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7298 ADERA STREET (COMPLETE APPLICATION)  
DE416823 - ZONE CD-1

SDB/AGM/BM/LK/LH

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**DEVELOPMENT PERMIT STAFF COMMITTEE MEMBERS**

**Present:**

J. Greer (Chair), Development Services  
P. Storer, Engineering Services  
L. Gayman, Real Estate Services  
D. Naundorf, Social Infrastructure

**Also Present:**

S. Black, Urban Design & Development Planning  
A. Malczyk, Urban Design & Development Planning  
A. Manness, Urban Design & Development Planning  
B. Mah, Development Services  
L. King, Development Services  
M. D'Agostini, Heritage Group

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**APPLICANT:**

Perkins And Will  
Attention: Rod Maas  
1220 Homer Street  
Vancouver, BC  
V6B 2Y5

**PROPERTY OWNER:**

Wall Financial Corporation  
Shannon Mews Project  
3502 - 1088 Burrard Street  
Vancouver, BC  
V6Z 2R9

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**EXECUTIVE SUMMARY**

- **Proposal:** This application is for Phase 2 of the development at Shannon Mews. The project includes the development of four multiple dwelling buildings ranging from seven to nine storeys all over underground parking, restoration of the perimeter wall, landscaping elements and the development of a district energy system.

See Appendix A Standard Conditions

Appendix B Standard Notes and Conditions of Development Permit

Appendix C Plans and Elevations

Appendix D Applicant's Design Rationale

Appendix E Response to Site-wide Conditions

Appendix F Block G Section with Setbacks from Rear Property Line

● **Issues:**

1. Privacy and overlook to nearby neighbour
2. Vehicle movements around site

- **Urban Design Panel: SUPPORT (7-0)**
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**DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATION: APPROVE**

THAT the Board APPROVE Development Application No. DE416823 submitted, the plans and information forming a part thereof, thereby permitting the development of four multiple dwelling buildings all over underground parking; the application includes the restoration of the heritage perimeter wall, landscaping elements and the development of a district energy system subject to Council's approval of the Form of Development and the following conditions:

1.0 Prior to the issuance of the development permit, revised sealed and signed drawings and information shall be submitted, to the satisfaction of the Director of Planning, clearly indicating:

1.1 design development to reduce overlook from the fourth and fifth levels of Block G to the north;

**Note to Applicant:** This can be accomplished by moving the accessible portion of the roof deck away from the north side of the building, by reducing the size or transparency of glazing, and by providing additional screening at grade and above, or a combination thereof. Consultation with the affected neighbours is recommended before responding to this condition. See also Standard Condition A.1.7.

1.2 provision of setbacks in response to Condition of Approval (b) 3 at rezoning, as follows:

- a) 50 feet from West 57<sup>th</sup> Avenue;
- b) 55 feet from Adera Street; and
- c) 60 feet from the north property line;

**Note to Applicant:** Intent is to conclude on rezoning condition 3 in a way that reflects the different adjacencies at each edge. These setbacks establish a minimum distance between the property line and the upper floors of new development. They should be larger at the local street, and where there is a shared property line. Given the proximity of Block G to the nearest house, the angle of view described in the condition of rezoning should be measured relative to a three-storey building, rather than a four-storey building.

1.3 design development to the portions of buildings to better blend them into the landscape at the perimeter of the site;

**Note to Applicant:** Intent is to mitigate some of the visual effect of new mid-rise development in this low-density context, especially those portions above three storeys in height that are readily visible from the street.

1.4 design development to better express the height of building portions facing onto West 57<sup>th</sup> Avenue as three-storey elements;

**Note to Applicant:** While the height of these elements meets the recommended condition of rezoning, further development of their architectural expression and composition is recommended to ensure that the site edges read more clearly as three-storeys from the public realm. This can be accomplished within the approved form of development and regulations by making the three-storey portion, which will only partially be screened from the street by trees, more continuous and substantial.

1.5 design development to reduce the effect of vehicles emerging from the parkade on neighbouring properties;

**Note to Applicant:** This can be accomplished by providing additional planting on or near the affected properties. Consultation with the affected neighbours is recommended before responding to this condition. Any planting on City street must be to the satisfaction of the General Manager of Engineering Services.

- 1.6 design development to create a greater diversity of architectural treatment;

**Note to Applicant:** Consider greater variation in the scale and range of expression proposed for the project. This can be achieved by expanding colour and material palette or gradation and layering of detail to improve human scale relationship between the buildings and the site.

- 1.7 design development to ensure preservation of the Beeches and the surrounding public space;

**Note to Applicant:** Closer coordination of the building with the landscape is required. Provide an enlarged drawing that locates the tree canopy accurately. If conflicts are identified the building may need to be set back further in this area.

- 1.8 improve the functionality, comfort and quality of the common amenity spaces by providing:

- a) direct connection with the outdoor amenity area at grade or next to the rooftop outdoor spaces;
- b) wet bar, an accessible washroom with baby change table and closet; and
- c) clarification of the proposed specific use for each of the spaces.

- 2.0 That the conditions set out in Appendix A be met prior to the issuance of the Development Permit.

- 3.0 That the Notes to Applicant and Conditions of the Development Permit set out in Appendix B be approved by the Board.

PROJECT INFORMATION*					
	PERMITTED (MAXIMUM)		REQUIRED	PHASE 1 - Lots 1 & 2 (existing)	PHASE 2 - Lot 4
Site Size	-		-	790 ft. x 550 ft. (nominal)	790 ft. x 550 ft. (nominal)
Site Area	-		-	434,236 ft. <sup>2</sup> (survey)	434,236 ft. <sup>2</sup> (survey)
Use	Dwelling Uses, limited to One Family Dwelling, Multiple Conversion Dwelling existing on June 18, 1956, Multiple Dwelling, and Dwelling Unit in conjunction with any of the other uses listed in this section 3.2  Retail Uses		-	Multiple Dwellings  Dwelling Units  Retail Store (Block C)	Multiple Dwellings
FSR <sup>1</sup>	Combined Uses Dwelling Uses	1.60 1.58	-	Retail Store (Block C) 0.01 Residential 0.91 Total 0.92	Phase 1 (DE415627) 0.60 Phase 2 0.98+ Amenity (overage) 0.00 Total 1.58+
Floor Area <sup>1</sup>	Combined Uses Dwelling Uses	694,778 ft. <sup>2</sup> 686,093 ft. <sup>2</sup>	-	Phase 1 - Combined Uses (not including existing)  Retail Store (Block C) 3,961 ft. <sup>2</sup> Residential 256,378 ft. <sup>2</sup> Subtotal 260,339 ft. <sup>2</sup>  Phase 1 - Dwelling Use  Mansion 24,583 ft. <sup>2</sup> Coach House 8,035 ft. <sup>2</sup> Gate House 2,668 ft. <sup>2</sup> Block A 41,192 ft. <sup>2</sup> Block B 25,679 ft. <sup>2</sup> Block C 154,221 ft. <sup>2</sup> Subtotal 256,378 ft. <sup>2</sup>	Phase 1 - Combined Uses 260,339 ft. <sup>2</sup> Phase 1 - Dwelling Use 256,378 ft. <sup>2</sup>  Phase 2 - Dwelling Use  Block D 107,450 ft. <sup>2</sup> Block E 98,824 ft. <sup>2</sup> Block F 106,062 ft. <sup>2</sup> Block G 111,266 ft. <sup>2</sup> Subtotal 423,602 ft. <sup>2</sup> +  Phase 2 + Phase 1 - Combined Uses  Phase 1 (Combined Uses) 260,339 ft. <sup>2</sup> Phase 2 (Dwelling Use) 423,602 ft. <sup>2</sup> + Amenity (overage) 614 ft. <sup>2</sup> Total 684,555 ft. <sup>2</sup> +



PROJECT INFORMATION*						
	PERMITTED (MAXIMUM)	REQUIRED	PHASE 1 - Lots 1 & 2 (existing)		PHASE 2 - Lot 4	
			Existing - Dwelling Use (to be demolished)		Phase 2 + Phase 1 - Dwelling Use	
			Block D	32,220 ft. <sup>2</sup>	Phase 1	256,378 ft. <sup>2</sup>
			Block E	16,701 ft. <sup>2</sup>	Phase 2	423,602 ft. <sup>2</sup> +
			Block F	44,260 ft. <sup>2</sup>	Total	679,980 ft. <sup>2</sup> +
			Block G	43,876 ft. <sup>2</sup>		
			Subtotal	137,057 ft. <sup>2</sup>		
			Phase 1 - Dwelling Uses	256,378 ft. <sup>2</sup>		
			Existing - Dwelling Use	137,057 ft. <sup>2</sup>		
			Subtotal	393,435 ft. <sup>2</sup>		
			Retail Store (Block C)	3,961 ft. <sup>2</sup>		
			Total	397,396 ft. <sup>2</sup>		
Balconies	8% x 679,980 ft. <sup>2</sup> = 54,398 ft. <sup>2</sup> Enclosed 50% x 54,398 ft. <sup>2</sup> = 27,199 ft. <sup>2</sup>	-	Phase 1	Open 9,564 ft. <sup>2</sup>	Phase 1	Open 9,564 ft. <sup>2</sup>
					Phase 2	34,437 ft. <sup>2</sup>
					Total	44,001 ft. <sup>2</sup>
Amenity <sup>2</sup>	20,000 ft. <sup>2</sup>	-	Phase 1		Phase 2	
			Mansion	8,715 ft. <sup>2</sup>	Block D	1,856 ft. <sup>2</sup>
			Block C	2,815 ft. <sup>2</sup>	Block E	2,344 ft. <sup>2</sup>
			Total	11,530 ft. <sup>2</sup>	Block F	1,662 ft. <sup>2</sup>
					Block G	3,222 ft. <sup>2</sup>
					Subtotal	9,084 ft. <sup>2</sup>
					Phase 1	11,530 ft. <sup>2</sup>
					Total	20,614 ft. <sup>2</sup>
					Maximum	20,000 ft. <sup>2</sup>
					Overage	614 ft. <sup>2</sup>
Site Coverage	34% x 434,236 ft. <sup>2</sup> = 147,640 ft. <sup>2</sup>	-	Phase 1	30%	Phase 2	33%
			Mansion	10,061 ft. <sup>2</sup>	Block D	17,187 ft. <sup>2</sup>
			Coach House	4,130 ft. <sup>2</sup>	Block E	20,606 ft. <sup>2</sup>
			Gate House	1,564 ft. <sup>2</sup>	Block F	18,158 ft. <sup>2</sup>
			Block A	9,545 ft. <sup>2</sup>	Block G	27,588 ft. <sup>2</sup>

PROJECT INFORMATION*						
	PERMITTED (MAXIMUM)	REQUIRED	PHASE 1 - Lots 1 & 2 (existing)		PHASE 2 - Lot 4	
			Block B	6,507 ft. <sup>2</sup>	Subtotal	83,539 ft. <sup>2</sup>
			Block C	29,148 ft. <sup>2</sup>	Phase 1	60,955 ft. <sup>2</sup>
			Subtotal	60,955 ft. <sup>2</sup>	Total	144,494 ft. <sup>2</sup>
			Block 2 (existing)	16,110 ft. <sup>2</sup>		
			Block 3 (existing)	22,141 ft. <sup>2</sup>		
			Block 4 (existing)	22,190 ft. <sup>2</sup>		
			Block 6 (existing)	8,808 ft. <sup>2</sup>		
			Total	130,204 ft. <sup>2</sup>		
Height <sup>3</sup>	Phase 1	-	Phase 1		Phase 2	
	Block A	50 ft.	Block A	50.6 ft.	Block D	77.9 ft.
	Block B	50 ft.	Block B	48.1 ft.	Top of Guardrail	81.4 ft.
	Block C	80 ft.	Block C	67.4 ft.	Block E	69.9 ft.
	Phase 2		Mansion	existing	Block F	85.8 ft.
	Block D	80 ft.	Coach House	existing	Top of Guardrail	89.3 ft.
	Block E	70 ft.	Gate House	existing	Block G	69.3 ft.
	Block F	90 ft.			Top of Guardrail	72.8 ft.
	Block G	70 ft.				
Setbacks		30 ft., except existing buildings and portions of Block A building which does not face residential development	Block A facing residential	30.0 ft.	Block D (West 57 <sup>th</sup> Ave.)	33.2 ft.
			not facing residential	24.5 ft.	Block E (West 57 <sup>th</sup> Ave.)	33.2 ft.
			Block B	32.3 ft.	(Adera Street)	33.3 ft.
			Block C	39.2 ft.	Block F (Adera Street)	31.4/32.6 ft.
					Block G (Adera Street)	31.1/30.2 ft.
					(lane)	35.7/38.7 ft.
Horizontal Angle of Daylight <sup>4</sup>		50°/78.7 ft. or 2 angles with sum of 70°/78.7 ft.	Phase 1		Phase 2	
			Mansion - 1 <sup>st</sup> floor bedroom	50°/77.5 ft.	Block D - relaxations sought (refer to drawings A-BD-151, A-BD-152 & A-BD-153)	
			2 <sup>nd</sup> floor bedroom	25.5 ft.		
			Coach House-1 <sup>st</sup> floor liv./din.	70°/64.3 ft.	Block E - relaxations sought (refer to drawings A-BE-151, A-BE-152 & A-BE-153)	
			1 <sup>st</sup> floor living	70°/42 ft.		
			1 <sup>st</sup> floor family	20°/49.8 ft.		
			1 <sup>st</sup> floor family	21°/43.6 ft.		

PROJECT INFORMATION*				
	PERMITTED (MAXIMUM)	REQUIRED	PHASE 1 - Lots 1 & 2 (existing)	PHASE 2 - Lot 4
			Gate House - 1 <sup>st</sup> floor dining 43.2° 1 <sup>st</sup> floor fam. 22.5°/73.5 ft. 1 <sup>st</sup> floor kit. 30°/60 ft.  Block C - North L01-L06 bedroom 34.5° South L02 den 32.8° South L03-L05 bedroom 32.8 ft.	Block F - relaxations sought (refer to drawings A-BF-151, A-BF-152, A-BF-153 & A-BF-154  Block G - relaxations sought (refer to drawings A-BG-151, A-BG-152 & A-BG-153
Vertical Angle of Daylight	40 ft./45°	-	Block A Lane 55° Block C West 57 <sup>th</sup> Avenue 55° Granville Street 87°	Block D West 57 <sup>th</sup> Avenue 45° Block E West 57 <sup>th</sup> Avenue 45° Adera Street 34° Block F Adera Street 36° Block G Adera Street 14° Lane 28°
Parking		Lot 1  Residential Block A 36 Block B 18 Mansion 8 Coach House 4 Gate House <u>2</u> 68 Visitor (Lot 2) <u>7</u> Subtotal <u>75</u>  Lot 2  Residential Block C 133 Visitor 21 Retail Store Block C <u>4</u> Subtotal <u>158</u>  Total 75 + 158 = 233	Lot 1  Level P1 67 Level P2 49 at grade <u>2</u> Subtotal 118  Lot 2  Level P1 65 Retail Store 4 Level P2 <u>101</u> Subtotal 170  Total: 118 + 170 + = 288	Lot 4  Level P1 Standard 65 Small Car 6 Disability <u>6</u> Subtotal 77  Level P2 Standard 197 Small Car 49 Disability <u>10</u> Subtotal 256  Level P3 Standard 213 Small Car <u>68</u> Subtotal 281  Level P1 77 Level P2 256 Level P3 <u>281</u> Total 614

PROJECT INFORMATION*										
	PERMITTED (MAXIMUM)	REQUIRED			PHASE 1 - Lots 1 & 2 (existing)			PHASE 2 - Lot 4		
	Lots 1 & 2	Visitor		28	Visitor (Lot 2 - Level P1)		28			
		Car Share		6	Car Share (Lot 2 - Level P1)		6			
	Small Car	Disability	Lot 1	4	Small Car	Lot 1	19			
	Lot 1-118x25%=29.5		Lot 2	<u>8</u>		Lot 2	<u>50</u>			
	Lot 2-204x25%=51.0		Total	12		Total	69			
	Total 80.5	Lot 3	Park		Disability	Lot 1	5			
						Lot 2	<u>8</u>			
						Total	13			
		<b>Lot 4 (Phase II)</b>								
		Residential	Block D	92						
			Block E	94						
			Block F	94						
			Block G	<u>100</u>						
			Subtotal	380						
	Lot 4	Visitor		39				Visitor (3 disability) - P1/P2		41
	Small Car	Car Share		4				Car Share (Level P2)		4
	(614 + 41 + 4 + 659 x 25%)	Disability Spaces		16				Small Car	6 + 49 + 68 =	123
								Disability	6 + 10 =	16
Bicycle Parking <sup>5</sup>			Class A	Class B		Class A	Class B		Class A	Class B
		Residential	488	24	Lot 1 (Residential)	92	6	Residential	512	24
					Lot 2 (Retail + Resid.)	<u>267</u>	<u>12</u>			
					Total	359	18			
		Horizontal (50%)		244				Horizontal		416
		Vertical (30%)		146				Vertical		96
		Lockers (20%)		98				Lockers		104
		Electrical Outlet		244				Electrical Outlet		noted

PROJECT INFORMATION*										
	PERMITTED (MAXIMUM)	REQUIRED			PHASE 1 - Lots 1 & 2 (existing)			PHASE 2 - Lot 4		
		Phase 1	Class A	Class B		Class A	Class B		Class A	Class B
Loading		Retail	0	1	Retail Store	0	1	Residential	4	2
		Residential	<u>4</u>	<u>1</u>	Residential	<u>4</u>	<u>1</u>			
		Total	4	2	Total	4	2			
		<b>Phase 2</b>								
		Residential	4	2						
Storage	-	25 ft. <sup>2</sup> /unit 390 units x 25 ft. <sup>2</sup> = 9,750 ft. <sup>2</sup>			-			12,262 ft. <sup>2</sup>		
Unit Area <sup>6</sup>	-	398 ft. <sup>2</sup>			-			Block F 2 studio @ 395 ft. <sup>2</sup> 1 studio @ 374 ft. <sup>2</sup>  Block G 2 studio @ 395 ft. <sup>2</sup> 1 studio @ 374 ft. <sup>2</sup>		
Unit Type	-	-			-			Block D 1 bedroom 26 1 bedroom + den 19 2 bedroom 24 2 bedroom + den 12 3 bedroom 8 3 bedroom + den <u>6</u> Subtotal 95  Block E 1 bedroom 44 2 bedroom 20 2 bedroom + den 23 3 bedroom 2 3 bedroom + den <u>3</u> Subtotal 92		

PROJECT INFORMATION*				
	PERMITTED (MAXIMUM)	REQUIRED	PHASE 1 - Lots 1 & 2 (existing)	PHASE 2 - Lot 4
				Block F Studio 3 1 bedroom 41 1 bedroom + den 16 2 bedroom 9 2 bedroom + den 16 3 bedroom <u>14</u> Subtotal 99  Block G Studio 3 1 bedroom 36 1 bedroom + den 11 2 bedroom 31 2 bedroom + den 13 3 bedroom <u>10</u> Subtotal 104  Block D 95 Block E 92 Block F 99 Block G <u>104</u> Total 390
Acoustics	-	report required	report for Phase I only	work in progress (Phase II)

\*Project Information transferred/amended from FSR drawings date stamped June 26, 2013 and set of architectural drawings date stamped May 8, 2013.

<sup>1</sup>Note on FSR/Floor Area: Access stairs and mechanical rooms on the roof level must be included in the total FSR. Some storage lockers (in rooms) exceed the maximum of 40 ft.<sup>2</sup> for each unit. Noting that the proposed FSR/Floor Area is well below the maximum, Standard Condition A.1.4 seeks the addition of the roof stairs and mechanical rooms into the total FSR and clarification of the final layout or inclusion of those storage lockers in the FSR.

<sup>2</sup>Note on Amenity: Amenity has exceeded the maximum with the overage added into the FSR.

<sup>3</sup>Note on Height: Pursuant to Section 10.11.1 of the Zoning and Development By-law, the Director of Planning may allow a greater height above the maximum for guardrails, roof access stairs and mechanical penthouses. The proposed guardrail protrusion is created by guardrail facilitating the use and maintenance of the green roof. Staff supports this relaxation of the building height subject to the applicant's confirmation that the proposed green roof meets the minimum area requirements. Standard Condition A.1.22 addresses this requirement.

<sup>4</sup>**Note on Horizontal Angle of Daylight:** The Director of Planning or the Development Permit Board may relax the requirements regarding horizontal angle of daylight. Proposed building massing and unit configuration creates reasonable access to daylight and livable conditions. Since a requirement for a minimum 6.1 m of unobstructed view is also met Staff supports this relaxation.

<sup>5</sup>**Note on Bicycle Parking:** Layout of the Class A bicycle spaces/lockers is incomplete in several bicycle rooms. Standard Condition A.1.17 seeks compliance with the minimum required number of Class A bicycle spaces.

<sup>6</sup>**Note on Unit Area:** Standard Condition A.1.16 seeks compliance with the minimum unit floor area of 398 ft.<sup>2</sup>.

• **Legal Description**

Lot: BB  
Block: Ref Plan 808  
District Lot: 526

• **History of Application:**

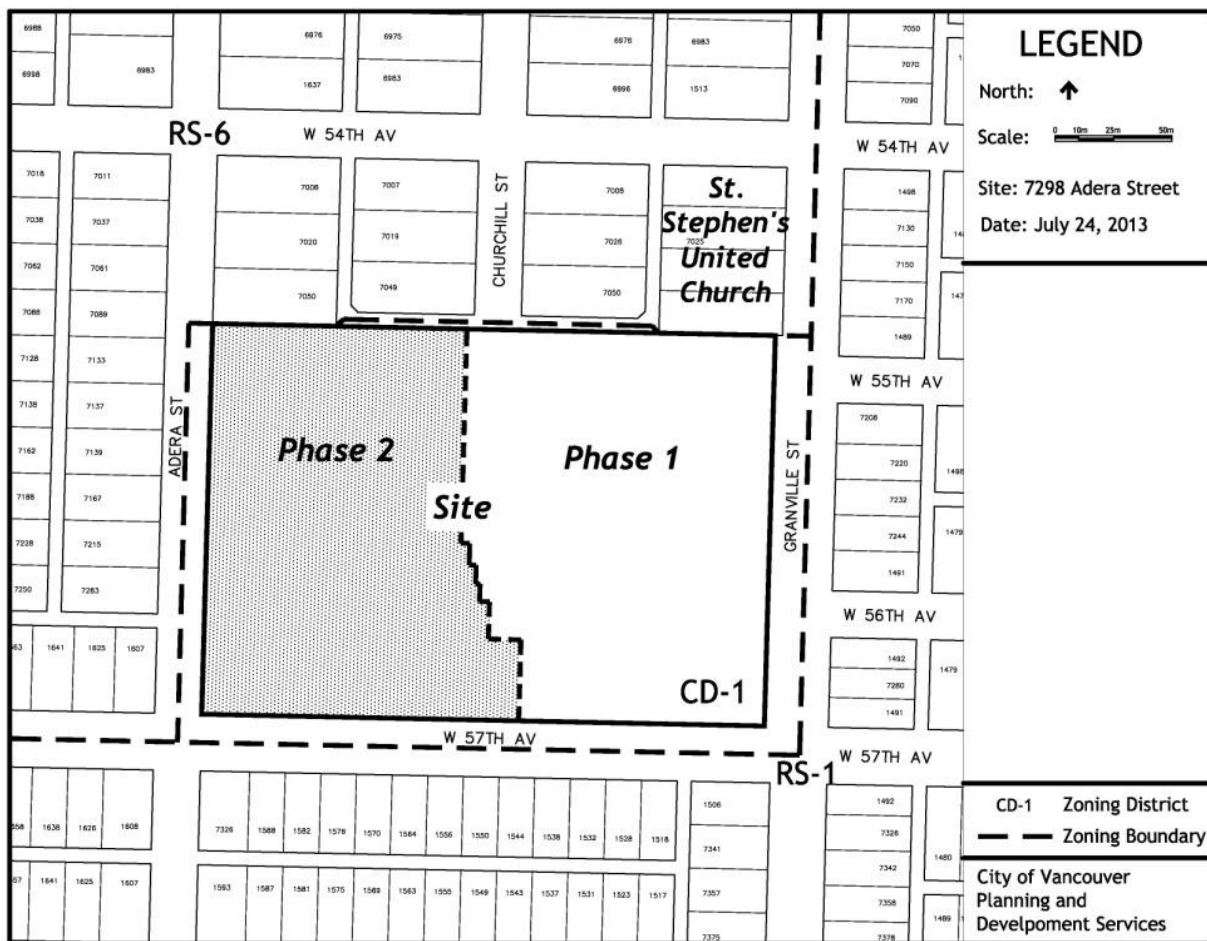
13 05 08 Complete DE submitted  
13 07 17 Urban Design Panel  
13 07 31 Development Permit Staff Committee

• **Site:** The site is located at the northwest corner of the intersection of Granville Street and West 57<sup>th</sup> Avenue in Kerrisdale. The site is bounded on the west by Adera Street. To the north of the property is a city lane. To the north and west of the site, the zoning is RS-6 (One-Family) District, which limits buildings to about 0.64 FSR, 10.7 m (35 ft.) in height and 40% site coverage. To the east and south, the zoning is RS-1 (One-Family) District, which limits buildings to about 0.64 FSR, 9.5 m (31 ft.) in height and 40% site coverage.

• **Context:** Significant adjacent development includes:

(a) St. Stephen's United Church

All other sites in the adjacent context are developed as single-family housing.





• **Background:**

This site was rezoned in July, 2011 from RS-6 (One-Family) District to CD-1 (Comprehensive Development) District to permit an increase in density from 0.60 FSR to 1.60 FSR, and to permit an increase in the maximum height permitted from 10.7 m (35 ft.) to 27.4 m (90 ft.). Rezoning enabled redevelopment of the property with approximately 735 residential units, including 202 rental units, in seven new buildings and three heritage buildings, and required the retention and restoration of the historic Shannon Mansion, Coach House, Gatehouse and perimeter wall, as well as creation of a new public park, restoration of the Italian Garden and recreation of the Rose Garden, and the retention of the stand of Copper Beech trees in the northwest portion of the site.

A development application for Phase 1 of the rezoned site, which included the applicant's response to a number of site-wide conditions, renovation of the heritage buildings, and new blocks A, B, and C, was approved by the Development Permit Board on July 16, 2012.

• **Applicable By-laws and Guidelines:**

- CD-1 (521) 7101 - 7201 Granville Street, amended July, 2012

The rezoning process established a number of principles for site development, a form of development approved in principle by Council, a regulatory by-law, and two sets of conditions of approval. The first set (starting at number 1 in the rezoning report) established site-wide conditions to be addressed at the time of submission of the first application, and addressed issues such as tree retention across the site. The second set (starting at number 19 in the rezoning report) established conditions to be addressed through the review of each development permit application.

• **Response to Applicable By-laws and Guidelines:**

The application generally meets the requirements of the CD-1 By-law that establishes the permitted uses, height, density and setback for the site, except as noted in the technical review. The overall form of development is also generally consistent with the form shown at rezoning.

The applicants have provided a response to the site-wide design conditions as they apply to Phase 2, which is attached as Appendix E. Staff recommended further work in some cases, as noted in the Appendix.

The following section provides a short description and further commentary on each of the four new buildings proposed in this application, Blocks D, E, F, and G.

Staff have also recommended conditions to reflect the advice of the Urban Design Panel. Concern regarding architectural expression of the buildings is addressed by Design Condition 1.6.

Block D

This eight storey block faces the new Shannon Green public park to its east, and West 57<sup>th</sup> Avenue to the south. To the west and north are Blocks E, F, and G. The tallest portion, located near the centre of the site, is eight storeys. While this portion of the site is less busy than the arterial of Granville Street, it also is somewhat more exposed visually due to the removal of trees along West 57<sup>th</sup> Avenue to accommodate two parkade entrances, the temporary driveway between Phase 1 and 2, and the new opening in the south wall for the public park. Further design development is therefore recommended to establish a consistent setback of upper levels, to the appearance of the upper levels, and to better express the three-storey portion (Conditions 1.2 a, 1.3 and 1.4 respectively). In response to a condition

of rezoning, which sought a definition of upper level setbacks, the application shows a range of setbacks that vary among drawings. Condition 1.2 generally recommends establishing a minimum setback for each of the three sides that face existing residences, increasing in size from the south to the north.

#### Block E

Block E extends to the corner of West 57<sup>th</sup> Avenue and Adera Street. To the north and east are Blocks F and G. The tallest portion, located on an interior courtyard, is seven storeys. With a similar context as Block D, similar conditions are recommended for Block E. This block contains the new parkade access for Phase 2, which may create some impacts to neighbours directly to the south. Condition 1.5 is recommended to explore measures to help mitigate these effects.

#### Block F

This block faces Adera Street to the west. To the north is the open space around a stand of retained Beech and Maple trees. The tallest portion, located to the south of the trees, is nine storeys. Screening of new buildings is relatively consistent along Adera Street, given the large street trees and the amount of retained wall and trees on site. Condition 1.2 b) is recommended to set a consistent setback from the edge for the upper levels.

#### Block G

Block G extends along the north property line with a low-rise form, with a taller portion rising to seven storeys approaching the retained Mansion. The low-rise form is the only building in Phase 2 without a lane or street intervening between its part of the site and a neighbouring property.

While the west portion of Block G represents the lowest amount of new massing facing toward existing residents, it is also the only portion with no intervening street or lane. Additional measures are therefore recommended to the exterior design, including landscaping, to mitigate overlook and reduce privacy concerns. Additional conditions are recommended to confirm information or better document the intended design in detail.

#### **Sustainability:**

This re-zoned site is subject to the Rezoning Policy for Greener Buildings. As a condition of rezoning, this development permit application was required to show a design that would achieve LEED® Gold, with a minimum of 3 optimize energy performance points, 1 water efficiency point and 1 storm water point. LEED® Gold requires at least 60 points. The application includes a LEED Scorecard indicating a total of 63 points, 2 water efficiency points, and 2 stormwater points. The condition also required the applicant to demonstrate how the project would achieve the target points. Staff recommend that the features needed to accomplish these points be more completely noted on the drawings in Standard Condition A.1.33.

This site is also subject to the Rezoning Policy for Greener Larger Sites. The policy is designed to achieve higher sustainability outcomes on large site development through the exploration and implementation of district and renewable energy opportunities, sustainable site design, green mobility and clean vehicle strategies, sustainable rainwater management, solid waste diversion strategies and strategies to achieve sustainable housing affordability and housing mix. The continuums of these rezoning objectives, as part of the detailed design are summarized below.

Sustainable Site Design: Typical approaches to site design, such as orienting buildings on an east-west axis, were explored and accepted through the rezoning process that established the overall form of development. Measures included limited building footprints to preserve open space for urban agriculture and other green planted areas; limits on building height to reduce the shadow cast onto these open spaces; an extensive green roof system; accessible urban agriculture throughout the site and on rooftops; and a Rainwater Management Plan. Staff support the response to this Larger Sites goal.

Green Mobility and Clean Vehicle Strategies: The public walkway system throughout the site will provide better overall pedestrian connections and permeability through the site, making it easier for pedestrians to connect to transit service on Granville Street. The applicant also proposed several car-share vehicles on-site which will provide residents with an alternative to owning a vehicle. Staff support the response to this Larger Sites goal.

Sustainable Rainwater Management: The application will include localized, drought tolerant plants in new landscape plantings, garden plots for urban agriculture, and cisterns to collect rainwater for re-use as irrigation water. A Phase 2 Sustainable Rainwater Management Plan was submitted confirming a system that achieves 90% Total Suspended Solids (TSS) removal and no increase in the runoff rate and volume from its pre-development condition. The plan is supportable by Staff pending minor clarification required by Standard Condition A.2.5.

Solid Waste Diversion Strategies: Phase 1 included a Solid Waste Diversion Strategy that proposed additional dedicated recycling space beyond the requirements within LEED guidelines including encouragement of source separation through the use of informative and educational signage, bench space for sorting of materials, and specified areas for other materials such as clothing, electronics, batteries and other hazardous materials that could be diverted from the waste stream. Phase 2 has not provided confirmation of the same type of measures to meet the projected rates of waste diversion of 80% during construction and 75% consumer diversion on an ongoing basis. Standard Condition A.2.6 requires the applicant to provide confirmation through a Phase 2 Solid Waste Diversion Strategy.

District and renewable energy Opportunities: The applicant has provided a District Energy Prefeasibility Study, followed by a Final District Energy Feasibility Study in support of the development permit application. Staff support the response to this Larger Sites goal.

• **Conclusion:**

Staff feel the applicants have responded to the requirements of this Phase and support the proposed application, subject to the conditions contained in this report.

**URBAN DESIGN PANEL**

The Urban Design Panel reviewed this application on July 17, 2013, and provided the following comments:

**EVALUATION: SUPPORT (7-0)**

- **Introduction:** Agatha Malczyk, Development Planner, introduced the proposal for a development that will include 390 residential units that range from studios to units with two or more bedrooms. Since the units may be suitable for families, the High Density Housing for Families with Children Guidelines will apply to the project. As a result, the proposal includes a variety of outdoor amenity spaces with room for children's play. The areas programmed for quiet activities will be located at grade and on the roof. As well there are indoor amenity spaces in each building. Ms. Malczyk

explained the guiding principles for the project that was set out during the rezoning process. She noted that there are four new buildings with heights from seven to nine storeys. She described the unique challenges that were presented in designing these blocks. Regarding the landscaping, Ms. Malczyk mentioned that the retention of the Copper Beeches was important. She added that the site coverage is lower in Phase 1 to preserve the garden-like nature of the original estate and higher in Phase 2.

Advice from the Panel on this application is sought on the following:

1. Have the previous comments of the UDP been addressed in this application, where some of the items discussed included:
  - a. Distribution of forms and density
  - b. Sensitive transition at street, response to the edge conditions and reduction in the blockiness of massing
  - c. Scale and expression of the project in relation to the heritage aspect of the site
2. The character and context facing each side of the site changes from lanes to arterial streets to quiet private properties. Are the landscapes, building materials and details identified for each part of the site appropriately and well-resolved responses to these different site adjacencies?
3. The applicant team was asked as a condition of rezoning to identify a site-wide strategy that would visually blend new, taller buildings into the landscape at the perimeter. Examples given included architectural treatments such as green walls and special cladding. Is the implementation shown effective in addressing this goal?
4. Do the sustainable design features on the drawings and model show a focus on passive design, rather than mechanical or other powered systems?
5. Are the interior and exterior residential amenity spaces proposed for the project sufficiently resolved and adequate for the proposal?

Ms. Malczyk took questions from the Panel.

- **Applicant's Introductory Comments:** David Dove, Architect, further described the proposal using a power point presentation. He noted that it is a large site as it is ten acres and with no streets running through the site. As a result the buildings are rather long. He mentioned that they wanted to maintain the garden-like nature of the site and introduce a new park for the community as well as visual access to the existing heritage mansion. He described the architecture noting that most of the buildings have a four-storey datum with the upper portion setback to provide terracing. He said they struggled with how to differentiate the look of the buildings. They have four different façade treatments. On West 57<sup>th</sup> Avenue and Adera Street there are townhomes with a three or four-storey shoulder. The bulk of the building massing is at the center of the site with three buildings that will have penthouse roof decks and comprise the bulk of the mass at the center of the site. Mr. Dove described the colour and material palette. He added that they are achieving LEED® Gold with a district utility and other sustainable measures. He noted that the window to wall ratio will be around 35% to help with the energy performance.

Jane Durante, Landscape Architect, described the landscaping plans and gave a background on how the landscape plans came about. She noted that the mystery of the gardens will be balanced with visual access. She added that they started with the premises of having as much garden as possible on the site. The ten acre site will have around seven acres of garden which is an amazing opportunity for a lush environment. Ms. Durante mentioned that there is a lot of public access to the site as well as private areas. There is a lighting strategy to make for a comfortable walk around the site at night. The three golden beeches are about 70 years and will have a large hole in the parking garage for them. There are four areas planned for children's play on the roof decks as well as urban agriculture.

The applicant team took questions from the Panel.

- **Panel's Consensus on Key Aspects Needing Improvement:**
  - Design development to Block F to move it further away from the Cooper Beech trees;
  - Design development to create variety in the building expression;
  - Design development to improve the colour palette;
  - Design development to improve the site lines from Adera Street through to the existing mansion;
  - Design development to improve sunlight access into the south courtyard.
- **Related Commentary:** The Panel supported the proposal and respected the complexity of the project and the design team's efforts.

The Panel thought there was some design development needed to improve the project. Some Panel members thought the early versions in Phase 1 were more articulated and varied in their materiality and did not seem as repetitive. The Panel however did like the townhouses on the street with the darker masonry. A couple of Panel members thought Block F was far too close to the Copper Beeches making for a difficult interface and suggested moving it further to the south.

A number of Panel members thought there was an institutional look to the project and that the white colour dominated. They suggested the applicant look at Phase 1 and make the buildings a little darker using the white as an accent. As well they thought the three building seemed to have a lapse in sophistication in the details and were overly simplistic. One Panel member suggested adding a little more height in the middle of the site.

The Panel felt there was a good transition from the site to the street and was the most successful area of the project. As well they thought the neighbourhood interface was well done. One Panel member noted that the open space along West 57<sup>th</sup> Avenue was generous.

The Panel liked the roof top access with the copper screens with one Panel member suggesting they could reappear on more of the building facades.

The Panel thought there needed to be a major commitment to the landscaping so that people would be able to see glimpses into the gardens. As well they wanted the development to be gently placed in the gardens. To make the landscaping more successful the Panel suggested adding more mature trees on the site.

One Panel member noted that tree protection during construction was going to be very important. Several Panel members were concerned with saving the Copper Beeches. As well another Panel member noted that the view from Adera Street through Beech Park to the existing mansion was hampered by the Block F and there was some concern regarding the amount of sunlight in the south courtyard.

The Panel supported the sustainability strategy with one Panel member noting that the approach worked on the different facades with passive design features. As well they thought it was refreshing to see a 35% window to wall ratio and that the district energy and solar hot water were good examples of a successfully sustainable site.

- **Applicant's Response:** Mr. Dove thanked the Panel and said he appreciated their comments. He added that the buildings are meant to be background buildings. He noted that the resolution of the townhomes and the white buildings have been resolved to the same level although there is more texture to the townhomes. He said they were meant to be modern buildings and that the client had

asked for white buildings on a park. Mr. Dove mentioned that they had worked hard to achieve a balance of simple, clean buildings in a beautiful garden setting.

## **ENGINEERING SERVICES**

The Development Permit application for Phase 2 of Shannon Estate introduces the addition of four buildings including underground parking. Of particular importance is the requirement for free circulation for all residential vehicles to all access points in both phases of development (both driveways on West 57<sup>th</sup> Avenue and one on Granville Street). This will ensure a more efficient distribution of trips, less traffic on local streets and provides alternatives where required. Standard Condition A.2.1. and A.2.2 requires the interconnection of parking between all buildings within all phases of development.

The recommendations of Engineering Services are contained in the prior-to conditions noted in Appendix A attached to this report.

## **CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)**

Generally, the design is in conformance with best practices to deter crime through building and landscape design that allows good visual supervision and avoids hidden covered areas. Staff seek provision of the strategy identifying particular risks and clarification of the features related to theft, mischief and vandalism. This concern is addressed by Standard Condition A.1.32.

## **HERITAGE PLANNING**

The Development Permit application for Phase 2 of Shannon Estate includes the following heritage components: the perimeter wall, which encompasses the entire site, and three Copper Beech trees located in the northwest quadrant of the site. The entire perimeter wall around the site was protected in 1972 as part of the original heritage designation. A heritage conservation plan for the entire site was submitted as part of the Development Permit application materials for Phase 1. This included a Heritage Conservation Plan for the wall including a condition assessment, retention plan, conservation strategy, repair procedures and details for new wall openings, where required. With respect to the portions of the designated wall that are part of Phase 2, the rezoning application contemplated the need to allow new openings in the wall, particularly along West 57<sup>th</sup> Avenue and Adera Street to accommodate access to townhouse units and a relocated parking entrance on West 57<sup>th</sup> Avenue. Alterations to the wall, as proposed in the Phase 2 Development Permit application, are generally consistent with the rezoning application. The proposed changes are consistent with the Heritage Conservation Plan and are therefore supported by heritage staff. Alterations to the designated perimeter wall will require issuance of a Heritage Alteration Permit. The Copper Beech trees, designated as a part of the most recent rezoning at this site, are being retained and will form one of the feature garden spaces on the site.

## **SOCIAL DEVELOPMENT**

### **High Density Housing for Families with Children Guidelines**

The proposed development includes 390 units, of which 191 units have 2 or more bedrooms. Since 48.9% of the units may be suitable for families, the High Density Housing for Families with Children Guidelines apply.

### *Outdoor Amenity Space*

Consistent with these guidelines, the planned development includes a variety of outdoor amenity spaces with many natural elements that provide ample active play opportunities.

The north edge of "The Beeches" common outdoor space includes an expanse of lawn and a children's play area with balancing logs, boulders and play hut offering an array of play activity. Three other outdoor common spaces; "The Fragrant Garden", "The Reading Room", and "The Games Garden", (the latter with long tables and chessboard cubes encouraging group activity) also provide a range of outdoor recreational opportunities.

The rooftop amenity areas on Blocks D, E, F and G provide further soft surface spaces (e.g. lawns, sandboxes) suitable for children's play activity. The adjacent Shannon Green Public Park also provides play space for the residents of the development.

### *Indoor Amenity Space*

Design development is needed to all of the proposed indoor amenity spaces to improve their multi-functionality, and their relationship with outdoor amenity spaces. Consideration should be given to relocating them and/or improving their connectivity (both visually and physically) to outdoor amenity spaces, either at grade or next to rooftop outdoor spaces. To improve multi-functionality, design development is needed to each of the proposed amenity rooms in Blocks D, E, F, and G, to include a kitchenette, storage closet, and an accessible washroom with baby change table (see Condition 1.8).

### **Urban Agriculture in the Private Realm**

The City of Vancouver Food Policy identifies environmental and social benefits associated with urban agriculture and seeks to encourage opportunities to grow food in the city. The "Urban Agriculture Guidelines for the Private Realm" encourages edible landscaping and shared gardening opportunities in private developments.

The proposed development incorporates fruit trees at ground level located along both public and private paths. Areas suitable for urban agriculture activity are proposed for the rooftops of each of Blocks D, E, F, and G, generally including most of the necessary infrastructure: accessible garden plots, hosebibs /irrigation, tool storage, potting benches, and compost bins (see Standard Condition A.1.34)

### **PARK BOARD**

The overall proposed development includes tree protection of significant trees, public walkways through the precinct, restoration of heritage gardens, and the creation of new private green courtyards in addition to a public park that will be delivered in two phases. The park design as shown in the Phase 1 development permit application has evolved into a cooperative process including proponent and Park Board staff; it features typical neighbourhood park amenities like walking paths, seating areas, rich vegetation and children's play. A concept plan for this park was approved by the Park Board and the park will be built by the applicant in keeping with the approved concept plan and the Park Agreement. The first phase of the park will be completed in time for occupancy of the first residential building as per the Rezoning Enactment Conditions established by City Council.

## NOTIFICATION

On June 5, 2013, 1691 notification postcards were sent to neighbouring property owners advising them of the application, and offering additional information on the city's website and inviting individuals to attend the Open House on June 17, 2013.

There were 11 responses received, the comments summarized below:

- *Privacy concerns resulting from the overlook from the balconies on the north elevation of Building G onto single-family properties*
- *Disagree with building heights, buildings should be a maximum of four-storeys*
- *Connectivity of underground parking is important*
- *Request a traffic light at the Granville Street exit*
- *To mitigate eastbound congestion on West 57<sup>th</sup> Avenue, southbound traffic from Shannon Mews should be restricted to use the Granville Street exit*
- *Disagree with vehicle access to parking on Granville Street and West 57<sup>th</sup> Avenue, suggest it should be from Adera Street.*
- *Adera Street should be resident only parking on the single family side*
- *Request neighbours are notified in advance of trees removed during Phase 2*
- *Request the developer provide measures to mitigate traffic, lights and loss of privacy on properties across from the underground parking access*
- *Concern underground parking will cause new underground streams*

An Open House was held on June 17, 2013 from 5:00pm to 8:00pm at St. Stephen's United Church.

Twenty-nine (29) people signed in for the Open House and 5 comment sheets were received and summarized below:

- *Very thoughtful proposal*
- *Building G is too high and may interfere with privacy of single-family dwellings*
- *More thought could be given to overlook onto adjacent single-family properties*
- *The south extremity of both Blocks D and E, including any "townhome" protrusions should not extend past the southern extremity of Block C and should be situated even further from the property line as trees have been removed*
- *Both Blocks D and E facing West 57<sup>th</sup> Avenue should imitate Blocks F and G facing Adera Street, starting at three storeys with only two-storey protrusions*
- *Request a greater degree of terracing on Blocks D and E and additional ways to provide a "screen" between the new buildings and the residences across West 57<sup>th</sup> Avenue i.e modifying balconies so they are sufficient to accommodate significant greenery*
- *Request tall trees be planted in front of both Blocks D and E on the Shannon Mews site*
- *Request the City plant trees that will grow to 40 ft. with a large canopy on the city boulevard on West 57<sup>th</sup> Avenue to replace the small ones which are presently there*
- *Adera Street is too narrow for parking on both sides of the street*
- *Request for the City to monitor traffic along West 57<sup>th</sup> Avenue, Churchill Street, Marguerite Street, Angus Street and West and East Boulevard*
- *The existing access and egress is not adequate, allow more vehicle entries and exits*
- *Vehicle access to all exits and entrances in the underground parking is essential*
- *Request no light trespass beyond the site*
- *Request the developer reimburse expenses up to \$3,500 per household along West 57<sup>th</sup> Avenue and Granville Street to screen from headlights of vehicles exiting the site*
- *Oppose the walking path opening to Churchill Street as it will make Churchill Street busier*



- *Request a legal agreement that all water courses unearthed or diverted through excavation work be properly culverted to empty into storm sewers. Require a fund for water damage to neighbouring households from new construction at Shannon Mews.*
- *Request City inspection reports be published relating to any water courses unearthed or diverted during excavation*

## STAFF RESPONSE

The height of buildings across the site is consistent with the form of development approved in principle by Council. Further work on the exterior design, including the building façades and landscaping, is recommended in Condition 1.1 to improve the privacy of residents.

The setbacks provided for Blocks D and E at West 57<sup>th</sup> Avenue are larger than the 29'-10" required by the CD-1 By-Law. Lower portions of the buildings are generally set back by 38'-2", except for some two to three-storey bays that are set back 33'-2". The setbacks at upper portions of the buildings increase from 50 feet at the fifth storey to about 70 feet at the seventh storeys as viewed from West 57<sup>th</sup> Avenue. The setback and vertical angle of daylight of each Block in Phase 2 also meet the CD-1 By-Law. These measures will provide for the terracing of the upper building massing away from West 57<sup>th</sup> Avenue.

The upper levels of the new buildings will also be screened, in part, by existing and replacement trees on the site and on the City boulevard. This includes a number of mature trees along the property line. Standard Conditions A.1.23 to A.1.26 are intended to secure the planting of new trees and retain existing trees on and off the site.

The parkade entrance cannot be screened by trees, and neighbours have concerns about the effects of headlights as vehicles emerge from the parkade. Condition 1.5 recommends design development to address this. Other forms of light extending beyond the site are addressed in Standard Condition A.1.9.

Increased pedestrian access to the site, including to Churchill Street, was a noted feature at rezoning and staff remain supportive of this goal.

Vehicle access points were a considerable point of contention through the rezoning review process, with various perspectives depending on the location of the respondent. Staff feel that access points approved in principle by Council represent the best management of the various objectives around this site. Through the rezoning process, staff also secured the funding to signalize the Granville Street entrance, should it be required with the site build-out.

A report by a geotechnical engineer will be required at the time of building permit for Phase 2 excavation works and will address drainage and any adverse impacts to groundwater pursuant to the Vancouver Building By-law. The Sewers and Watercourse By-law (No. 8093) also prohibits any impacts to a watercourse.

**DEVELOPMENT PERMIT STAFF COMMITTEE COMMENTS:**

The Staff Committee has considered the approval sought by this application and concluded that with respect to the Zoning and Development By-law it requires decisions by both the Development Permit Board and the Director of Planning.

With respect to the decision by the Development Permit Board, the application requires the Development Permit Board to exercise discretionary authority as delegated to the Board by Council.

It requires that the Board exercise its authority for the additional height pursuant to Section 10.11.1 of the Zoning and Development By-law and to relax horizontal angle of daylight requirements pursuant to Section 10.6 of the CD-1 (521) By-law.

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J. Greer  
Chair, Development Permit Staff Committee

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S. Black, Architect AIBC  
Development Planner

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B. Mah  
Project Coordinator

Project Facilitator: L. King

## DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATIONS

The following is a list of conditions that must also be met prior to issuance of the Development Permit.

### A.1 Standard Conditions

A.1.1 provision of plans, elevations, sections and enlarged drawings for each access point in Phase 2, coordinated between landscape and architectural drawings, to show how the design integrates walls, lamps, maps, gates, signs, landscaping, buildings and other features noted in the application to support the appropriate condition:

- a) a welcoming and open public entry point on Adera Street;
- b) reinforcement of the historical perimeter screen; and
- c) demarcation of private property within the site;

**Note to Applicant:** In particular, show edge conditions such as gates and paths that cross over property lines or through the perimeter wall. Include section drawings at  $\frac{1}{4}'' = 1'-0''$  or better, and detailed drawings at  $\frac{1}{2}'' = 1'-0''$  scale or better. Gates intended to provide public access should be signed accordingly, and wall openings should be at least six feet to ensure a visually open character. See also Landscape Conditions.

A.1.2 provision of interpretive material and designs that will inform residents and visitors about the retained and restored features across the site, especially those of historical and social significance;

**Note to Applicant:** The interpretive system described in Phase 1 should be implemented in detail in the response to this condition. Historical features should be located on the maps provided for the public, along with the location of other features such public urban agriculture, public pathways, gates, sustainable design features, car share vehicles, main building entries, and visitor parking. Consider providing additional information through online or other electronic media to supplement conventional installations.

A.1.3 provision of an updated table of gross floor areas for Phase 2, before exclusions and after responding to the conditions of approval, confirming that this application does not exceed the sizes shown at rezoning;

A.1.4 verification of the proposed total FSR;

**Note to Applicant:** Access stairs to roof decks and mechanical penthouses must be added to the total FSR. Where storage is provided above base surface, the maximum storage area to be excluded from FSR is 25 sq. ft. per unit. Storage lockers in some of the storage rooms exceed this limit and need to be added to the total FSR. Clarify all storage rooms/lockers located above and below base surface.

Submit a revised set of color-coded FSR drawings, sealed and signed, with updated data that reflects the project. All summaries and statistics are to be included in the sealed and signed architectural set of drawings.

A.1.5 description of those site features provided in fulfillment of the second Guiding Principle established by Council for this site beyond those required by city-wide rezoning policies;

**Note to Applicant:** This can be accomplished in table form, noting each built feature in a row, with columns to indicate whether the measure:

- is required to meet green building policy for rezoning, including total points
  - is required to meet the rezoning policy for large sites, such as district energy
  - is required by another condition of this rezoning, such as tree planting, or whether it
-

- establishes a best practice for large sites

Where this information indicates a missed opportunity in Phase 2, additional measures may be recommended. Rezoning condition 6 provides additional information.

A.1.6 provision of a legend on the site plan, landscape plans and floor plans locating and naming the built features noted in each category in the response to Standard Condition A.1.5;

A.1.7 provision of an updated shadow study for Block G, including retained stone walls, extending to nearby properties;

**Note to Applicant:** Intent is to confirm that shadow impact is at or below rezoning levels.

A.1.8 notation on the drawings of the exterior treatments and landscaping intended to reduce overlook and improve privacy between residential buildings on the site;

**Note to Applicant:** This can be accomplished through raised sill heights, obscuring glass at windows and guard rails, and planters at the perimeter of decks and patios. Design should preserve natural light.

A.1.9 notation on the drawings that all exterior and common area lamps are to be full cut-off fixtures, and provision of a design to ensure that there is no light trespass beyond the site;

**Note to Applicant:** Intent is to avoid light pollution and glare to neighbouring properties.

A.1.10 provision of enlarged details at 1/2" = 1'-0" or better for all significant building details visible from the Public Realm, such as soffits, canopies, railings, trim, and material transitions;

A.1.11 labeling of the 20% of dwelling units that are designed to SAFER Homes standards;

**Note to Applicant:** See rezoning condition 7 for more information.

A.1.12 provision of an acoustic and visual enclosure for district energy equipment;

**Note to Applicant:** Intent is to avoid impacts to the residential neighbours, above and beyond the minimum requirements of the Noise Control By-law. Pumps and motors in particular should be located below grade and acoustically isolated to account for the quiet environment around Phase 2.

A.1.13 design development to locate, integrate and fully screen any emergency generator, exhaust or intake ventilation, electrical substation and gas meters in a manner that minimizes their visual and acoustic impacts on the building's open space and the Public Realm;

A.1.14 an acoustical consultant's report shall be submitted which assesses noise impacts on the site and recommends noise mitigation measures in order to achieve noise criteria;

A.1.15 written confirmation shall be submitted by the applicant that:

- a) the acoustical measures will be incorporated into the final design and construction, based on the consultant's recommendations;
- b) adequate and effective acoustic separation will be provided between the commercial and residential portions of the building; and
- c) mechanical (ventilators, generators, compactors and exhaust systems) will be designed and located to minimize the noise impact on the neighbourhood and to comply with Noise By-law #6555;

A.1.16 compliance with Section 10.21.2 (Dwelling Units) of the Zoning and Development By-law;

**Note to Applicant:** The minimum floor area of all dwelling units is 398 ft.<sup>2</sup>, measured from the inside of all outer walls of the unit and excluding storage rooms.

A.1.17 compliance with Section 6 (Off-Street Bicycle Space Regulations) of the Parking By-law;

**Note to Applicant:** Layout of the bicycle spaces in the bicycle rooms are required to confirm that the number of required bicycle spaces has been met and provided.

A.1.18 detailed and fully dimensioned floor plans, including storage rooms and open balconies;

**Note to Applicant:** Clarify the den spaces in the townhouses (drawing A-BD-101) and the sliding door from the storage room to the balcony (drawing A-BD-102 and A-BD-103) in Block D. Balconies, patios and terraces (roof decks) should be clearly labeled. Some room labels are reversed (i.e., drawing A-BD-104). Provide larger parking plans with separate summaries of the number and types of parking spaces, bicycle spaces and loading spaces for each level. Clarify the use of all amenity spaces. Fonts should be of a sufficient size and weight for legibility. Provide a layout of the lockers (maximum 25 ft.<sup>2</sup> per unit located above base surface for exclusion from FSR) in all common storage rooms and bicycle spaces, including the number and types, in all common bicycle rooms. Provide details of vertical bicycle lockers.

A.1.19 consistency between the grades on drawings A-051 and A-052 (Block D), A-053 (Block E), A-054 (Block F) and A-055 (Block G) for base surface and height calculations, actual angles (in addition to the maximum inclining angle of 45°) on the vertical angle of daylight diagrams (A-070 to A-074), including setbacks of the buildings from the property lines (consistent with the setbacks shown on the site plan), and clarification of the building protrusion above the height limit line on the east-west section (drawing A-BF-350) of Block F;

**Note to Applicant:** Clarify the setback of Block E from Adera Street on the site plan (drawing A-041).

A.1.20 clarification of the boundary line between Phase 1 and Phase 2 adjacent to Block D (drawing A-052), elevations of the top of parapet wall, roof guardrail, stair enclosure and mechanical penthouse on the building elevations and sections for Blocks D, E, F and G;

**Note to Applicant:** The boundary line on drawing A-052 should match the boundary line on drawing A-041.

A.1.21 details and locations of all privacy screens on the plans and elevations, and details of the solar panels;

A.1.22 provision of the detailed roof plans for Block D and Block G to clarify the green roof coverage;

**Note to Applicant:** The permitted height may be relaxed to accommodate built features that support access to and infrastructure for green roofs, such as guard rails. A minimum roof coverage of 25% intensive green roof or 50% extensive green roof (or some combination thereof) is required to qualify for this relaxation. Alternatively, the proposed height must be reduced to the dimensions noted in the by-law.

### Standard Landscape Conditions

A.1.23 resolution of street tree information along West 57<sup>th</sup> Avenue, as coordinated with the Park Board and referenced on the Plant List as street trees;

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**Note to Applicant:** Small plum trees to be complemented or replaced by larger growing deciduous trees, with minimum 10 cm. callipers at the time of planting. New proposed street trees should be noted "Final species, quantity and spacing to the approval of the City Engineering and Park Board". Contact Ms. Eileen Curran (604.871.6131), Engineering Service Streets Division, regarding street tree spacing and quantity. Contact Mr. Amit Gandha (604.257.8587), Park Board, regarding street tree species.

A.1.24 provision of letter of assurance for arborist site supervision during construction activities to ensure safety of protected trees and methods of protection, stating that the arborist has been engaged for this purpose. The letter should specify construction activities which require arborist supervision and time period required for notification of arborist by the contractor. The letter to be signed and dated by all three: owner, contractor and arborist;

A.1.25 provision of dimensions for tree protection barriers, confirming clear dimensioned distances from tree trunks as required by arborist;

A.1.26 provision of a letter of assurance for additional off-site trees for tree count adjustment, including specific locations, tree names, sizes and quantities;

**Note to Applicant:** coordination with Park Board will be required to determine locations and species of trees.

A.1.27 provision of sectional details to further illustrate all proposed landscape elements;

**Note to Applicant:** The sections should be at a minimum of ¼"-1'0" scale and should illustrate materials and dimensions for planters on building structures, benches, fences, gates, arbours and trellises, posts and walls and water features.

A.1.28 provision of additional information shown on dimensioned and labeled sections, showing depth of soil, including the structure under planters and tree/plant rootballs to scale;

**Note to Applicant:** Depth of soil for trees over parking structure to be confirmed at 3 ft. Sections for urban agriculture to confirm growing medium.

A.1.29 provision of notations to specify play equipment type and materials for each children's play area;

A.1.30 provision of confirmed trenching locations for utility connections, coordination with Engineering Services for utility hook-up locations to avoid conflict with tree barriers and approval of site access blockage; and confirmed approval by Park Board for method of street tree protection;

A.1.31 arrangements shall be made, to the satisfaction of the General Manager of Planning and Development Services and Director of Legal Services, for a statutory right of way for public access over the "Beeches" area;

**Note to Applicant:** The intent of this space is to be publically accessible and should be designed to meet accessibility needs.

#### Crime Prevention Through Environmental Design (CPTED)

A.1.32 notation on the drawings of those built features that responds to CPTED principles, especially with regard to:

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- a) theft in the underground parking;
- b) residential break and enter;
- c) mail theft; and
- d) mischief in alcoves and vandalism, such as graffiti;

**Note to Applicant:** As with any large development, the applicant must consider and design against uncommon but potential risks such as break and enter to property or vehicles, mail theft, the perceived safety of underground parking areas, mischief and vandalism. Provide a strategy that identifies the particular risks that may arise on this site and notes the specific features to mitigate them.

### Sustainability

- A.1.33 identification on the plans and elevations of the built elements contributing to each building's achievement of LEED® Gold, including at least three optimize energy performance points, one water efficiency point, and one storm water point; a LEED checklist confirming the requisite points; and a detailed written description of how the above-noted points have been achieved with reference to specific building features in the development;

**Note to Applicant:** All three items are to be part of the drawing set. Refer to the rezoning policy for green building and associated bulletins regarding work required at future permit stages. Each credit associated with a built feature should be located on the drawings, with a sheet reference noted in the scorecard.

### Social Development

- A.1.34 design development to plans to the urban agriculture on Level 7 Block E to include compost bins, and on Level 9 of Block D to include a tool storage closet or chest;
- A.1.35 provision of the tenant notification protocol outlined in section 3 of the "Rate of Change Guidelines for Certain RM, FM and CD-1 Zoning Districts";

**Note to Applicant:** The issuance of a building permit for demolition of the existing buildings located on Phase 2 will be held until the tenant notification protocol for the residents currently living in these buildings noted above is provided.

### Park Board of Parks and Recreation

- A.1.36 arrangements shall be made, to the satisfaction of the General Manager of Parks and Recreation and the Director of Legal Services, for an easement for pedestrian access on the public path on the parklands on the east side of the townhouses in Block D.

### A.2 Standard Engineering Conditions

- A.2.1 Arrangements to be made to the satisfaction of the General Manager of Engineering Services and Director of Legal Services for the interconnection of the parking for Blocks D, E, F, and G, including all previous Blocks A, B, and C of the Phase 1 development, and to provide unfettered and direct access to all driveways and security gates for all residential vehicles to both West 57<sup>th</sup> Avenue and Granville Street;

**Note to Applicant:** Confirmation is required that the proposed Blocks D, E, F, and G are contemplated within the legal agreement already considered for the Phase 1 development.

---

- A.2.2 provision of a complete parking layout for Phase 1 and Phase 2 at 1/32" -0" scale to show the interconnection of the parking areas and access to both West 57<sup>th</sup> Avenue driveway crossings and to Granville Street;
- A.2.3 deletion of the midblock bulge on West 57<sup>th</sup> Avenue and the eastbound lane markings and arrows on West 57<sup>th</sup> Avenue at Granville Street as shown on the site plan (drawing A-041);
- A.2.4 provision of an improved plan showing the design elevations on both sides of the ramp at all breakpoints to be able to calculate slopes and cross falls;

**Note to Applicant:** Provide elevations on sections drawings. The improved plan should also show maneuvering for the largest trucks accessing the two Class B loading spaces on P2, to and from West 57<sup>th</sup> Avenue. Drawing A103 is missing elevations at the top of the ramp and design elevations for the ramp should be provided to the property line. Provide hatching on the P2 level showing where 3.8 m (12.5 ft.) of vertical clearance is being provided. Consider relocating one Class B loading space to improve overall access for the site.

- A.2.5 provision of a Sustainable Rainwater Management Plan that utilizes sustainable strategies to allow for infiltration, retention, treatment and utilization of rainwater where applicable and appropriate on site;

**Note to Applicant:** Confirmation of the storm water discharge location and reference to lots 3 and 4 is required. Technical information of the system is supported.

- A.2.6 provision of a Solid Waste Diversion Strategy that addresses waste diversion in all solid waste generating activities within the complex;

**Note to Applicant:** The Strategy must identify/provide space, infrastructure and an operational approach to divert organics and recyclables from the waste stream, and minimize the vehicle trips required for collection, to the satisfaction of the General Manager of Engineering Services, and prior to Development Permit issuance the completion of any agreements required by this Strategy on terms and conditions acceptable to the General Manager of Engineering Services and Director of Legal Services. Phase 1 has an approved Solid Waste Diversion Strategy. Confirmation of similar measures would be supportable.

- A.2.7 provision of letters of credit, pursuant to the Public Access Agreement (BB4028110-13), unless such letters of credit have already been provided to the City by the date of commencement of construction of any Phase 2 works;

**Note to Applicant:** Public Access Agreement (BB4028110-13) requires delivery of letters of credit to the City by the earlier of the date of commencement of construction of any Phase 2 works or the date of issuance of the first development permit for a Phase 2 building. Furthermore, pursuant to Services Agreement (BB4028104-07), there is a requirement to deliver to the City the Traffic Works letter of credit by not later than the date on which the first occupancy permit is issued for a Phase 2 building.

- A.2.8 arrangements shall be made, to the satisfaction of the General Manager of Engineering Services and Director of Legal Services, for a crossing application;

**Note to Applicant:** The design and location of all crossings are required, to the satisfaction of the General Manager of Engineering Services;

- A.2.9 arrangements shall be made, to the satisfaction of the General Manager of Engineering Services and Director of Legal Services, for the subdivision of lot BB to create the development site.
-



A.2.10 arrangements to the satisfaction of the General Manager of Engineering Services and the Director of Legal Services for any existing & proposed encroachments onto City property; and

Note: Clarification is required whether the existing masonry perimeter wall and proposed siamese connections are encroaching onto City property, as illustrated on the landscape drawings. An application to the City Surveyor is required for any encroachments.

**A.3 Standard Licenses & Inspections (Environmental Protection Branch) Conditions:**

A.3.1 a qualified environmental consultant must be available to identify, characterize and appropriately manage any environmental media that may be contaminated and may be encountered during subsurface work at the site.

**Note to applicant:** In the event, contamination of any environmental media are encountered the following will be required:

- a Notice of Commencement of Independent Remediation must be submitted to the Ministry of Environment and a copy to the City of Vancouver;
  - upon completion of remediation, a Notification of Completion of Independent Remediation must be submitted to the Ministry of Environment and a copy to the City of Vancouver; and
  - dewatering activities during remediation will require a Waste Discharge Permit. Submit a copy of the completion of remediation report signed by an Approved Professional stating the lands have been remediated to the applicable land use.
-

**B.1 Standard Notes to Applicant**

- B.1.1 It should be noted that if conditions 1.0 and 2.0 have not been complied with on or before **(February 26, 2014)**, this Development Application shall be deemed to be refused, unless the date for compliance is first extended by the Director of Planning.
- B.1.2 This approval is subject to any change in the Official Development Plan and the Zoning and Development By-law or other regulations affecting the development that occurs before the permit is issuable. No permit that contravenes the bylaw or regulations can be issued.
- B.1.3 Revised drawings will not be accepted unless they fulfill all conditions noted above. Further, written explanation describing point-by-point how conditions have been met, must accompany revised drawings. An appointment should be made with the Project Facilitator when the revised drawings are ready for submission.
- B.1.4 A new development application will be required for any significant changes other than those required by the above-noted conditions.
- B.1.5 Pursuant to Section 10.12.2 of the Zoning and Development By-law, where development necessitates the demolition of existing residential rental accommodation, no development permit shall be issued for the demolition unless and until a development permit for the new development has been issued.
- The development permit for the new development shall not be issued unless and until all building permits for the new development and a building permit for the demolition are issuable.
- B.1.6 All work on Lot 3 is governed by a Park Agreement between Wall Financial Corporation and the City of Vancouver. Any details for construction of works in Lot 3 illustrated in this application are conceptual only as the design approvals and construction processes for the public parkland, including the park sign, are outlined in the Park Agreement and subject to Park Board review and acceptance.
- B.1.7 The official name for the public park will be determined in the future by the elected Park Board. Any name given to the public park is considered for reference purposes only.
- B.1.8 No staging of construction may occur on Lot 3.
- B.1.9 Please contact David Yurkovich, Landscape Designer, Park Board prior to construction start. David must be invited to the start-up meeting. David's telephone number is 604-257-6932.
- B.1.10 Tree protection is required on all trees to be retained, including trees in parkland adjacent to construction.
- B.1.11 Notwithstanding compliance with the foregoing condition no. 1.0, A.1, A.2 and A.3, this Development Permit cannot be issued until City Council has first approved the form of development.
- B.1.12 This approval does not in any way constitute a representation or warranty that the necessary approval of the form of development will be granted by Council. All proceedings by the applicant prior to action by Council are therefore at his/her own risk.
-

**B.2 Conditions of Development Permit:**

- B.2.1 All approved off-street vehicle parking, loading and unloading spaces, and bicycle parking spaces shall be provided in accordance with the relevant requirements of the Parking By-law prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.
- B.2.2 All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.
- B.2.3 All approved street trees shall be planted in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good condition.
- B.2.4 All services, including telephone, television cables and electricity, shall be completely underground.
- B.2.5 Amenity spaces of 9,086 ft.<sup>2</sup>, excluded from the computation of floor space ratio, shall not be put to any other use, except as described in the approved application for the exclusion. Access and availability of the use of all amenity facilities located in this project shall be made to all residents and occupants of the building;
- AND
- Further, the amenity spaces and facilities approved as part of this Development Permit shall be provided and thereafter be permanently maintained for use by residents and users of this building complex.
- B.2.6 Any phasing of the development, other than that specifically approved, that results in an interruption of continuous construction to completion of the development, will require application to amend the development to determine the interim treatment of the incomplete portions of the site to ensure that the phased development functions are as set out in the approved plans, all to the satisfaction of the Director of Planning.
- B.2.7 The issuance of this permit does not warrant compliance with the relevant provisions of the Provincial Health and Community Care and Assisted Living Acts. The owner is responsible for obtaining any approvals required under the Health Acts. For more information on required approvals and how to obtain these, please contact Vancouver Coastal Health at 604-675-3800 or visit their offices located on the 12<sup>th</sup> floor of 601 West Broadway. Should compliance with the Health Acts necessitate changes to this permit and/or approved plans, the owner is responsible for obtaining approval for the changes prior to commencement of any work under this permit. Additional fees may be required to change the plans.
- B.2.8 This site is affected by a Development Cost Levy By-law and levies will be required to be paid prior to issuance of Building Permits.

**Engineering - NEU Comments**

The following comments have been provided by the Neighbourhood Energy Utility Projects (Engineering) and have identified requirements of the Rezoning Approval by Council at Public Hearing on July 26, 2011, that will need to be satisfied as part of the Building Application process.

---

Prior to issuance of the Building Permit:

1. Detailed design of the Renewable Energy System, including low-carbon energy sources and any conventional heating and cooling infrastructure required to meet base load and peaking/backup energy demands, must be submitted to and approved by the General Manager of Engineering Services prior to issuance of building permit. Such as system shall supply at least 70% of annual heating requirements of the development through low-carbon sources(s) and reduce greenhouse gas emissions by at least 50% over a business as usual approach to heating and cooling.
2. Make arrangements, to the satisfaction of the General Manager of Engineering Services, for confirmation that the Renewable Energy System meets the required detailed design provisions. Such arrangements may include but are not limited to completion and certification by the design engineer of record, at the time of building permit application, of the City of Vancouver Confirmation of Low Carbon Energy System Detailed Design Requirements letter of assurance.
3. A proposed energy system Performance Monitoring and Reporting Plan shall be submitted at the time of building permit application and approved by the General Manager of Engineering Services prior to release of building permit. The Plan shall detail how system performance data will be collected and analyzed for the purpose of evaluating short- and long-term system performance, system efficiency, energy consumption, building energy demand, and opportunities for optimization of system operation and efficiency, and shall include a cost estimate for completion of all required monitoring and reporting works. The applicant shall refer to the City of Vancouver Performance Monitoring and Reporting Requirements for Renewable Energy Systems for further instructions on performance monitoring and reporting.

Prior to Issuance of Occupancy Permit:

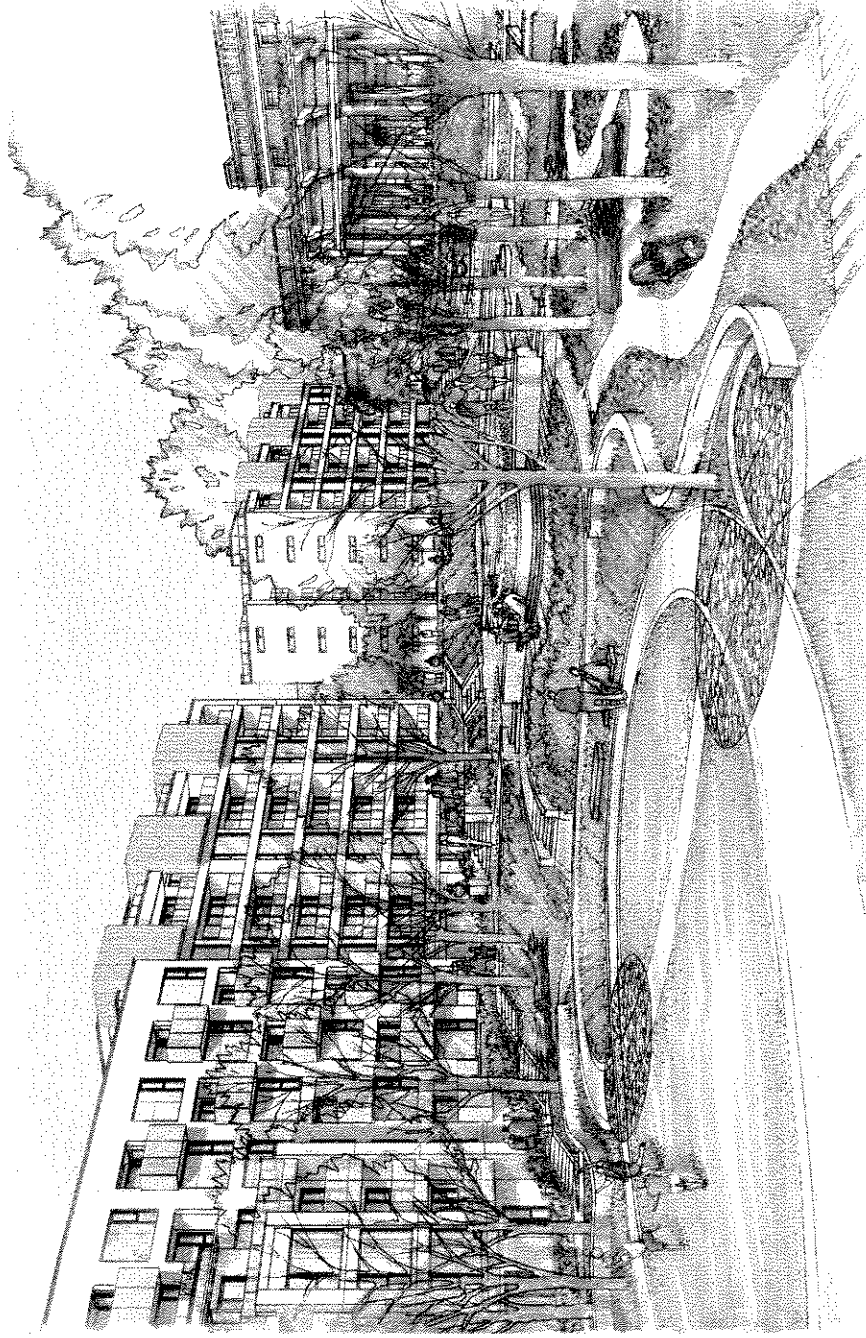
1. Complete copies of all mechanical commissioning and testing reports shall be provided prior to issuance of occupancy permit, where energy system commissioning shall be completed under the supervision of a qualified registered professional. The ground loop portion of the Renewable Energy System, where applicable, shall be commissioned by a certified registered professional with expertise in the commissioning and inspection of closed-loop geexchange systems.
  2. For each building for which the owner is required to apply for an occupancy permit, the owner will include in its application a Confirmation of Low Carbon Energy System Design, Installation, and Commissioning Requirements letter of assurance, signed by the registered professional who is responsible for the design of the building mechanical system, stating that the building mechanical system is in compliance with the approved building permit application and the requirements of the Renewable Energy System, and that the building mechanical system is or will be fully capable of operating in accordance with the agreed-upon design and performance parameters.
-

**P E R K I N S  
+ W I L L**

**SHANNON ESTATE PHASE II**  
WALL FINANCIAL CORPORATION  
7101-7201 Granville Street  
Vancouver, BC

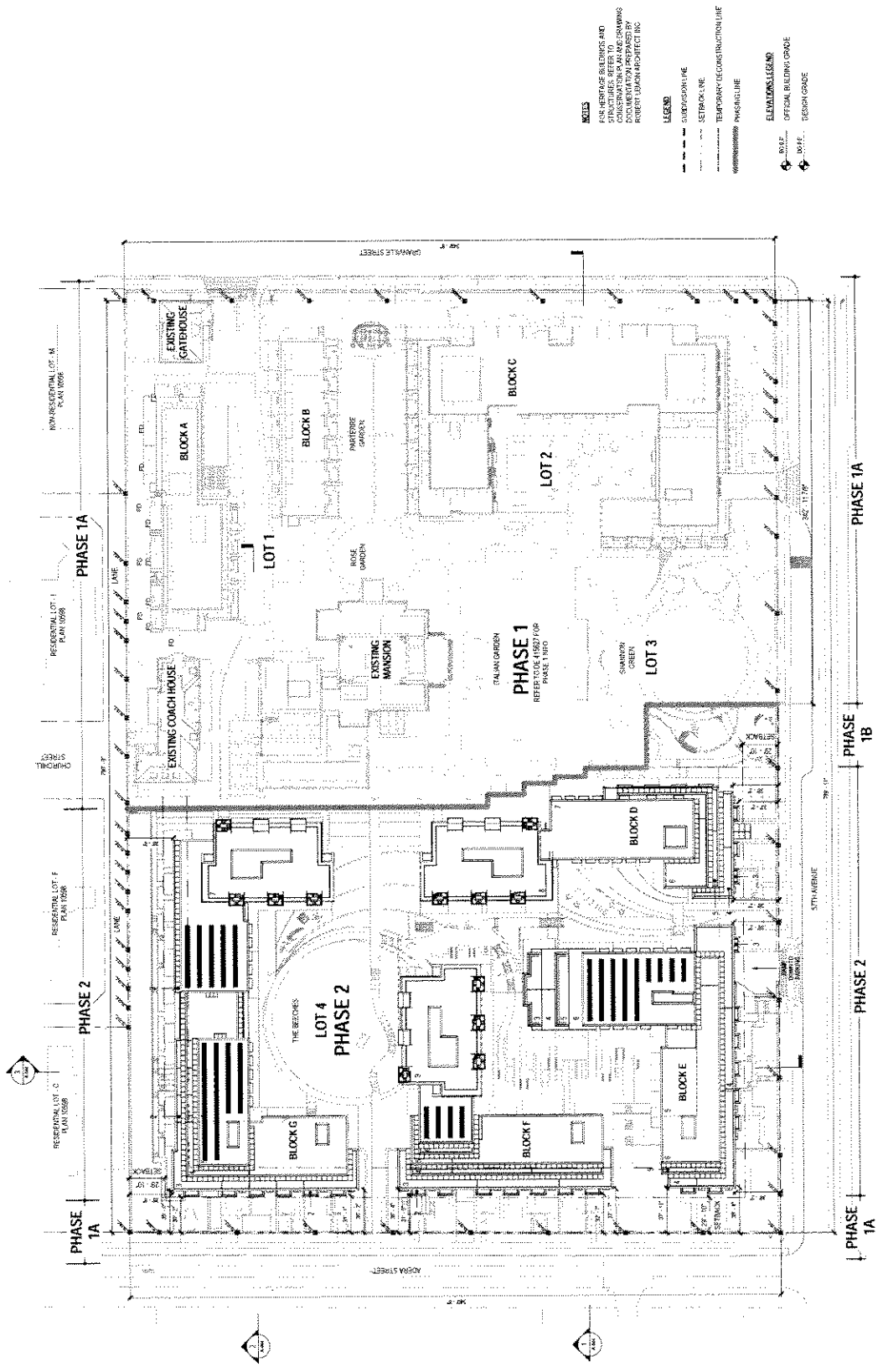
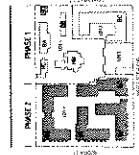
**DEVELOPMENT PERMIT SET**

2013-05-08



+ 71 [www.perkinswill.ca](http://www.perkinswill.ca)



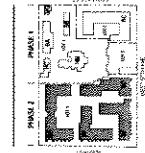


- NOTES**
- FOR HERITAGE BUILDINGS AND STRUCTURES REFER TO DRAWINGS DOCUMENTATION PREPARED BY ROBERT UDAN ARCHITECT INC.
- LEGEND**
- SUBSTRUCTURE
  - - - - - SETBACK LINE
  - ..... TEMPORARY GEODESIC STRUCTURE LINE
  - ~~~~~ PHASE BOUNDARY
- ELEVATIONS (FEET)**
- RF - OFFICIAL BUILDING GRADE
  - DF - DESIGN GRADE

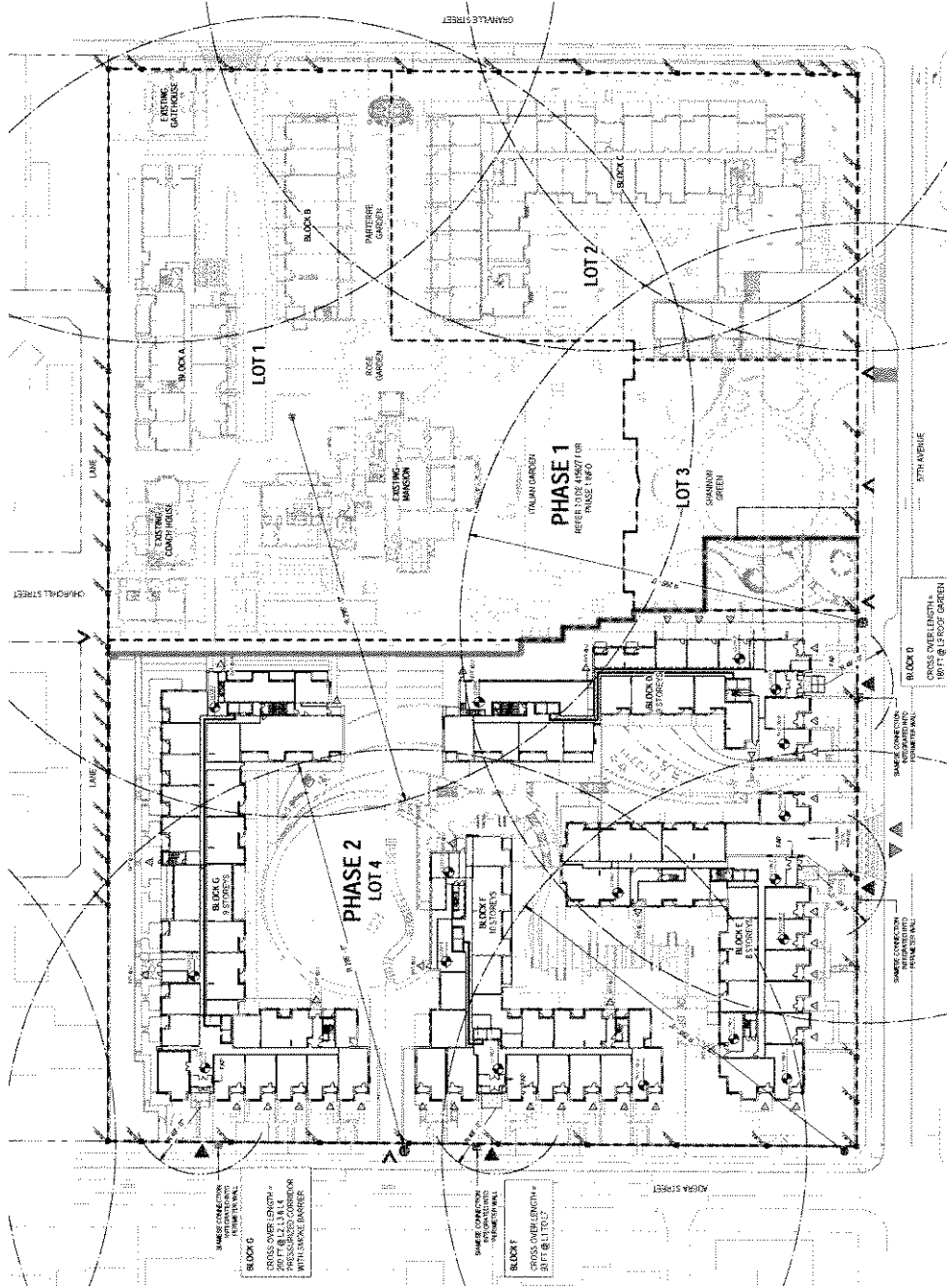


1 SITE PLAN  
11'-0" x 42'-0"

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- NOTES**
- 1. FOR FIRE FIGHTING AND EVACUATION PLAN AND DRAWING DOCUMENTATION, REFER TO THE ARCHITECT'S DOCUMENTS PREPARED BY ROBERT LEONARD ARCHITECT INC.
- LEGEND**
- ▲ PARKING ACCESS
  - ▲ PUBLIC ACCESS (OF PERIMETER WALL OPENING)
  - ▲ BUILDING ENTRANCE
  - ▲ TOWNHOME ENTRANCE
  - ▲ BUILDING EXIT
  - ▲ EXISTING FIRE HYDRANT
  - NEW FIRE HYDRANT
  - SIMPSE CONNECTION
  - PAVING LINE
  - TEMPORARY PHASE SUBDIVISION LINE
  - SUBDIVISION LINE
  - TEMPORARY DECONSTRUCTION LINE
  - PATH OF TRAVEL @ CROSS-OVER FLOWS



1 PLAN - FIRE FIGHTING ACCESS  
1" = 40'



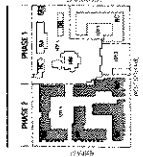
Appendix C: page 4 of 143





NOTES

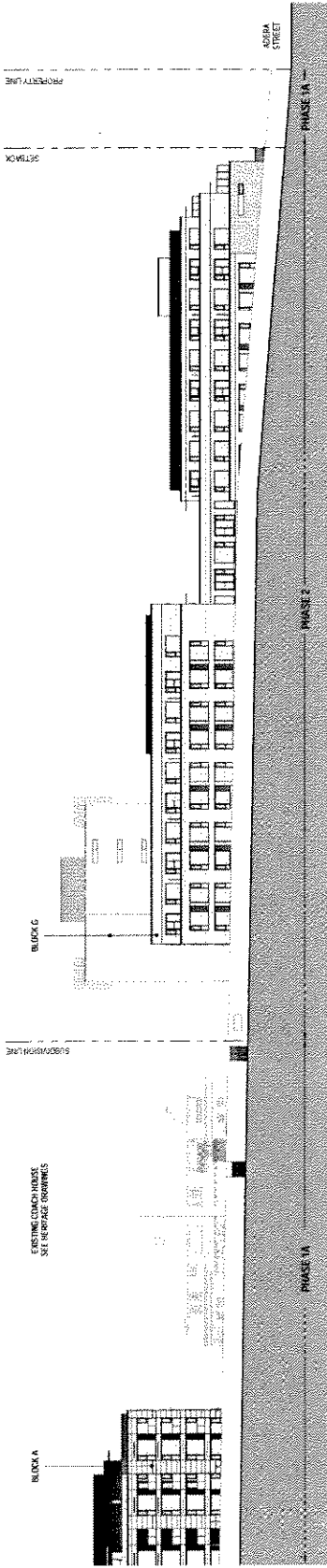
FOR HERITAGE HISTORICAL CONSULTANT REVIEW OF THE PROPOSED WALL FINANCIAL CORPORATION AND DRAWING LEAD BY ARCHITECT LEAD BY ARCHITECT



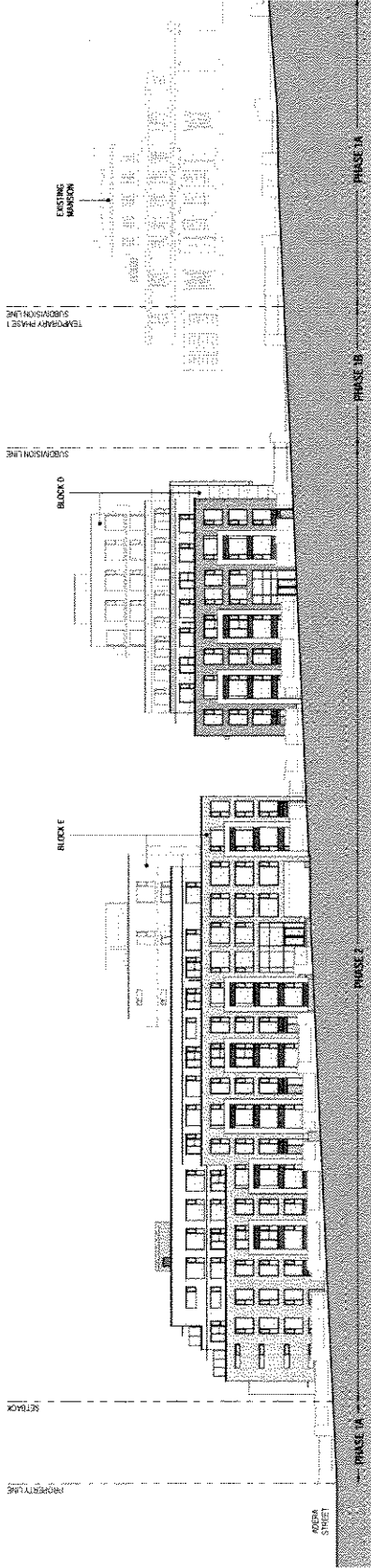
SHANNON ESTATE  
PHASE II  
710-7207 Charlotte Street  
Vancouver, BC

STREET ELEVATIONS

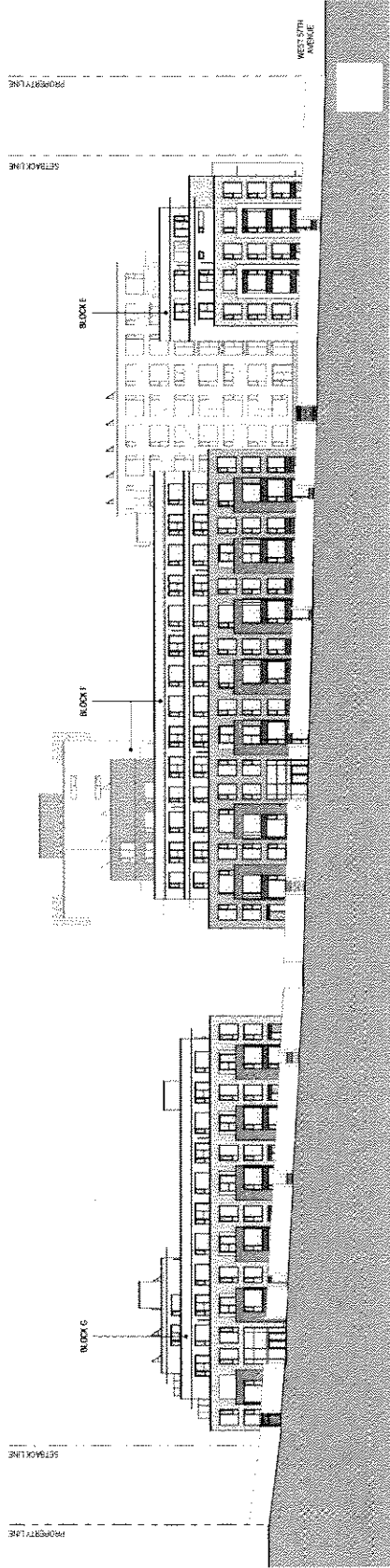
A-043



3 ELEVATION - NORTH  
1" = 20'

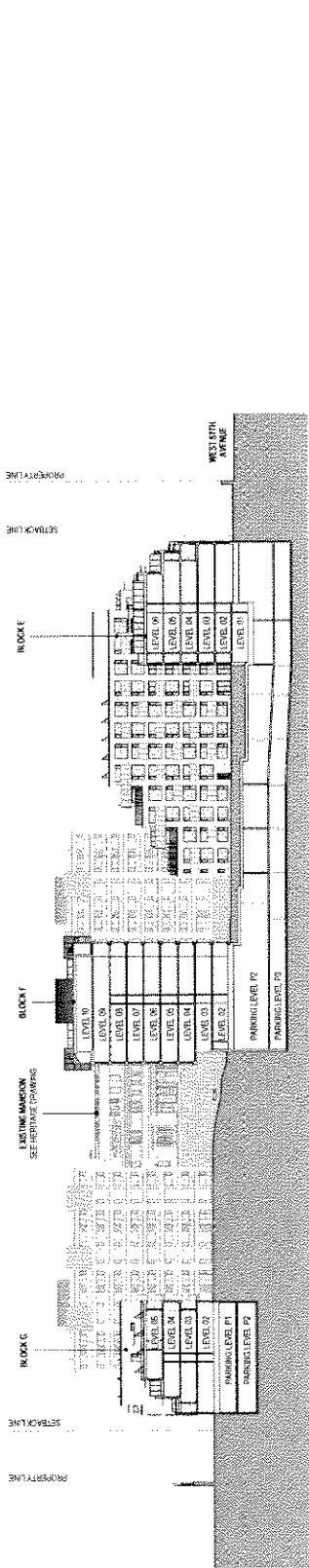


2 ELEVATION - WEST 5TH AVE  
1" = 20'

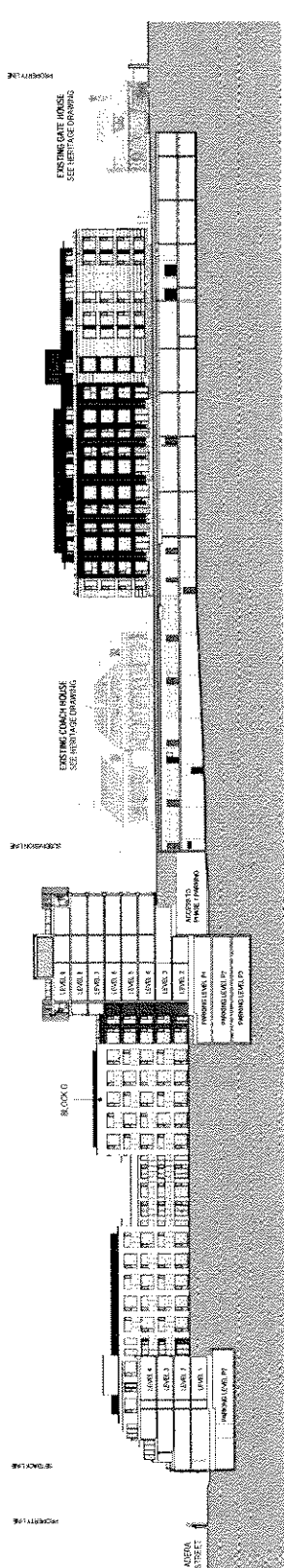


1 ELEVATION - ADERA STREET  
1" = 20'

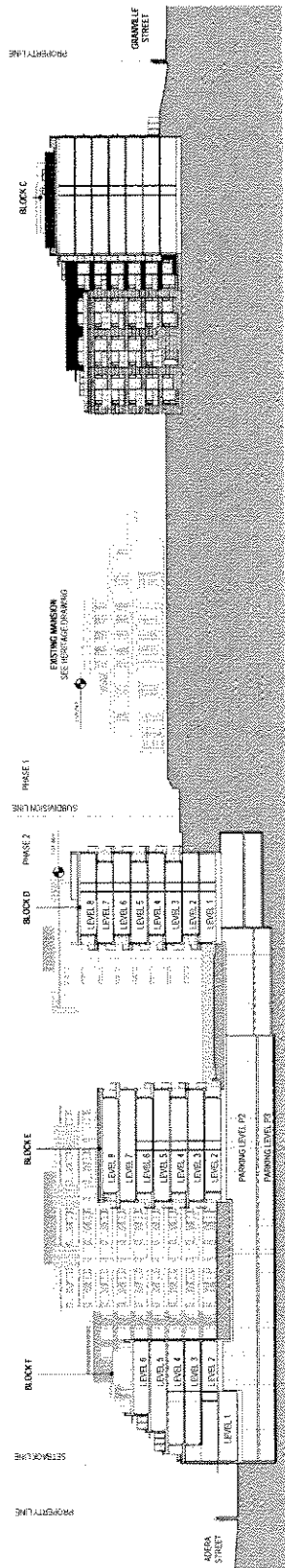
Appendix C page 5 of 143



③ SECTION NORTH TO SOUTH - VIEW EAST  
1" = 32'

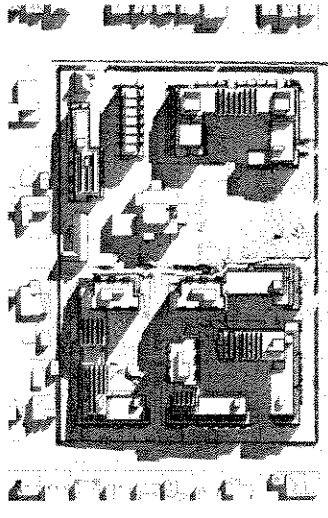


② SECTION EAST TO WEST - BLOCK G COACH HOUSE  
1" = 32'

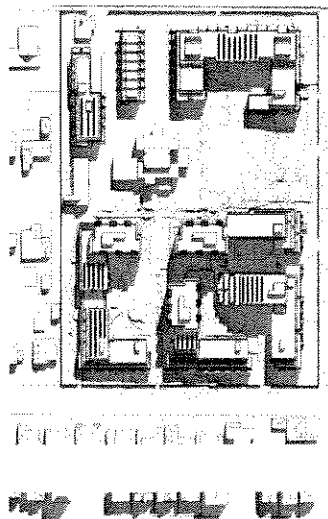


① SECTION EAST TO WEST - VIEW OF MANSION  
1" = 32'

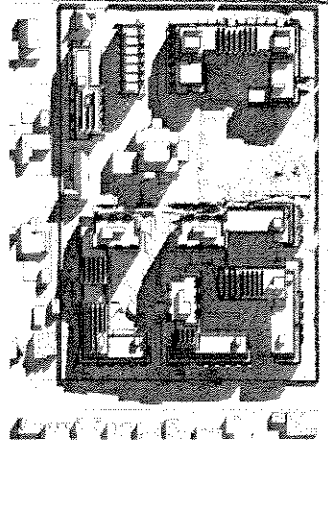
Appendix C; page 6 of 143



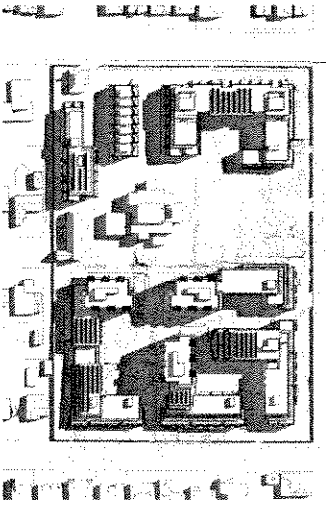
7 SHADOW ANALYSIS - SEPT 21 10AM  
P. 1.1007



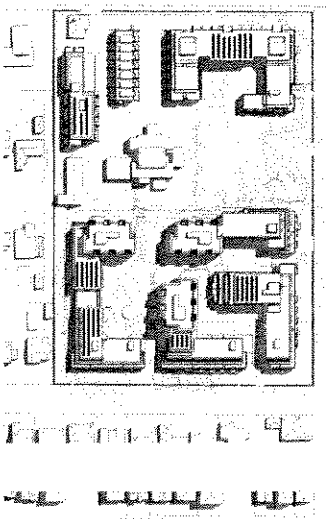
8 SHADOW ANALYSIS - JUNE 21 10 AM  
P. 1.1007



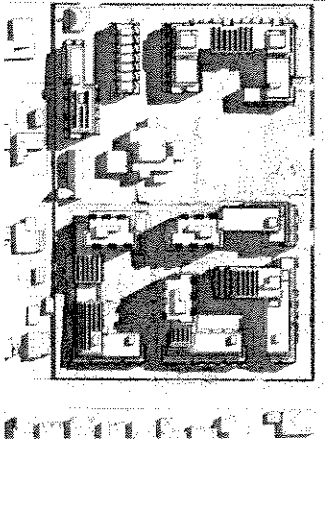
9 SHADOW ANALYSIS - MAR 21 10 AM  
P. 1.1007



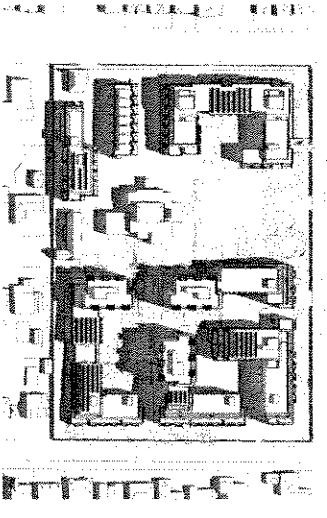
4 SHADOW ANALYSIS - SEPT 21 12 NOON  
P. 1.1007



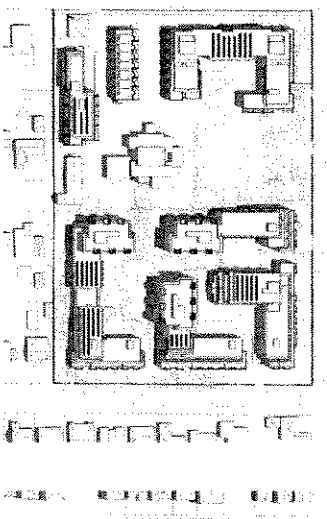
5 SHADOW ANALYSIS - JUNE 21 12 NOON  
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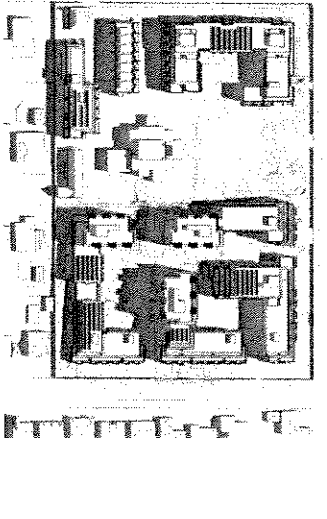
6 SHADOW ANALYSIS - MAR 21 12 NOON  
P. 1.1007



1 SHADOW ANALYSIS - SEPT 21 2 PM  
P. 1.1007



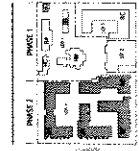
2 SHADOW ANALYSIS - JUNE 21 2PM  
P. 1.1007



3 SHADOW ANALYSIS - MAR 21 2 PM  
P. 1.1007

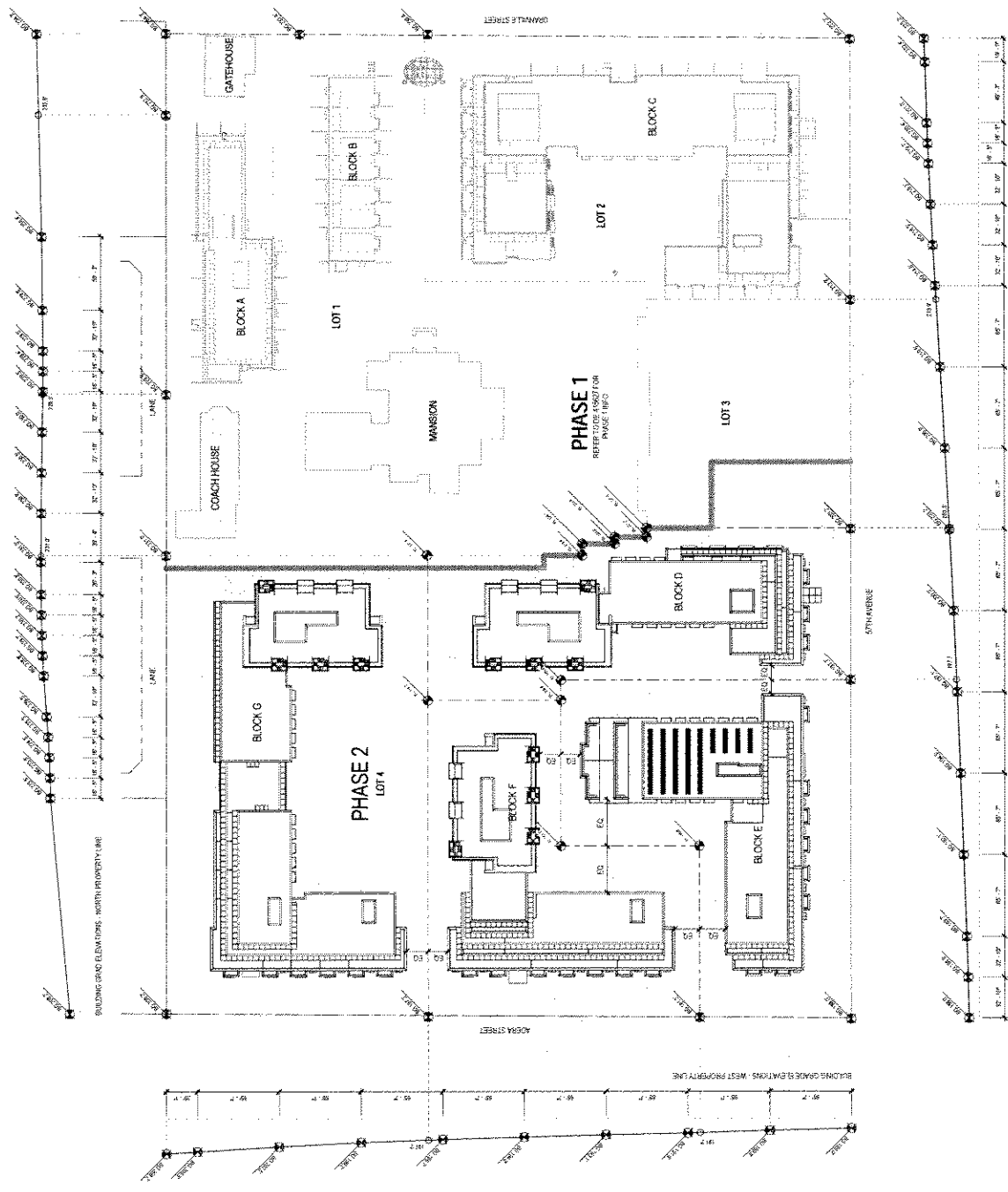
Appendix C, page 7 of 43





**NOTES**  
1. IN RESPONSE TO THE SIZE AND COMPLEXITY OF THE SITE, THE PROPOSED BASE SURFACE BOUNDARY FOR EXISTING AND PROPOSED BUILDINGS AT PROPERTY LINES AND EXISTING CHANGES AT THE POINTS BETWEEN PROPOSED BUILDINGS.

- LEGEND**
- OPTION BUILDING CHANGE (SEE A-050)
  - EXISTING BUILDING
  - EXISTING GRASS
  - SUBDIVISION LINE
  - PHASING LINE
  - SETBACK LINE
  - BASE SURFACE BOUNDARY

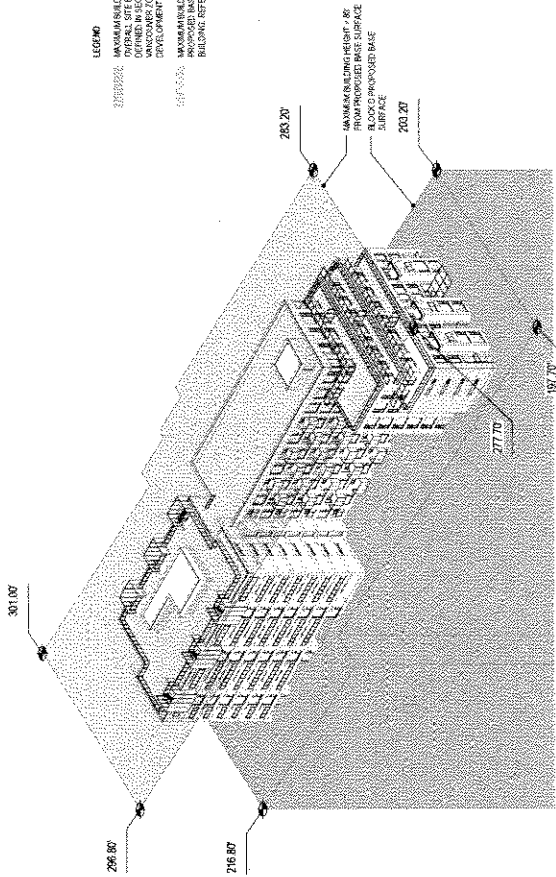


**1 PROPOSED BASE SURFACE BOUNDARIES (BY BLOCK)**  
1" = 40'

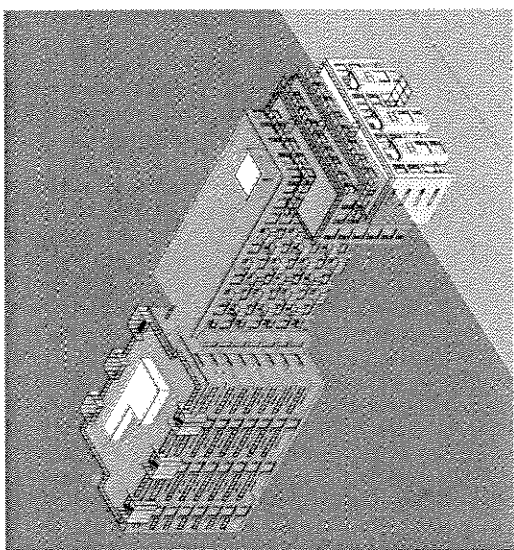
Appendix C: page 9 of 143



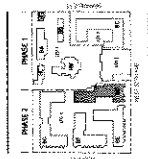
**LEGEND**  
 33339226: MAXIMUM BUILDING HEIGHT FROM  
 OVERALL SITE BASE SURFACE AS  
 DEFINED BY SECTION 2 OF CITY OF  
 CHICAGO DEVELOPMENT PLAN LAW  
 33339226: MAXIMUM BUILDING HEIGHT FROM  
 PROPOSED BASE SURFACE BY  
 BUILDING REFER TO DRAWING A-051



③ BLOCK D - MAXIMUM HEIGHT / PROPOSED BASE SURFACE



④ BLOCK D - MAXIMUM HEIGHT / CD-1 OVERALL BASE SURFACE

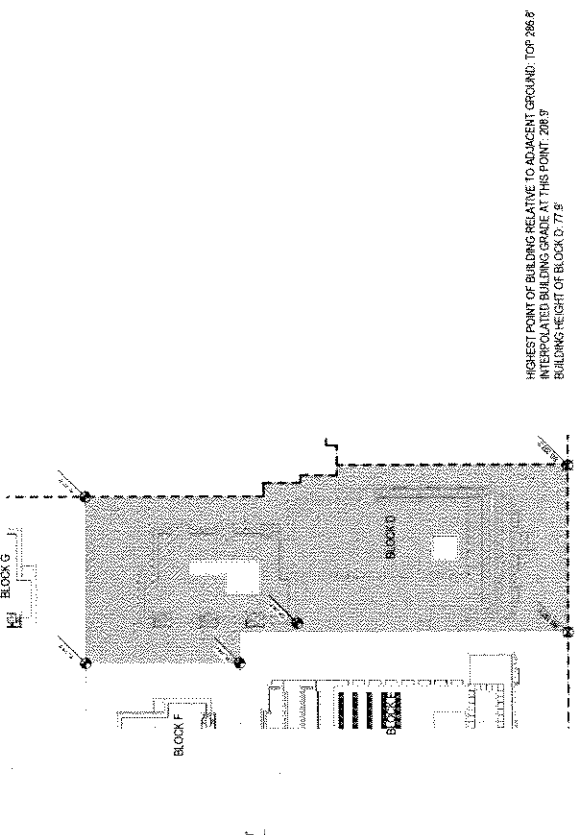


**SHANNON ESTATE  
PHASE II**  
 710-720 Gramercy Street  
 Vancouver, BC

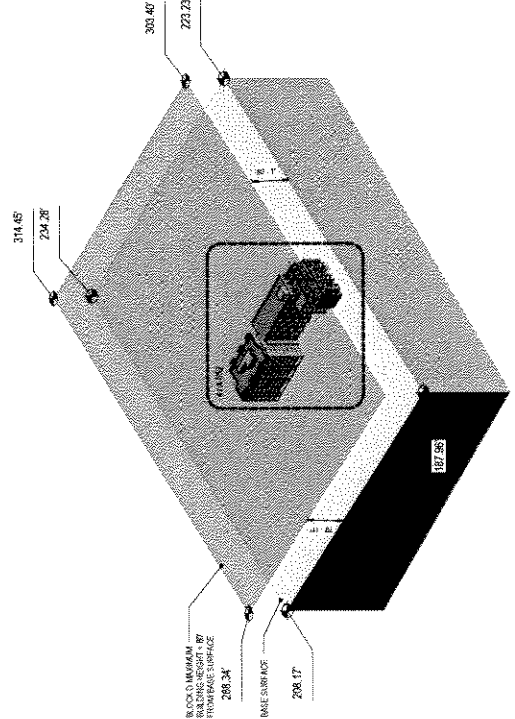
**MAXIMUM BUILDING  
HEIGHT - BLOCK D**

**A-052**

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① BLOCK D - PLAN - PROPOSED BASE SURFACE BOUNDARY

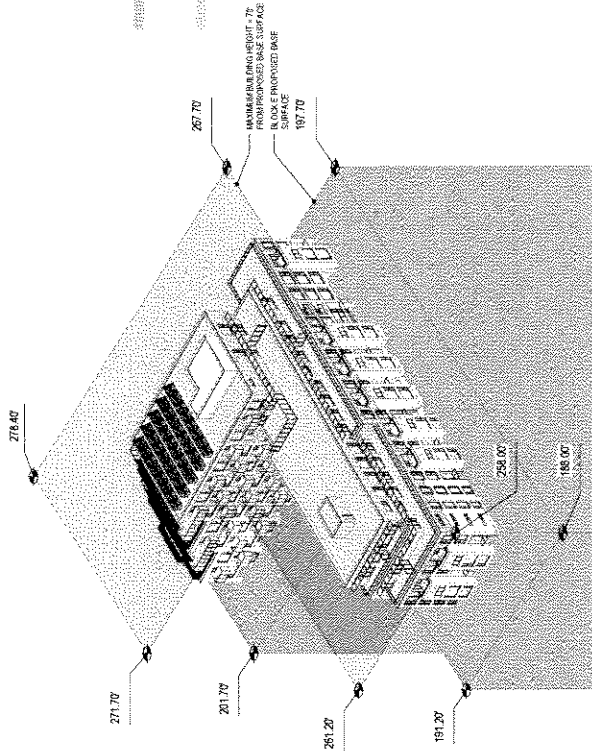


② BLOCK D - MAXIMUM HEIGHT / CD-1 OVERALL BASE SURFACE

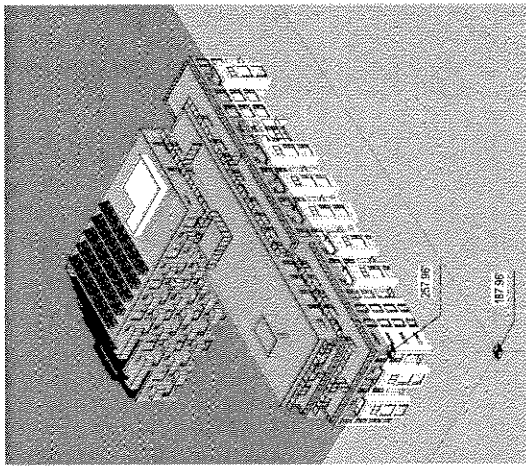




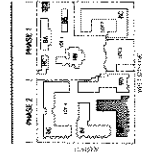
**LEGEND**  
 MAXIMUM BUILDING HEIGHT FROM OVERALL SITE BASE SURFACE AS DEFINED IN SECTION 2 OF CITY OF CHICAGO ZONING ORDINANCE AND DEVELOPMENT REGULATORY CODE  
 MAXIMUM BUILDING HEIGHT FROM PROPOSED BASE SURFACE BY BUILDING REFER TO DRAWING A-091



③ BLOCK E - MAXIMUM HEIGHT / PROPOSED BASE SURFACE



④ BLOCK E - MAXIMUM HEIGHT / CD-1 OVERALL BASE SURFACE



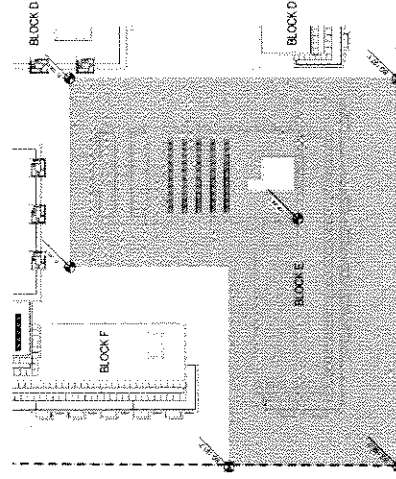
SHANNON STATE  
PHASE II  
701-701 Congress Street  
Virginia, VA

MAXIMUM BUILDING  
HEIGHT - BLOCK E

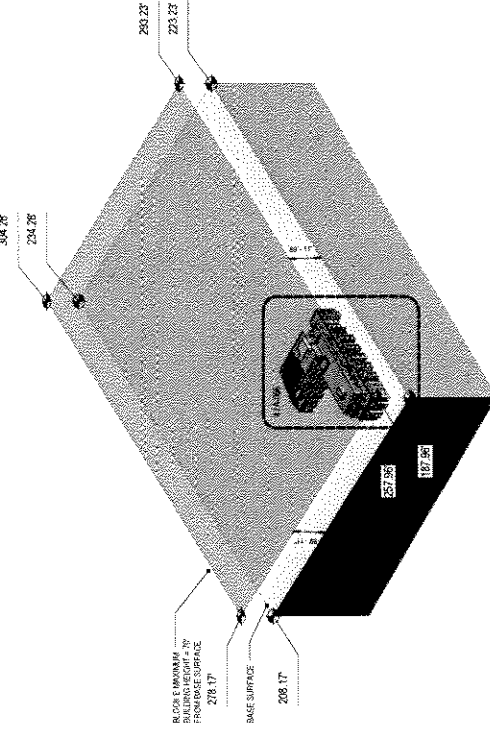
A-053

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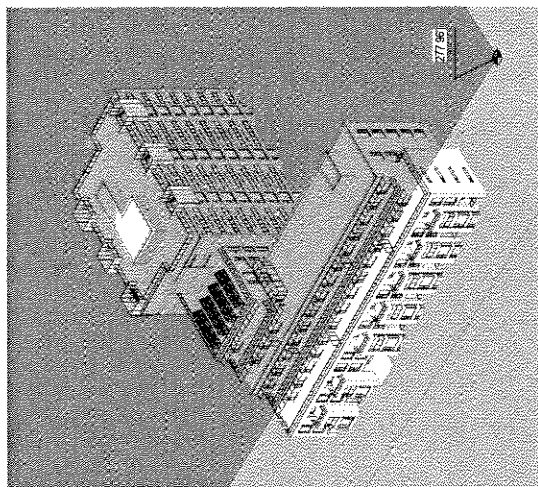
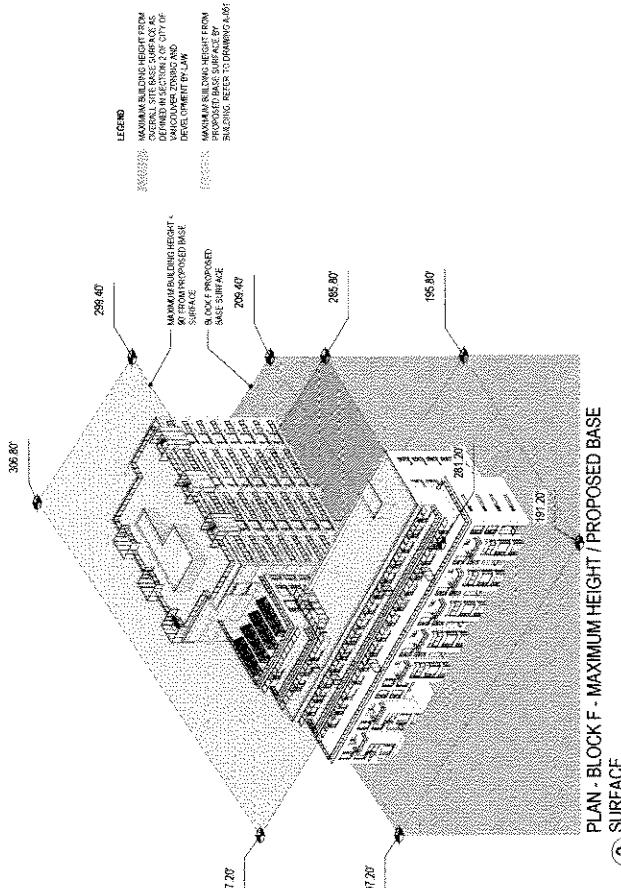
HIGHEST POINT OF BUILDING RELATIVE TO ADJACENT GROUND, TOP 206.3'  
 INTERPOLATED BUILDING GRADE AT THIS POINT, 196.4'  
 BUILDING HEIGHT OF BLOCK E, 69.9'



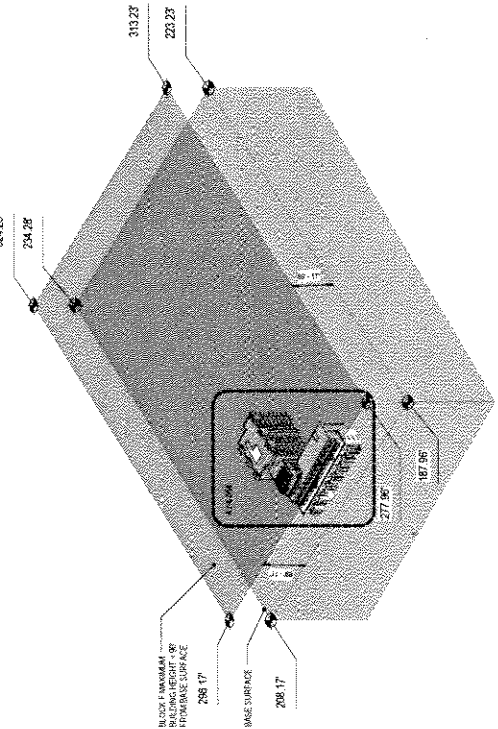
① BLOCK E - PLAN - PROPOSED BASE SURFACE BOUNDARY  
1" = 40.0'



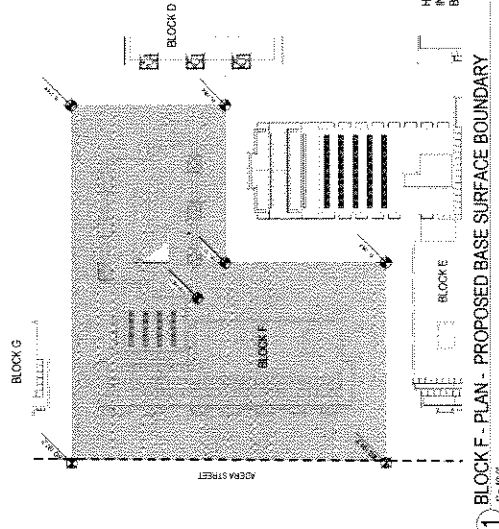
② BLOCK E - MAXIMUM HEIGHT / CD-1 OVERALL BASE SURFACE



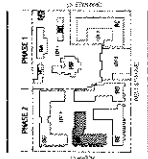
④ BLOCK F - MAXIMUM HEIGHT / CD-1 OVERALL BASE SURFACE



② BLOCK F - MAXIMUM HEIGHT / CD-1 OVERALL BASE SURFACE



① BLOCK F - PLAN - PROPOSED BASE SURFACE BOUNDARY



**SHANNON ESTATE  
PHASE II**  
710 720 Granite Street  
Yorktown, VA

**MAXIMUM BUILDING  
HEIGHT - BLOCK F**

**A-054**

HIGHEST POINT OF BUILDING RELATIVE TO ADJACENT GROUND: TOP 298.7  
INTERPOLATED BUILDING GRADE AT THIS POINT: 200.9  
BUILDING HEIGHT OF BLOCK F: 85.8'







Building	Area
BLOCK A	9,545 SF
BLOCK B	6,507 SF
BLOCK C	21,148 SF
BLOCK D	17,187 SF
BLOCK E	26,008 SF
BLOCK F	16,158 SF
BLOCK G	27,568 SF
COACH HOUSE	4,130 SF
EXISTING HOUSE	1,554 SF
EXISTING MANSION	10,061 SF
<b>TOTAL</b>	<b>144,685 SF</b>

SITE AREA: 438,230 SF

SITE COVERAGE: 33.2%

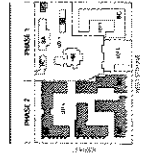
NOTES  
HERITAGE BUILDING FOOTPRINT AREAS  
PROVIDED BY ROBERT LEMON  
ARCHITECT INC.

PER CD.1 THE SITE COVERAGE FOR ALL  
BUILDINGS MUST BE CALCULATED  
FROM THE PROJECTED AREA OF THE  
OUTSIDE OF THE OUTERMOST WALLS  
OF ALL BUILDINGS, INCLUDING  
CANNOTS AND INCLUDING STEPS,  
EAVES, BALCONIES AND BUNKERS.

PER CD.1 THE MAXIMUM PERMITTED  
SITE COVERAGE FOR ALL BUILDINGS IS  
34% OF THE SITE AREA.

PHASE 2 - NEW CONSTRUCTION

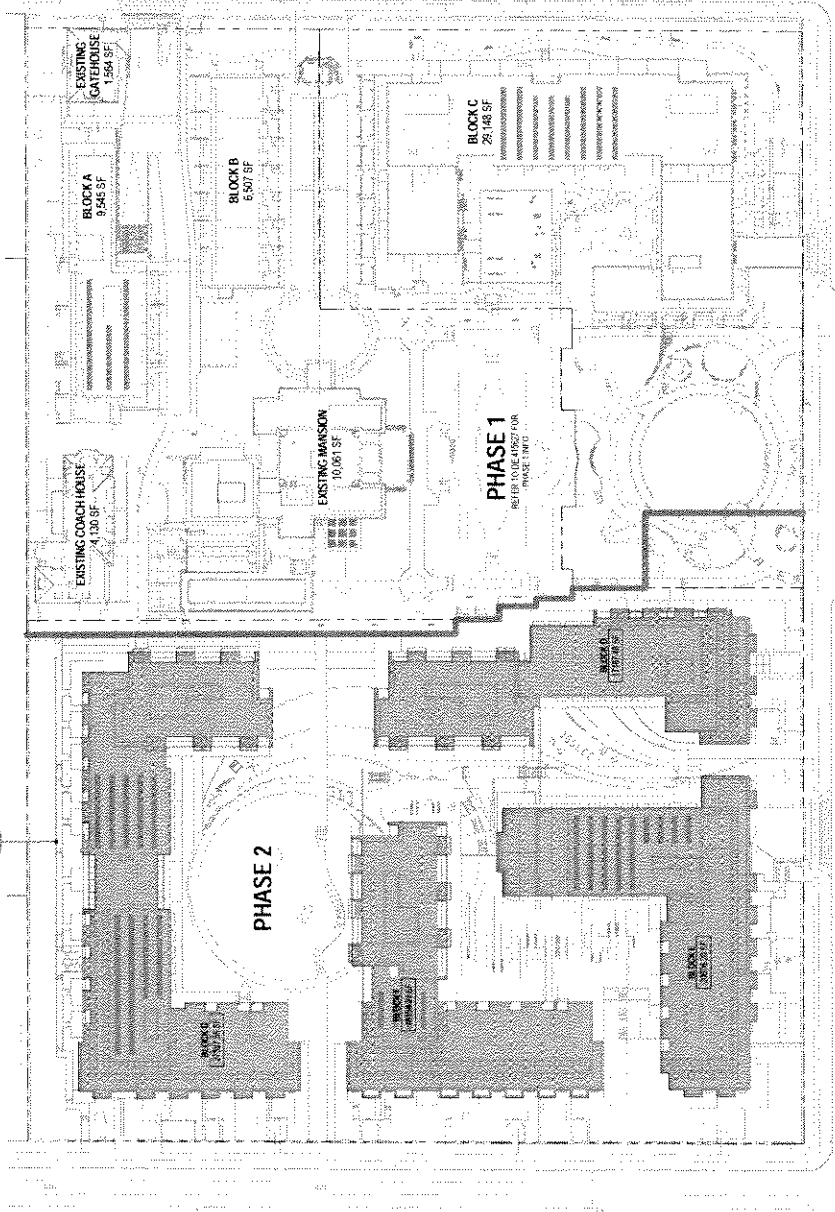
LEAD LEGEND  
SEEKS TO LEAD PROJECT  
FORECAST ON SHEET 20



SHANNON ESTATE  
PHASE II  
7101-7201 Emerald Street  
Vancouver, BC

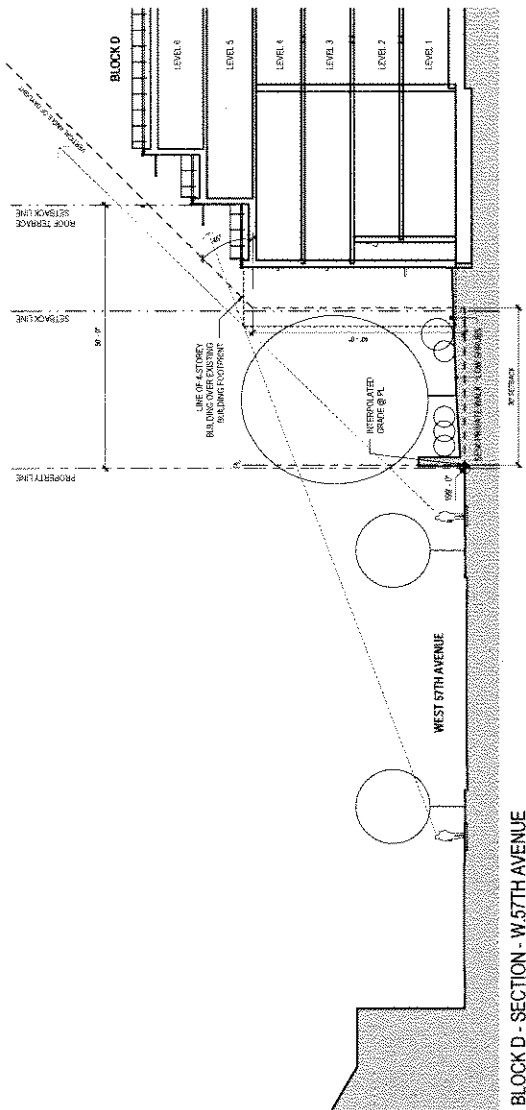
SITE COVERAGE

A-061

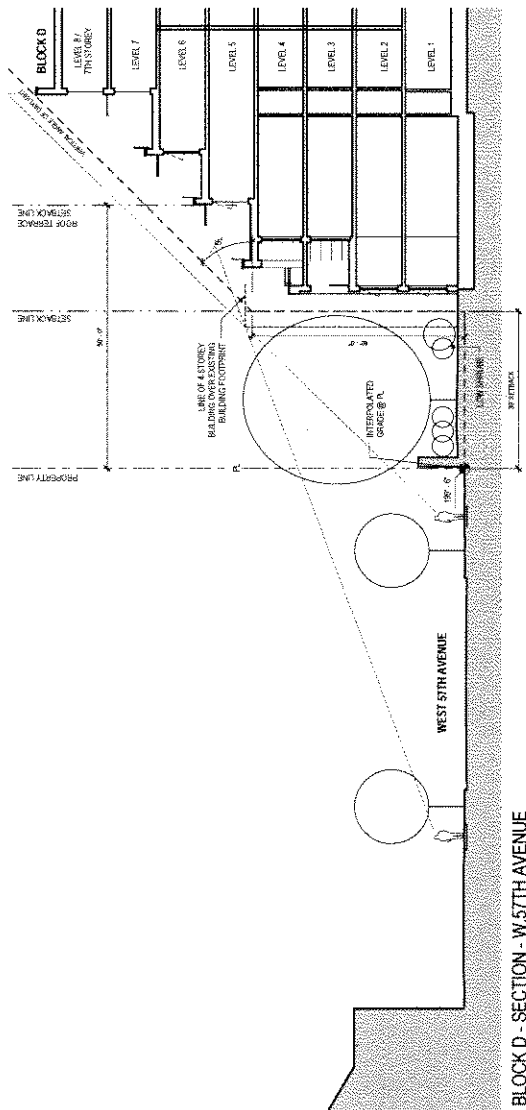


1 AREA PLAN - SITE COVERAGE

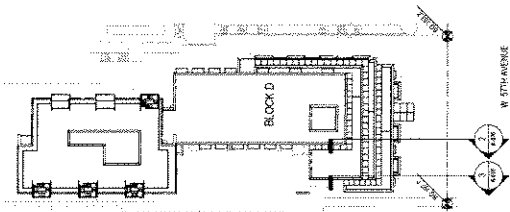
Appendix C - page 14 of 143



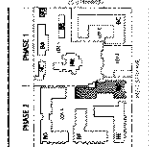
3 BLOCK D - SECTION - W. 57TH AVENUE  
3/8" = 1'-0"

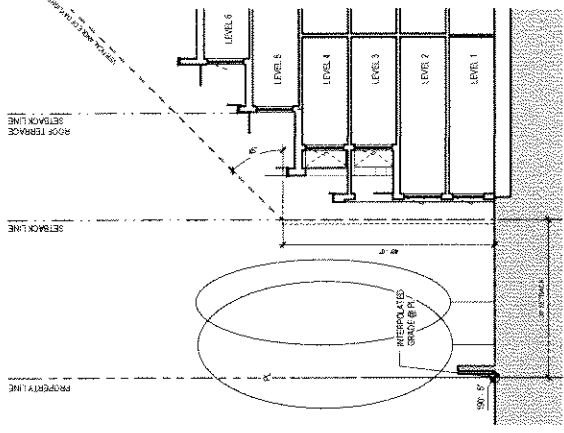


2 BLOCK D - SECTION - W. 57TH AVENUE  
3/8" = 1'-0"

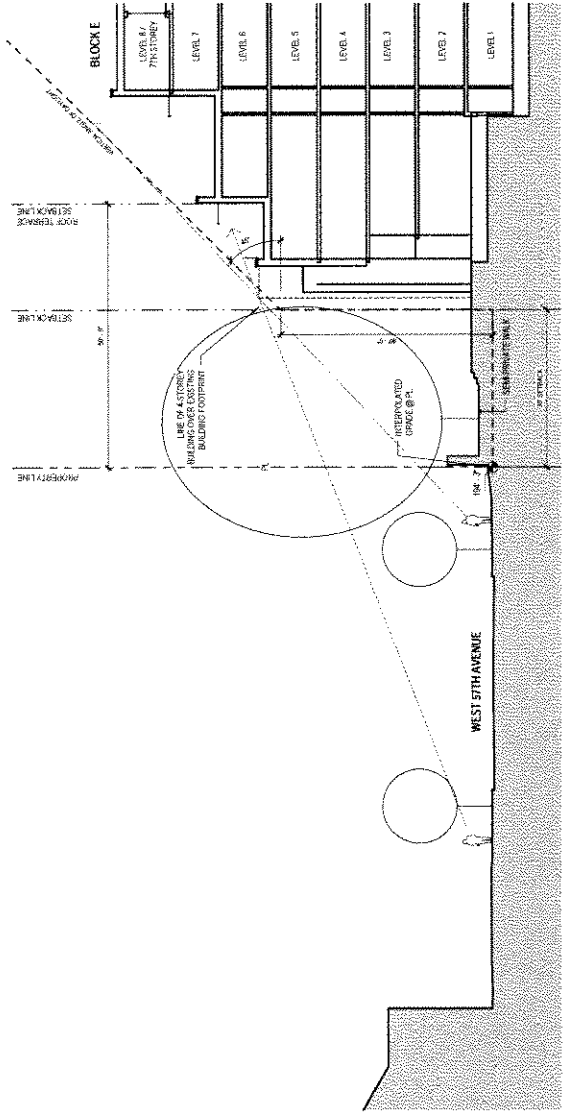


1 BLOCK D - VIEW ANALYSIS PLAN  
1" = 60'

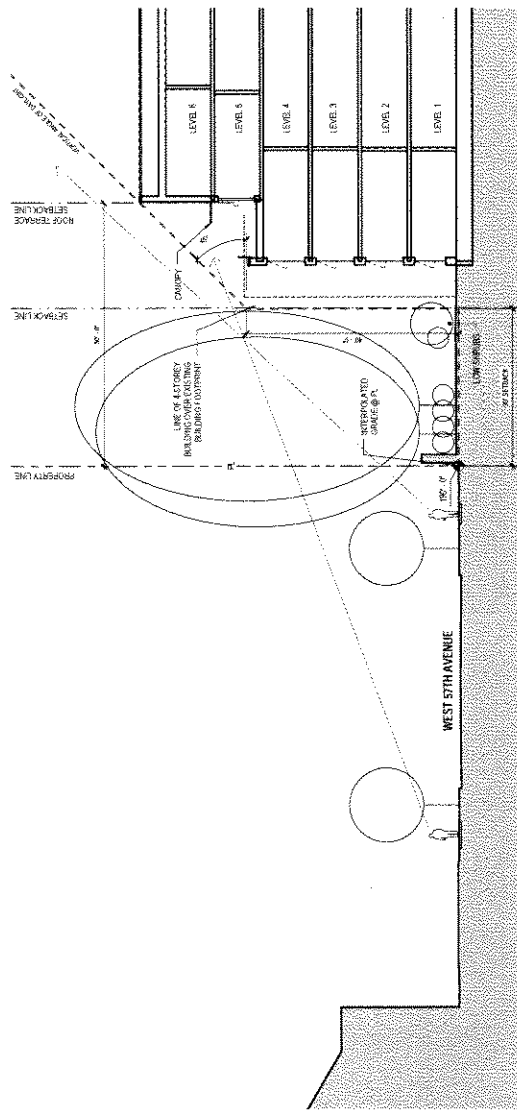




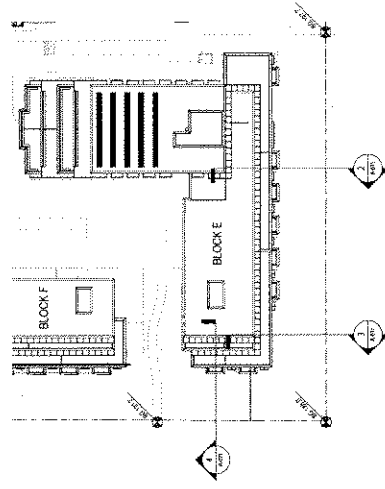
**4** BLOCK E - SECTION - ADERA STREET  
3/32" = 1" @



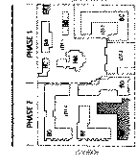
**2** BLOCK E - SECTION - W. 57TH AVENUE  
3/32" = 1" @

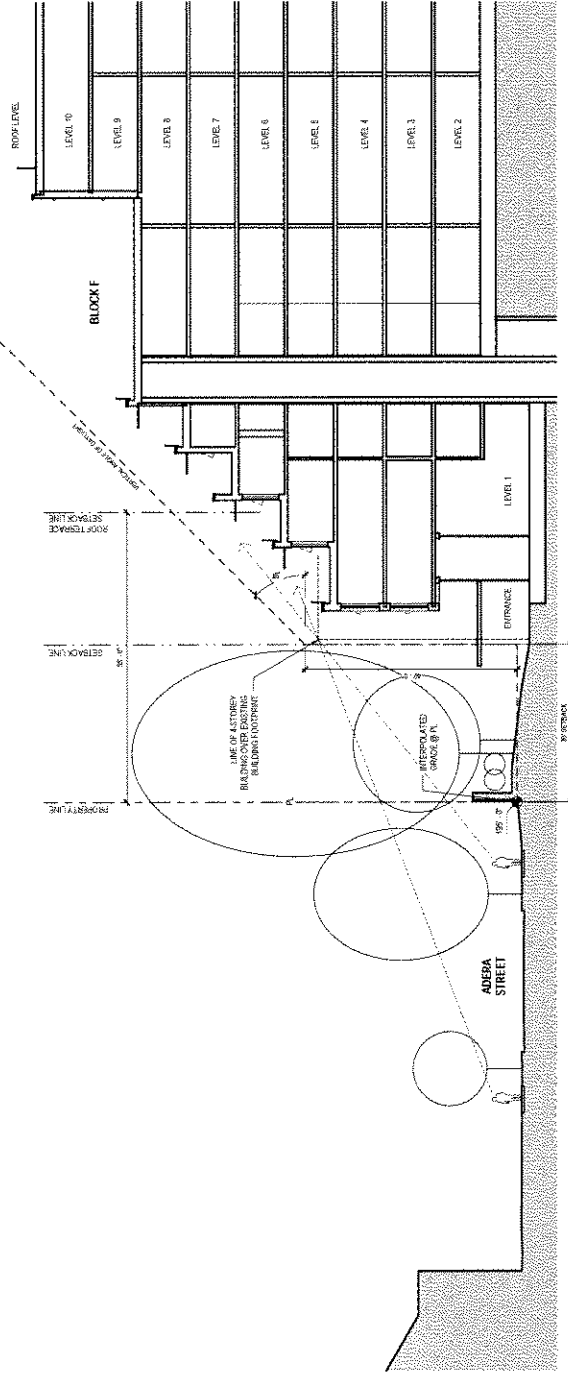


**3** BLOCK E - SECTION - W. 57TH AVENUE  
3/32" = 1" @

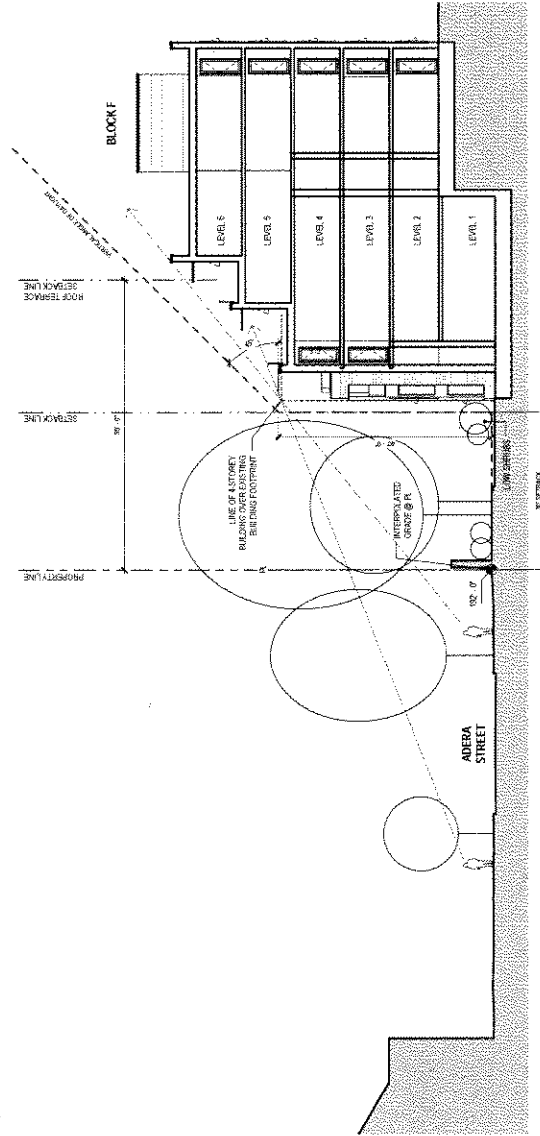


**1** BLOCK E - VIEW ANALYSIS PLAN  
1" = 80' @





3 BLOCK F - SECTION - ADERA STREET  
SEP - 07-08

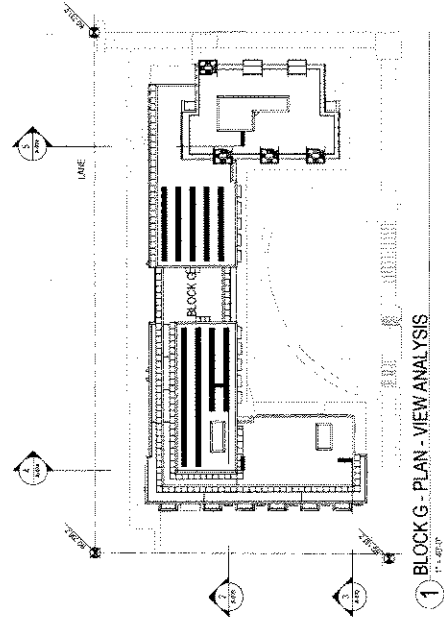
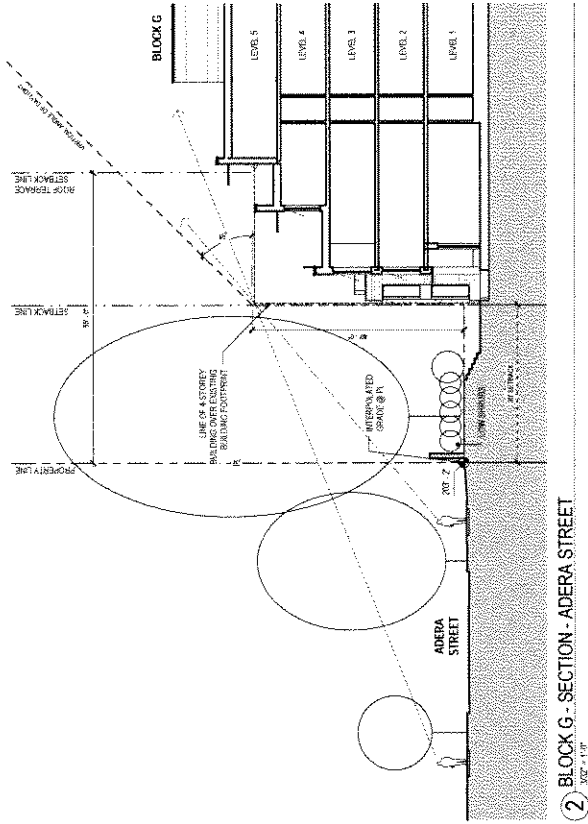
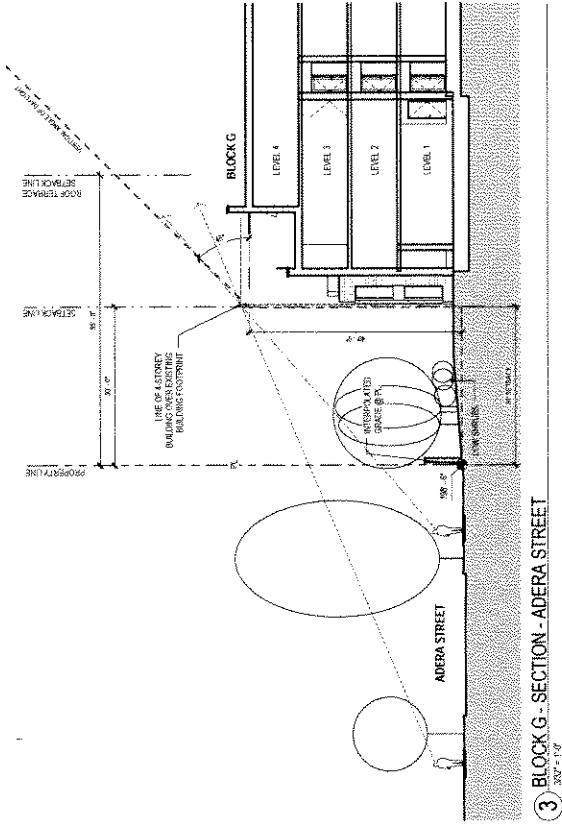
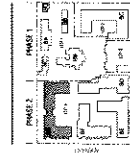


2 BLOCK F - SECTION - ADERA STREET  
SEP - 07-08

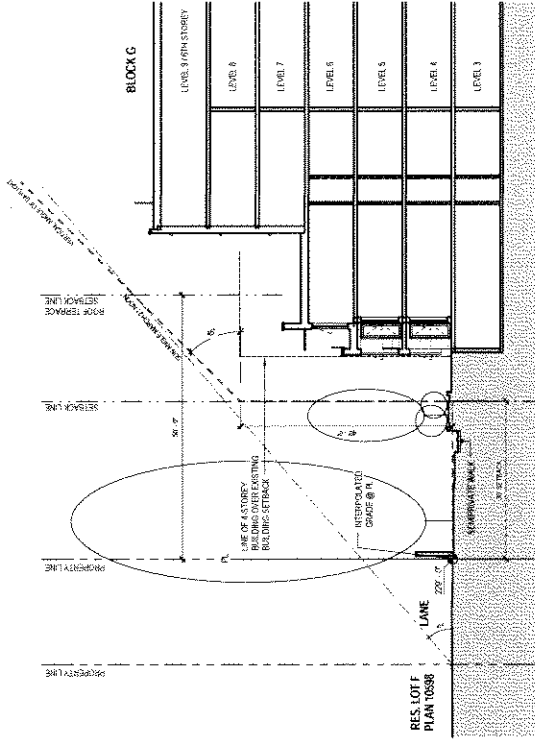


**SHANNON ESTATE  
PHASE II**  
710-720 Cravens Street  
Washington, DC

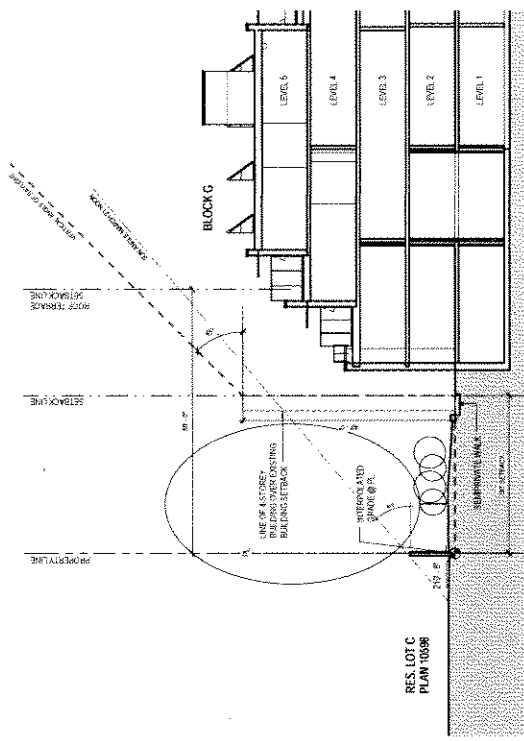
**BLOCK F - DETAILED  
STREET SECTIONS /  
VIEW & VERTICAL  
DAYLIGHT ANALYSIS**



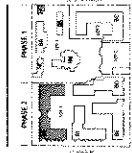
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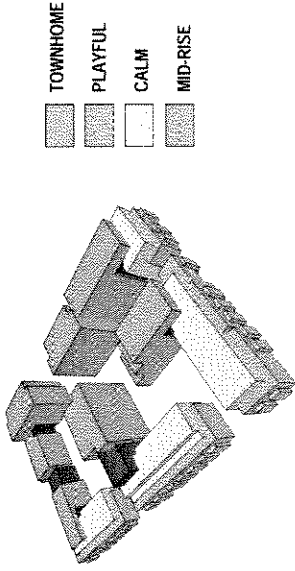


5 BLOCK G - SECTION - NORTH LANE  
3/10" = 1'-0"



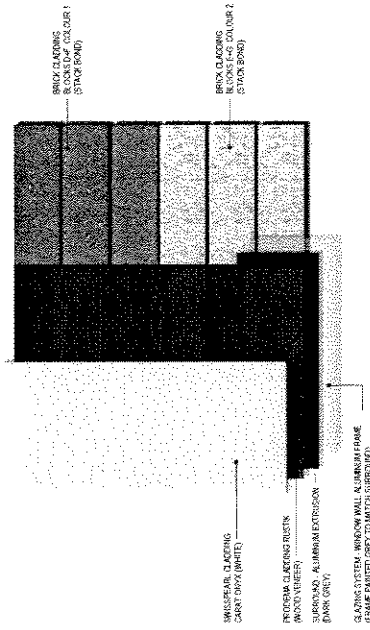
4 BLOCK G - SECTION - NORTH SIDE  
3/10" = 1'-0"



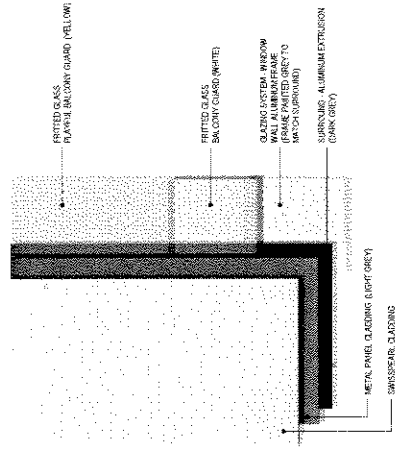


- TOWNHOME
- PLAYFUL
- CALM
- MID-RISE

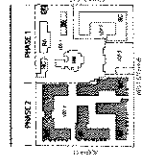
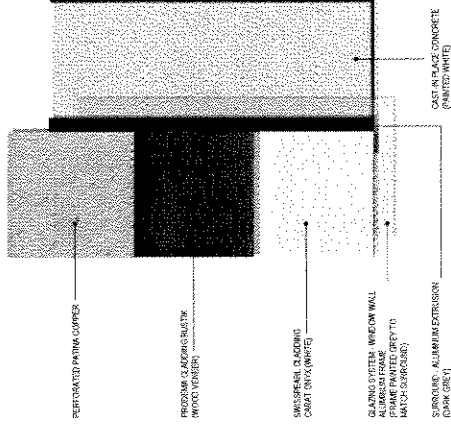
TOWNHOME MATERIALS



CALM / PLAYFUL MATERIALS



MID-RISE MATERIALS



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**BICYCLE PARKING AND STORAGE SCHEDULE**

LEVEL	BUILD #
0	0
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
11	11
12	12
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86	86
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88	88
89	89
90	90
91	91
92	92
93	93
94	94
95	95
96	96
97	97
98	98
99	99
100	100

**VEHICLE AND PARKING - RESIDENTIAL**

VEHICLE AND PARKING - RESIDENTIAL	VEHICLE AND PARKING - RESIDENTIAL
0	0
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
11	11
12	12
13	13
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86	86
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89	89
90	90
91	91
92	92
93	93
94	94
95	95
96	96
97	97
98	98
99	99
100	100

**RESIDENTIAL STORAGE**

RESIDENTIAL STORAGE	RESIDENTIAL STORAGE
0	0
1	1
2	2
3	3
4	4
5	5
6	6
7	7
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92	92
93	93
94	94
95	95
96	96
97	97
98	98
99	99
100	100

**TOTAL PARKING SPACES**

TOTAL PARKING SPACES	TOTAL PARKING SPACES
0	0
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
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93	93
94	94
95	95
96	96
97	97
98	98
99	99
100	100

**RESIDENTIAL STORAGE**

RESIDENTIAL STORAGE	RESIDENTIAL STORAGE
0	0
1	1
2	2
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5	5
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7	7
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97	97
98	98
99	99
100	100



WALL FINANCIAL  
CORPORATION

ISSUED FOR: P2  
DATE: 2013.05.06

**BICYCLE PARKING AND STORAGE SCHEDULE**

**LEVEL, LOT #**

VEHICULAR PARKING - RESIDENTIAL  
 Courtyard Level (P2, P15, P17)  
 Street Level (P1, P2, P3, P4, P5, P6, P7, P8, P9, P10, P11, P12, P13, P14, P15, P16, P17)  
 10  
 20  
 20

VEHICULAR BICYCLE PARKING  
 Street Level (P1, P2, P3, P4, P5, P6, P7, P8, P9, P10, P11, P12, P13, P14, P15, P16, P17)  
 26

VEHICULAR BICYCLE STORAGE  
 Street Level (P1, P2, P3, P4, P5, P6, P7, P8, P9, P10, P11, P12, P13, P14, P15, P16, P17)  
 4

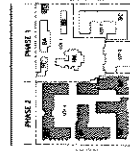
VEHICULAR BICYCLE STORAGE  
 Street Level (P1, P2, P3, P4, P5, P6, P7, P8, P9, P10, P11, P12, P13, P14, P15, P16, P17)  
 4  
 2

TOTAL VEHICLE PARKING SPACES  
 296

RESIDENTIAL BICYCLE STORAGE  
 Residential Level (P2, P15, P17)  
 46  
 20

RESIDENTIAL BICYCLE STORAGE  
 Residential Level (P2, P15, P17)  
 53  
 26

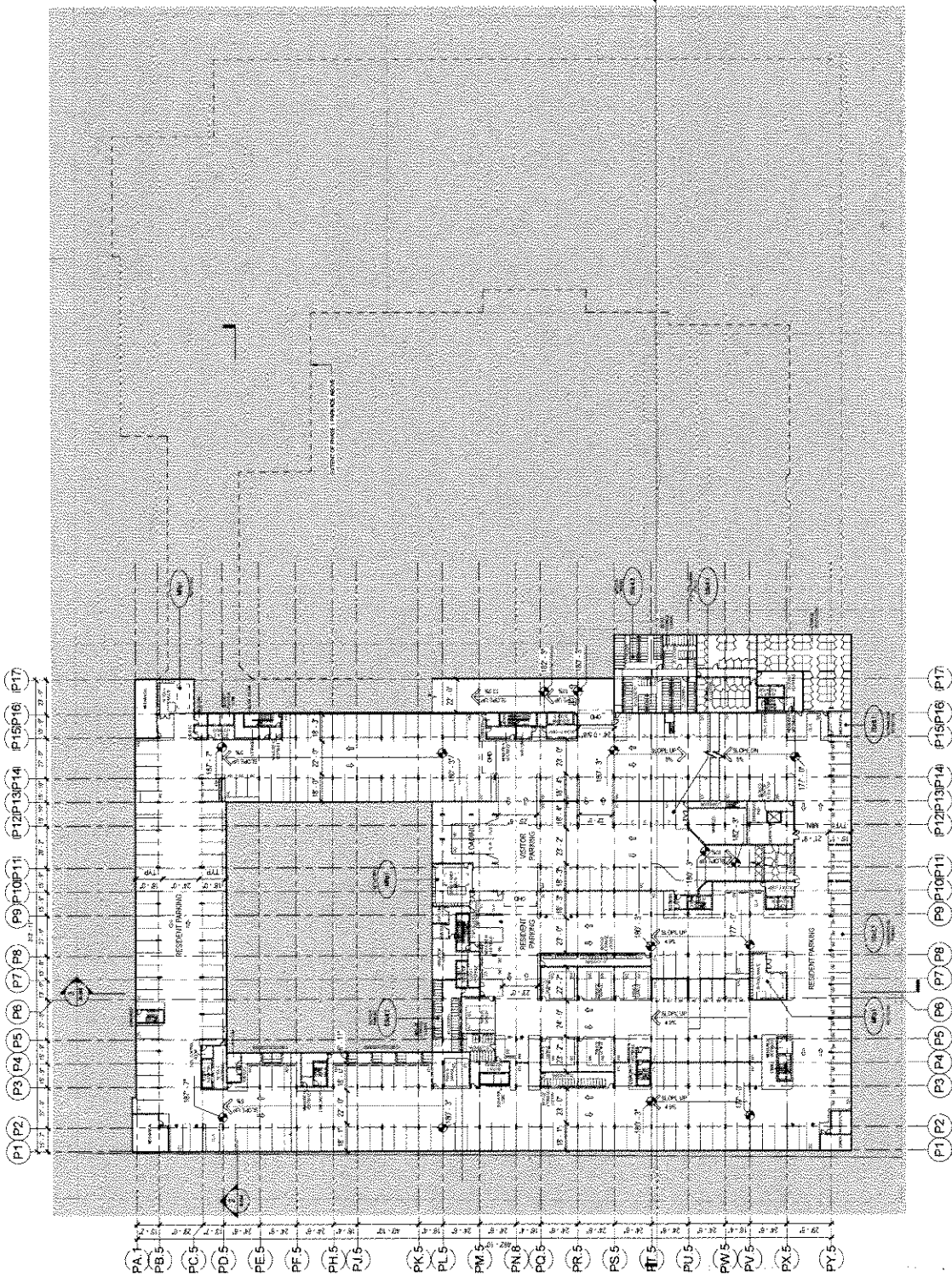
RESIDENTIAL BICYCLE STORAGE  
 Residential Level (P2, P15, P17)  
 6  
 91



SHANNON ESTATE  
PHASE B  
 7101-7201 Cambridge Street  
 Washington, DC

OVERALL PARKING  
PLAN - SUBLEVEL P2

A-102



LEAD LEGEND  
 REFER TO LEAD PRODUCT  
 FINEPRINT ON SHEET 28

- NOTES**
- The design of the parking structure incorporates safety and security measures as required by applicable codes. Consult the LEAD Product Family for details.
  - The design of the parking structure incorporates safety and security measures as required by applicable codes. Consult the LEAD Product Family for details.
  - The design of the parking structure incorporates safety and security measures as required by applicable codes. Consult the LEAD Product Family for details.

- LEGEND**
- EV ELECTRIC VEHICLE
  - SM SMALL VEHICLE
  - CR CATCH BASIN
  - FD FLOOR DRAIN



1 OVERALL PARKING PLAN P2-PHASE 2

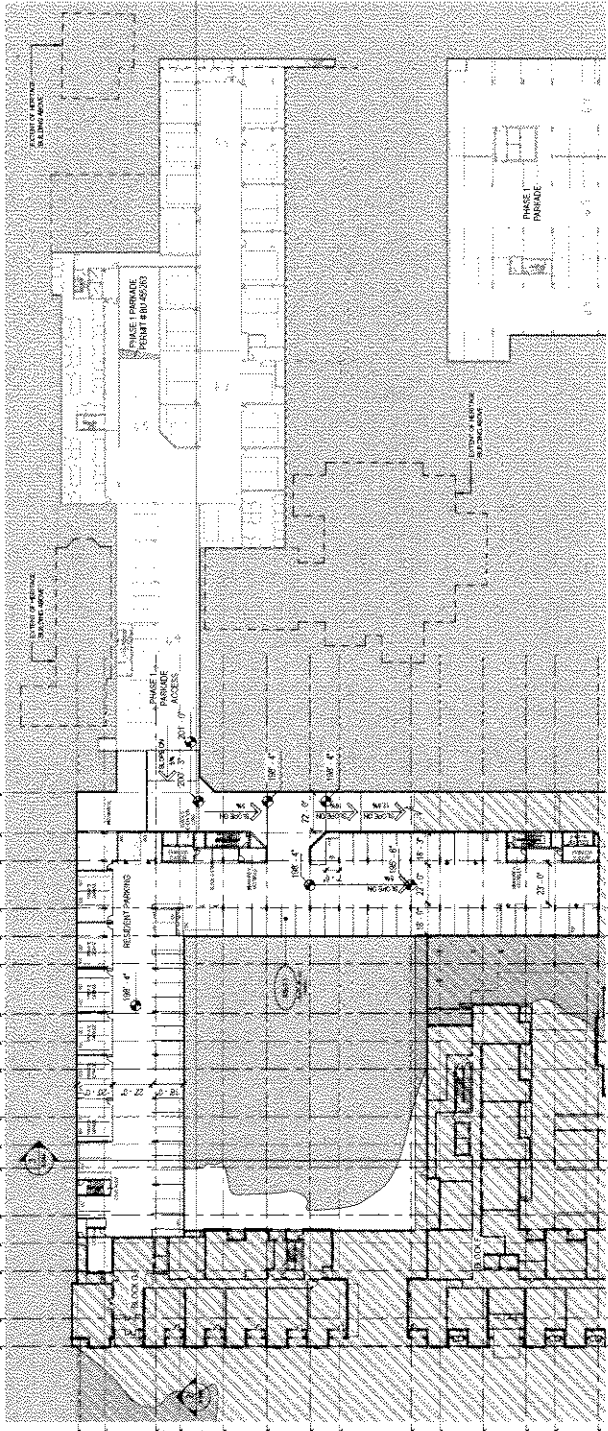
Appendix C; page 22 of 143



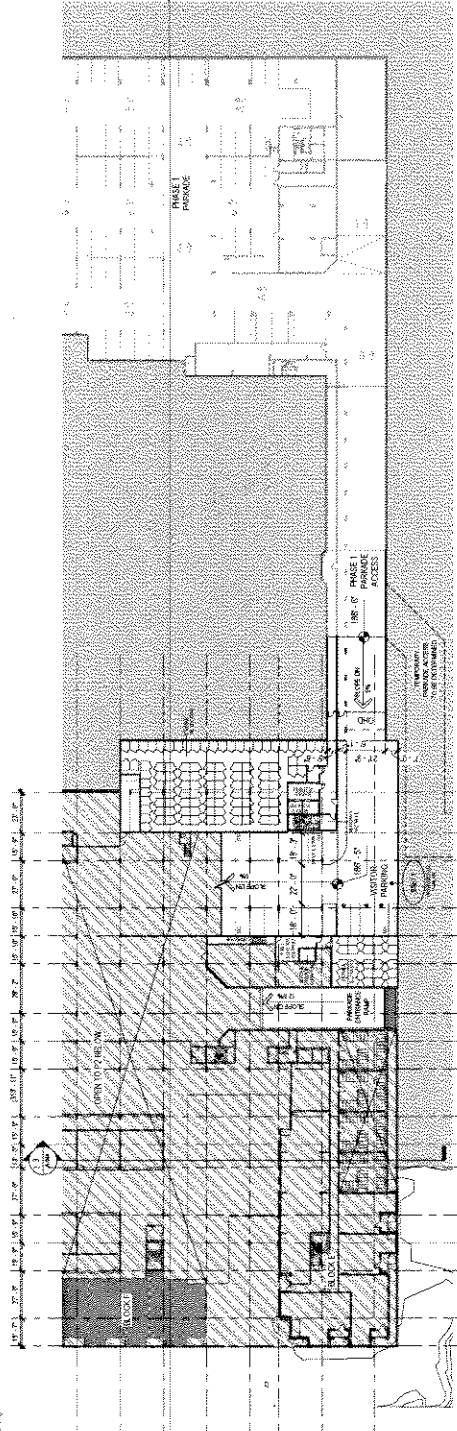
BIKE/PED. PARKING/STORAGE SCHEDULE

LEVEL/PILOTIS	VEHICLE PARKING	RESIDENTIAL
1	100	0
2	100	0
3	100	0
4	100	0
5	100	0
6	100	0
7	100	0
8	100	0
9	100	0
10	100	0
11	100	0
12	100	0
13	100	0
14	100	0
15	100	0
16	100	0
17	100	0
18	100	0
19	100	0
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31	100	0
32	100	0
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66	100	0
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75	100	0
76	100	0
77	100	0
78	100	0
79	100	0
80	100	0
81	100	0
82	100	0
83	100	0
84	100	0
85	100	0
86	100	0
87	100	0
88	100	0
89	100	0
90	100	0
91	100	0
92	100	0
93	100	0
94	100	0
95	100	0
96	100	0
97	100	0
98	100	0
99	100	0
100	100	0

P1 P2 P3 P4 P5 P6 P7 P8 P9 P10 P11 P12 P13 P14 P15 P16 P17



② OVERALL PARKING PLAN P1-PHASE 2 NORTH LINK  
1/2" = 1'-0"



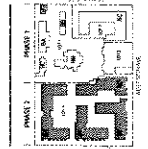
① OVERALL PARKING PLAN P1-PHASE 2 SOUTH LINK  
1/2" = 1'-0"

LEED LEGEND



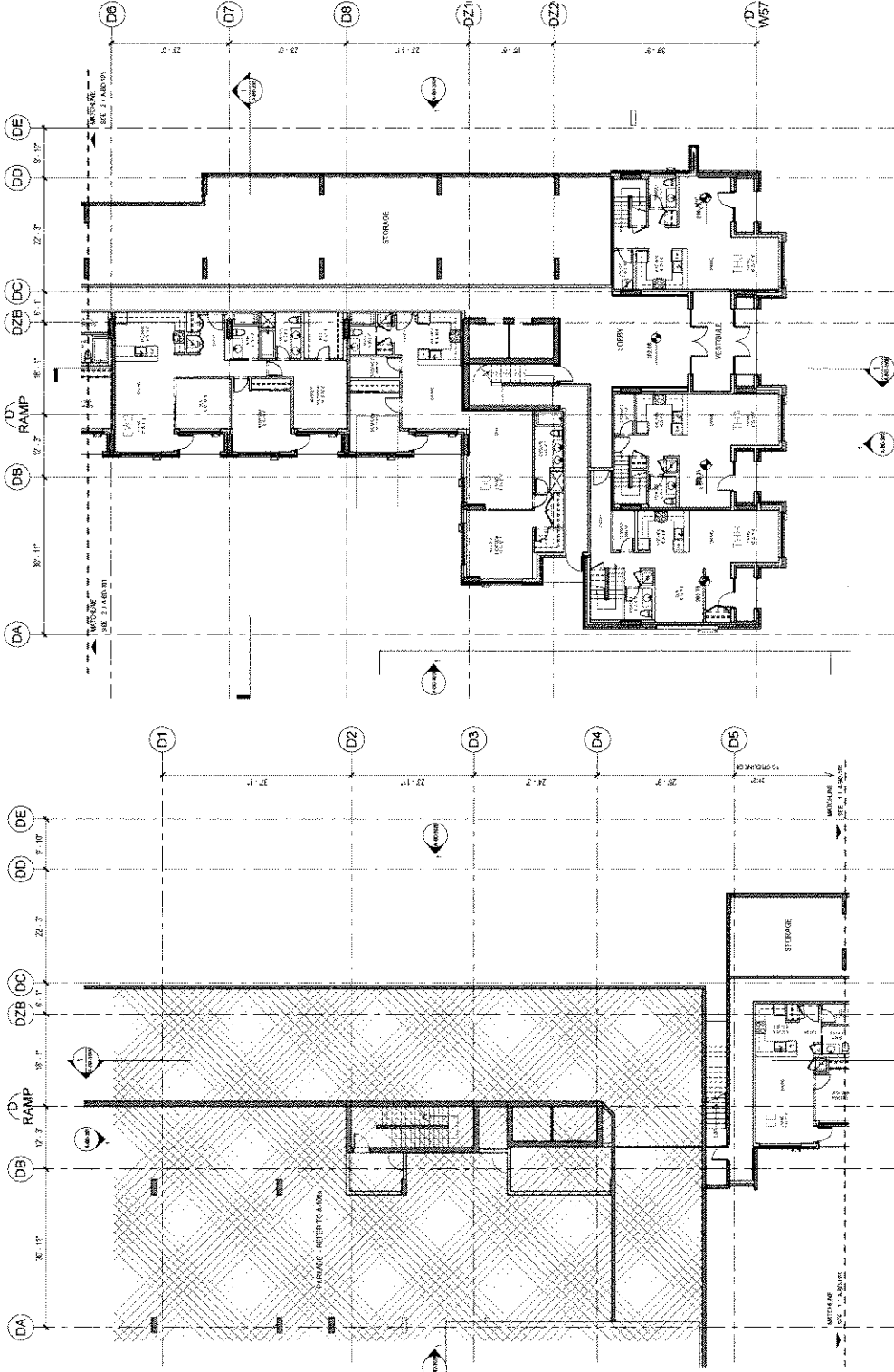
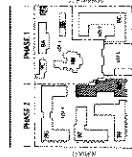
**NOTES**  
1. The design of the bicycle spaces...  
2. The design of the bicycle spaces...  
3. The design of the bicycle spaces...

- LEGEND**
- e ELECTRICAL VEHICLE
  - SM SMALL VEHICLE
  - CB CATCH BASIN
  - FD FLOOR DRAIN



SHANNON ESTATE  
PHASE II  
7701 100th Street  
Baltimore, MD

OVERALL PARKING  
PLANS - SUBLEVEL P1



- NOTES:
1. Accidental measures will be incorporated into the fire design and construction of the building. See the fire design and construction details.
  2. SAFETY HAZARD: Fire and smoke. See the fire design and construction details.
  3. Manual design details include: 24" minimum door width, and 48" minimum door height. See the fire design and construction details.

1 BLOCK D - PLAN LEVEL 02 SOUTH  
1" = 16'-0"

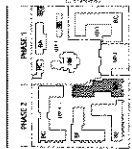
2 BLOCK D - PLAN LEVEL 01 NORTH  
1" = 16'-0"



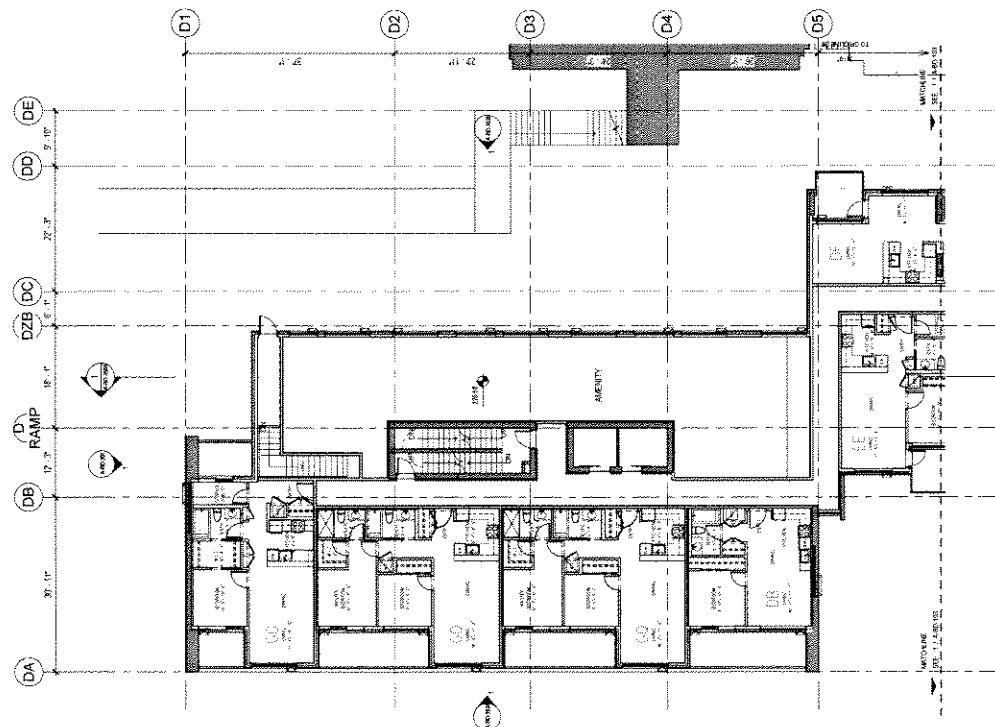
Appendix C; page 24 of 143







- NOTES
1. Accidental occupancies will be restricted to the first design area. Occupancies will be restricted to the conditions shown on this plan.
  2. SAFETY: FIRE: Evacuation routes shall be provided for all occupants. Evacuation routes shall be provided for all occupants. Evacuation routes shall be provided for all occupants.
  3. Evacuation routes shall be provided for all occupants. Evacuation routes shall be provided for all occupants. Evacuation routes shall be provided for all occupants.

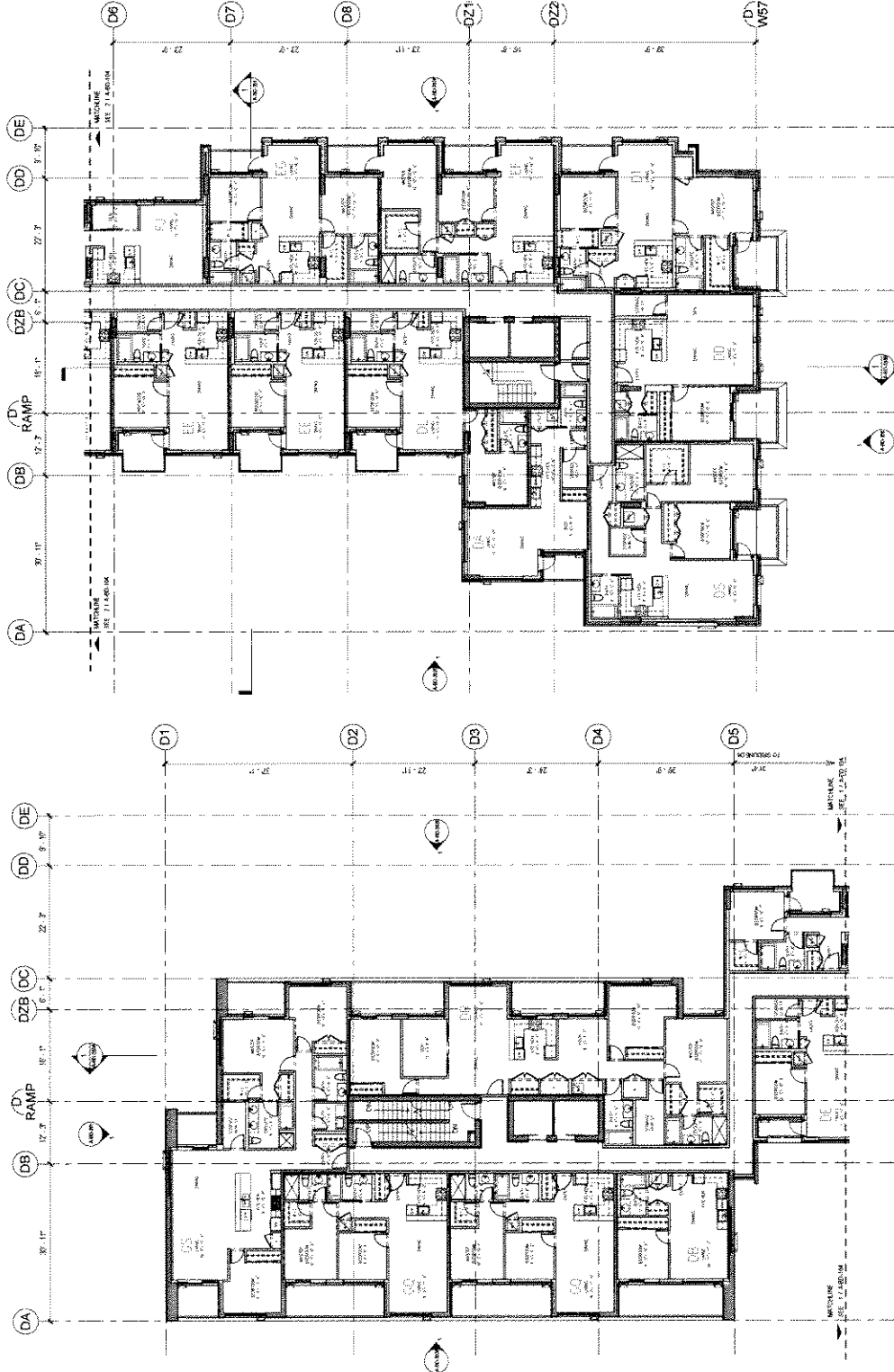
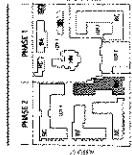


1 BLOCK D - PLAN LEVEL 03 SOUTH  
P. 1029

2 BLOCK D - PLAN LEVEL 03 NORTH  
P. 1029



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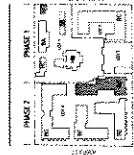
- NOTES
1. All structural measures will be incorporated into the final design and construction. All structural measures shall be in accordance with the applicable building code requirements.
  2. ALLER (H)ER: Review notes attached to the drawings. Structural design shall be in accordance with the applicable building code requirements. All structural measures shall be in accordance with the applicable building code requirements.
  3. All structural measures shall be in accordance with the applicable building code requirements. All structural measures shall be in accordance with the applicable building code requirements.

1 BLOCK D - PLAN LEVEL 04 SOUTH  
1" = 10'-0"

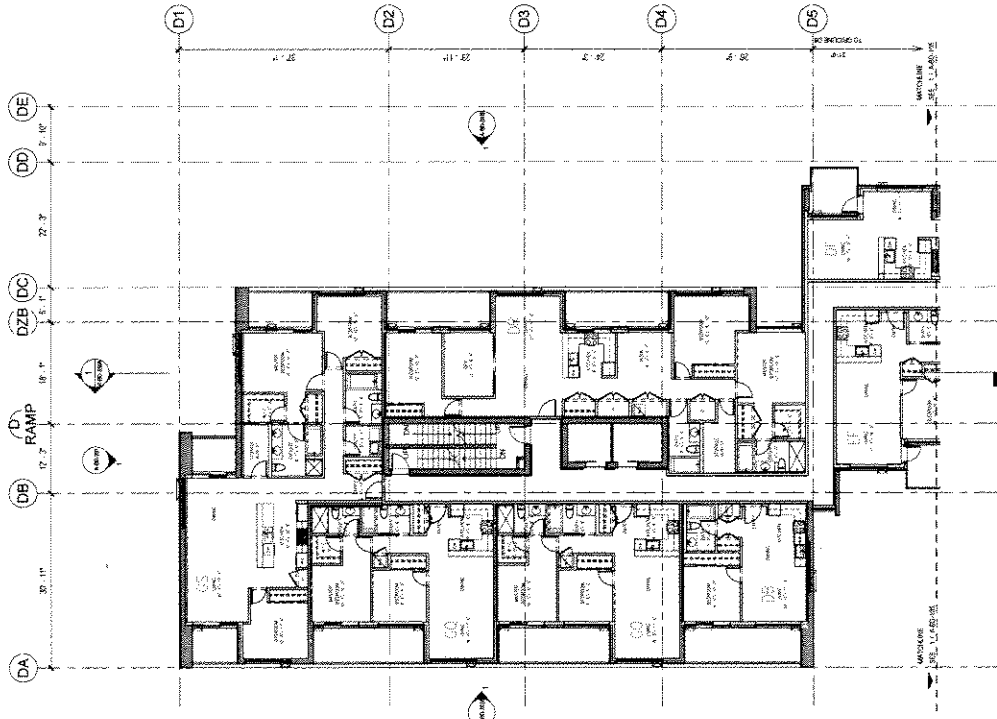
2 BLOCK D - PLAN LEVEL 04 NORTH  
1" = 10'-0"



Appendix C; page 27 of 143



1 BLOCK D - PLAN LEVEL 05 SOUTH  
1" = 16'0"

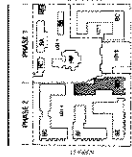


2 BLOCK D - PLAN LEVEL 05 NORTH  
1" = 16'0"

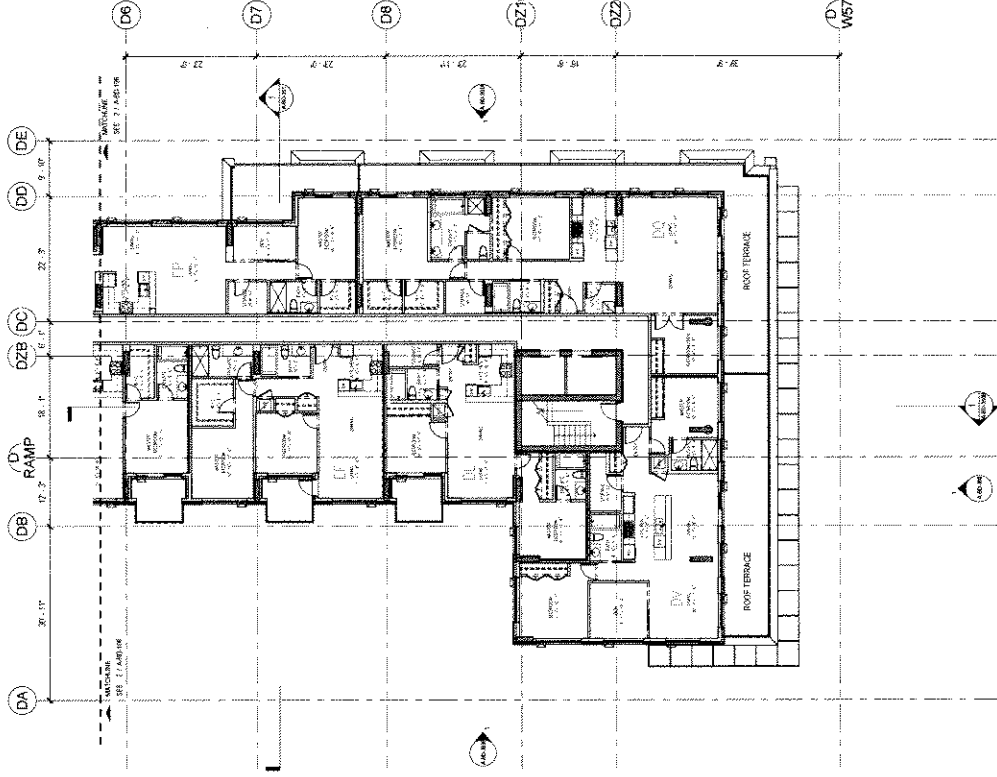
- NOTES
1. Accidental omissions will be incorporated into the final design and construction documents.
  2. THE PERKINS + WILL ARCHITECTURE AND INTERIORS DESIGN TEAM HAS CONDUCTED VISUAL QUALITY ANALYSIS (VQA) OF THE PROPOSED DEVELOPMENT. THE VQA REPORT IS ATTACHED TO THIS SET OF DRAWINGS. THE VQA REPORT IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY. THE VQA REPORT IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.
  3. THE VQA REPORT IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY. THE VQA REPORT IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY.

Appendix C; page 28 of 143

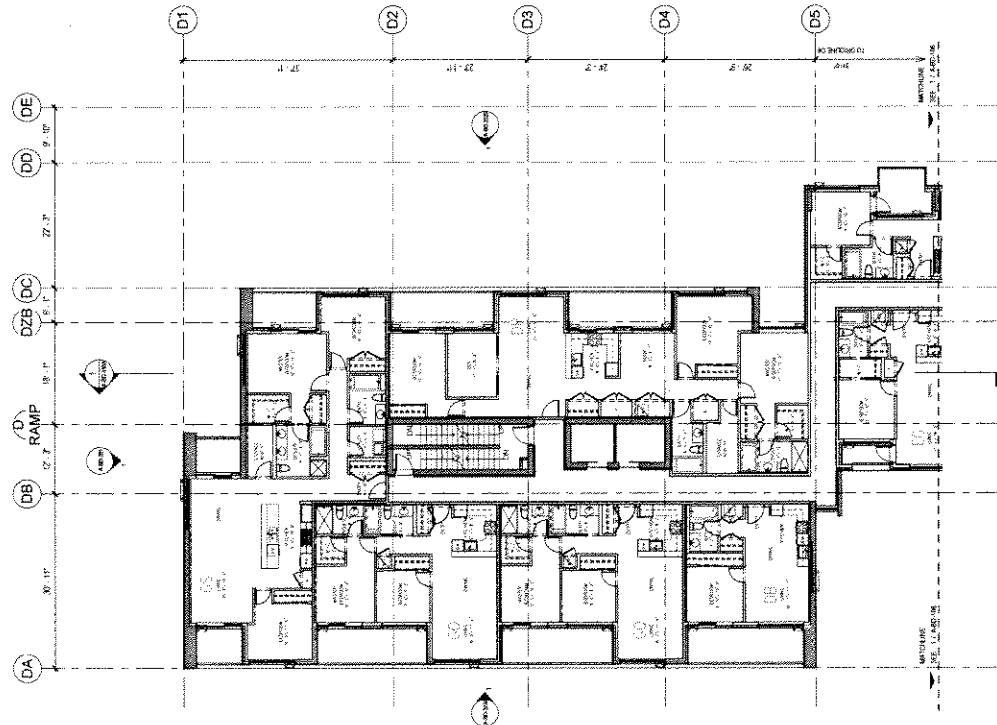




- NOTES
1. All work shown shall be constructed in accordance with the final design and specifications. All work shall be in accordance with the applicable codes and regulations.
  2. STAIR RAMP: Access to the building shall be provided in accordance with the applicable codes and regulations. The design shall include a minimum clear width of 48" and a minimum clear height of 80".
  3. All work shall be in accordance with the applicable codes and regulations. The design shall include a minimum clear width of 48" and a minimum clear height of 80".

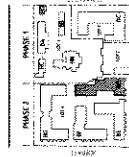


1 BLOCK D - PLAN LEVEL 06 SOUTH  
1" = 1/8"

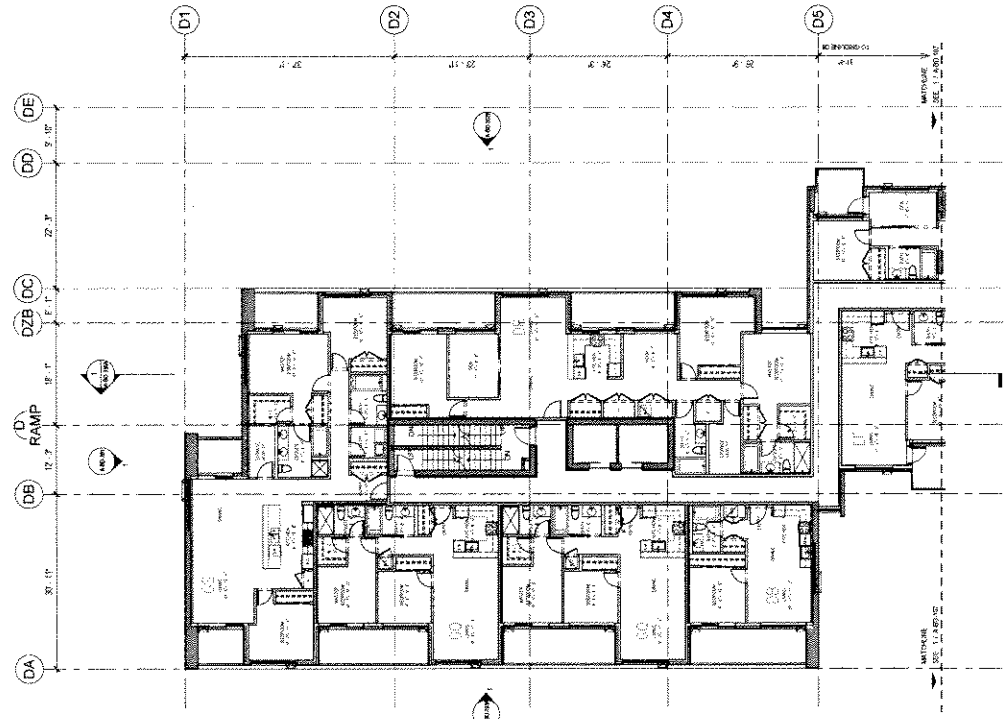
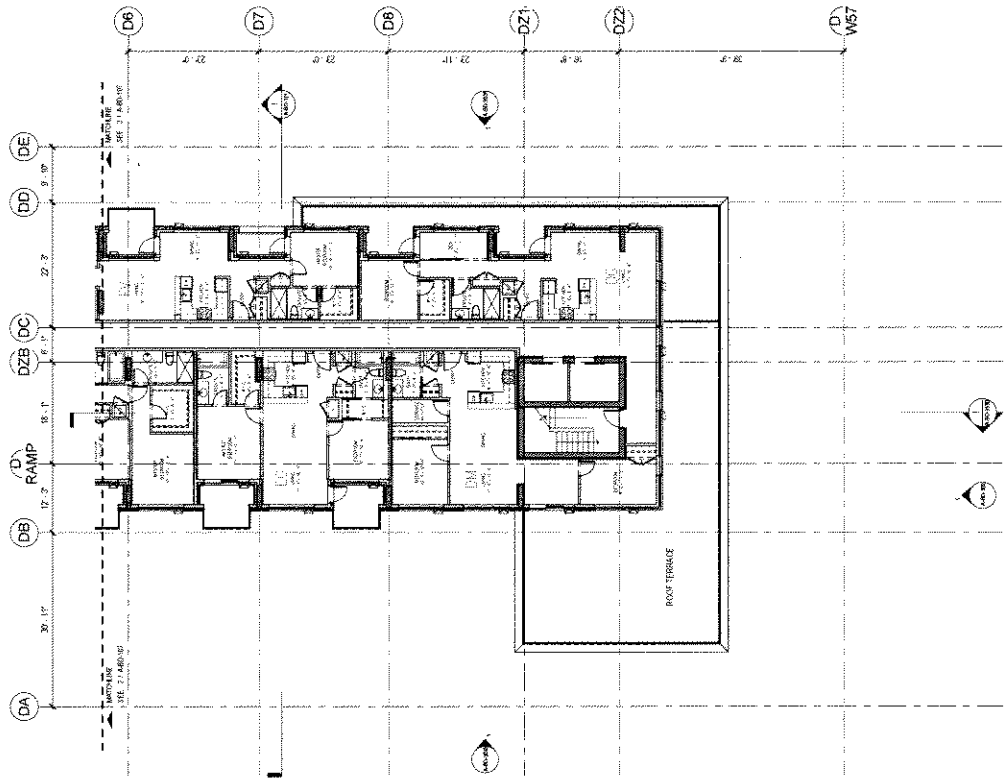


2 BLOCK D - PLAN LEVEL 06 NORTH  
1" = 1/8"

Appendix C: paged 9 of 143



- NOTES
1. Accidental materials will be incorporated into the first design and construction phases. The contractor shall be responsible for the construction of the "SAFE HOME" device under the "SAFE HOME" program. The contractor shall be responsible for the construction of the "SAFE HOME" device under the "SAFE HOME" program. The contractor shall be responsible for the construction of the "SAFE HOME" device under the "SAFE HOME" program.
  2. All structural steel members shall be fabricated and erected in accordance with the approved shop drawings. The contractor shall be responsible for the construction of the "SAFE HOME" device under the "SAFE HOME" program.
  3. All structural steel members shall be fabricated and erected in accordance with the approved shop drawings. The contractor shall be responsible for the construction of the "SAFE HOME" device under the "SAFE HOME" program.

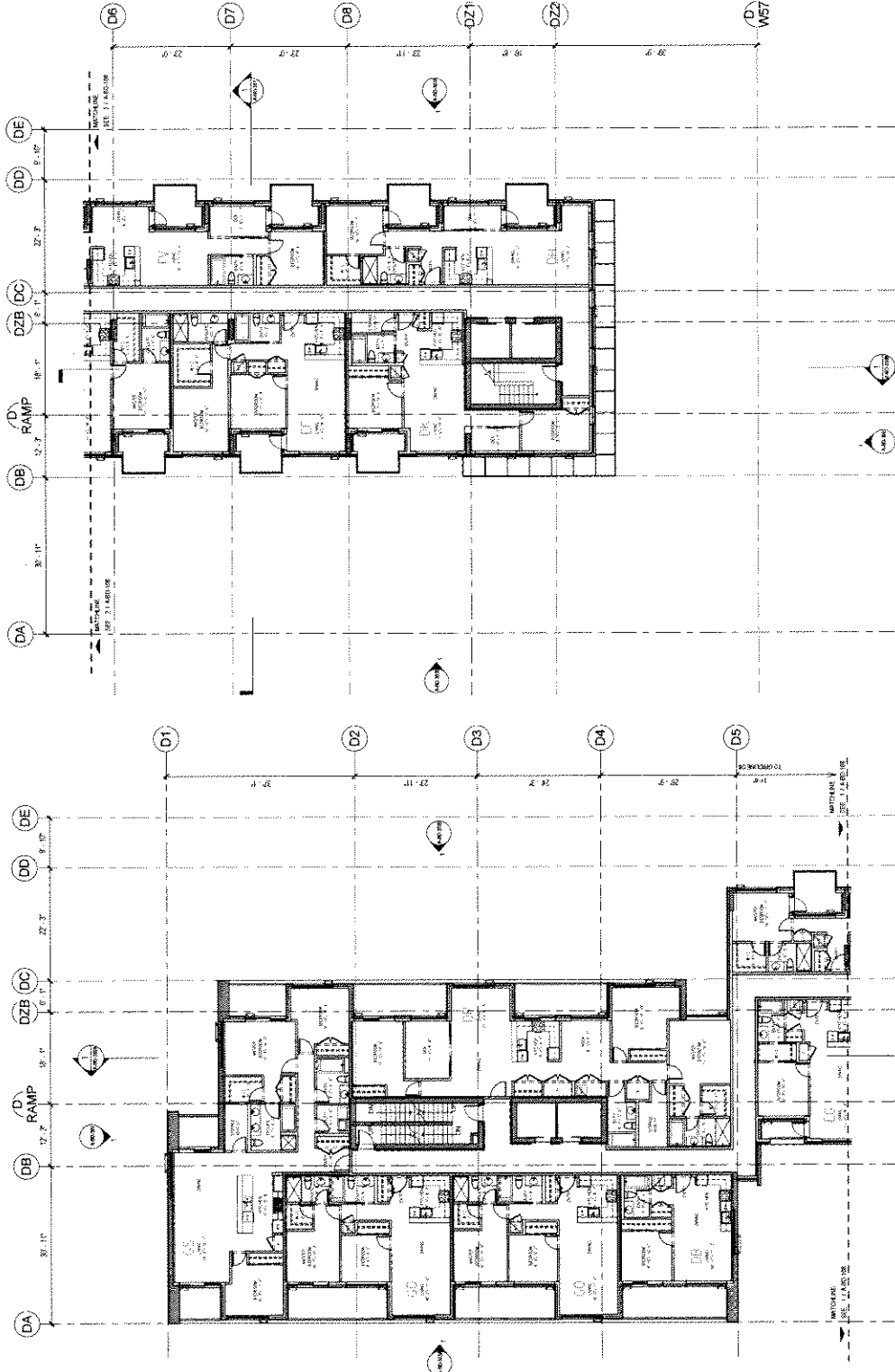
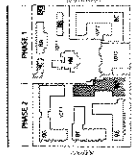


1 BLOCK D - PLAN LEVEL 07 SOUTH

2 BLOCK D - PLAN LEVEL 07 NORTH



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NOTES

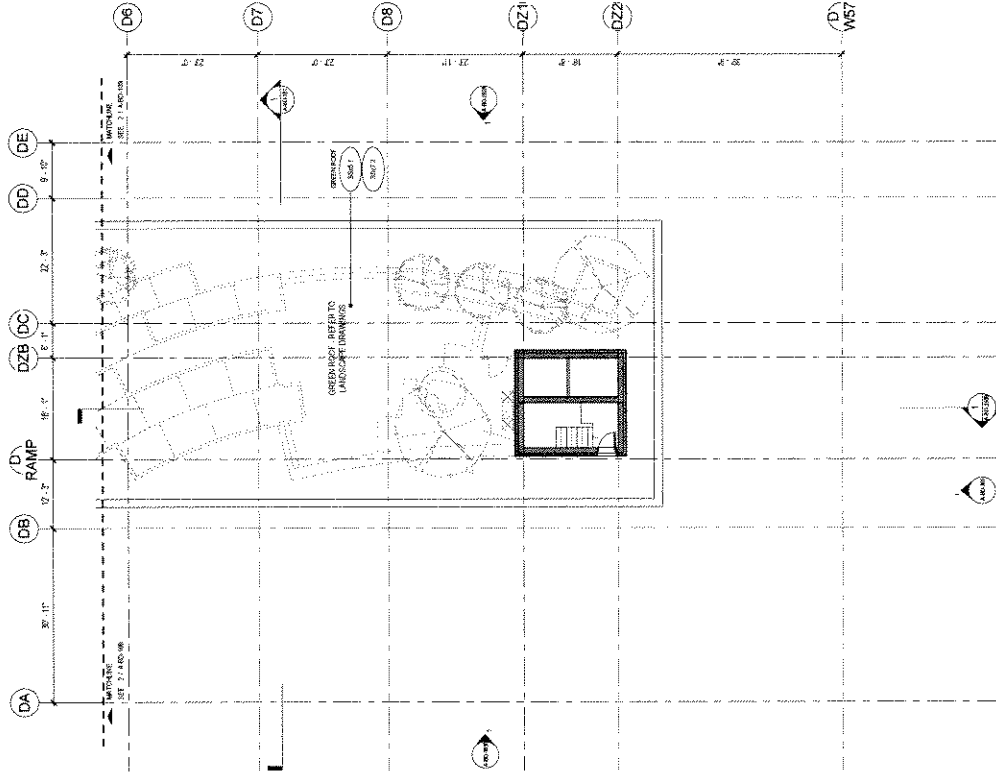
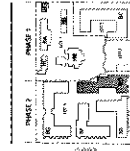
1. Architectural measures will be incorporated into the final design and construction to reduce energy consumption.
2. LEED v4.1 O+M1 level will be achieved.
3. Other than the information shown on this plan, design features include:
  - 100% energy efficient lighting
  - 100% energy efficient HVAC
  - 100% energy efficient water fixtures
  - 100% energy efficient power outlets
  - 100% energy efficient elevators
  - 100% energy efficient escalators
  - 100% energy efficient stairs
  - 100% energy efficient ramps
  - 100% energy efficient lifts
  - 100% energy efficient conveyors
  - 100% energy efficient escalators
  - 100% energy efficient stairs
  - 100% energy efficient ramps
  - 100% energy efficient lifts
  - 100% energy efficient conveyors

1 BLOCK D - PLAN LEVEL 08 SOUTH  
1" = 10'-0"

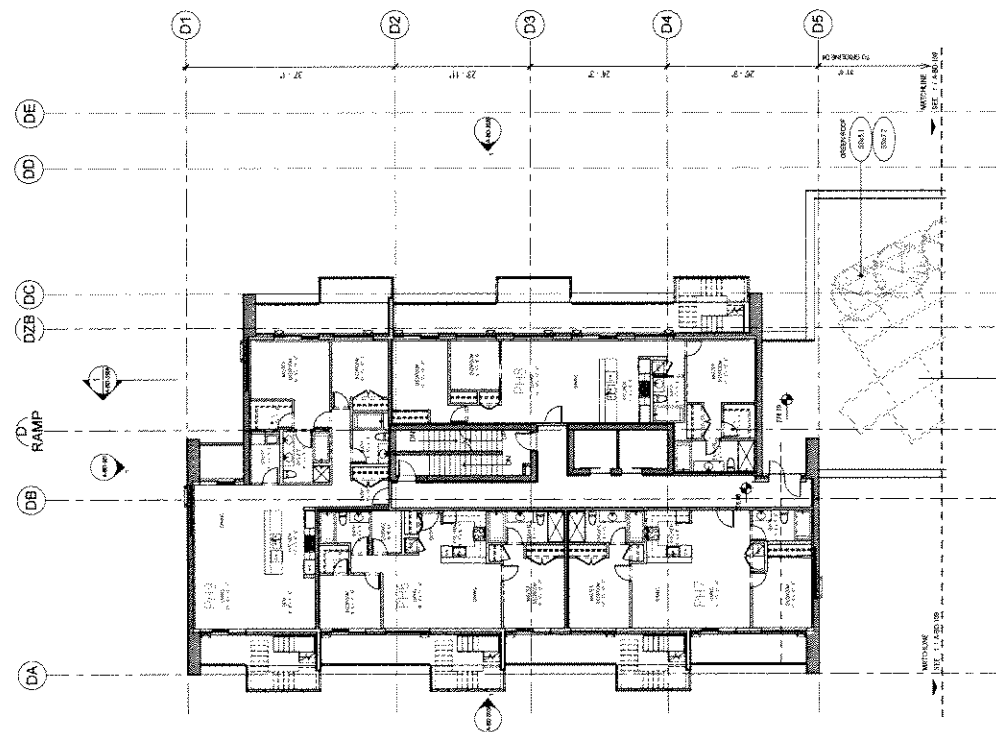
2 BLOCK D - PLAN LEVEL 08 NORTH  
1" = 10'-0"



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1 BLOCK D - PLAN LEVEL 09 SOUTH  
1" = 10'-0"

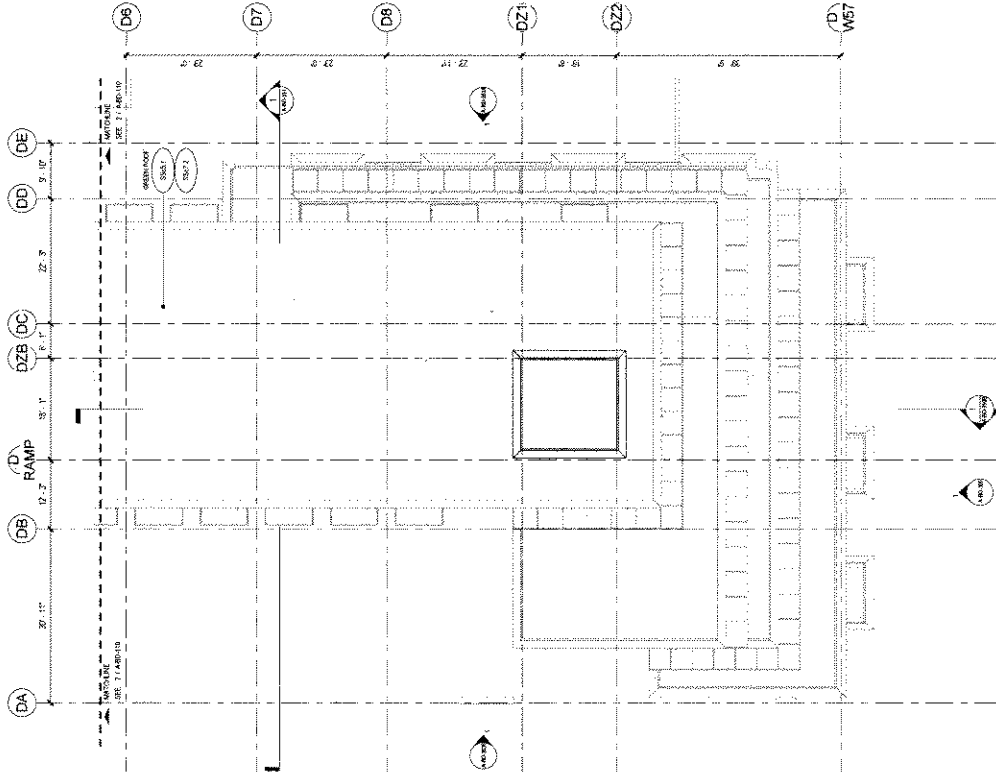
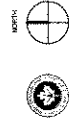
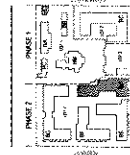


2 BLOCK D - PLAN LEVEL 09 NORTH  
1" = 10'-0"

LEED LEGEND  
REFER TO LEED PROJECT  
FORECAST SHEET 2B

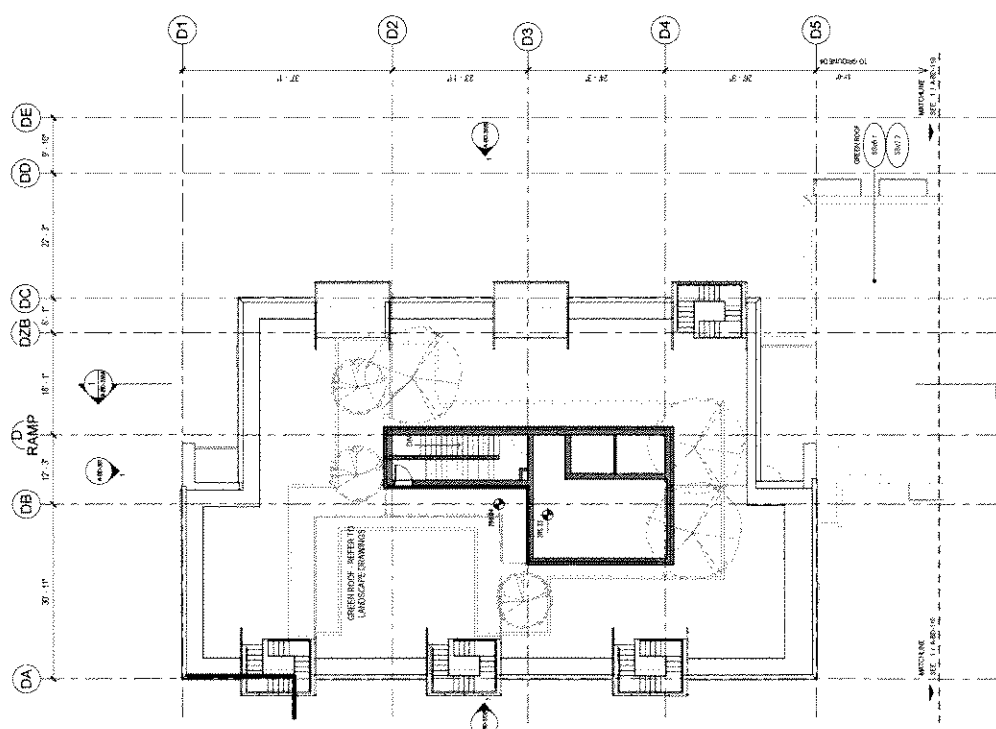
- NOTES
1. Associated model are all to be incorporated into the final design and construction documents. All design and construction documents shall be prepared in accordance with the LEED 2009 Green Building Rating System. All design and construction documents shall be prepared in accordance with the LEED 2009 Green Building Rating System. All design and construction documents shall be prepared in accordance with the LEED 2009 Green Building Rating System.
  2. "SAFER-HOME" devices shall be installed in all bedrooms and living areas. All design and construction documents shall be prepared in accordance with the LEED 2009 Green Building Rating System. All design and construction documents shall be prepared in accordance with the LEED 2009 Green Building Rating System.
  3. All design and construction documents shall be prepared in accordance with the LEED 2009 Green Building Rating System. All design and construction documents shall be prepared in accordance with the LEED 2009 Green Building Rating System.

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**LEAD LEGEND**  
REFER TO LEAD PROJECT FUNDAMENTALS SHEET 1.28

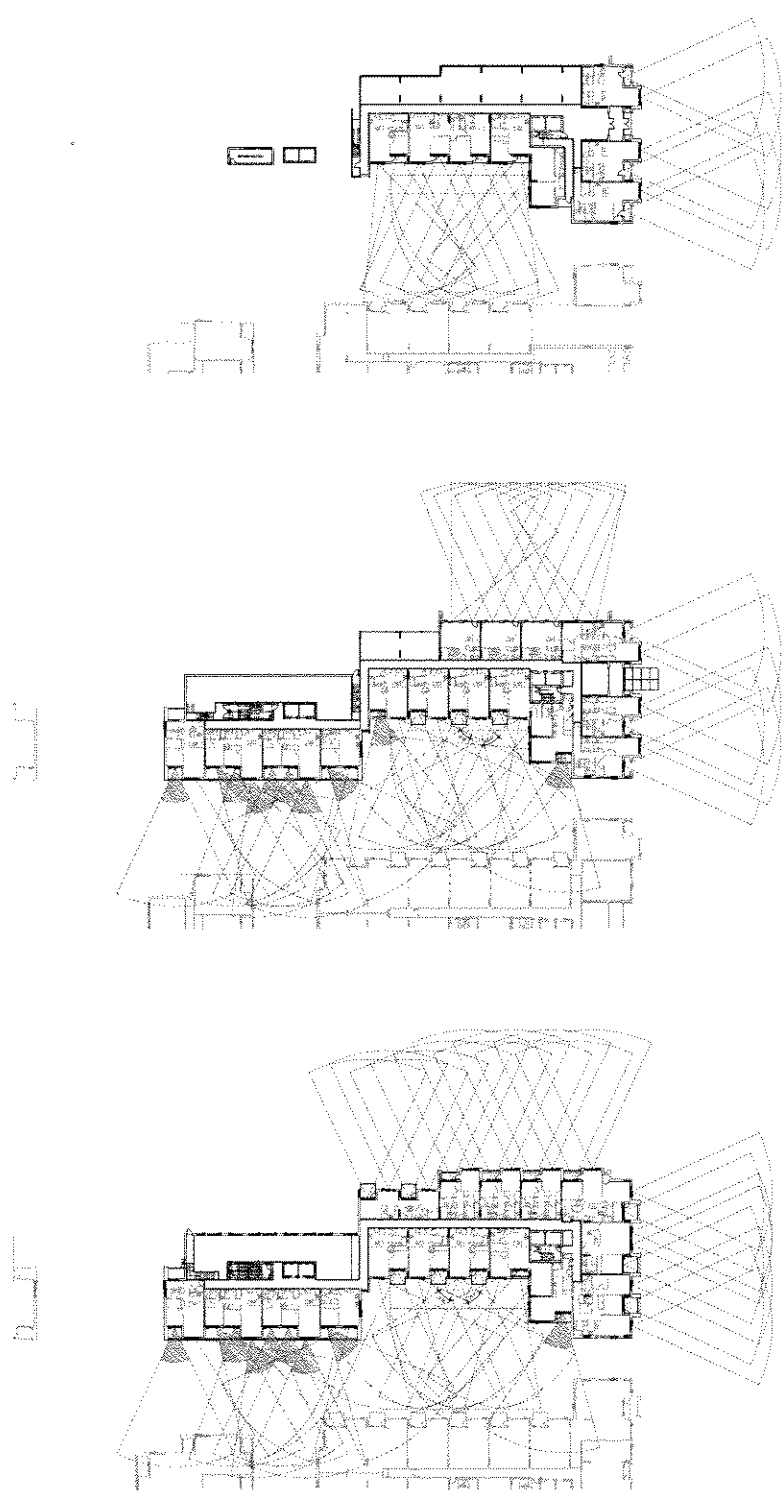
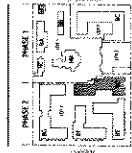
- NOTES**
1. Accurately measure all the information for the building and incorporate it into the overall project information.
  2. REFER TO LEAD SHEETS: GENERAL NOTES, SECTION 1.1, SECTION 1.2, SECTION 1.3, SECTION 1.4, SECTION 1.5, SECTION 1.6, SECTION 1.7, SECTION 1.8, SECTION 1.9, SECTION 1.10, SECTION 1.11, SECTION 1.12, SECTION 1.13, SECTION 1.14, SECTION 1.15, SECTION 1.16, SECTION 1.17, SECTION 1.18, SECTION 1.19, SECTION 1.20, SECTION 1.21, SECTION 1.22, SECTION 1.23, SECTION 1.24, SECTION 1.25, SECTION 1.26, SECTION 1.27, SECTION 1.28, SECTION 1.29, SECTION 1.30, SECTION 1.31, SECTION 1.32, SECTION 1.33, SECTION 1.34, SECTION 1.35, SECTION 1.36, SECTION 1.37, SECTION 1.38, SECTION 1.39, SECTION 1.40, SECTION 1.41, SECTION 1.42, SECTION 1.43, SECTION 1.44, SECTION 1.45, SECTION 1.46, SECTION 1.47, SECTION 1.48, SECTION 1.49, SECTION 1.50, SECTION 1.51, SECTION 1.52, SECTION 1.53, SECTION 1.54, SECTION 1.55, SECTION 1.56, SECTION 1.57, SECTION 1.58, SECTION 1.59, SECTION 1.60, SECTION 1.61, SECTION 1.62, SECTION 1.63, SECTION 1.64, SECTION 1.65, SECTION 1.66, SECTION 1.67, SECTION 1.68, SECTION 1.69, SECTION 1.70, SECTION 1.71, SECTION 1.72, SECTION 1.73, SECTION 1.74, SECTION 1.75, SECTION 1.76, SECTION 1.77, SECTION 1.78, SECTION 1.79, SECTION 1.80, SECTION 1.81, SECTION 1.82, SECTION 1.83, SECTION 1.84, SECTION 1.85, SECTION 1.86, SECTION 1.87, SECTION 1.88, SECTION 1.89, SECTION 1.90, SECTION 1.91, SECTION 1.92, SECTION 1.93, SECTION 1.94, SECTION 1.95, SECTION 1.96, SECTION 1.97, SECTION 1.98, SECTION 1.99, SECTION 1.100.
  3. All work shall be in accordance with the project specifications and shall be completed in a timely manner.



1 BLOCK D - PLAN LEVEL ROOF SOUTH

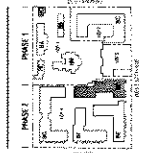
2 BLOCK D - PLAN LEVEL ROOF NORTH

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① HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 01  
 ② HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 02  
 ③ HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 03

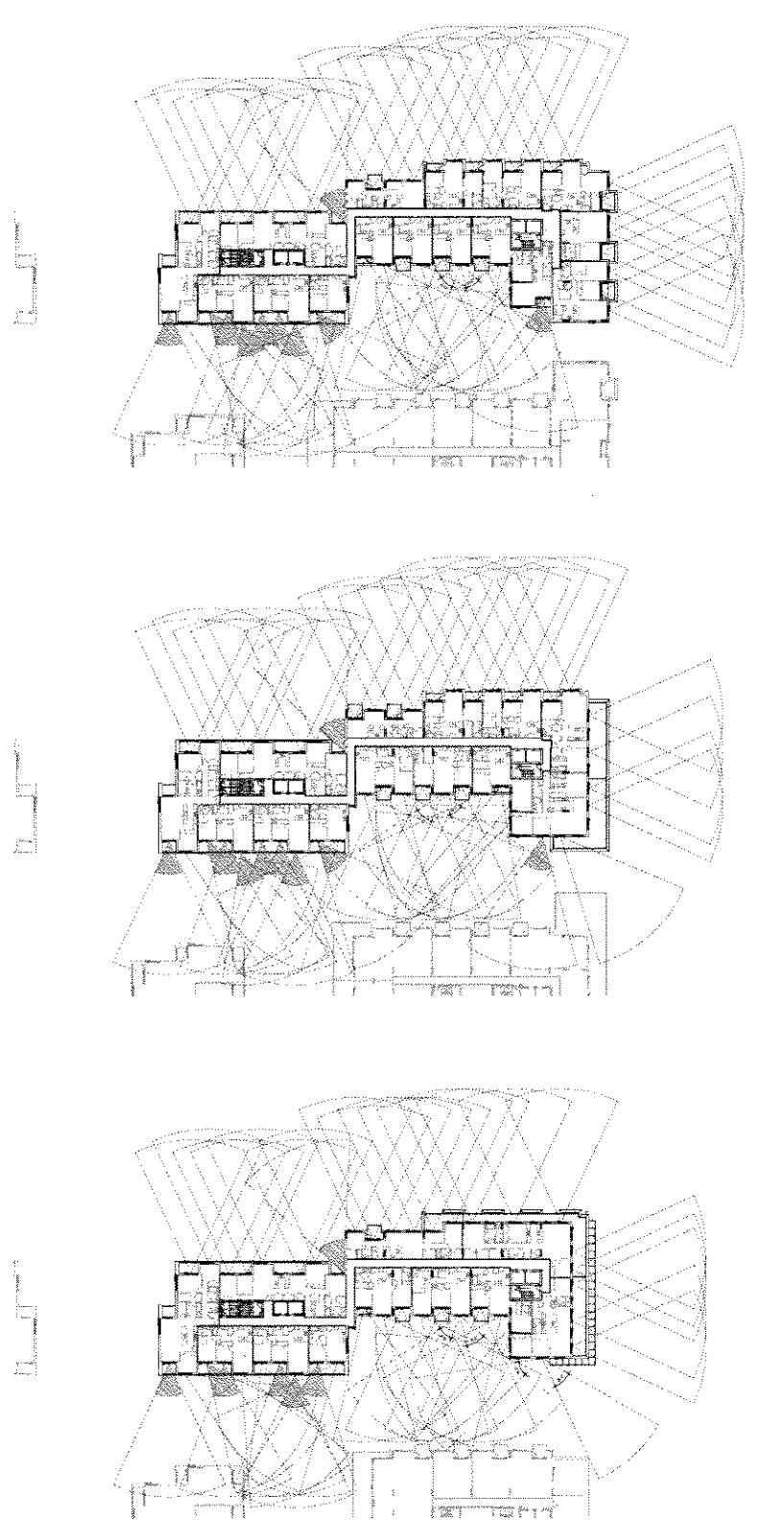
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SHANNON ESTATE  
 PHASE II  
 7401 170th Granville Street  
 Vancouver, BC

BLOCK D -  
 HORIZONTAL ANGLE  
 OF DAYLIGHT LEVELS  
 04-06

A-BD-152



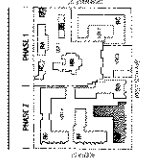
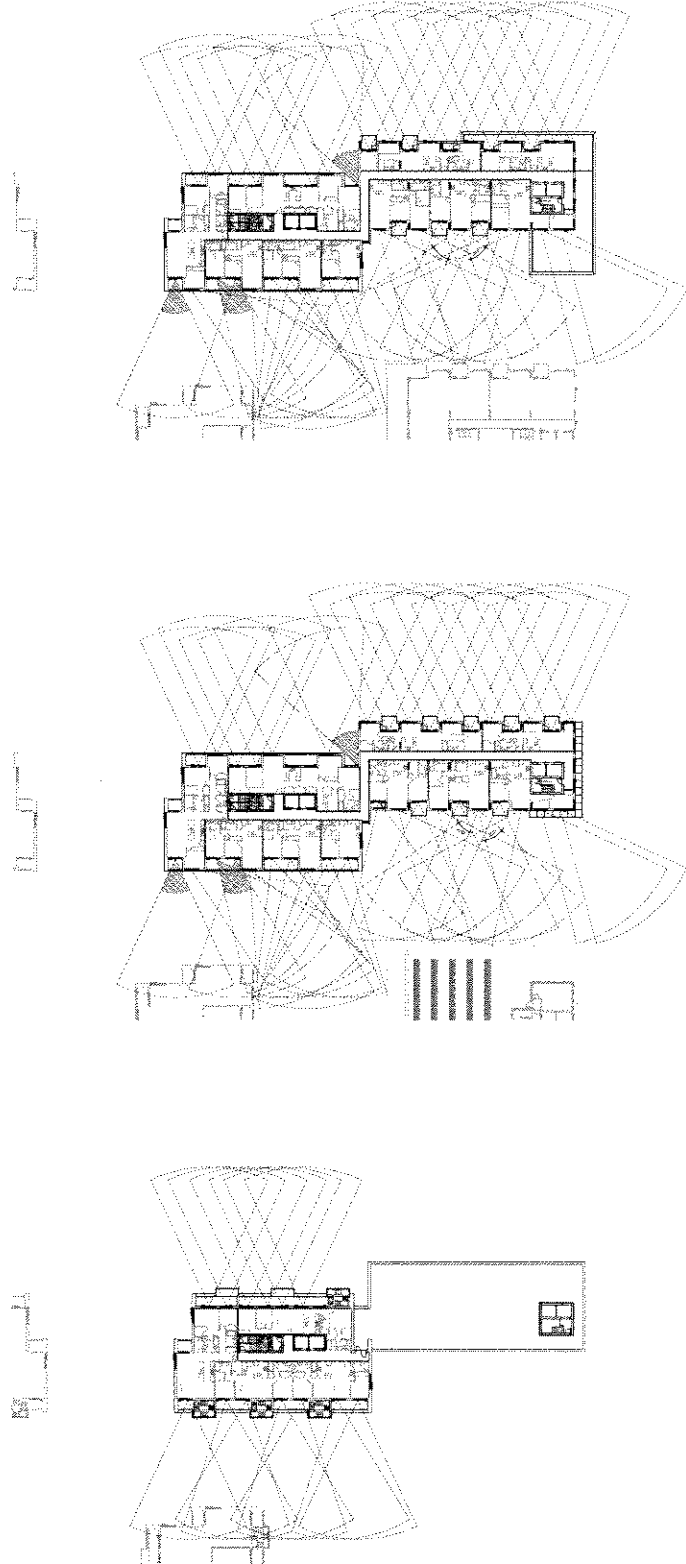
① HORIZONTAL ANGLE OF DAYLIGHT PLAN PLAN LEVEL 04  
102° - 119°

② HORIZONTAL ANGLE OF DAYLIGHT PLAN PLAN LEVEL 05  
102° - 119°

③ HORIZONTAL ANGLE OF DAYLIGHT PLAN PLAN LEVEL 06  
102° - 119°



- LEGEND**
- ..... COMPLIANT I.C. 300.06  
ANGLE OF 30 DEGREES
  - ..... COMPLIANT I.C. 300.06  
ANGLE OF 45 DEGREES
  - ..... COMPLIANT I.C. 300.06  
ANGLE OF 60 DEGREES
  - ..... NON-COMPLIANT I.C. 300.06



① HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 07  
1/32" = 1'-0"

② HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 08  
1/32" = 1'-0"

③ HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 09  
1/32" = 1'-0"





**WALL FINANCIAL CORPORATION**

ISSUES FOR DP 2/10/06 AM

**MATERIALS LEGEND**

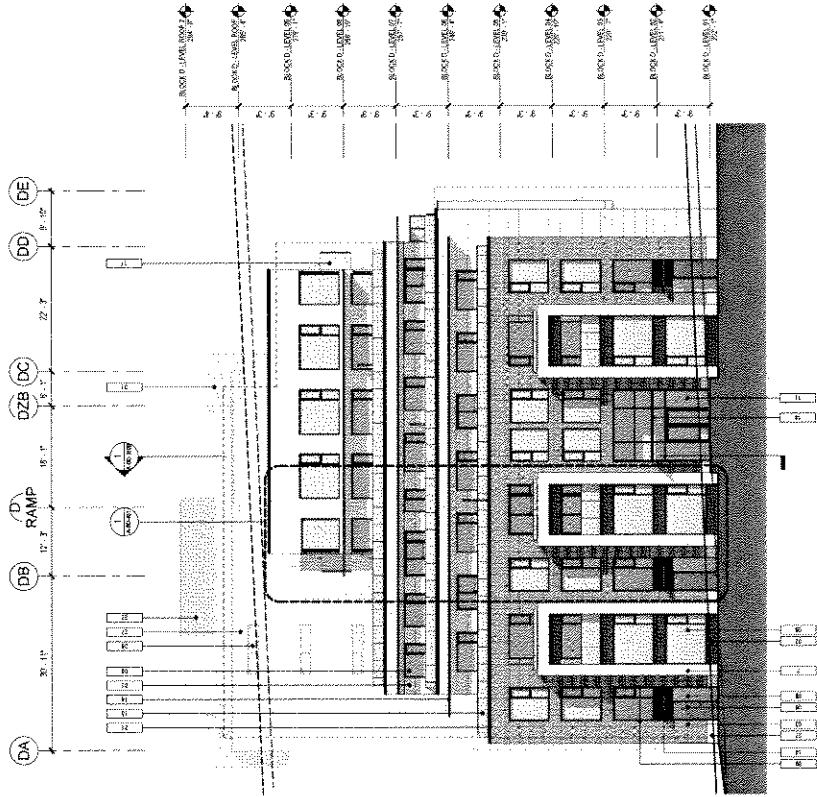
- 01 SUSPENSION CLADDING
- 02 METAL PANEL CLADDING
- 03 LIGHT GREY
- 04 BROWN
- 05 BLOCKS 1" x 4" (LOOK BOARD)
- 06 BLOCKS 1" x 4" (LOOK BOARD)
- 07 BLOCKS 1" x 4" (LOOK BOARD)
- 08 STAINLESS STEEL
- 09 DOOR: HOLLOW METAL FRAME
- 10 WINDOW: ALUMINUM FRAME
- 11 GROUND: ALUMINUM STRIP (PRINTED CLADDING SYSTEM - PRINTED STRUCTURAL GLASS PANEL)
- 12 GLASS PANEL
- 13 STAINLESS STEEL
- 14 STAINLESS STEEL
- 15 STAINLESS STEEL
- 16 STAINLESS STEEL
- 17 STAINLESS STEEL
- 18 STAINLESS STEEL
- 19 STAINLESS STEEL
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- 31 STAINLESS STEEL

**LINE TYPE LEGEND**

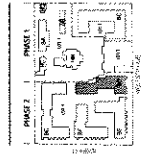
- MAXIMUM FINISH HEIGHT FROM EXISTING FINISH SURFACE
- MAXIMUM FINISH HEIGHT FROM PROPOSED BASE SURFACE OF FLOOR
- EXISTING FINISH SURFACE OF FLOOR
- PROPOSED FINISH SURFACE BY BLOCK OUTLINE
- PROPOSED BUILDING MASSING OUTLINE

**GENERAL NOTES**

ALL EXTERIOR AND CORNER AREA LIGHTS TO BE INSTALLED AT THE TIME OF THE FINAL OFF TAKE. LIGHTS TO BE DESIGNED TO BE INSTALLED AT THE TIME OF THE FINAL OFF TAKE.



1 BLOCK D - ELEVATION SOUTH  
P. 11 of 17



**SHANNON ESTATE  
PHASE II**  
710-1201 Granite Street  
Baltimore, MD

**BLOCK D - BUILDING  
ELEVATION SOUTH**

**A-BD-300**

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WALL FINANCIAL  
CORPORATION

ISSUED FOR UP 20160608

MATERIAL LEGEND

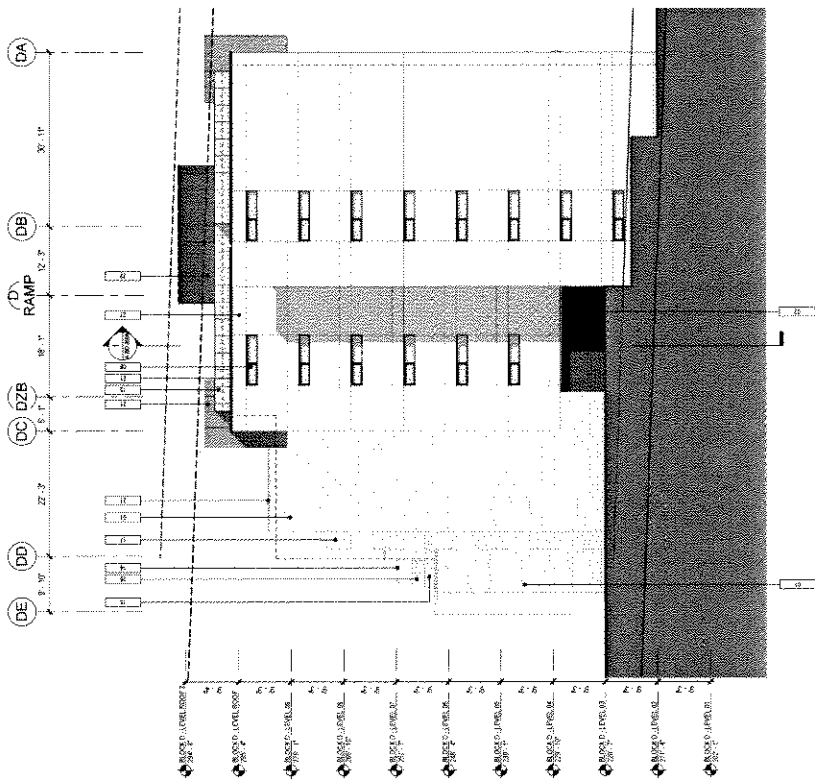
- 01 WOOD CLADDING
- 02 WOOD CLADDING
- 03 METAL PANEL CLADDING
- 04 BRICK CLADDING
- 05 BRICK CLADDING
- 06 BRICK CLADDING
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- 28 BRICK CLADDING
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- 30 BRICK CLADDING
- 31 BRICK CLADDING

LINE TYPE LEGEND

- MAXIMUM BUILDING HEIGHT FROM CURB TO RAIL BASE SURFACE
- MAXIMUM BUILDING HEIGHT FROM PROPOSED RAIL CARPENTRY DECK
- CURB TO OVERALL BASE SURFACE
- PROPOSED BASE SURFACE BY BLOCK CURBLINE
- EXISTING BUILDING MASSING CURBLINE

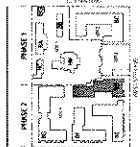
GENERAL NOTES

- 1. ALL EXTERIOR AND COMMON AREAS ARE TO BE FINISHED TO THE FINISH LINE INDICATED BY THE CURBLINE.
- 2. CURBLINE HEIGHTS ARE TO BE TO THE CURBLINE.



1 BLOCK D - ELEVATION NORTH

1/16/17



SHANNON ESTATE  
PHASE II

1815 28th Avenue, Street  
Washington, DC

BLOCK D - BUILDING  
ELEVATION NORTH

A-BD-301

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**MATERIALS LEGEND**

- 01 SWISSPORAL D. KIDING
- 02 METAL PANEL D. KIDING
- 03 LIGHT GREY
- 04 BLOCKS - F. COLOUR (STACK BOND)
- 05 BLOCKS - F. G. COLOUR (STACK BOND)
- 06 EPS - ALUMINUM FRAMED FINISHES /
- 07 EPS - ALUMINUM FRAMED FINISHES /
- 08 EPS - ALUMINUM FRAMED FINISHES /
- 09 EPS - ALUMINUM FRAMED FINISHES /
- 10 EPS - ALUMINUM FRAMED FINISHES /
- 11 EPS - ALUMINUM FRAMED FINISHES /
- 12 EPS - ALUMINUM FRAMED FINISHES /
- 13 EPS - ALUMINUM FRAMED FINISHES /
- 14 EPS - ALUMINUM FRAMED FINISHES /
- 15 EPS - ALUMINUM FRAMED FINISHES /
- 16 EPS - ALUMINUM FRAMED FINISHES /
- 17 EPS - ALUMINUM FRAMED FINISHES /
- 18 EPS - ALUMINUM FRAMED FINISHES /
- 19 EPS - ALUMINUM FRAMED FINISHES /
- 20 EPS - ALUMINUM FRAMED FINISHES /
- 21 EPS - ALUMINUM FRAMED FINISHES /
- 22 EPS - ALUMINUM FRAMED FINISHES /
- 23 EPS - ALUMINUM FRAMED FINISHES /
- 24 EPS - ALUMINUM FRAMED FINISHES /
- 25 EPS - ALUMINUM FRAMED FINISHES /
- 26 EPS - ALUMINUM FRAMED FINISHES /
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- 28 EPS - ALUMINUM FRAMED FINISHES /
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- 31 EPS - ALUMINUM FRAMED FINISHES /

**LINE TYPE LEGEND**

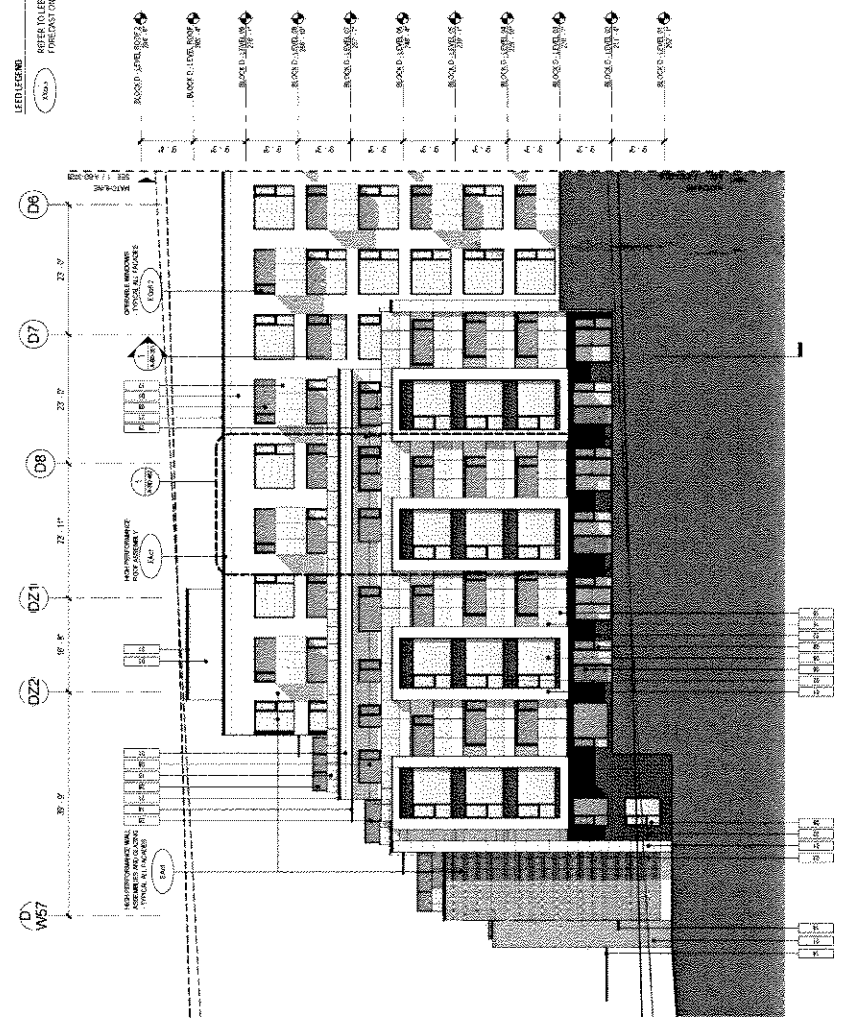
- MAXIMUM BUILDING HEIGHT FROM
- MINIMUM BUILDING HEIGHT FROM
- PROPOSED BASE SURFACE BY BLOCK
- RETAINING BUILDING MASSING
- OUTLINE

**GENERAL NOTES**

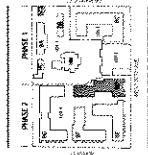
1. ALL EXTERIOR BASE CORNER AREAS TO BE FINISHED TO MATCH ADJACENT BUILDING MASSING.
2. ALL EXTERIOR BASE CORNER AREAS TO BE FINISHED TO MATCH ADJACENT BUILDING MASSING.
3. ALL EXTERIOR BASE CORNER AREAS TO BE FINISHED TO MATCH ADJACENT BUILDING MASSING.

**LINE LEGEND**

- PROPOSED BASE SURFACE BY BLOCK
- RETAINING BUILDING MASSING
- OUTLINE



1 BLOCK D - ELEVATION EAST 1



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WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 2019.04.08

WALL TYPES LEGEND

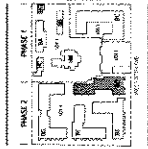
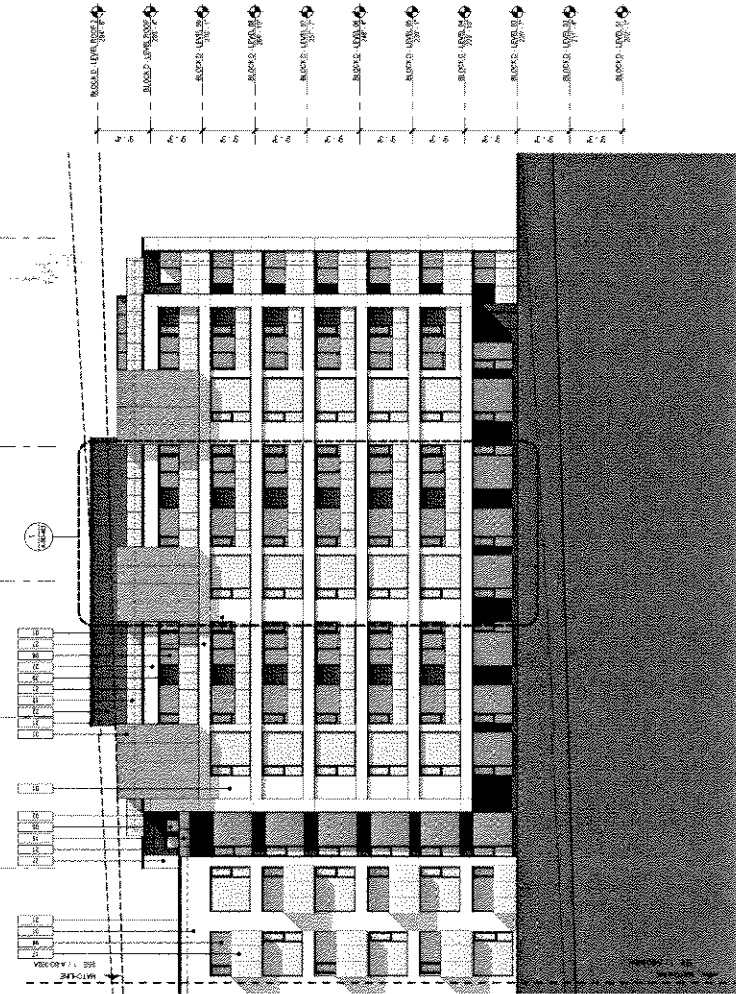
- 01 ANGLE IRON CLADDING
- 02 METAL PANEL CLADDING
- 03 BRICK CLADDING
- 04 BLOCKS - 4" COLOUR (1 STACK BOND)
- 05 BLOCKS - 4" COLOUR (2 STACK BOND)
- 06 ALUMINUM FRAMED ENTRANCES / DOORS
- 07 POLYURETHANE METAL FRAME
- 08 CLADDING SYSTEM WINDOW WALL ALUMINUM
- 09 DARK GREY ALUMINUM EXTRUSION (PAINTED)
- 10 CLADDING SYSTEM - FINISHED STRUCTURAL
- 11 CLADDING SYSTEM - STONEFRONT
- 12 FIBRE ALUMINUM SOLAR SHADES
- 13 STAINLESS STEEL SOLAR SHADES (PAINTED TO MATCH CLADDING)
- 14 STAINLESS STEEL SOLAR SHADES WITH STAINLESS STEEL FRAMES
- 15 BRICK CLADDING - GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
- 16 BRICK CLADDING - GLASS PANEL WITH STEEL FRAME WITH STEEL FRAME (PAINTED DARK GREY)
- 17 BRICK CLADDING - GLASS PANEL WITH STEEL FRAME WITH STEEL FRAME (PAINTED DARK GREY)
- 18 BRICK CLADDING - GLASS PANEL WITH STEEL FRAME WITH STEEL FRAME (PAINTED DARK GREY)
- 19 BRICK CLADDING - GLASS PANEL WITH STEEL FRAME WITH STEEL FRAME (PAINTED DARK GREY)
- 20 BRICK CLADDING - GLASS PANEL WITH STEEL FRAME WITH STEEL FRAME (PAINTED DARK GREY)
- 21 BRICK CLADDING - GLASS PANEL WITH STEEL FRAME WITH STEEL FRAME (PAINTED DARK GREY)
- 22 CORRUGATED METAL PANEL (PAINTED)
- 23 CORRUGATED METAL PANEL (PAINTED)
- 24 DECORATIVE STEEL CHANNEL (PAINTED DARK GREY)
- 25 PARKING SECURITY GATE (PAINTED DARK GREY)
- 26 PARKING SECURITY GATE (PAINTED DARK GREY)
- 27 PREFINISHED METAL FLASHING (GLASS TO METAL)
- 28 PREFINISHED METAL FLASHING (GLASS TO METAL)
- 29 PREFINISHED METAL FLASHING (GLASS TO METAL)
- 30 PREFINISHED METAL FLASHING (GLASS TO METAL)
- 31 PREFINISHED METAL FLASHING (GLASS TO METAL)

LINE TYPE LEGEND

- MASONRY/CLADDING HEIGHT FROM FINISH FLOOR
- MASONRY/CLADDING HEIGHT FROM PROPOSED BASE SURFACE BY FLOOR
- FINISHED BASE SURFACE BY FLOOR
- PROPOSED BASE SURFACE BY FLOOR
- RETURNING BUILDING MASSING OUTLINE

GENERAL NOTES

- 1. ALL EXTERIOR AND COMMON AREA WALLS TO BE FINISHED TO FACE UNLESS OTHERWISE NOTED.
- 2. CLADDING SYSTEM HEIGHTS TO FINISH FLOOR UNLESS OTHERWISE NOTED.
- 3. CLADDING SYSTEM HEIGHTS TO PROPOSED BASE SURFACE UNLESS OTHERWISE NOTED.



SHANNON ESTATE  
PHASE II  
7101 29th Commerce Street  
Charlotte, NC

BLOCK D - BUILDING  
ELEVATION EAST 2

A-BD-302B

1 BLOCK D - ELEVATION EAST 2  
11.10.20

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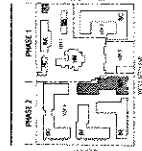


**LINE TYPE LEGEND**

- MAXIMUM BUILDING HEIGHT FROM CONTIGUOUS BASE SURFACE
- MAXIMUM BUILDING HEIGHT FROM PROPOSED BASE SURFACE OF BLOCK
- CD-1 OVERALL BASE SURFACE
- PROPOSED BASE SURFACE BY BLOCK
- RETAINING WALLS/ENCLOSING CURBLINE

**GENERAL NOTES**

- 1. ALL EXTERIOR AND COMMON AREA LIGHTS TO BE FULL-COULOUR FEATURES DESIGNED TO ILLUMINATE LIGHT SPACES BEYOND THE SITE

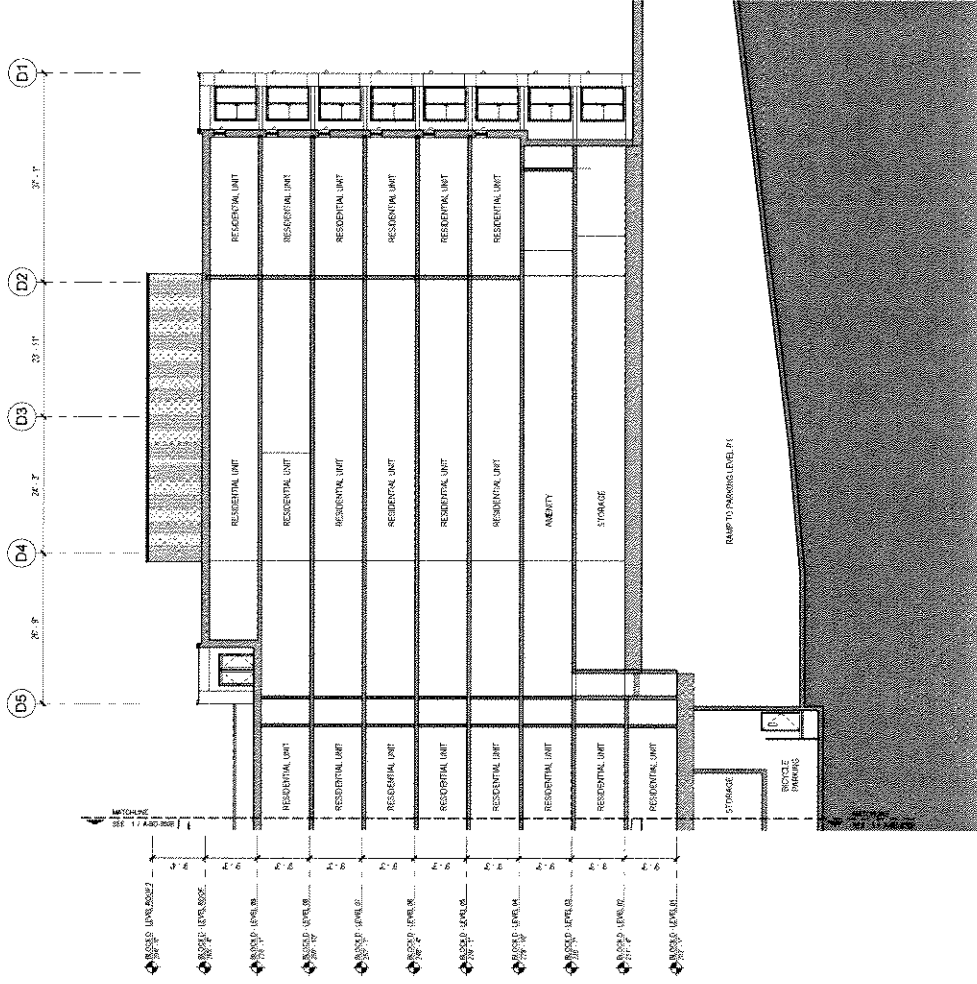


**SHANNON ESTATE  
PHASE II**  
710-720 Geneva Street  
Vancouver, BC

**BLOCK D - BUILDING  
SECTION NORTH -  
SOUTH 1**

**A-BD-350A**

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1 BUILDING SECTION NORTH SOUTH 2  
19-1027

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**WALL FINANCIAL  
CORPORATION**

ISSUED FOR: 2018.08.08

**LINE TYPE LEGEND**

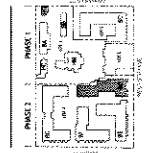
- ..... WALL FINISHING HEIGHT FROM CENTERLINE, BASE SURFACE
- WALL FINISHING HEIGHT FROM PROVIDED BASE SURFACE, PER FOR
- ..... CD 1 OVERALL BASE SURFACE
- ..... PROPOSED BASE SURFACE BY BLOCK
- ..... NOTING OF BUILDING JOINTS AND
- ..... NOTING

**GENERAL NOTES**

1. ALL EXTENSIONS AND COMMON AREAS UP TO DETAIL, CD OFF FINISHES DESIGNED TO ELIMINATE LIGHT TRESPASS BEYOND THE SITE

**LEADER LEGEND**

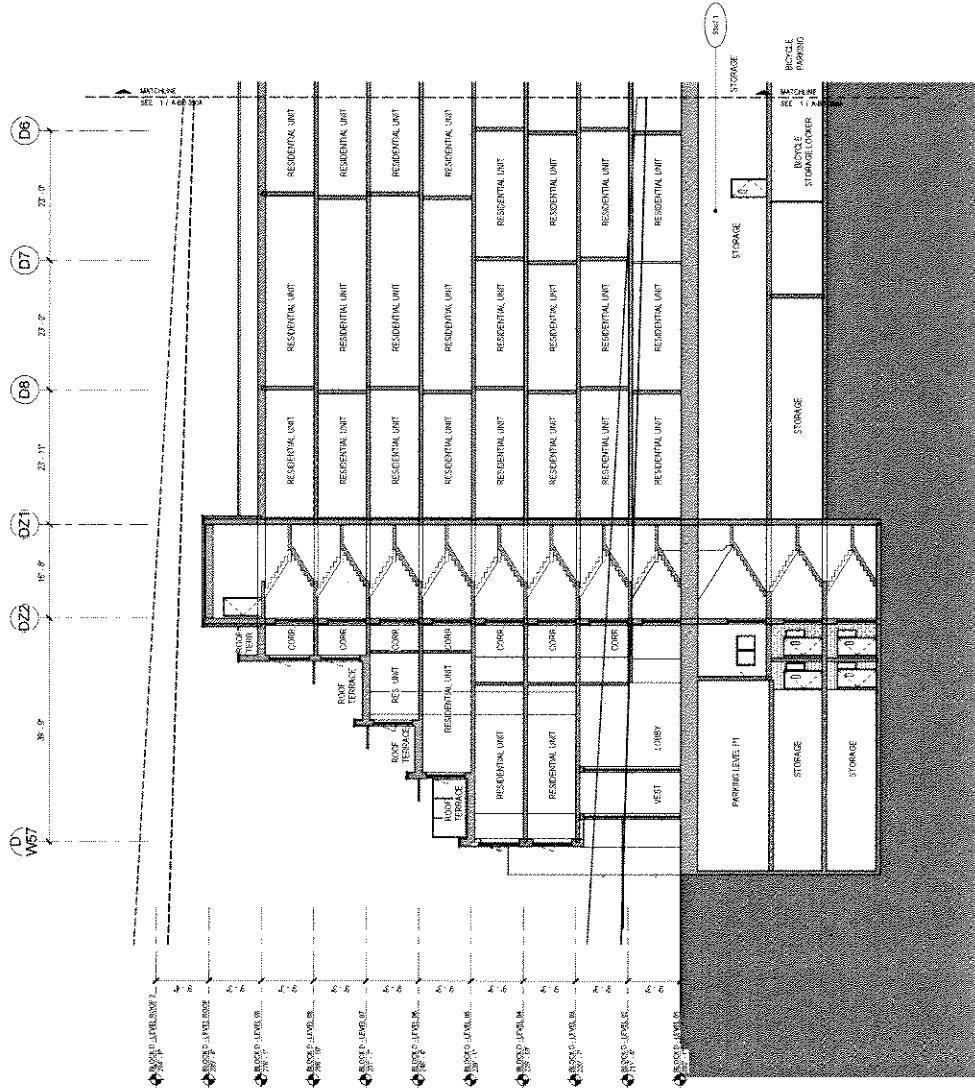
- REFER TO LEAD PROJECT FORECAST ON SHEET 26



**SHANNON ESTATE  
PHASE II**  
7101 12th Granville Street  
Yorktown, VA

**BLOCK D - BUILDING  
SECTION NORTH  
SOUTH 2**

**A-BD-350B**



1 BUILDING SECTION NORTH SOUTH 2  
1/4" = 1'-0"

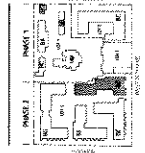
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**LINE TYPE LEGEND**  
 - - - - MAXIMUM FINISH HEIGHT FROM  
 CENTERLINE BASE SURFACE  
 - - - - MAXIMUM BUILDING HEIGHT FROM  
 PROPOSED BASE SURFACE BY BLOCK  
 - - - - EX-1 OVERALL BASE SURFACE  
 - - - - PROPOSED BASE SURFACE BY BLOCK  
 - - - - REPAIRING HOLDING MASSING  
 OUTLINE

**GENERAL NOTES**  
 ALL EXTERIOR AND COMMON AREAS LAIRS TO  
 BE RAIL OUT OF FINISHES REQUIRED TO  
 GUARANTEE LIGHT RESPONSE BEYOND THE SITE

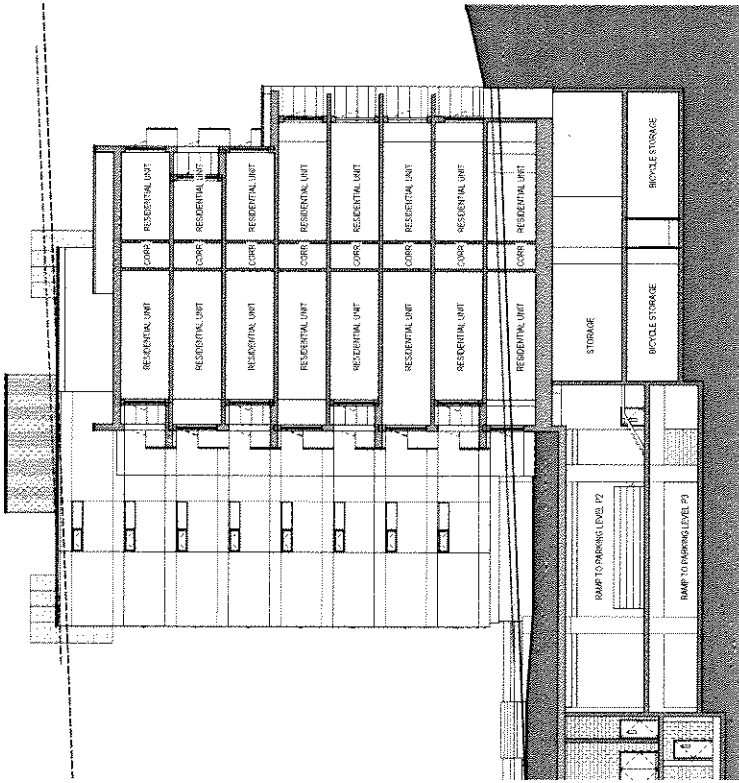
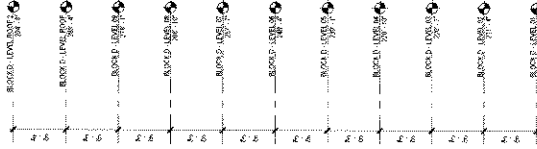
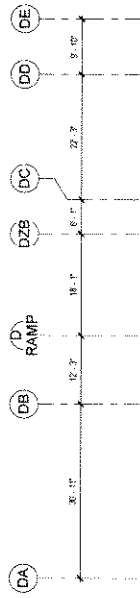


**SHANNON ESTATE  
 PHASE II**  
 197 197 Cambridge Street  
 Vancouver, BC

**BLOCK D - BUILDING  
 SECTION EAST WEST**

**A-BD-351**

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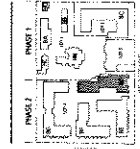


1 AB-D-SCT-OVL-EW  
 14-1017

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- MATERIALS LEGEND**
- 01 SWISSFRAME CLADDING
  - 02 METAL PANEL CLADDING
  - 03 LIGHT GRAY
  - 04 BLOCKS - F COLOR (STOCK BOND)
  - 05 BLOCKS - G COLOR (STAMP BARS)
  - 06 DOOR ALUMINUM FRAMED ENTRANCES /
  - 07 STAIRFRONT
  - 08 DOOR ALUMINUM FRAMED
  - 09 DOOR ALUMINUM FRAMED
  - 10 WINDOW WALL ALUMINUM FRAMED
  - 11 GLAZING SYSTEM - FITTED STRUCTURAL
  - 12 GLASS WALL - FRAMELESS
  - 13 FINED ALUMINUM SLAT SHAKES
  - 14 ARCHITECTURAL MECHANICAL Louvers
  - 15 CANOPY - FINED GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
  - 16 BALCONY RAILING - WHITE FINED GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
  - 17 BALCONY RAILING - FLATTOP FAUCO
  - 18 LANGSATE WALL - PRECAST CONCRETE
  - 19 WATERPROOF ALUMINUM FRAME
  - 20 MESH SCREEN (PAINTED DARK GREY)
  - 21 REFINISHED METAL COPING
  - 22 CORRUGATED METAL PANEL (PAINTED) LANGSATE ROOF TOP PLANTER - METAL
  - 23 RECOGNITIVE STEEL CHAIRS - PAINTED DARK GREY
  - 24 SECURITY GATE (PAINTED DARK GREY)
  - 25 PAINT SYSTEM - WHITE FINED GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
  - 26 PAINT SYSTEM - WHITE FINED GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
  - 27 PAINT SYSTEM - WHITE FINED GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
  - 28 AUTO-ADJACENT STAIRS
  - 29 PAINT SYSTEM - WHITE FINED GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
  - 30 PAINT SYSTEM - WHITE FINED GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
  - 31 PAINT SYSTEM - WHITE FINED GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)

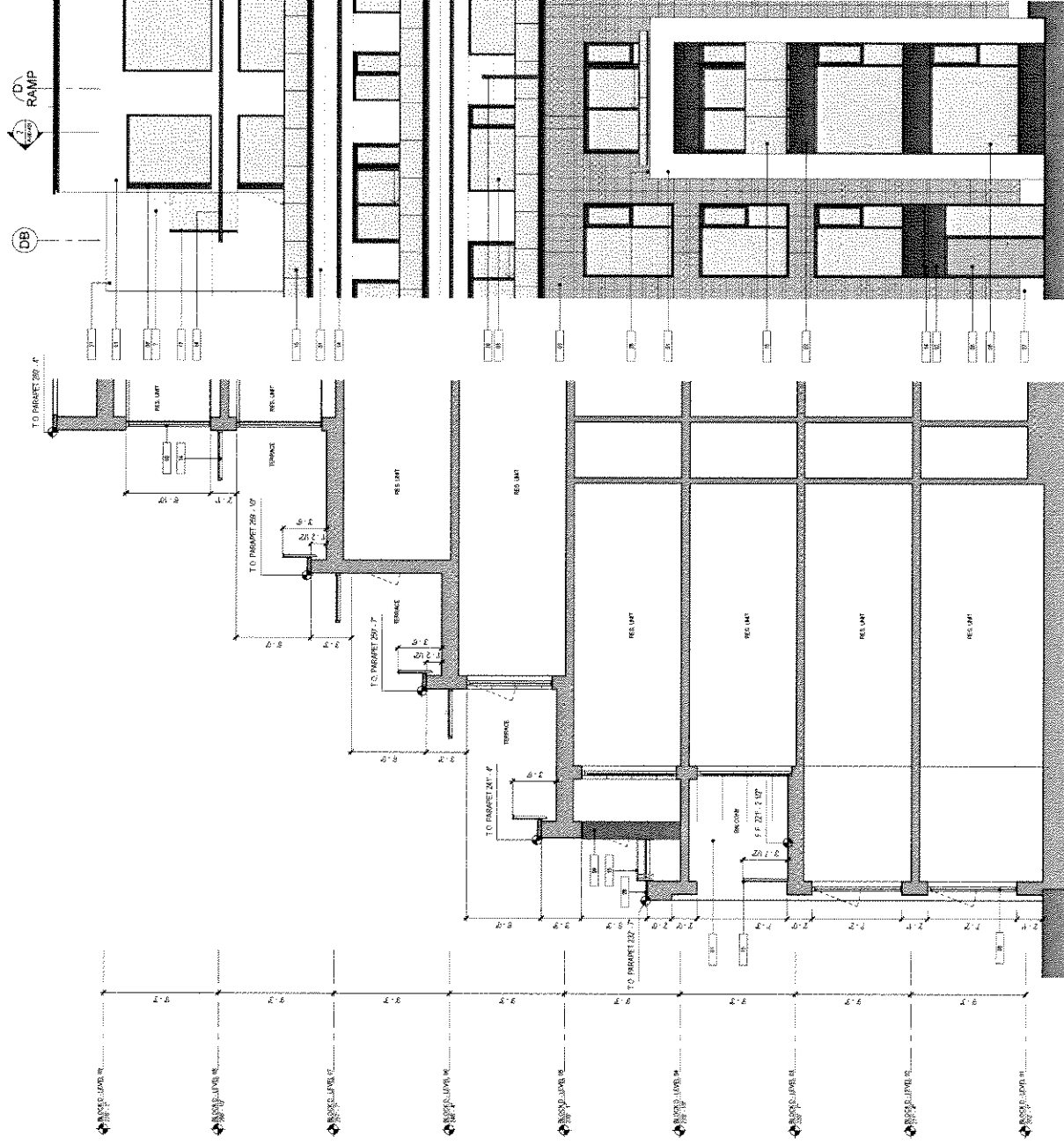


**SHANNON ESTATE  
PHASE II**  
7101-7201 Granville Street  
Vancouver, BC

**BLOCK D - WALL  
SECTION - SOUTH**

**A-BD-401**

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① BLOCK D - ENLARGED ELEVATION - SOUTH  
1/8" = 1'-0"

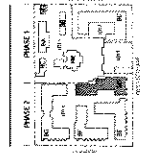
② BLOCK D - WALL SECTION - SOUTH  
1/8" = 1'-0"

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**MATERIAL LEGEND**

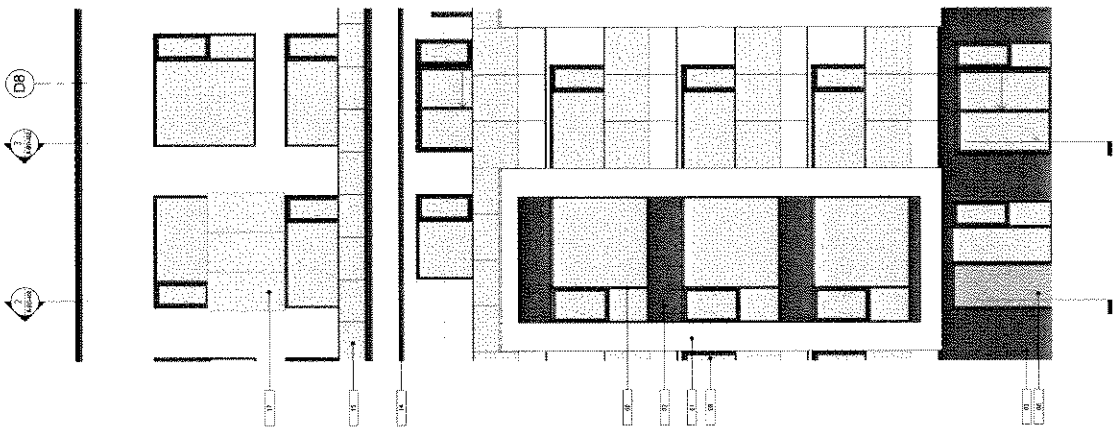
- 01 SWISSPEARL CLADDING
- 02 METAL PANEL CLADDING
- 03 LIGHT GREY PAINTING
- 04 BROWN CLADDING
- 05 BROWN CLADDING (STACK BRN)
- 06 BROWN CLADDING (STACK BRN)
- 07 DOOR - ALUMINUM FRAME (STACK BRN)
- 08 DOOR - ALUMINUM FRAME (STACK BRN)
- 09 DOOR - ALUMINUM FRAME (STACK BRN)
- 10 DOOR - ALUMINUM FRAME (STACK BRN)
- 11 DOOR - ALUMINUM FRAME (STACK BRN)
- 12 DOOR - ALUMINUM FRAME (STACK BRN)
- 13 DOOR - ALUMINUM FRAME (STACK BRN)
- 14 DOOR - ALUMINUM FRAME (STACK BRN)
- 15 DOOR - ALUMINUM FRAME (STACK BRN)
- 16 DOOR - ALUMINUM FRAME (STACK BRN)
- 17 DOOR - ALUMINUM FRAME (STACK BRN)
- 18 DOOR - ALUMINUM FRAME (STACK BRN)
- 19 DOOR - ALUMINUM FRAME (STACK BRN)
- 20 DOOR - ALUMINUM FRAME (STACK BRN)
- 21 DOOR - ALUMINUM FRAME (STACK BRN)
- 22 DOOR - ALUMINUM FRAME (STACK BRN)
- 23 DOOR - ALUMINUM FRAME (STACK BRN)
- 24 DOOR - ALUMINUM FRAME (STACK BRN)
- 25 DOOR - ALUMINUM FRAME (STACK BRN)
- 26 DOOR - ALUMINUM FRAME (STACK BRN)
- 27 DOOR - ALUMINUM FRAME (STACK BRN)
- 28 DOOR - ALUMINUM FRAME (STACK BRN)
- 29 DOOR - ALUMINUM FRAME (STACK BRN)
- 30 DOOR - ALUMINUM FRAME (STACK BRN)
- 31 DOOR - ALUMINUM FRAME (STACK BRN)



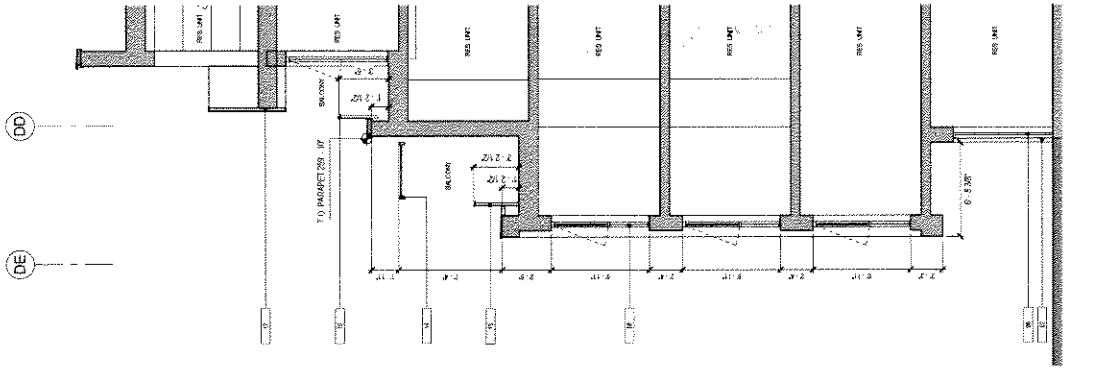
SHANNON ESTATE  
PHASE II  
710-720 Cavetta Street  
Vancouver, BC

BLOCK D - WALL  
SECTION - EAST

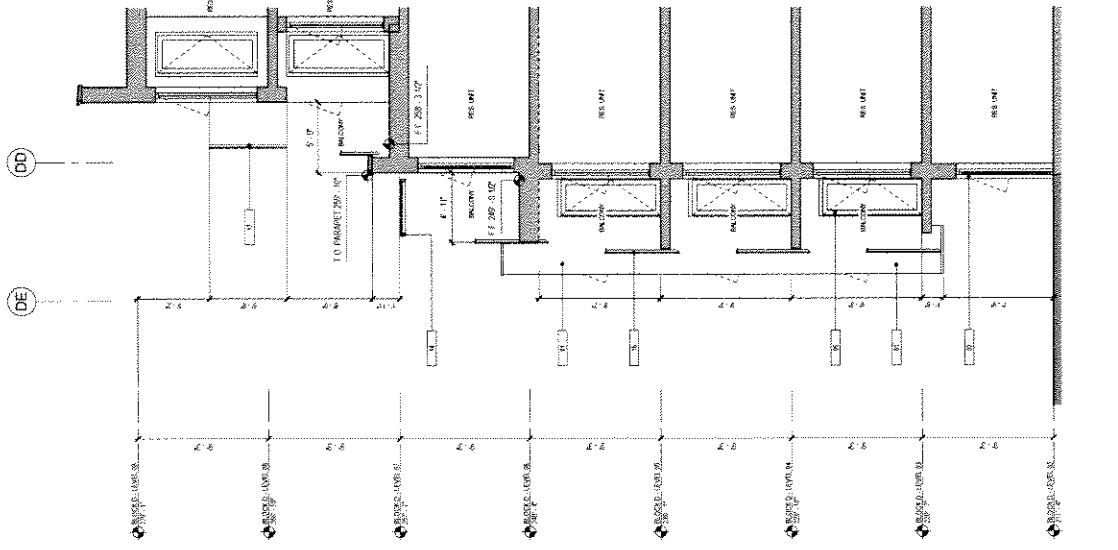
A-BD-402



1 BLOCK D - ENLARGED ELEVATION - EAST  
1/8" = 1'-0"



2 BLOCK D - WALL SECTION EAST  
1/8" = 1'-0"



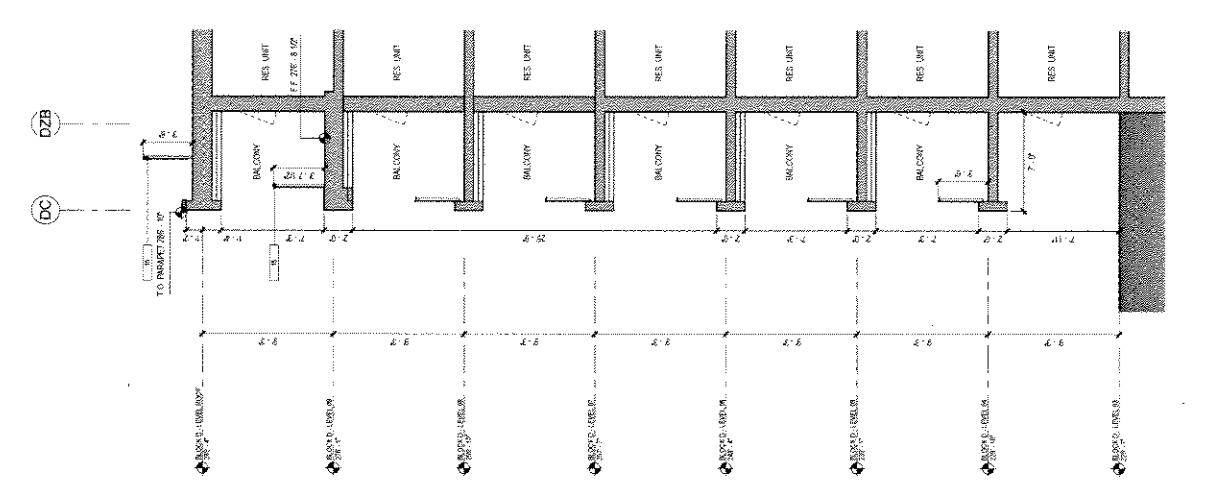
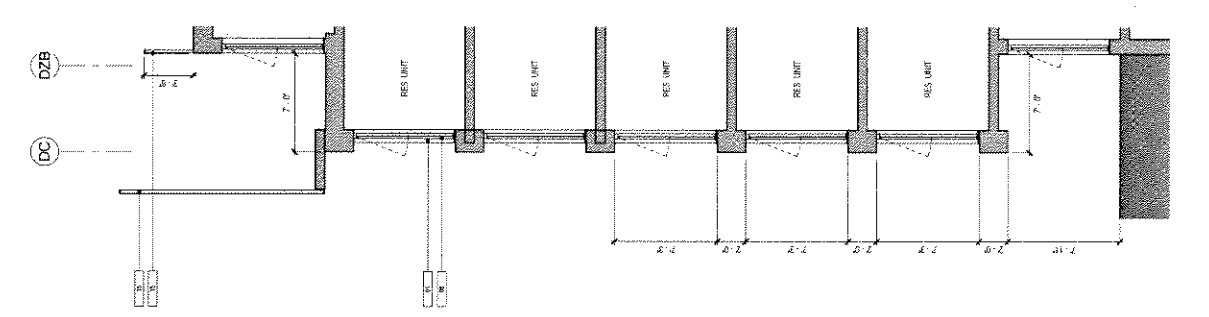
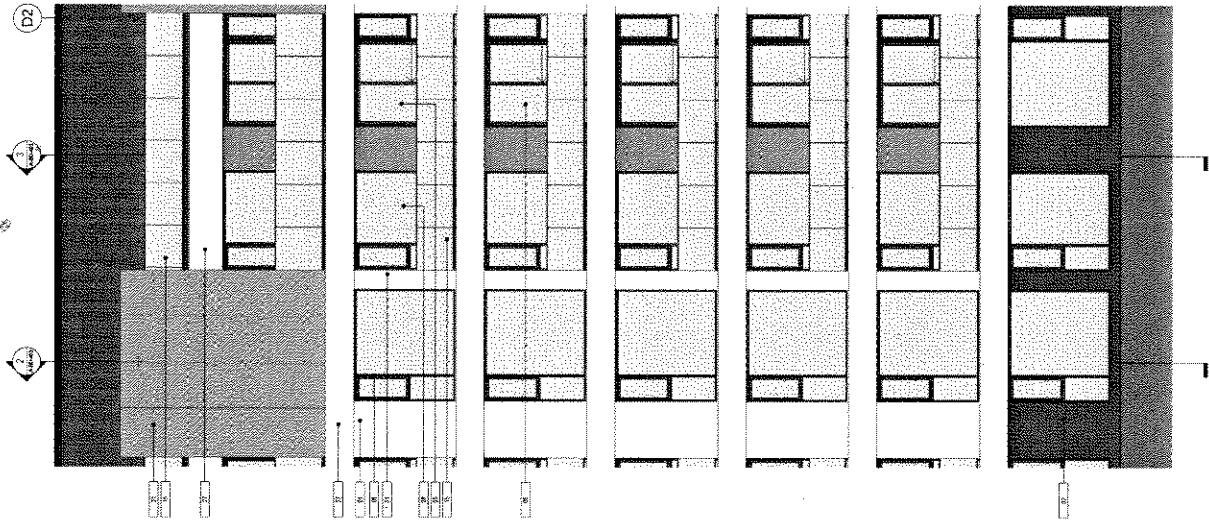
3 BLOCK D - WALL SECTION - BALCONIES EAST  
1/8" = 1'-0"

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MATERIALS LIST (MD)

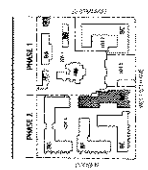
- 01 SWISSPEARL CLADDING (WHITE)
- 02 METAL PANEL CLADDING
- 03 LIGHT GREY CLADDING
- 04 BLOCK OF 1/2" COLURITE (STACK BOND)
- 05 BLOCK OF 1/2" COLURITE (STACK BOND)
- 06 DOOR - ALUMINUM FRAMED (ENGLANDS)
- 07 STRIPFRONT
- 08 DOOR - ALUMINUM FRAMED (ENGLANDS)
- 09 DOOR - ALUMINUM FRAMED (ENGLANDS)
- 10 WINDOW GLAZING FRAME
- 11 WINDOW GLAZING SYSTEM
- 12 SURROUND - ALUMINUM EXTENSION (PAINTED)
- 13 GLASS WALL - FRITTED (STRUCTURAL)
- 14 GLASS WALL - FRITTED (STRUCTURAL)
- 15 FRAMING ALUMINUM GLAZING
- 16 FRAMING ALUMINUM GLAZING
- 17 ARCHITECTURAL MECHANICAL LOWERS
- 18 WINDOW GLAZING SYSTEM
- 19 STEEL FRAME (PAINTED DARK GREY)
- 20 TINTED GLASS PANEL WITH STAINLESS STEEL FRAME (PAINTED DARK GREY)
- 21 BALCONY RAILING - FLAT BAR (PAINTED DARK GREY)
- 22 BALCONY RAILING - FLAT BAR (PAINTED DARK GREY)
- 23 WATER FEATURE - ALUMINUM FRAME
- 24 LANTERN LIGHT - PRECAST CONCRETE
- 25 MESH GREEN (PAINTED DARK GREY)
- 26 REINFORCED METAL COPING
- 27 CORRUGATED METAL PANEL (PAINTED)
- 28 LANTERN LIGHT - PRECAST CONCRETE
- 29 DECORATIVE STEEL CHANNEL (PAINTED DARK GREY)
- 30 SECURITY SCREEN (PAINTED DARK GREY)
- 31 PRIVACY SCREEN - WHITE BRITISH GLASS
- 32 PRIVACY SCREEN - WHITE BRITISH GLASS
- 33 CAST IN PLACE CONCRETE (PAINTED WHITE)
- 34 METAL ANCHOR BUSH
- 35 PROGRAM CLADDING BUSH (WHITE VERDE)
- 36 PERFORATED ALUMINUM COPPER



1 BLOCK D - ENLARGED ELEVATION - EAST - TOWER  
1/8" = 1'-0"

2 BLOCK D - WALL SECTION - TOWER  
1/8" = 1'-0"

3 BLOCK D - WALL SECTION EAST - TOWER BALCONIES  
1/8" = 1'-0"



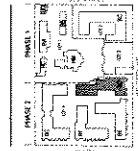
SHANNON ESTATE  
PHASE II  
7101-7201 Granville Street  
Washington, DC

BLOCK D - WALL  
SECTION - EAST

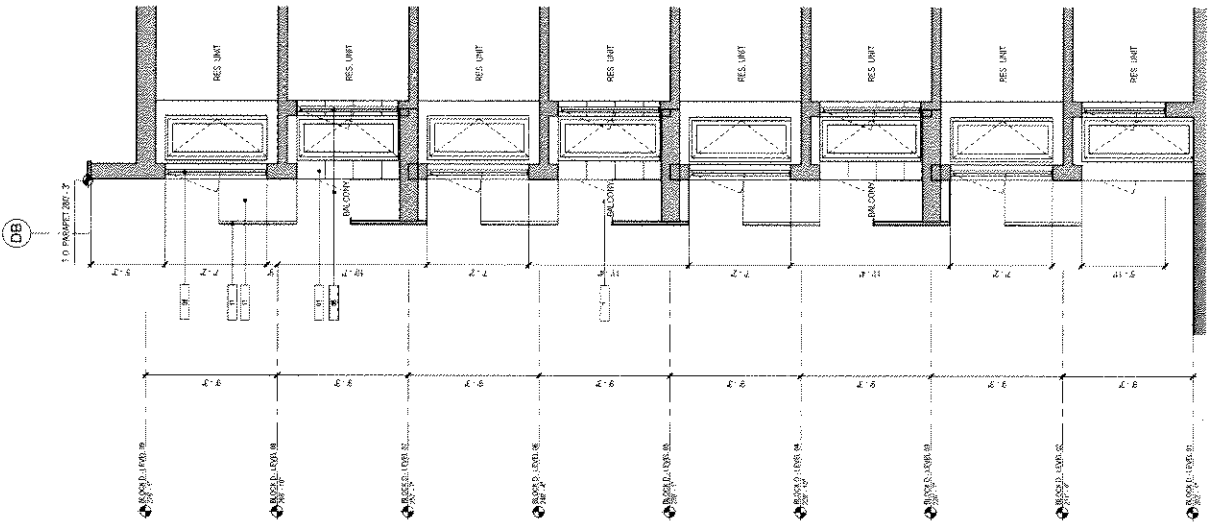
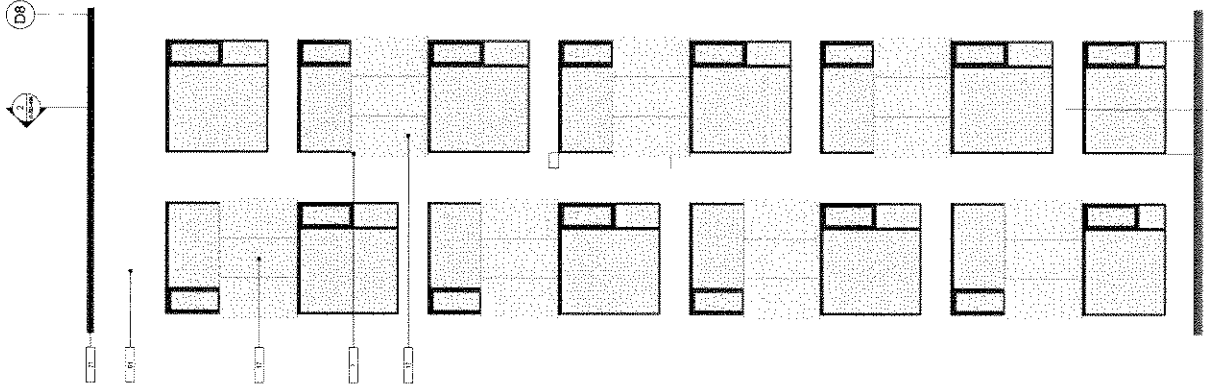
A-BD-403

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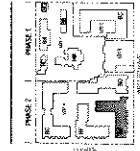
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- MATERIALS LEGEND**
- 01 SWISSPEAR CLADDING
  - 02 METAL PANEL CLADDING
  - 03 LIGHT GREY BRICK
  - 04 BRICKS - 4" COLOUR STACK (BOND)
  - 05 BRICKS - 4" COLOUR 2" STACK (BOND)
  - 06 CURB ALUMINUM FRAME ENTRANCE /
  - 07 STAIRFRONT
  - 08 DOOR - ALUMINUM FRAME
  - 09 DOOR - ALUMINUM FRAME
  - 10 (TO MATCH GLAZING FRAME)
  - 11 (TO MATCH GLAZING FRAME)
  - 12 (TO MATCH GLAZING FRAME)
  - 13 (TO MATCH GLAZING FRAME)
  - 14 (TO MATCH GLAZING FRAME)
  - 15 (TO MATCH GLAZING FRAME)
  - 16 (TO MATCH GLAZING FRAME)
  - 17 (TO MATCH GLAZING FRAME)
  - 18 (TO MATCH GLAZING FRAME)
  - 19 (TO MATCH GLAZING FRAME)
  - 20 (TO MATCH GLAZING FRAME)
  - 21 (TO MATCH GLAZING FRAME)
  - 22 (TO MATCH GLAZING FRAME)
  - 23 (TO MATCH GLAZING FRAME)
  - 24 (TO MATCH GLAZING FRAME)
  - 25 (TO MATCH GLAZING FRAME)
  - 26 (TO MATCH GLAZING FRAME)
  - 27 (TO MATCH GLAZING FRAME)
  - 28 (TO MATCH GLAZING FRAME)
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Appendix C of page 9 of A3

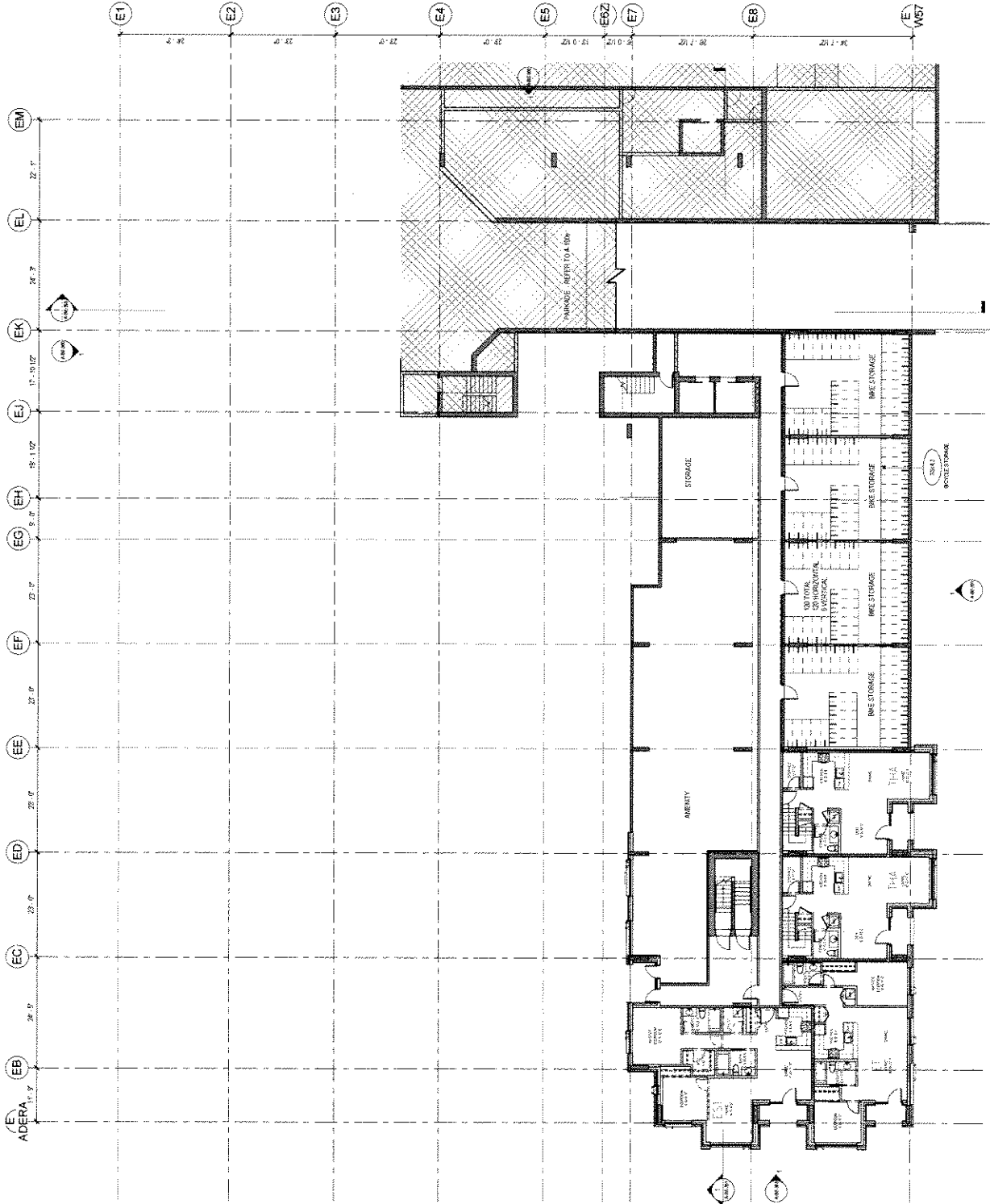


**SHANNON ESTATE  
PHASE II**  
710-720 Greenwich Street  
Washington, DC

**BLOCK E - OVERALL  
PLAN LEVEL 01**

**A-BE-101**

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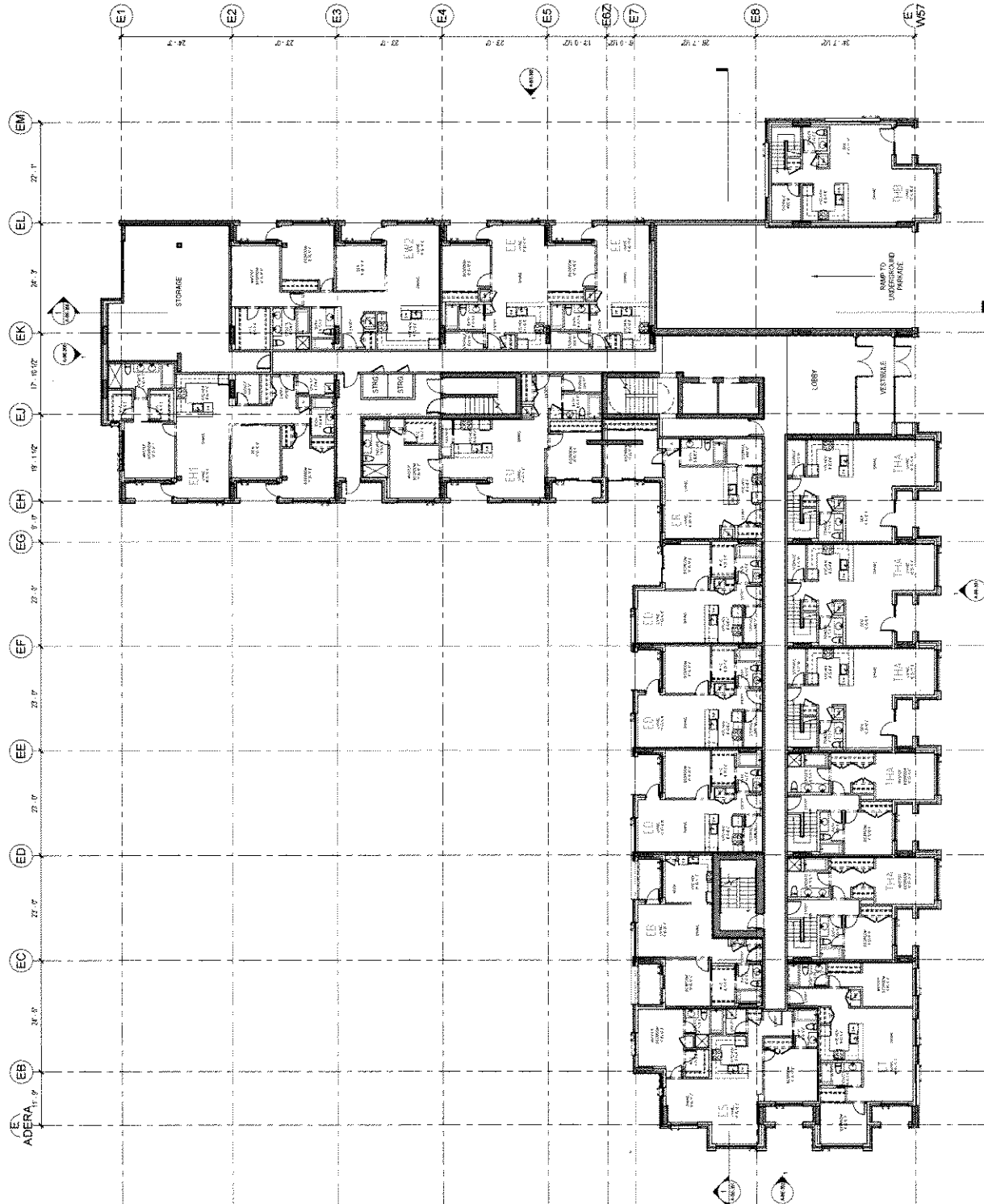
**LEGEND**  
REFERENCED PROJECT  
PREPARED FOR SHEET 28

- NOTES**
1. Accidental measures will be incorporated into the final design and construction to meet the code requirements.
  2. DIMENSIONS are shown in feet and inches. All dimensions are based on the centerline of the building unless otherwise noted. Minimum floor width is 8'0".
  3. All construction shall be in accordance with the applicable building codes, ordinances, and standards. All construction shall be in accordance with the applicable building codes, ordinances, and standards. All construction shall be in accordance with the applicable building codes, ordinances, and standards.



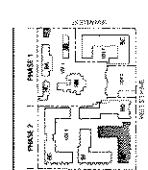
**1 BLOCK E - PLAN LEVEL 01**  
1" = 32'

Appendix C, page 50 of 143



**NOTES**

1. Accidental dimensions will be incorporated into the design and construction of the building. Dimensions shown on this drawing are for informational purposes only and are not to be used for construction. Dimensions shown on this drawing are for informational purposes only and are not to be used for construction.
2. All dimensions are in feet and inches. All dimensions are rounded to the nearest 1/4 inch. All dimensions are rounded to the nearest 1/4 inch.
3. All dimensions are in feet and inches. All dimensions are rounded to the nearest 1/4 inch. All dimensions are rounded to the nearest 1/4 inch.



**SHANNON ESTATE  
PHASE II**  
710-7201 Grandville Street  
Livestock, IL

**BLOCK E - OVERALL  
PLAN LEVEL 02**



**A-BE-102**

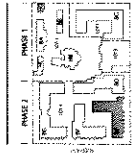
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**1** BLOCK E - PLAN LEVEL 02  
11'-0" x 85'-0"

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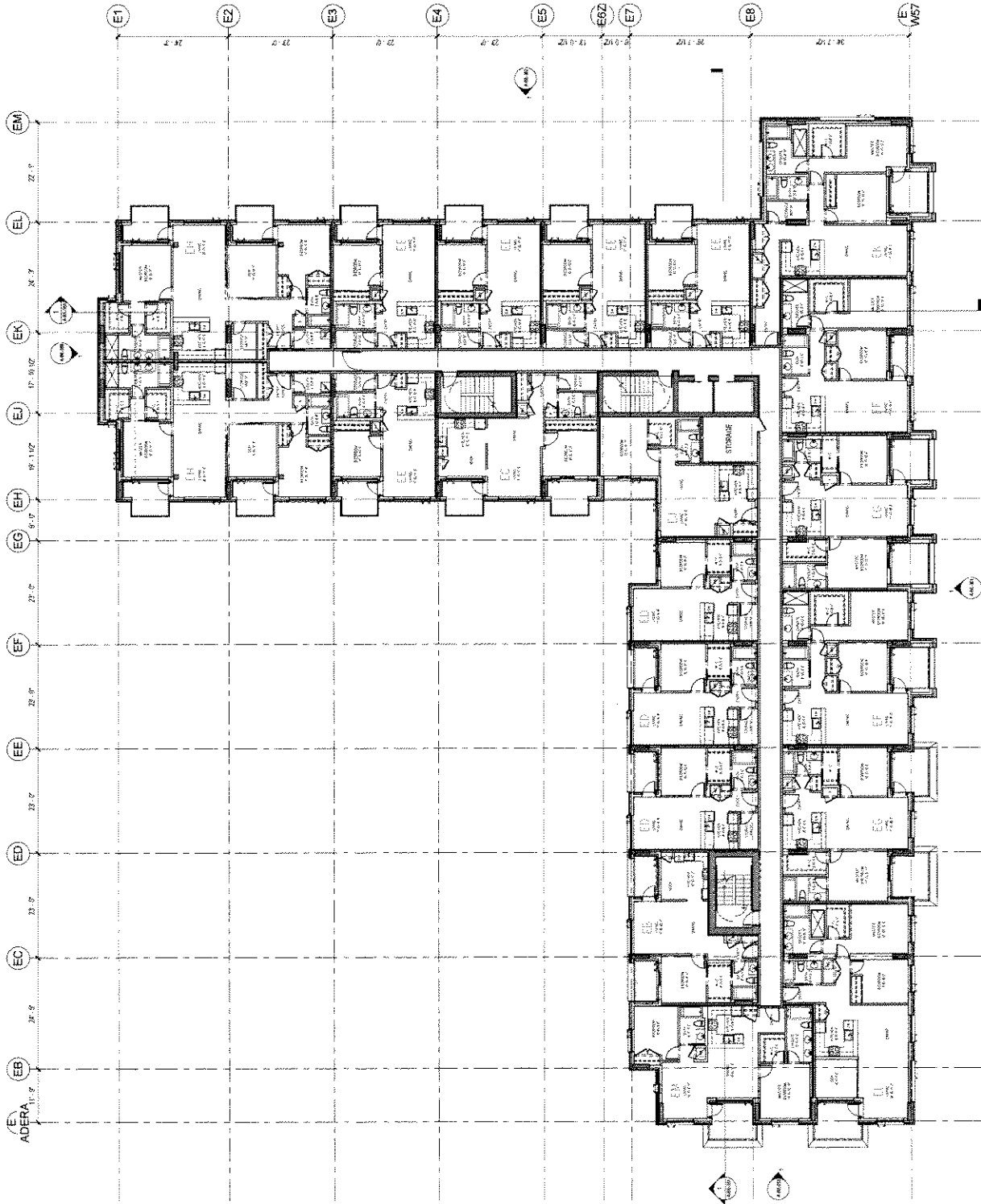




**SHANNON ESTATE  
PHASE II**  
1117201 Granite Street  
Yorkshire, NC

**BLOCK E - OVERALL  
PLAN LEVEL 04**

**A-BE-104**

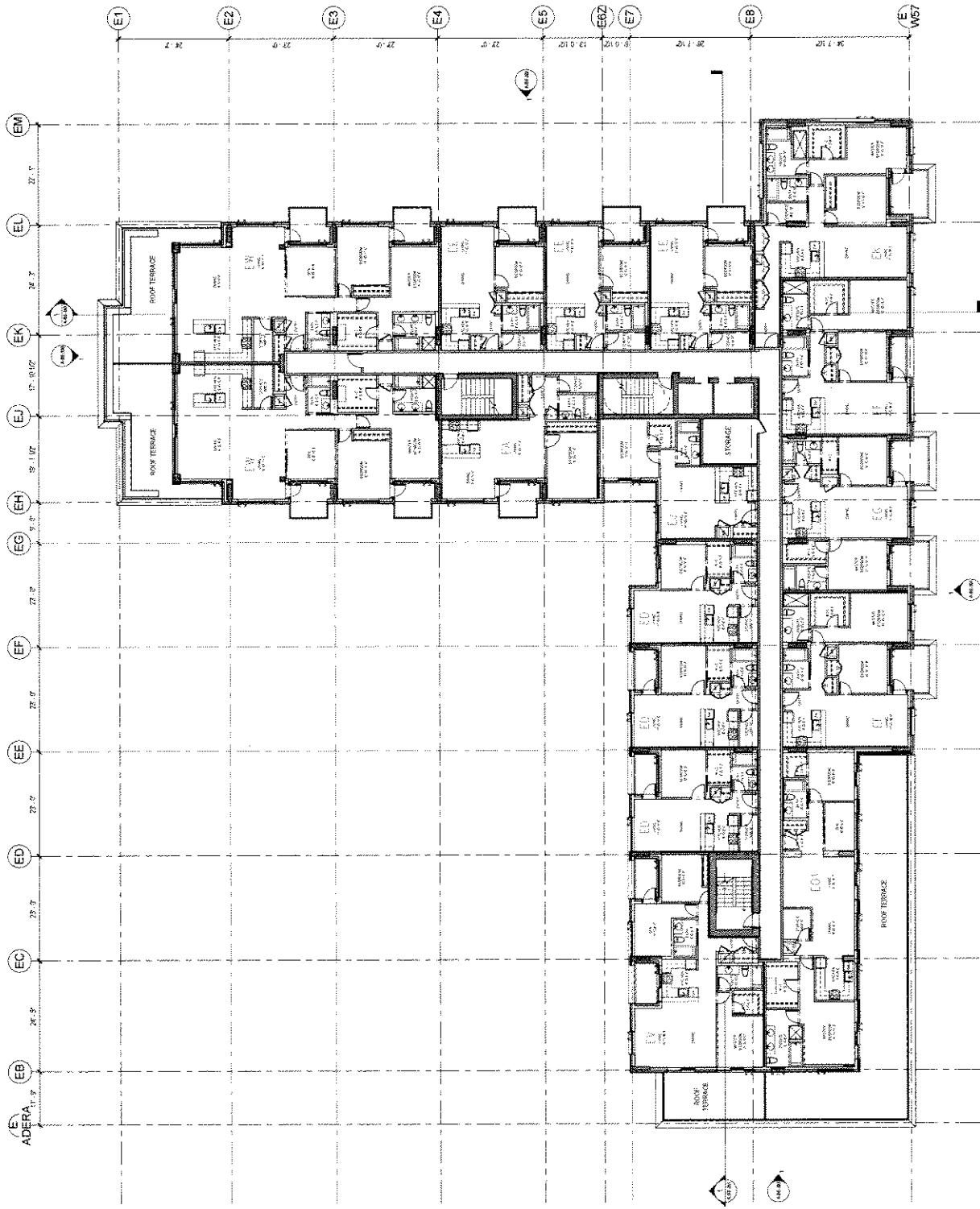
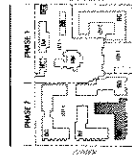


- NOTES:**
1. Records of materials will be incorporated into the final design and construction documents.
  2. "SAFE HOUSE" features shall be installed in the following locations: Stairwells, Mechanical rooms, elevator shafts, and other areas as indicated on the drawings.
  3. The building shall be designed to meet or exceed the requirements of the International Building Code (IBC) 2012, including but not limited to, fire, life safety, and accessibility requirements. The building shall be designed to meet or exceed the requirements of the Americans with Disabilities Act (ADA) 2010. The building shall be designed to meet or exceed the requirements of the National Fire Protection Association (NFPA) 101, Life Safety Code. The building shall be designed to meet or exceed the requirements of the International Building Code (IBC) 2012, including but not limited to, fire, life safety, and accessibility requirements. The building shall be designed to meet or exceed the requirements of the Americans with Disabilities Act (ADA) 2010. The building shall be designed to meet or exceed the requirements of the National Fire Protection Association (NFPA) 101, Life Safety Code.



**1** BLOCK E - PLAN LEVEL 04  
1" = 16'-0"

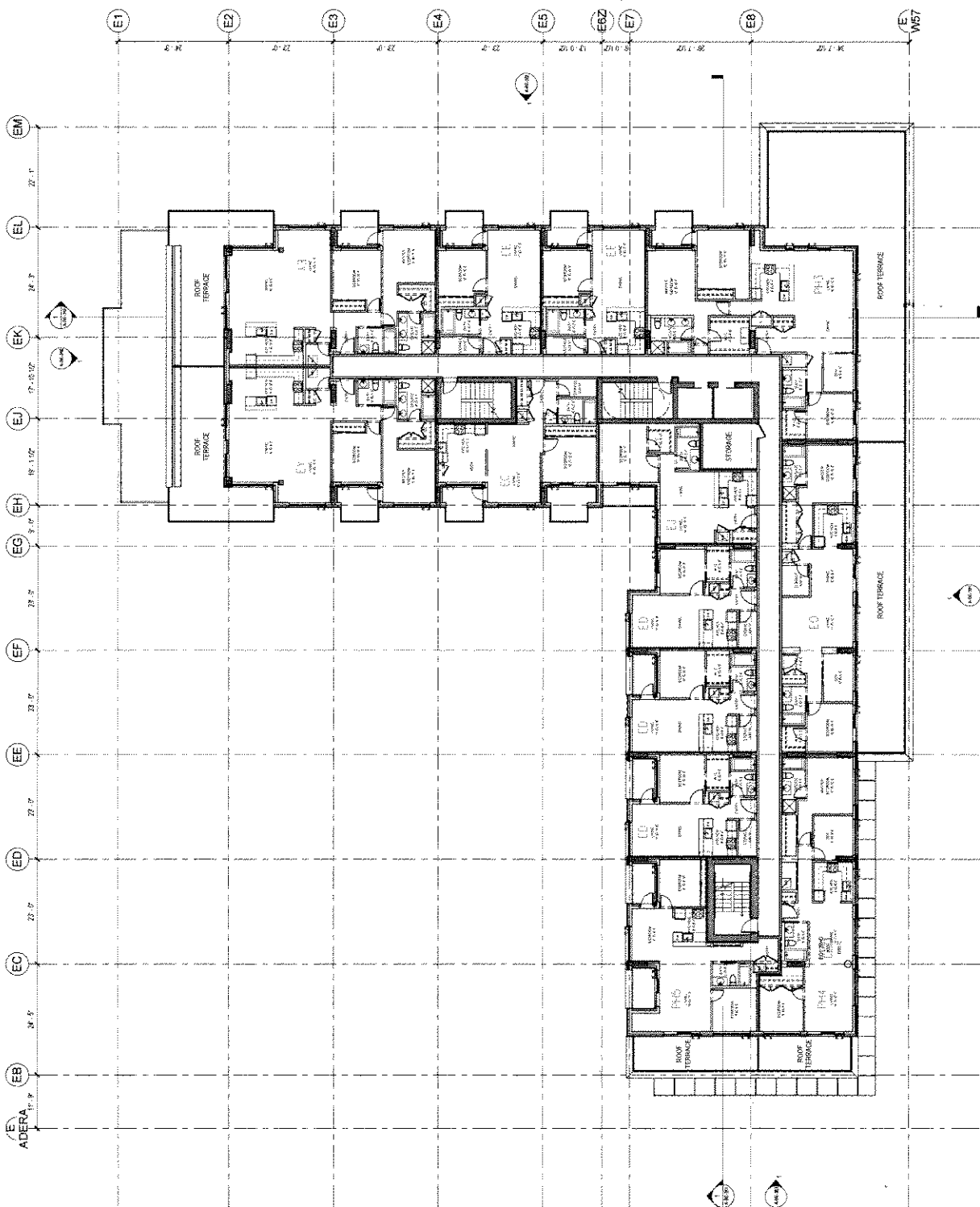
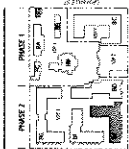
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- NOTES
1. Accidental materials will be incorporated into the floor design and construction in accordance with the manufacturer's recommendations.
  2. SUPERHIMEZ acrylic urethane floor finish is recommended for all interior surfaces. Material design features include: 20' minimum floor width, and 40' minimum hallway width.
  3. All electrical and mechanical systems shall be designed and installed in accordance with the applicable codes and standards and to comply with the applicable requirements.

1 BLOCK E - PLAN LEVEL 05  
REV 001

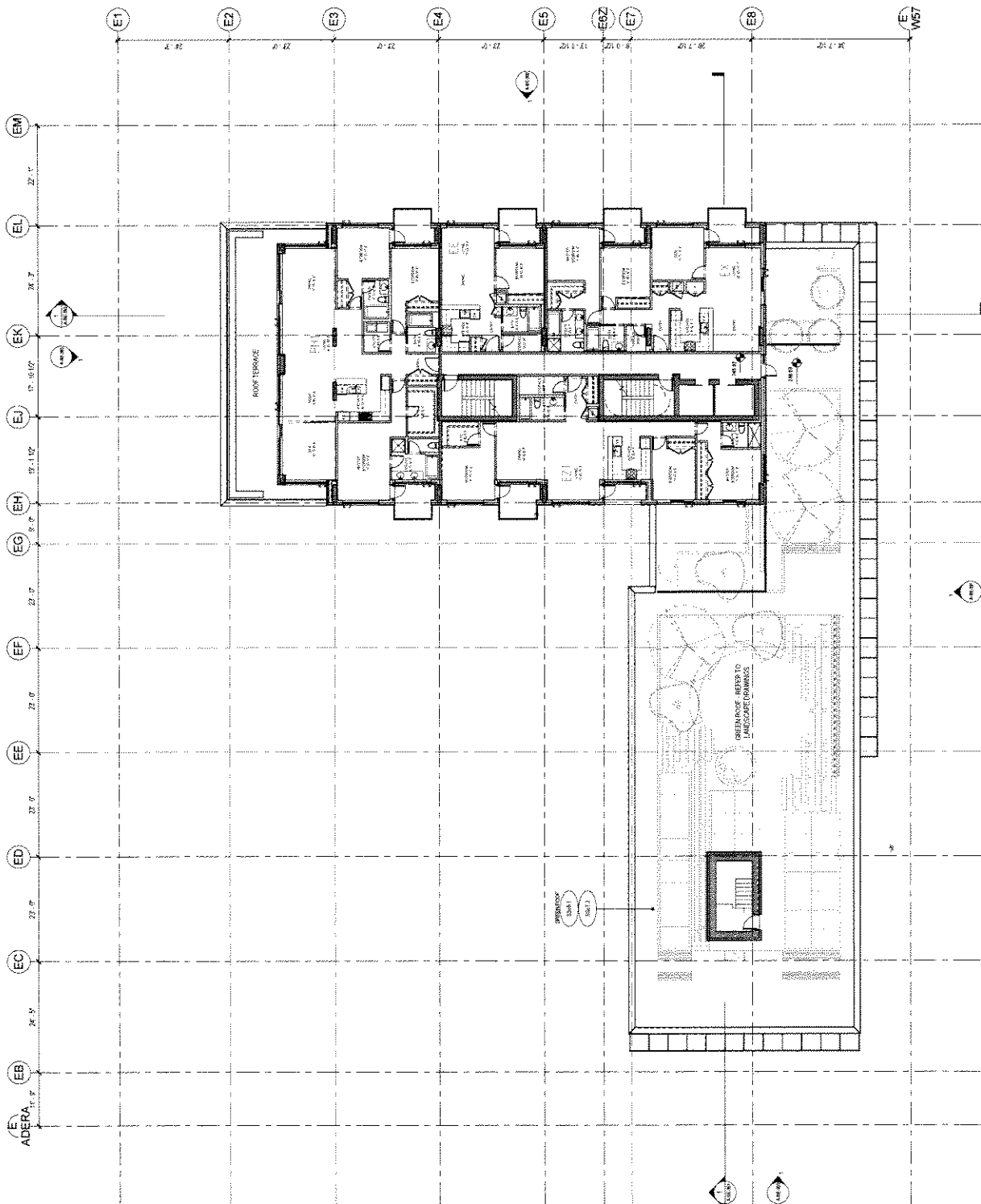
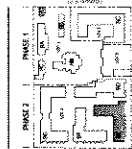
Appendix C, page 54 of 143



- NOTES
1. Architectural annotations will be incorporated into the final design and construction documents. All dimensions are in feet and inches.
  2. "SAFE HOME" details will be provided for all units. All units will be constructed in accordance with the International Building Code, 2003 Edition, with amendments through 2005. All units will be constructed in accordance with the International Building Code, 2003 Edition, with amendments through 2005. All units will be constructed in accordance with the International Building Code, 2003 Edition, with amendments through 2005.
  3. All units will be constructed in accordance with the International Building Code, 2003 Edition, with amendments through 2005. All units will be constructed in accordance with the International Building Code, 2003 Edition, with amendments through 2005. All units will be constructed in accordance with the International Building Code, 2003 Edition, with amendments through 2005.

1 BLOCK E - PLAN LEVEL 06  
1" = 1/8"

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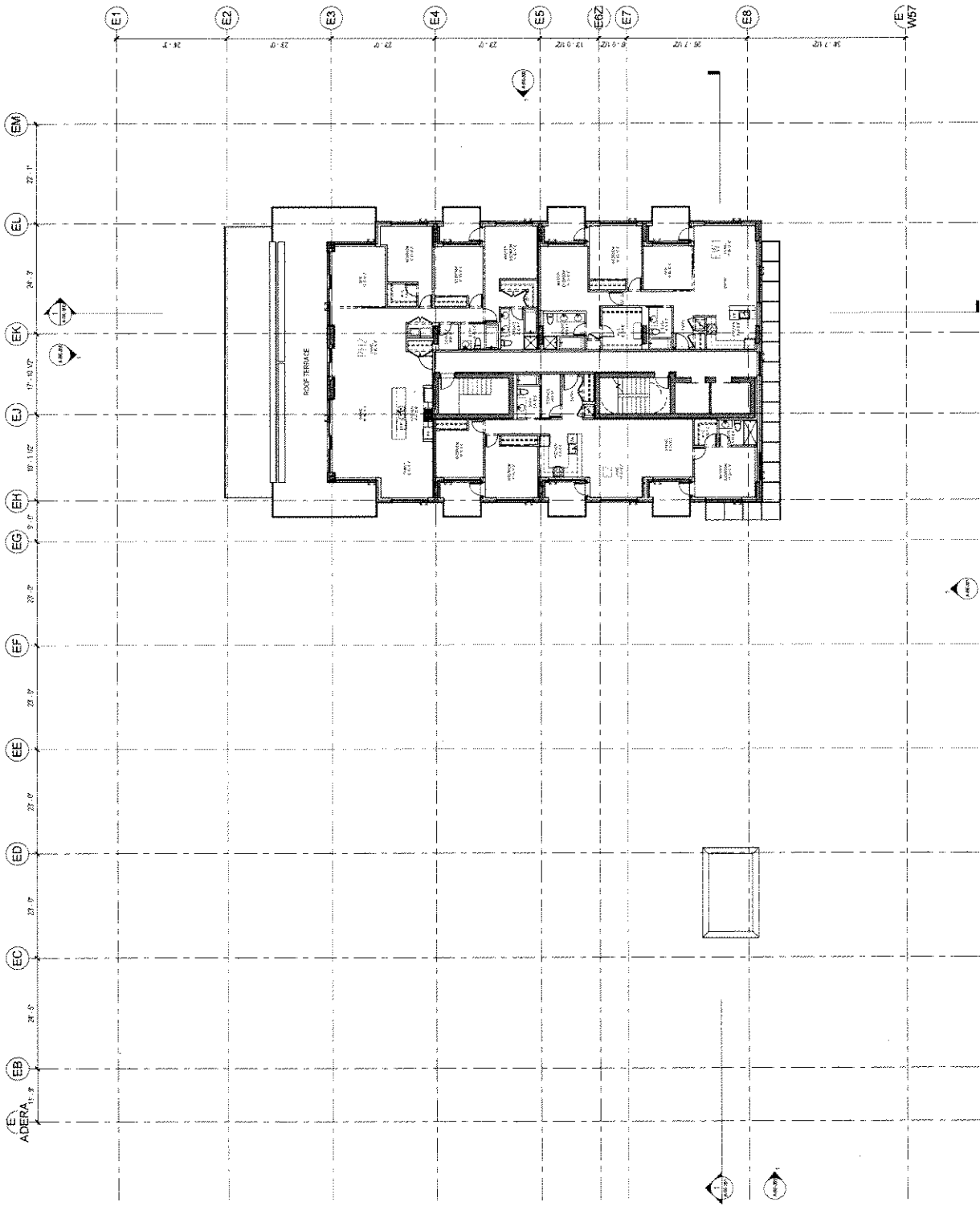
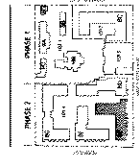


- NOTES**
1. All noted measures will be incorporated into the final design and construction documents.
  2. "SAFETY-HOME" devices shall be installed in the following locations:
    - All fire alarm pull stations.
    - All fire alarm control panels.
    - All fire alarm control panels.
    - All fire alarm control panels.
    - All fire alarm control panels.
  3. All fire alarm control panels shall be installed in the following locations:
    - All fire alarm control panels.
    - All fire alarm control panels.
    - All fire alarm control panels.
    - All fire alarm control panels.
    - All fire alarm control panels.



**1 BLOCK E - PLAN LEVEL 07**  
1" = 10' 0"

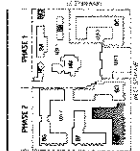
Appendix C; page 56 of 143



- NOTES**
1. Architectural features will be completed in accordance with the design and construction of the building and its components.
  2. The building is designed to meet the requirements of the International Building Code (IBC) and the International Fire Code (IFC) as applicable to the jurisdiction.
  3. The building is designed to meet the requirements of the International Building Code (IBC) and the International Fire Code (IFC) as applicable to the jurisdiction.

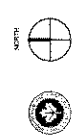
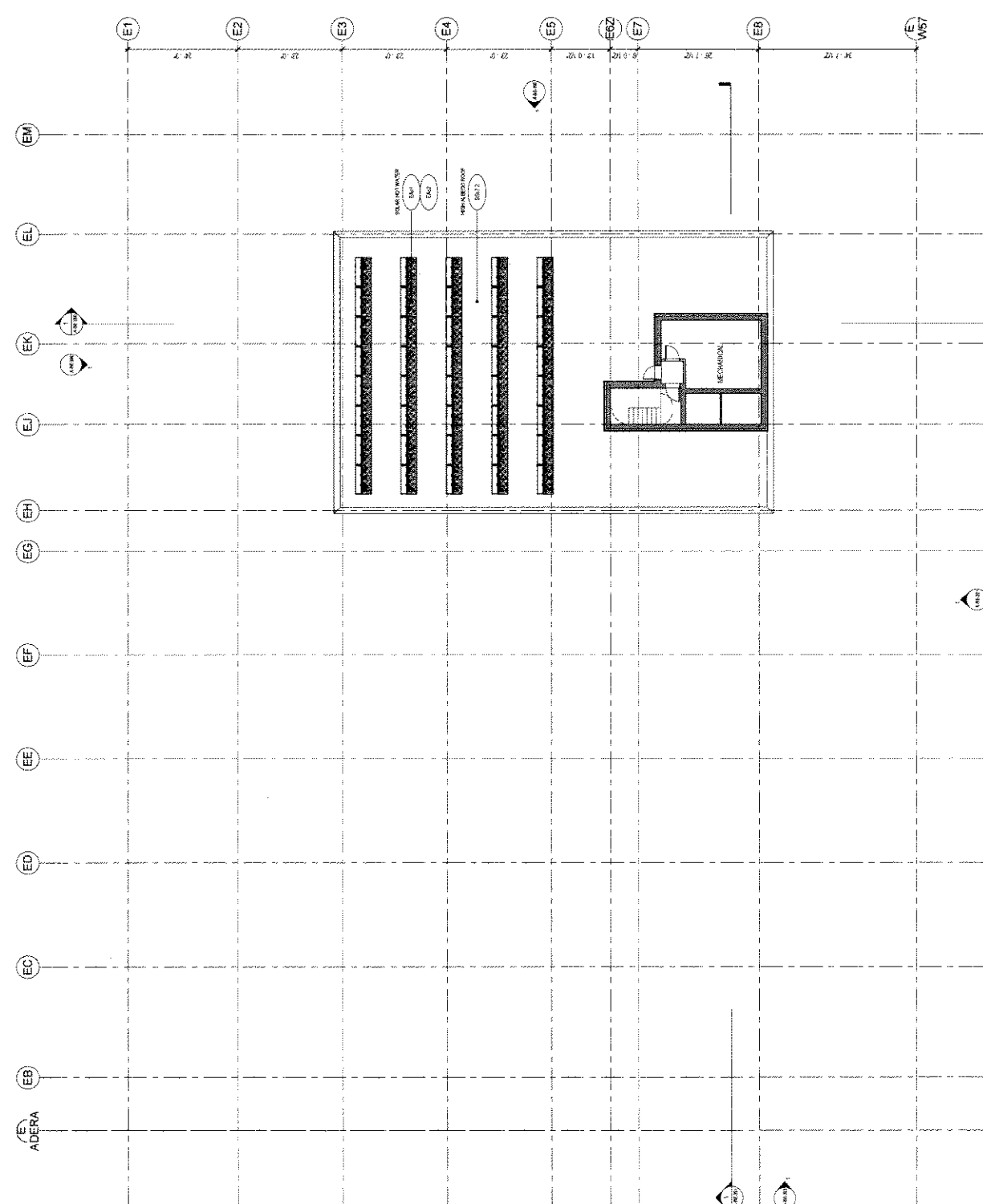
1 BLOCK E - PLAN LEVEL 08  
4'-0" = 1'-0"

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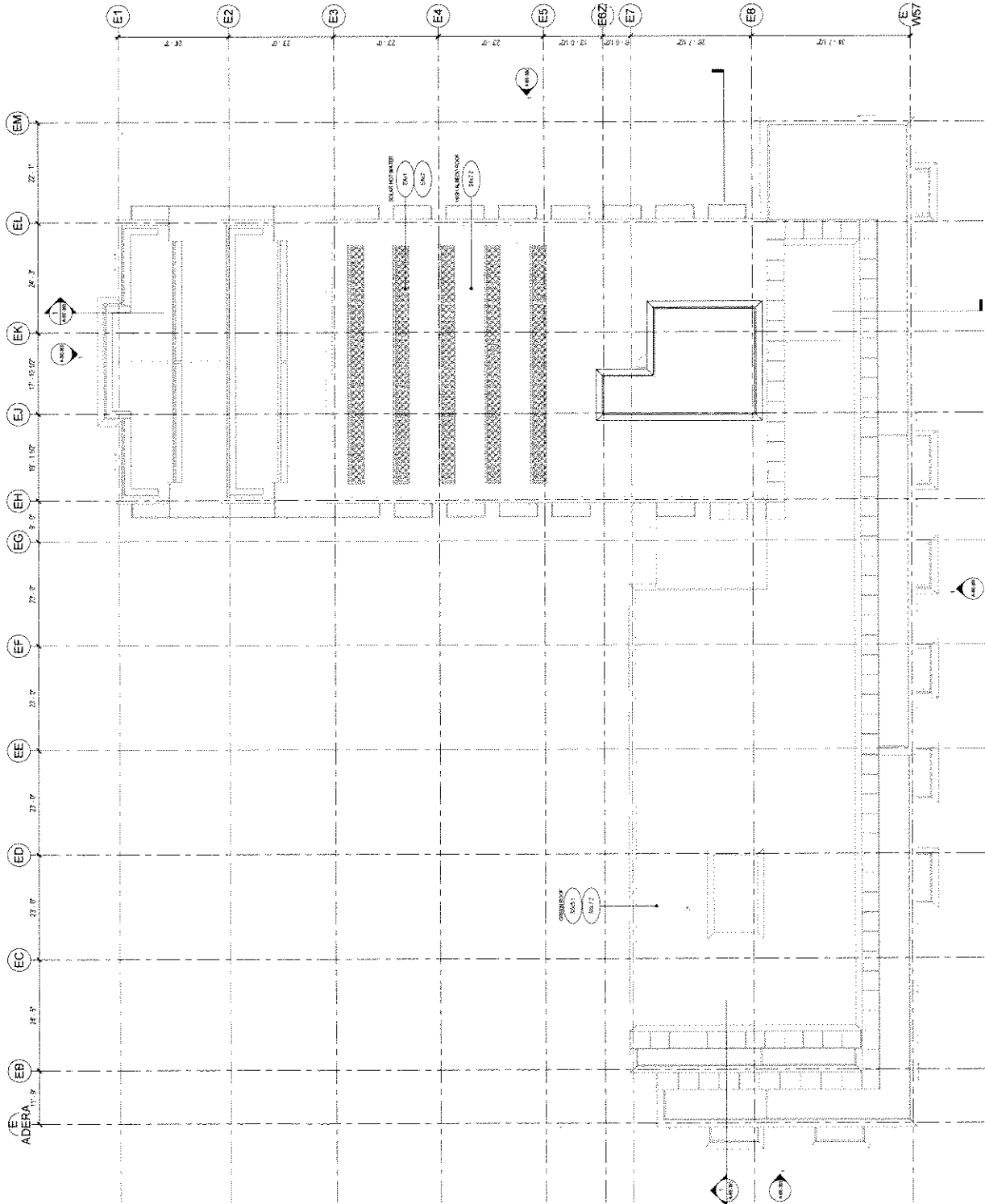
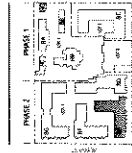
**LETTERING**  
REFER TO L&S PROJECT FORECAST ON SHEET 28

- NOTES**
1. Architectural elevations will be incorporated into the final design and construction documents. All elevations are subject to change without notice.
  2. "SAFETY-HOME" device shall be installed in the "Safety Home" (See note 1) and shall be installed in accordance with the manufacturer's instructions. The device shall be installed in the "Safety Home" and shall be installed in accordance with the manufacturer's instructions.
  3. All elevations shall be installed in accordance with the manufacturer's instructions. The device shall be installed in the "Safety Home" and shall be installed in accordance with the manufacturer's instructions.



**1 BLOCK E - PLAN LEVEL 09**  
1" = 16'

Appendix C page 58 of 143



**LEED LEGEND**  
 REFERENCE TO LEED PRODUCT FORECAST ON SHEET 26

**NOTE**

1. Mechanical equipment will be incorporated into the final design and coordinated with the final construction documents.
2. SAFER (SAFER) flexible walls. Additional design features include: 3/4" minimum clearances, 3/4" minimum clearances, and 3/4" minimum clearances.
3. Equipment shall be installed in a room with the floor level finished to match the surrounding floor level and to comply with code requirements.

1 BLOCK E - LEVEL ROOF MECH

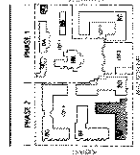
Appendix C; page 59 of 143

LEGEND  
COMPLIANT H.A.D. SINGLE  
ANGLE OF 50/50/50/50  
COMPLIANT H.A.D. 75%  
NON-COMPLIANT H.A.D. 75%  
NON-COMPLIANT H.A.D.



WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 2/13/2016

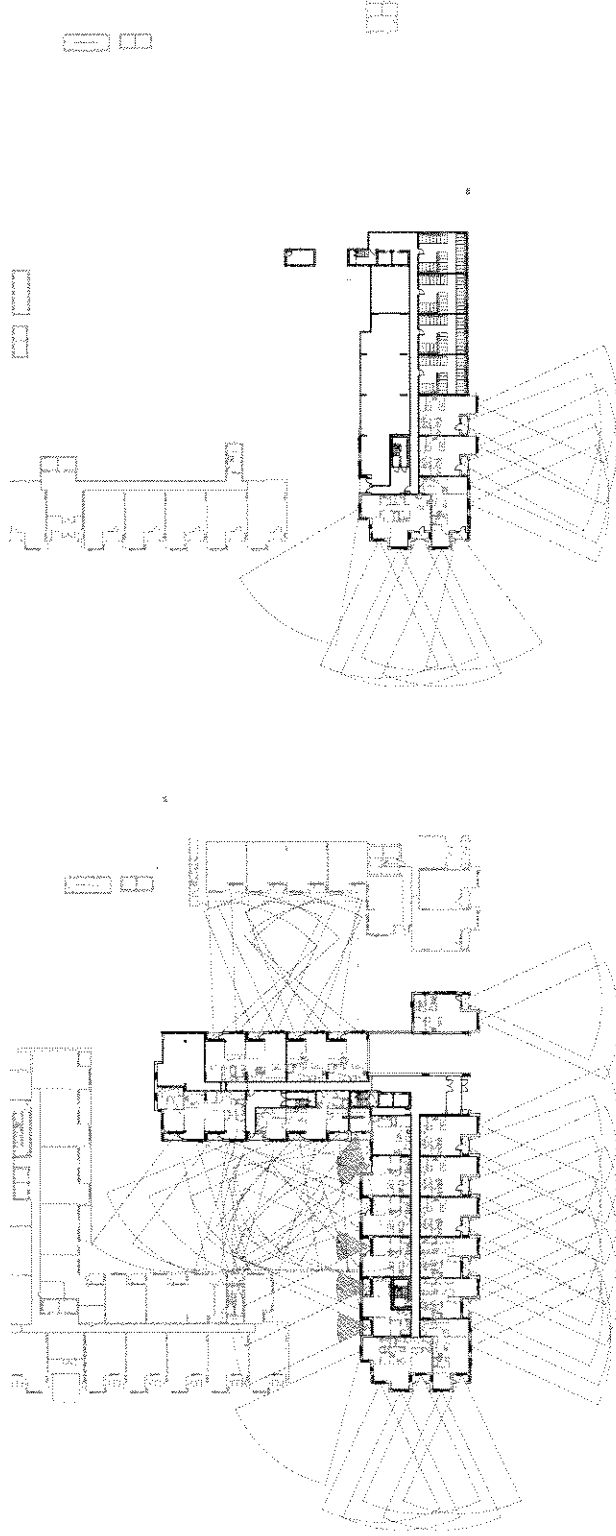


SHANNON ESTATE  
PHASE II  
110-120 Glenview Street  
Vancouver, BC

BLOCK E -  
HORIZONTAL ANGLE  
OF DAYLIGHT LEVEL  
01-02

A-BE-151

Change 02/13/16

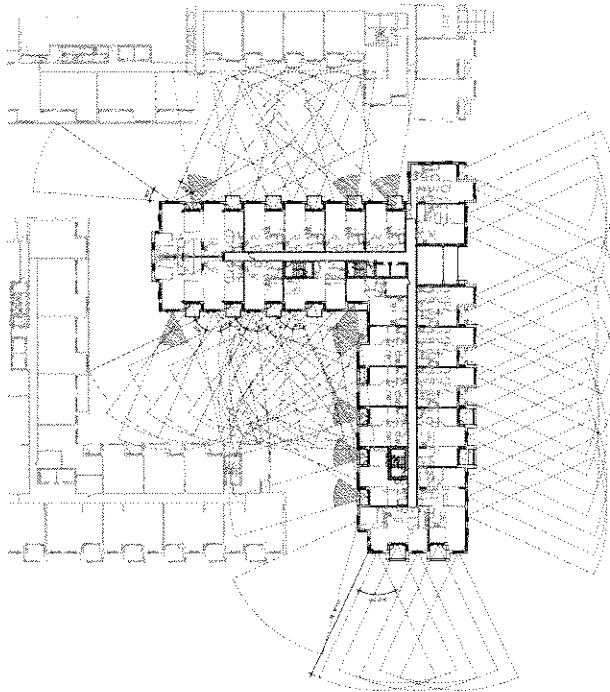
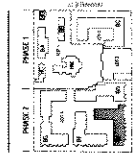


① HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 01  
50° - 50° - 50°

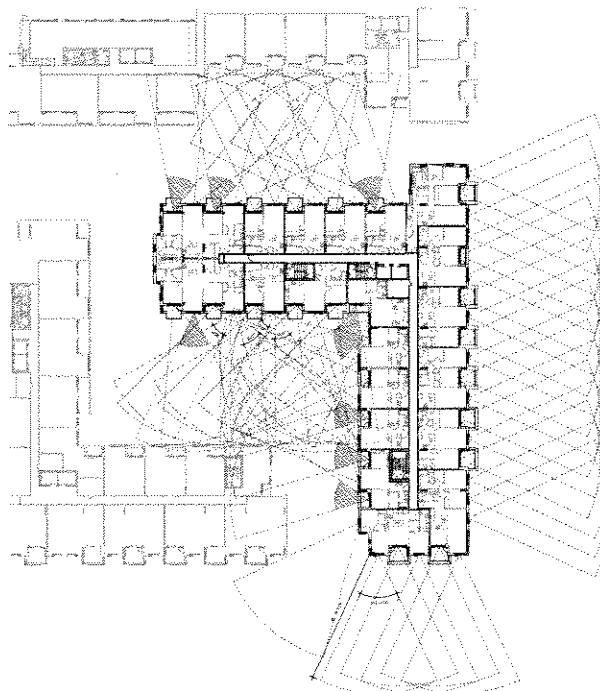
② HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 02  
50° - 50° - 50°

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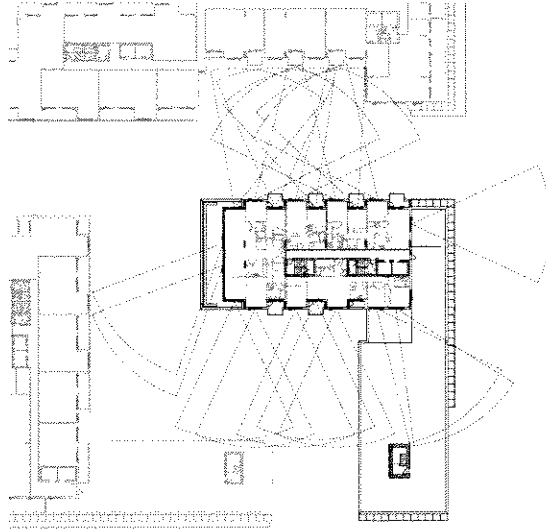
① HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 03  
103° 11' 00"



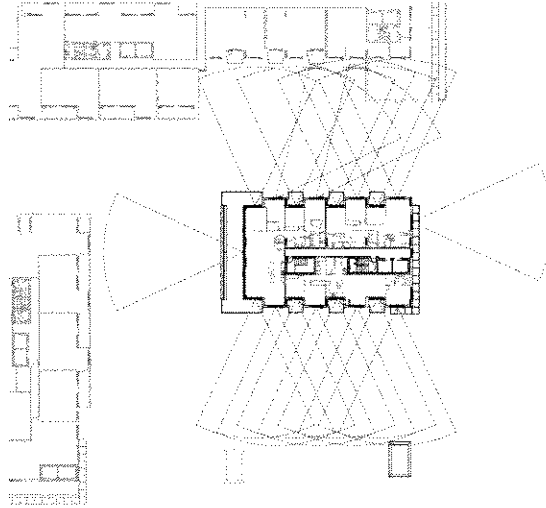
② HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 04  
103° 11' 00"

Appendix *6* page 61 of 143

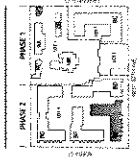




① HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 07  
102° ± 1°



② HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 08  
102° ± 1°



SHANNON ESTATE  
PHASE II  
710-1201 Greenville Street  
Vancouver, BC

BLOCK E -  
HORIZONTAL ANGLE  
OF DAYLIGHT LEVEL  
07-08

A-BE-154

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WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 20130608

MATERIALS LEGEND

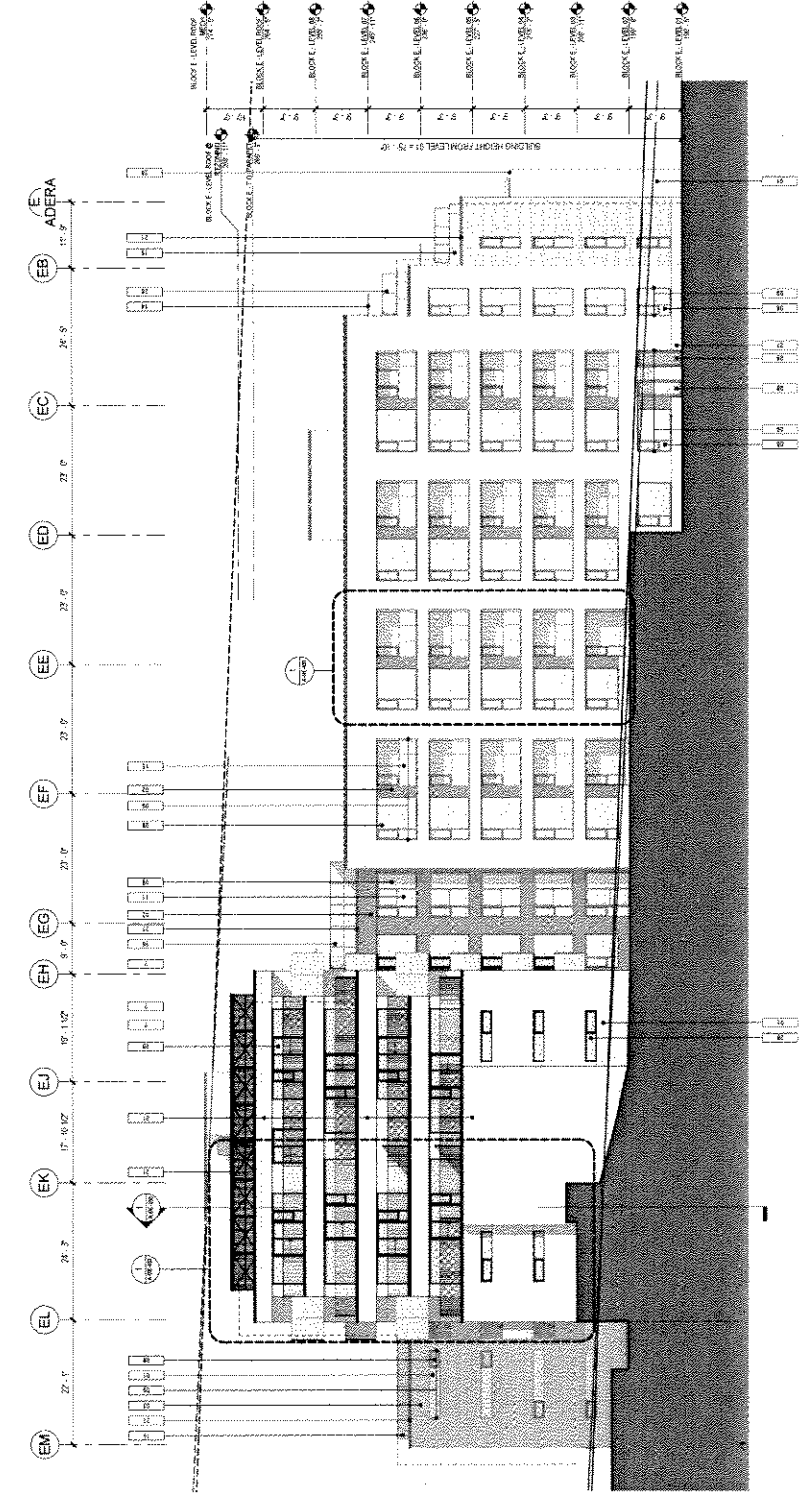
- 01 SMOOTH PAINT GLAZING
- 02 METAL PANEL GLAZING
- 03 LIGHT GREY PAINTING
- 04 BLACKS 4-7 COLOUR (STAIR BAND)
- 05 BLACKS 4-7 COLOUR (STAIR BAND)
- 06 DOOR - ALUMINUM FRAMED ENTRANCES /
- 07 DOOR - ALUMINUM FRAMED ENTRANCES /
- 08 DOOR - HOLLOW METAL FRAME
- 09 DOOR - HOLLOW METAL FRAME
- 10 WINDOW GLAZING FRAME
- 11 WINDOW GLAZING FRAME
- 12 WINDOW GLAZING FRAME
- 13 WINDOW GLAZING FRAME
- 14 WINDOW GLAZING FRAME
- 15 WINDOW GLAZING FRAME
- 16 WINDOW GLAZING FRAME
- 17 WINDOW GLAZING FRAME
- 18 WINDOW GLAZING FRAME
- 19 WINDOW GLAZING FRAME
- 20 WINDOW GLAZING FRAME
- 21 WINDOW GLAZING FRAME
- 22 WINDOW GLAZING FRAME
- 23 WINDOW GLAZING FRAME
- 24 WINDOW GLAZING FRAME
- 25 WINDOW GLAZING FRAME
- 26 WINDOW GLAZING FRAME
- 27 WINDOW GLAZING FRAME
- 28 WINDOW GLAZING FRAME
- 29 WINDOW GLAZING FRAME
- 30 WINDOW GLAZING FRAME
- 31 WINDOW GLAZING FRAME

LINE TYPE LEGEND

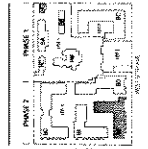
- MARKING (PARENT) HEIGHT FROM CO-1 FINISH, FACE SURFACE
- MARKING (BUILDING) HEIGHT FROM PROPOSED FINISH SURFACE BY BLOCK
- CHS (OVERALL) BASE SURFACE
- PROPOSED BASE SURFACE BY BLOCK OUTLINE
- RESERVING BUILDING MASSING OUTLINE

GENERAL NOTES

- 1. ALL ELEVATIONS AND COMMON AREA JAMBS TO BE FULL CHIP-OFF FINISH (AS SHOWN) TO ELIMINATE LIGHT REFLECTIONS BEYOND THE SITE



1 BLOCK E - BUILDING ELEVATION - NORTH  
11'-10 1/2"



SHANNON ESTATE  
PHASE II  
7101 7200 Corner Street  
Washington, DC

BLOCK E - BUILDING  
ELEVATION NORTH

A-BE-300

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WALL FINANCIAL CORPORATION

70106-08

MATERIALS LEGEND

- 01 SWISS PANEL GLAZING
- 02 METAL PANEL GLAZING
- 03 LIGHT GREY
- 04 BRICK
- 05 BRICK - 6" x 8" COLOR (ETICH BOND)
- 06 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 07 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 08 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 09 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 10 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 11 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 12 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 13 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 14 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 15 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 16 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 17 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 18 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 19 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 20 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 21 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 22 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 23 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 24 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 25 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 26 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 27 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 28 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 29 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 30 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS
- 31 DOWN - ALUMINUM FRAMED EXT. HANDLES / STOPS

LINE TYPE LEGEND

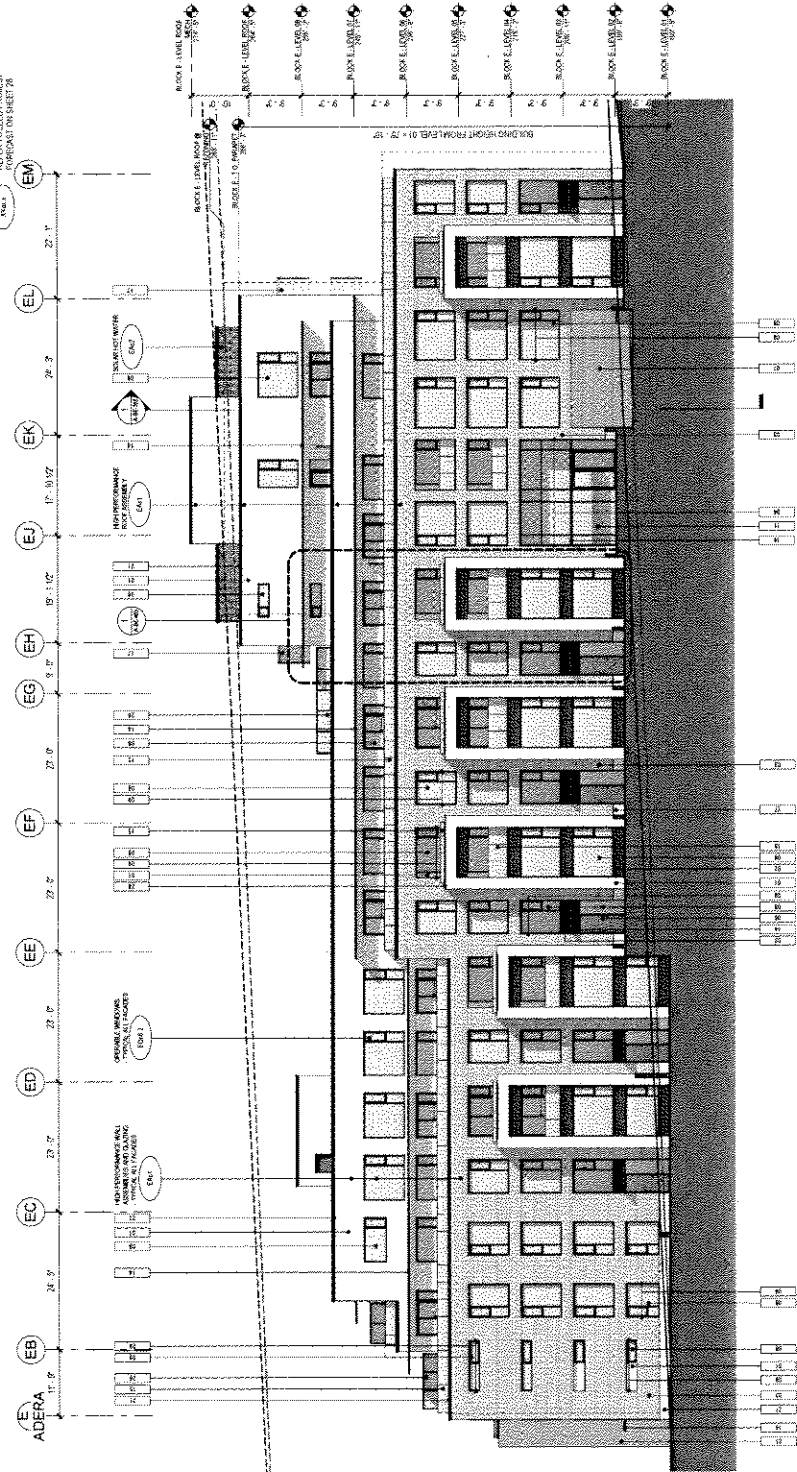
- MAXIMUM BUILDING HEIGHT FROM EXISTING BASE SURFACE
- MAXIMUM BUILDING HEIGHT FROM PROPOSED BASE SURFACE BY BLOCK
- EXISTING BASE SURFACE BY BLOCK
- PROPOSED BASE SURFACE BY BLOCK
- BUILDING MASSING
- BUILDING MASSING

GENERAL NOTES

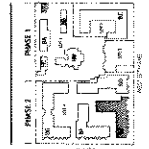
- 1. ALL EXTERIOR AND COMMON AREAS ARE TO BE FINISHED OFF FORTHCOMING TO BE DETERMINED BY THE ARCHITECT.
- 2. CLIMATE LIGHT PROFILES BEYOND THE SITE

LEED LEGEND

- EM - REFER TO LEED PROJECT FORECAST ON SHEET 701



1 BLOCK E - ELEVATION SOUTH  
1" = 8'-0"



SHANNON ESTATE  
PHASE II  
701-7201 Granite Street  
Vancouver, BC

BLOCK E - BUILDING  
ELEVATION SOUTH

A-BE-301



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WALL FINANCIAL  
CORPORATION

2013.06.08

MATERIALS LEGEND

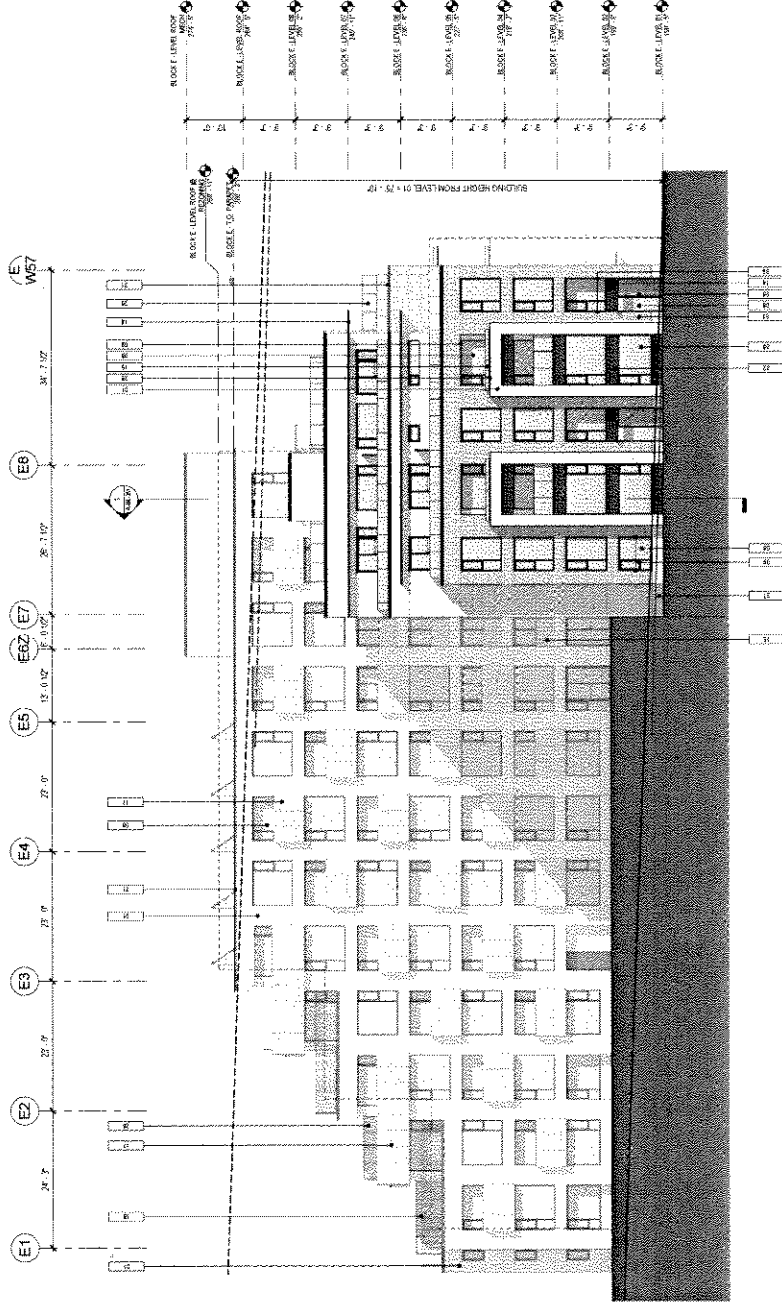
- 01 SWISSRAAS CLADDING
- 02 METAL PANEL CLADDING
- 03 LIGHT GRAY
- 04 BLOCKS - F COLOR (CLAY BOND)
- 05 BLOCKS - G COLOR (STEADY BOND)
- 06 DOOR - ALUMINUM FRAMED ENTRANCES / STOREFRONT
- 07 DOOR - HOLLOW METAL FRAME
- 08 DOOR - HOLLOW METAL FRAME
- 09 WINDOW - ALUMINUM EXTRUSION (PAINTED) ISSUED FOR DP
- 10 GLASS PANEL SYSTEM - FRITTED STRUCTURAL
- 11 GLASS PANEL SYSTEM - STOREFRONT
- 12 FROSTED ALUMINUM GLASS SHARDS
- 13 PAINTED TO MATCH CHANNEL COLOURING
- 14 CANOPY - FROSTED GLASS PANEL WITH ALUMINUM CHANNEL
- 15 BALCONY RAILING - GLASS PANEL WITH STEEL FRAME (PAINTED DARK GRAY)
- 16 BALCONY RAILING - GLASS PANEL WITH STEEL FRAME (PAINTED DARK GRAY)
- 17 METAL SHARD (PAINTED DARK GRAY)
- 18 METAL SHARD (PAINTED DARK GRAY)
- 19 LANDSCAPE WALL - PRECAST CONCRETE
- 20 PAINTED DARK GRAY METAL UPRIGS
- 21 METAL UPRIGS (PAINTED DARK GRAY)
- 22 CORRUGATED METAL PANEL (PAINTED) (PAINTED DARK GRAY)
- 23 REFORMING STEEL CHANNEL (PAINTED DARK GRAY)
- 24 REFORMING STEEL CHANNEL (PAINTED DARK GRAY)
- 25 PARKING SECURITY GATE (PAINTED DARK GRAY)
- 26 PANEL WITH STEEL FRAME (PAINTED DARK GRAY)
- 27 METAL UPRIGS (PAINTED DARK GRAY)
- 28 PREFINISHED METAL CLADDING (COLOR TO MATCH EXISTING WOOD VENEER)
- 29 METAL UPRIGS (WOOD VENEER)
- 30 METAL UPRIGS (WOOD VENEER)
- 31 PERFORATED BRASS COPPER

LINE TYPE LEGEND

- MAXIMUM BUILDING HEIGHT FROM CITY TOWERL BASE SURFACE
- MAXIMUM BUILDING HEIGHT FROM PROPOSED WHITE COMPACTED FLOOR
- CD 1 OVERALL BASE SURFACE
- PROPOSED BASE SURFACE BY BLOCK
- PROPOSED BUILDING LANSING

GENERAL NOTES

ALL EXTERIOR AND CORNER AREA LAMPS TO BE FULL COLOR FIXTURES (DESIGNED TO ELIMINATE LIGHT INCREASES FOR THE SITE)



1 BLOCK E - ELEVATION WEST  
11-11-11

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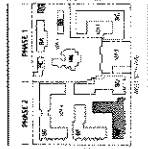
SHANNON ESTATE  
PHASE II

1151 1201 Corner Street  
Hickory, NC

BLOCK E - BUILDING  
ELEVATION WEST

A-BE-303

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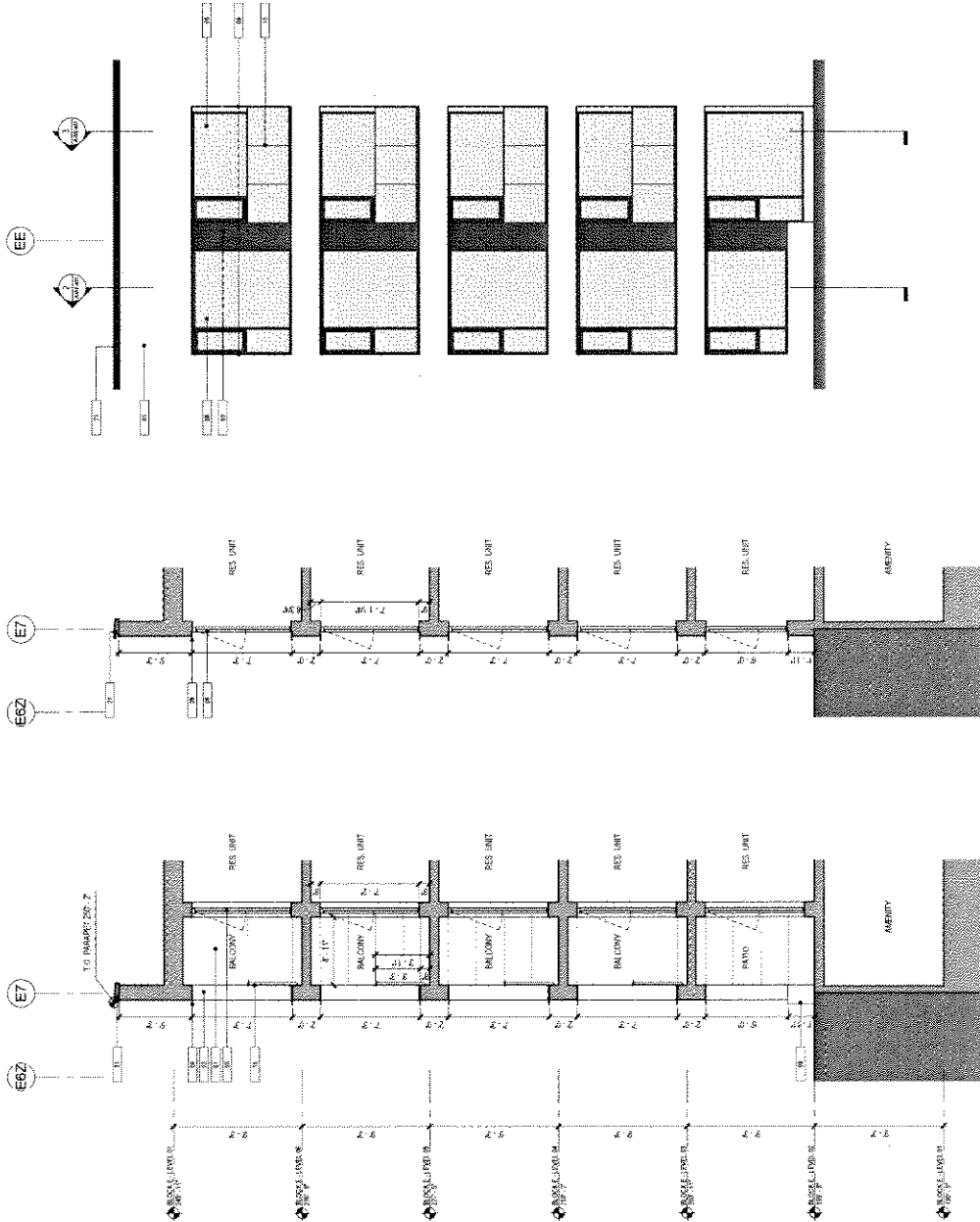


WALL FINANCIAL  
CORPORATION

ISSUED FOR: DP 2/13/06

MATERIALS LEGEND

- 01 UNUSUAL CLADDING
- 02 METAL PANEL CLADDING
- 03 LIGHT GREY
- 04 BRONZE
- 05 BRONZE + F. COLOUR (STYON ROND)
- 06 BRONZE + G. COLOUR (STYON ROND)
- 07 COOR. ALUMINUM FRAMED ENTRANCES /
- 08 COOR. ALUMINUM FRAMED ENTRANCES /
- 09 COOR. ALUMINUM FRAMED ENTRANCES /
- 10 COOR. ALUMINUM FRAMED ENTRANCES /
- 11 COOR. ALUMINUM FRAMED ENTRANCES /
- 12 COOR. ALUMINUM FRAMED ENTRANCES /
- 13 COOR. ALUMINUM FRAMED ENTRANCES /
- 14 COOR. ALUMINUM FRAMED ENTRANCES /
- 15 COOR. ALUMINUM FRAMED ENTRANCES /
- 16 COOR. ALUMINUM FRAMED ENTRANCES /
- 17 COOR. ALUMINUM FRAMED ENTRANCES /
- 18 COOR. ALUMINUM FRAMED ENTRANCES /
- 19 COOR. ALUMINUM FRAMED ENTRANCES /
- 20 COOR. ALUMINUM FRAMED ENTRANCES /
- 21 COOR. ALUMINUM FRAMED ENTRANCES /
- 22 COOR. ALUMINUM FRAMED ENTRANCES /
- 23 COOR. ALUMINUM FRAMED ENTRANCES /
- 24 COOR. ALUMINUM FRAMED ENTRANCES /
- 25 COOR. ALUMINUM FRAMED ENTRANCES /
- 26 COOR. ALUMINUM FRAMED ENTRANCES /
- 27 COOR. ALUMINUM FRAMED ENTRANCES /
- 28 COOR. ALUMINUM FRAMED ENTRANCES /
- 29 COOR. ALUMINUM FRAMED ENTRANCES /
- 30 COOR. ALUMINUM FRAMED ENTRANCES /
- 31 COOR. ALUMINUM FRAMED ENTRANCES /



1 BLOCK E - ENLARGED ELEVATION - NORTH  
DP + 1/07

2 BLOCK E - WALL SECTION - NORTH  
DP + 1/07

3 BLOCK E - WALL SECTION - NORTH  
DP + 1/07

SHANNONESTATE  
PHASE II  
781-789 Corbett Street  
Charlotte, NC

BLOCK E - WALL  
SECTION - NORTH

A-BE-401

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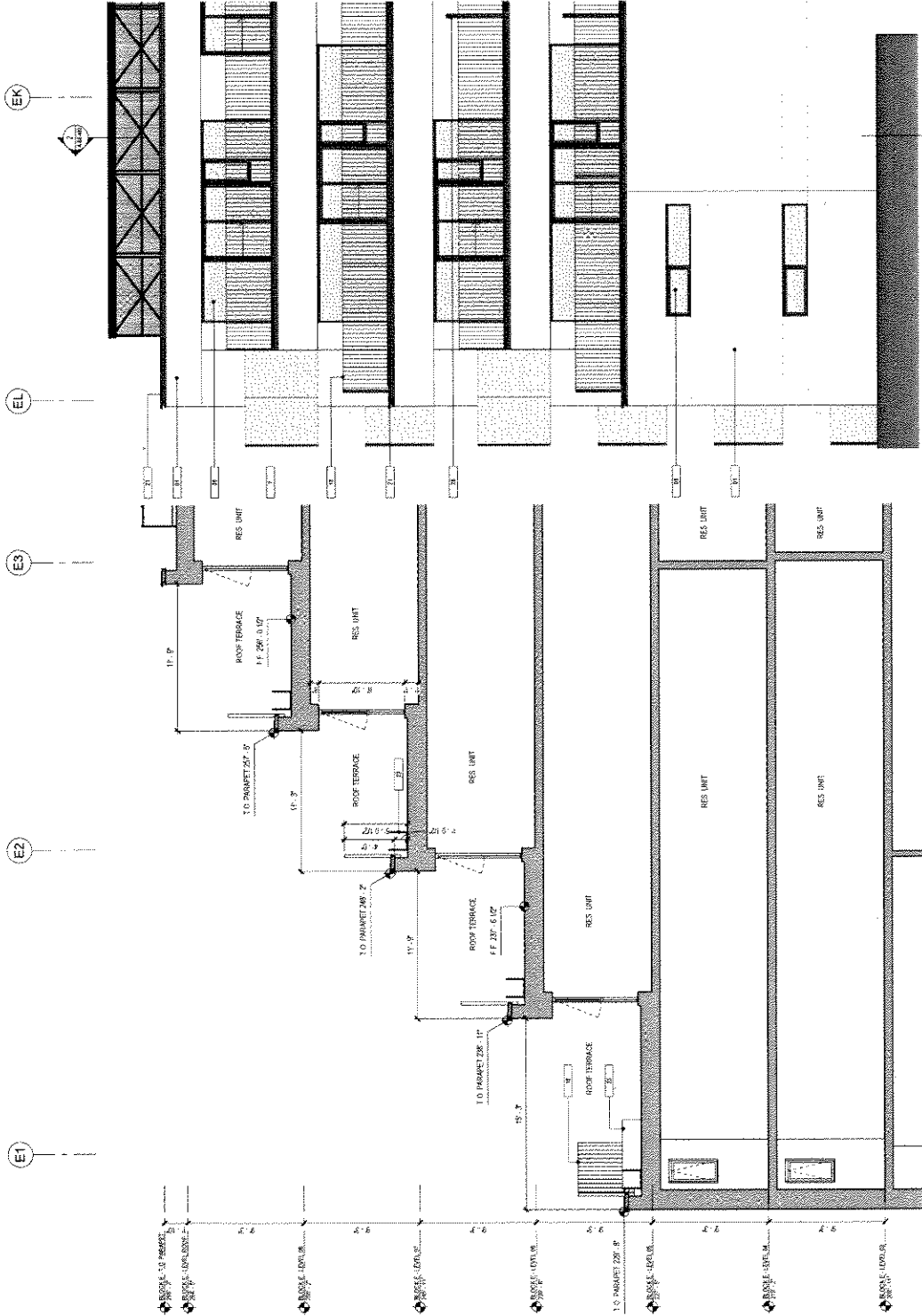


WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 2016-08

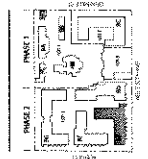
MATERIAL LEGEND

- 01 INSULATION: CLADDING
- 02 METAL PANEL CLADDING
- 03 LIGHT GREY PAINT
- 04 BLOCKS - 4" COLOUR (STACK BOND)
- 05 BLOCKS - 4" COLOUR (STACK BOND)
- 06 DOOR: ALUMINUM FRAME / GLASS / GLASS
- 07 DOOR: ALUMINUM FRAME / GLASS / GLASS
- 08 STAIRWELL DOOR: ALUMINUM FRAME / GLASS / GLASS
- 09 DOOR: ALUMINUM FRAME / GLASS / GLASS
- 10 DOOR: ALUMINUM FRAME / GLASS / GLASS
- 11 GLAZING SYSTEM: FRUITED STRUCTURAL GLASS WALL, 5/8" GLASS
- 12 FRUITED ALUMINUM SHADERS
- 13 FRUITED ALUMINUM SHADERS
- 14 FRUITED ALUMINUM SHADERS
- 15 FRUITED ALUMINUM SHADERS
- 16 FRUITED ALUMINUM SHADERS
- 17 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 18 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 19 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 20 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 21 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 22 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 23 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 24 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 25 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 26 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 27 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 28 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 29 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 30 BALCONY RAILING: ALUMINUM FRAME WITH GLASS
- 31 BALCONY RAILING: ALUMINUM FRAME WITH GLASS



2 BLOCK E - WALL SECTION - NORTH  
1/8" = 1'-0"

1 BLOCK E - ENLARGED ELEVATION - NORTH - 2  
1/8" = 1'-0"



SHANNON ESTATE  
PHASE II  
710-720 Granville Street  
Vancouver, BC

BLOCK E - WALL  
SECTION - NORTH

A-BE-402

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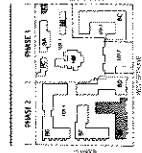


WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 28/08/08

MATERIAL LEGEND

- 01 SWISSPAPER CLADDING
- 02 METAL PANEL CLADDING
- 03 LIGHT GREY
- 04 DARK GREY
- 05 BLOCKS - 4" COLOUR 1 (STOCK ROW)
- 06 BLOCKS - 4" COLOUR 2 (STOCK ROW)
- 07 DOOR - ALUMINUM FRAME (ENTRANCE)
- 08 STAIRS - ALUMINUM FRAME (ENTRANCE)
- 09 DOOR - ALUMINUM FRAME
- 10 WINDOW - ALUMINUM FRAME
- 11 WINDOW - ALUMINUM FRAME
- 12 WINDOW - ALUMINUM FRAME
- 13 WINDOW - ALUMINUM FRAME
- 14 WINDOW - ALUMINUM FRAME
- 15 WINDOW - ALUMINUM FRAME
- 16 WINDOW - ALUMINUM FRAME
- 17 WINDOW - ALUMINUM FRAME
- 18 WINDOW - ALUMINUM FRAME
- 19 WINDOW - ALUMINUM FRAME
- 20 WINDOW - ALUMINUM FRAME
- 21 WINDOW - ALUMINUM FRAME
- 22 WINDOW - ALUMINUM FRAME
- 23 WINDOW - ALUMINUM FRAME
- 24 WINDOW - ALUMINUM FRAME
- 25 WINDOW - ALUMINUM FRAME
- 26 WINDOW - ALUMINUM FRAME
- 27 WINDOW - ALUMINUM FRAME
- 28 WINDOW - ALUMINUM FRAME
- 29 WINDOW - ALUMINUM FRAME
- 30 WINDOW - ALUMINUM FRAME
- 31 WINDOW - ALUMINUM FRAME

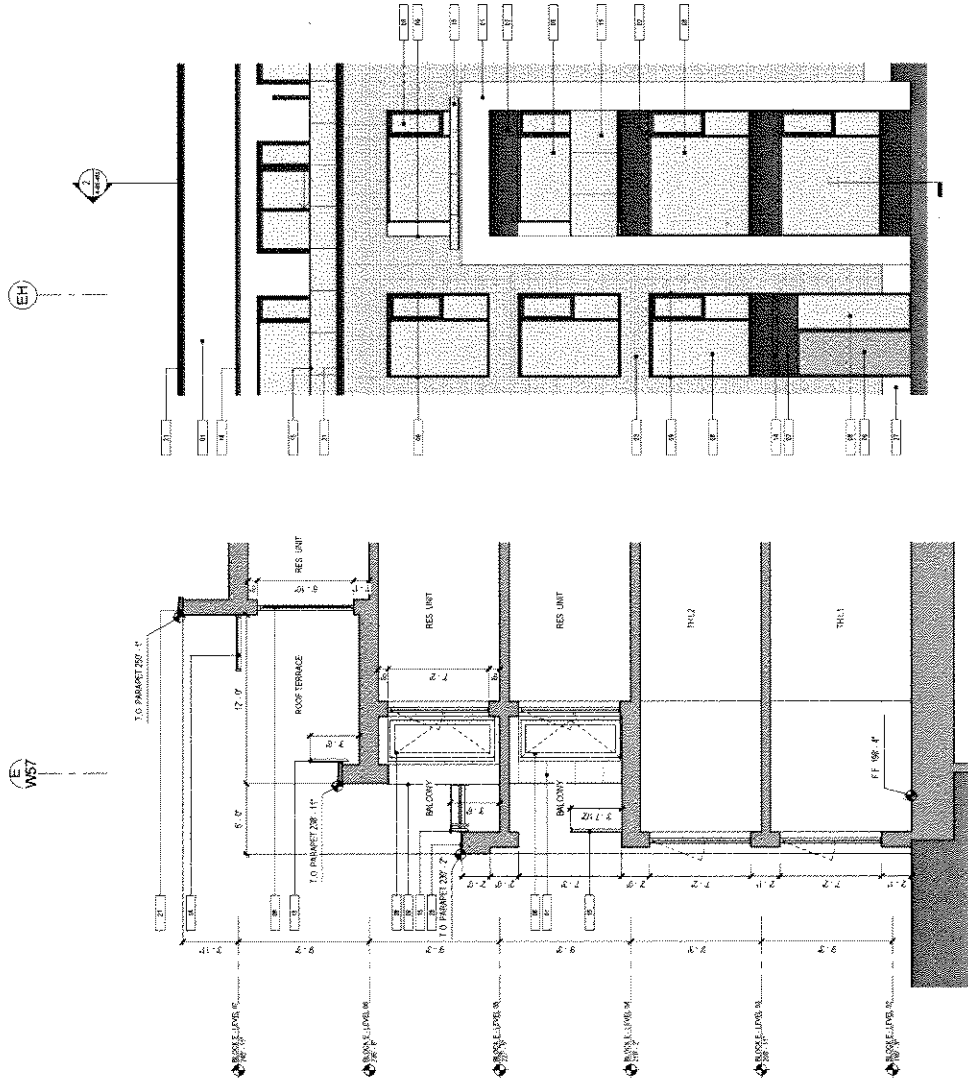


SHANNON ESTATE  
PHASE II  
7101 1201 Danville Street  
Manassas, VA

BLOCK E - WALL  
SECTION - SOUTH

A-BE-403

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1 BLOCK E - ENLARGED ELEVATION - SOUTH  
1/8" = 1'-0"

2 BLOCK E - WALL SECTION - SOUTH  
1/8" = 1'-0"

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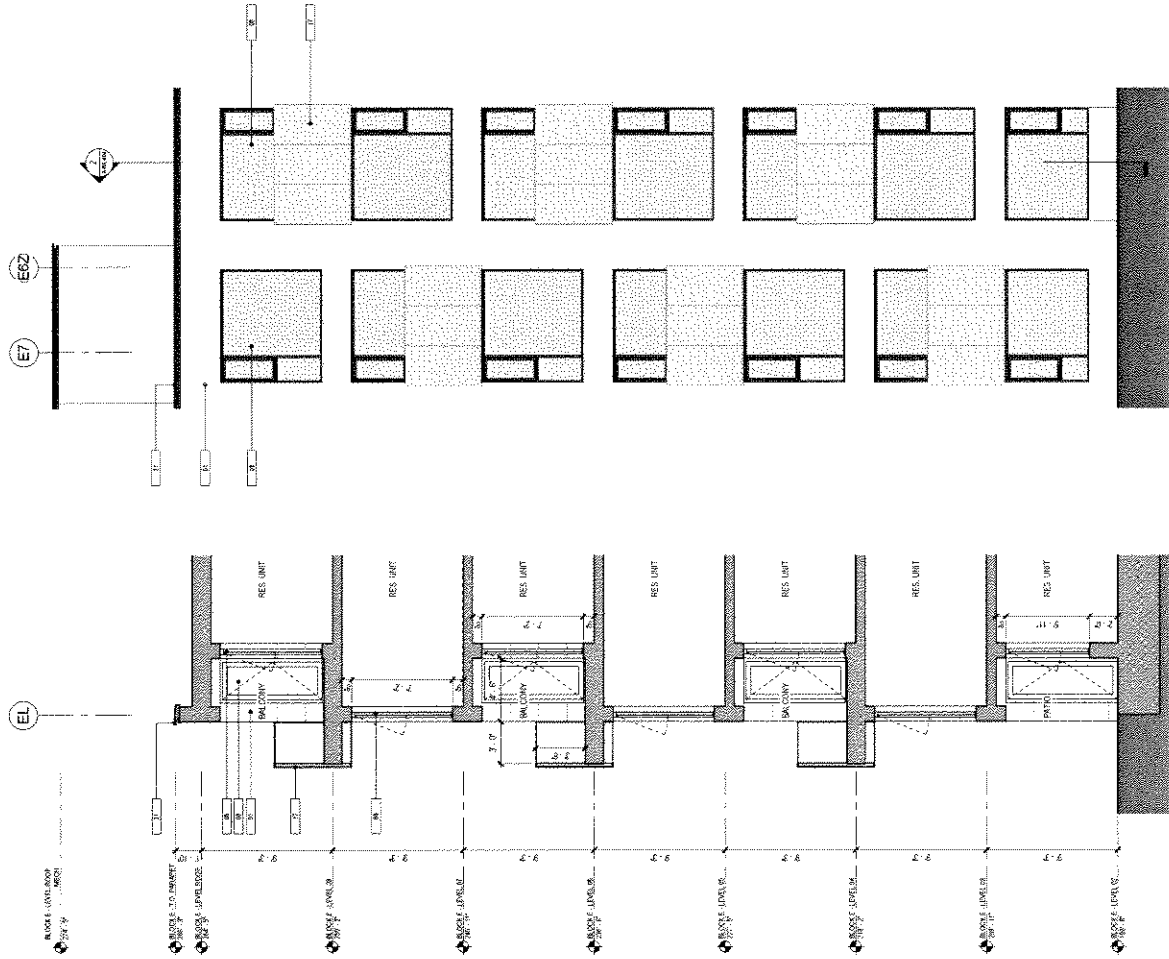


WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 2/10/2016

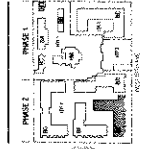
MATERIAL LEGEND

- 01 SUSPENSIVE CLADDING
- 02 METAL PANEL CLADDING
- 03 LIGHT GREY
- 04 COCKED + T COLOUR 1 (TACK BAND)
- 05 COCKED + T COLOUR 2 (TACK BAND)
- 06 DOOR - ALUMINIUM FRAMED ENTRANCES /
- 07 STOREFRONT - COLOURED WOOD GRAIN
- 08 DOOR - HOLLOW METAL FRAME
- 09 DOOR - HOLLOW METAL FRAME
- 10 WINDOW - ALUMINIUM EXTRUSION (PAINTED)
- 11 GLAZING SYSTEM - FRITTED STRUCTURAL
- 12 GLASS WALL
- 13 FRITTED ALUMINIUM SHARPSHOTS
- 14 ARCHITECTURAL MECHANICAL LOWERS
- 15 CHIPPY - FRITTED GLASS PANEL WITH
- 16 STEEL FRAME (PAINTED DARK GREY)
- 17 FRITTED GLASS PANEL WITH STEEL
- 18 FRAME (PAINTED DARK GREY)
- 19 BALCONY RAILING - WHITE FRITTED GLASS
- 20 WITH STEEL FRAME (PAINTED DARK
- 21 GREY)
- 22 METAL CLADDING (PAINTED DARK
- 23 GREY)
- 24 COORDINATED METAL PANEL (PAINTED)
- 25 METAL CLADDING (PAINTED DARK
- 26 GREY)
- 27 SECURATIVE STEEL CHARGE (PAINTED DARK
- 28 GREY)
- 29 SIGNING SECURITY GATE (PAINTED DARK
- 30 GREY)
- 31 PANEL WITH STEEL FRAME (PAINTED DARK
- 32 GREY)
- 33 PANEL WITH STEEL FRAME (PAINTED DARK
- 34 GREY)
- 35 PANEL WITH STEEL FRAME (PAINTED DARK
- 36 GREY)
- 37 PANEL WITH STEEL FRAME (PAINTED DARK
- 38 GREY)
- 39 MATCH ADJUSTMENT SPRING
- 40 PREFABRICATED METAL FLASHINGS (COLOR TO
- 41 MATCH ADJUSTMENT SPRING)
- 42 MATCH ADJUSTMENT SPRING (WOOD GREENEY)
- 43 CHIPPY WOOD
- 44 REFERRED PATINA COPPER



1 BLOCK E - ENLARGED ELEVATION - EAST  
1/8" = 1'-0"

2 BLOCK E - WALL SECTION - EAST  
1/8" = 1'-0"

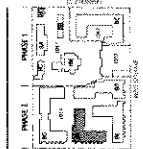


SHANNON ESTATE  
PHASE II  
110-1200 Geneva Street  
Vancouver, BC

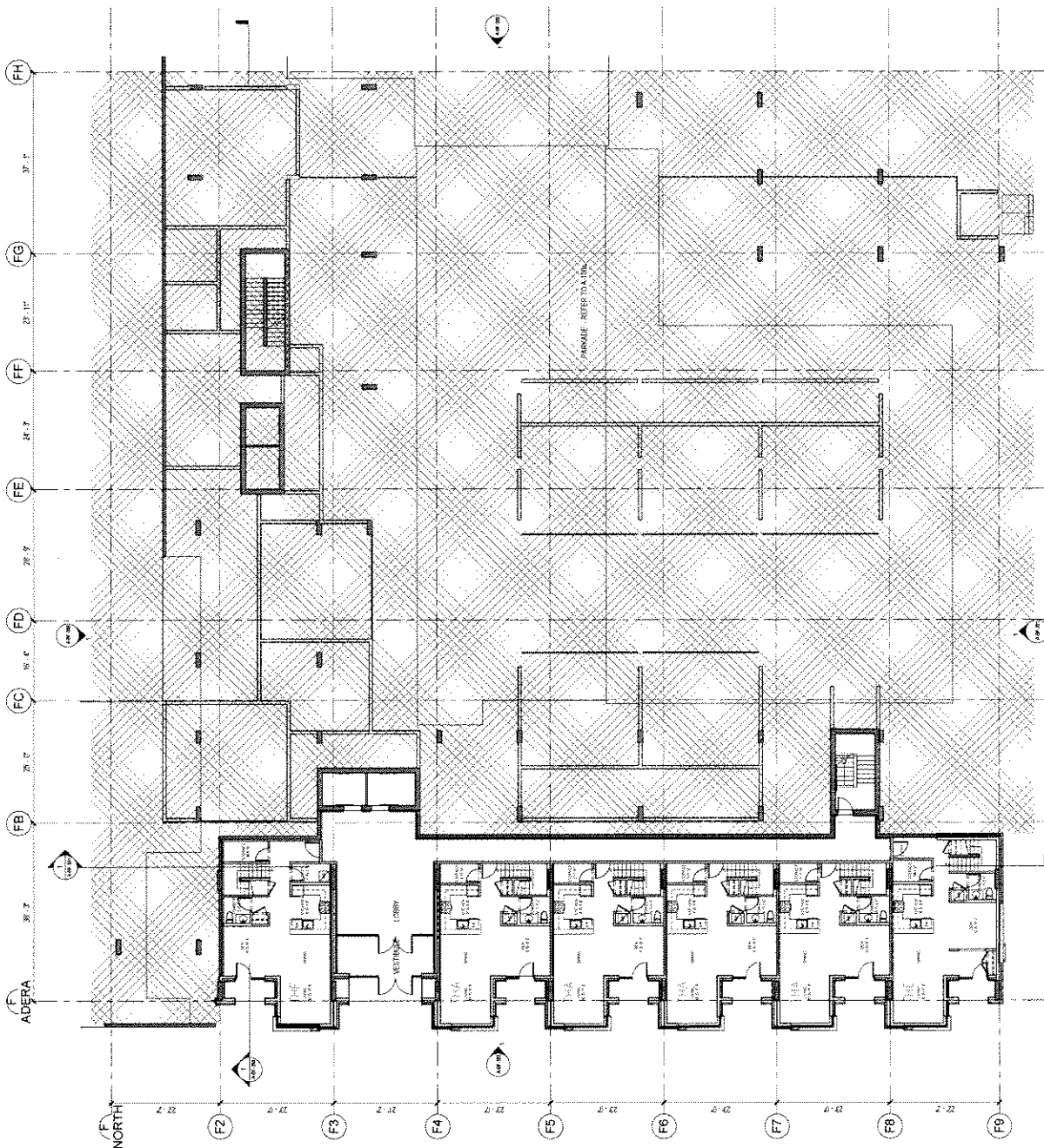
BLOCK E - WALL  
SECTION - EAST

A-BE-404

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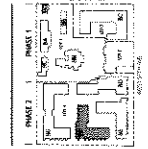
- NOTES:
1. Architectural program with the incorporation of the floor design and construction based on the consultant's "OFFICE LAYOUT" design. Lobbies designed based on the current program. Design includes workstations, storage, and lockers. Minimum: 1000 sq ft per workstation. Minimum: 100 sq ft per locker. Mechanical equipment (elevators, etc.) to be designed and located as per the mechanical consultant's notes by the RGS.
  - 2.
  - 3.



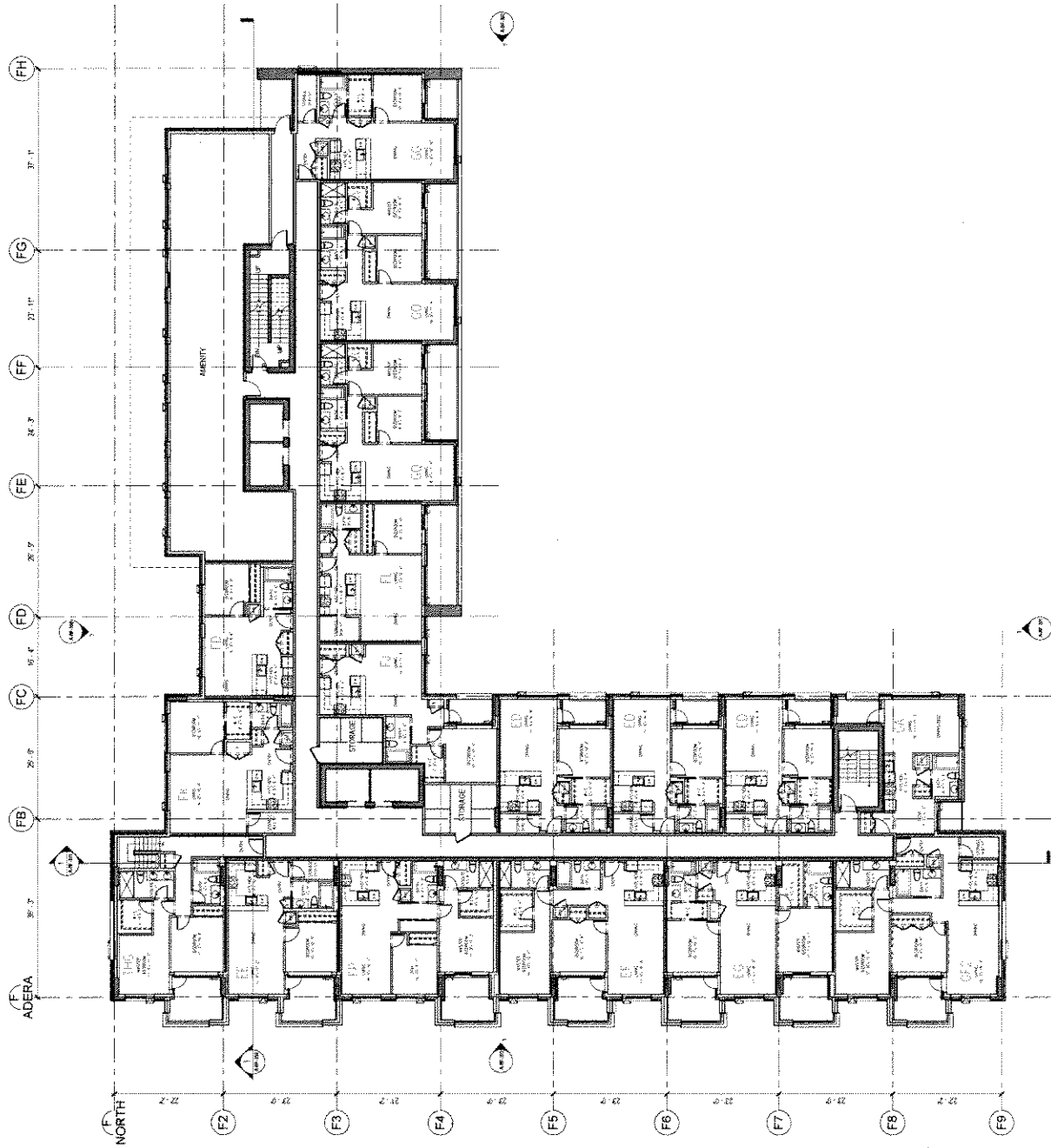
1 BLOCK F - PLAN LEVEL 01  
1" = 10'-0"

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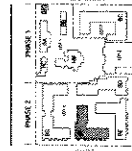
- NOTES:
1. Architectural responses will be incorporated into the final design and construction based on the consultant's design. "SAFE (R)MSE" denotes rooms designed to meet or exceed the International Building Code (IBC) 2006, Section 508.3.2.1. All rooms shall be designed to meet or exceed the IBC 2006, Section 508.3.2.1. All rooms shall be designed to meet or exceed the IBC 2006, Section 508.3.2.1. All rooms shall be designed to meet or exceed the IBC 2006, Section 508.3.2.1.
  2. "SAFE (R)MSE" denotes rooms designed to meet or exceed the International Building Code (IBC) 2006, Section 508.3.2.1. All rooms shall be designed to meet or exceed the IBC 2006, Section 508.3.2.1. All rooms shall be designed to meet or exceed the IBC 2006, Section 508.3.2.1.
  3. All rooms shall be designed to meet or exceed the IBC 2006, Section 508.3.2.1. All rooms shall be designed to meet or exceed the IBC 2006, Section 508.3.2.1. All rooms shall be designed to meet or exceed the IBC 2006, Section 508.3.2.1.



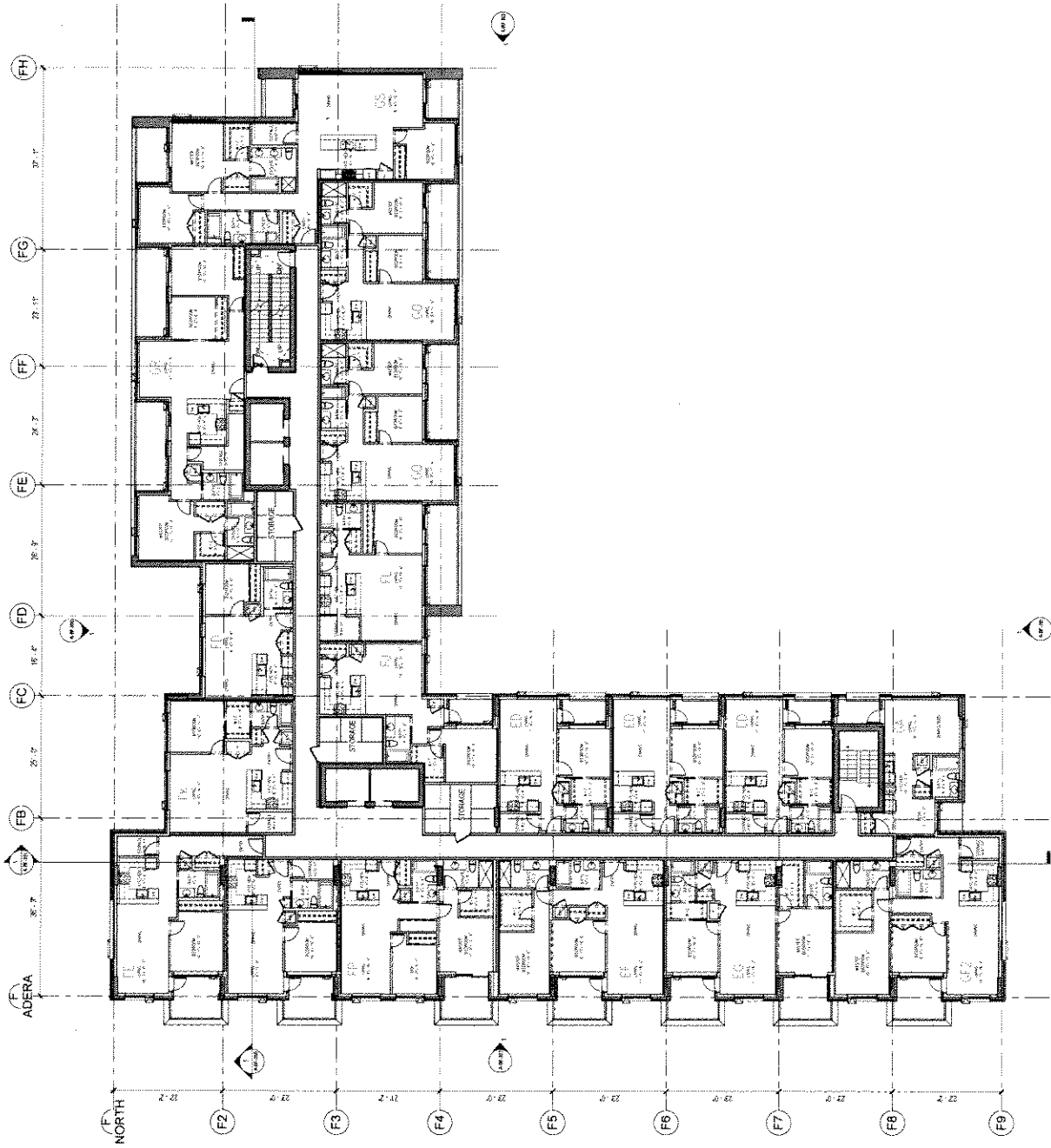
1 BLOCK F - PLAN LEVEL 03  
1" = 16'-0"

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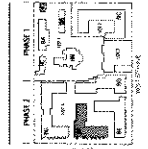


- NOTES
1. All existing conditions will be incorporated into the final design and construction based on the information provided.
  2. "SWEET-HOUSE" kitchen units are shown based on the current design. All units are subject to change based on the final design. All units are subject to change based on the final design.
  3. Mechanical equipment (chillers, AHUs, etc.) will be designed and located to accommodate the needs of the building. All equipment will be located in the mechanical room.

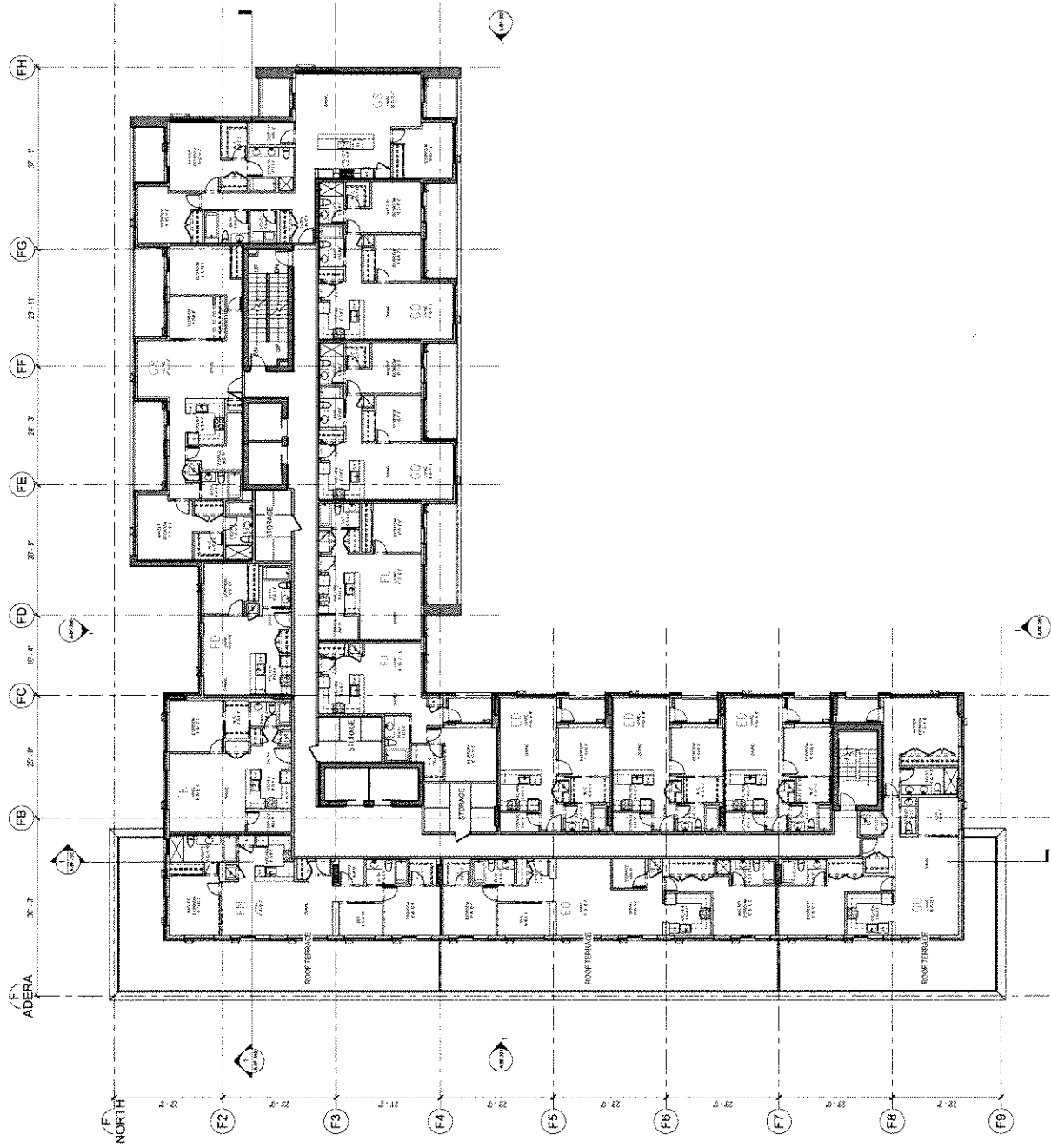


1 BLOCK F - PLAN LEVEL 04  
1" = 16'-0"

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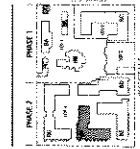


- NOTES
1. Accurately measured will be incorporated into the final design and construction documents. All dimensions are approximate and subject to change without notice.
  2. SUFFER-HOUMER develops utility and mechanical systems in accordance with the design and construction documents. All dimensions are approximate and subject to change without notice.
  3. All dimensions are approximate and subject to change without notice. All dimensions are approximate and subject to change without notice.

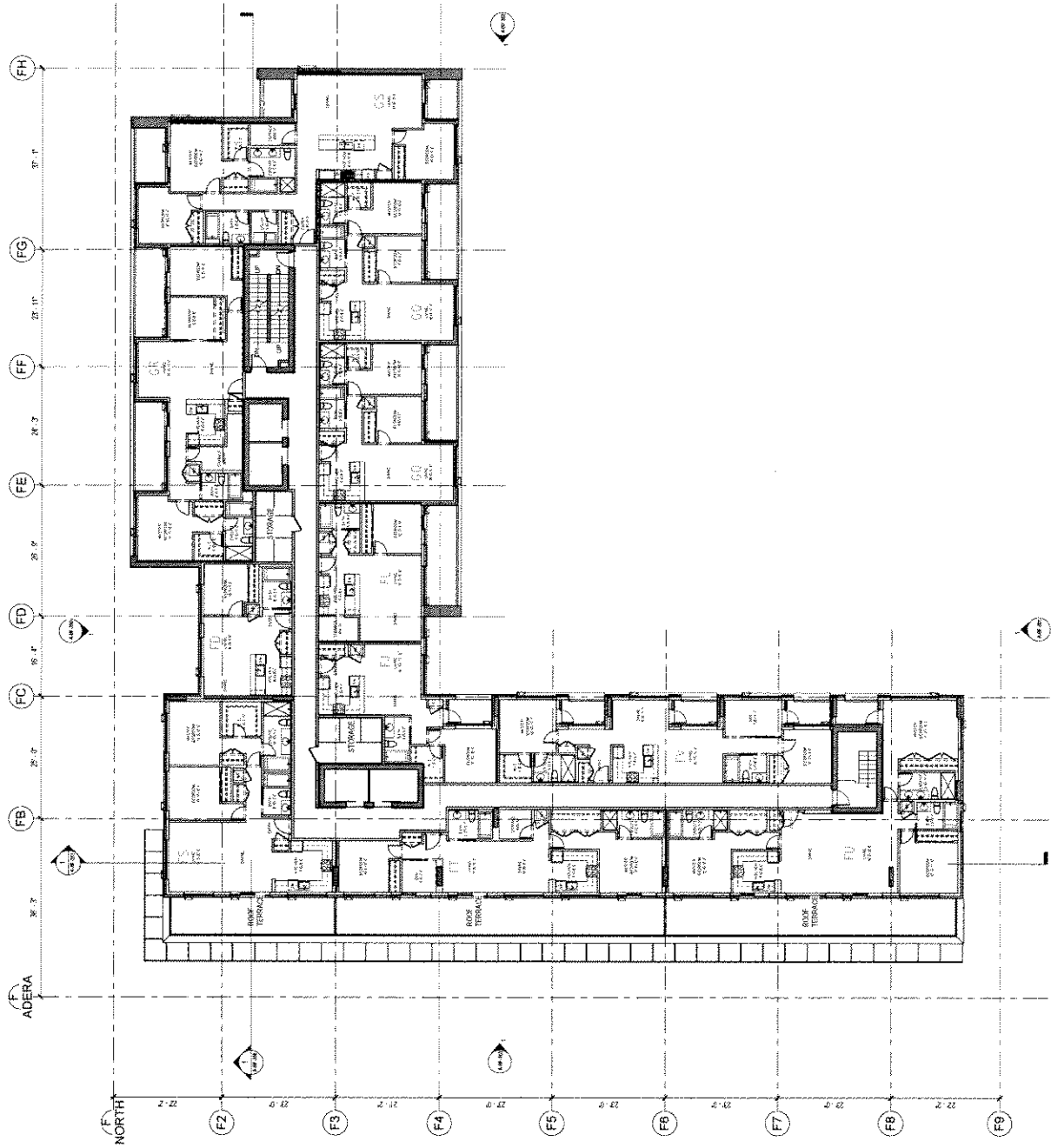


1 BLOCK F - PLAN LEVEL 05  
1" = 1/8" = 0'

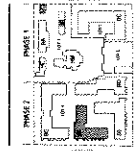
Appendix Page 78 of 143



- SCHEDULE**
1. Accurately measured wall thicknesses will be incorporated into the final design and construction based on the contractor's "AS-BUILT" schedule. Services shall be designed based on the schedule. Approximate Design Load shall be 100 psf. The schedule shall include all structural framing walls.
  2. Mechanical equipment (ventilators, fans, etc.) shall be located on the roof. Services will be designed and located on the roof. The schedule shall include the mechanical equipment and services on the roof. Refer to page A-BF-106.



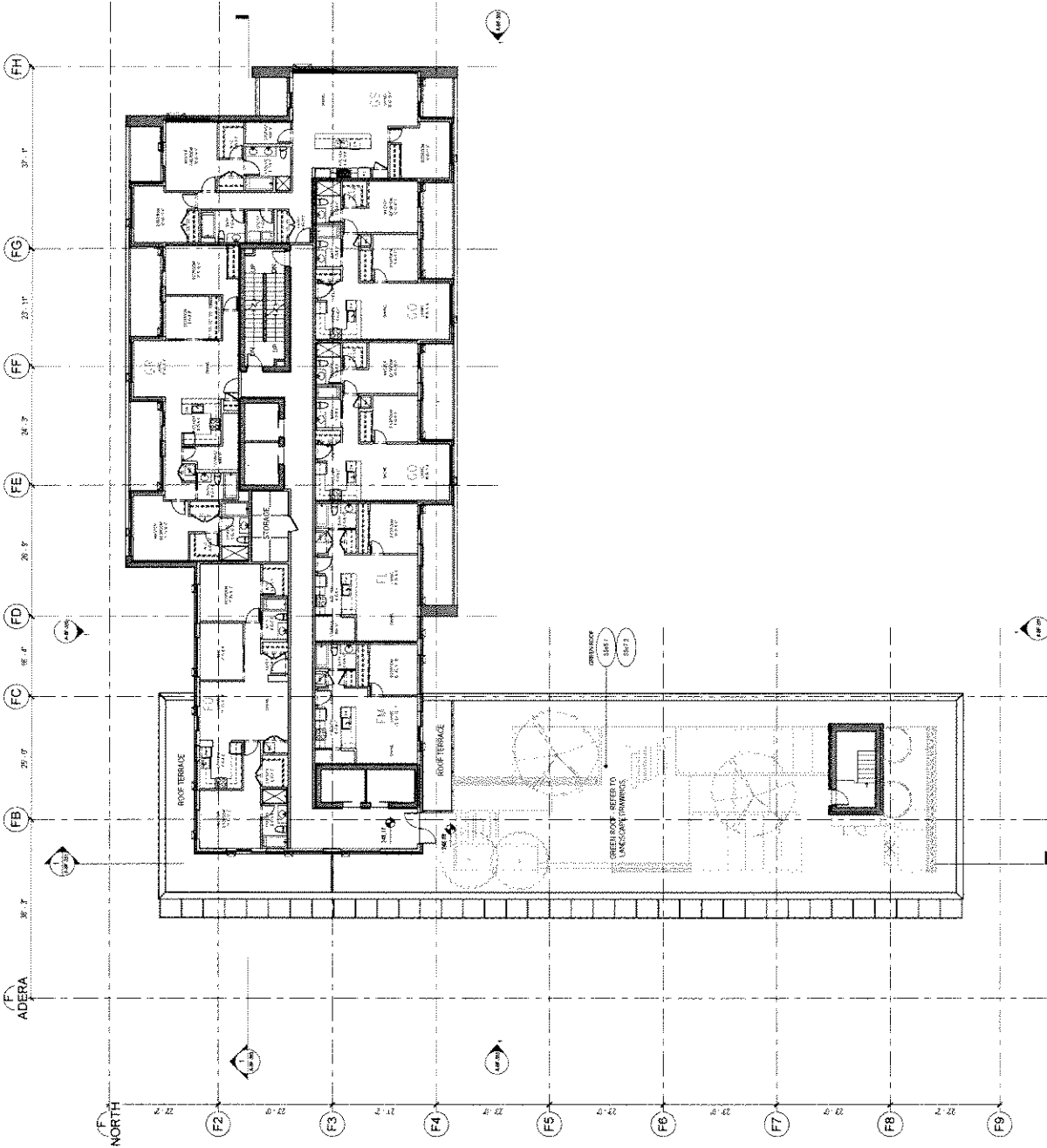
**1 BLOCK F - PLAN LEVEL 06**  
1" = 10'-0"



LEED LEARNING  
REFERS TO LEED PROJECT  
FORECAST ON SHEET 76

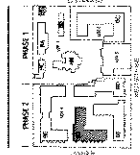
NOTES

1. Additional resources will be incorporated into the final design and construction documents for the consultant's review and approval.
2. "SAFER-HOME" device units are shown in the plan. The design team shall conduct the California State Board of Pesticide Control (SBC) field tests for the units. SBC field tests are required for all units. SBC field tests are required for all units. SBC field tests are required for all units.
3. Additional resources will be incorporated into the final design and construction documents for the consultant's review and approval.



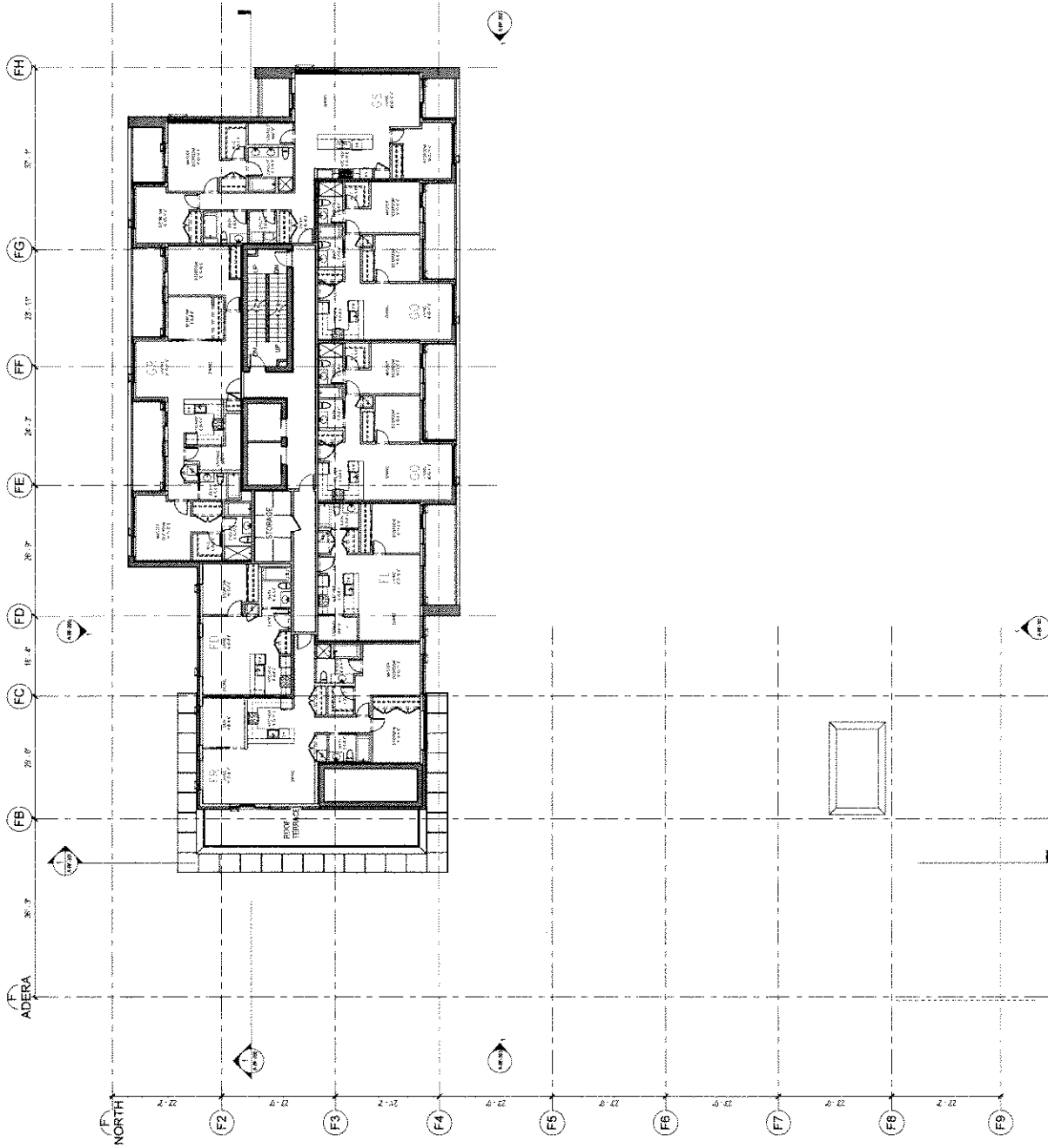
1 BLOCK F - PLAN LEVEL 07  
1" = 1/8" @

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**NOTES**

1. Accurately measure all dimensions and incorporate into the final design and construction. All dimensions are approximate and subject to change.
2. **OWNER NOTE:** Details shall be provided by the architect. Structural details shall be provided by the structural engineer. All dimensions are approximate and subject to change.
3. All dimensions are approximate and subject to change. All dimensions are approximate and subject to change.



1 BLOCK F - PLAN LEVEL 08  
P. 08/08

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LEED IFC 2009  
 GREEN BUILDING  
 FORECAST ON SHEET A1

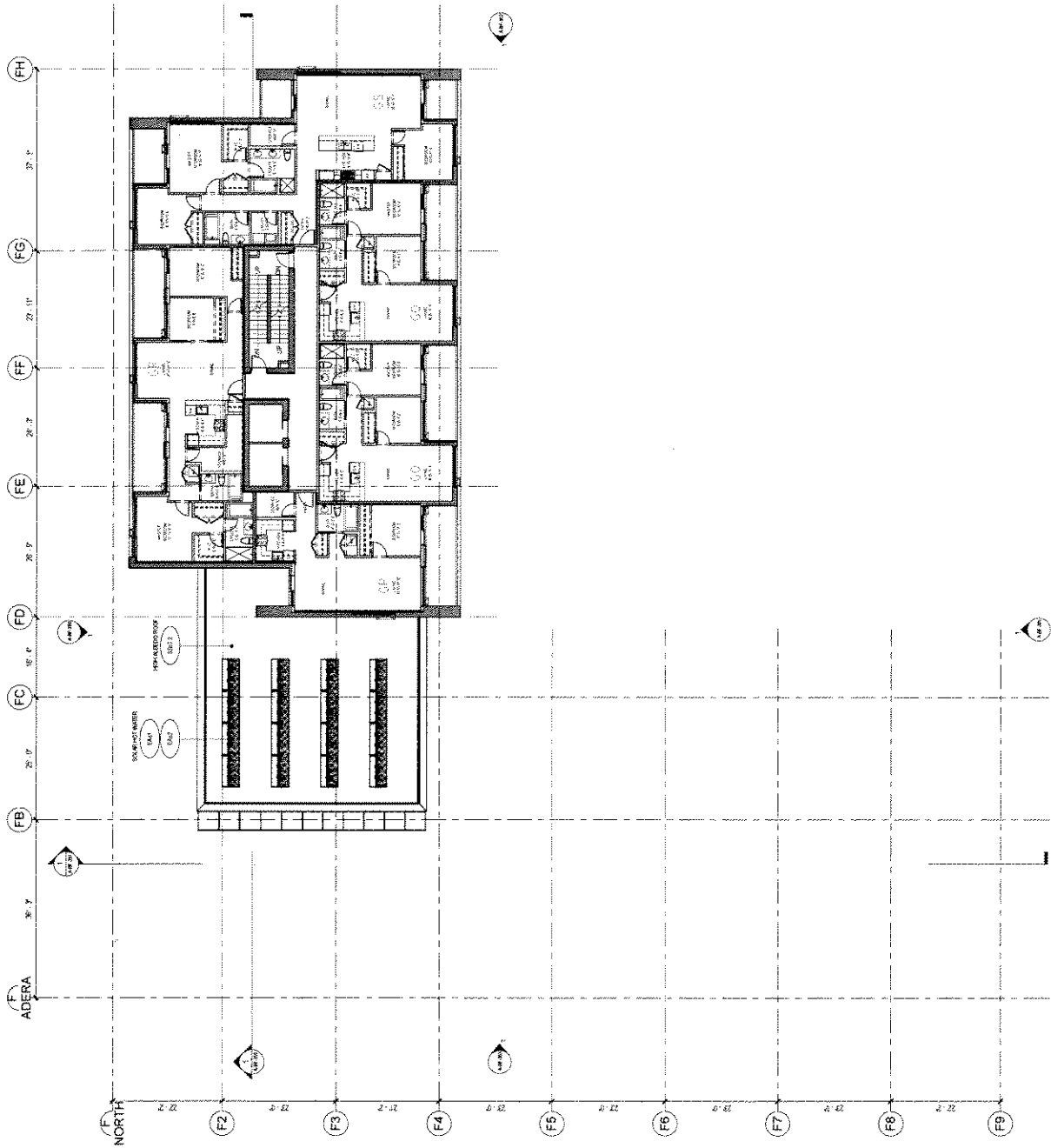
- NOTES
1. Accurate responses will be incorporated into the final design and construction based on the consultants' design based on the current design. Energy load is to be determined by the design team. The design team shall provide a detailed energy load calculation for each floor, including the mechanical equipment (cooling, heating, etc.) and the building envelope (walls, windows, etc.).
  2. Mechanical equipment (cooling, heating, etc.) shall be sized based on the energy load calculation provided by the design team. The design team shall provide a detailed energy load calculation for each floor, including the mechanical equipment (cooling, heating, etc.) and the building envelope (walls, windows, etc.).
  3. Mechanical equipment (cooling, heating, etc.) shall be sized based on the energy load calculation provided by the design team. The design team shall provide a detailed energy load calculation for each floor, including the mechanical equipment (cooling, heating, etc.) and the building envelope (walls, windows, etc.).

SHANNON ESTATE  
 PHASE II  
 7101-7201 Glenview Street  
 Vancouver, BC

BLOCK F - OVERALL  
 PLAN LEVEL 09

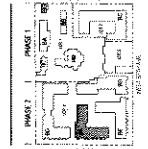
A-BF-109

DATE: 2010-05-08

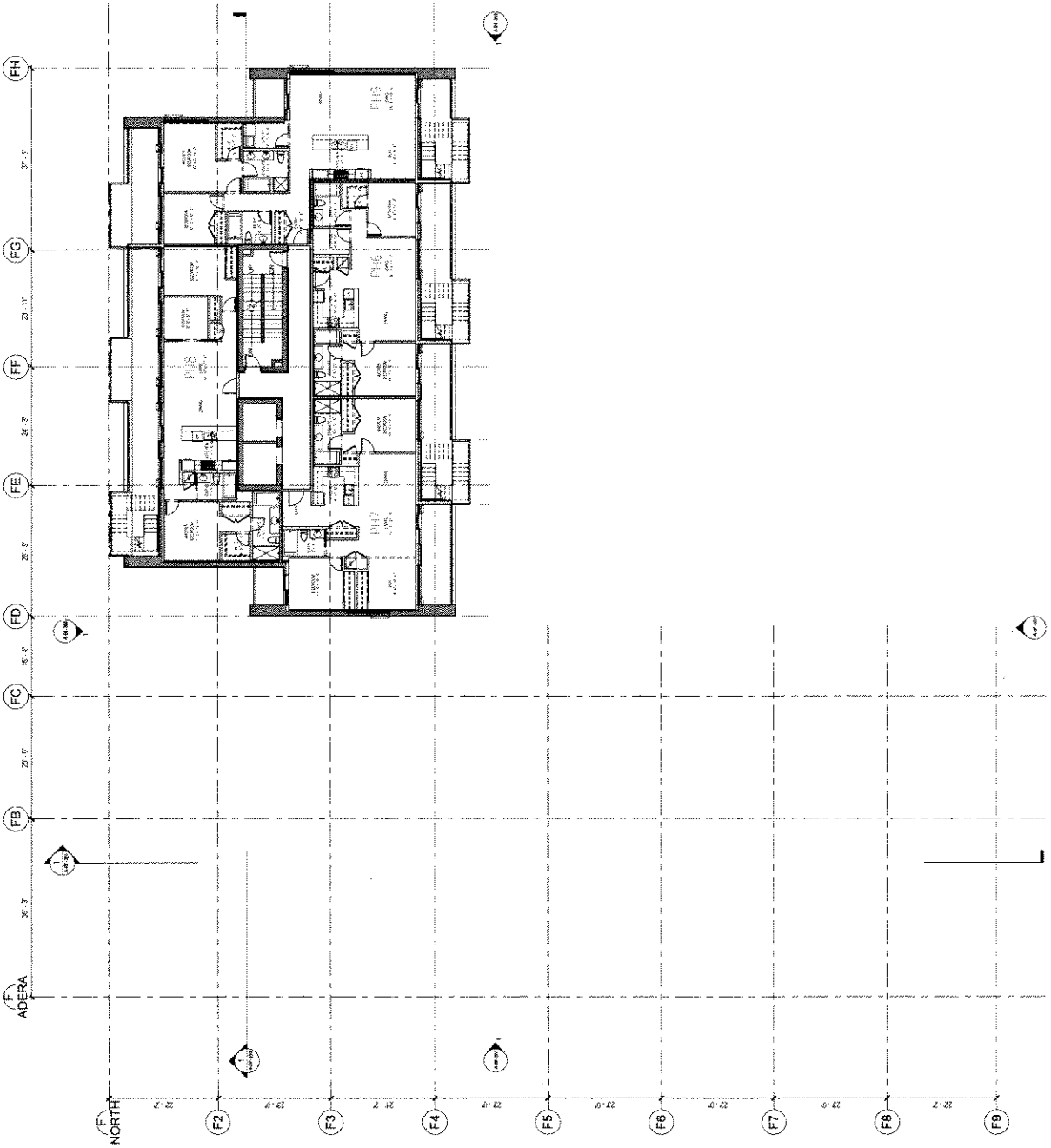


1 BLOCK F - PLAN LEVEL 09  
 1" = 1/8"

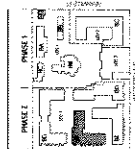
Appendix C; page 2 of 143



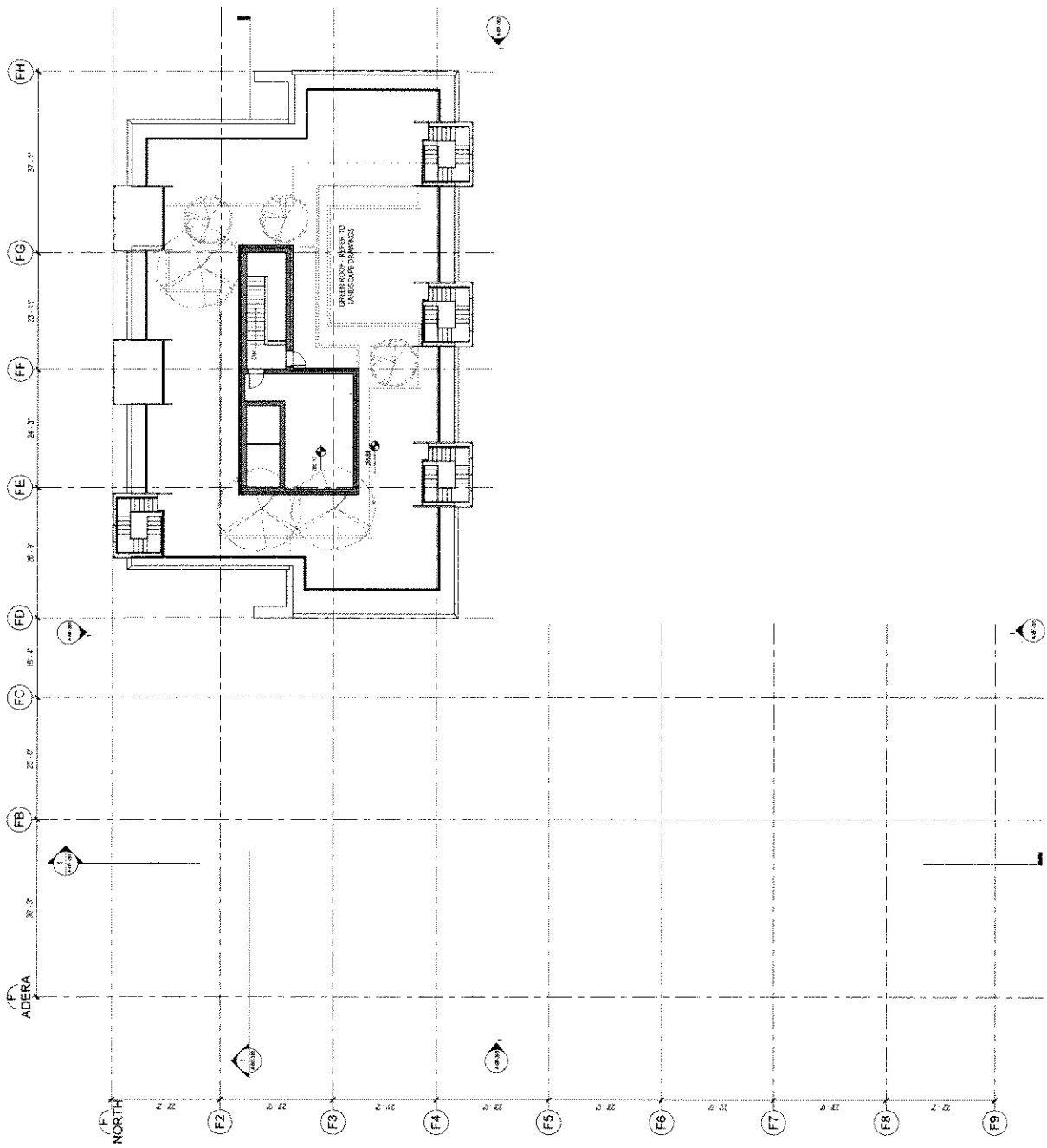
- NOTES
1. Annotations may be incorporated into the final design and construction based on the consultant's design. "DATE ISSUED" indicates the date the design was issued. The consultant's design is not to be used for construction without the approval of the consultant. All dimensions are in feet and inches (ft-in). All dimensions are to the centerline unless otherwise noted.
  2. All dimensions are to the centerline unless otherwise noted.
  3. All dimensions are to the centerline unless otherwise noted.



1 BLOCK F - PLAN LEVEL 10  
1" = 10'-0"



- NOTES
1. Architectural references will be incorporated into the final design and construction based on the consultant's "SCHEDULE OF WORK" drawings which are to be prepared by the contractor. All drawings shall be submitted to the architect for review and approval. All drawings shall be submitted to the architect for review and approval. All drawings shall be submitted to the architect for review and approval.
  2. All drawings shall be submitted to the architect for review and approval. All drawings shall be submitted to the architect for review and approval. All drawings shall be submitted to the architect for review and approval.
  3. Mechanical equipment (chillers, boilers, etc.) shall be located in the mechanical room. All drawings shall be submitted to the architect for review and approval. All drawings shall be submitted to the architect for review and approval. All drawings shall be submitted to the architect for review and approval.



1 BLOCK F - PLAN LEVEL ROOF  
P1032648

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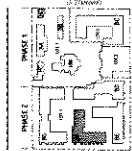


LEGEND  
..... COMPLIANT, 30 DEGREE  
ANGLE OF INCIDENCE  
..... COMPLIANT, TWO  
COMPLIANT, 30 DEGREE  
ANGLE OF INCIDENCE  
..... NON-COMPLIANT



WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 2/15/04-06

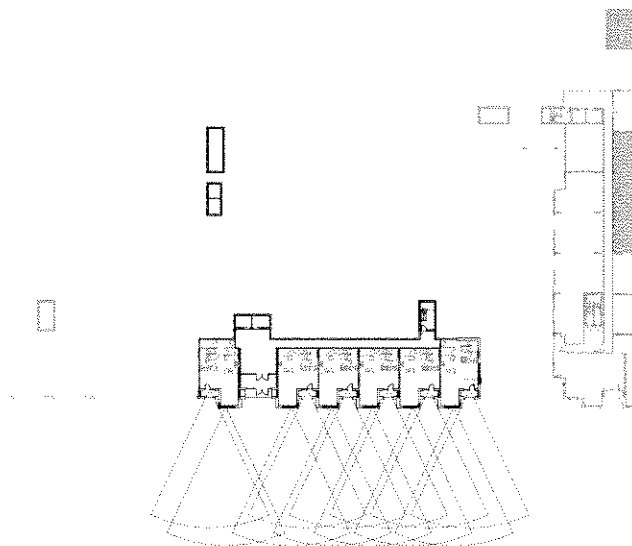


SHANNON ESTATE  
PHASE II  
141-150 Geneva Street  
Washington, DC

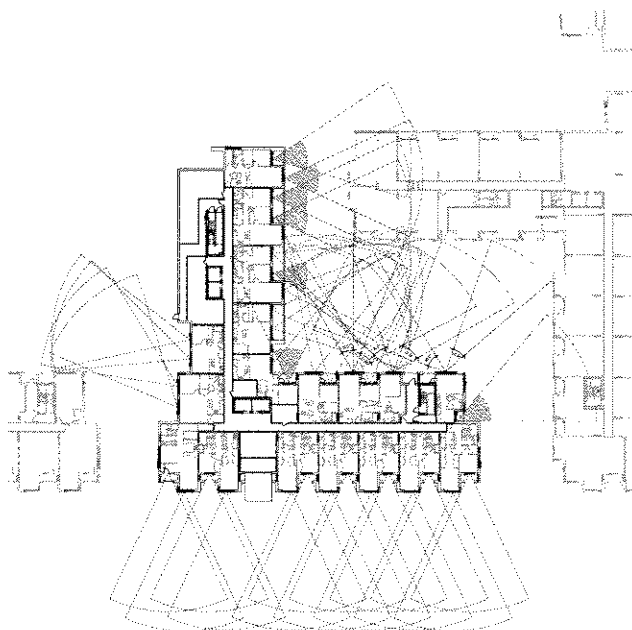
BLOCK F -  
HORIZONTAL ANGLE  
OF DAYLIGHT LEVEL  
01-02

A-BF-151

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1 HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 01  
30° ± 1°



2 HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 02  
30° ± 1°

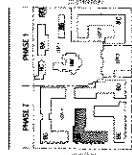
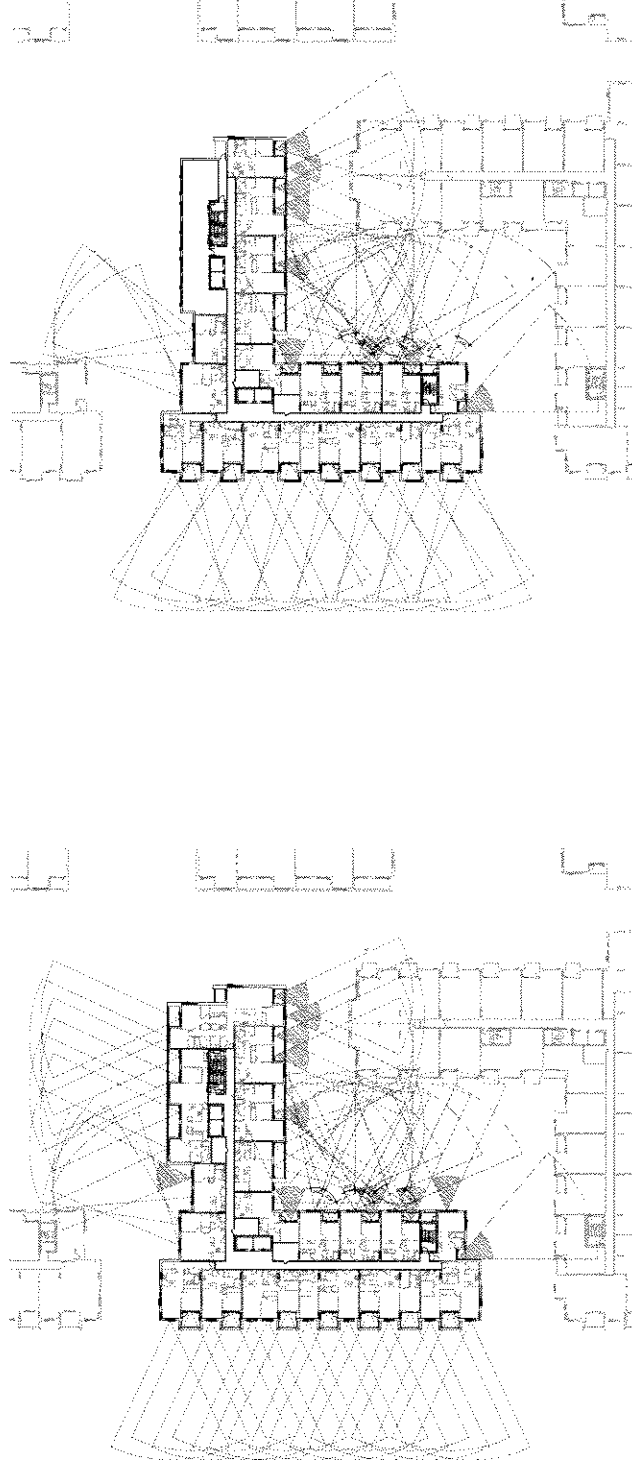
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LEGEND  
COMPART HAD SHINE  
ANGLE OF 30 DEGREES  
COMPART HAD TWO  
SHINE ANGLES WITH SUM OF 70  
DEGREES  
NON-COMPART HAD



WALL FINANCIAL  
CORPORATION

ISSUED FOR RFP 2014-06-28



SHANNON ESTATE  
PHASE II  
700 700 Corporate Street  
Baltimore, MD

BLOCK F -  
HORIZONTAL ANGLE  
OF DAYLIGHT LEVEL  
03-04

1 HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 03  
100% 1:10'

2 HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 04  
100% 1:10'

A-BF-152

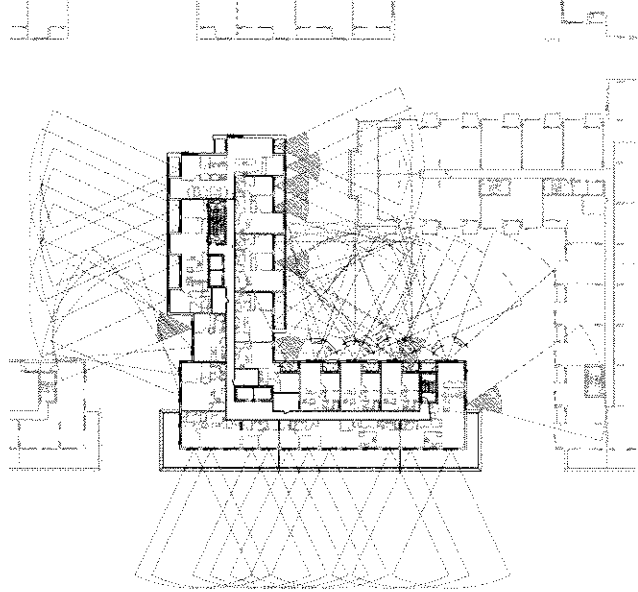
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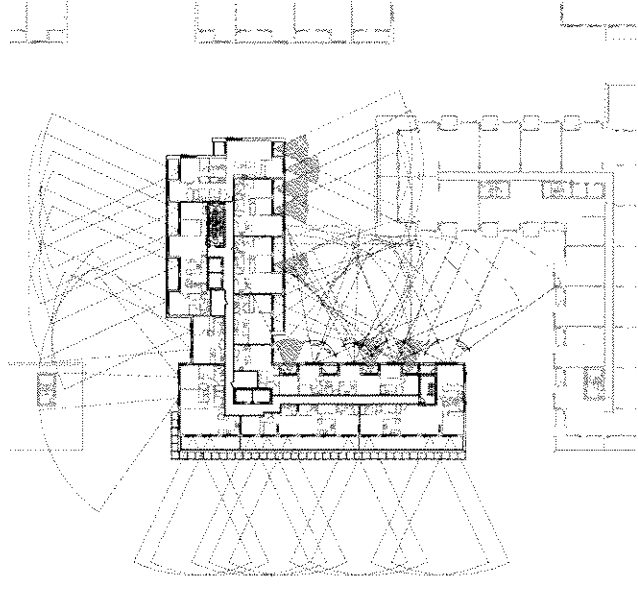
LEGEND  
..... DOWN LIGHT I.A.D. - SINGLE  
ANGLE OF 50 DEGREES  
..... DOWN LIGHT I.A.D. - 7'x9'  
ANGLES WITH A SUB OF 70'  
..... DOWN LIGHT I.A.D.  
..... DOWN LIGHT I.A.D.



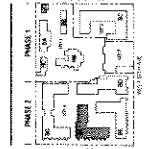
ISSUED FOR DP 2/13/06/06



① HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 05  
100° - 110°



② HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 06  
100° - 110°



SHANNON ESTATE  
PHASE II  
7101 1201 Cambridge Street  
Raleigh, NC

BLOCK F -  
HORIZONTAL ANGLE  
OF DAYLIGHT LEVEL  
05-06

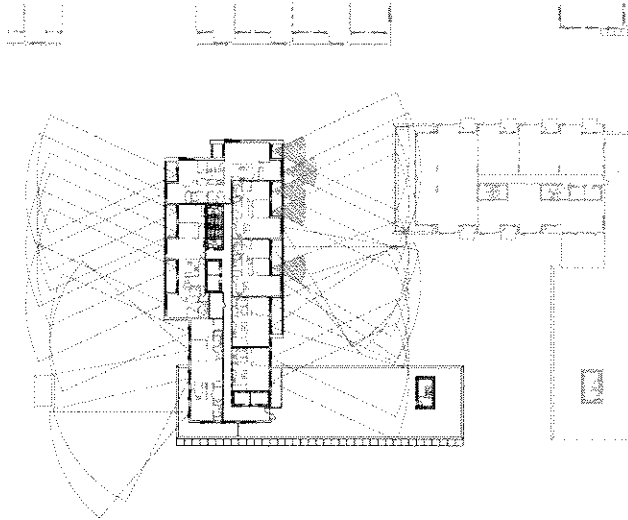
A-BF-153

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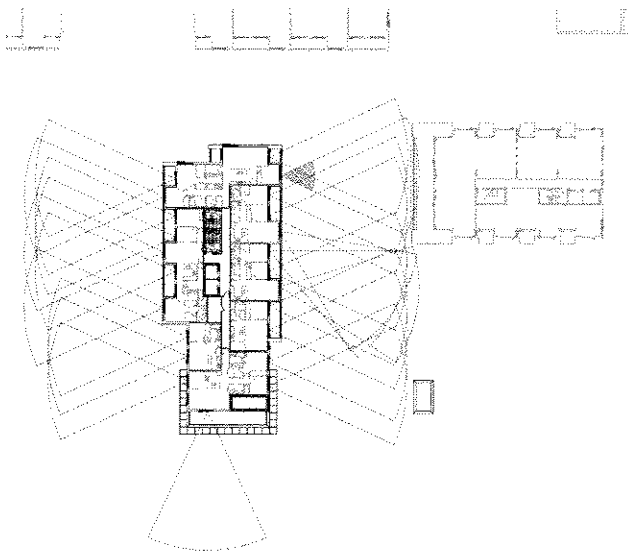
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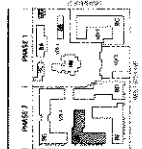
**LEGEND**  
 ..... COMPLAINT HEAD, SINGLE  
 ANGLE OF VIEWS/REGES  
 ..... COMPLAINT HEAD, TWO  
 ANGLES WITH A SUM OF 75  
 DEGREES  
 ..... NON-COMPLAINT HEAD



① HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 07  
1/8" = 1'-0"



② HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 08  
1/8" = 1'-0"



SHANNON ESTATE  
 PHASE II  
 110-120 Geneva Street  
 Vancouver, BC

BLOCK F -  
 HORIZONTAL ANGLE  
 OF DAYLIGHT LEVEL  
 07-08

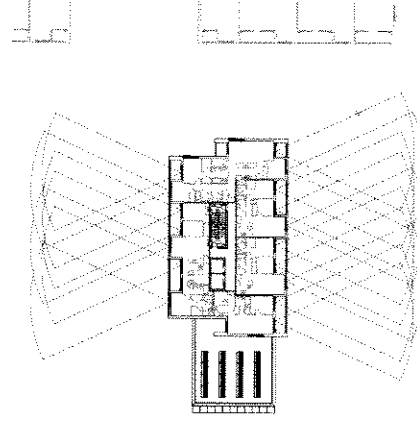
A-BF-154

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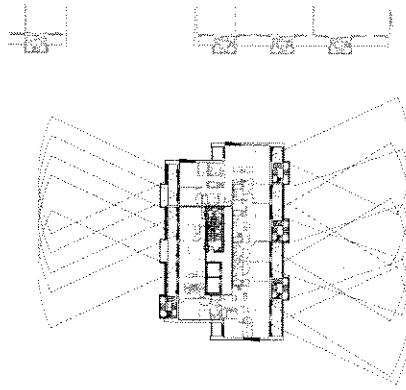
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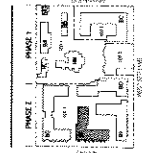
LEGEND  
..... COMPARTMENT A.D. - SINGLE ANGLE OF 30 DEGREES  
..... COMPARTMENT A.D. - TWO ANGLES WITH A SUM OF 70 DEGREES  
..... NON-COMPARTMENT A.D.



① HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 09  
100% + 11.0'



② HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 10  
100% + 11.0'



SHANNON ESTATE  
PHASE II  
741 1700 Cambridge Street  
Waco, TX 76798

BLOCK F -  
HORIZONTAL ANGLE  
OF DAYLIGHT LEVEL  
09-10

A-BF-155

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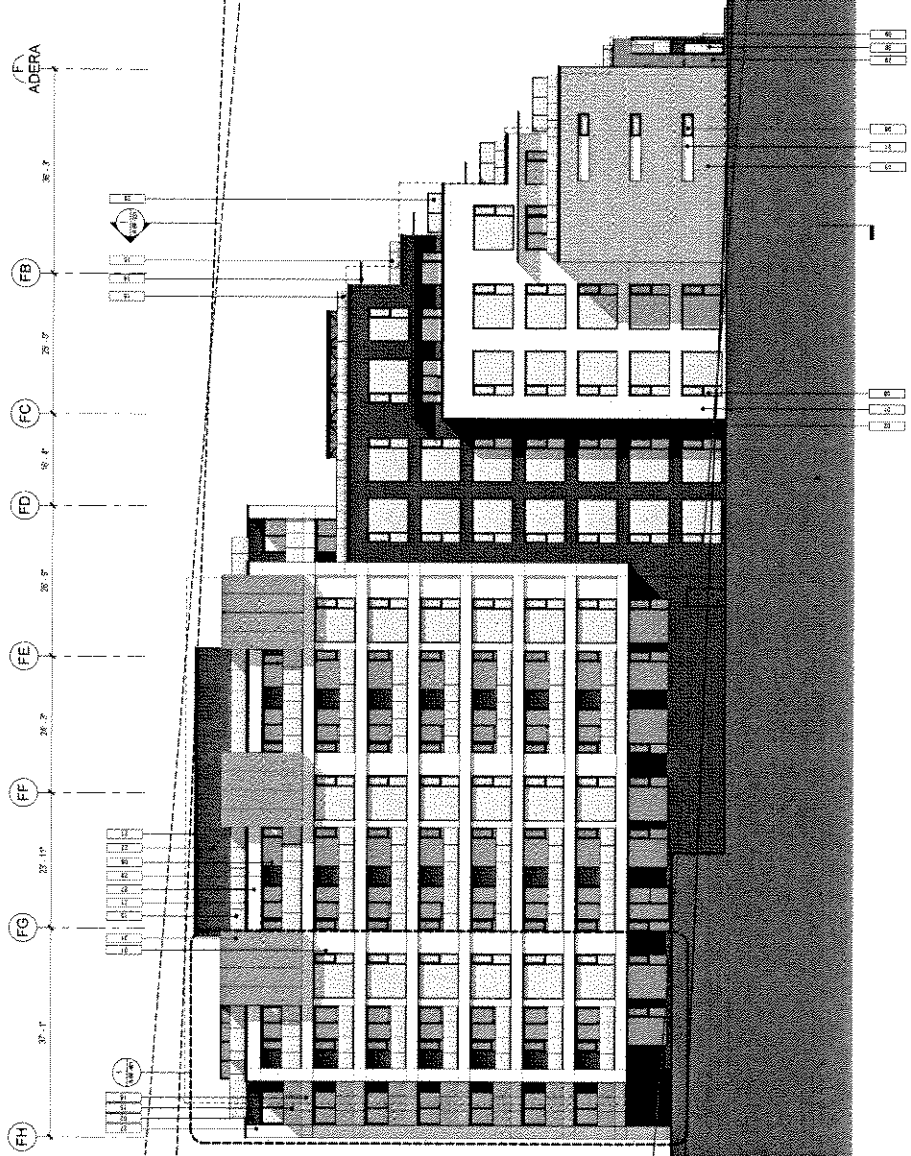
WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 2/10/05-06

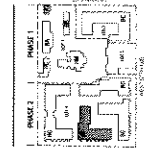
- MATERIALS LEGEND**
- 01 SWISSPINE CLADDING
  - 02 GALT FINISH (WHITE)
  - 03 LIGHT GREY CLADDING
  - 04 BRICK CLADDING
  - 05 BRICK CLADDING (SIBERIAN LANTANA)
  - 06 BRICK CLADDING (SIBERIAN LANTANA)
  - 07 BRICK CLADDING (SIBERIAN LANTANA)
  - 08 BRICK CLADDING (SIBERIAN LANTANA)
  - 09 BRICK CLADDING (SIBERIAN LANTANA)
  - 10 BRICK CLADDING (SIBERIAN LANTANA)
  - 11 BRICK CLADDING (SIBERIAN LANTANA)
  - 12 BRICK CLADDING (SIBERIAN LANTANA)
  - 13 BRICK CLADDING (SIBERIAN LANTANA)
  - 14 BRICK CLADDING (SIBERIAN LANTANA)
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  - 16 BRICK CLADDING (SIBERIAN LANTANA)
  - 17 BRICK CLADDING (SIBERIAN LANTANA)
  - 18 BRICK CLADDING (SIBERIAN LANTANA)
  - 19 BRICK CLADDING (SIBERIAN LANTANA)
  - 20 BRICK CLADDING (SIBERIAN LANTANA)
  - 21 BRICK CLADDING (SIBERIAN LANTANA)
  - 22 BRICK CLADDING (SIBERIAN LANTANA)
  - 23 BRICK CLADDING (SIBERIAN LANTANA)
  - 24 BRICK CLADDING (SIBERIAN LANTANA)
  - 25 BRICK CLADDING (SIBERIAN LANTANA)
  - 26 BRICK CLADDING (SIBERIAN LANTANA)
  - 27 BRICK CLADDING (SIBERIAN LANTANA)
  - 28 BRICK CLADDING (SIBERIAN LANTANA)
  - 29 BRICK CLADDING (SIBERIAN LANTANA)
  - 30 BRICK CLADDING (SIBERIAN LANTANA)
  - 31 BRICK CLADDING (SIBERIAN LANTANA)

- LINE TYPE LEGEND**
- MAXIMUM BUILDING HEIGHT FROM GROUND
  - MAXIMUM BUILDING HEIGHT FROM PROPOSED BASE SURFACE BY BLOCK
  - OVERALL BUILDING HEIGHT FROM PROPOSED BASE SURFACE BY BLOCK
  - PROPOSED BASE SURFACE BY BLOCK
  - BUILDING BUILDING MASSING
- GENERAL NOTES**
- 1. ALL EXTERIOR AND COMMON AREAS TO BE PAINTED WITH FINISHES DESIGNED TO ELIMINATE LIGHT TRIPASS BEYOND THE SITE

- ROOF LEVEL 1 (MEZANINE) 100'-0"
- ROOF LEVEL 2 (MEZANINE) 100'-0"
- ROOF LEVEL 3 (MEZANINE) 100'-0"
- ROOF LEVEL 4 (MEZANINE) 100'-0"
- ROOF LEVEL 5 (MEZANINE) 100'-0"
- ROOF LEVEL 6 (MEZANINE) 100'-0"
- ROOF LEVEL 7 (MEZANINE) 100'-0"
- ROOF LEVEL 8 (MEZANINE) 100'-0"
- ROOF LEVEL 9 (MEZANINE) 100'-0"
- ROOF LEVEL 10 (MEZANINE) 100'-0"
- ROOF LEVEL 11 (MEZANINE) 100'-0"
- ROOF LEVEL 12 (MEZANINE) 100'-0"
- ROOF LEVEL 13 (MEZANINE) 100'-0"
- ROOF LEVEL 14 (MEZANINE) 100'-0"
- ROOF LEVEL 15 (MEZANINE) 100'-0"
- ROOF LEVEL 16 (MEZANINE) 100'-0"
- ROOF LEVEL 17 (MEZANINE) 100'-0"
- ROOF LEVEL 18 (MEZANINE) 100'-0"
- ROOF LEVEL 19 (MEZANINE) 100'-0"
- ROOF LEVEL 20 (MEZANINE) 100'-0"
- ROOF LEVEL 21 (MEZANINE) 100'-0"
- ROOF LEVEL 22 (MEZANINE) 100'-0"
- ROOF LEVEL 23 (MEZANINE) 100'-0"
- ROOF LEVEL 24 (MEZANINE) 100'-0"
- ROOF LEVEL 25 (MEZANINE) 100'-0"
- ROOF LEVEL 26 (MEZANINE) 100'-0"
- ROOF LEVEL 27 (MEZANINE) 100'-0"
- ROOF LEVEL 28 (MEZANINE) 100'-0"
- ROOF LEVEL 29 (MEZANINE) 100'-0"
- ROOF LEVEL 30 (MEZANINE) 100'-0"
- ROOF LEVEL 31 (MEZANINE) 100'-0"



1 BLOCK F - ELEVATION NORTH  
P. 10/0



SHANNON ESTATE  
PHASE II  
7701 700 GARDENS DRIVE  
WENDELL, NC

BLOCK F - BUILDING  
ELEVATION NORTH

A-BF-300

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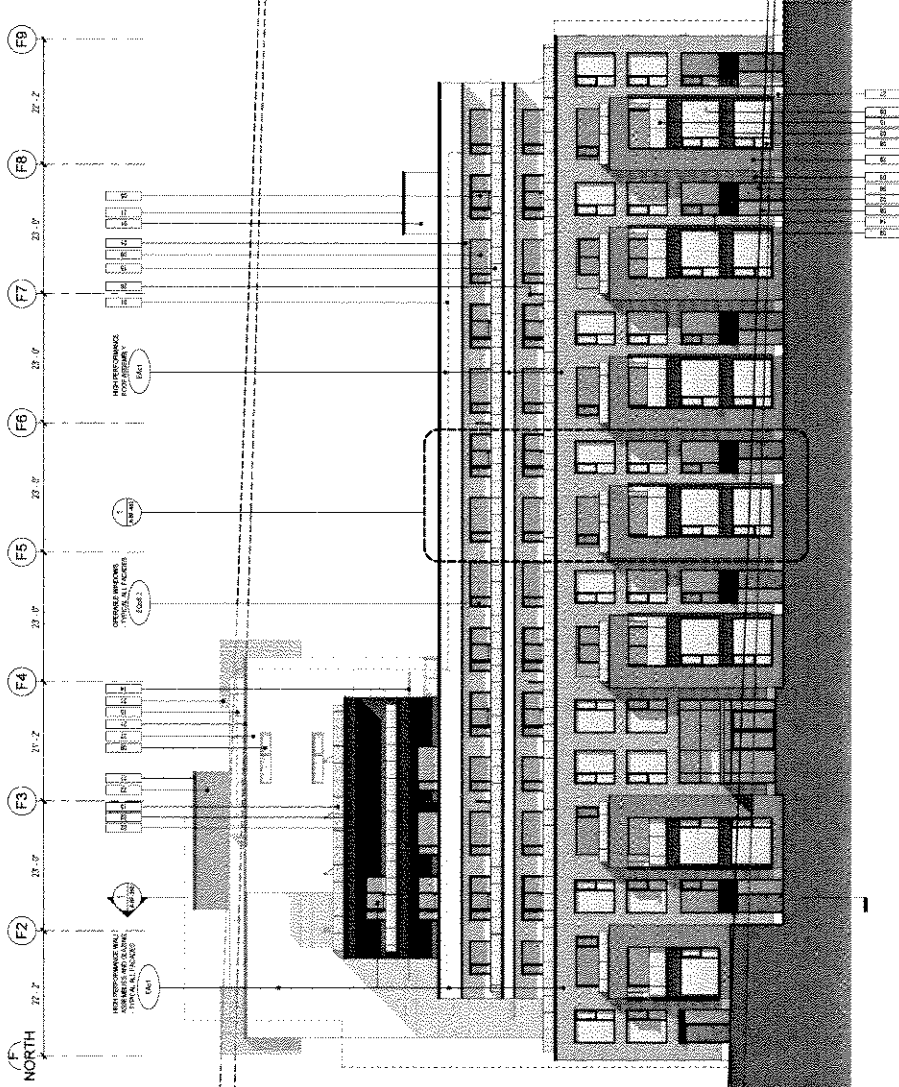
WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 2015.06.08

- MATERIAL LEGEND**
- 01 SWISSPANEL GLAZING
  - 02 METAL FRAME GLAZING
  - 03 LIGHT GRAY ANODIZED ALUMINUM
  - 04 BLOCKED-F COLOUR (STACK BOND)
  - 05 BLOCKED-F COLOUR (STACK BOND)
  - 06 STYREFRONT
  - 07 DOOR - ALUMINUM FRAME (STRANDES)
  - 08 DOOR - HOLLOW METAL FRAME
  - 09 WINDOW SYSTEM - WINDOW WALL, ALUMINUM FRAME
  - 10 SUBROOF - ALUMINUM EXTRUSION (PAINTED)
  - 11 GLAZING SYSTEM - FRITTED STRUCTURAL GLASS WALL
  - 12 FIXED ALUMINUM SOLAR SHADES
  - 13 ARCHITECTURAL MECHANICAL LouVERS
  - 14 CANOPY - FRITTED GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
  - 15 BALCONY RAILING - WHITE PRINTED GLASS (GREY)
  - 16 BALCONY RAILING - WHITE PRINTED GLASS (GREY)
  - 17 BALCONY RAILING - PLATEL FINISH
  - 18 LANDSCAPE WALL - PRECAST CONCRETE
  - 19 WATER FEATURE - ALUMINUM FRAME MESH SCREEN (PAINTED DARK GREY)
  - 20 PREFINISHED METAL COPING
  - 21 CORRUGATED METAL PANEL (PAINTED)
  - 22 LANDSCAPE ROOF TOP PLANTER - METAL (SECURATIVE STEEL CHANNEL, PAINTED DARK GREY)
  - 23 GRASS SECURITY GATE (PAINTED DARK GREY)
  - 24 PANTRY SCREEN - WHITE PRINTED GLASS (GREY)
  - 25 WINDOW SCREEN - WHITE PRINTED GLASS (GREY)
  - 26 WATCH ADJACENT CORNER
  - 27 WINDOW SCREEN - WHITE PRINTED GLASS (GREY)
  - 28 WINDOW SCREEN - WHITE PRINTED GLASS (GREY)
  - 29 WINDOW SCREEN - WHITE PRINTED GLASS (GREY)
  - 30 WINDOW SCREEN - WHITE PRINTED GLASS (GREY)
  - 31 PERMANENT PATINA COPPER

- LINE TYPE LEGEND**
- MAXIMUM BUILDING HEIGHT FROM CD-1 OVERALL FINISH SURFACE
  - MAXIMUM BUILDING HEIGHT FROM PROPOSED BASE SURFACE BY BLOCK OUTLINE
  - CD-1 OVERALL FINISH SURFACE
  - PROPOSED BASE SURFACE BY BLOCK OUTLINE
  - PROPOSED BUILDING MASSING OUTLINE

- GENERAL NOTES**
- 1. ALL EXTERIOR AND CORNER AREA LAMPS TO BE FULL CUT OFF FIXTURES DESIGNED TO ELIMINATE LIGHT TRESPASS BEYOND THE SITE
- LEED LEGEND**
- 1. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 2. OPERABLE WINDOWS (SHADING DEVICE)
  - 3. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 4. OPERABLE WINDOWS (SHADING DEVICE)
  - 5. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 6. OPERABLE WINDOWS (SHADING DEVICE)
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  - 68. OPERABLE WINDOWS (SHADING DEVICE)
  - 69. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 70. OPERABLE WINDOWS (SHADING DEVICE)
  - 71. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 72. OPERABLE WINDOWS (SHADING DEVICE)
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  - 79. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 80. OPERABLE WINDOWS (SHADING DEVICE)
  - 81. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 82. OPERABLE WINDOWS (SHADING DEVICE)
  - 83. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 84. OPERABLE WINDOWS (SHADING DEVICE)
  - 85. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 86. OPERABLE WINDOWS (SHADING DEVICE)
  - 87. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 88. OPERABLE WINDOWS (SHADING DEVICE)
  - 89. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 90. OPERABLE WINDOWS (SHADING DEVICE)
  - 91. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 92. OPERABLE WINDOWS (SHADING DEVICE)
  - 93. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 94. OPERABLE WINDOWS (SHADING DEVICE)
  - 95. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 96. OPERABLE WINDOWS (SHADING DEVICE)
  - 97. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 98. OPERABLE WINDOWS (SHADING DEVICE)
  - 99. HIGH PERFORMANCE PHOTO VOLTAINIC PANELS (PV)
  - 100. OPERABLE WINDOWS (SHADING DEVICE)



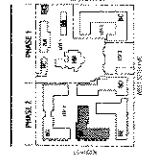
1 BLOCK F - ELEVATION WEST  
1" = 16'-0"



A-BF-303

BLOCK F - BUILDING  
ELEVATION WEST

SHANNON ESTATE  
PHASE II  
110-120 Granville Street  
Vancouver, BC



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**WALL FINANCIAL  
CORPORATION**

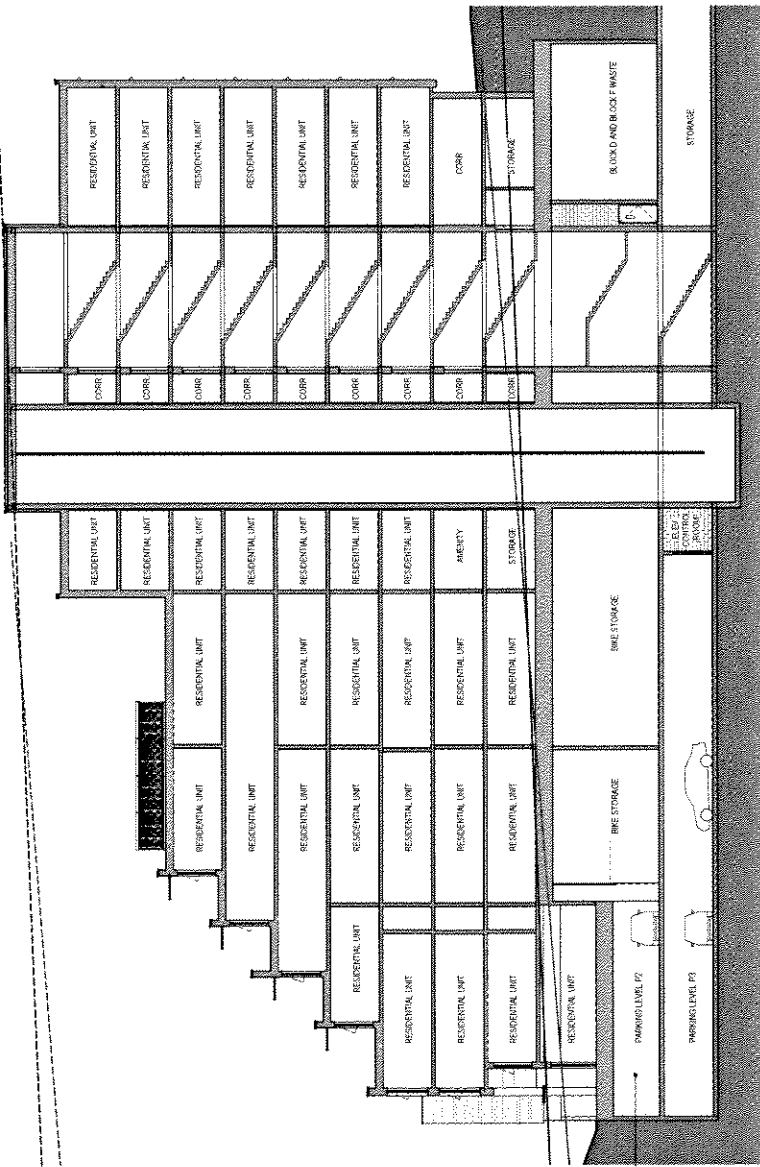
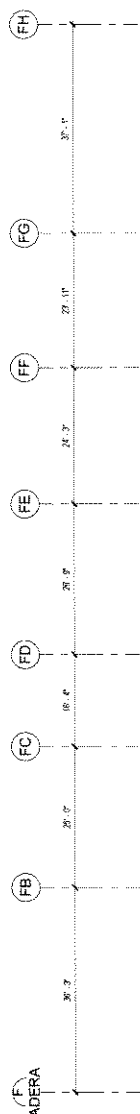
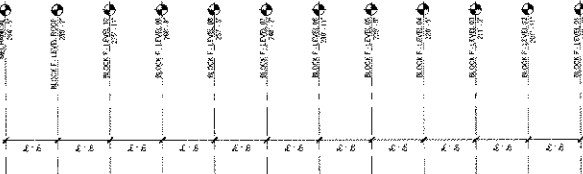
ISSUED FOR IIP 2018.04

**MATERIALS LEGEND**

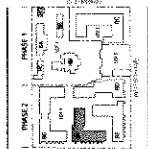
- 01 SWISSPANEL CLADDING
- 02 METAL PANEL CLADDING
- 03 LIGHT GREY
- 04 BLOCKS 4" x 8" (COLOR 1524 OR BOND)
- 05 BLOCKS 4" x 8" (COLOR 1524 OR BOND)
- 06 DOOR ALUMINUM FRAMED (GUTTERLESS)
- 07 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 08 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 09 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 10 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 11 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 12 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 13 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 14 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 15 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 16 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 17 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 18 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 19 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 20 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 21 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 22 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 23 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 24 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 25 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 26 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 27 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 28 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 29 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 30 WINDOW ALUMINUM FRAMED (GUTTERLESS)
- 31 WINDOW ALUMINUM FRAMED (GUTTERLESS)

**LINE TYPE LEGEND**

- MAXIMUM BUILDING HEIGHT FROM CITY OVERALL BASE SURFACE
  - MAXIMUM BUILDING HEIGHT FROM PROPOSED BASE SURFACE BY BLOCK
  - CITY OVERALL BASE SURFACE
  - PROPOSED BASE SURFACE BY BLOCK
  - RESIDING BUILDING MASSING OUTLINE
- GENERAL NOTES:**  
 ALL EXTERIOR AND COMMON AREAS SHALL BE FULLY DRAINAGE DESIGNED TO ELIMINATE LEAKS THROUGH THE SITE.  
 REFER TO LEED PROJECT PORTFOLIO ON SHEET 38.



**1 BLOCK F - SECTION EAST - WEST**  
1" = 16"



**SHANNON ESTATE  
PHASE II**  
7111 70TH CHANNEL SUITE  
NORCROSS, GA

**BLOCK F - BUILDING  
SECTION EAST-WEST**

**A-BF-350**



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WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 2015-06-08

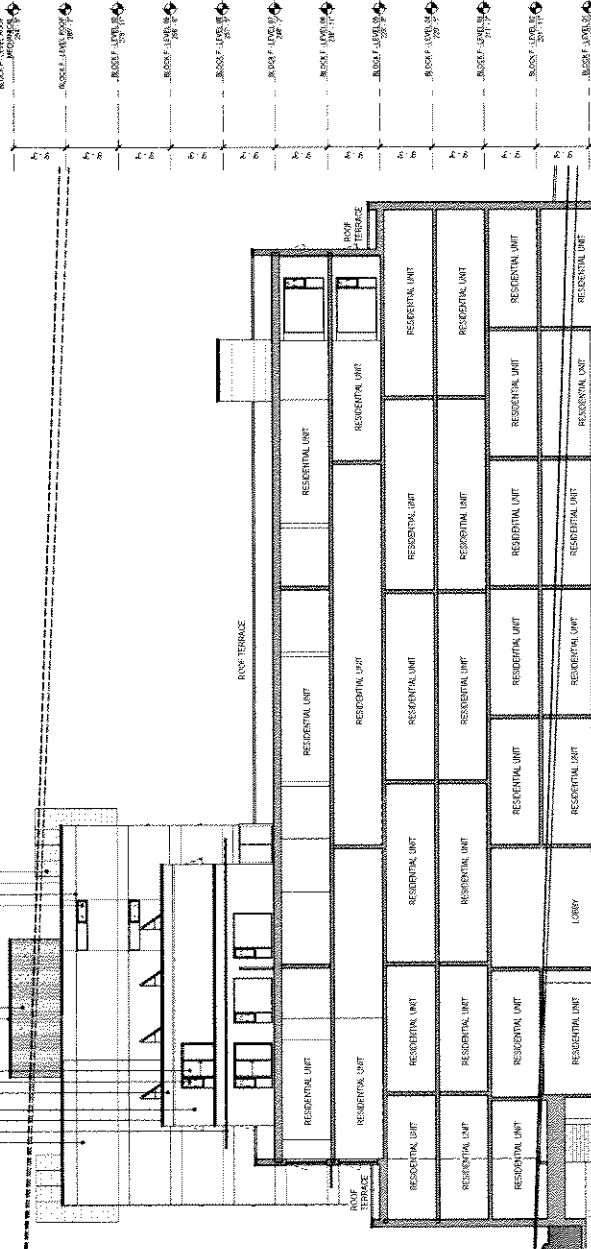
MATERIALS LEGEND

- 01 SWISSPANEL Q. ADDING
- 02 METAL PANEL Q. ADDING
- 03 LIGHT GREY
- 04 BLACK (S-D) + 2.0 (COLOR 1 (STACK BOND))
- 05 BLACK (S-E) + 2.0 (COLOR 2 (STACK BOND))
- 06 STAIRFRONT
- 07 DOOR - ALUMINUM FRAMED ENTRANCES / (CHARCOAL SLASH FRAME)
- 08 DOOR - HOLLOW METAL FRAME
- 09 STAIRWELL SYSTEM - WINDOW WALL ALUMINUM FRAME
- 10 STAIRWELL SYSTEM - PARTED STRUCTURAL GLASS WALL PANEL STOREFRONT
- 11 FROD ALUMINUM SOLAR SHADES
- 12 ARCHITECTURAL / ARCHITECTURAL LOWERS
- 13 CAROLY - FROSTED GLASS PANE WITH STEEL FRAME (PAINTED DARK GREY)
- 14 FROSTED GLASS PANE WITH STEEL FRAME (PAINTED DARK GREY)
- 15 FROSTED GLASS PANE WITH STEEL FRAME (PAINTED DARK GREY)
- 16 FROSTED GLASS PANE WITH STEEL FRAME (PAINTED DARK GREY)
- 17 FROSTED GLASS PANE WITH STEEL FRAME (PAINTED DARK GREY)
- 18 FROSTED GLASS PANE WITH STEEL FRAME (PAINTED DARK GREY)
- 19 FROSTED GLASS PANE WITH STEEL FRAME (PAINTED DARK GREY)
- 20 FROSTED GLASS PANE WITH STEEL FRAME (PAINTED DARK GREY)
- 21 FROSTED GLASS PANE WITH STEEL FRAME (PAINTED DARK GREY)
- 22 CORRUGATED METAL PANEL (PAINTED)
- 23 CORRUGATED METAL PANEL (PAINTED)
- 24 DECORATIVE STEEL CHIMNEY - PAINTED DARK GREY
- 25 DECORATIVE SECURITY GATE (PAINTED DARK GREY)
- 26 DECORATIVE SECURITY GATE (PAINTED DARK GREY)
- 27 DECORATIVE SECURITY GATE (PAINTED DARK GREY)
- 28 DECORATIVE SECURITY GATE (PAINTED DARK GREY)
- 29 DECORATIVE SECURITY GATE (PAINTED DARK GREY)
- 30 WATCHDOG SPRING
- 31 PERFORATED PATINA COPPER

UNIT TYPE LEGEND

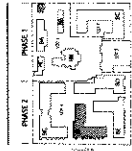
- MAXIMUM BUILDING HEIGHT FROM CD 1 (GENERAL BASE SURFACE)
- MAXIMUM BUILDING HEIGHT FROM PROPOSED BASE SURFACE BY BLOCK OUTLINE
- CD 1 (GENERAL BASE SURFACE)
- PROPOSED BASE SURFACE BY BLOCK OUTLINE
- RESERVES BUILDING MASSING

- GENERAL NOTES
1. ALL EXTERIOR AND COMMON AREA LAMPS TO BE FULL OUT-FIT (NOTED) DESIGNED TO ILLUMINATE LIGHT THROUGH BEFORE THE SITE



1 BLOCK F - SECTION NORTH SOUTH  
1" = 10' 0"

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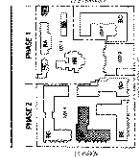


SHANNON ESTATE  
PHASE II  
119-120 Craville Street  
Vancouver, BC

BLOCK F - BUILDING  
SECTION  
NORTH-SOUTH

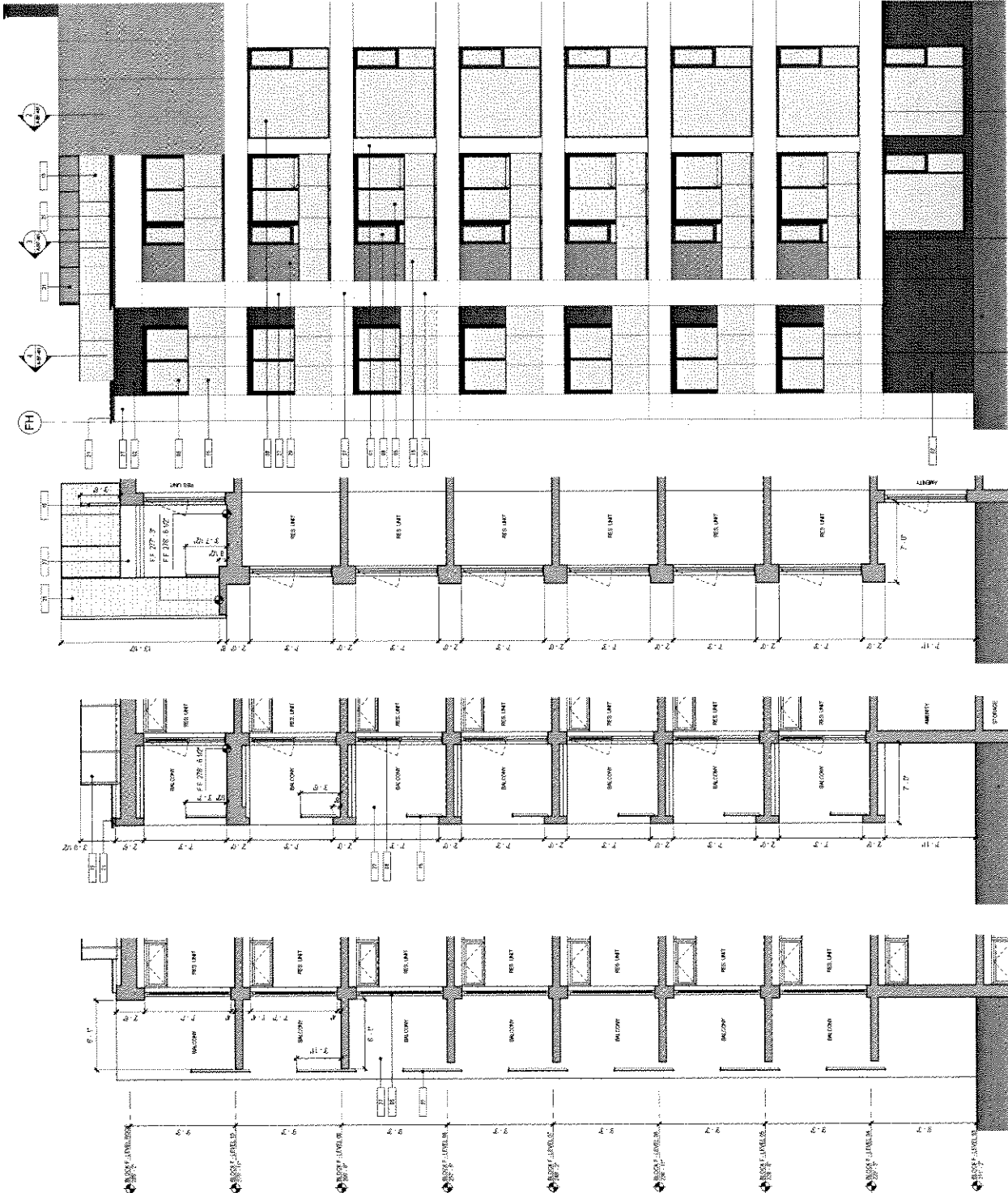
A-BF-351

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MATERIALS LEGEND

- 01 PERFORMAL CLADDING
- 02 METAL PANEL CLADDING
- 03 LIGHT GRAY FINISH
- 04 BLOCKED + F COLOUR (BLACK/BLACK)
- 05 BLOCK F + F COLOUR (BLACK/BLACK)
- 06 ALUMINUM FRAMED PARTIENES /
- 07 DOOR - ALUMINUM FRAMED PARTIENES /
- 08 DOOR - ALUMINUM FRAMED PARTIENES /
- 09 ALUMINUM FRAMED PARTIENES /
- 10 ALUMINUM FRAMED PARTIENES /
- 11 GLAZING SYSTEM - FRITTED STRUCTURAL
- 12 GLAZING SYSTEM - FRITTED STRUCTURAL
- 13 FRAMED ALUMINUM SOLAR SHAPES
- 14 FRAMED ALUMINUM SOLAR SHAPES
- 15 FRAMED ALUMINUM SOLAR SHAPES
- 16 FRAMED ALUMINUM SOLAR SHAPES
- 17 FRAMED ALUMINUM SOLAR SHAPES
- 18 FRAMED ALUMINUM SOLAR SHAPES
- 19 FRAMED ALUMINUM SOLAR SHAPES
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- 26 FRAMED ALUMINUM SOLAR SHAPES
- 27 FRAMED ALUMINUM SOLAR SHAPES
- 28 FRAMED ALUMINUM SOLAR SHAPES
- 29 FRAMED ALUMINUM SOLAR SHAPES
- 30 FRAMED ALUMINUM SOLAR SHAPES
- 31 FRAMED ALUMINUM SOLAR SHAPES



① BLOCK F - WALL SECTION - NORTH (1/8" = 1'-0")  
 ② BLOCK F - WALL SECTION - NORTH (1/8" = 1'-0")  
 ③ BLOCK F - WALL SECTION - NORTH (1/8" = 1'-0")  
 ④ BLOCK F - WALL SECTION - NORTH (1/8" = 1'-0")

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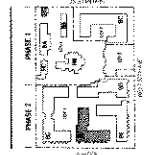


WALL FINANCIAL  
CORPORATION

ISSUED FOR: DP 2010.08

MATERIAL SCHEDULE

- 01 GRANITE PANEL CLADDING
- 02 METAL PANEL CLADDING
- 03 BRICK CLADDING
- 04 BRICK CLADDING
- 05 BRICK CLADDING
- 06 BRICK CLADDING
- 07 BRICK CLADDING
- 08 BRICK CLADDING
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- 31 BRICK CLADDING

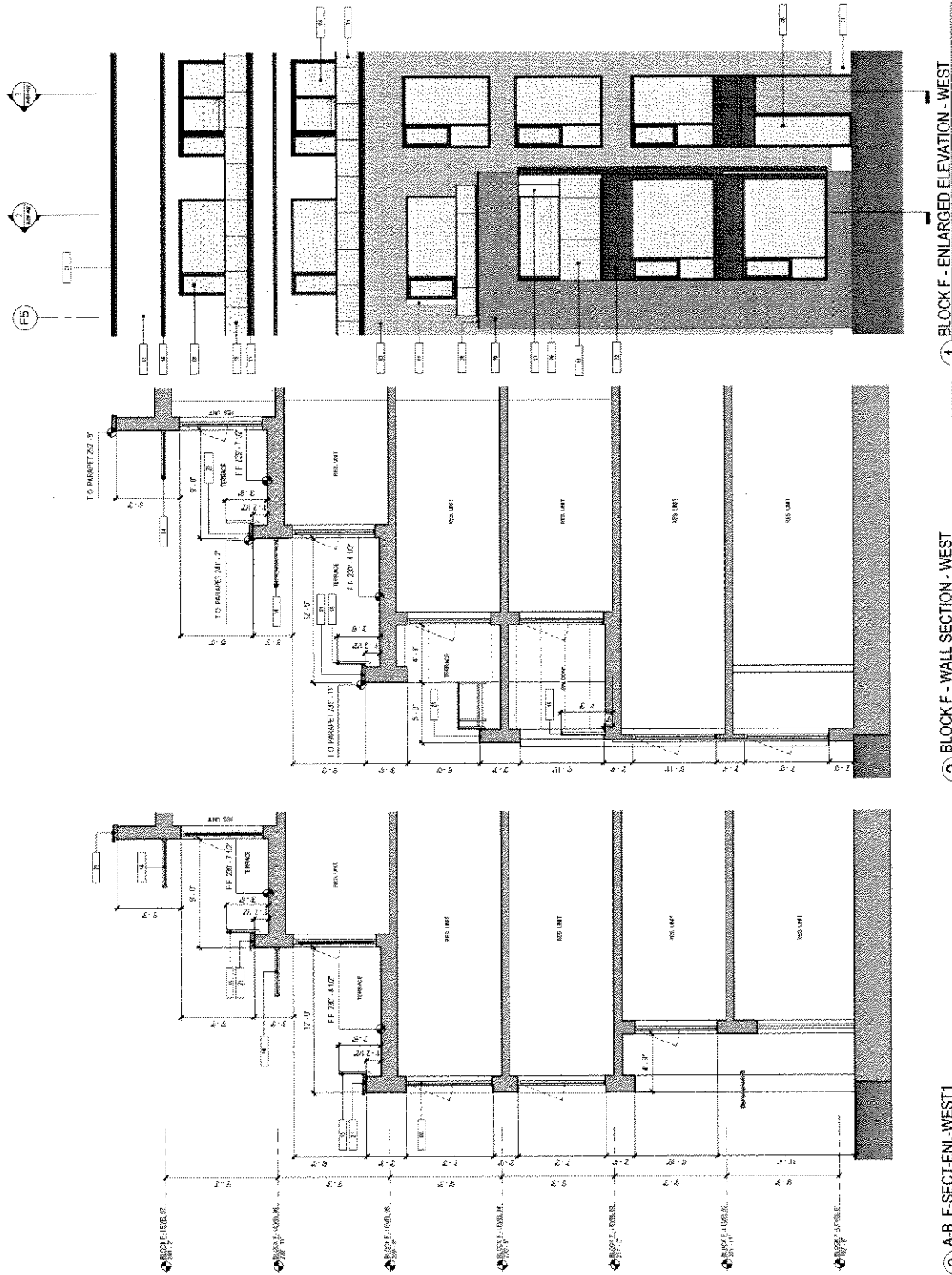


SHANNON ESTATE  
PHASE II  
710-200 Emerald Street  
Vancouver BC

BLOCK F - WALL  
SECTION - WEST

A-BF-402

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1 BLOCK F - ENLARGED ELEVATION - WEST  
1/4\"/>

2 BLOCK F - WALL SECTION - WEST  
1/4\"/>

3 A-B F-SECTION-ENL-WEST1  
1/4\"/>

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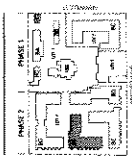


WALL FINANCIAL  
CORPORATION

ISSUED FOR TOP 2/14/08

MATERIALS LISTING

- 01 UNFINISHED GLASSING
- 02 CASAT ANYS (WHITE)
- 03 BRICK CLADDING
- 04 RECESSED - \* COLOUR (STOCK BROWN)
- 05 SHROUD - WHITE (EMERSE)
- 06 DOOR - FLOORSOLID OAK WOOD DOOR
- 07 DOOR - BROWN METAL FRAME
- 08 GLAZING SYSTEM - WINDOW WALL, ALUMINUM DARK GREY
- 09 GLAZING SYSTEM - WINDOW WALL, ALUMINUM DARK GREY
- 10 GLAZING SYSTEM - FINITE STRUCTURAL
- 11 GLAZING SYSTEM - STOREFRONT
- 12 FORD ALUMINUM (DARK SHADE)
- 13 FINITE STRUCTURAL - GLAZING SYSTEM (PAINTED TO MATCH CLADDING)
- 14 FINITE STRUCTURAL - GLAZING SYSTEM (PAINTED TO MATCH CLADDING)
- 15 BALCONY RAILING - GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
- 16 BALCONY RAILING - GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
- 17 BALCONY RAILING - GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
- 18 METAL GUARD (PAINTED DARK GREY)
- 19 LANTERN WALL - FINITE STRUCTURAL (PAINTED DARK GREY WITH ALUMINUM FINISH)
- 20 FINITE STRUCTURAL - WINDOW WALL (PAINTED DARK GREY)
- 21 W/ SHADOW REVEAL
- 22 FINITE STRUCTURAL - WINDOW WALL (PAINTED DARK GREY)
- 23 FINITE STRUCTURAL - WINDOW WALL (PAINTED DARK GREY)
- 24 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 25 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 26 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 27 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 28 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 29 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 30 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 31 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 32 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 33 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 34 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 35 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 36 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 37 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 38 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 39 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 40 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
- 41 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)
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- 100 OPERATIVE STEEL CHIMNEY (PAINTED DARK GREY)

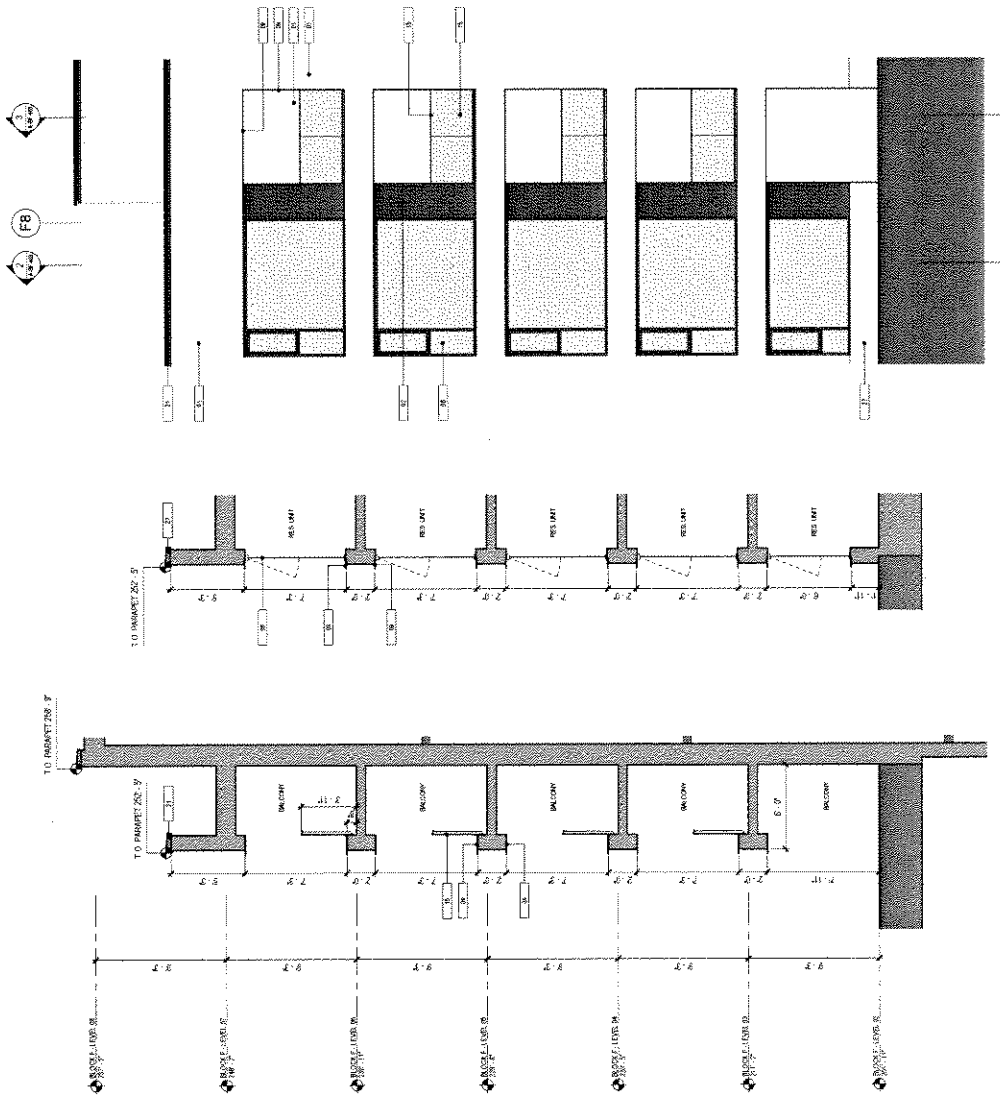


SHANNON ESTATE  
PHASE II  
715-7200 Gwynedd Street  
Vancouver, BC

BLOCK F - WALL  
SECTION - EAST

A-BF-403

COMPARED TO 1/17/08

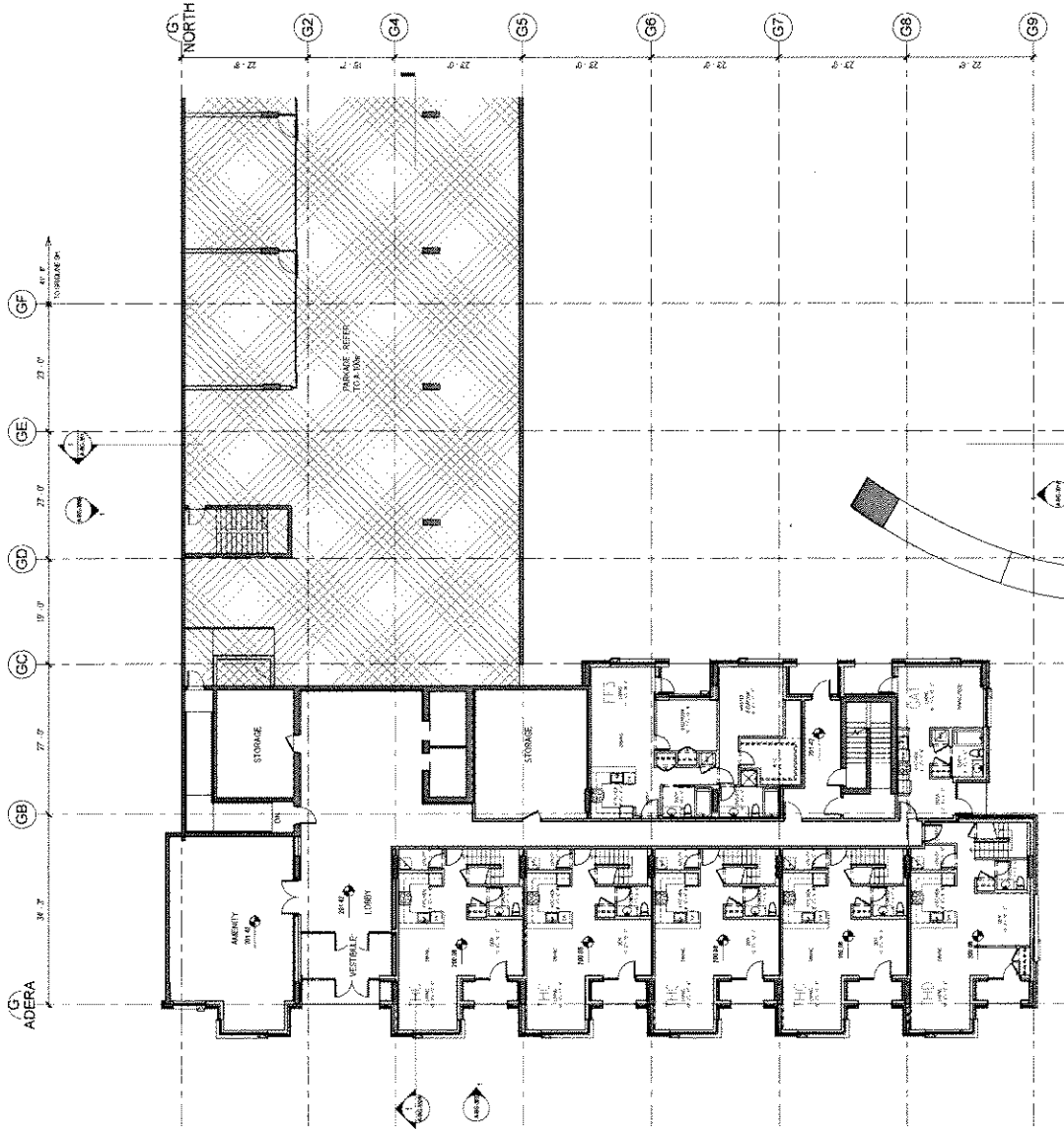
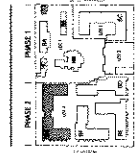


1 BLOCK F - ENLARGED ELEVATION - EAST  
1/17/08

2 BLOCK F - WALL SECTION  
1/17/08

3 BLOCK F - WALL SECTION  
1/17/08

Appendix C; page 99 of 143

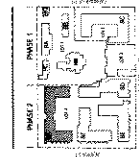


- NOTES**
1. Accurately measure all the dimensions of the floor plan and record them in the field notes and drawings. All dimensions shall be taken from the centerlines of the walls unless otherwise noted.
  2. "SAFE" ROOMS shall be located in the building's structure. All rooms shall be built to meet the requirements of the International Building Code (IBC) and the National Fire Protection Association (NFPA) standards. All rooms shall be built to meet the requirements of the International Building Code (IBC) and the National Fire Protection Association (NFPA) standards. All rooms shall be built to meet the requirements of the International Building Code (IBC) and the National Fire Protection Association (NFPA) standards.
  3. All rooms shall be built to meet the requirements of the International Building Code (IBC) and the National Fire Protection Association (NFPA) standards. All rooms shall be built to meet the requirements of the International Building Code (IBC) and the National Fire Protection Association (NFPA) standards. All rooms shall be built to meet the requirements of the International Building Code (IBC) and the National Fire Protection Association (NFPA) standards.

1 BLOCK G - PLAN LEVEL 01 WEST  
P. 101 OF 107

Appendix C; page 100 of 143





SHANNON ESTATE  
PHASE II  
715-220 Granite Street  
Washington, DC

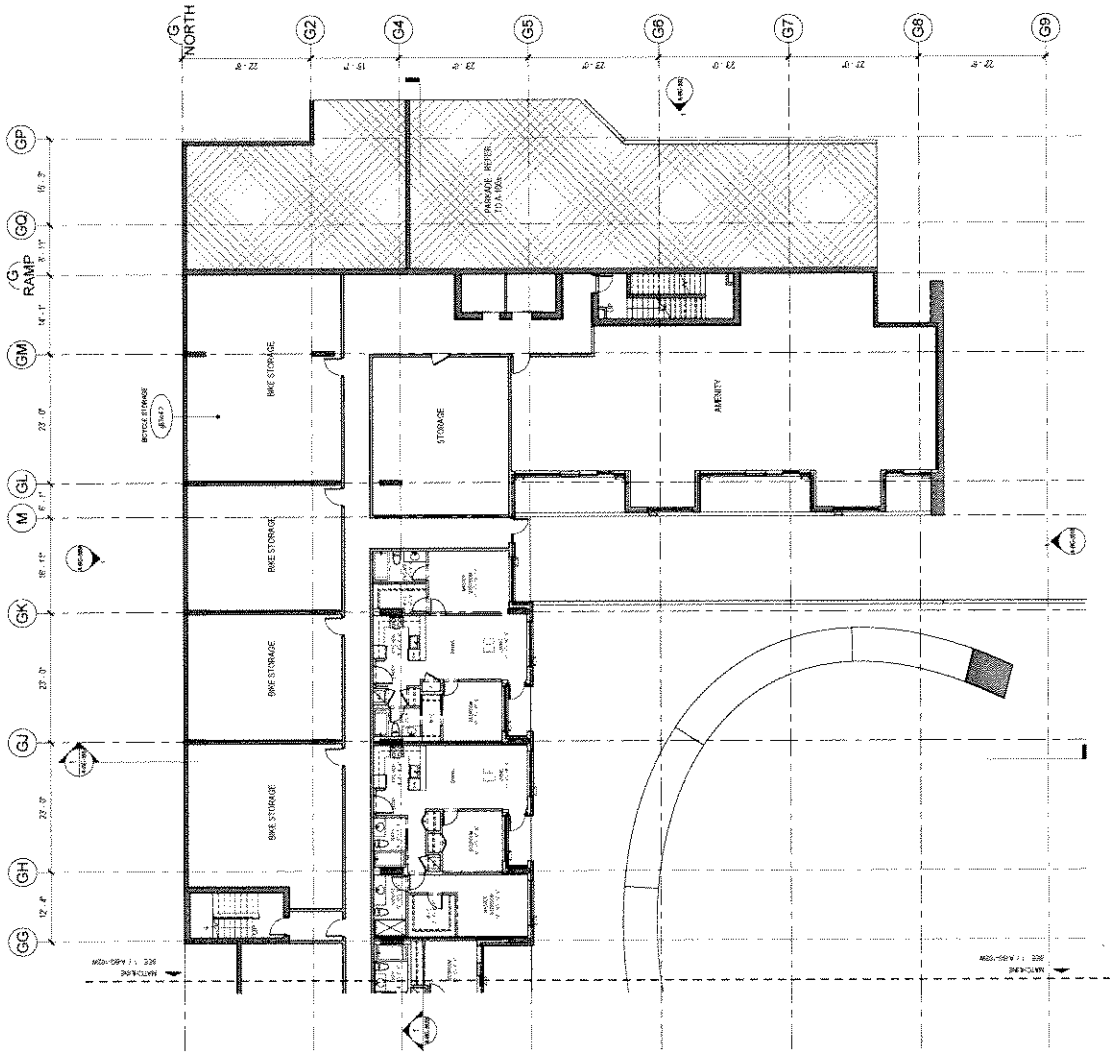
BLOCK G - OVERALL  
PLAN LEVEL 02 - E

A-BG-102E



LEED LEGEND  
REFER TO LEED PROJECT  
FOOTPRINT ON SHEET 26

- NOTES:
1. Accidental materials and oils incorporated into the floor design and construction shall be removed from the construction site immediately.
  2. BUFFER ZONE: Buffer zones shall be provided in accordance with the International Building Code (IBC) Section 103.10. Buffer zones shall be provided in accordance with the International Building Code (IBC) Section 103.10. Buffer zones shall be provided in accordance with the International Building Code (IBC) Section 103.10.
  3. Accidental materials and oils incorporated into the floor design and construction shall be removed from the construction site immediately.

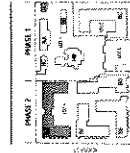


1 BLOCK G - PLAN LEVEL 02 EAST  
1" = 12'-0"

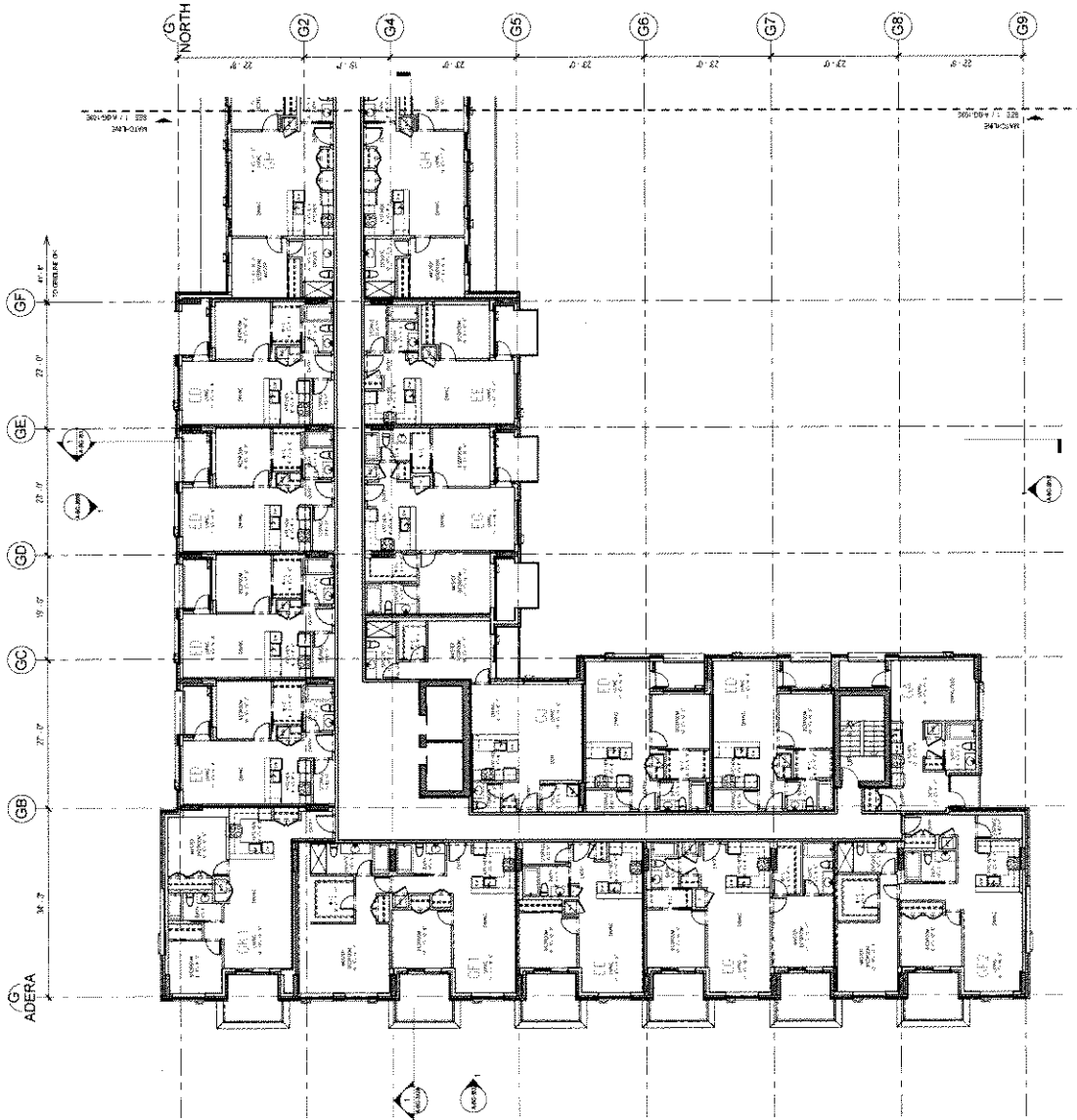
Appendix C; page 101 of 143





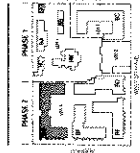


- NOTES
1. Accidental provisions will be incorporated into the final design and construction of the building in accordance with the code and regulatory requirements.
  2. SAFETY HOME: Design shall be in accordance with the California State Code, International Building Code, and applicable local codes. All fire alarm devices shall be listed and approved by the Authority Having Jurisdiction (AHJ). All fire alarm devices shall be listed and approved by the AHJ.
  3. All fire alarm devices shall be listed and approved by the AHJ. All fire alarm devices shall be listed and approved by the AHJ.

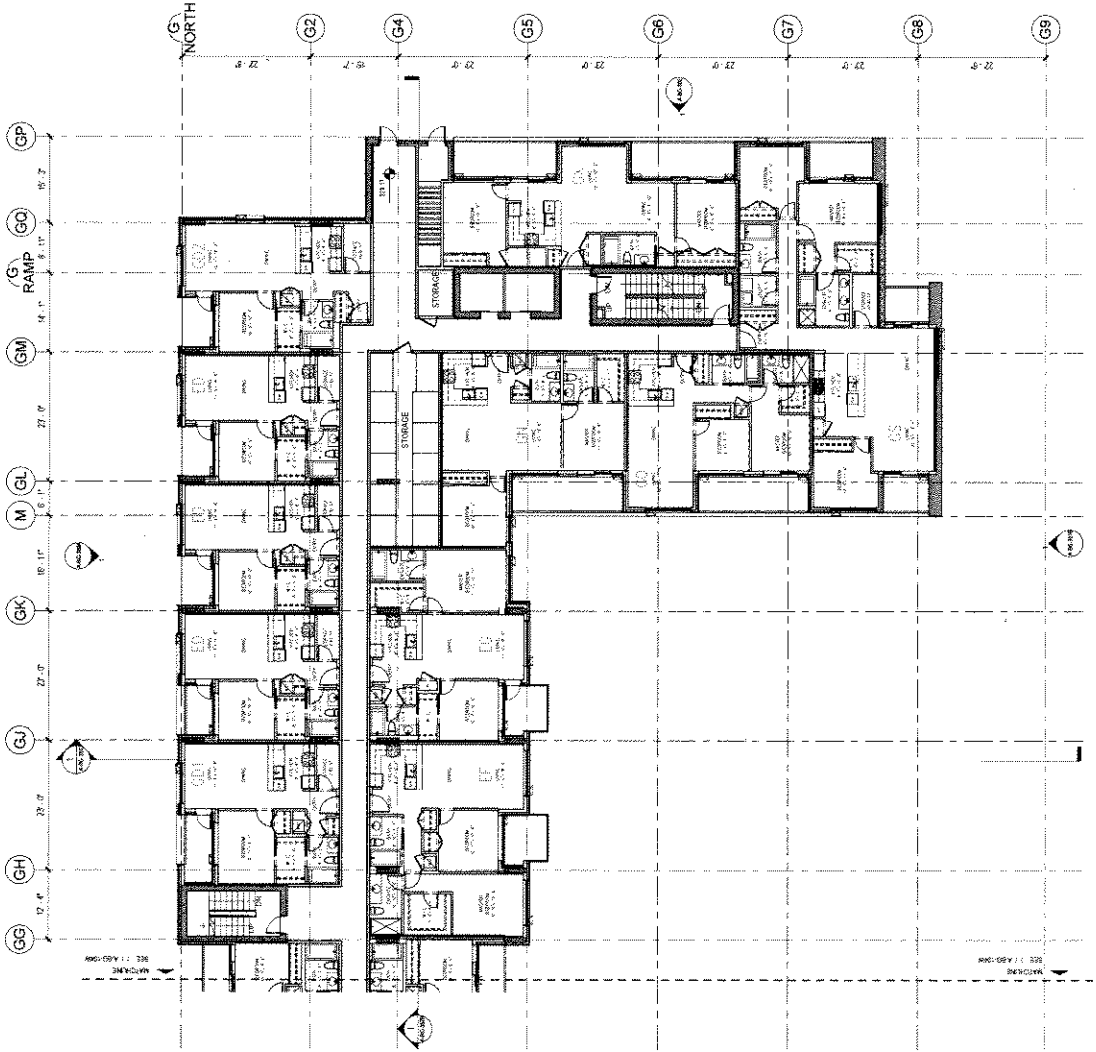


1 BLOCK G - PLAN LEVEL 03 WEST  
15'-0" = 1" = 15' = 0"

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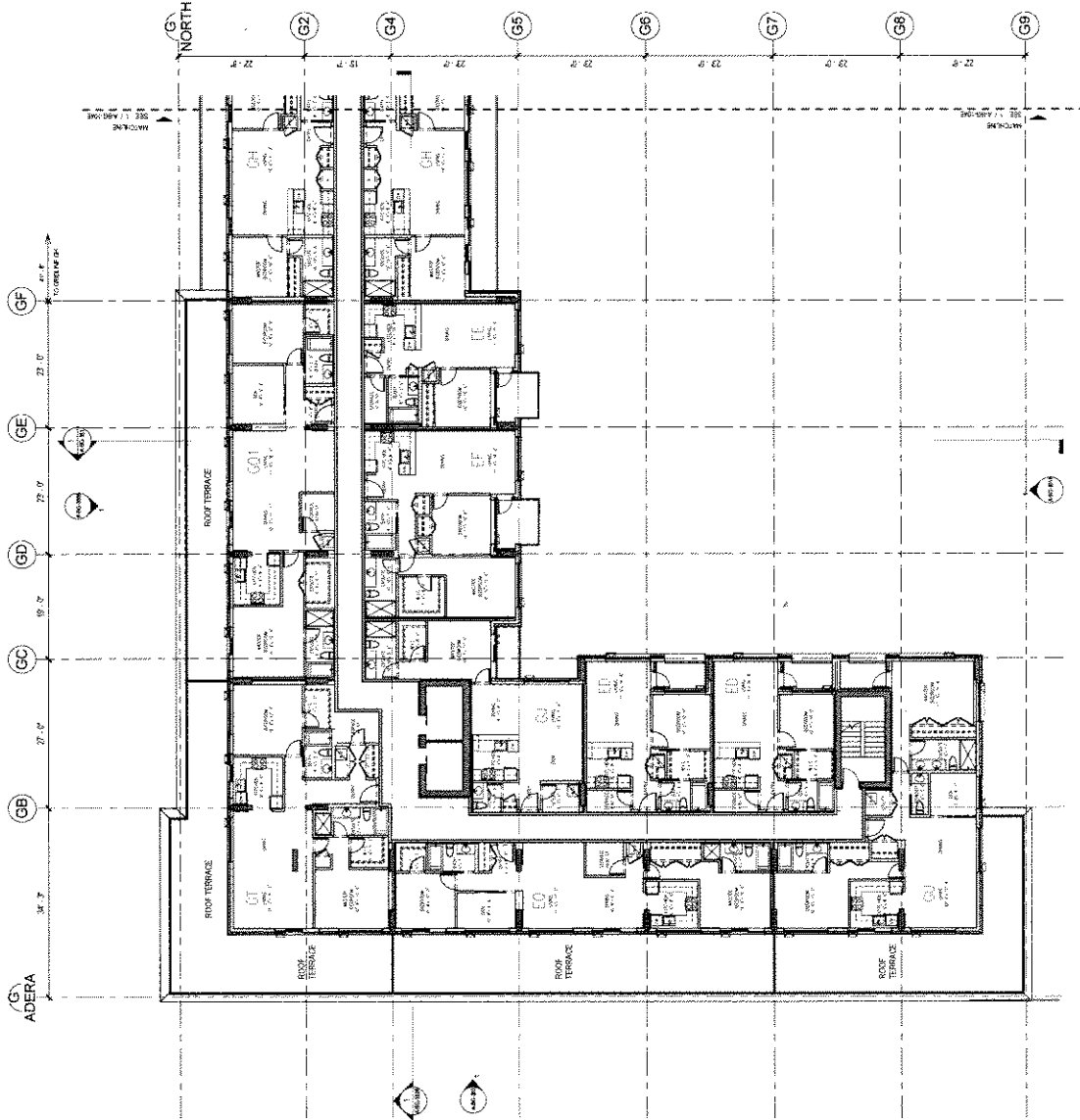
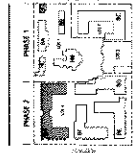


- NOTES
1. Additional measures will be recommended for the final design and construction. See the following for details:
    - "SAFETY LIFT" devices shall be provided for all workers.
    - All workers shall be trained in the use of the "SAFETY LIFT" devices.
    - All workers shall be trained in the use of the "SAFETY LIFT" devices.
    - All workers shall be trained in the use of the "SAFETY LIFT" devices.
  2. All workers shall be trained in the use of the "SAFETY LIFT" devices.
  3. All workers shall be trained in the use of the "SAFETY LIFT" devices.



1 BLOCK G - PLAN LEVEL 04 EAST  
1" = 10'

Appendix C page 105 of 143



- NOTES
1. Accidental measures will be responsible for the final design and construction of the building. The architect is not responsible for the construction of the building.
  2. SAFETY: ALL MEASURES SHALL BE TAKEN TO PROTECT THE PUBLIC AND THE BUILDING. ALL MEASURES SHALL BE TAKEN TO PROTECT THE PUBLIC AND THE BUILDING.
  3. All measures shall be taken to protect the public and the building. All measures shall be taken to protect the public and the building.

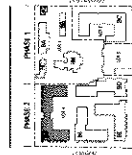
1 BLOCK G - PLAN LEVEL 04 WEST  
1" = 10' 0"

Appendix C; page 106 of 143





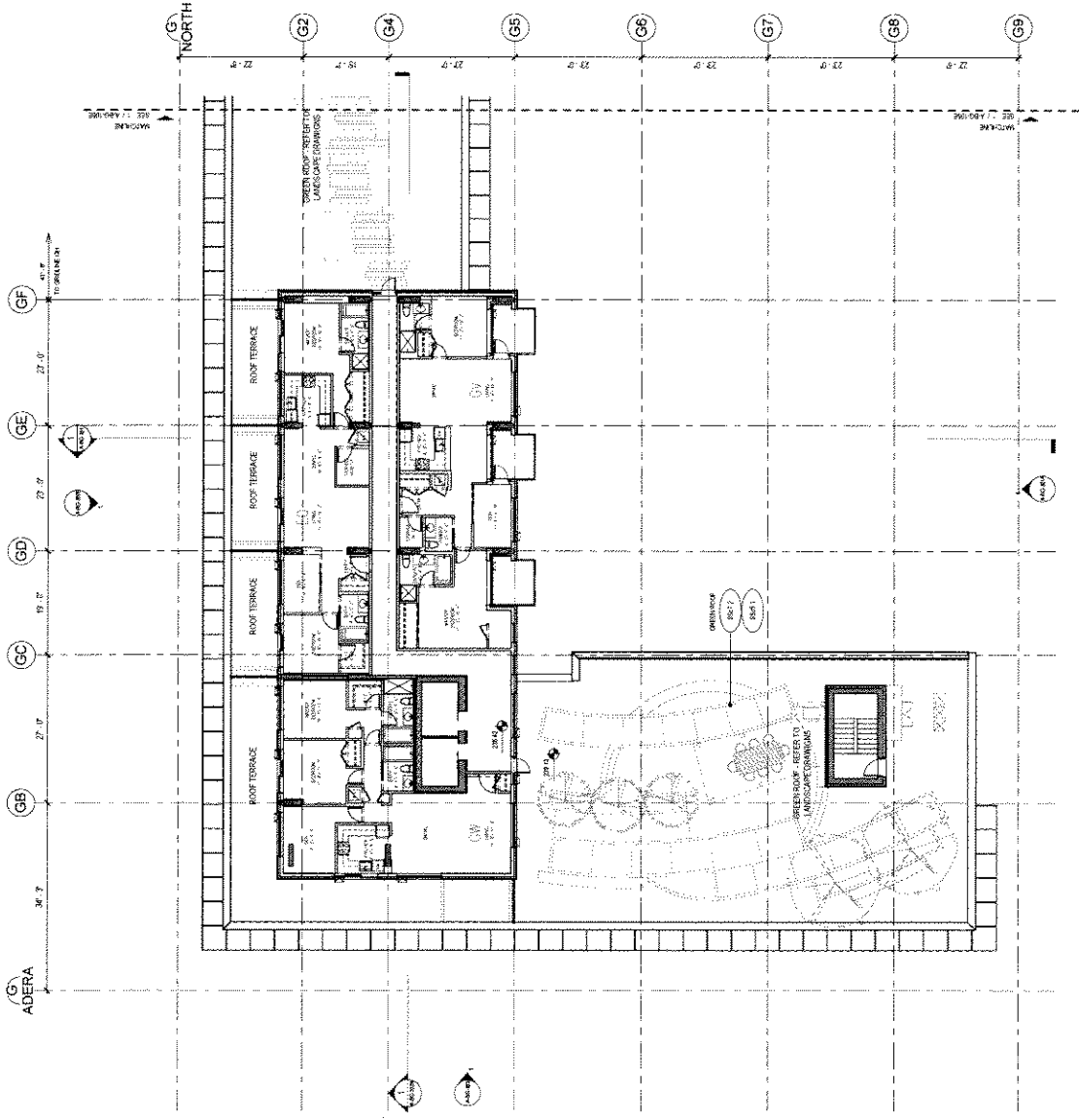
**LEED LEAD**  
REFER TO LEED PROJECT  
AREAS FOR SHEETS



**SHANNON ESTATE  
PHASE II**  
7101 130th Greenview Street  
Vancouver, BC

**BLOCK G - OVERALL  
PLAN LEVEL 05 - W**

**A-BG-105W**

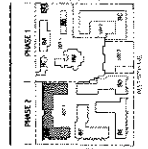


- NOTES**
1. Accidental measures will be incorporated into the final design and construction based on the consultant's design based on the current design. SAFER HOME? Details shall be designed based on the current design. SAFER HOME? Details shall be designed based on the current design. SAFER HOME? Details shall be designed based on the current design.
  2. SAFER HOME? Details shall be designed based on the current design. SAFER HOME? Details shall be designed based on the current design. SAFER HOME? Details shall be designed based on the current design.
  3. SAFER HOME? Details shall be designed based on the current design. SAFER HOME? Details shall be designed based on the current design. SAFER HOME? Details shall be designed based on the current design.

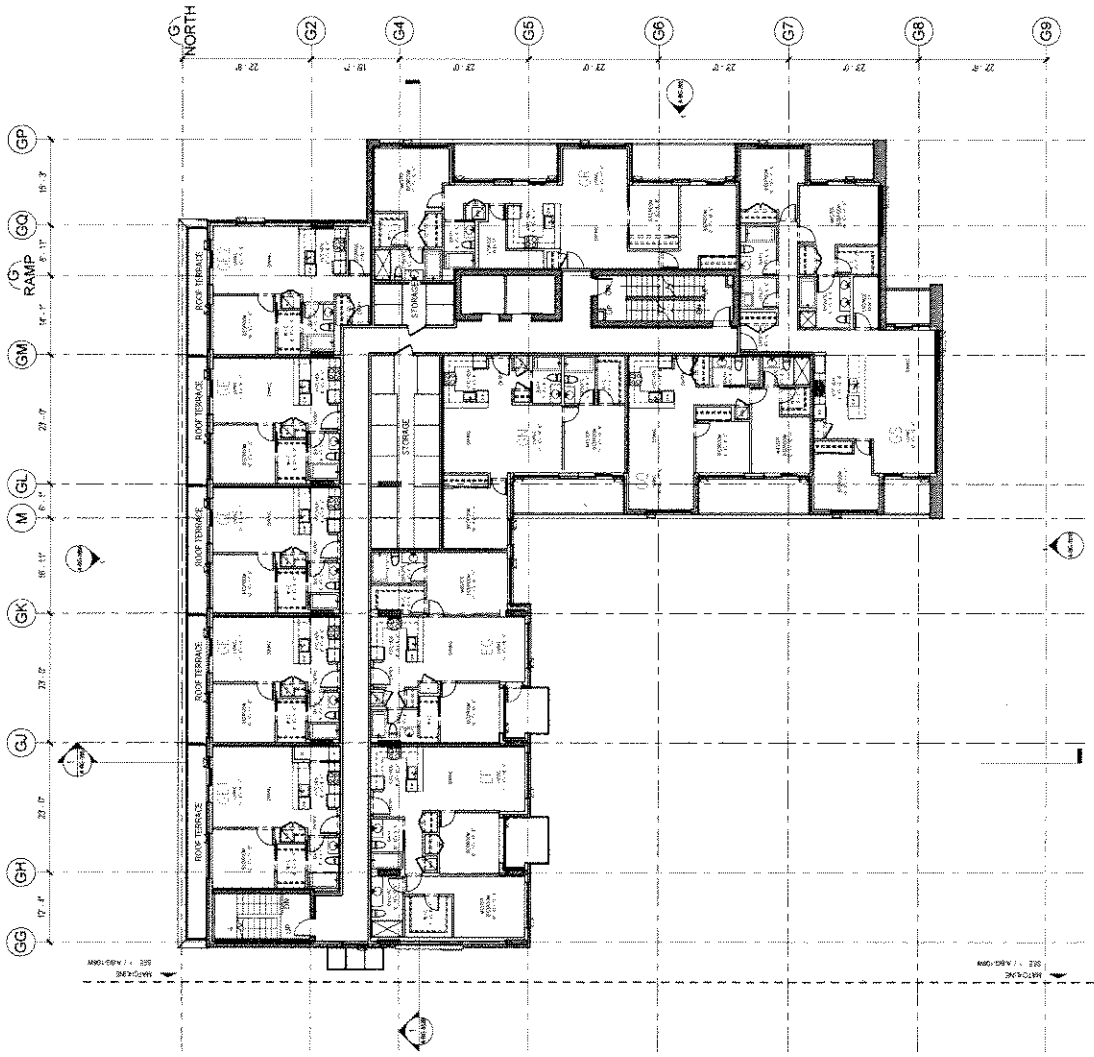
1 BLOCK G - PLAN LEVEL 05 WEST  
1" = 10'

Appendix C: page 108 of 143





- NOTES
1. Architectural elevations will be reconstructed from the final design and construction based on the contractor's "SUPPORT HOME" drawings.
  2. All elevations are based on the existing ground level. The contractor shall provide all necessary ground level change markers outside the building footprint.
  3. All elevations are based on the existing ground level. The contractor shall provide all necessary ground level change markers outside the building footprint.

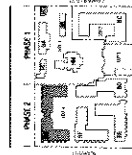


1 BLOCK G - PLAN LEVEL 06 EAST  
P = 102'

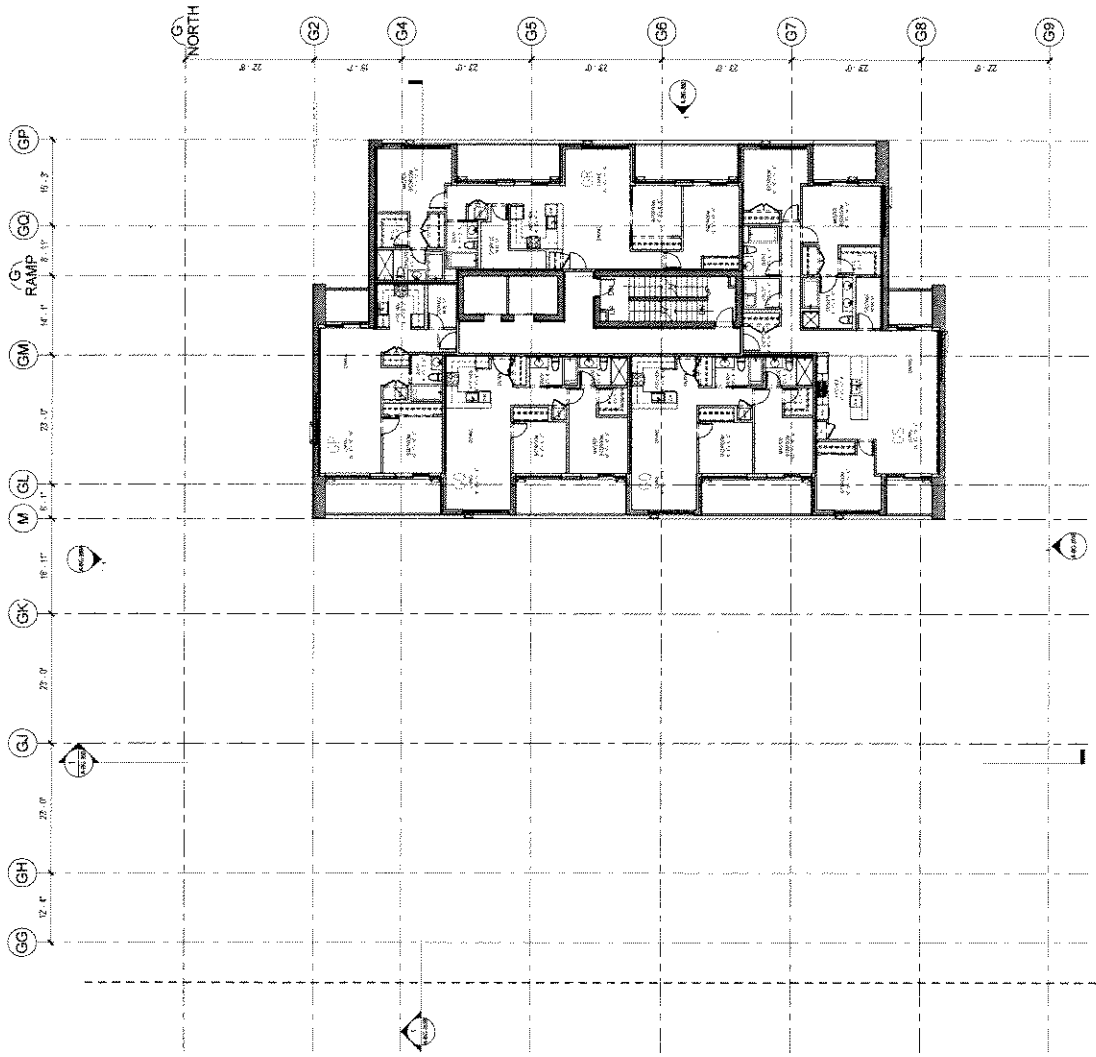
Appendix C page 109 of 143





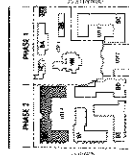


- NOTES:
1. Accidental interference will be prosecuted (this RFP design and construction based on the contractor's "USE OF CARE" devices, which designed based on the current Manual of Design Practices for the City of Vancouver. All structural steel framing will be designed and fabricated in accordance with the American Institute of Steel Construction, Inc. (AISC) Manual of Steel Construction, 13th Edition, 2005. All mechanical equipment (chillers, pumps, etc.) shall be designed and fabricated in accordance with the ASME B31.1, 2001 Edition. All electrical systems will be designed and fabricated in accordance with the National Electrical Code (NEC), 2005 Edition.
  2. "USE OF CARE" devices, which designed based on the current Manual of Design Practices for the City of Vancouver. All structural steel framing will be designed and fabricated in accordance with the American Institute of Steel Construction, Inc. (AISC) Manual of Steel Construction, 13th Edition, 2005. All mechanical equipment (chillers, pumps, etc.) shall be designed and fabricated in accordance with the ASME B31.1, 2001 Edition. All electrical systems will be designed and fabricated in accordance with the National Electrical Code (NEC), 2005 Edition.
  3. Mechanical equipment (chillers, pumps, etc.) shall be designed and fabricated in accordance with the ASME B31.1, 2001 Edition. All electrical systems will be designed and fabricated in accordance with the National Electrical Code (NEC), 2005 Edition.



1 BLOCK G - PLAN LEVEL 08  
1" = 1/8"

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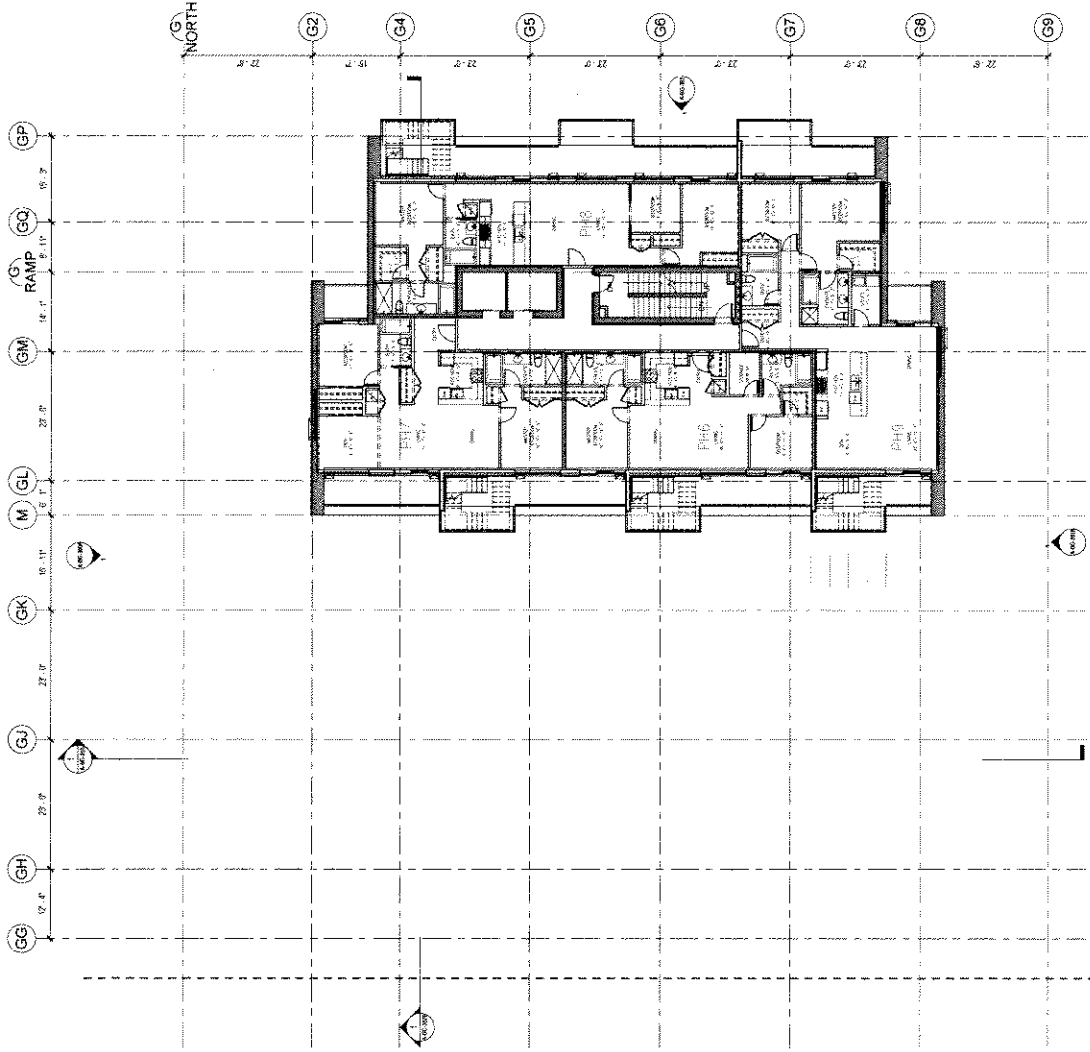
SHANNON ESTATE  
PHASE II  
7101-7201 Granville Street  
Vancouver, BC

BLOCK G - OVERALL  
PLAN LEVEL 09

A-BG-109



- NOTES
1. Identified dimensions and annotations are for informational purposes only. The final design and construction shall be based on the architect's final design. All dimensions shall be based on the centerline of the building footprint.
  2. ALL DIMENSIONS SHALL BE BASED ON THE CENTERLINE OF THE BUILDING FOOTPRINT. DIMENSIONS SHALL BE BASED ON THE CENTERLINE OF THE BUILDING FOOTPRINT. DIMENSIONS SHALL BE BASED ON THE CENTERLINE OF THE BUILDING FOOTPRINT.
  3. Mechanical equipment (ventilators, etc.) shall be located on the roof (or other appropriate location) and shall be screened from the adjacent and located in accordance with the applicable code requirements. Note: See the R255.



1 BLOCK G - PLAN LEVEL 09  
1" = 1/8"

Appendix C page 113 of 143

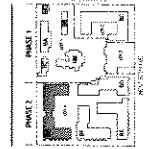


**LEGEND**  
 ..... COMPLIANT H.A.D. - SINGLE ANGLE OF 50 DEGREES  
 ..... COMPLIANT H.A.D. - TWO ANGLES WITH A SUM OF 70 DEGREES  
 ..... NON-COMPLIANT H.A.D.



WALL FINANCIAL CORPORATION

ISSUED FOR: DP 2 AUGUST 08

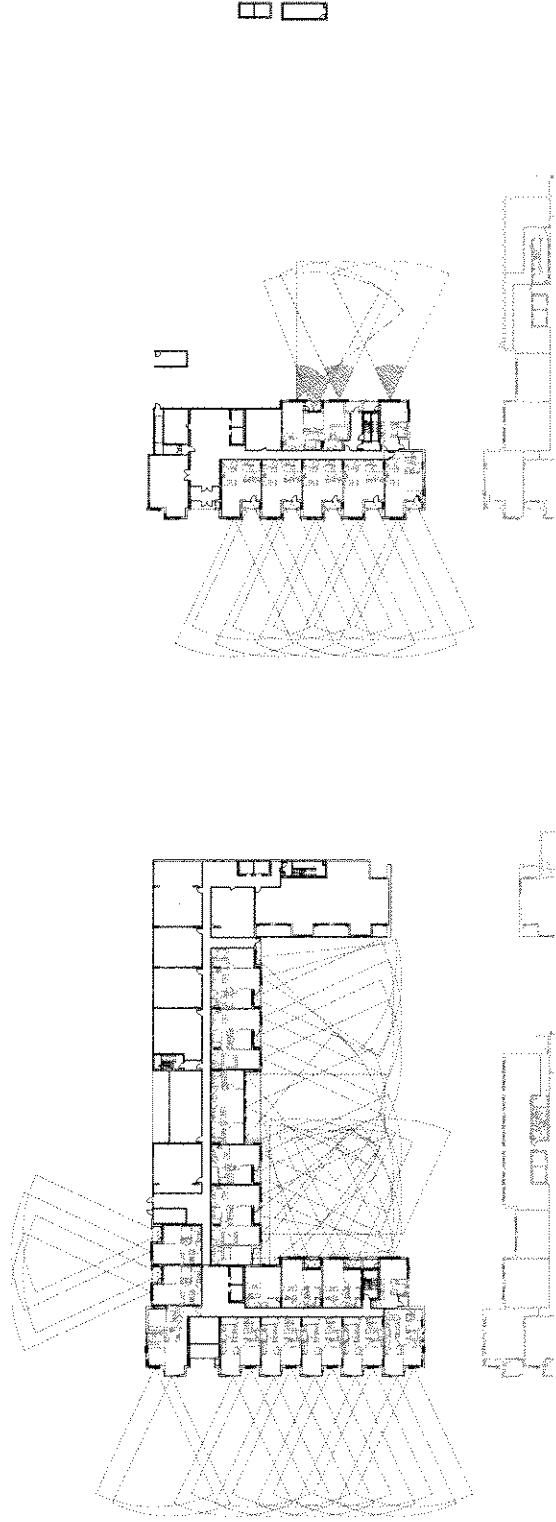


SHANNON ESTATE  
PHASE II  
7181 120th GARDNER STREET  
VANCOUVER, BC

BLOCK G -  
HORIZONTAL ANGLE  
OF DAYLIGHT LEVEL  
01-02

A-BG-151

DATE: 08/08/08



① HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 01  
1:200 = 1/4"

② HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 02  
1:200 = 1/4"

Appendix C page 115 of 143

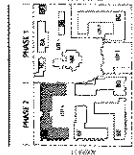
LEGEND  
COMPLIANT H.A.D. SINGLE  
ANGLE OF SOLARIES  
COMPLIANT H.A.D. TWO  
ANGLE OF SOLARIES  
COMPLIANT H.A.D. TWO  
ANGLE OF SOLARIES  
RESERVED

NON-COMPLIANT H.A.D.



WALL FINANCIAL  
CORPORATION

ISSUED FOR I/P 2017-06-08

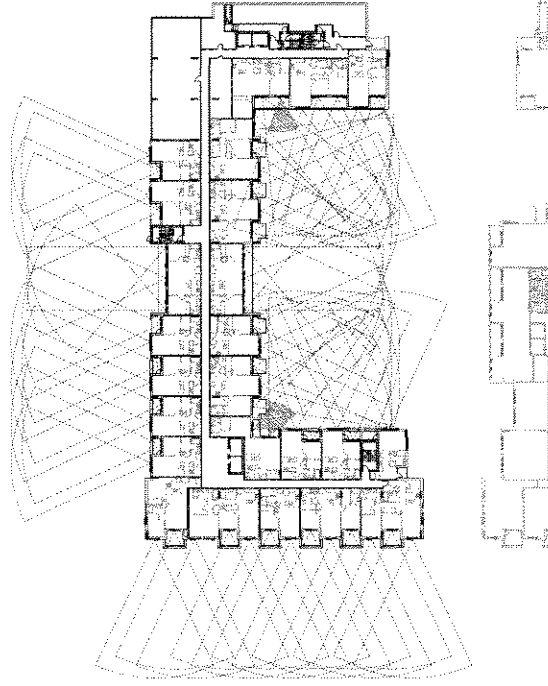


SHANNON ESTATE  
PHASE II  
7191 12th Granville Street  
Vancouver, BC

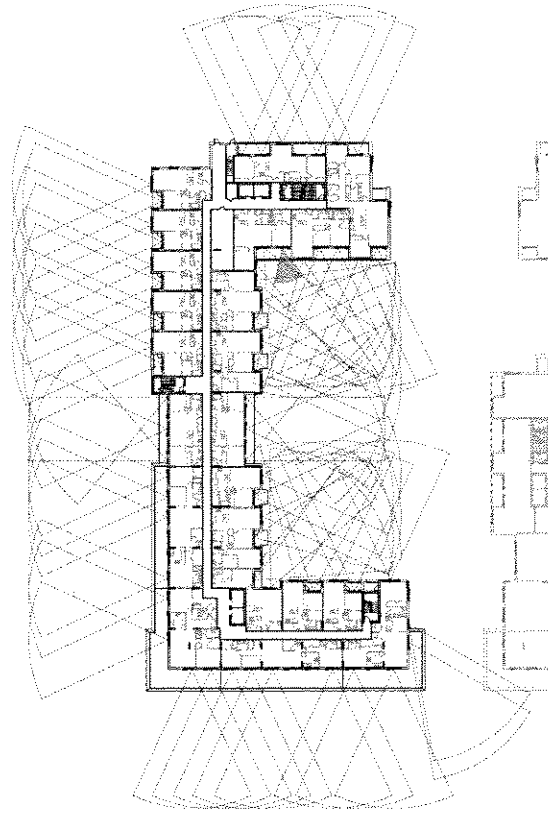
BLOCK G -  
HORIZONTAL ANGLE  
OF DAYLIGHT LEVEL  
03-04

A-BG-152

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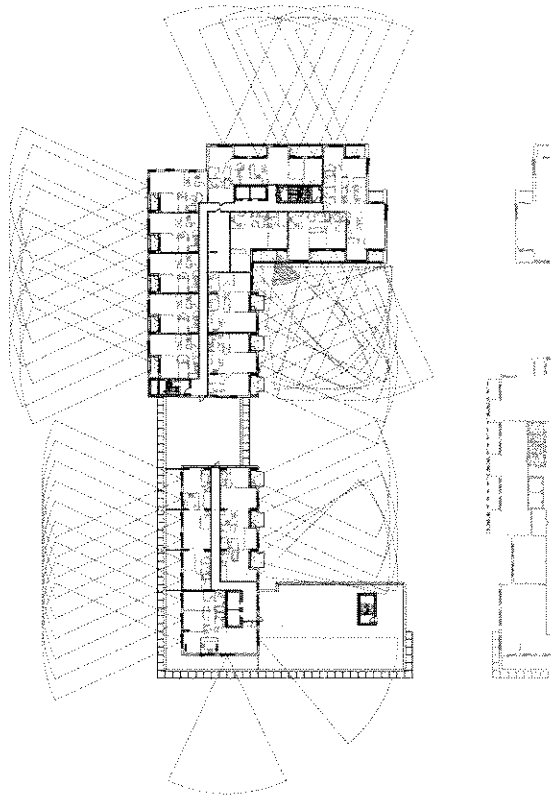
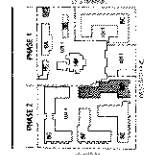
① HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 03  
1/32" = 1' 0"



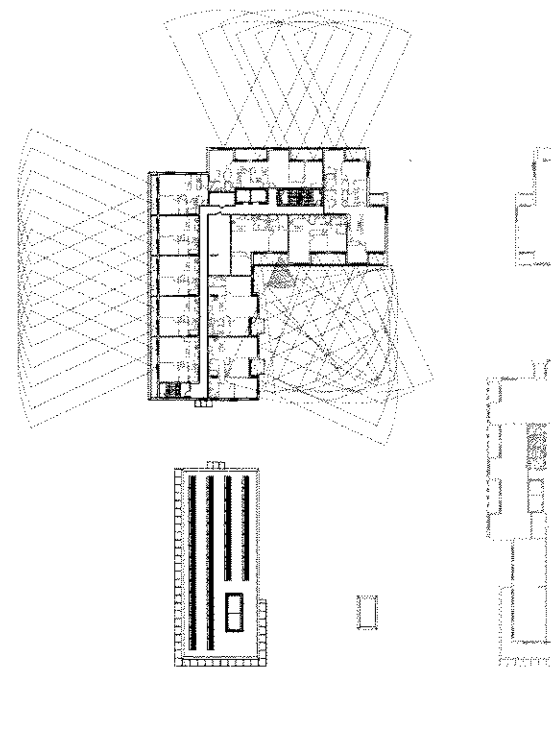
② HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 04  
1/32" = 1' 0"

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1 HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 05  
05-11-15

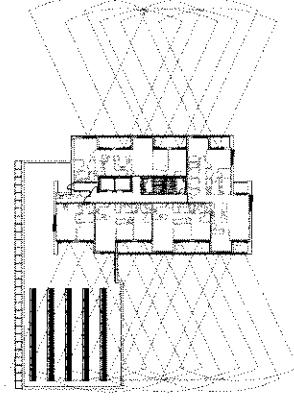
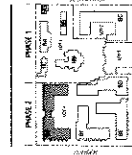


2 HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 06  
05-11-15

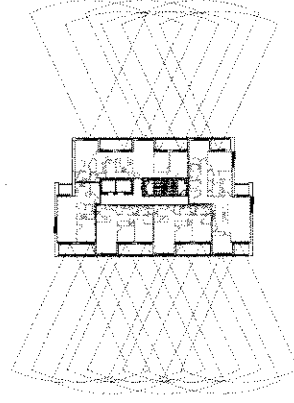
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- LEGEND:
- ..... COMPLIANT I.A.D. - SINGLE ANGLE OF 50 DEGREES
  - ..... COMPLIANT I.A.C. - TWO ANGLES WITH A SUM OF 70 DEGREES
  - ..... NONCOMPLIANT I.A.D.



① HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 07  
1/20" = 1" = 0'



② HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 08  
1/20" = 1" = 0'

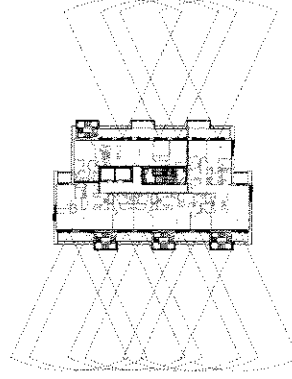
Appendix C ; page 118 of 143

LEGEND  
COMPARTMENT - SINGLE  
ANGLE OF OCCUPIES  
COMPARTMENT - TWO  
ANGLES WITH A SUM OF 90  
DEGREES  
NON-COMPARTMENT

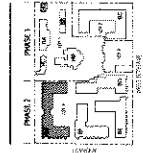


WALL FINANCIAL  
CORPORATION

ISSUED FOR CP 2013.06.28



① HORIZONTAL ANGLE OF DAYLIGHT PLAN LEVEL 09  
135° - 90°



SHANNON ESTATE  
PHASE II  
770-7201 Granville Street  
Vancouver, BC

BLOCK G -  
HORIZONTAL ANGLE  
OF DAYLIGHT 09

A-BG-155

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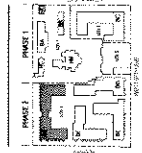
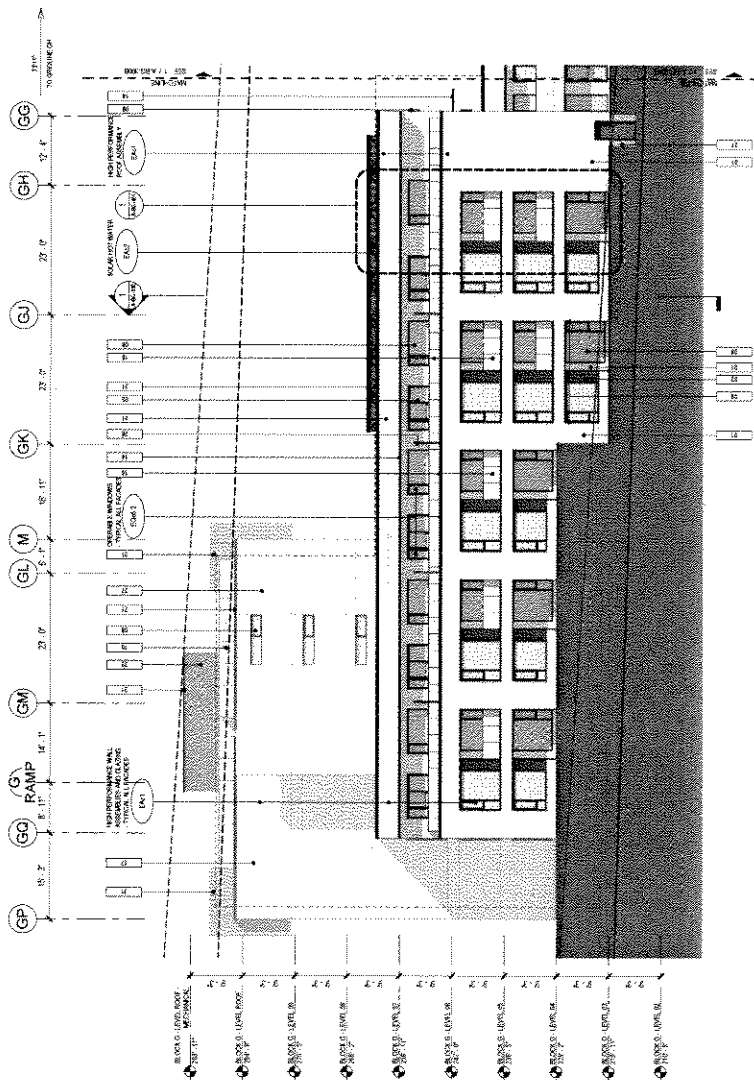


WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 2015-05-08

- MATERIALS LEGEND**
- 01 SWISSKRAAS GLAZING
  - 02 GEM-TINTO (WHITE)
  - 03 LIGHT GREY CLADDING
  - 04 BRICK CLADDING
  - 05 BRICK CLADDING (DARK 1 STOCK BRND)
  - 06 BRICK CLADDING (DARK 2 STOCK BRND)
  - 07 BRICK CLADDING (DARK 3 STOCK BRND)
  - 08 BRICK CLADDING (DARK 4 STOCK BRND)
  - 09 BRICK CLADDING (DARK 5 STOCK BRND)
  - 10 BRICK CLADDING (DARK 6 STOCK BRND)
  - 11 BRICK CLADDING (DARK 7 STOCK BRND)
  - 12 BRICK CLADDING (DARK 8 STOCK BRND)
  - 13 BRICK CLADDING (DARK 9 STOCK BRND)
  - 14 BRICK CLADDING (DARK 10 STOCK BRND)
  - 15 BRICK CLADDING (DARK 11 STOCK BRND)
  - 16 BRICK CLADDING (DARK 12 STOCK BRND)
  - 17 BRICK CLADDING (DARK 13 STOCK BRND)
  - 18 BRICK CLADDING (DARK 14 STOCK BRND)
  - 19 BRICK CLADDING (DARK 15 STOCK BRND)
  - 20 BRICK CLADDING (DARK 16 STOCK BRND)
  - 21 BRICK CLADDING (DARK 17 STOCK BRND)
  - 22 BRICK CLADDING (DARK 18 STOCK BRND)
  - 23 BRICK CLADDING (DARK 19 STOCK BRND)
  - 24 BRICK CLADDING (DARK 20 STOCK BRND)
  - 25 BRICK CLADDING (DARK 21 STOCK BRND)
  - 26 BRICK CLADDING (DARK 22 STOCK BRND)
  - 27 BRICK CLADDING (DARK 23 STOCK BRND)
  - 28 BRICK CLADDING (DARK 24 STOCK BRND)
  - 29 BRICK CLADDING (DARK 25 STOCK BRND)
  - 30 BRICK CLADDING (DARK 26 STOCK BRND)
  - 31 BRICK CLADDING (DARK 27 STOCK BRND)

- LINE TYPE LEGEND**
- MAXIMUM BUILDING HEIGHT FROM CD-1 OVERALL BASE SURFACE
  - MAXIMUM BUILDING HEIGHT FROM PROPOSED BASE SURFACE BY BLOCK
  - CD-1 OVERALL BASE SURFACE BY BLOCK
  - PROPOSED BASE SURFACE BY BLOCK
  - RETURNING BUILDING MASSING
- GENERAL NOTES**
- 1. ALL EXTERIOR AND COMMON AREAS TO BE FULLY CUT OFF EXCEPT DESIGNED TO ELIMINATE LIGHT TRESPASS BEYOND THE SITE
- KEY LEGEND**
- REFER TO EED PROJECT FORECAST ON SHEET 78



SHANNON ESTATE  
PHASE II  
710-1701 Granville Street  
Vancouver, BC

BLOCK G - BUILDING  
ELEVATION NORTH 1

A-BG-300A



1 AB\_GA-ELV-NORTH 2  
11-17-17

Appendix C page 120 of 143



WALL FINANCIAL  
CORPORATION

ISSUED FOR I/P 2015.06.08

MATERIAL LEGEND

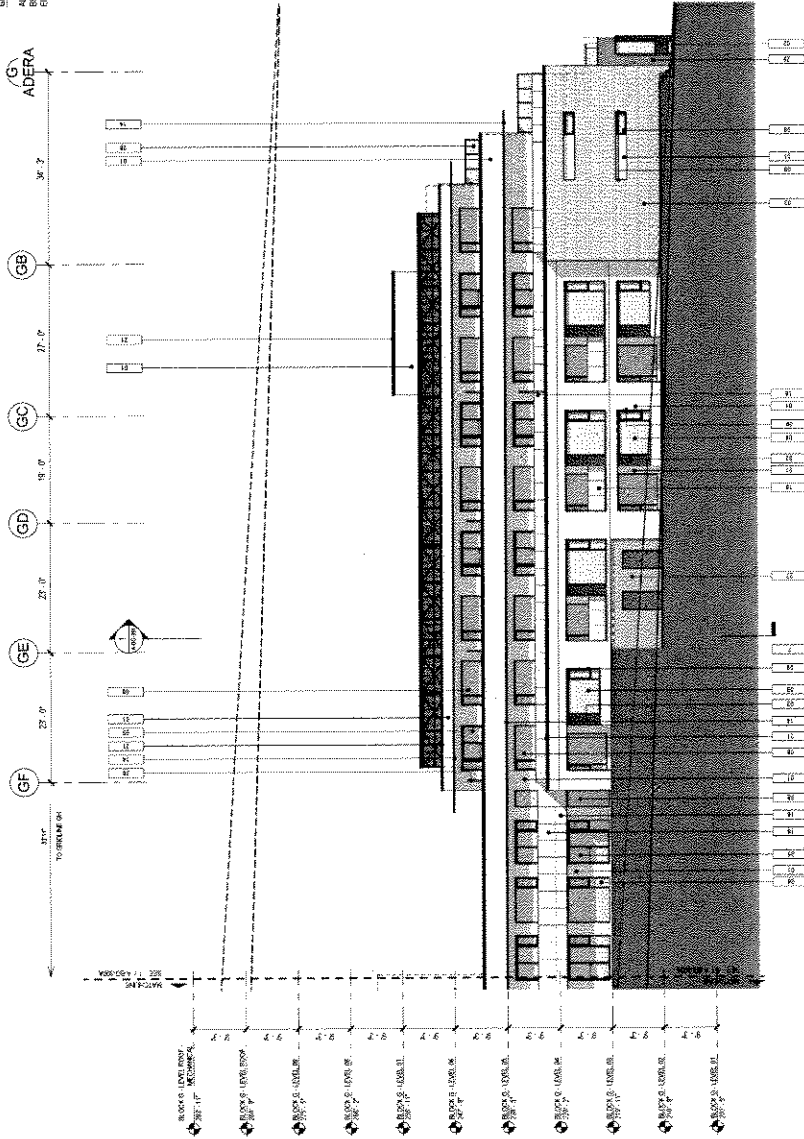
- 01 SWISSPANEL CLADDING
- 02 METAL PANEL CLADDING
- 03 LIGHT GREY BRICK
- 04 BLOCKED - H COLOUR 1 (STACK BOARD)
- 05 BLOCKED - G COLOUR 2 (STACK BOARD)
- 06 DOOR - ALUMINIUM FRAMED ENTRANCES /
- 07 DOOR - SOLID OAK WOOD DOOR
- 08 DOOR - HOLLOW METAL FRAME
- 09 DOOR - HOLLOW METAL FRAME
- 10 ALUMINIUM SYSTEM WINDOW WALL ALUMINIUM
- 11 ALUMINIUM SYSTEM WINDOW WALL ALUMINIUM
- 12 GLAZING SYSTEM - FRITTED STRUCTURAL
- 13 GLAZING SYSTEM - FRITTED STRUCTURAL
- 14 FIXED ALUMINIUM SOLAR SHADES
- 15 WINDOW SYSTEM WITH GLASS OVERLAYS
- 16 WINDOW SYSTEM WITH GLASS OVERLAYS
- 17 WINDOW SYSTEM WITH GLASS OVERLAYS
- 18 WINDOW SYSTEM WITH GLASS OVERLAYS
- 19 WINDOW SYSTEM WITH GLASS OVERLAYS
- 20 WINDOW SYSTEM WITH GLASS OVERLAYS
- 21 WINDOW SYSTEM WITH GLASS OVERLAYS
- 22 WINDOW SYSTEM WITH GLASS OVERLAYS
- 23 WINDOW SYSTEM WITH GLASS OVERLAYS
- 24 WINDOW SYSTEM WITH GLASS OVERLAYS
- 25 WINDOW SYSTEM WITH GLASS OVERLAYS
- 26 WINDOW SYSTEM WITH GLASS OVERLAYS
- 27 WINDOW SYSTEM WITH GLASS OVERLAYS
- 28 WINDOW SYSTEM WITH GLASS OVERLAYS
- 29 WINDOW SYSTEM WITH GLASS OVERLAYS
- 30 WINDOW SYSTEM WITH GLASS OVERLAYS
- 31 WINDOW SYSTEM WITH GLASS OVERLAYS

LINE TYPE LEGEND

- MAXIMUM FINISH HEIGHT FROM
- EXISTING BASE SURFACE
- MAXIMUM FINISH HEIGHT FROM
- EXISTING BASE SURFACE BY BLOCK
- PROPOSED BASE SURFACE BY BLOCK
- EXISTING BASE SURFACE BY BLOCK
- PROPOSED BASE SURFACE BY BLOCK
- EXISTING BUILDING MASSING
- OUTLINE

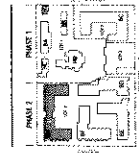
GENERAL NOTES

ALL EXTERIOR AND COMMON AREA LAMPS TO BE FULL OUT-FIT FINISHES DESIGN TO THE SUMMIT LIGHT PREPARED FOR THE SITE



1 A-B G-A-ELY-OVL-NORTH 1  
1" = 10'-0"

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SHANNON ESTATE  
PHASE II  
710 7201 Gravelly Street  
Victoria BC

BLOCK G - BUILDING  
ELEVATION NORTH 2

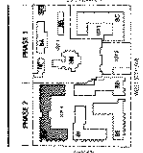
A-BG-300B

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WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 2016-06-08



SHANNON ESTATE  
PHASE II  
719-7701 Concrete Sheet  
Victoria BC

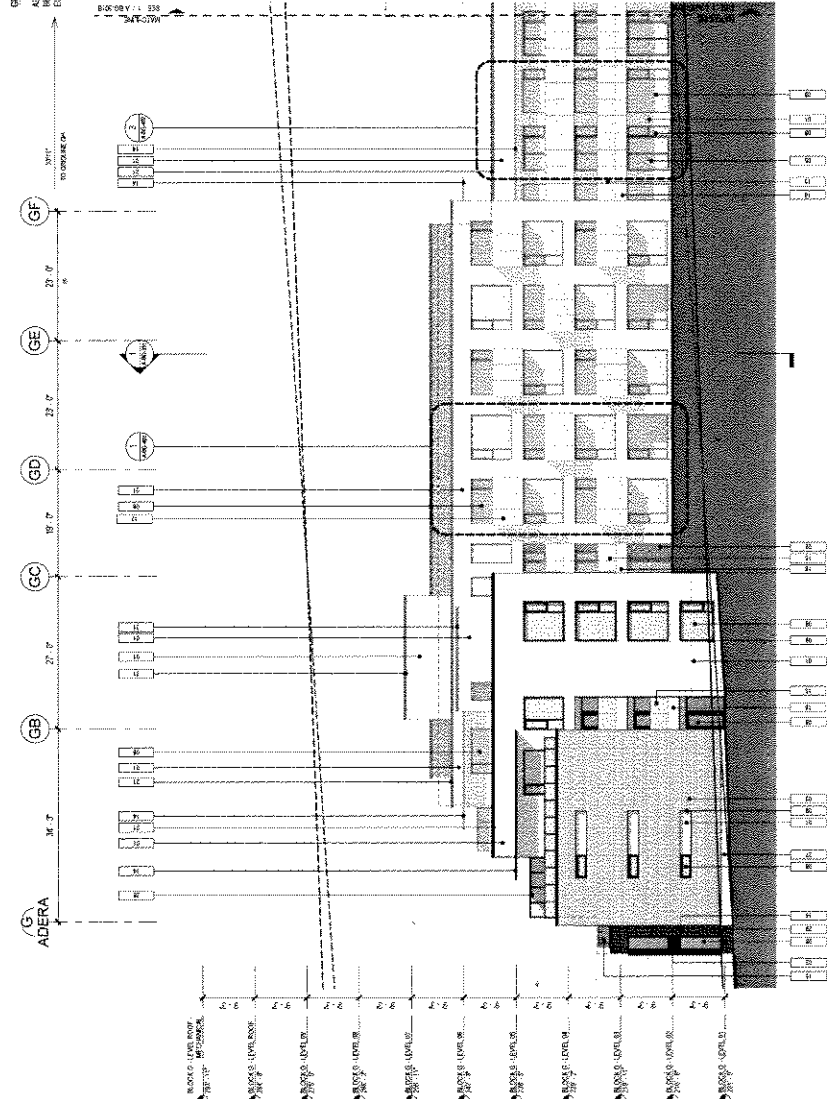
BLOCK G - BUILDING  
ELEVATION SOUTH 1

A-BG-301A

Copyright 2017 Perini

- MATERIAL LEGEND**
- 01 WINDUPHILL CLADDING
  - 02 METAL PANEL CLADDING
  - 03 LIGHT GREY PAINT
  - 04 BLOCKS - 4" COLOUR 1 (STACK BOND)
  - 05 BLOCKS - 4" COLOUR 2 (STACK BOND)
  - 06 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 07 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 08 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 09 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 10 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 11 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 12 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 13 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 14 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 15 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 16 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 17 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 18 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 19 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 20 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 21 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 22 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 23 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 24 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 25 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 26 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 27 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 28 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 29 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 30 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT
  - 31 DOOR - ALUMINUM FRAME (INTAKES) / STONEFRONT

- LINE TYPE LEGEND**
- MAXIMUM BUILDING HEIGHT FROM CD1 OVERALL BASE SURFACE
  - MAXIMUM BUILDING HEIGHT FROM PROPOSED BASE SURFACE OF BLOCK
  - CD1 OVERALL BASE SURFACE
  - PROPOSED BASE SURFACE OF BLOCK OUTLINE
  - RETAINING BUILDING MASSING OUTLINE
- GENERAL NOTES**
- ALL EXTERIOR AND COMMON AREAS TO BE FINISHED TO FINISH LINE INDICATED BY THE DOTTED LINE
  - EMMENT HEIGHT RESPONSE BEYOND THE SITE



1 A-B-G-A-ELY-OVL-SOUTH 1  
1:10.0'

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**WALL FINANCIAL CORPORATION**

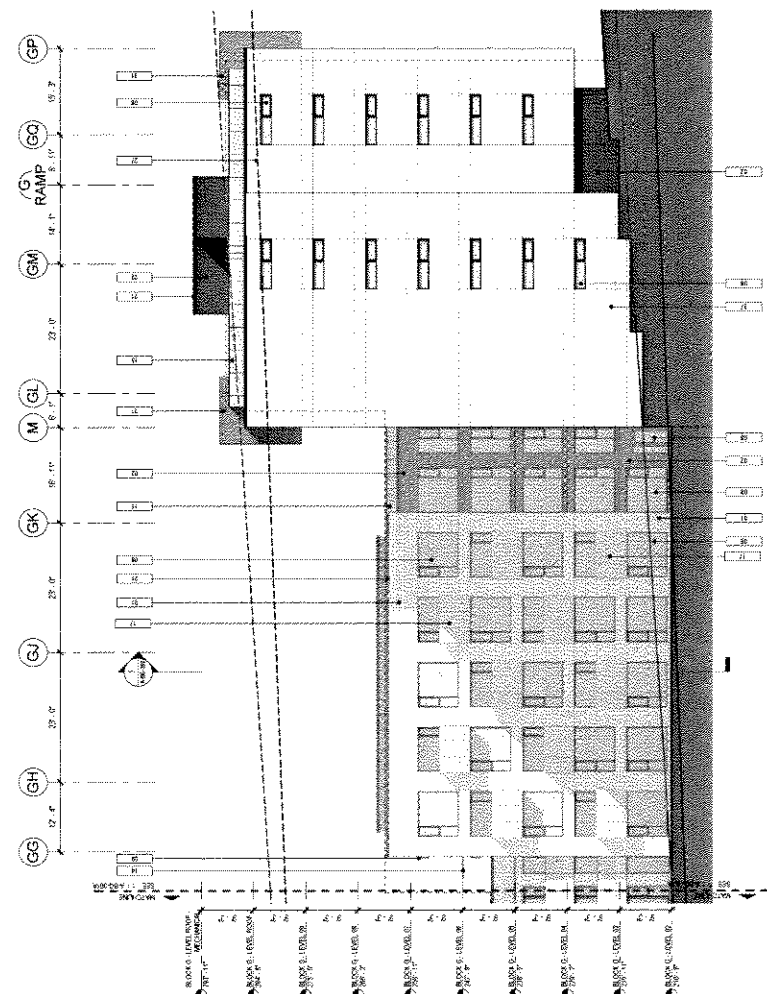
ISSUED FOR CP 20160608

**MATERIALS LEGEND**

- 01 SINGLESIDE CLADDING
- 02 METAL PANEL CLADDING
- 03 LIGHT GRIT FINISH
- 04 BLOCKS - F-C COLOUR (STOCK PANEL)
- 05 BLOCKS - F-G COLOUR (STOCK PANEL)
- 06 DOOR ALUMINUM FRAMED GLASS PANEL
- 07 DOOR ALUMINUM FRAMED GLASS PANEL
- 08 DOOR ALUMINUM FRAMED GLASS PANEL
- 09 DOOR ALUMINUM FRAMED GLASS PANEL
- 10 DOOR ALUMINUM FRAMED GLASS PANEL
- 11 DOOR ALUMINUM FRAMED GLASS PANEL
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- 17 DOOR ALUMINUM FRAMED GLASS PANEL
- 18 DOOR ALUMINUM FRAMED GLASS PANEL
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- 28 DOOR ALUMINUM FRAMED GLASS PANEL
- 29 DOOR ALUMINUM FRAMED GLASS PANEL
- 30 DOOR ALUMINUM FRAMED GLASS PANEL
- 31 DOOR ALUMINUM FRAMED GLASS PANEL

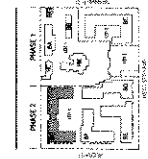
**GENERAL NOTES**

- 1. ALL EXTERIOR AND COMMON AREAS TO BE FINISHED TO THE FINISH LINE.
- 2. FINISH LINE TO BE SHOWN BY A DASHED LINE.
- 3. FINISH LINE TO BE SHOWN BY A DASHED LINE.
- 4. FINISH LINE TO BE SHOWN BY A DASHED LINE.
- 5. FINISH LINE TO BE SHOWN BY A DASHED LINE.
- 6. FINISH LINE TO BE SHOWN BY A DASHED LINE.
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- 9. FINISH LINE TO BE SHOWN BY A DASHED LINE.
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- 25. FINISH LINE TO BE SHOWN BY A DASHED LINE.
- 26. FINISH LINE TO BE SHOWN BY A DASHED LINE.
- 27. FINISH LINE TO BE SHOWN BY A DASHED LINE.
- 28. FINISH LINE TO BE SHOWN BY A DASHED LINE.
- 29. FINISH LINE TO BE SHOWN BY A DASHED LINE.
- 30. FINISH LINE TO BE SHOWN BY A DASHED LINE.
- 31. FINISH LINE TO BE SHOWN BY A DASHED LINE.



1 A-B-GA-ELV-OVL-SOUTH 2  
1/1/16

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SHANNON ESTATE  
PHASE II  
710-7201 Grenville Street  
Vancouver, BC

BLOCK G - BUILDING  
ELEVATION SOUTH 2

A-BG-301B

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WALL FINANCIAL  
CORPORATION

ISSUED FOR P.P. 2/20/2006

NATIONALS LEGEND

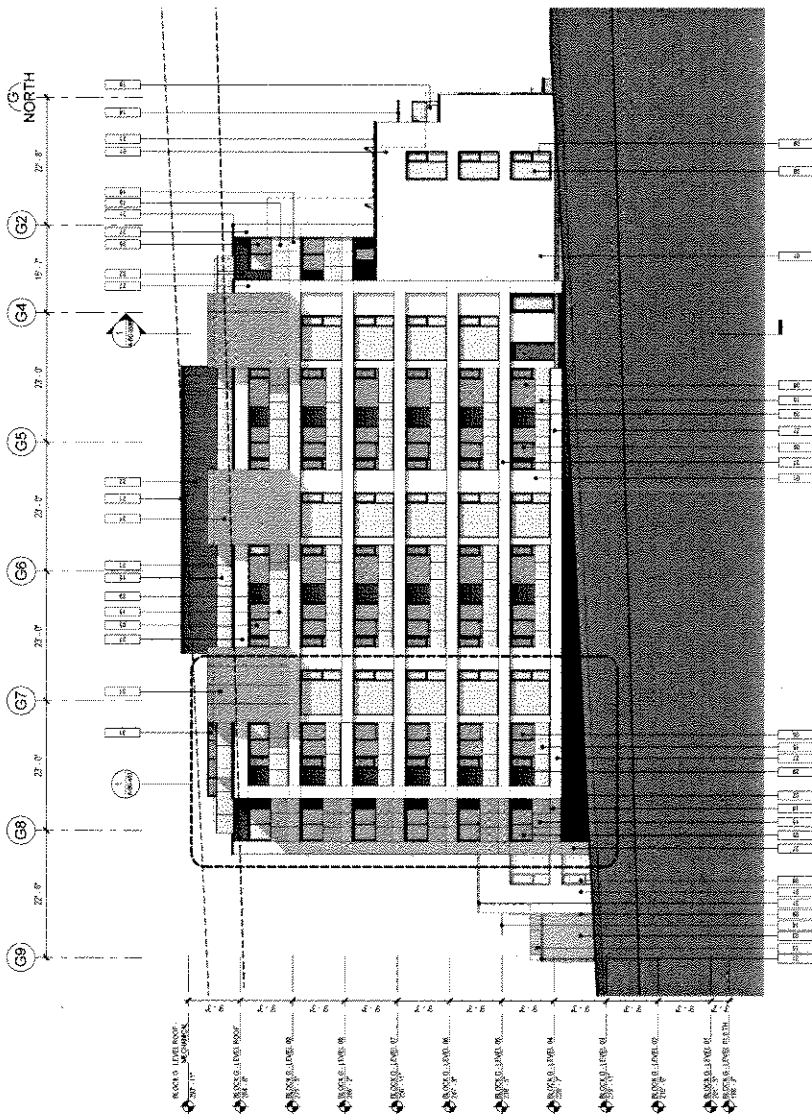
- 01 WINDOW GLAZING
- 02 METAL PANEL CLADDING
- 03 LIGHT GREY CONCRETE
- 04 BLOCKS - 4" OR OUR 1/2" STACK (RND)
- 05 BLOCKS - 4" OR OUR 1/2" STACK (RND)
- 06 STAIRFRONT
- 07 DOOR - ALUMINUM FRAME/FRANCE/S
- 08 DOOR - POLYCARBONATE
- 09 DOOR - POLYCARBONATE
- 10 SURROUND - ALUMINUM EXTRUSION (PRINTED FRAME)
- 11 GLASS WALL
- 12 GLAZING SYSTEM - FRITTED STRUCTURAL
- 13 FIBRE ALUMINUM/STEEL SHANGES
- 14 ARCHITECTURAL / MECHANICAL / ELECTRICAL
- 15 STEEL FRAME (PRINTED DARK GREY)
- 16 BALCONY RAILING - WHITE PRINTED GLASS WITH STEEL FRAME (PRINTED DARK GREY)
- 17 BALCONY RAILING - FLUPTA FACOT
- 18 BALCONY RAILING - ALUMINUM FRAME
- 19 WATER FEATURE - ALUMINUM FRAME
- 20 METAL GREEN (PRINTED DARK GREY)
- 21 PRETENSIONED METAL CORNER
- 22 CORRUGATED METAL PANEL (PRINTED)
- 23 LANDSCAPE ROOF TOP PLANTER - METAL
- 24 DECORATIVE STEEL CHANNEL (PRINTED DARK GREY)
- 25 SECURITY GATE (PRINTED DARK GREY)
- 26 PANELS - GREEN - WHITE FRITTED GLASS WITH STEEL FRAME (PRINTED DARK GREY)
- 27 CAST IN PLACE CONCRETE (PRINTED WHITE)
- 28 FINISH - MASONRY (PRINTED DARK GREY)
- 29 FINISH - MASONRY (PRINTED DARK GREY)
- 30 FINISH - MASONRY (PRINTED DARK GREY)
- 31 PEPPERATED PATINA COPPER

LINE TYPE LEGEND

- MAXIMUM BUILDING HEIGHT FROM CITY TYPICAL BASE SURFACE
- MAXIMUM BUILDING HEIGHT FROM PROPOSED BASE SURFACE IN RED X
- PROPOSED BASE SURFACE
- PROPOSED BASE SURFACE BY BLOCK OUTLINE
- PROPOSED BUILDING MASSING OUTLINE

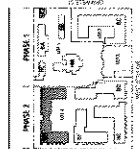
GENERAL NOTES

ALL EXTERIOR AND COMMON AREA LAMPS TO BE VALU OUT OFF PURPOSES DESIGNED TO ELIMINATE LIGHT POLLUTION BEYOND THE SITE



1 AB-G-ELV-OVL-E  
P. 10/02

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SHANNON ESTATE  
PHASE II  
7101-1201 Gwynne Street  
Vancouver, BC

BLOCK G - BUILDING  
ELEVATION EAST

A-BG-302

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WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 2013.06.08

MATERIALS LEGEND

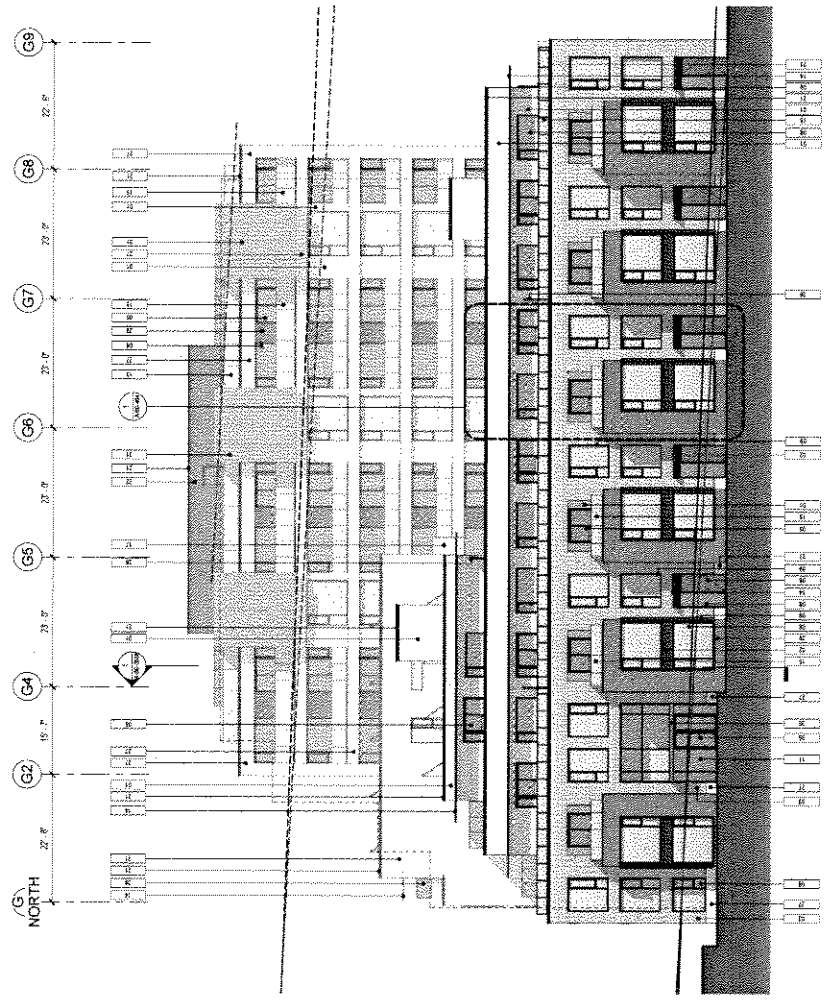
- 01 SWISSPANEL CLADDING (PAINTED)
- 02 METAL PANEL CLADDING (PAINTED)
- 03 LIGHT GREY CLADDING
- 04 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 05 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 06 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 07 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 08 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 09 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 10 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 11 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 12 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 13 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 14 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 15 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 16 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 17 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 18 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 19 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 20 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 21 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 22 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 23 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 24 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 25 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 26 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 27 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 28 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 29 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 30 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))
- 31 BRICK (1 1/2" x 3 1/2" x 8" (STACK BOND))

LINE TYPE LEGEND

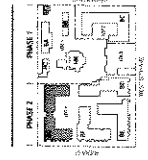
- MAXIMUM BUILDING HEIGHT FROM
- CD+1 OVERALL BASE SURFACE
- MAXIMUM BUILDING HEIGHT FROM
- PROPOSED BASE SURFACE BY BLOCK
- CD+1 OVERALL BASE SURFACE
- PROPOSED BASE SURFACE BY BLOCK
- RECEIVING BUILDING MASSING
- CENTRE

GENERAL NOTES

- 1. ALL EXTERIOR COMMON WALLS TO BE FULL-COURT HEIGHTS EXCEPT TO ELIMINATE LIGHT TRESSACTIONS TO THE SITE



1 AB G-ELV-OVL-W  
11/13/12



SHANNON ESTATE  
PHASE II  
710-720 GARDNER STREET  
WINSTON-SALEM, NC

BLOCK G - BUILDING  
ELEVATION WEST

A-BG-303

DATE: 11/13/12

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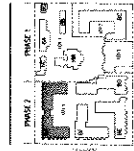


WALL FINANCIAL  
CORPORATION

ISSUED FOR DP 2015-06-08

**LINE TYPE LEGEND**  
 - - - - - MAXIMUM BUILDING HEIGHT FROM  
 G-1 OVERALL BASE SURFACE  
 - - - - - MAXIMUM BUILDING HEIGHT FROM  
 PROPOSED BASE SURFACE BY BLOCK  
 - - - - - COLL OVERALL BASE SURFACE  
 - - - - - PROPOSED BASE SURFACE BY BLOCK  
 - - - - - RESIDUAL BUILDING MASSING  
 - - - - - COLLLINE

**GENERAL NOTES**  
 ALL EXTERIOR AND COMMON AREAS ARE TO  
 BE FINAL LIFT OFF FEATURES, DESIGNED TO  
 ELIMINATE LIGHT TRESPASS BEYOND THE SITE

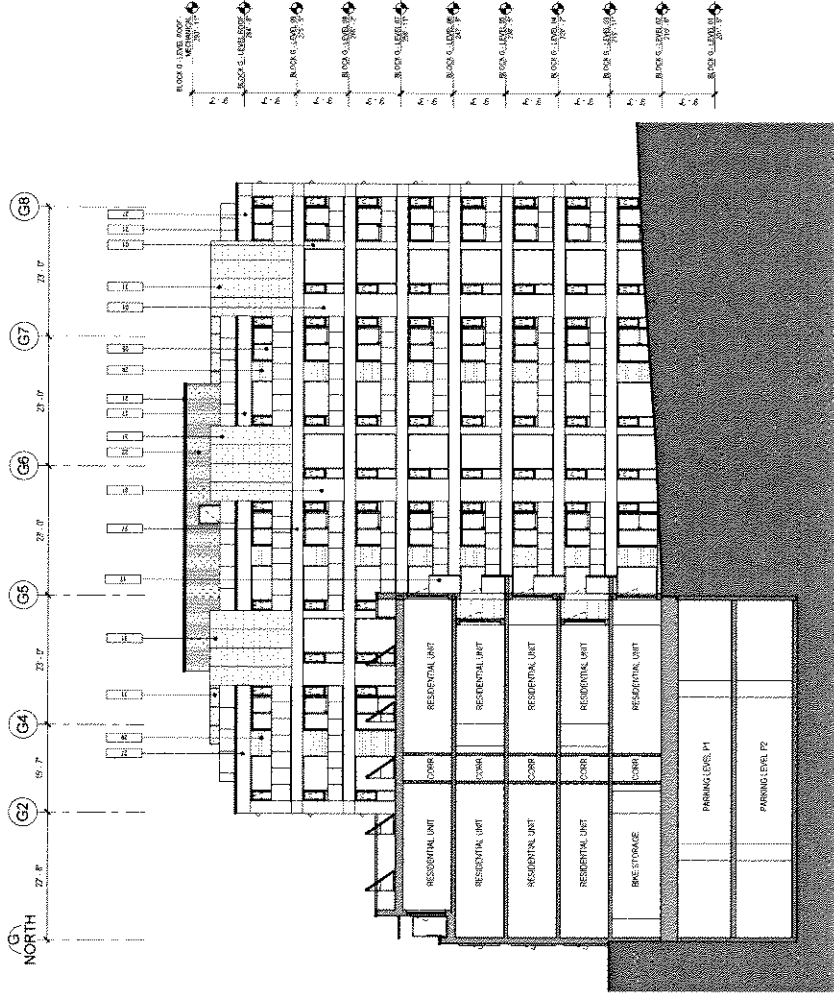


SHANNON ESTATE  
 PHASE II  
 7301-7307 Greenville Street  
 Vancouver, BC

BLOCK G - BUILDING  
 SECTION  
 NORTH-SOUTH 1

A-BG-350

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1 BLOCK G - BUILDING SECTION  
 T-1012

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WALL FINANCIAL  
CORPORATION

ISSUED FOR: DP 2/15/2018

**LINE TYPE LEGEND**

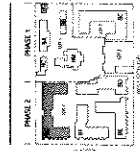
- MAXIMUM BUILDING HEIGHT FROM CONTIGUOUS BASE SURFACE
- MAXIMUM BUILDING HEIGHT FROM PROPOSED BASE SURFACE BY BLOCK
- CONTIGUOUS BASE SURFACE
- PROPOSED BASE SURFACE BY BLOCK
- BUILDING MASSING

**GENERAL NOTES**

- 1. ALL EXTERIOR AND COMMON AREAS ARE TO BE FULLY CAP AND FEATURES DESIGNED TO ELIMINATE LIGHT TRANSMISSION BEYOND THE SITE CURBLINE.

**LEVEL LEGEND**

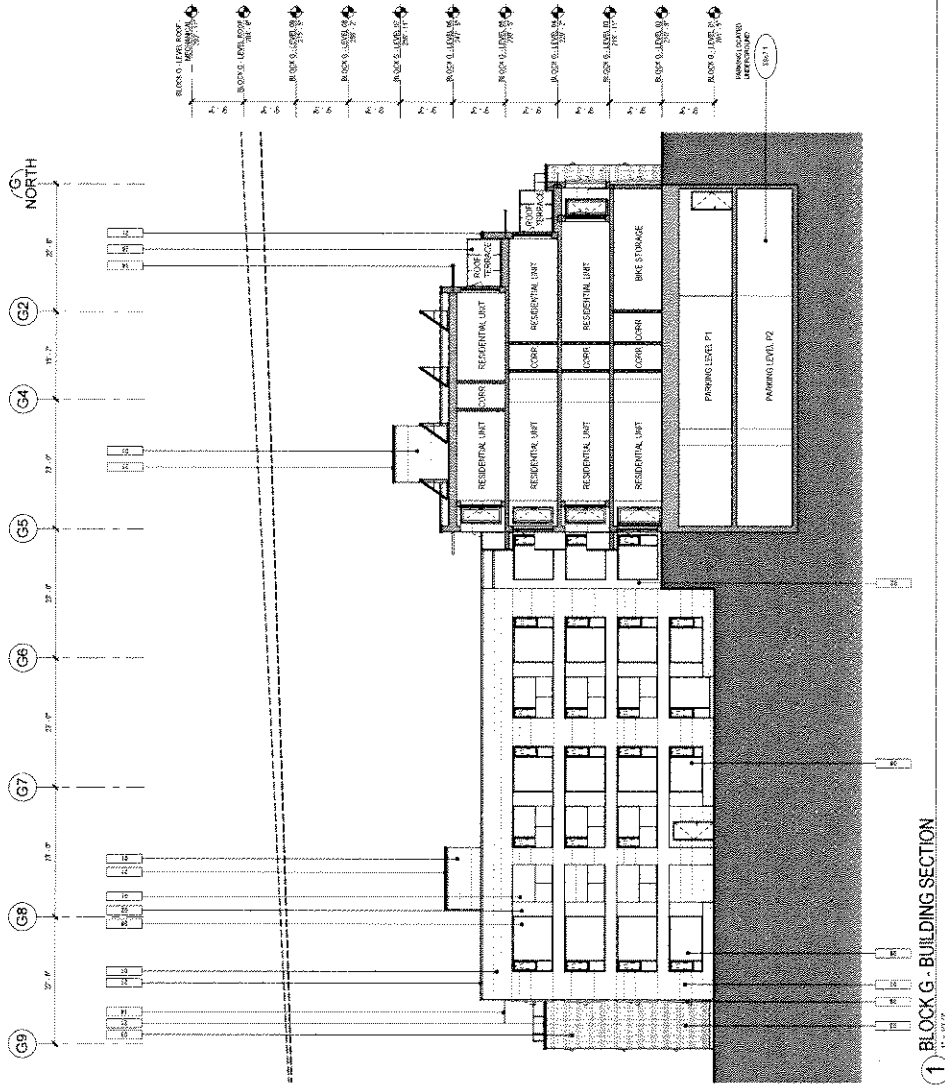
FINISH 1ST FLOOR FLOOR PLAN SHEET 20



SHANNON ESTATE  
PHASE II  
7101 1700 Gateway Street  
Raleigh, NC

BLOCK G - BUILDING  
SECTION  
NORTH-SOUTH 2

A-BG-351



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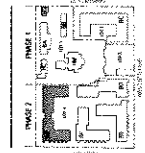
WALL FINANCIAL  
CORPORATION

ISSUED FOR: DP 2015/06/08

- LINE TYPE LEGEND:**
- ..... MAXIMUM BUILDING HEIGHT FROM CITY OVERALL BASE SURFACE
  - ..... MAXIMUM BUILDING HEIGHT FROM PROPOSED BASE SURFACE BY BLOCK
  - ..... CITY OVERALL BASE SURFACE
  - ..... PROPOSED BASE SURFACE BY BLOCK
  - ..... RESIDENT BUILDING MASSING
  - ..... COULINE

**GENERAL NOTES:**

ALL EXTERIOR AND COMMON AREAS TO BE FULLY COMPLETED, DESIGNED TO ELIMINATE LIGHT TRESPASS BEYOND THE SITE

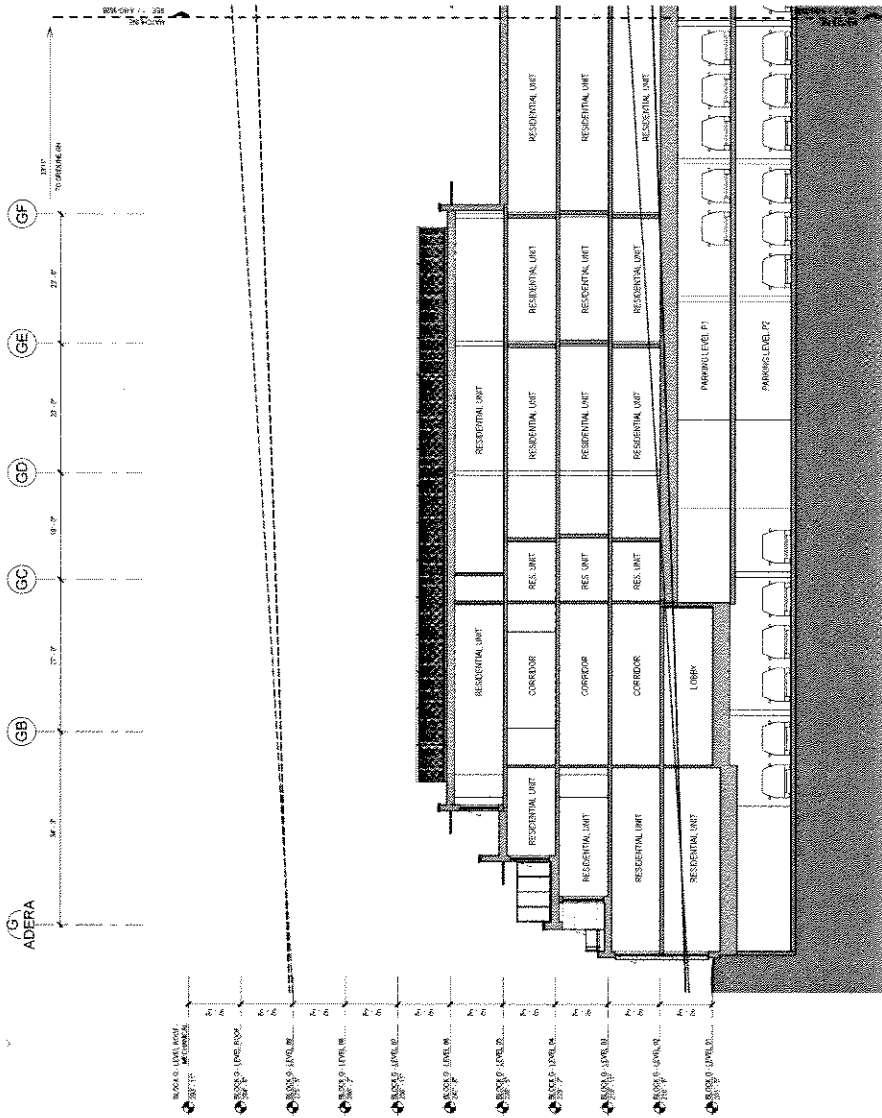


SHANNON ESTATE  
PHASE II  
7101-7201 Granville Street  
Vancouver, BC

BLOCK G - BUILDING  
SECTION WEST 1

A-BG-352A

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1 BLOCK G - BUILDING SECTION - EAST WEST

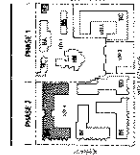
1 - 10' 0"

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- LINE TYPE LEGEND**
- MAXIMUM FINISH HEIGHT FROM CD 1 OVERALL BASE SURFACE
  - MAXIMUM FINISH HEIGHT FROM PROPOSED BASE SURFACE BY BLOCK
  - CD 1 OVERALL BASE SURFACE
  - PROPOSED BASE SURFACE BY BLOCK
  - EXISTING BUILDING MASSING

- GENERAL NOTES**
- 1. ALL EXTERIOR AND CORNER AREA LAMPS TO BE TALL OUT OF NOTICES DESIGNED TO SHARPE LIGHT REDRESS BEYOND THE SITE

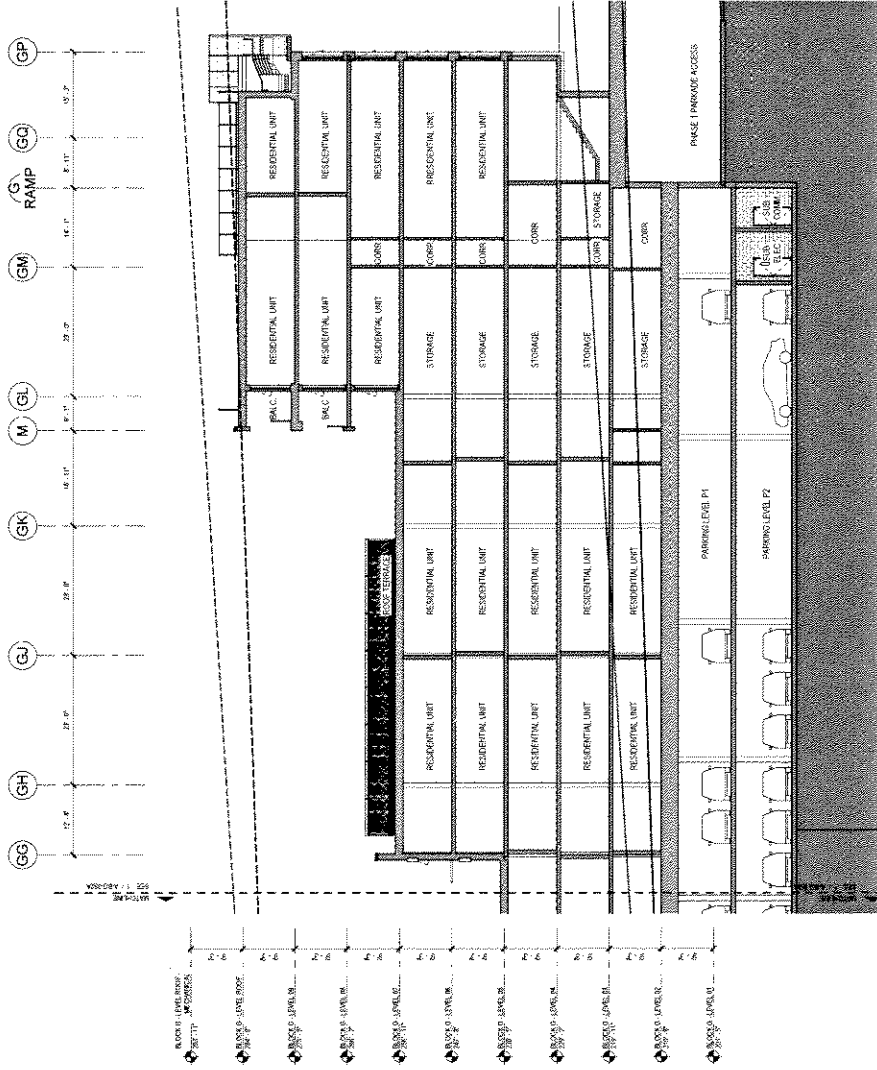


SHANNON ESTATE  
PHASE II  
710-720 Granville Street  
Vancouver, BC

BLOCK G - BUILDING  
SECTION EAST 1

A-BG-352B

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1 A-B F-SCT-OVL-EAST  
P. 01/2

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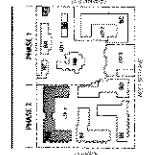


**WALL FINANCIAL  
CORPORATION**

ISSUED FOR ICP 2015.05.28

**MATERIAL LEGEND**

- 01 SWISSPEARL GLAZING
- 02 METAL PANEL GLAZING
- 03 LIGHT GREY
- 04 BLOCKED OFF OUR (STACK BAND)
- 05 BLOCKED OFF OUR (STACK BAND)
- 06 BLOCKED OFF OUR (STACK BAND)
- 07 STOVEFRONT
- 08 DOOR (HOLLOW METAL FRAME)
- 09 DOOR (HOLLOW METAL FRAME)
- 10 WINDOW (ALUMINUM EXTENSION PRINTED FRAME)
- 11 GLAZING SYSTEM: PRINTED STRUCTURAL
- 12 GLASS WALL WITH CONDENSING
- 13 PAVED ALUMINUM SLAT SHADES
- 14 ARCHITECTURAL MECHANICAL Louvers
- 15 CHAMPY - TONED GLASS PANEL WITH STEEL FRAME PAINTED DARK GREY
- 16 CHAMPY - TONED GLASS PANEL WITH STEEL FRAME PAINTED DARK GREY
- 17 BALCONY RAILING: POLYETHYLENE FOAM
- 18 LANTERN ROOF TOP PLASTER - METAL
- 19 LANTERN ROOF TOP PLASTER - METAL
- 20 WATER FEATURE: ALUMINUM FRAME
- 21 MESH SCREEN PAINTED DARK GREY
- 22 PREFINISHED METAL CORNER
- 23 CORRUGATED METAL PANELS (PAINTED)
- 24 LANTERN ROOF TOP PLASTER - METAL
- 25 DECORATIVE STEEL CHANNEL (PAINTED DARK GREY)
- 26 PRONGY CORNER (PAINTED DARK GREY)
- 27 PRONGY CORNER (PAINTED DARK GREY)
- 28 PRONGY CORNER (PAINTED DARK GREY)
- 29 PRONGY CORNER (PAINTED DARK GREY)
- 30 PRONGY CORNER (PAINTED DARK GREY)
- 31 PRONGY CORNER (PAINTED DARK GREY)

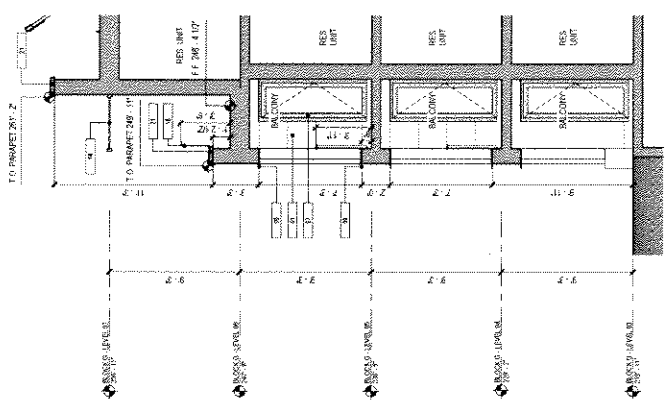
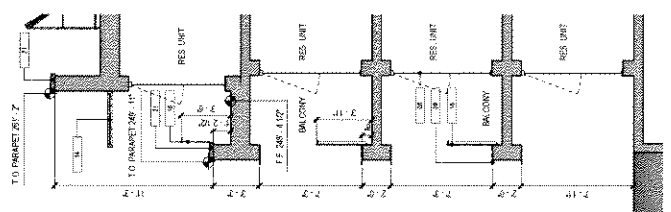
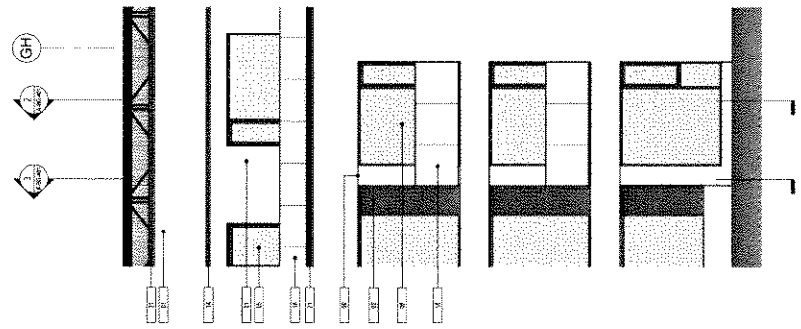


**SHANNON ESTATE  
PHASE II**  
710-720 Granville Street  
Vancouver, BC

**BLOCK G - WALL  
SECTION - NORTH**

**A-BG-401**

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① BLOCK G - WALL SECTION - NORTH  
1/4" = 1'-0"

② BLOCK G - WALL SECTION - NORTH  
1/4" = 1'-0"

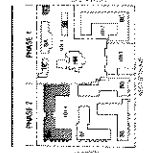
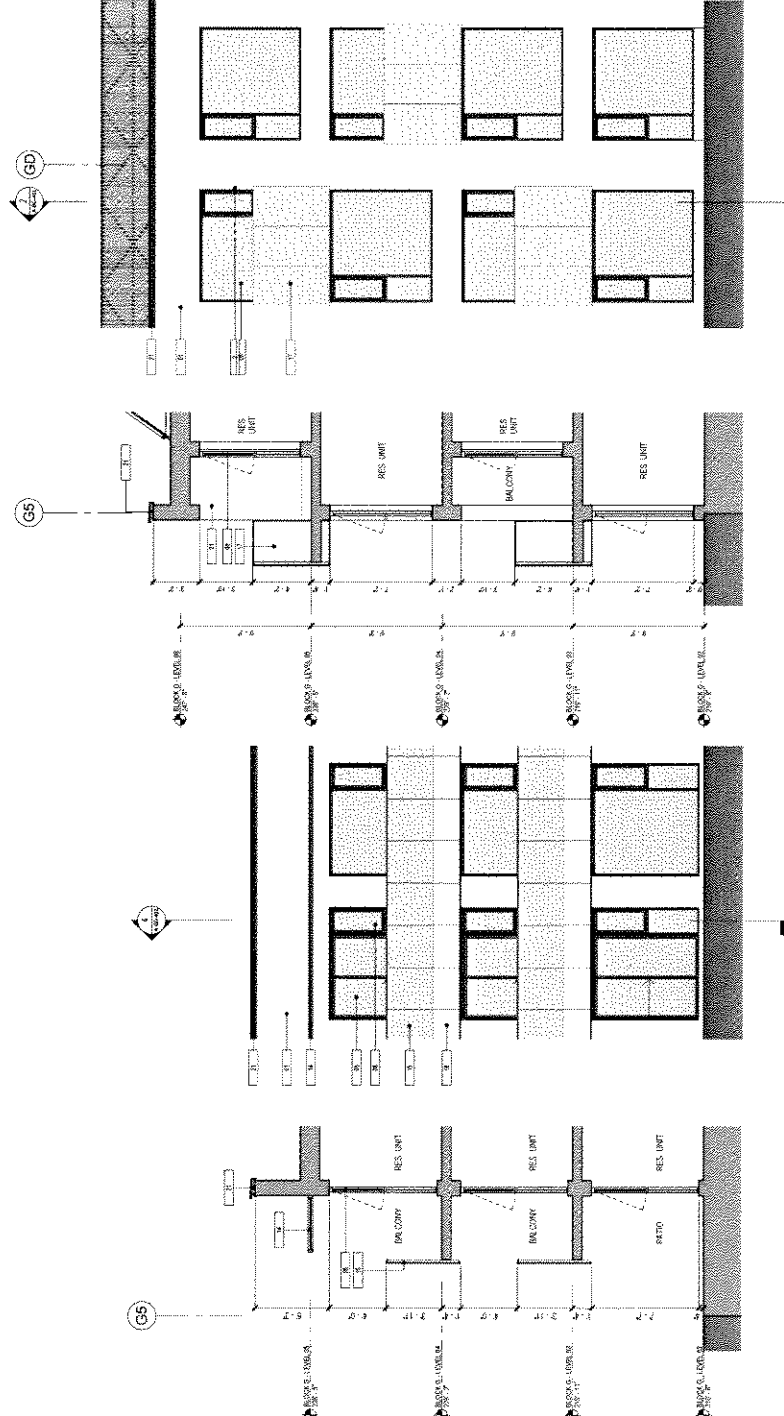
③ BLOCK G - WALL SECTION - NORTH  
1/4" = 1'-0"

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MATERIAL LEGEND

- 01 SWISSPANEL CLADDING
- 02 SWISSPANEL CLADDING
- 03 METAL SHIM CLADDING
- 04 LIGHT GREY
- 05 BLOCK OF COLOUR (STACK BOND)
- 06 BLOCK OF COLOUR (STACK BOND)
- 07 BLOCK OF COLOUR (STACK BOND)
- 08 STONEFRONT
- 09 STONEFRONT
- 10 STONEFRONT
- 11 STONEFRONT
- 12 STONEFRONT
- 13 STONEFRONT
- 14 STONEFRONT
- 15 STONEFRONT
- 16 STONEFRONT
- 17 STONEFRONT
- 18 STONEFRONT
- 19 STONEFRONT
- 20 STONEFRONT
- 21 STONEFRONT
- 22 STONEFRONT
- 23 STONEFRONT
- 24 STONEFRONT
- 25 STONEFRONT
- 26 STONEFRONT
- 27 STONEFRONT
- 28 STONEFRONT
- 29 STONEFRONT
- 30 STONEFRONT
- 31 STONEFRONT



SHANNON ESTATE  
PHASE II  
710-1201 Granville Street  
Vancouver, BC

BLOCK G - WALL  
SECTION - SOUTH

A-BG-402

1 BLOCK G - ENLARGED ELEVATION - SOUTH (1/4" = 1'-0")  
 2 BLOCK G - WALL SECTION - SOUTH (1/4" = 1'-0")  
 3 BLOCK G - ENL. ELEV. - SOUTH (1/4" = 1'-0")  
 4 BLOCK G - WALL SECTION - SOUTH (1/4" = 1'-0")

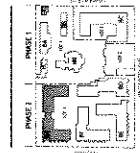
Appendix C; page 131 of 143



WALL FINANCIAL  
CORPORATION

ISSUED FOR I/P 2016-06-08

- MATERIALS LEGEND**
- 01 SWISSPRAIL CLADDING
  - 02 METAL PANEL CLADDING
  - 03 LIGHT GREY PAINT
  - 04 BLOCK-O-F-COLOR (STOCK NUMBER)
  - 05 BLOCK-E-G-COLOR (STOCK NUMBER)
  - 06 COPIER-ALUMINUM (FRAMES) / COPIER-ALUMINUM (FRAMES) / COPIER-ALUMINUM (FRAMES)
  - 07 COPIER-ALUMINUM (FRAMES)
  - 08 COPIER-ALUMINUM (FRAMES)
  - 09 COPIER-ALUMINUM (FRAMES)
  - 10 SURROUND-ALUMINUM EXTRUSION (PAINTED FRAME)
  - 11 GLAZING SYSTEM-PRINTED STRUCTURAL
  - 12 GLASS WALL SYSTEM-PRINTED STRUCTURAL
  - 13 FIXED ALUMINUM GLASS SHARDS
  - 14 ARCHITECTURAL MECHANICAL LOUVERS
  - 15 CANOPY-PAINTED GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
  - 16 STEEL FRAME (PAINTED DARK GREY)
  - 17 BALCONY RAILINGS- WIRE BRISTLED GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
  - 18 BALCONY RAILINGS- WIRE BRISTLED GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
  - 19 BALCONY RAILINGS- WIRE BRISTLED GLASS PANEL WITH STEEL FRAME (PAINTED DARK GREY)
  - 20 WATER FEATURE-ALUMINUM FRAME WITH GLASS PANEL (PAINTED DARK GREY)
  - 21 PERFORATED METAL COILING
  - 22 CORRUGATED METAL PANEL (PAINTED); LANSBURY ROOF TOP PLANTER-METAL (PAINTED)
  - 23 DECORATIVE STEEL CHANNEL-PAINTED DARK GREY
  - 24 SECURITY GATE (PAINTED DARK GREY)
  - 25 SECURITY GATE (PAINTED DARK GREY)
  - 26 SECURITY GATE (PAINTED DARK GREY)
  - 27 SECURITY GATE (PAINTED DARK GREY)
  - 28 SECURITY GATE (PAINTED DARK GREY)
  - 29 SECURITY GATE (PAINTED DARK GREY)
  - 30 SECURITY GATE (PAINTED DARK GREY)
  - 31 PERFORATED PATINA COPPER

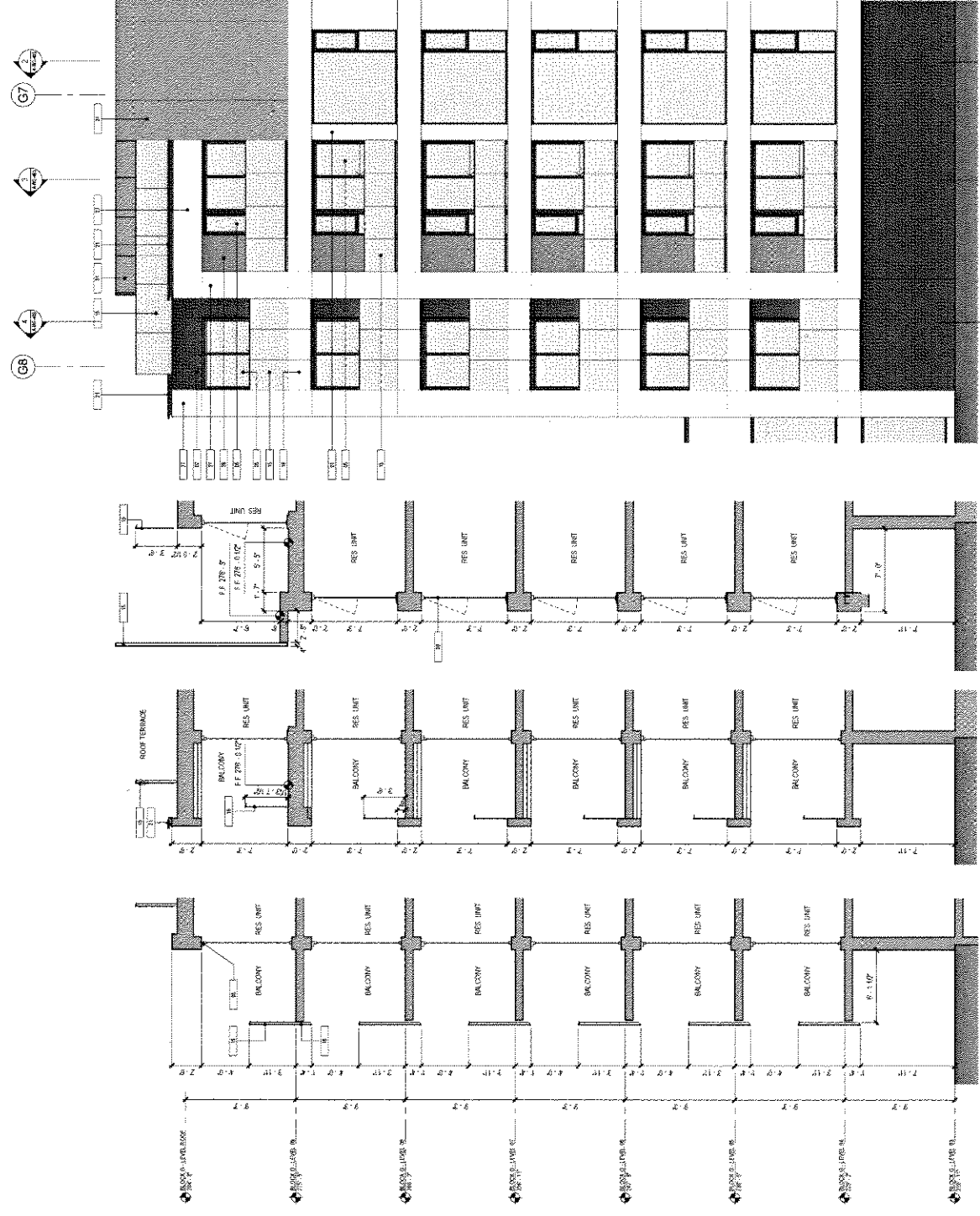


SHANNON ESTATE  
PHASE II  
710-720 Grayline Street  
Vancouver BC

BLOCK G - WALL  
SECTION - EAST

A-BG-403

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④ BLOCK G - WALL SECTION - EAST 1/4" = 1'-0"  
③ BLOCK G - WALL SECTION 1/4" = 1'-0"  
② BLOCK G - WALL SECTION 1/4" = 1'-0"  
① BLOCK G - ENLARGED ELEVATION - EAST 1/4" = 1'-0"

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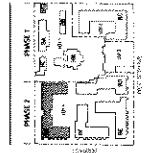


WALL FINANCIAL  
CORPORATION

ISSUED FOR I/P 2010-06-08

**MATERIALS LEGEND**

- 01 WOODGRAIN CLADDING
- 02 METAL PANEL CLADDING
- 03 LIGHT GREY
- 04 BROWN
- 05 BLOCKED + F. COLOUR (STAINKORNER)
- 06 BLOCKED + F. COLOUR (SPACK BONE)
- 07 DOOR ALUMINIUM FRAME (SPRINKLES)
- 08 STONEWORK
- 09 DOOR HOLLOW METAL FRAME
- 10 COMPOSITE GLASSING FRAMES
- 11 ALUMINIUM WINDOW WALL ALUMINIUM FRAME
- 12 GURUGUARD ALUMINIUM EXTRUSION (PAINTED)
- 13 GLASS PANEL
- 14 GLAZING SYSTEM - PRINTED STRUCTURAL
- 15 TYPED ALUMINIUM STOREFRONT
- 16 TYPED ALUMINIUM SKY SHADES
- 17 ALUMINIUM THERMOPLASTIC OVERLAYS
- 18 CHAMP - FRAMED GLASS PANEL WITH
- 19 BALLETT FRAME (PAINTED DARK GREY)
- 20 BALLETT FRAME (PAINTED DARK GREY) WITH STEEL
- 21 BALLETT FRAME (PAINTED DARK GREY) WITH ALUMINIUM
- 22 BALLETT FRAME (PAINTED DARK GREY) WITH STEEL FRAME (PAINTED DARK GREY)
- 23 BALLETT FRAME (PAINTED DARK GREY) WITH ALUMINIUM FRAME (PAINTED DARK GREY)
- 24 BALLETT FRAME (PAINTED DARK GREY) WITH STEEL FRAME (PAINTED DARK GREY)
- 25 BALLETT FRAME (PAINTED DARK GREY) WITH ALUMINIUM FRAME (PAINTED DARK GREY)
- 26 BALLETT FRAME (PAINTED DARK GREY) WITH STEEL FRAME (PAINTED DARK GREY)
- 27 BALLETT FRAME (PAINTED DARK GREY) WITH ALUMINIUM FRAME (PAINTED DARK GREY)
- 28 BALLETT FRAME (PAINTED DARK GREY) WITH STEEL FRAME (PAINTED DARK GREY)
- 29 BALLETT FRAME (PAINTED DARK GREY) WITH ALUMINIUM FRAME (PAINTED DARK GREY)
- 30 BALLETT FRAME (PAINTED DARK GREY) WITH STEEL FRAME (PAINTED DARK GREY)
- 31 BALLETT FRAME (PAINTED DARK GREY) WITH ALUMINIUM FRAME (PAINTED DARK GREY)

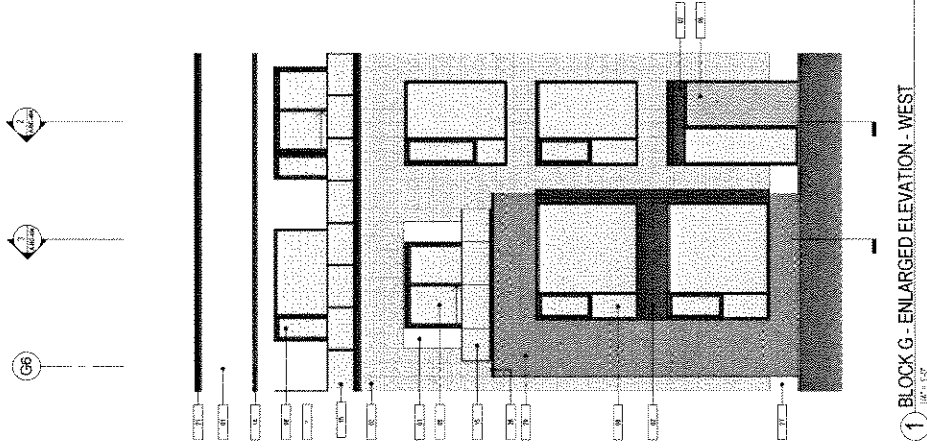


SHANNON ESTATE  
PHASE II  
710-720 Gower Street  
Vancouver, BC

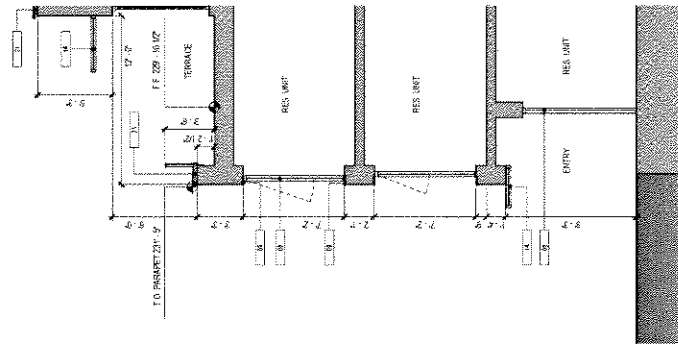
BLOCK G - WALL  
SECTION - WEST

A-BG-404

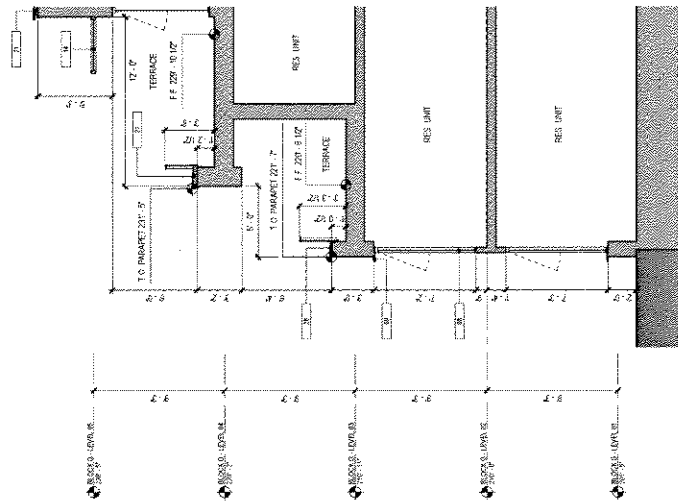
Copyright © 2010 Perkins + Will



1 BLOCK G - ENLARGED ELEVATION - WEST  
1/4" = 1'-0"

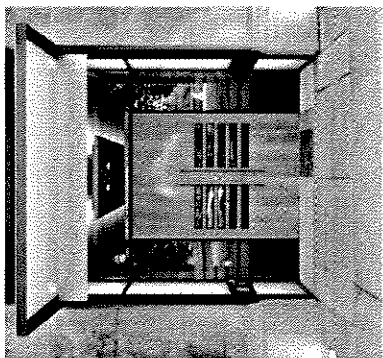


2 BLOCK G - WALL SECTION  
1/4" = 1'-0"

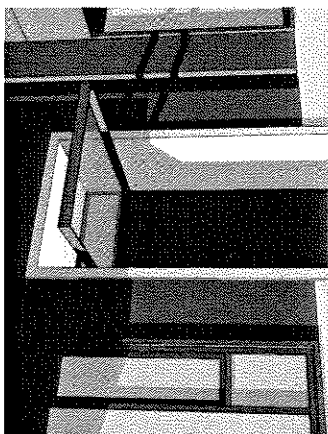


3 BLOCK G - WALL SECTION  
1/4" = 1'-0"

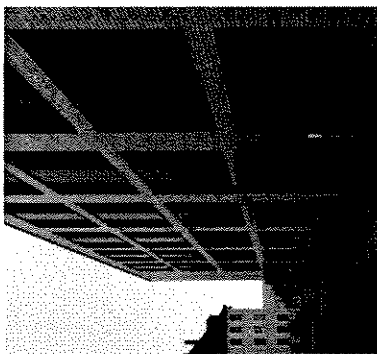
Appendix C, page 133 of 143



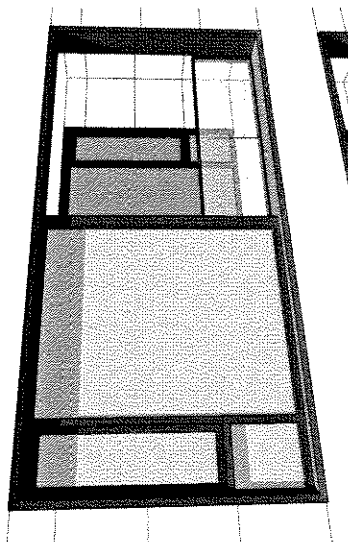
④ PRECEDENT IMAGE - GLASS CANOPY AIBC BUILDING  
NOT TO SCALE



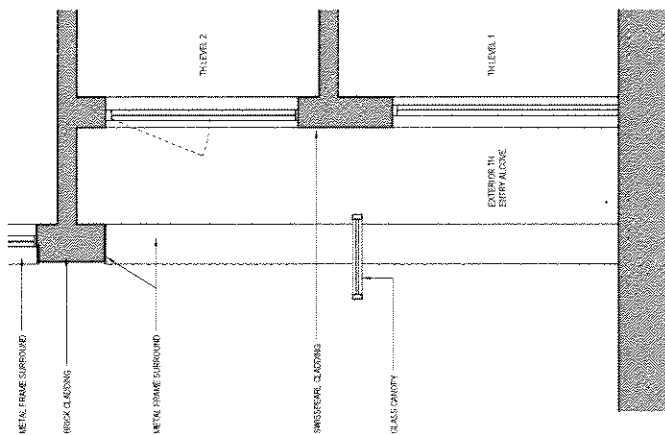
⑤ RENDERING - GLASS CANOPY TYPICAL  
NOT TO SCALE



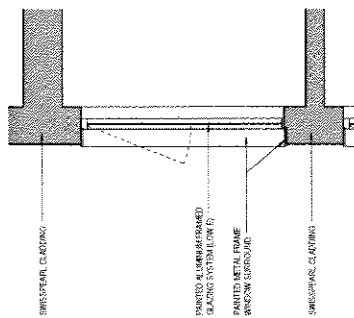
① PRECEDENT IMAGE - METAL FRAME WINDOW SURROUND  
NOT TO SCALE



② RENDERING - METAL FRAME WINDOW SURROUND  
NOT TO SCALE

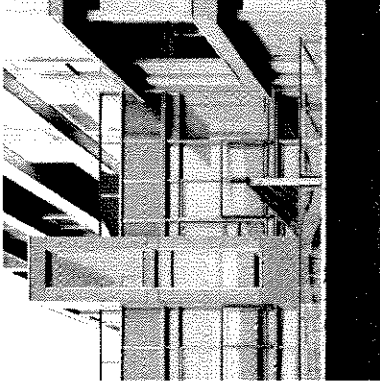


⑥ SECTION - BUILDING ENTRY GLASS CANOPY  
1/2" = 1'-0"

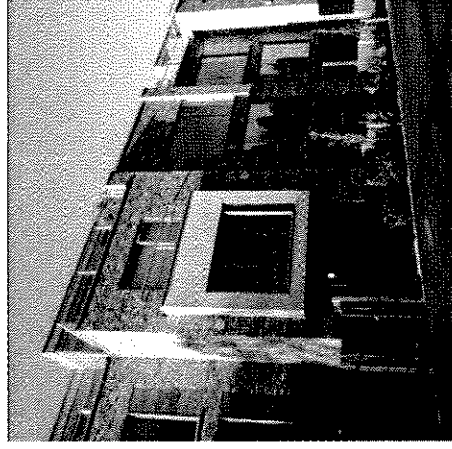


③ A-B F-SECT-ENL DETAIL SURROUND  
1/2" = 1'-0"

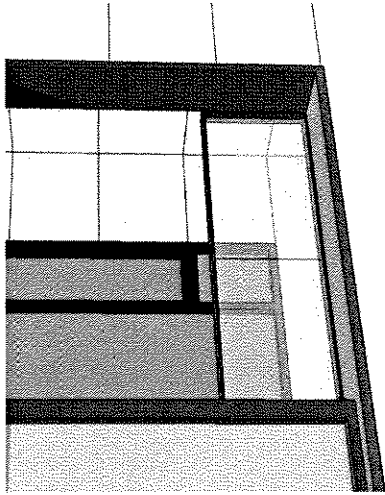
Appendix C page 34 of 143



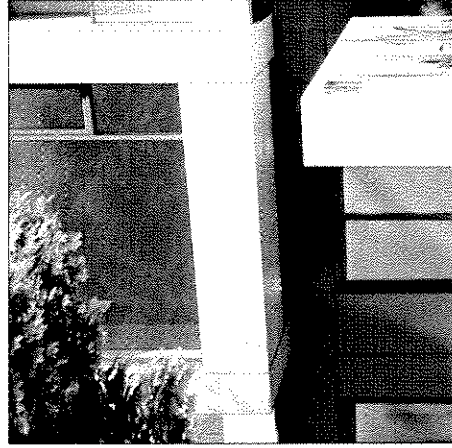
4 PRECEDENT IMAGE - GLASS GUARD  
NOT TO SCALE



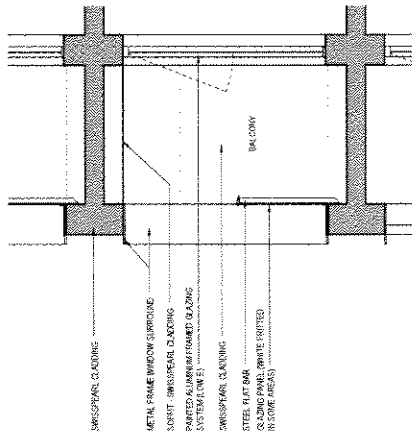
1 PRECEDENT IMAGE - SOFFIT  
10'-11"



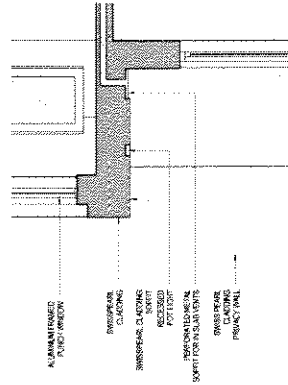
5 RENDERING - GLASS GUARD  
NOT TO SCALE



2 RENDERING - SOFFIT  
10'-11"



6 SECTION DETAIL - GLASS GUARD  
1/2" = 1'-0"



NOTE: ALL EXTERIOR LAMPS TO  
BE FULL CUTOFF FIXTURES.

3 SECTION DETAIL - SOFFIT  
1/2" = 1'-0"

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WALL FINANCIAL  
CORPORATION

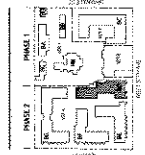
ISSUED FOR: 2/15/06

**CONDITION 1 (f)**

The maximum height of Block D shall be no less than the height of Block A, Block B, Block C, Block E, Block F, Block G, Block H, Block I, Block J, Block K, Block L, Block M, Block N, Block O, Block P, Block Q, Block R, Block S, Block T, Block U, Block V, Block W, Block X, Block Y, Block Z, Block AA, Block AB, Block AC, Block AD, Block AE, Block AF, Block AG, Block AH, Block AI, Block AJ, Block AK, Block AL, Block AM, Block AN, Block AO, Block AP, Block AQ, Block AR, Block AS, Block AT, Block AU, Block AV, Block AW, Block AX, Block AY, Block AZ, Block BA, Block BB, Block BC, Block BD, Block BE, Block BF, Block BG, Block BH, Block BI, Block BJ, Block BK, Block BL, Block BM, Block BN, Block BO, Block BP, Block BQ, Block BR, Block BS, Block BT, Block BU, Block BV, Block BW, Block BX, Block BY, Block BZ, Block CA, Block CB, Block CC, Block CD, Block CE, Block CF, Block CG, Block CH, Block CI, Block CJ, Block CK, Block CL, Block CM, Block CN, Block CO, Block CP, Block CQ, Block CR, Block CS, 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Block KL, Block KM, Block KN, Block KO, Block KP, Block KQ, Block KR, Block KS, Block KT, Block KU, Block KV, Block KW, Block KX, Block KY, Block KZ, Block LA, Block LB, Block LC, Block LD, Block LE, Block LF, Block LG, Block LH, Block LI, Block LJ, Block LK, Block LL, Block LM, Block LN, Block LO, Block LP, Block LQ, Block LR, Block LS, Block LT, Block LU, Block LV, Block LW, Block LX, Block LY, Block LZ, Block MA, Block MB, Block MC, Block MD, Block ME, Block MF, Block MG, Block MH, Block MI, Block MJ, Block MK, Block ML, Block MM, Block MN, Block MO, Block MP, Block MQ, Block MR, Block MS, Block MT, Block MU, Block MV, Block MW, Block MX, Block MY, Block MZ, Block NA, Block NB, Block NC, Block ND, Block NE, Block NF, Block NG, Block NH, Block NI, Block NJ, Block NK, Block NL, Block NM, Block NN, Block NO, Block NP, Block NQ, Block NR, Block NS, Block NT, Block NU, Block NV, Block NW, Block NX, Block NY, Block NZ, Block OA, Block OB, Block OC, Block OD, Block OE, Block OF, Block OG, 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**RESPONSE**

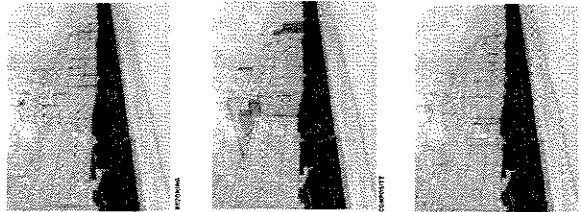
Block D height shall be determined by the height of the tallest building in the block.



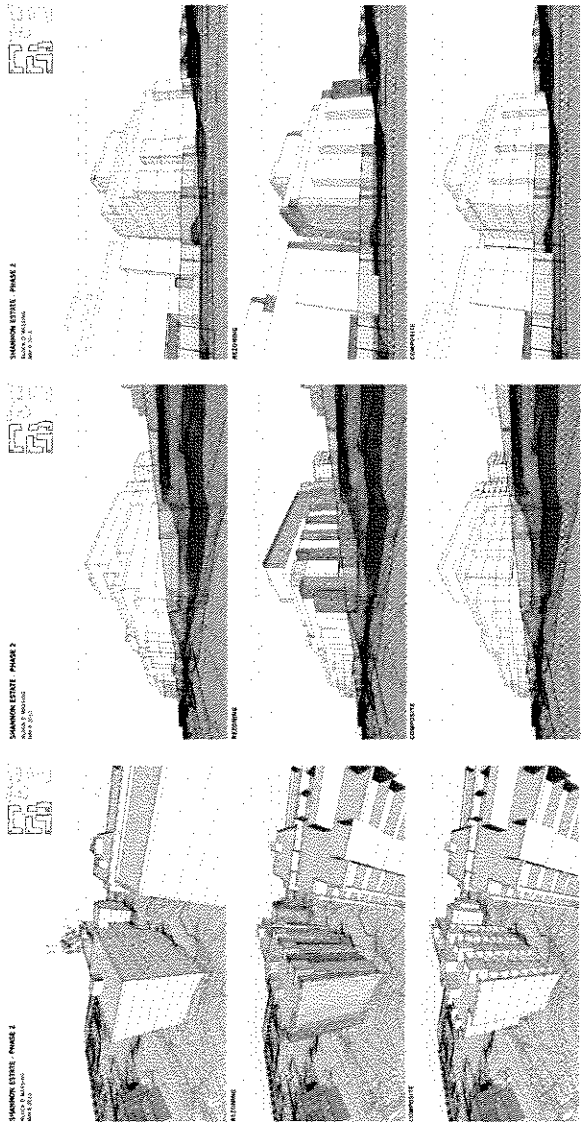
SHANNON ESTATE  
PHASE II  
1101-1201 Granite Street  
Baltimore, MD

BLOCK D DESIGN  
DEVELOPMENT

**VIEW ANALYSIS**



**BLOCK D MASSING ANALYSIS**



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## 1.1 Executive Summary

Shannon Estate is located in the Kerrisdale community, bordering the Oakridge and Marpole neighbourhoods. The property is bounded by Granville Street to the east, 57th Avenue to the south, and Adera Street to the west.

The Shannon Estate property, a large 10-acre site, with its Beaux Arts brick mansion, formal Italianate gardens and mature landscape, stands out in this area of Vancouver. Located at 7101-7201 Granville Street, the site offers an opportunity for a comprehensive re-development that conforms to the City's EcoCity Charter and other current council objectives. The redevelopment of the property as a contiguous parcel is an opportunity to achieve significant community benefits, civic objectives, and enhance the heritage value inherent in the estate.

The objective of this proposal is to apply for the Phase II Development Permit for a multi-family residential development, based on the Comprehensive Development District CD-1 rezoning approved by City Council in July of 2011 and enacted in January, 2012, and the Phase I Development Permit, approved on December 10, 2012.

This application seeks approval for four new residential buildings; heritage restoration and conservation for the heritage Perimeter Wall; and an underground parking structure which will comprise Phase 2 of the total site development approved in the CD-1 rezoning. The following is a general description of the proposed new construction and heritage restoration within this application:

- Block D: 6 market townhomes and 89 market suites in nine levels, totaling 114,363 SF.
- Block E: 6 market townhomes and 86 market suites in eight levels, totaling 106,612 SF.
- Block F: 7 market townhomes and 92 market units in ten levels, totaling 113,396 SF.
- Block G: 5 market townhomes and 99 market suites in nine levels, totaling 121,215 SF.
- Perimeter Wall: The restoration of perimeter wall portions located in Phase 2.

The entire site will be serviced by two separate but linked underground parking structures, one of which was described in the Phase I application (see DE 415627). The second parking structure supporting the Phase 2 development will provide a total of 669 parking stalls. This will complete the full build-out of the parkade providing east-west connections in the parkade to allow residents unfettered access to both Granville Street and 57th Avenue.

The new buildings are refined and elegant, through the use of a limited materials palette and thoughtful detailing; they have been designed to create a quiet architectural backdrop against the rich landscape of the site. Distinct architectural expressions are developed to ensure variety and interest appropriate to the scale of the development.

Building orientation and massing have been optimized to ensure that key axial sight lines and discrete access points have been maintained. Through the continued implementation of a tree management plan, the high quality perimeter landscape will be preserved to reinforce the 'secret garden' aspect of the site. New residential gardens will be screened by the original estate wall or nestled within

## Appendix D ; page 2 of 2

courtyards created by the new building forms. Shannon Green, the newly created public park, will be revealed through a generous opening in the perimeter wall along 57th Avenue.

The new development will incorporate green building strategies, including high performance glazing, storm water management, solar hot-water generation, and a district energy utility system. Urban agriculture will be introduced throughout the site and on terraced roof tops, accessible to all residents of the development. This development permit application is in keeping with the intent of the CD-1 rezoning; provides greater housing opportunities and public amenities within this community, all in keeping with a triple bottom line approach of social, environmental, and financial sustainability.

## Recommendations at Rezoning

Prior to approval by Council of the form of development, the applicant shall obtain approval of a development application by the Director of Planning, who shall have particular regard to the following:

Overall Form of Development - The following are site-wide conditions to be addressed at the time of submission of the first Development Application

### Urban Design

1. (ii) the maximum height of Block D shall be no more than eight storeys;

Note to Applicant: Given the proximity of this proposed ten-storey building to the Mansion and Italianate Garden to the east, and its position southeast of the Copper Beech area, some reduction is required to reduce the visual scale of the highest mid-rise portions of this building relative to the three-storey Mansion and adjacent gardens, and to reduce shadowing. The other portions of the building should step down to lower forms at West 57<sup>th</sup> Avenue in the range of three to seven storeys. Response should reflect the advice of the Urban Design Panel to "calm" the massing and simplify the forms with less stepping in plan and less terracing.

**Applicant's Response:** Block D building height has been reduced to eight storeys above adjacent grade. See Site Plan on A-041. See Block D Design Development on Sheet 1(ii).

**Staff Assessment:** *Staff confirm that the maximum height in storeys meets the requirement for this Phase 2 building, located to the southwest of the Mansion. Further design development of Block D to better express the three-storey elements is recommended in condition 1.4.*

1. (iii) the maximum height of Block G shall be no more than seven storeys;

Note to Applicant: Given the proximity of this proposed eight-storey building to the residential neighbours to the north and to the Mansion immediately to the east, and the higher elevation of this part of the site, some reduction is required to reduce the visual scale and potential overlook from the mid-rise portion toward the existing residences and to reduce the prominence of this new building relative to the Mansion.

**Applicant's Response:** Block G building height has been reduced to seven storeys above adjacent grade. See Site Plan on A-041. See Block G Design Development on Sheet 1(iii).

**Staff Assessment:** *The maximum height in storeys meets the requirement for this Phase 2 building to the west of the Mansion.*

1. (iv) the maximum height of Block F shall be no more than nine storeys.

**Applicant's Response:** Block F building height has been reduced to nine storeys above adjacent grade. See Site Plan on A-041. See Block F Design Development on Sheet 1(iv).

**Staff Assessment:** *The building height in storeys meets the requirement for this Phase 2 building facing Adera Street to the west and The Beeches public space to the north.*

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2. Reduction in the height of other building portions not noted above in Condition 1, to step down from seven to three storeys at the site perimeter.

**Applicant's Response:** In general, building portions not noted in Condition 1 step down from seven to three storeys at the site perimeter in accordance with city staff recommendations. Blocks D and E feature three-storey bays along the street to relate to the single family homes across West 57<sup>th</sup> Avenue. Blocks F and G step down further to two-storey bays in response to the quieter character of Adera Street. As per our approved rezoning submission, the fall equinox sun angle is used as the limiting factor in determining the building heights along the north edge of the proposed development. The terracing building forms are sensitive to the neighbours across the street while striking a balance between density and building height. See Site Plan on A-041. See also detailed street sections and view analyses of each block on A-070 to A-074. See Block E Design Development on Sheet 2

**Staff Assessment:** *Block F proposes a continuous three to four-storey element relative to the existing grade of Adera Street, with intermittent two to three storey bays, which meets the intent of this condition.*

3. Provision of setback distances from new building portions above four storeys to the property line, to achieve the optimal balance of new development with the preservation of privacy, visual scale and tree retention, in the opinion of the Director of Planning.

Note to Applicant: This can be accomplished by setting these higher building portions below the view line of a pedestrian on the south side of West 57<sup>th</sup> Avenue, the west side of Adera Street, and a similar distance on the north side, as compared to four storey buildings building over the existing townhouses on the site. Consideration will be given to the screening effects of retained trees, which should be included in view, studies of the revised proposal. Distances are to be noted on the site plans.

**Applicant's Response:** See Site Plan on A-041. See also detailed street sections and view analyses of each block on A-070 to A-074.

**Staff Assessment:** *The drawings show a range of setbacks and dimensions. Staff recommend that consistent setbacks be established in condition 1.2.*

4. Design development to the site-wide aspects of the design through plans and other drawings, including:
  - 4.(i) a creative strategy to blend new taller buildings into the new and retained landscape at the perimeter of the site;

Note to Applicant: Staff acknowledge the mitigation provided by increased setbacks and tree retention. Intent is to support the "hidden garden" character of the site identified in the application, and to help mitigate some of the visual effect of new mid-rise development in this low-density context. Examples include the use of green walls and other vertical planting, special cladding treatments, and other measures not typically found in standard development. In addition to an overall strategy, specific measures should be identified and located on the drawings. Consider in conjunction with separate condition regarding privacy and overlook.

**Applicant's Response:** We understand the intent of this condition is to diminish the visual impact of the new structures on the neighbouring residents. We believe the

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strategies such as increased building setbacks, green terracing, and reduced heights, will minimize the visual impact of the new structures.

The landscape design proposes strategies at both the ground level and the roof levels to support the "hidden garden" character of the site and mitigate the visual effect of the development to the surrounding neighbourhood. We are proposing to screen the buildings with planting and mature trees as an alternative to green walls. Although we have used green walls on past projects, they are not suitable for residential developments because residential buildings have a relatively high percentage of wall surfaces as glazing leaving limited space for planting. We anticipate the monthly cost of maintaining green walls would become a burden on strata owners. As an alternative, we have introduced tall, full canopied trees along the perimeter of the site to infill the existing mature stand of retained trees and to blend the new buildings into the retained landscape along the perimeter of the site.

A significant number of mature trees are proposed to be retained around the perimeter of the site which will assist in screening the site. Where existing mature trees have been removed, replanting with larger caliper trees is proposed. These replacement trees will be 20' high at time of planting with a projected mature height of 50' - 60'. Along the full frontage of Granville Street there is a row of 50' - 90' high trees being retained. The existing character here will be little changed. Along West 57<sup>th</sup> Avenue a total of 19 existing trees are being retained. The breaks between these trees are planted with deciduous shade trees and specimen Japanese maples (at the front entries to the buildings). Along Adera the mature Linden trees in the public boulevard are being protected and retained. Inside the property line, the Adera street poplars are to be removed as per Phase 1 development permit conditions. The replacement trees consist of a mixture of large caliper deciduous shade trees (20' high at time of planting) that reach a mature height of 50' as well as coniferous trees (evergreens) that are proposed to be 14.5' high at time of planting with a projected mature height of 40' - 70'. The inclusion of coniferous trees will help to create a year-round green screen along Adera. To further create a layered effect along Adera, smaller trees are also proposed (such as magnolias) between the conifers and the large shade trees. For detailed planting please refer to the plant list and the overall site plan for the tree locations. Refer to L1.9 for Adera Street Tree Management Plan.

Finally, along the lane at the north side of Phase 2, a total of 26 mature trees are being retained, preventing overlook from Block G and screening the new buildings from the neighbours.

To aid in mitigating the visual effect of the mid-rise development inside the site, further layering of green is proposed at the upper levels of the buildings. Planting is proposed in planters at various levels as the building steps back. Intensively planted roof top gardens, urban agriculture plots and tree planting on the various roof decks are an important aspect in achieving a green effect at the upper levels of the project. See L 1.20 - 1.25.

The building cladding is designed to blend the proposed buildings with their context. The lower portions of the buildings, generally up to the first shoulder or major step in the massing, are clad in light coloured Swisspearl panels on the interior courtyards and brick on the street elevations. The window mullions and the window liner will be of a highly contrasting colour to provide visual interest. Upper floors, generally recessed, are clad in the white Swisspearl panel. Often, these upper floors will also have a higher percentage of glazing than the lower floors.

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This will also cause the upper floors to recess from view as the glass will reflect the sky.

The conservation of the heritage perimeter wall contributes greatly to maintaining the “hidden garden” character of the site. While new openings are introduced to provide access and create new vistas to the Mansion and other heritage features, 87% of the existing perimeter wall area will be retained.

*Staff Assessment: Staff acknowledge the challenge of ensuring that innovative designed landscape measures such as green walls are maintained over time by third parties such as strata councils. However, tree planting and the retention of the designated heritage wall along the perimeter of this site are not building strategies per se. Further design is recommended in condition 1.3.*

4. (ii) further design development through plans and enlarged drawings that illustrate how the new perimeter treatment will create new views or reinforce the historical screening effect;

Note to Applicant: Response should show how the recommendation of the Urban Design Panel to “play up the hidden aspects and mystery behind how the site is perceived from outside its property, while also revealing important views into the project” will be met.

**Applicant’s Response:**

Through the retention and protection of the perimeter screen of trees and the retention of the heritage wall, the “hidden garden” aspect of the site is being retained. While every attempt has been made to have as few breaks in the perimeter wall as possible, there is also a strong desire to introduce new views into this historic site, unveiling it to the community and modifying its image as a ‘gated community’. Generous 10’ wide openings create welcoming public access points and main building entries. From the public entry point on Adera Street, one will have an axial view through the heritage copper beaches, towards the Mansion behind. The public path in Phase 2 runs between Blocks F and G and connects to the rest of the public path system (see L 1.4) for Wayfinding Plan). Other public openings lead directly to the main building lobbies and do not provide views to the interior gardens beyond.

Smaller openings are introduced to provide access to the townhomes at the perimeter of the site. In general two townhomes share one perimeter wall opening as a method to minimize the number of openings required while balancing the desire for individual identity of each townhome residence. To reinforce the historical screen effect, new freestanding walls with light and address identification are introduced directly behind the new townhome wall openings. The overall development (Phase 1 & 2) retains 87% of the existing perimeter wall. See Landscape Plans for townhome entries and L2.1 for Sections of townhome entries. See also H-PW-101C for perimeter wall retention plan.

Finally, smaller gated entries into the private courtyards are on axis with new contemporary private courtyards, offering glimpses of new landscape plantings and ‘hidden gardens’ inside.

*Staff Assessment: Staff support the proposed approach, in general. The landscape of this phase has been well developed. The Urban Design Panel also felt that the landscape design was well handled for both the perimeter of the project and the interior courtyard spaces.*

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4. (iii) consideration to develop a greater variety of architectural expression at the perimeter of the site, to be more responsive to the single-family buildings nearby;

**Applicant's Response:**

Through the consideration to develop a greater variety of architectural expression at the perimeter of the site, to be more responsive to the single-family buildings nearby; Phase 2 features a number of architectural expressions developed to provide a greater variety and visual interest from the public realm, and to be more responsive to the single family buildings nearby. Viewed from the site perimeter, the 3 and 4-storey Townhome expression is the most prominent portion of the new buildings. There are three distinct types of Townhome expressions proposed. The interplay of different combinations of a family of cladding materials creates a distinctive identity for each block while maintaining an overall sense of consistency.

Townhome (Shannon Green) - the design of the public park-facing townhomes corresponds with the proposal for the eastern side of the park in Phase 1.

Townhome (West 57<sup>th</sup> Avenue) - Primarily clad with white Swisspearl and stack bond masonry, the architectural expression for the West 57<sup>th</sup> townhomes is a variation of the Shannon Green townhomes. Along West 57<sup>th</sup> Avenue, the building scale will be slightly larger than on Adera Street. Blocks D and E incorporate a 3 storey townhome form which provides a rhythm and scale appropriate to that street.

Townhome (Adera Street) - The Adera Street townhomes are clad with a more refined and warmer Prodema (wood phenolic) panels in response to the quieter character of the street. The massing of the townhome form further reduces to 2 storey on Blocks F and G. See conceptual diagram on Sheet 4(iv). See architectural expressions and precedent imagery on Sheet 4(iv). See Section 2.0 of Submission Booklet.

**Staff Assessment:** *Staff accept the response to this consideration item.*

4. (iv) development of a strategy to identify and locate the appropriate extent and use of the proposed materials and forms for new buildings;

Note to Applicant: The proposed materials palette and the form and composition of built precedents are indicated in a general way in the application, as is appropriate for a rezoning. Noting the way the grades, heritage context, neighbouring buildings and other qualities of the site vary significantly around the site, further design development is recommended to indicate where and how these should be different or varied for each.

**Applicant's Response:** Through a strategic use of a limited material palette, the various buildings of both Phase 1 and 2 all relate to one another yet are not homogeneous. Each building will remain sensitive to its specific position on the site and its context in the neighbourhood.

The proposed material palette includes masonry cladding for the townhome structures and a larger-scaled Swisspearl panel on the larger building elevations. We have selected to limit our material palette on the new buildings in an effort to create a quiet architectural background which defers to the rich red brick and

ornately detailed architecture of the heritage buildings at the centre of the estate and the lush landscaping in the site.

The module of the materials will vary, being smaller on the townhomes and larger on the midrise buildings. Glazing will have a soft grey tint and window mullions will be a bronzy grey. In some cases this will highlight the “punched window” expression, and in other areas, where we are seeking a quieter expression, will match the darker metal panel cladding.

Playful - In the various public and private garden rooms, the architecture take on a more playful expression. Protruding staggered balconies with colour glass guards form an animated contrast to the generally quiet and calm elevations which predominate.

Calm - the majority of the new buildings strive to be a calm, quiet backdrop to the rich “evolving cultural landscape” that is the essence of Shannon Estate.

Mid-rise - The mid-rise portions of Blocks D, F, and G feature a primarily horizontal expression with their generous balconies. The form of the mid-rise blocks is sculpted to reduce the perceived mass of the building, as well as to provide more views to the heritage features on the site. The penthouse exterior stair enclosures are clad with perforated copper panels to relate to the historic material used in the restoration of the Mansion and Coach House.

See conceptual massing diagram on Sheet 4(iv).

See architectural expressions and precedent imagery on Sheet 4(iv).

See Section 2.0 of submission booklet.

**Staff Assessment:** *Staff accept the proposed palette of material and forms in general, but recommend further work on the expression of the buildings and creating greater variety in the character or detail. Further development is required to bring more human scale and interest to some parts of the project, and break its monolithic appearance. This issue was a concern of both the Urban Design Panel and Staff. Therefore Design Condition 1.6 was added to address it.*

4. (vi) further development of the design of the interface between public and private landscapes;

Note to Applicant: Consider the comments of the Urban Design Panel, CPTED principles, historical compatibility, and the opportunity to create a unique and distinctive solution for this site. Response should include indicative designs that guide subsequent development permit applications and establish a high quality of materials.

**Applicant’s Response:** A developed proposal regarding the interface between the public and private landscapes has been included in the attached Landscape documents. Large scale plans, elevations and sections illustrate the detailed treatment of the project’s public and private landscape interfaces, including low profile security gates, landscape lighting, raised planter walls and site wide project signage.

The project wide approach to treat the public and private interface is to provide security fencing for only those residences that front directly onto a public area. Thoughtfully located gates provide a sense of security to the resident, privacy to the visitor and to help identify private from public space. Gate heights vary

depending on their context - fences around private patios tend to be lower, around 3', thus allowing for views out to the landscape from seated positions on the decks. Continuous independent runs of fences hidden in the landscape tend to be higher and set back from the paths. Private patios facing private courtyards are not gated, as the courtyards themselves are gated. Throughout the entire site, strata controlled gated entries through the fences allow residents to move freely through the site.

Regarding the issues of Crime Prevention through Environmental Design (CPTED), our focus has been on two strategies: firstly, the creation of clear sightlines outside and inside the private gardens, and secondly, the provision of sufficient outdoor light levels including lighting in the planting to eliminate dark corners. The public path system will be lit primarily by landscape bollards, enhanced only by custom lighting interventions in site specific lighting interventions. Lighting for public areas will be sensor controlled, allowing for a gradation of light levels related to time of day and public use.

**Staff Assessment:** *Staff accept the proposed approach, in general.*

5. Design development to limit the gross floor area of each new block, before exclusions and after responding to the conditions of approval, to those sizes shown in the application.

**Applicant's Response:** The total gross floor area for all new buildings in Phase 2, before exclusions and after responding to the conditions of approval, is: 455,480 sq.ft. The total gross floor area for the full development is less than the permitted and therefore meets the FSR conditions of the site zoning. Detailed breakdown of each block is listed in the chart below.

As a result of the minor cut & fill adjustments made to each block, the Phase 2 buildings are simplified and visually less busy, which we believe addresses one of the major design critiques we heard from the Urban Design Panel. See massing analysis for each block on Sheets 1(ii), 1(iii), 1(iv), and 2.

PHASE 2 NEW BUILDINGS GROSS FLOOR AREA (sq.ft)			
Building	Approved Rezoning (July 2011)	Phase 2 DP	Difference in %
Block D	128,945	114,173	-11.5%
Block E	106,692	106,492	-0.2%
Block F	117,273	113,600	-3.1%
Block G	125,162	121,215	-3.2%
Total Phase 2 Gross Floor Area	478,072	455,480	-4.7%

**Staff Assessment:** *Staff confirm that the application meets the area limits established at rezoning.*

6. Development of a more sustainable design to establish best practices for large sites in response to the second Guiding Principle approved by Council for this property, including:

- 6 (i) provision of a response to the terms and goals in this principle; (*see pg 18 of application*);

Note to Applicant: While the application responds to the EcoCity policies, as required of all rezoning proposals, and many of the goals in the policies and principles overlap, there are also differences in goals, such as passive solar design, and the level of accomplishment as a best practice.

**Applicant's Response:** The architectural and landscape design of the project is strongly informed by the design principles established in the Rezoning document. Best practices and initiatives that support sustainable design for large sites are consistently pursued. We recognize that improving upon conventional standards and systems across a site of this size and character is a unique opportunity where the compounding effects of applying energy efficient alternatives and strategies, both passive and active, will reap exponential benefits. Through both large and small design decisions, we have established high standards that meet or exceed the city's EcoCity policies while considering the health and thermal comfort of the occupants of the site. Our site-wide strategies to mitigate unwanted solar gains/heat loss and reduce energy use include natural ventilation, hydronic heaters, solar shading, high performance envelope design detailed to minimize thermal bridging and heat loss, thoughtful space planning, solar hot water technology, heat recovery ventilators, limiting the window to wall area ratio to approximately 45% on average, and high performance glazing with low u values, low-E coatings, and thermally broken frames.

Larger site-wide gestures include district energy air source heat pumps; the implementation of a site-wide stormwater water management plan; a significant reduction of impervious surfaces across the site; the collection, treatment and storage of stormwater; energy-efficient and non-polluting light fixtures; car-share vehicles for both residents and public use; and the inclusion of neighbourhood retail on site. By utilizing the density of the site and applying a rigorous design, we hope to establish a high standard for both environmental sustainability and livability across the site.

We have addressed specific issues pertaining to sustainable large sites as they relate to the EcoCity Policies of:

1. District Energy Screening and Feasibility - Phase 2 will connect to the site-wide DEU system proposed as part of Phase 1. Applicant team is currently working together with various CoV departments, Wall Financial, and district utility provider to develop detailed design for the DEU system.
2. Sustainable Site Design - see response to Condition 6(iii).
3. Green Mobility and Clean Vehicles - See Green Mobility and Clean Vehicles Strategy report prepared by MMM Group dated May 8 2013.
4. Rainwater Management - Phase 2 will follow the Storm Water Management approach approved in Phase 1. Detailed calculations for Lot 4 are being prepared by CitiWest Consulting Ltd. See Rainwater Management Plan prepared by CitiWest Consulting Ltd. Dated August 15 2012.
5. Solid Waste Diversion - The project's construction diversion target is 80%. This is in line with other developer projects in Vancouver that achieve two credits within LEED Canada MRc2. Lessons learned from previous projects indicate that more

attention needs to be paid to recycling rooms to ease the separation / segregation of waste streams. While most developer projects do not prioritize recycling / garbage rooms, this project will take lessons from projects like Dockside Green. Effort will be made to encourage source separation through the use of signage and bench space for sorting of materials. A dedicated area for organics collection will also be provided. By improving the resource recovery room (will not be called a garbage room), the project hopes to divert 75% of waste (25% better than the current average) on an ongoing basis. Relationship with groups who collect clothing (Salvation Army, etc.) will be explored to encourage the diversion of clothing from the waste stream. This along with an area for paint, battery, light bulbs, electronics, and other materials will be included to ensure that hazardous material diversion is prioritized and that every time used at Shannon Estate has at least a second life. Phase 2 is 455,480 sq.ft. (42,315 m<sup>2</sup>) with 1,800 sq.ft. (167 m<sup>2</sup>) dedicated to resource recovery. This amount is more than 3 times larger than the suggested allocation for recycling space within a large commercial project. See also Waste Diversion plan prepared by Waste Management of Canada dated May 6 2013.

Commercial Building (m <sup>3</sup> )	Minimum Recycling Area (m <sup>3</sup> )
0 to 465	7.6
466 to 1,400	11.6
1,401 to 4,650	16.3
4,651 to 9,300	20.9
9,300 to 18,600	25.6
18,600 or greater	46.5

6. Sustainable Housing Affordability and Housing Mix - Shannon Estate would be able to achieve a Simpson Diversity Index score of 0.75. A score of 0.75 exceeds a typical development in downtown Vancouver and would achieve 3 points under LEED for Neighbourhood Development (ND) under NPD Credit 4: Mixed Use Income Diverse Communities. The goal of this credit is to enable citizens from a wide range of economic levels and age groups to live within a community. Typical Vancouver developments do not provide sufficient housing diversity to meet the requirements for this LEED NC credit.

Housing Categories (as defined in LEED ND v1.0)	Phase 1 (n)	Phase 2 (n)	Total (n)	(n/N) <sup>2</sup>
1. Detached residential large - (>1,200 sq.ft.)	1	0	1	0.0000
2. Detached residential small - (<1,200 sq.ft.)	n/a	n/a	n/a	n/a
3. Duplex or townhouse - large (>1,200 SF)	19	24	43	0.0041
4. Duplex or townhouse - small (<1,200 sq.ft.)	14	0	14	0.0004
5. Multifamily dwelling in a building with no elevator - large (>750 sq.ft.)	4	0	4	0.0000
6. Multifamily dwelling in a building with no elevator - small (< 750 sq.ft)	n/a	n/a	n/a	n/a
7. Multifamily dwelling in a building with elevator 4 stories or fewer - large	8	0	8	0.0001

Housing Categories (as defined in LEED ND v1.0)	Phase 1 (n)	Phase 2 (n)	Total (n)	(n/N)^2
(>750 sq.ft.)				
8. Multifamily dwelling in a building with elevator 4 stories or fewer - small (<750 sq.ft.)	n/a	n/a	n/a	n/a
9. Multifamily dwelling in a building with elevator more than 4 stories and fewer than 9 stories - large (>750 sq.ft.)	17	44	61	0.0082
10. Multifamily dwelling in a building with more than 4 stories and fewer than 9 stories - small (<750 sq.ft.)	218	42	260	0.1488
11. Multifamily dwelling in a building with elevator 9 stories or more - large (>750 sq.ft.)	0	119	119	0.0312
12. Multifamily dwelling in a building with 9 stories or more - small (<750 sq.ft.)	0	161	164	0.0592
13. Live/work large (>1,200 sq.ft.)	n/a	n/a	n/a	n/a
14. Live/work small (<1,200 sq.ft.)	n/a	n/a	n/a	n/a
15. Accessory Unit - large (>1,200 sq.ft.)	n/a	n/a	n/a	n/a
16. Accessory Unit - small (<1,200 sq.ft.)	n/a	n/a	n/a	n/a
<b>Total</b>	<b>281</b>	<b>390</b>	<b>671</b>	<b>0.2522</b>
<b>Simpson Diversity Index Score = <math>1 - \frac{\sum(n/N)^2}{N}</math></b> n = total number of dwellings in a single category N = total number of dwellings in all categories	<b>0.75</b>			

**Staff Assessment:** *Staff acknowledge the measures undertaken to meet Council's city-wide policies for greener buildings and large sites as required of rezoning, and the illustrative diagram provided on sheet 6 (iii), but recommend that a better distinction among the requirements be provided in response to the Guiding Principle established for this site. This can be accomplished as noted in Condition A.1.3.*

- 6 (ii) Provision of a strategy that responds to the principles of passive solar design;

Note to Applicant: Pursuing the incorporation of passive solar design is a specific goal of the Guiding Principles for this site. The application's proposal to reduce solar heat gain with sun shades is acknowledged, and has the potential to reduce the electrical energy consumed by air conditioning units. However, there are several other goals that can be achieved through passive solar design, such as space heating, water heating, and building cooling. Determine which of the five other key passive solar concepts are best feasible on this site and where they may be located. Examples successfully

employed in the Canadian context include the use of sunwalls for the preheating of air, the use of atria to improve building cooling through the stack effect, and the use of thermal storage through building mass. Other examples include the use of phase-change materials to slow indoor temperature swings, thermosiphon solar water heating, the arrangement of buildings on an east-west axis, the minimization of west facing window areas, the avoidance of a high glass to wall ratio, the avoidance of a high building surface area to volume ratio. Solar strategies that benefit the site as a whole with minimal use of mechanical means, such as solar heating of pool water, should also be employed wherever possible. Consider setting a specific goal such as 20% for the percentage of the required space and water heating load to be supplied on site from passive or primarily passive solar sources. Passive solar fixtures needed to meet the strategy should be identified and located on the plans.

**Applicant's Response:** Through project specific modeling and study we will be incorporating the following passive solar concepts into the design:

- Low ratio of vision glazing to insulated wall, we are averaging approx. 45% glazing.
- Balcony design provides shading to south and west facing walls of the buildings. A strategy utilizing deep inset balconies and random balcony extensions and privacy screens which provide shading on adjacent windows will be applied to the buildings across the site.
- High performance Low E glazing has been proposed and a premium is being paid for tempered glass which will allow us larger sheets of glass thus the ability to minimize the number of mullions which are a major contributor to thermal transmission of energy.
- All units have multiple operable window vents for natural ventilation
- Extensive perimeter planting provides shading of lower floor windows (generally the bottom 4-5 floors)
- We are proposing a solar hot water strategy for preheating domestic hot water. Solar hot water arrays provided on the roofs of Blocks D, F, and G. The amount of solar energy collected will fluctuate depending on the season but on average, over the course of the year, it is projected that 60% of the domestic hot water needs of the occupants shall be met.
- Our DEU is designed with the potential of providing heating and cooling.

*Staff Assessment: Staff accept the response to this item.*

- 6 (iii) Development of a design that would establish best practices for a large site;

Note to Applicant: The response should reflect the opportunities on this site due to its unique size and character. For example, this site has better solar access than a typical downtown site, due to its significant southfacing slope and the very low buildings nearby, but less access to green mobility options. As noted in the application, a wider range of possibilities exists on this particular site. Consider the collection grey water for reuse on site. Consider more ambitious and concrete measures, such as a site-wide installation to collect Vancouver's plentiful rainwater in a visible and architecturally-integrated system of channels that takes advantage of the natural slope of the site to supply irrigation needs, create an opportunity for on-site art, activate a tipping bucket, animate children's play areas, slow surface runoff, provide stormwater retention, and then recharge groundwater supplies. Consider how this system could be connected to the on-site treatment of wastewater. Conventional examples from large sites in the Vancouver context include the provision of LED lighting for exterior lighting of common access pathways and open spaces, and the provision of on-site stormwater retention tanks. Full-cut-off or Dark Sky compliant fixtures should be a requirement across the

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site, in addition to each building, to reduce light pollution. For green mobility, consider the provision of shared bicycles for residents use, in combination with at-grade covered areas for bicycle parking. Consider establishing a specific goal for stockpiling a substantial portion of the building materials such as bricks and wood from the townhouses to be demolished to reduce construction waste, and establishing specific goals for their re-use in the new development. The location and type of built features should be indicated through notes and drawings, including the site plan. Provide an indicative design for best practise building envelope for new multiple dwellings. See also Landscape Conditions.

**Applicant's Response:** The unique size of this site provides us with opportunities not seen on smaller, more urban sites. The following list contains site-wide design features that distinguish this proposal from merely satisfying existing policies or rezoning conditions:

- Retention and full restoration of heritage buildings, perimeter wall, and gardens
- Retention of large stands of mature existing trees
- Provision of a diverse mix of residential unit types
- Provision of retail space to serve local neighbourhood (Phase 1)
- Extensive network of accessible private and public pedestrian pathways throughout the site
- Provision of secured bike parking at grade as much as possible
- Protection of natural habitat through retained and increased setbacks from property line
- Maintaining a site coverage of only 33.3%
- Provision of more than 30,000 SF of landscape area with 3ft of soil depth above underground parkade
- Provision of solar hot water system
- Provision of urban agriculture plots that exceed the city guidelines by 150% (site wide)
- Implementation of interpretive system for visitors and residents
- Provision of accessible exterior landscape and gardens for use by all age groups, both public and private
- Private park / green space dedication
- Public park / green space dedication

See sheet 6(iii) of drawing set for overall site plan highlighting the various design features.

*Staff Assessment: Staff accept the response to this item.*

7. Provision of 20% of all dwelling units designed to SAFER Homes standards, to facilitate aging in place and a diversity of ages on the site.

**Applicant's Response:** 20% of Phase 2 dwelling units will be designed to SAFER Homes standards. The designated units, labeled as "SAFERHOME" are distributed amongst Blocks D, E, F, and G. See submitted drawing set. "SAFERHOME" denotes suites designed based on the criteria outlined in the Saferhome Standards Manual. Design features include offsetting of bath & shower controls, 34" minimum door widths, and 40" minimum hallway widths.

*Staff Assessment: Labeling of the intended units is needed on the floor plans, as recommended in Condition A.1.11.*

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8. Provision of a full Landscape Plan.

Note to Applicant: The Landscape Plan should illustrate proposed plant materials (with common and botanical names, plant sizes and quantities), paving, walls, fences, light fixtures, site grading and other landscape features. Plant material should be listed on a Plant List that is clearly keyed to the Landscape Plan. The Plan should be at a minimum of 1:500 scale.

**Applicant's Response:** See L1.12 - 1.19.

**Staff Assessment:** *Staff accept the response to this item.*

9. Provision of a Landscape Lighting Plan.

Note to Applicant: The Landscape Lighting Plan is required for security purposes. Lighting details can also be added to the Landscape Plan. All existing light poles should also be shown.

**Applicant's Response:** See L1.12 - 1.19.

**Staff Assessment:** *Landscape Lighting Plan can be found on sheet L1.26.*

10. Provision of a detailed Arborist Report.

Note to Applicant: The Report must confirm the retention/relocation and provide specific safe distances to excavation from existing trees to be retained, as shown on the Landscape Plan, with particular attention to the retained Beech Trees.

**Applicant's Response:** An updated arborist report that responds to the further development of Phase 2 design is included. Current counts for tree protection and removal are provided. Additionally, a dimensioned tree protection and retention drawing has been provided to confirm safe distances to excavation from existing trees. Protection of the three Copper Beech trees in the north portion of Phase 2 has been considered a high priority throughout the planning for Shannon Estate. The underground parkade has been designed to leave a generous protection zone around the Beeches and three Maples nearby. The current design maintains a large area which will be kept at the existing contours around the trees. To minimize impacts on the trees, the pedestrian path and its stairs have been designed to meander outside the minimum root protection zone and grades for the path have been set just above the existing grade to minimize disruption to tree roots.

**Staff Assessment:** *Staff accept the response to this item, however, further information is required: a) the addition of dimensions to the tree protection barriers to confirm clear safe distance from tree trunks; and b) the addition of an accurate canopy measurement for the heritage Beeches, in order to ensure there is no conflict with Building F as recommended in Condition 1.7 and Standard Condition A.1.25.*

11. Provision of a Tree Retention/Removal/Replacement Plan.

Note to Applicant: The Plan should clearly indicate tree types and a schedule of tree types, sizes and quantities. The Plan must be cross referenced to the Arborist Report.

**Applicant's Response:** A dimensioned Tree Retention and Removal drawing has been provided to confirm safe distances to excavation from existing trees. The

drawing is cross referenced to the Arborist Report. For replacement plants refer to Landscape Planting Plans. See L 1.5 - 1.9.

**Staff Assessment:** *Staff assessment as above.*

12. Provision of way-finding and access through the entire open space system and provision of details or images illustrating the proposed entry announcements at the main entries to the site.

**Applicant's Response:** A specialized sign design consultant has been employed to design the site interpretative system and all site signage. As such, a high quality of site wide signage that is consistent in form and material and contextually relevant to the interplay between the heritage elements and the new contemporary architecture is achieved. See Section 5.0 Wayfinding & Interpretive Signage of Submission Booklet.

**Staff Assessment:** *Staff accept the response to this item.*

13. Provision of details of the intended use of the Play Area shown in "Shannon Green".

**Applicant's Response:** Condition satisfied as part of Phase 1 development Permit (DE 415627).

**Staff Assessment:** *As each Play Area is different, separate details for each should be provided to specify materials, notations, equipment, etc. as recommended in Standard Condition A.1.29.*

14. Provision of planters to provide shared, on-grade gardening opportunities for residents.

Note to Applicant: While the proposed rooftop planters and ongrade fruit trees are appreciated, these may be isolated from each other and limited in soil depth. Given the site size, there is an additional opportunity to bring neighbours from different buildings or even nearby properties to share the work and rewards of gardening. A Kitchen Garden is labeled on the site plan northwest of the Mansion, and this may be the optimal location, but no design for planters or their accessibility is indicated as yet.

**Applicant's Response:** Two on-grade kitchen gardens have been provided as part of Phase 1 outside the Mansion. The more northern one is beyond the mansion walls, gated from the public but open to all residents, with in-ground beds and supported with a small kid zone, seating areas, drinking fountain, composting facilities and the use of the tool storage room located in the basement of the mansion. Another kitchen garden for strata residents is located on the terraces that steps up from the basement of the mansion to the pool deck itself. Both these gardens are not over parkade.

**Staff Assessment:** *Staff accept the response to this item.*

15. Provision of a site-wide design for the planters, fruit trees, and supporting fixtures for neighbourhood access to urban agriculture.

Note to Applicant: Staff acknowledge the intent stated in the application to provide publicly accessible urban agriculture. This may be located on-site, or by the provision of planters and support to existing public areas off-site in coordination with civic staff.

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Where such measures or feasible, they should be pursued in connection with subsequent development applications. The privacy of on-site residents and practical requirements of access for gardening should be balanced through appropriate design features that are shown on the drawings.

**Applicant's Response:** While no publicly accessible designated urban agriculture plots have been identified, the approach, instead, has been to provide publicly accessible areas of edible landscaping. Orchards with fruit trees and large swaths of edible plants are provided along public paths

**Staff Assessment:** *Staff accept the response to this item.*

16. Provision of at least 1.6 replacement trees for every tree removed during construction.

Note to Applicant: Intent is to strengthen natural systems by balancing the loss of canopy cover and plant life in the immediate area. Guiding Principles for the site call for the replication of natural systems. A higher than 1:1 ratio is recommended to compensate for the replacement of mature trees with smaller specimens, and the reduced soil depths typically associated with higher density development. The replacement ratio is based on other large site redevelopments. Consider the opportunity for fruit trees in response to City policies promoting local food supply.

**Applicant's Response:** While the number of medium to large trees we can plant does not achieve the required replacement ratio, the evolved design includes large quantities of smaller trees such as fruit trees, small ornamental trees small multi-stem trees. The Tree Protection By-law allows for the use of such trees as part of tree replacement planting, at requiring two small trees be considered as one replacement tree provided they are planted at sizes stipulated in the By-law. We have therefore counted the small trees on that basis for replacement purposes. This will result in a tree replacement ratio of approximately 1.36:1

**Staff Assessment:** *Staff accept the response to this item.*

17. Provision of street trees in front of the site where space permits, especially along 57th Avenue, in coordination with Landscape and Park Board staff.

Note to Applicant: Intent is to increase the depth and variety of trees around the site perimeter beyond that which can be accommodated on private property, and to improve the visual and environmental quality of the public realm.

**Applicant's Response:** Condition satisfied as part of Phase 1 Development Permit (DE 415627). As part of Phase 1, discussions with Park Board staff concluded that the existing plum trees along 57<sup>th</sup> would be removed and replaced with new street trees.

**Staff Assessment:** *Staff accept the response to this item, however, tree species, size and locations should be coordinated with the Park Board/ Engineering and specified on the plans as recommended in Standard Condition A.1.23.*

18. Provision of a Perimeter Wall Retention plan showing the construction, extent and treatment of each section, including removals.

Note to Applicant: Note to Applicant: The intent is to secure the design of this significant built (designated) feature, in the same way that a tree retention plan shows

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the design for natural features. Drawings should be provided at a larger scale to show how different sections, including the removal along 57th Avenue, are treated in coordination with Landscape staff. Consider marking the location of removed portions with evocative on-grade treatments integrated into the overall landscape design.

**Applicant's Response:** The Perimeter Wall Retention Plan is included in the DP Phase 2 Submission Booklet under Section 4.0. Detailed Conservation Procedures of the Perimeter Wall can be found in the Conservation Plan, submitted with the DP Phase 1 Application and approved under DE 415627.

The Perimeter Wall Retention Plan Phase 2 includes the following drawings:

H-PW-100 Existing Perimeter Wall

H-PW-101C Proposed Perimeter Wall Retention Plan Phase 2

H-PW-302C Proposed Perimeter Wall Exterior Elevations

H-PW-305C Perimeter Wall - Proposed Exterior Elevations - Part 57th Avenue & Adera Street (shows the reconfiguration of the wall along 57th Avenue at a larger scale)

H-PW-400A Perimeter Wall - Existing Stone & Brick Wall - Proposed Treatment (shows the treatment of removed wall sections by outlining the area with a limestone slab integrated into the floor and highlighting the continuation with a light strip)

The Landscape Architect's drawing set will include detailed elevations, plans and sections of the park entrance and other typical entrance situations, including signage and lighting.

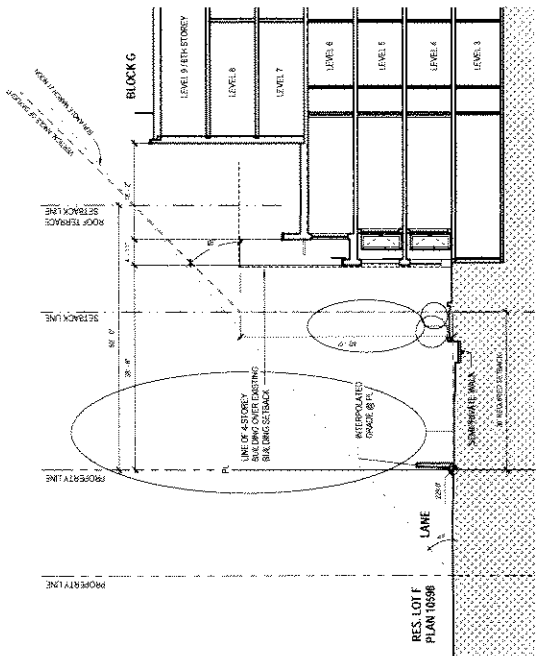
**Staff Assessment:** *Staff accept the response to this item.*

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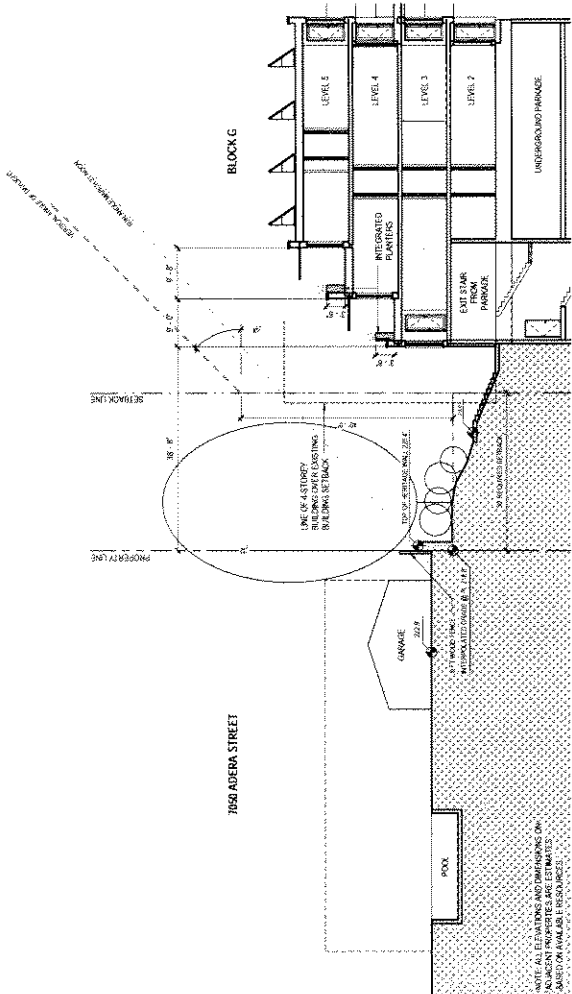


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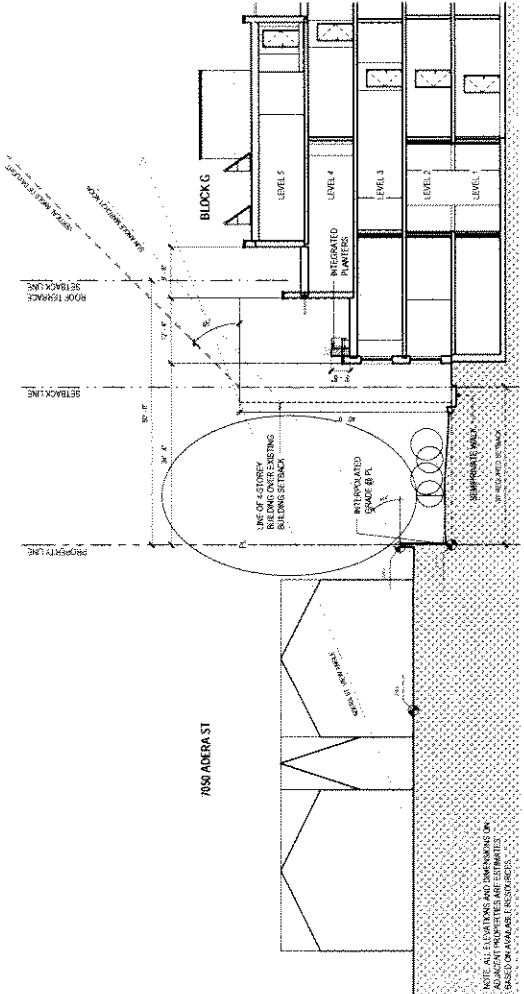
DESIGNED BY: 2013-04-06  
 REVISIONS: 2013-08-27  
 REVISIONS: 2013-07-06



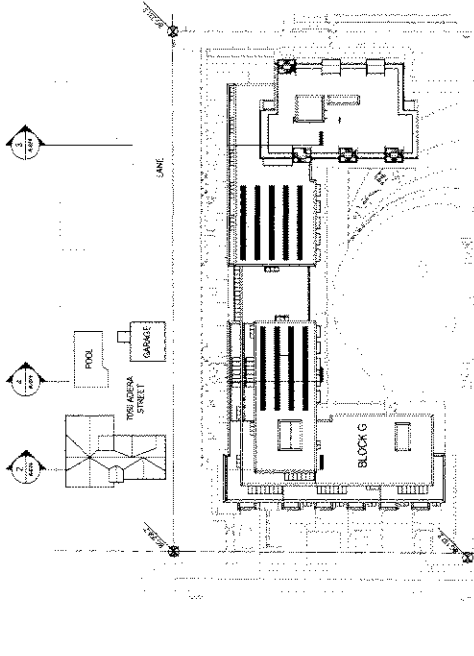
3 BLOCK G - SECTION - NORTH LANE  
 3/32" x 1/4"



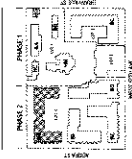
4 BLOCK G - SECTION - NORTH SIDE  
 3/32" x 1/4"



2 BLOCK G - SECTION - NORTH SIDE  
 3/32" x 1/4"



1 BLOCK G - PLAN - VIEW ANALYSIS  
 1/4" = 10'-0"



SHANNON ESTATE  
 PHASE II  
 7170 700 Campbell Street  
 Vancouver, BC

BLOCK G - DETAILED  
 STREET SECTIONS /  
 VIEW & VERTICAL  
 DAYLIGHT ANALYSIS