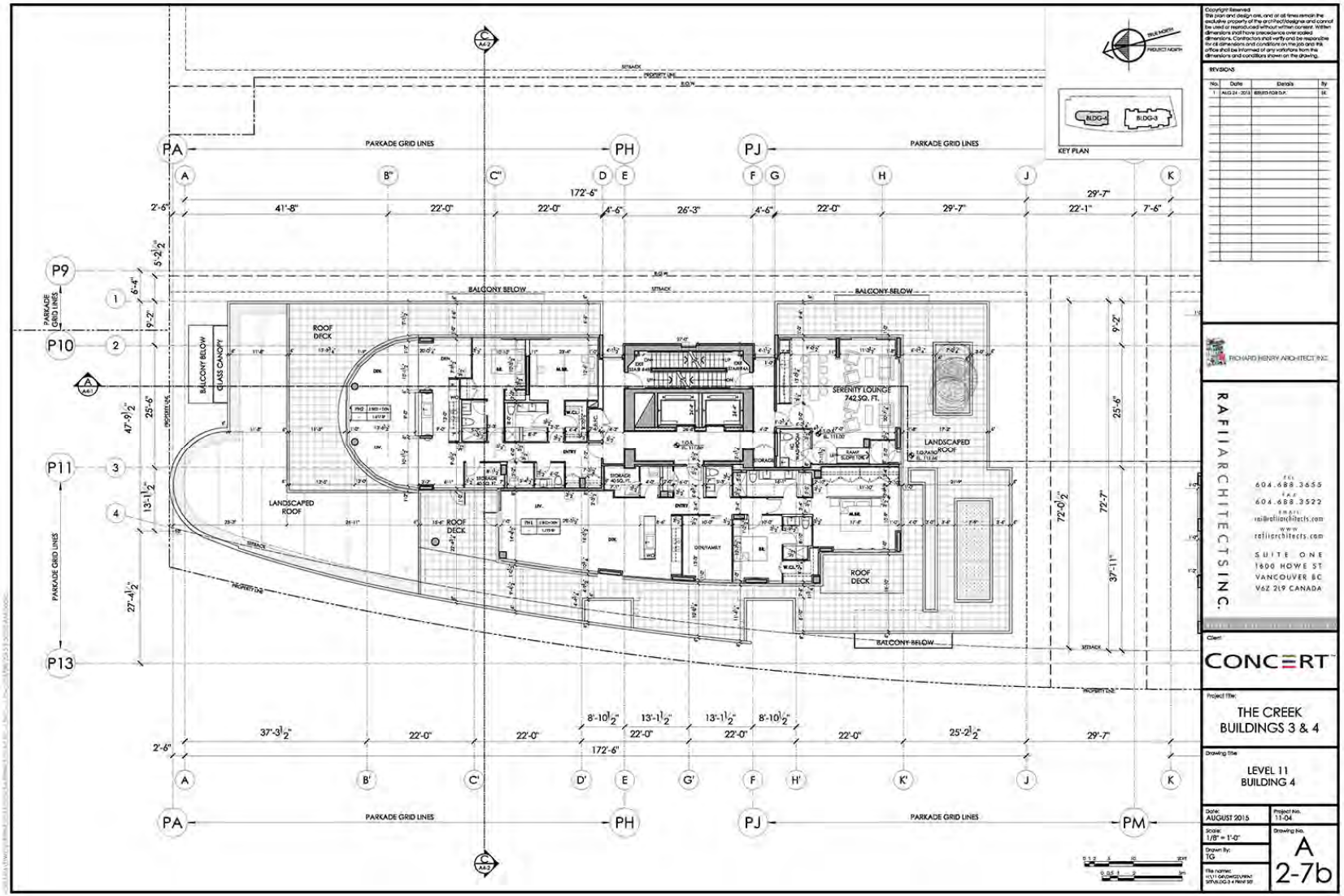
VANCOUVER BC
V6Z 2L9 CANADA
CONCERT
THE CREEK
BUILDINGS 3 & 4
LEVELS 4-10
BUILDING 4
AUGUST 2015
1/8" = 1'-0"
TG
A
2-6b


PARKADE GRID LINES
PA
PH
PJ
PM
P9
P10
P11
P13
BALCONY BELOW
GLASS CANOPY
ROOF DECK
LANDSCAPED ROOF
SERENITY LOUNGE 742 SQ. FT.
STORAGE 40 SQ. FT.
KEY PLAN
BLDG-4
BLDG-3
RICHARD HENRY ARCHITECT INC.
RAFII ARCHITECTS INC.
604.688.3655
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rai@rafiiarchitects.com
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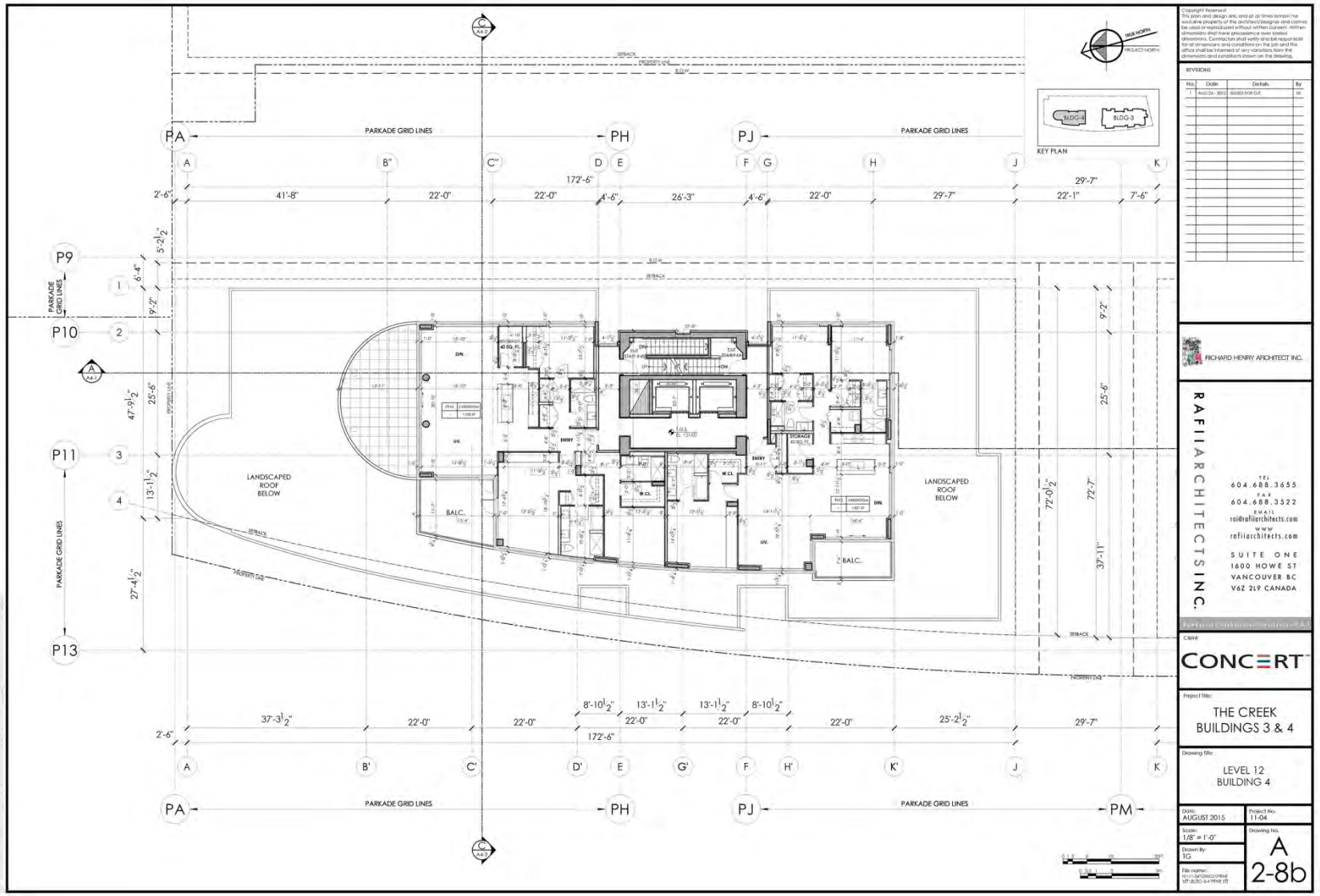
SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA
CONCERT
THE CREEK
BUILDINGS 3 & 4
LEVEL 11
BUILDING 4
AUGUST 2015
1/8" = 1'-0"
TG
11-04
A
2-7b


PARKADE GRID LINES
PA
PH
PJ
PM
P9
P10
P11
P13
LANDSCAPED ROOF BELOW
BALC.
KEY PLAN
BLDG-4
BLDG-3
PROJECT NORTH
RICHARD HENRY ARCHITECT INC.
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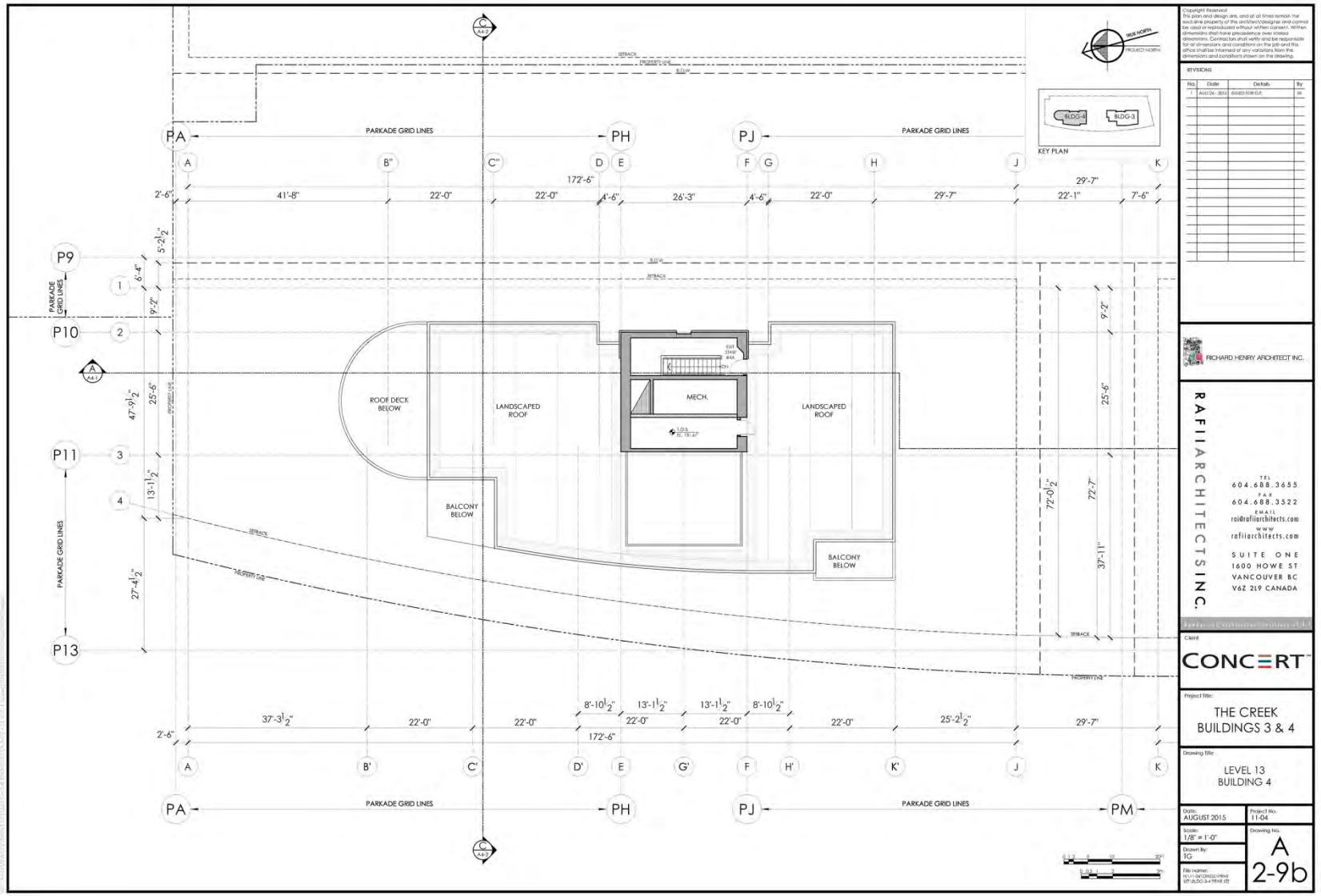
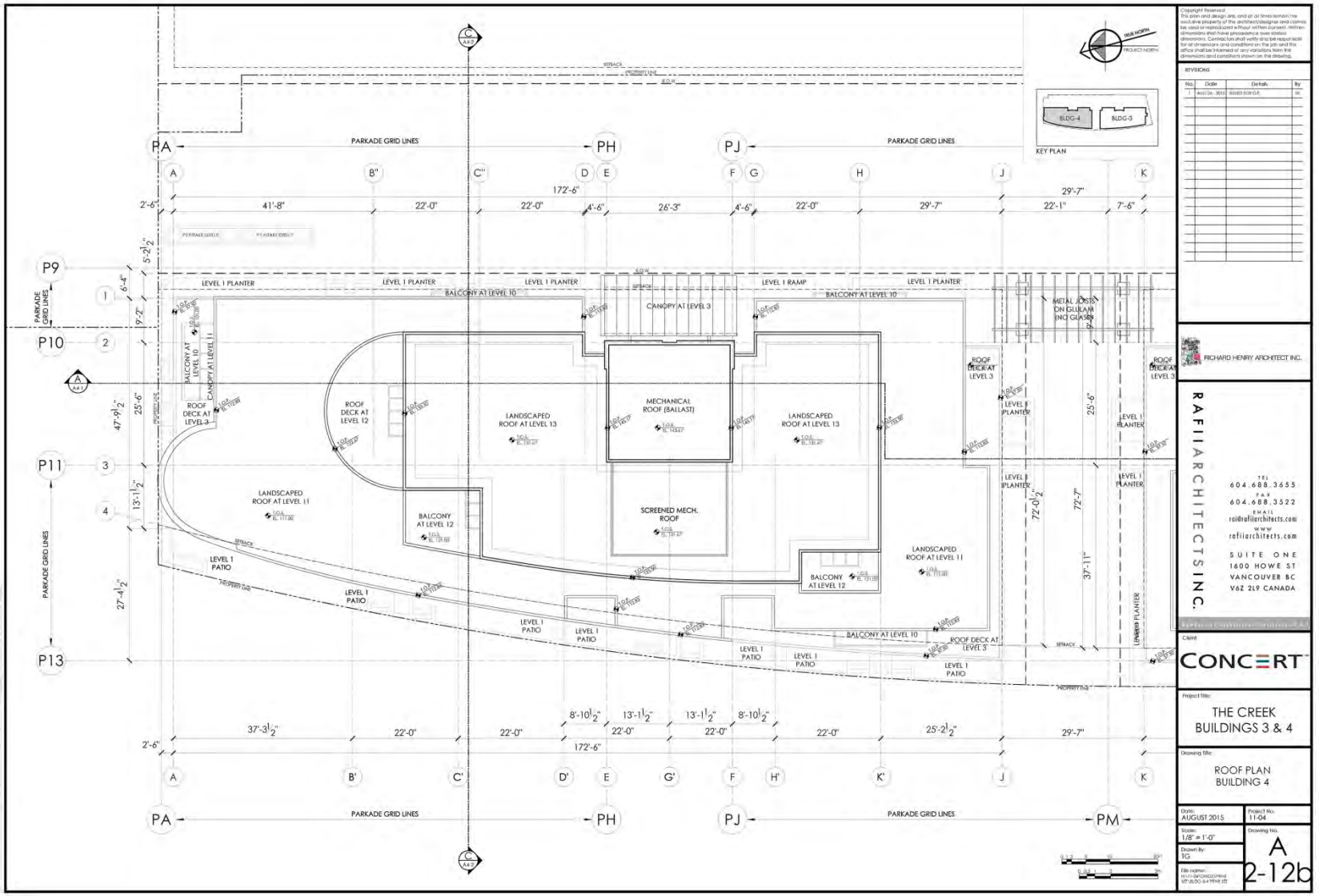
www.rafiiarchitects.com
SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA
CONCERT
THE CREEK
BUILDINGS 3 & 4
LEVEL 12
BUILDING 4
AUGUST 2015
1/8" = 1'-0"
IG
A
2-8b


PARKADE GRID LINES
PA
PH
PJ
PM
P9
P10
P11
P13
ROOF DECK BELOW
LANDSCAPED ROOF
MECH.
BALCONY BELOW
KEY PLAN
BLDG-4
BLDG-3
RICHARD HENRY ARCHITECT INC.
RAFII ARCHITECTS INC.
CONCERT
THE CREEK BUILDINGS 3 & 4
LEVEL 13 BUILDING 4
AUGUST 2015
1/8" = 1'-0"
A 2-9b



RICHARD HENRY ARCHITECT INC.

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SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA

Client: CONCERT

Project title: THE CREEK BUILDINGS 3 & 4

Drawing title: ROOF PLAN BUILDING 4

Date: AUGUST 2015
Project No.: 11-04
Scale: 1/8" = 1'-0"
Drawing No.: A 2-12b
Drawn By: TG

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	EK

RICHARD HENRY ARCHITECT INC.

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SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA

Client
CONCERT

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
WEST ELEVATION
OVERALL

Date: AUGUST 2015
Project No. 11-04
Scale: 1/16" = 1'-0"
Drawing No. A 3-1
Drawn By: FMA
File name:


MATERIAL SCHEDULE
BUILDING 4
NORTH ELEVATION
BUILDING 4
SOUTH ELEVATION
BUILDING 3
NORTH ELEVATION
BUILDING 3
SOUTH ELEVATION
REVISIONS
RICHARD HENRY ARCHITECT INC.
RAFII ARCHITECTS INC.
SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA
CONCERT
THE CREEK
BUILDINGS 3 & 4
SOUTH & NORTH
ELEVATIONS OVERALL
AUGUST 2015
1:104
FMA
A
3-2

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	EK

RICHARD HENRY ARCHITECT INC.

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SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA

Client: CONCERT

Project Title: THE CREEK BUILDINGS 3 & 4

Drawing Title: EAST ELEVATION OVERALL

Date: AUGUST 2015
Project No.: 11-04
Scale: 1/16" = 1'-0"
Drawing No.: A 3-3
Drawn By: FMA
File name:


MATERIAL SCHEDULE
RICHARD HENRY ARCHITECT INC.
RAFII ARCHITECTS INC.
604.688.3655
604.688.3522
SUITE ONE
1600 HOWE ST
VANCOUVER BC
V6Z 2L9 CANADA
CONCERT
THE CREEK
BUILDINGS 3 & 4
WEST ELEVATION
BUILDING 3
AUGUST 2015
1/8" = 1'-0"
FMA
A
3-1a


BUILDING 3
NORTH ELEVATION
BUILDING 3
SOUTH ELEVATION
MATERIAL SCHEDULE
RICHARD HENRY ARCHITECT INC.
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V6Z 2L9 CANADA
CONCERT
THE CREEK
BUILDINGS 3 & 4
SOUTH & NORTH
ELVATIONS BUILDING 3
AUGUST 2015
1/8" = 1'-0"
FMA
11-04
A
3-2a

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	SK

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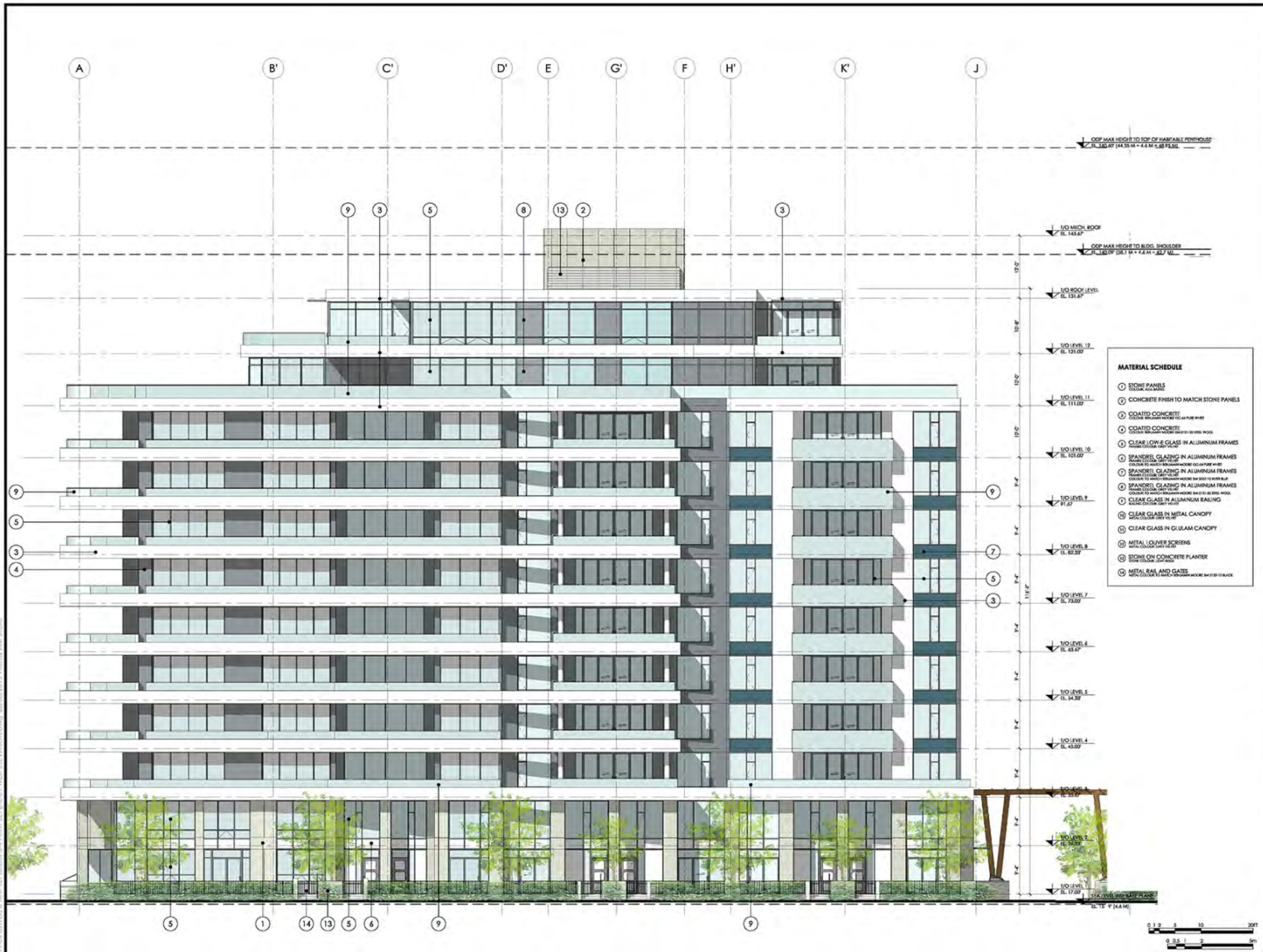
VANCOUVER BC
V6Z 2L9 CANADA

Client: CONCERT

Project Title: THE CREEK BUILDINGS 3 & 4

Drawing Title: EAST ELEVATION BUILDING 3

Date: AUGUST 2015
Project No. 11-04
Scale: 1/8" = 1'-0"
Drawn By: FMA
Drawing No. A 3-3a



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No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	SK

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Client
CONCERT

Project Title:
THE CREEK
BUILDINGS 3 & 4

Drawing Title
WEST ELEVATION
BUILDING 4

Date: AUGUST 2015
Project No. 11-04
Scale: 1/8" = 1'-0"
Drawing No. A 3-1b
Drawn By: FMA
File name: H:\11-04\DWGS\PRINT SET\BLDG-3-4 PRINT SET


BUILDING 4
NORTH ELEVATION
BUILDING 4
SOUTH ELEVATION
MATERIAL SCHEDULE
RICHARD HENRY ARCHITECT INC.
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604.688.3322
SUITE ONE
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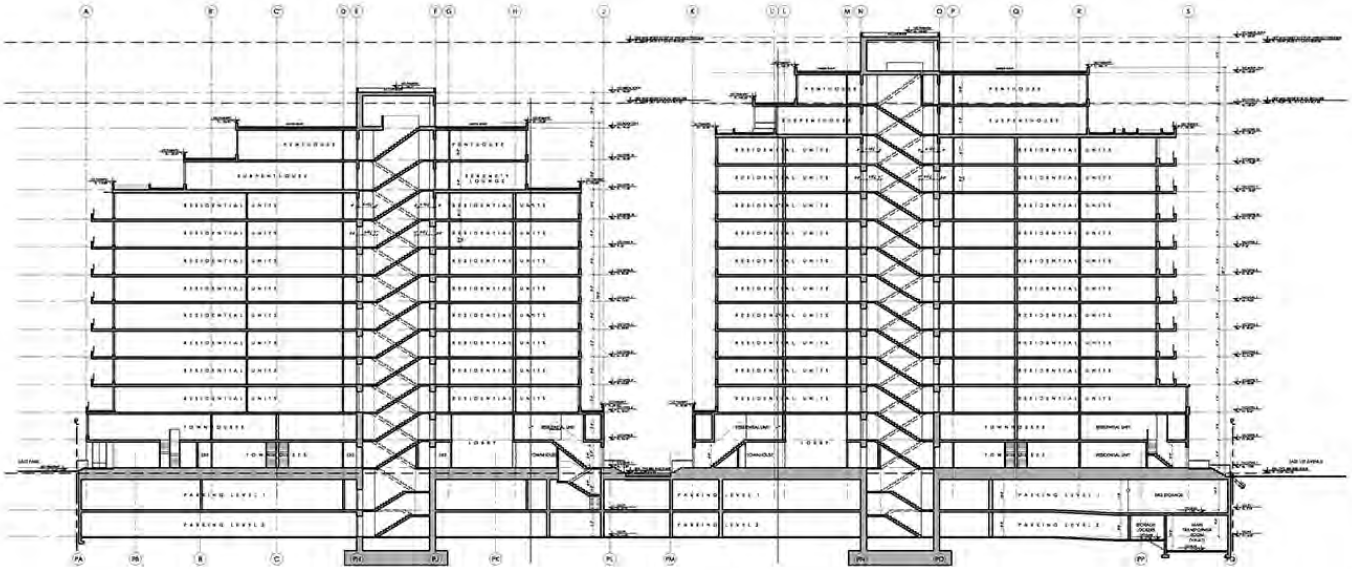
VANCOUVER BC
V6Z 2L9 CANADA
CONCERT
THE CREEK
BUILDINGS 3 & 4
SOUTH & NORTH
ELEVATIONS BUILDING 4
AUGUST 2015
11-04
1/8" = 1'-0"
FMA
A
3-2b


MATERIAL SCHEDULE
RAFII ARCHITECTS INC.
CONCERT
THE CREEK
BUILDINGS 3 & 4
EAST ELEVATION
BUILDING 4
AUGUST 2015
1/8" = 1'-0"
FMA
A
3-3b



BUILDING 4

BUILDING 3

REVISIONS

No.	Date	Details	By
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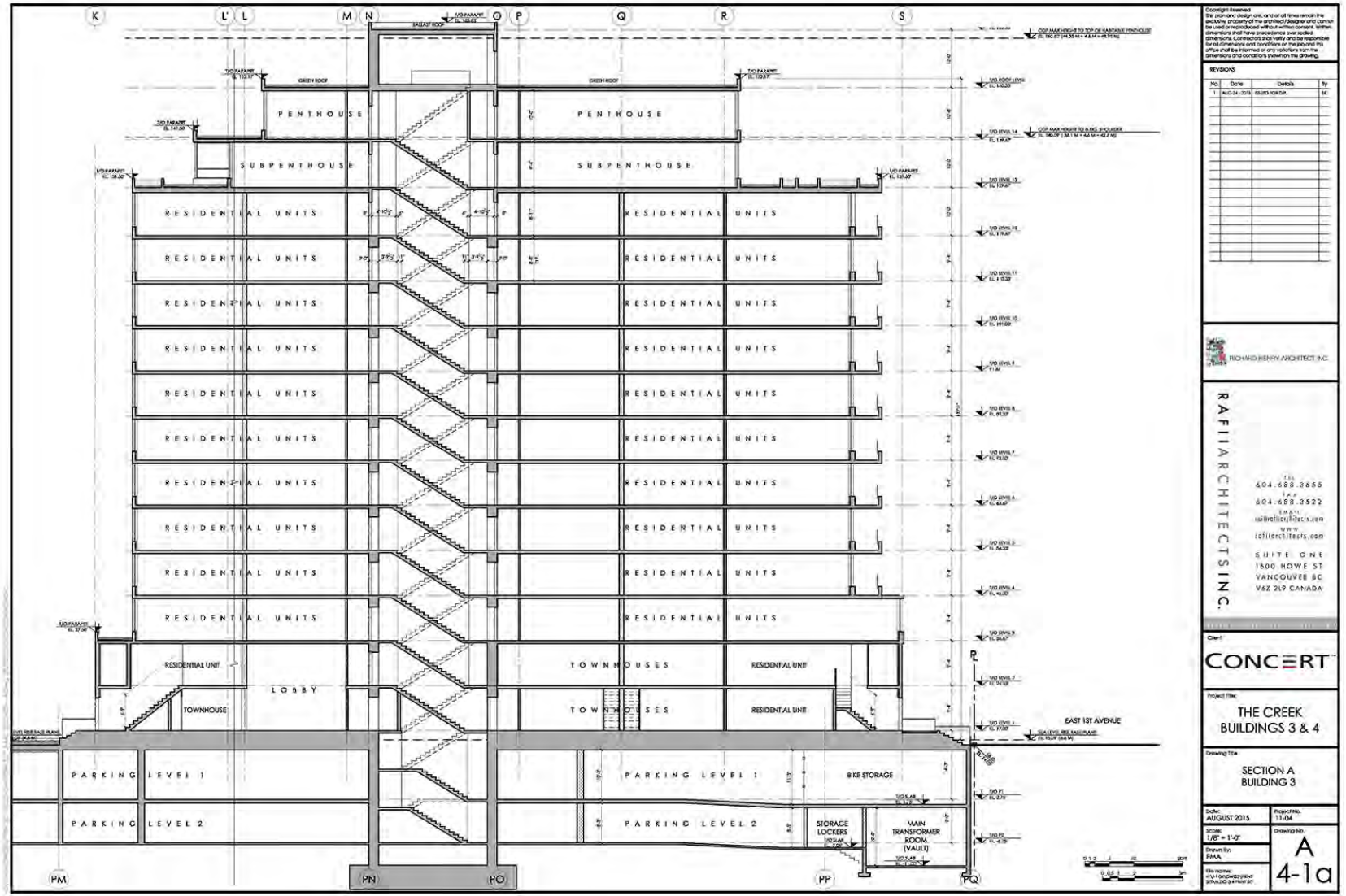
V6Z 2L9 CANADA

Client
CONCERT

Project Title
THE CREEK
BUILDINGS 3 & 4

Drawing Title
SECTION A
OVERALL

Date: AUGUST 2015
Project No.: 13-04
Scale: 1/16" = 1'-0"
Drawing No.: A 4-1
Drawn By: FMA
File name:



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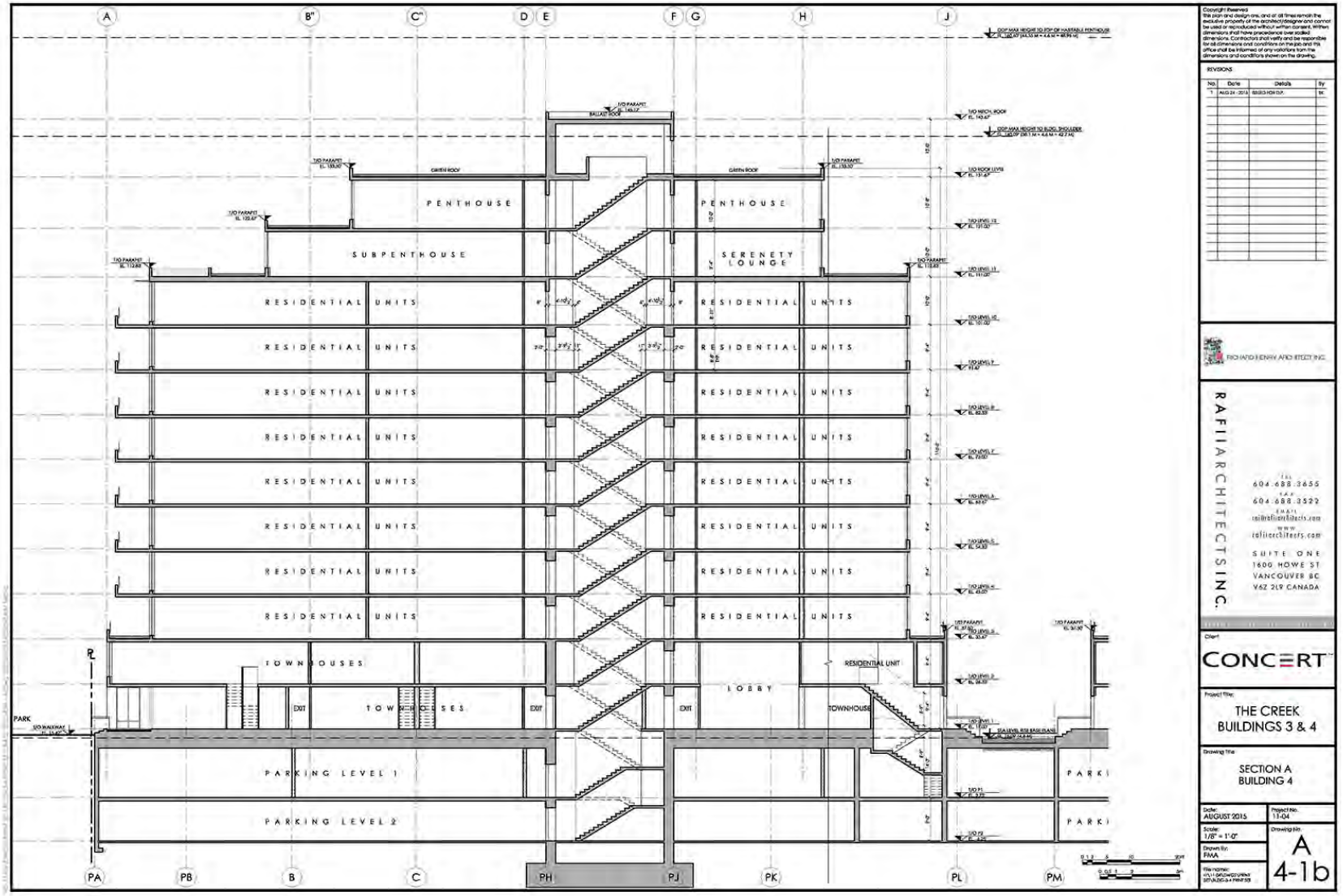
CONCERT

THE CREEK
BUILDINGS 3 & 4

SECTION A
BUILDING 3

AUGUST 2015
1/8" = 1'-0"
FMA
11-04
A
4-1a


A
B"
C"
D E
F G
H
J
PENTHOUSE
PENTHOUSE
SUBPENTHOUSE
SERENITY LOUNGE
RESIDENTIAL UNITS
TOWNHOUSES
LOBBY
RESIDENTIAL UNIT
TOWNHOUSE
EXIT
PARK
PARKING LEVEL 1
PARKING LEVEL 2
PA
PB
B
C
PH
PJ
PK
PL
PM
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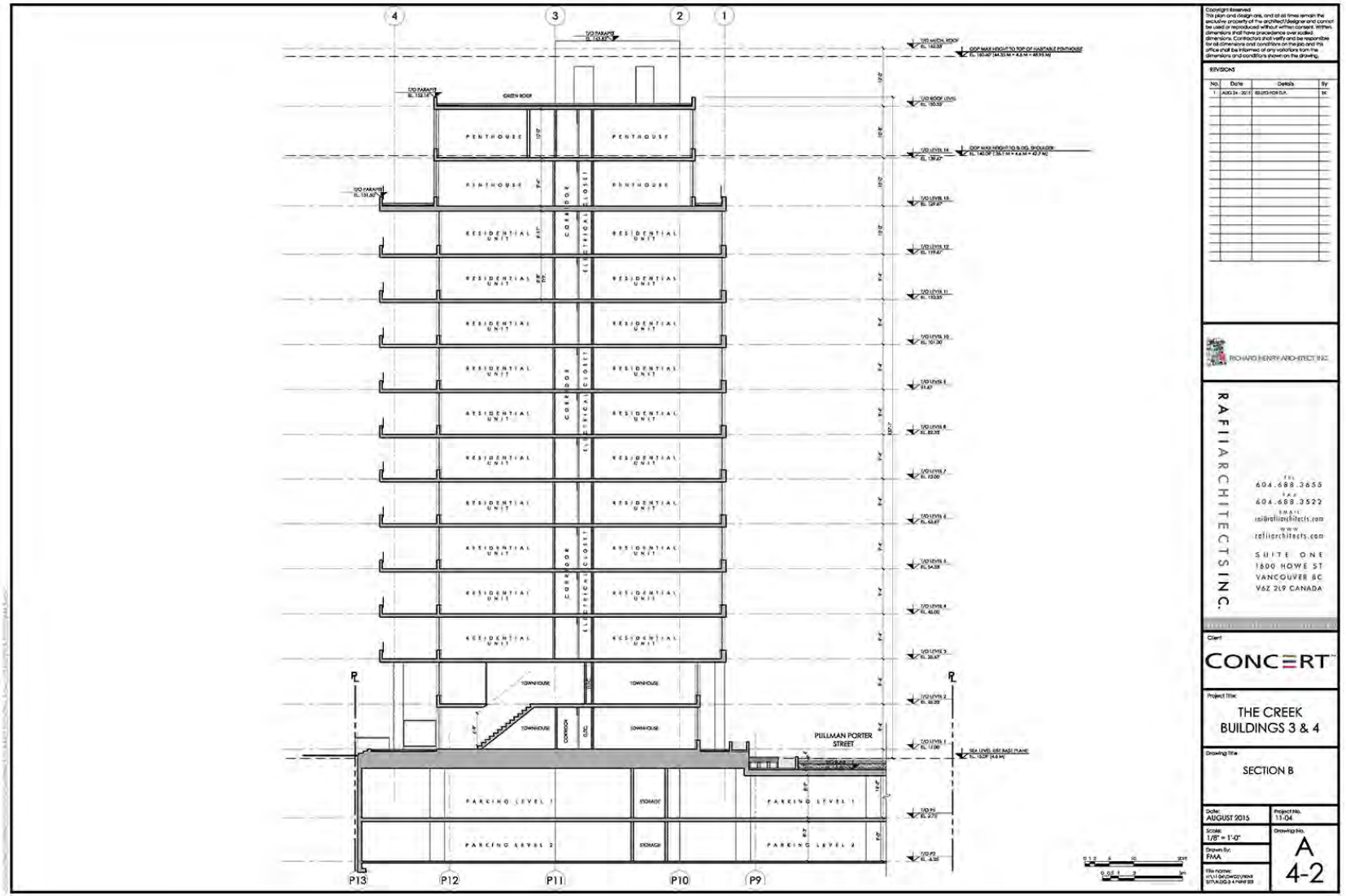
CONCERT
THE CREEK
BUILDINGS 3 & 4
SECTION A
BUILDING 4
AUGUST 2015
11-04
1/8" = 1'-0"
FMA
A
4-1b



REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	RK

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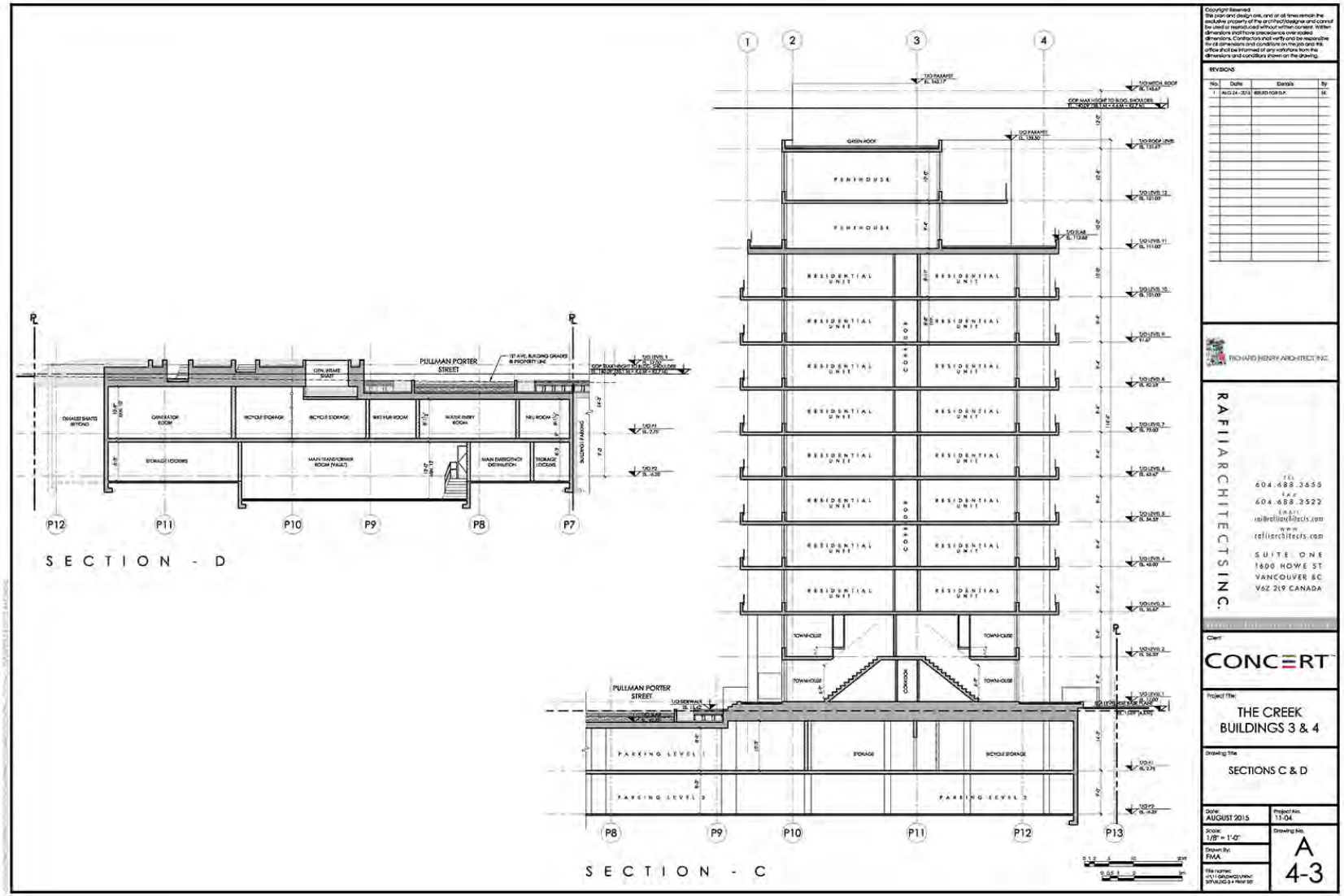
Client
CONCERT

Project Title
THE CREEK
BUILDINGS 3 & 4

Drawing Title
SECTION B

Date: AUGUST 2015
Project No. 13-04
Scale: 1/8" = 1'-0"
Drawing No. A 4-2
Drawn By: FMA
File name:



REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR D.P.	EK

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Client: CONCERT

Project Title: THE CREEK BUILDINGS 3 & 4

Drawing Title: SECTIONS C & D

Date: AUGUST 2015
Project No.: 13-04
Scale: 1/8" = 1'-0"
Drawing No.: A 4-3
Drawn By: FMA
File name:

REVISIONS

No.	Date	Details	By
1	AUG 24 - 2015	ISSUED FOR DP	ROC

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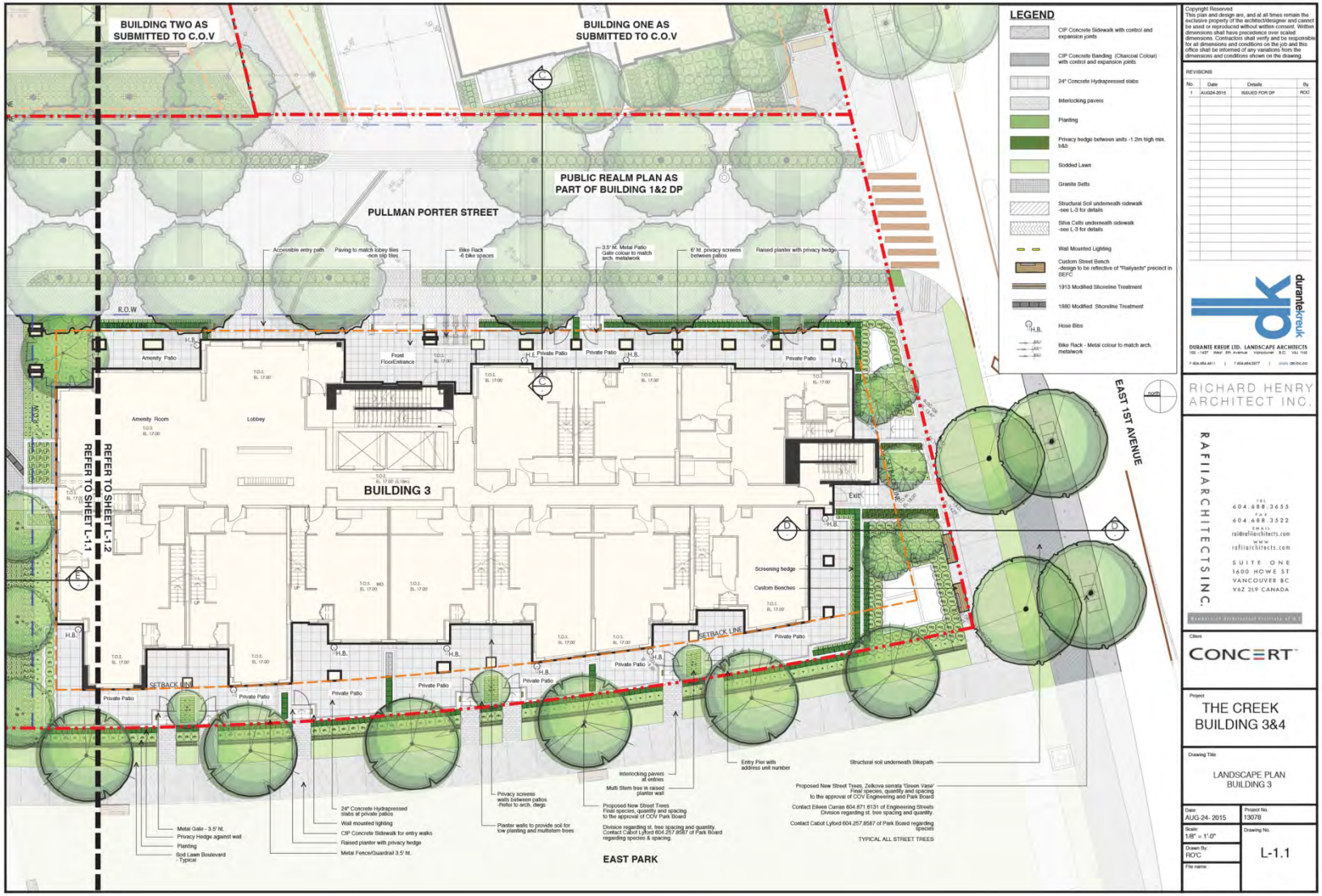
VANCOUVER BC
V6Z 2L9 CANADA

Client: CONCERT

Project: THE CREEK BUILDING 3&4

Drawing Title: Neighbourhood Plan

Date: AUG-24-2015	Project No.: 13078
Scale: NTS	Drawing No.: L-1.0
Drawn By: ROC	
File Name:	


BUILDING TWO AS SUBMITTED TO C.O.V
BUILDING ONE AS SUBMITTED TO C.O.V
PUBLIC REALM PLAN AS PART OF BUILDING 1&2 DP
PULLMAN PORTER STREET
EAST 1ST AVENUE
BUILDING 3
EAST PARK
REFER TO SHEET L-1.2
REFER TO SHEET L-1.1
SETBACK LINE
Amenity Patio
Amenity Room
Lobbey
Front FloorEntrance
Private Patio
Screening hedge
Custom Benches
Entry Pier with address unit number
Structural soil underneath Bikepath
Interlocking pavers at entries
Multi Stem tree in raised planter wall
Proposed New Street Trees Final species, quantity and spacing to the approval of COV Park Board
Division regarding st. tree spacing and quantity Contact Cabot Lyford 604.257.8587 of Park Board regarding species & spacing.
TYPICAL ALL STREET TREES
Contact Eileen Curran 604.871.6131 of Engineering Streets Division regarding st. tree spacing and quantity
Contact Cabot Lyford 604.257.8587 of Park Board regarding Species
Privacy screens walls between patios -Refer to arch. dwgs
Planter walls to provide soil for low planting and multistem trees
24" Concrete Hydrapressed slabs at private patios
Wall mounted lighting
CIP Concrete Sidewalk for entry walks
Raised planter with privacy hedge
Metal Fence/Guardrail 3.5' ht.
Metal Gate - 3.5' ht.
Privacy Hedge against wall
Planting
Sod Lawn Boulevard - Typical
Accessible entry path
Paving to match lobey tiles -non slip tiles
Bike Rack -6 bike spaces
3.5' ht. Metal Patio Gate colour to match arch. metalwork
6' ht. privacy screens between patios
Raised planter with privacy hedge
LEGEND
CIP Concrete Sidewalk with control and expansion joints
CIP Concrete Banding (Charcoal Colour) with control and expansion joints
24" Concrete Hydrapressed slabs
Interlocking pavers
Planting
Privacy hedge between units -1.2m high min. b&b
Sodded Lawn
Granite Setts
Structural Soil underneath sidewalk -see L-3 for details
Silva Cells underneath sidewalk -see L-3 for details
Wall Mounted Lighting
Custom Street Bench -design to be reflective of "Railyards" precinct in BEFC
1913 Modified Shoreline Treatment
1880 Modified Shoreline Treatment
Hose Bibs
Bike Rack - Metal colour to match arch. metalwork
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No. Date Details By
1 AUG24-2015 ISSUED FOR DP ROC
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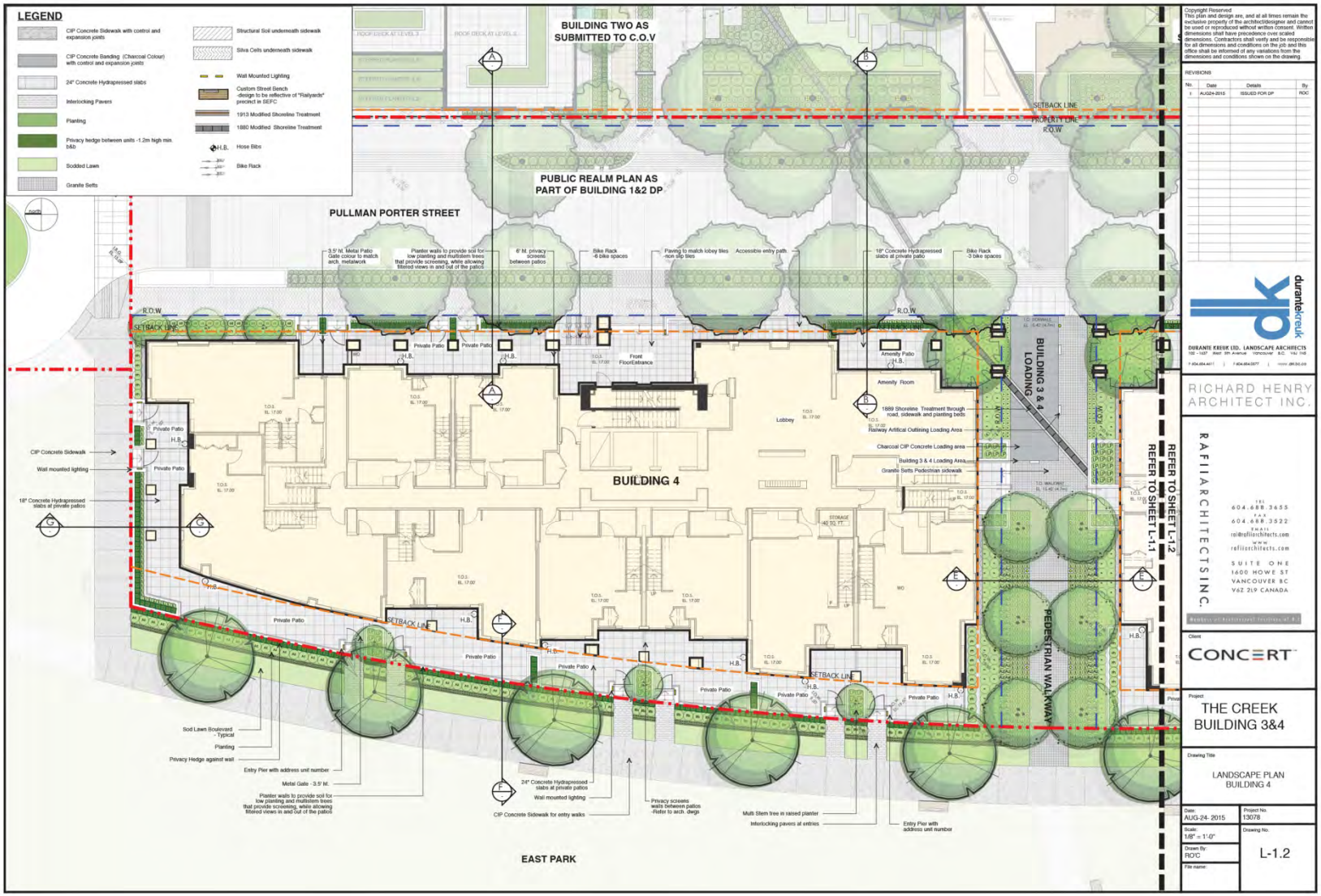
Client
CONCERT
Project
THE CREEK BUILDING 3&4
Drawing Title
LANDSCAPE PLAN BUILDING 3
Date: AUG-24- 2015
Project No. 13078
Scale: 1/8" = 1'-0"
Drawing No. L-1.1
Drawn By: ROYC
File name:


LEGEND
CIP Concrete Sidewalk with control and expansion joints
CIP Concrete Banding (Charcoal Colour) with control and expansion joints
24" Concrete Hydrapressed slabs
Interlocking Pavers
Planting
Privacy hedge between units -1.2m high min. b&b
Sodded Lawn
Granite Setts
Structural Soil underneath sidewalk
Silva Cells underneath sidewalk
Wall Mounted Lighting
Custom Street Bench -design to be reflective of "Railyards" precinct in BEPC
1913 Modified Shoreline Treatment
1880 Modified Shoreline Treatment
H.B. Hose Bibs
Bike Rack
BUILDING TWO AS SUBMITTED TO C.O.V
PUBLIC REALM PLAN AS PART OF BUILDING 1&2 DP
PULLMAN PORTER STREET
SETBACK LINE
PROPERTY LINE
R.O.W
BUILDING 4
BUILDING 3 & 4 LOADING
PEDESTRIAN WALKWAY
Private Patio
Amenity Patio
Amenity Room
Lobby
Front Floor/Entrance
1889 Shoreline Treatment through road, sidewalk and planting beds
Railway Artifical Outlining Loading Area
Charcoal CIP Concrete Loading area
Building 3 & 4 Loading Area
Granite Setts Pedestrian sidewalk
CIP Concrete Sidewalk
Wall mounted lighting
18" Concrete Hydrapressed slabs at private patios
3.5' ht. Metal Patio Gate colour to match arch. metalwork
Planter walls to provide soil for low planting and multistem trees that provide screening, while allowing filtered views in and out of the patios
6' ht. privacy screens between patios
Bike Rack -6 bike spaces
Paving to match lobey tiles -non slip tiles
Accessible entry path
18" Concrete Hydrapressed slabs at private patio
Bike Rack -3 bike spaces
REFER TO SHEET L-1.2
REFER TO SHEET L-1.1
Sod Lawn Boulevard - Typical
Planting
Privacy Hedge against wall
Entry Pier with address unit number
Metal Gate - 3.5' ht.
Planter walls to provide soil for low planting and multistem trees that provide screening, while allowing filtered views in and out of the patios
24" Concrete Hydrapressed slabs at private patios
Wall mounted lighting
CIP Concrete Sidewalk for entry walks
Privacy screens walls between patios -Refer to arch. dwgs
Multi Stem tree in raised planter
Interlocking pavers at entries
Entry Pier with address unit number
EAST PARK
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No. Date Details By
1 AUG24-2015 ISSUED FOR DP ROC
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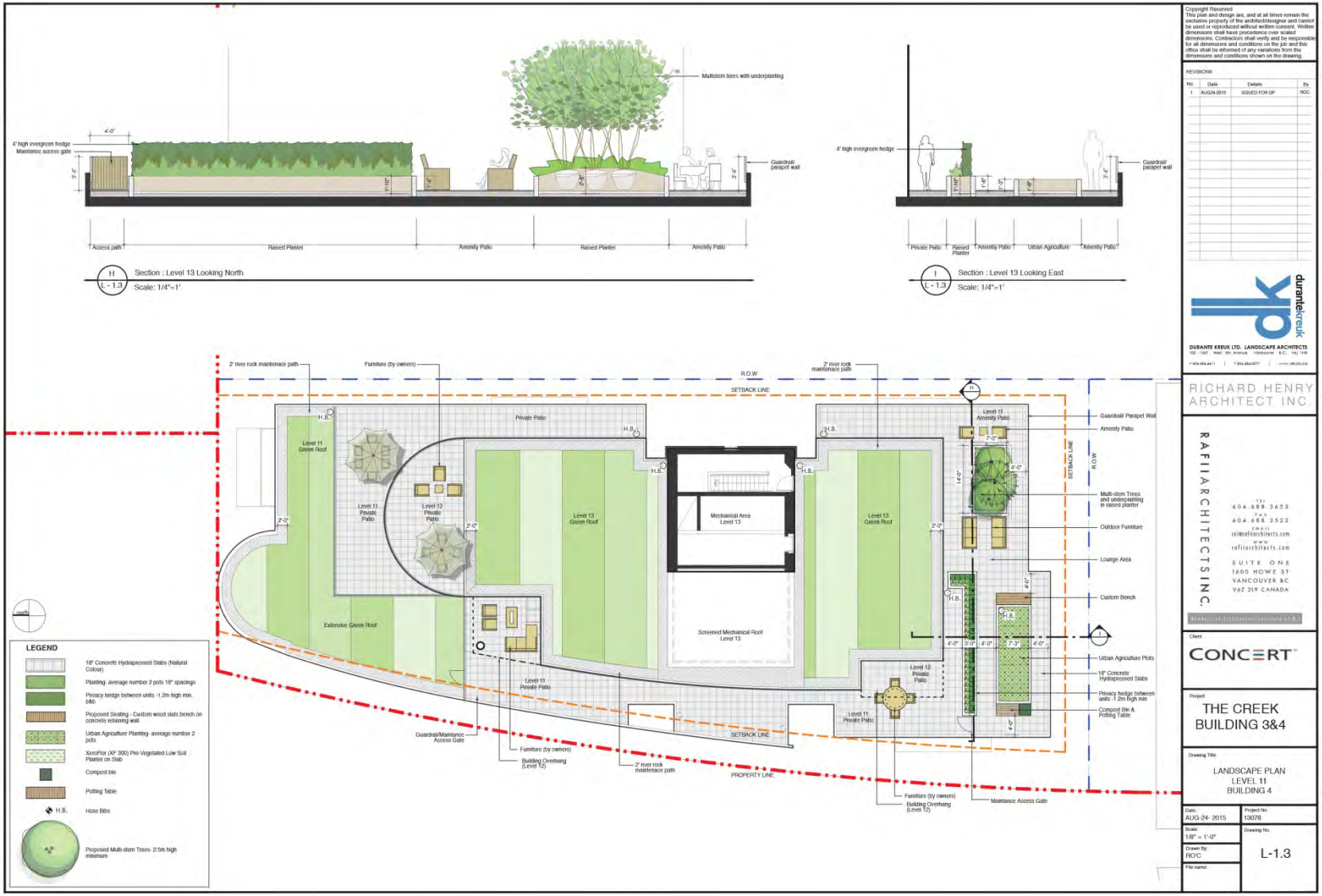
Client
CONCERT
Project
THE CREEK BUILDING 3&4
Drawing Title
LANDSCAPE PLAN BUILDING 4
Date: AUG-24- 2015
Project No. 13078
Scale: 1/8" = 1'-0"
Drawing No. L-1.2
Drawn By: RO'C
File name:


Multistem trees with underplanting
4' high evergreen hedge
Maintance access gate
4'-0"
3'-6"
Guardrail/ parapet wall
Access path
Raised Planter
Amenity Patio
Raised Planter
Amenity Patio
H
L - 1.3
Section : Level 13 Looking North
Scale: 1/4"=1'
4' high evergreen hedge
Guardrail/ parapet wall
Private Patio
Raised Planter
Amenity Patio
Urban Agriculture
Amenity Patio
I
L - 1.3
Section : Level 13 Looking East
Scale: 1/4"=1'
2" river rock maintenace path
Furniture (by owners)
R.O.W
SETBACK LINE
Private Patio
Level 11 Green Roof
Level 11 Private Patio
Level 12 Private Patio
Level 13 Green Roof
Mechanical Area Level 13
Extensive Green Roof
Screened Mechanical Roof Level 13
Level 11 Amenity Patio
Guardrail/ Parapet Wall
Amenity Patio
Multi-stem Trees and underplanting in raised planter
Outdoor Furniture
Lounge Area
Custom Bench
Urban Agriculture Plots
18" Concrete Hydrapressed Slabs
Privacy hedge between units -1.2m high min
Compost Bin & Potting Table
Guardrail/Maintance Access Gate
Building Overhang (Level 12)
PROPERTY LINE
Maintance Access Gate
LEGEND
18" Concrete Hydrapressed Slabs (Natural Colour)
Planting- average number 2 pots 18" spacings
Privacy hedge between units -1.2m high min. b&b
Proposed Seating - Custom wood slats bench on concrete retaining wall
Urban Agriculture Planting- average number 2 pots
XeroFlor (XF 300) Pre-Vegetated Low Soil Planter on Slab
Compost bin
Potting Table
H.B. Hose Bibs
Proposed Multi-stem Trees- 2.5m high minimum
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No. Date Details By
1 AUG24-2015 ISSUED FOR DP RDC
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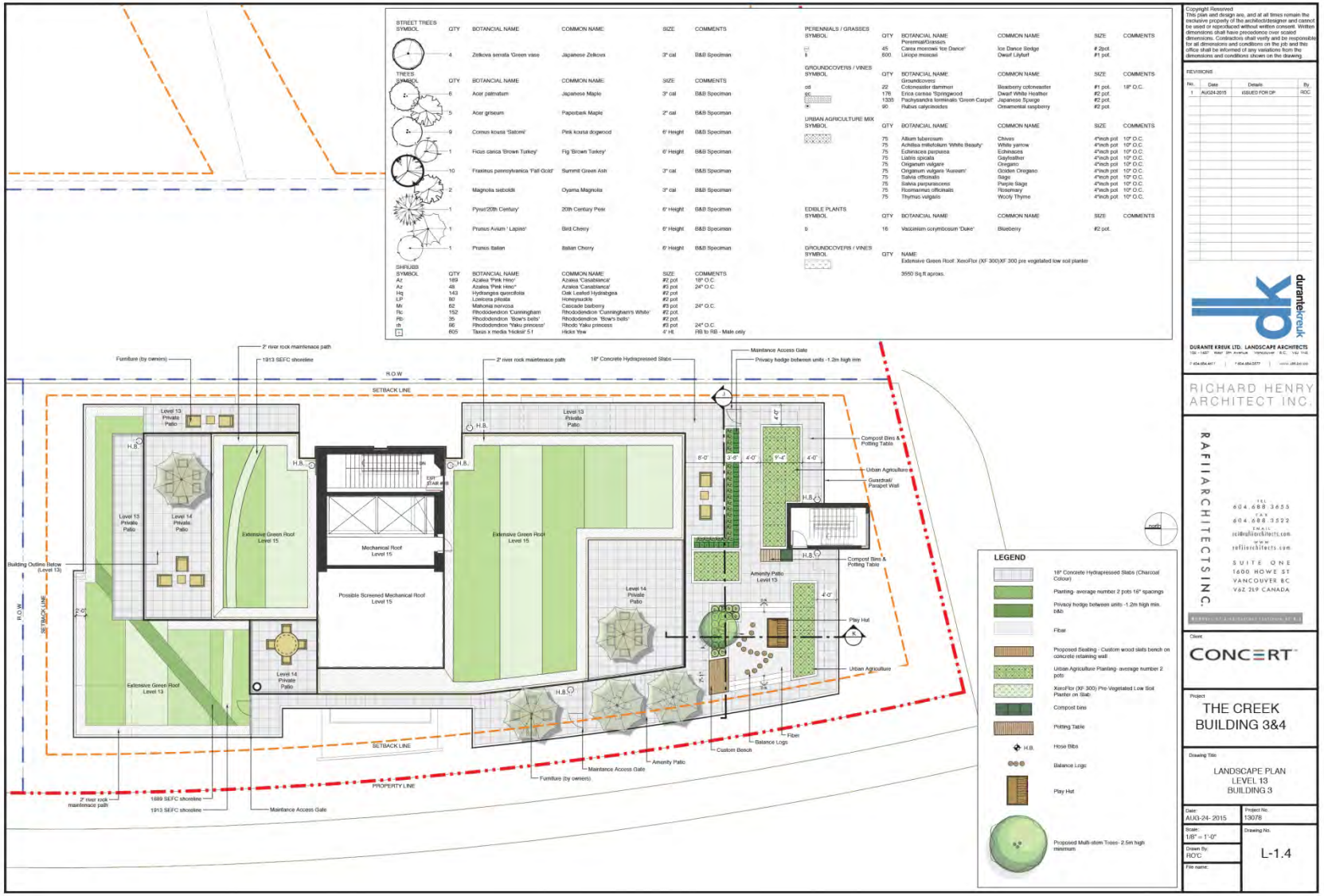
VANCOUVER BC
V6Z 2L9 CANADA
Client
CONCERT
Project
THE CREEK
BUILDING 3&4
Drawing Title
LANDSCAPE PLAN
LEVEL 11
BUILDING 4
Date: AUG-24- 2015
Project No. 13078
Scale: 1/8" = 1'-0"
Drawing No. L-1.3
Drawn By: RD/C
File name:



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No.	Date	Details	By
1	AUG24-2015	ISSUED FOR DP	ROC

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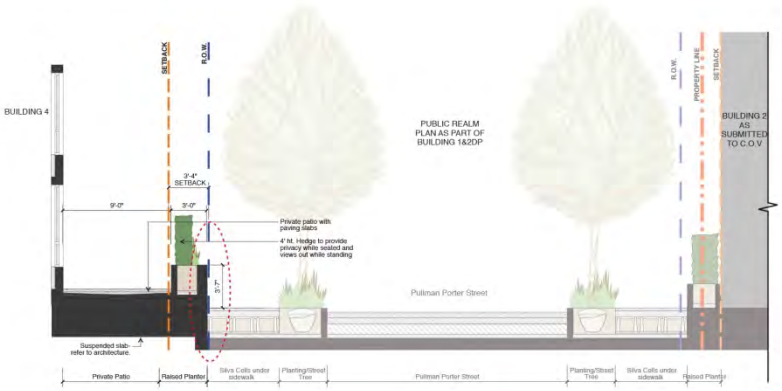
Client: CONCERT

Project: THE CREEK BUILDING 3&4

Drawing Title: LANDSCAPE PLAN LEVEL 13 BUILDING 3

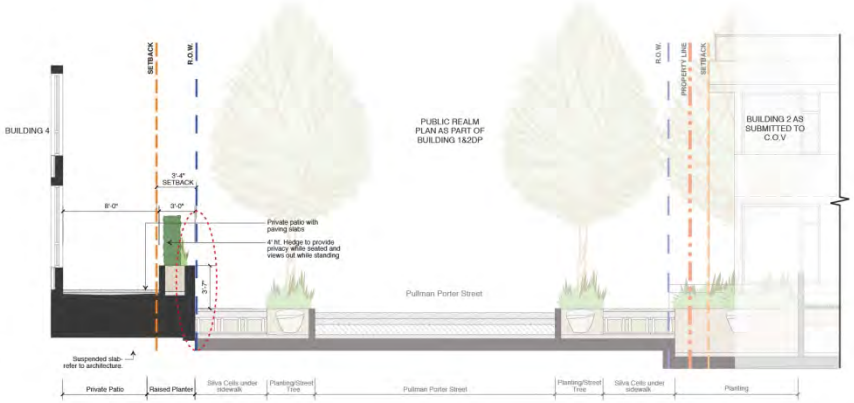
Date: AUG-24- 2015	Project No.: 13078
Scale: 1/8" = 1'-0"	Drawing No.: L-1.4
Drawn By: RO'C	
File name:	



A
L - 1.2

Section : Pullman Porter Road Section Looking North

Scale: 1/4"=1'



B
L - 1.2

Section : Pullman Porter Road Section Looking North

Scale: 1/4"=1'

REVISIONS

No.	Date	Details	By
1	AUG24-2015	ISSUED FOR DP	ROC

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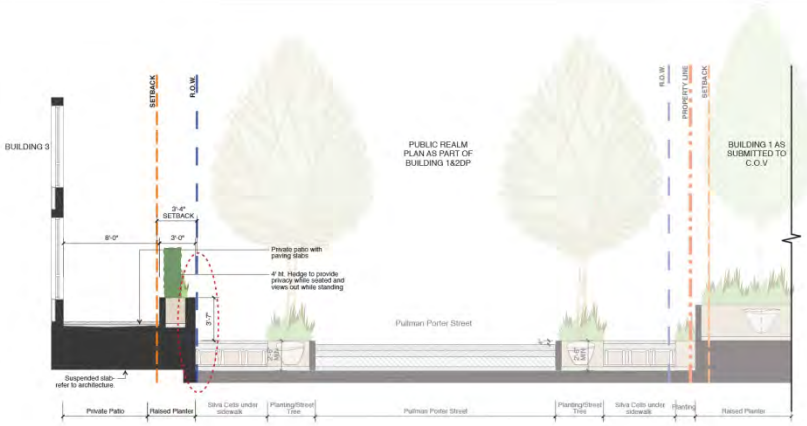
VANCOUVER BC
V6Z 2L9 CANADA

Client
CONCERT

Project
THE CREEK
BUILDING 3&4

Drawing Title
LANDSCAPE SECTIONS

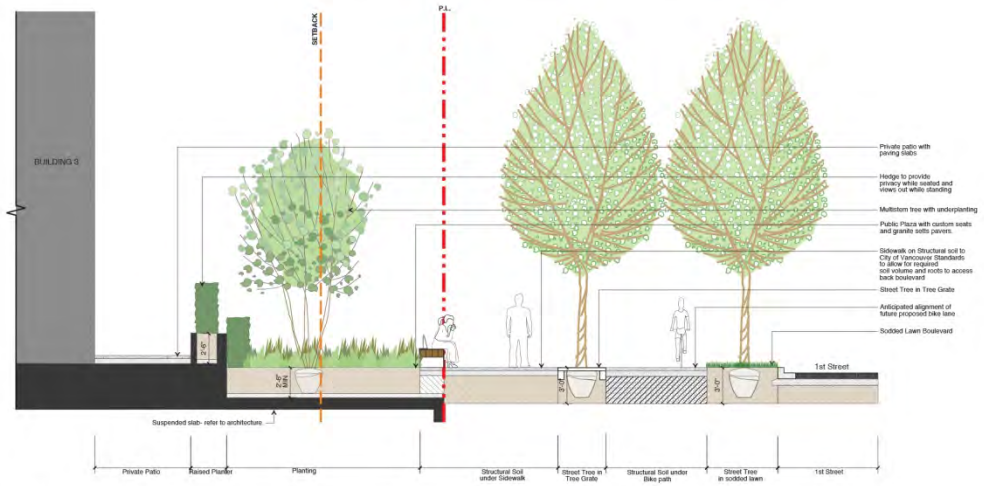
Date:	Project No.
AUG-24- 2015	13078
Scale: AS SHOWN	Drawing No. L-2.1
Drawn By: ROC	
File name:	



C
L - 1.1

Section : Pullman Porter Road Section Looking North

Scale: 1/4"=1'



D
L - 1.1

Section : 1st Ave Looking East

Scale: 1/4"=1'

REVISIONS

No.	Date	Details	By
1	AUG24-2015	ISSUED FOR DP	ROC

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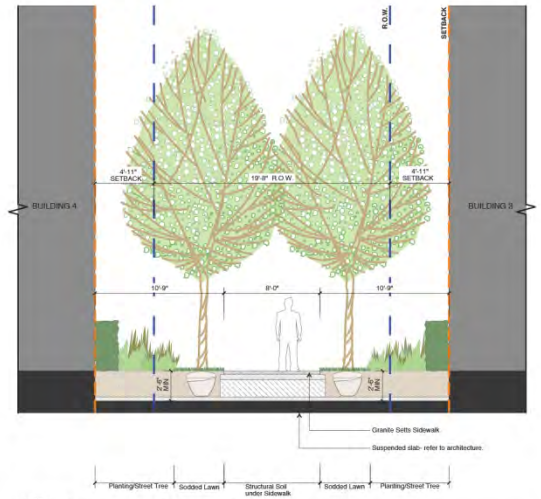
Client
CONCERT

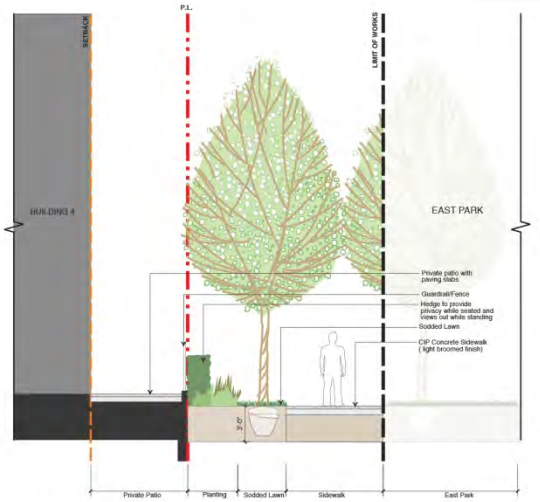
Project
THE CREEK
BUILDING 3&4

Drawing Title
LANDSCAPE SECTIONS

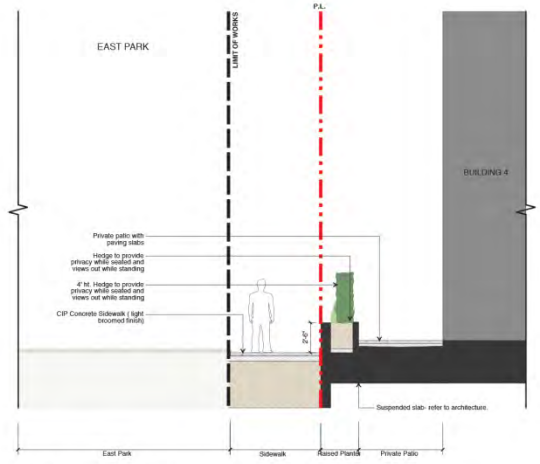
Date: AUG-24- 2015	Project No. 13078
Scale: AS SHOWN	Drawing No. L-2.2
Drawn By: ROC	
File name:	



E L - 1.2 Section : Building 3/Building 4 Walkway Looking East
Scale: 1/4"=1'



F L - 1.2 Section : Building 4/East Park Section Looking South
Scale: 1/4"=1'



G L - 1.2 Section : Building 4/East Park Section Looking East
Scale: 1/4"=1'

REVISIONS

No.	Date	Details	By
1	AUG24-2015	ISSUED FOR DP	ROC

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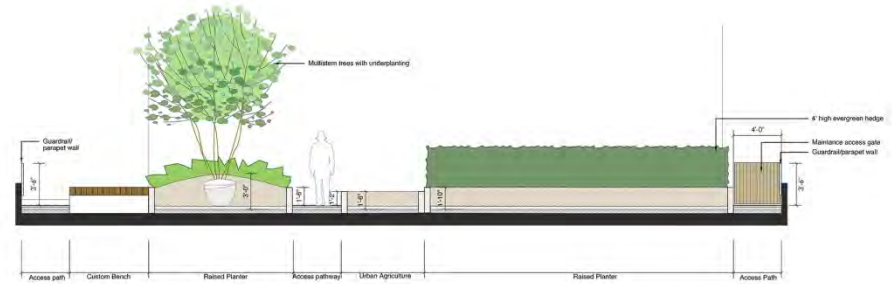
Client: CONCERT

Project: THE CREEK BUILDING 3&4

Drawing Title: LANDSCAPE SECTIONS

Date: AUG-24- 2015	Project No.: 13078
Scale: AS SHOWN	Drawing No.: L-2.3
Drawn By: ROC	
File name:	



J / L - 1.4 Section ; Level 13 Looking North

Scale: 1/4"=1'

K / L - 1.4 Section : Level 13 Looking East

Scale: 1/4"=1'

REVISIONS

No.	Date	Details	By
1	AUG24-2015	ISSUED FOR DP	ROC

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Project: THE CREEK BUILDING 3&4

Drawing Title: LANDSCAPE SECTIONS

Date: AUG-24- 2015	Project No. 13078
Scale: 1/8" = 1'-0"	Drawing No. L-2.4
Drawn By: RO'C	
File name:	


MATERIAL SCHEDULE
RICHARD HENRY ARCHITECT INC.
RAFII ARCHITECTS INC.
CONCERT
49 EAST 1ST AVENUE
BUILDINGS 3 & 4
WEST ELEVATION
BUILDING 3
DECEMBER 2015
11-04
1/8" = 1'-0"
FMA
A
3-1a

INTRODUCTION

This Development Permit application comprises 2 buildings and is part of a previously rezoned comprehensive CD-1 development for Parcels 3A and 3B in the Southeast False Creek area on the south shore of False Creek. This Development Permit application contains a proposal for two residential-only buildings that are intended to be market strata ownership. These buildings are the 3rd and 4th buildings included as part of the overall development plan for The Creek development that once complete will have 4 residential market buildings and 1 rental building that will be owned and operated by the City of Vancouver. (Note: Buildings 1 and 2 are under separate Development Permit applications). The adjacent park to the east is to be designed and constructed by the City of Vancouver and timing of this park is to coincide with the completion of The Creek development.

EXISTING POLICY CONTEXT

In addition to the general direction created for the overall precinct illustrated in the rezoning application the following (and other) documents were used to guide the development of this proposal:

- SEFC Policy Statement
- CD-1 Rezoning Bylaw Provisions for Area 3A and 3B SEFC
- SEFC Official Development Plan and most recent amendments
- SEFC Public Realm Plan
- Green Building Strategy for SEFC
- High Density Housing for Families with Children Guidelines
- SEFC Design Guidelines for Additional Penthouse Stories

RELEVANCE TO REZONING PROPOSAL CRITERIA

This Development Permit proposal adheres to the general criteria outlined in the original rezoning application including issues established by the new planning for the neighbourhood that amended the original ODP plan and became part of the CD-1 Bylaw for the overall development of The Creek. In addition to the new plan the project conforms to the Design Principles and Placemaking objectives outlined in the proposal for this area of the development, as well as the Sites 3A & 3B Design Guidelines.

SITE DESCRIPTION

The Development Permit application for Buildings 3 & 4 showcase that these buildings are bounded to the west by a new emerging City of Vancouver owned park called East Park. This park forms a green space buffering between "The Village at SEFC" and a new roadway named Pullman Porter Street to the east of Buildings 3 & 4. 1st Avenue is directly south and Switchmen Street is directly north along with East Park. Further north/east is the final phase of The Creek development that includes the last building, Building 5. Directly east of Pullman Porter Street are Buildings 1 & 2.

USE, DENSITY AND PARKING

The site area for Buildings 3 & 4 combined is 45,651 sf. As mentioned the use is expressly residential as is allowed in the CD-1 rezoning and provides for 177 units including 1, 2 & 3 bedroom configurations, occupying 110,227 sf of net floor area for building 3 and 92,137 sf of net floor area for building 4. Density for these parcels is within the maximum permitted as outlined in the CD-1 Bylaw. Area exclusions include up to 12% open balconies and storage units. Enclosed

balconies are not being used as an exclusion. The number of family units proposed exceeds the minimum 35% required and stands at 62%. The number of parking spaces provided is 248, including 15 visitors, 8 Electric Vehicles and 50 Electric Vehicle Fitted. The parking ramp is located off of Pullman Porter Street and will provide shared access to Buildings 2, 3 & 4. As part of the shared access, Buildings 3 & 4 can utilize the 5 car share spaces that are located in Building 2's parkade.

FORM AND HEIGHT

Building 3
The overall height proposed is 14 stories and conforms to the CD-1 Bylaw and is 40.0m (131.50') to the floor below the 2 penthouse levels. It is 46.3m (152.17') to the top of the penthouse roof parapet which is below 48.95m (160.60') allowed. These heights are measured from the new Flood Construction Level datum of 4.6m (15.09') geodetic. The upper 2 penthouse levels are largely set back from the main building massing as suggested by the City SEFC Penthouse Guidelines.

Building 4
The overall height proposed for this building is 12 stories and conforms to the CD-1 Bylaw and is 34.3m (112.83') to the floor below the 2 penthouse levels. It is 40.6m (133.50') to the top of the penthouse roof parapet which is below 48.95m (160.60') allowed. These heights are measured from the new Flood Construction Level datum of 4.6m (15.09') geodetic. As with building 3 the upper 2 penthouse levels are largely set back from the main building massing as suggested by the guidelines.

Overall intent
The general forms of both buildings are as was illustrated in the original rezoning application and CD-1 Bylaw and Guidelines. Overall the intent was to gently step the building forms down towards the waterfront thereby softening the relationship with the foreshore walk and similarly reflecting the form of the buildings at the east end of the Village immediately across East Park. The overall site/building plan conforms with the desire for a sweeping curvature of building facades that were, and are, intended to reinforce the same gracious curvature of the "arc-in-the-park" park edge and pathway system.

Building setbacks conform to those indicated in the 3A&3B Design Guidelines with the exception that both buildings 3 and 4 have increased their setbacks along Pullman Porter Street by 2' to allow for a more gracious transition to the underslung patio entrances of the 2 storey townhomes. Entries around the remaining perimeter of the buildings, from the streets and park, are as indicated in those guidelines, as are the main entries to each of the buildings accessed from Pullman Porter Street.

ARCHITECTURAL EXPRESSION
As was outlined in the Rezoning Application for The Creek development, a major formal purpose for the entire site was to create a hierarchy of background to foreground expressions for the overall development of the five buildings. Buildings 3 and 4 (this application) were deemed to be "foreground" expressions as reflecting their unique location along the future East Park and were intentionally stand out from the Southeast False Creek crowd.

In pursuit of this "foreground" objective buildings 3 and 4 have been designed to differentiate themselves from the milieu that is SEFC. Generally speaking there exists a lot of "visual noise" in

the area, with seemingly all buildings competing for attention by way of various clever architectural attributes. While this contributes to an interesting richness of character and human scale for the area, to compete visually for attention with a high level of complexity poses the pitfall of them falling into this predominant milieu. For these two buildings it was felt that the best way to stand out from the crowd was to pursue a more simple and elegant overall form for their expressions. The first step towards this objective was to unite the two buildings as a pair of "sibling" forms rather than being two completely different expressions. The general sweeping balcony and façade expressions are in keeping with the "nautical" metaphor objective referencing the sweeping forms of an ocean liner superstructure and its hull.

Materials are in keeping with the higher quality of such established by the Village to the west. Stone sheet material is used to create and emphasize the two- storey scale of the townhomes that encircle each of the buildings. Horizontal elements are exaggerated with long balcony extensions that sweep almost continuously with the park edge but are punctuated with two differently formed, vertical "sentry" expressions on either side of the passage through the site to the park and courtyard beyond. Horizontal window wall fenestration expressions complement the concrete banding, and play up the layered horizontal expression.

PUBLIC REALM

While most of the public realm components have been proposed as part of the Development Permits for Building 1 and 2 (Phase 1 of The Creek) it is worth revisiting them here as they are key attributes for every building in this development. The following are descriptions of these components from Phase one.

Phase one

Four very important components of the Public Realm will be constructed as part of the first phase of The Creek development: Switchmen Street, Pullman Porter Street (formerly labelled as the central laneway), the Courtyard, and Railspur Mews and Railspur Plaza.

Firstly, Switchmen Street will provide the principle vehicular and pedestrian entrance to the development as well as the new East Park to the west. Two contrasting streets were developed in this Creek neighbourhood with Switchmen being the more formal and more "boulevard-like" with Pullman Porter Street being much more intimate and informal.

Pullman Porter Street also has a boulevard experience with trees and shrubs on either side of this narrow right of way. The narrowness of this street is similar to Walter Hardwick Ave in Athletes Village and has seating and unique light fixtures that defines the intimate and internal nature of this street.

Railspur Mews that is located between Buildings 1 and 2 creates a visual and physical connection for pedestrians out to Quebec Street and beyond where it extends to the development to the east. Historical references to the "Railway Precinct" of which this neighbourhood is a part of, are proposed and include embedded rails forming the curvature of the old rail line, and rail car bumper stops are placed to act as bollards at each end to prevent cars from entering this pedestrian only route. Catenary overhead lighting is proposed here as well, to provide an intimate and unique character for this special passage.

A feature courtyard located just off of Railspur Mews along with Railpur Plaza dovetails with these converging pathway systems at the heart of The Creek development. The south portion forms a heavy timber plaza (again referencing the heritage nature of the area) with areas to relax and meet. A central fountain water feature separates the wholly public plaza from the semi-public courtyard to the north. Both components act to decompress the tight confines of

Pullman Porter Street and add a green oasis in The Creek's center. The central water feature is designed as a rusting wall fountain from sheet piling and forms the visual focus upon entering.

This phase (Buildings 3 and 4)
In addition to the elements previously noted, this Development Permit proposal for Buildings 3 and 4 includes an important passage linkage located between Buildings 3 and 4 and extends from East Park through the centre of The Creek and then proceeds through to Quebec Street. This access is an experiential "pinch-point" intended to both connect and separately identify The Creek as a smaller community within the larger Southeast False Creek community. A large arbour element unites the entrance canopies from both Buildings 3 and 4 into a single gracious curve that is intended to reference the curvature of the park as well as creating a strong sense of passage from one area to the other.

Townhouse entries and patios line the interface with the East Park and serve to animate the connection between The Creek and the park itself. A formal curving pathway in the Park links these western facing townhome entries, and large planters provide breaks at the unit entries to provide variety along this low wall. "Underslung" townhome entry patios line Pullman Porter Street to provide a semi-private area between the public realm and the private one. Planters separate Pullman Porter Street from these patios and street trees line the edge.

AMENITY
Amenity access and provision are important attributes of these two buildings as part of phase two. Apart from the features described above as part of Phase One the park is the most important component for these two buildings in providing outdoor amenity space. Other outdoor areas include oversized balconies to the 12% maximum, and common rooftop spaces for private and common use in areas where the buildings terrace.

Other amenities include "duelling" amenity spaces at the ground floor including a large lounge in building 4 and a common gym in building 3 flanking the passage to the park between the two structures. Upper levels provide "serenity lounges" for each building with kitchen and bar setups for resident use. All indoor amenity areas will be shared amongst both groups of residents.

Also very importantly immediate access can be had to the shops and SEFC community centre found at the heart of the "Village" next door and a close proximity to the Foreshore Seawall provides water access for ferries, canoeing, Dragon Boating and the likes. Granville Isand and Science World also lie within easy reach along this important link. Grade access routes have been designed to optimise easy circulation amongst all these components.

CONDITIONS OF APPROVAL OF FORM OF DEVELOPMENT
For Buildings 3 & 4

(a) That the proposed form of development be approved by Council in principle, generally as prepared by Rafii Architects Inc., and stamped "Received City Planning Department, August 1, 2013" provided that the General Manager of Planning and Development Services may allow minor alterations to this form of development when approving the detailed scheme of development as outlined in (b) below;

(b) That, prior to approval by Council of the form of development, the applicant shall obtain approval of a development application by the General Manager of Planning and Development Services, who shall have particular regard to the following:

Urban Design		***Urban Design***	
1	Further design development to the proposed buildings during the Development Permit application phase, to be in conformance with proposed design features stated in the application drawings and the Sites 3A/3B Design Guidelines. Further, that where a conflict in design direction between these two documents are found, that the direction listed in Sites 3A/3B Design Guidelines will supersede and be applicable. In particular, the following revisions to the design application drawings are noted in the 3A/3B Design Guidelines:	*1*	
2	Design development to the orientation of the public plaza located at northwest corner of Quebec and 1st Avenue off Building 1 ("Artefact Plaza"), so that the main orientation is in an East-West direction with its main frontage off 1st Avenue, in order to maximize afternoon sun access, a street interface with calmer vehicular traffic patterns, and to provide further clearance from the future streetcar route.	*2*	*Addressed as part of DE for Building 1.*
3	Design development to incorporate all vehicular access ramps into underground parking garages be architecturally integrated with a building, thereby reducing their visual impact as experience from the public realm.	*3*	*Addressed as part of DE for Buildings 1 and 2. (Note: access ramp for Buildings 2, 3 & 4 has been architecturally integrated with Building 2).*

4	Design development to relocate all proposed stair accesses to underground parking garages onto private areas, in order to maximize the amount of useable space on public areas. Note to Applicant: The two most notable proposed stair accesses, located in Railspur plaza and off 1st Avenue near Building 1, should be relocated to within a building or on a semi-public courtyard area.	*4*	*Addressed as part of DE application for Buildings 1 & 2. Stair access to the underground parking at corner of laneway and Building 1 has now been integrated into Building 1. Stair access to parkade in Railspur Plaza has been relocated onto semi-public courtyard area as noted in Building 2 application.*
5	Design development to the proposed building setbacks from property lines to conform with setbacks listed in the 3A/3B Design guidelines, in order to support sufficient area for private patios, private porches, private overhead balconies, public sidewalks, enhanced landscape treatments and other urban design considerations.That the proposed semi-private courtyards of Buildings 2 and 5 be redesigned to be fully accessible by the public, and visibly welcoming from the public sidewalk.	*5*	*Building setbacks for Buildings 3 &4 conform to those listed in Design Guidelines. (Courtyard extends off of Railspur Mews and is open to the public and noted as part of DE application for Building 2).*
6	That the public plaza located at the western end of Railspur Mews be provided with a minimum area of 1300 sq.ft. Note to Applicant: The minimum area calculation does not include the portion of Railspur Mews that will be subject to a Surface Right-of-Way agreement.	*6*	*Addressed as part of DE application for Building 2.*
Sustainability		***Sustainability***	
6	Identification on the plans and elevations of the built elements contributing to the building's sustainability performance in achieving LEED® Gold, including a minimum of 63 points in the LEED® rating system, and, specifically, a minimum of 6 points under Optimize Energy Performance. Note to applicant: Provide a LEED® checklist confirming the above and a detailed written description of how the above-noted points have been achieved with reference to specific building features in the development, and notation of the features on the plans and elevations. The checklist and description should be incorporated into the drawing set. Registration and application for certification of the project are also required under the policy.	*6*	*See LEED checklist that is part of Buildings 3 & 4 Development Permit submission.*

7	Install thermal energy sub-meters (for space heating and hot water) for all units in the project.	*7*	*To be completed prior to Occupancy.*
Neighbourhood Energy Utility		***Neighbourhood Energy Utility***	
8	The heating and domestic hot water system within each building comprising the development shall be designed to be compatible with a hot-water distribution neighbourhood energy system in order to immediately connect to the SEFC NEU. Design provisions related to NEU compatibility must be to the satisfaction of the General Manager of Engineering Services. Note to Applicant: The applicant shall refer to the Energy Utility System By-law (9552) and NEU Developer Document (2013) for specific design requirements, which include provisions related to the location of the mechanical room(s), centralization of mechanical equipment, pumping and control strategy, and other hydronic heating and domestic hot water system minimum requirements. The applicant is encouraged to work closely with Staff to ensure adequate provisions for NEU compatibility are provided for in the mechanical design.	*8*	*The heating and domestic hot water system is being designed to connect to the SEFC NEU. Concert is working with CoV Staff to ensure NEU compatibility for all buildings on site.*
9	Provision of a dedicated room in a location suitable for connecting to the NEU distribution piping for each Energy Transfer Station that is required for servicing the development as to the satisfaction of the General Manager of Engineering Services.	*9*	*Indicated on architectural drawings in Buildings 3 & 4 Development Permit submissions.*
10	Detailed design of the HVAC and mechanical heating system for each building, including any provisions for waste heat recovery and reuse, must be reviewed and approved by the General Manager of Engineering Services.	*10*	*To be provided with Building Permit drawing submission.*
Engineering		***Engineering***	
11	Provision of improved plans showing dimensions for all cross-sections for Quebec Street, 1st Avenue, Switchmen Street, and the new north-south land to confirm the proposed roadway design is consistent with the approved geometric drawings;	*11*	*Addressed as part of DE application for Building 2. CoV designing and constructing Quebec Street and 1st Avenue. Geometrics for Quebec and 1st Ave have been coordinated with Buildings 1 and 2 DE applications.*

12	Provision of Class A bicycle parking on the P1 parking level with easy access from the parkade ramp and close to the elevators;	*12*	*Application for Buildings 3 & 4 Development Permit submission includes all bicycle parking provided on P1.*
13	Provision of Class B bicycle parking to be located close to the doors, undercover, and clearly visible from inside the building and from the street;	*13*	*Indicated on landscape drawings in Buildings 3 & 4 Development Permit drawing submission.*
14	Provision of automatic bike door openers;	*14*	*To be provided with BP drawing submission.*
15	Provision of relocated parkade access to Building 2 to the new north-south lane or other suitable location to the satisfaction of the General Manager of Engineering Services; Note to Applicant: The parkade access shown is too close to the traffic circle and intersection.	*15*	*Provided as part of Building 2 DE application. Parkade access has been relocated to north-south laneway.*
16	Provision of a section drawing showing elevations, vertical clearance, and security gates for the main ramps and through the loading bays; Note to applicant: 2.3m (7.5') of vertical clearance is required for the disability stall access and 3.8m (12.5') of vertical clearance is required for Loading access and should be noted on plans.	*16*	*Provided as part of DE applications for Buildings 1 and 2. Indicated on architectural section drawings.*
17	Provision of an improved plan showing the design elevations on both sides of the ramp at all breakpoints and within the parking areas to be able to calculate slopes and cross falls;	*17*	*Provided as part of DE applications for Buildings 1 and 2. Included on architecturual drawings in both Development Permit drawings.*
18	Provision of 2.9m of stall width for all car share stalls; Note to Applicant: This is a requirement in the new car share agreement.	*18*	*Provided as part of DE applications for Buildings 1 and 2. Note: 5 car share stalls for the site are located in Building 2. 1 car share stall is located in Building 1. 6 car share stalls are required as part of CoV approved Green Mobility Strategy.*
19	Provision of Class B loading spaces to meet the City's Parking and Loading Bylaw;	*19*	*Loading provided off of Pullman Porter Street per agreement with Planning and Engineering. Loading for Buildings 3 & 4 occurs in one loading spot located between Buildings 3 & 4.*

	Note to applicant: Engineering does not support a widened crossing or the loading spaces shown on Switchmen. Consider designing the parking ramp to provide loading access on-site. Refer to the Parking and Loading Design Guidelines at the following link for design information: (http://former.vancouver.ca/engsvcs/parking/admin/developers.htm)		
20	Provision of a 9'x9' corner cut to improve the two-way flow and visibility on the main ramp serving Area 2. Note to applicant: Corner cuts are required at the top and bottom of ramps to provide adequate radii for continuous two-way traffic flow where 200 or more vehicles are being served.	*20*	*Provided as part of DE application for Building 1 and 2.*
Social Infrastructure		***Social Infrastructure***	
21	Design development to vary the number of units in the social housing building to provide for as many family units as possible, and maintaining a minimum unit count of 133, to the satisfaction of the Chief Housing Officer.	*21*	*Provided as part of DE application for Building 1. Note: Building 1 has 54% family units, while maintaining 135 unit count.*
22	Design development to include 2 units on the ground floor of Building 1 designed to be suitable as licensed family childcare with associated drop off/lay by spaces.	*22*	*Provided as part of DE application for Building 1.*