

PCI DEVELOPMENTS
565 GREAT NORTHERN WAY

DEVELOPMENT PERMIT APPLICATION
DECEMBER 18, 2015

PCI PERKINS
+ WILL

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December 18, 2015

Attn: Troy Tenney
City of Vancouver
Planning Department
453 West 12th Avenue
Vancouver, BC V5Y 1V4
**Re: Development Permit Application
for 565 Great Northern Way**

Dear Troy,

On behalf of PCI Developments we are pleased to submit this Development Permit Application for 565 Great Northern Way for a seven-storey office building, one-storey retail pavilion and public realm as part of the Great Northern Way Campus.

The site is located at 565 Great Northern Way and is part of the broader Great Northern Way Campus redevelopment. The proposed building is directly south of the future Emily Carr University and is bounded by the future extension to Carolina Street on the east, and the future St. George Plaza to the west.

The project is subject to the CD-1 (402) Bylaw which has recently been amended to allow for greater height at the eastern end of the site; and a lower height directly adjacent to the new plaza at the western end of the site.

The proposed building incorporates approximately 155,000 square feet of office use over seven floors, approximately 3,000 square feet of retail at grade, plaza, pedestrian spine, and three levels of sub-grade parking.

As part of the rezoning process, the development team has had ongoing engagement with the public and neighbourhood stakeholders including Emily Carr University and the St. George Rainway Group to better understand and incorporate the aspirations of the community.

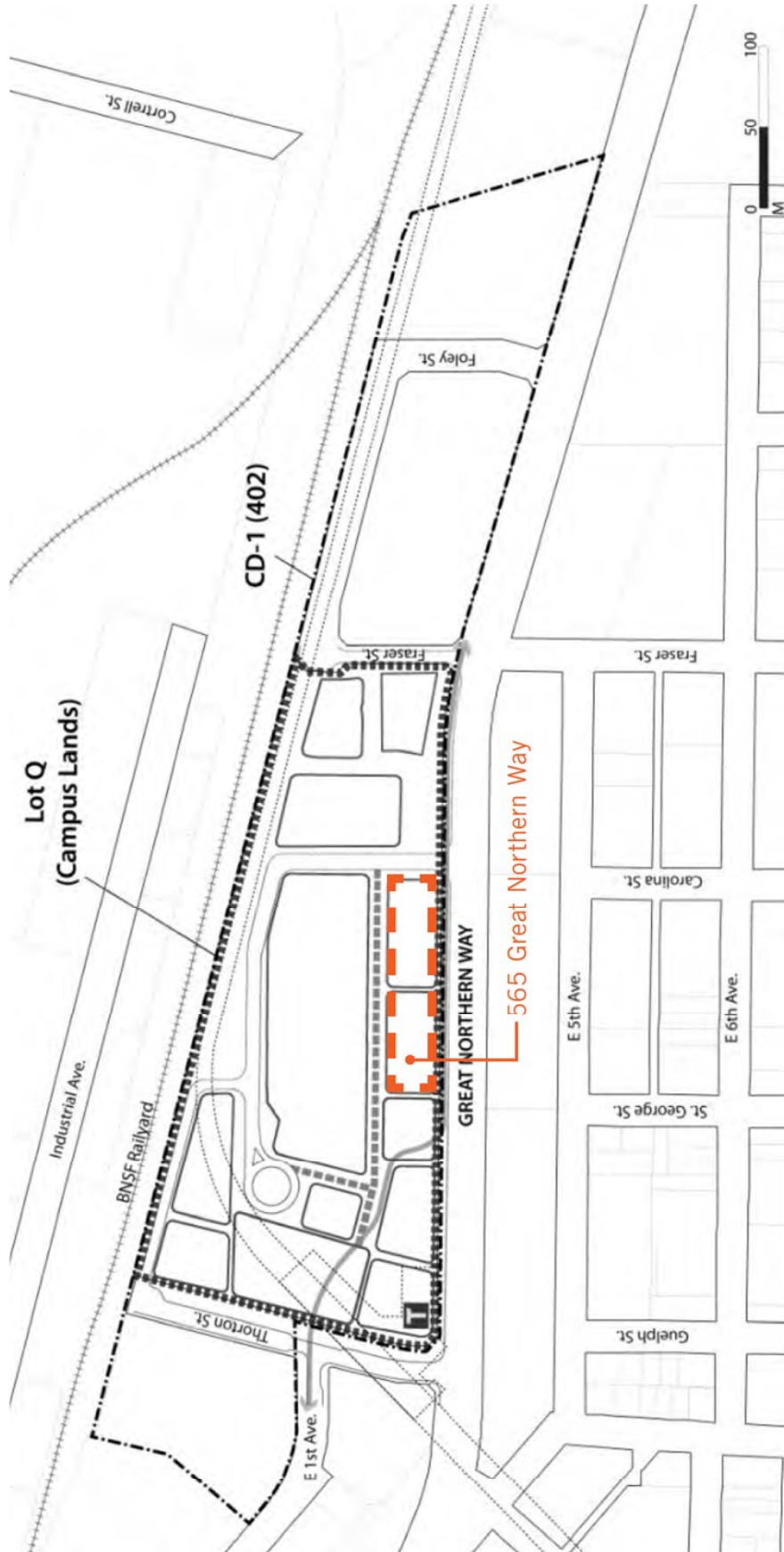
We look forward to working with the city and the community through the development permit process. Please do not hesitate to contact us if you have any further questions or comments.

Best regards,

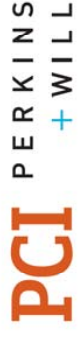


Ryan Bragg, Architect AIEC, MAA, MRAIC LEED AP BD+C
Principal
Perkins+Will

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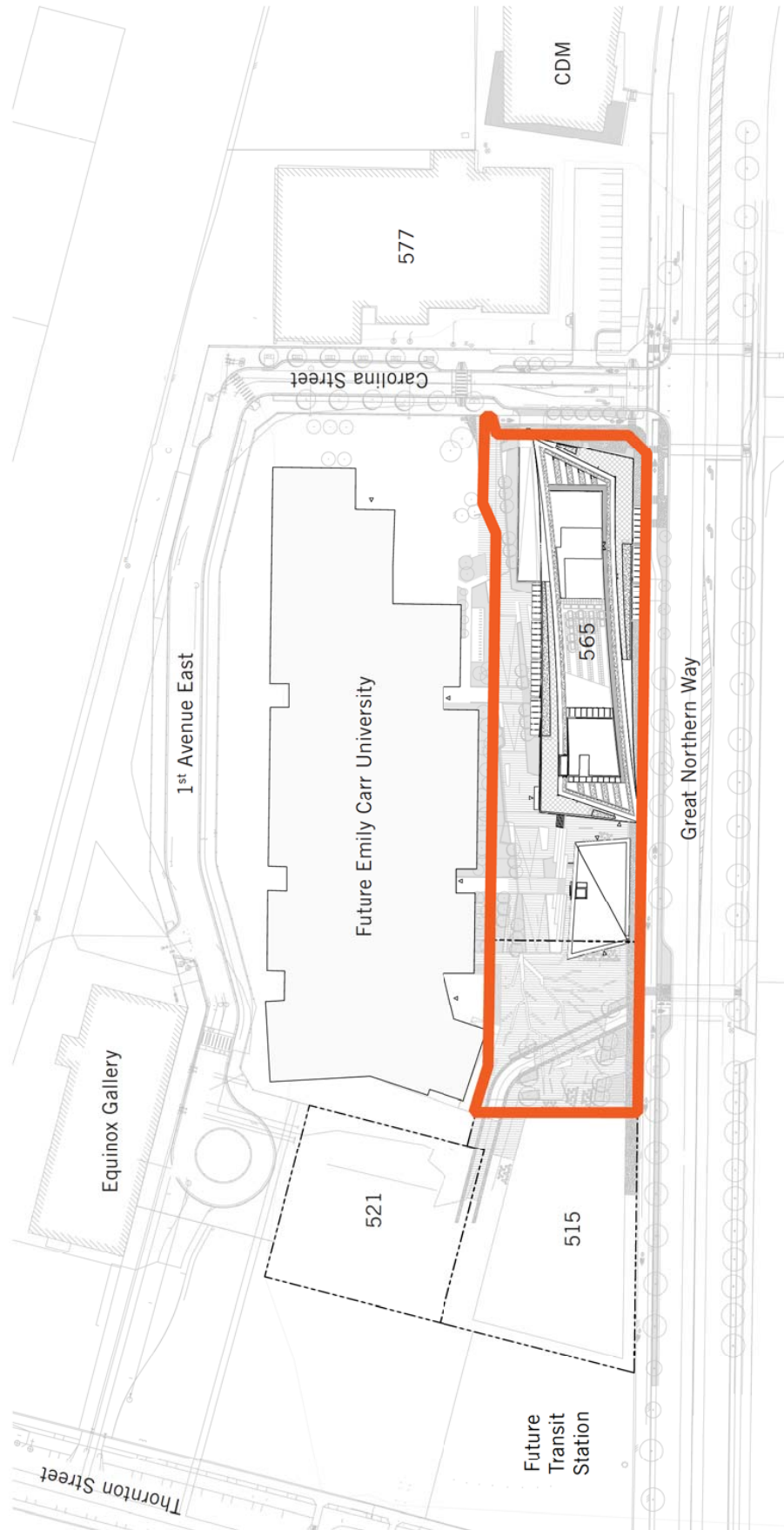


Guideline boundaries





Aerial photo looking northwest



Overall context plan

DESIGN RATIONALE

SITE DESCRIPTION

The site is located at 565 Great Northern Way (GNW) and is part of the broader Great Northern Way Campus (GNWC) redevelopment. The proposed application is directly south of the future Emily Carr University (ECUAD) and is bounded by the future extension to Carolina Street on the east, and future GNWC development sites to the west.

This proposal for 565 Great Northern Way is comprised of a seven-storey office building with a roof pavilion and occupiable roof terrace, a single-storey retail pavilion, a new public plaza, a three-storey below grade parking structure, and pedestrian spine providing access to the proposed buildings and connections through the Great Northern Way campus.

EXISTING POLICY

565 GNW falls within the Great Northern Way Campus and is subject to the CD-1 (402) Bylaw. This bylaw has recently been amended to allow for greater height at the eastern extent of the site and lower height directly adjacent to the new public plaza at the western end of the site. The revised buildable envelope profile allows for an increase to the size and daylighting of the plaza at the west end of the site. The reduced length of the office building also enhances visibility of Emily Carr University from Great Northern Way.

The entire site will be serviced by three levels of underground parking and loading, accessed from Carolina Street. The project exceeds the parking requirements under the City of Vancouver Parking Bylaw in order to provide parking for Emily Carr University and future PCI developments at 515 and 521 Great Northern Way immediately to the west. As part of these future developments, subgrade parking will be extended to connect all three PCI parcels. A second access to the underground parking and loading from First Avenue is planned in conjunction with the future phase of buildings.

As part of the rezoning process, the development team has had ongoing engagement with the public and neighbourhood stakeholders including Emily Carr University and the St. George Railway Group to better understand and incorporate the aspirations of the community.

FORM AND HEIGHT

The proposed buildings comply with the recent text amendment to the CD-1(402) Bylaw.

Located in the eastern portion of the site that allows for 100' height is a seven storey office building that extends along Great Northern Way responding to the significant change in grade along the length of the site. The building form steps back from Great Northern Way at the fifth level respecting the adjacent eastern community and establishing a parapet mid-way up south elevation of the building. The building steps back from the pedestrian spine at the sixth floor to roughly correspond with the height of ECUAD. The top storey is a small pavilion on the western end of the building that is set back from the building form and sits just below the 100' height limit. A similar pavilion on the eastern end of the building sits above the 100' height limit but is permitted as its use is for mechanical equipment.

Located west of the office building, the retail pavilion sits within the 25' height limit and has been conceptualized as a pavilion in the public plaza, extending the plaza to the eastern face of the office building. Its low height allows for greater sunlight access to the pedestrian spine as well as greater visibility for ECUAD from Great Northern Way.

ARCHITECTURAL EXPRESSION

The office building capitalizes on its long and narrow site proportion by a simple, evocative form that creates a counterpoint to the adjacent ECUAD. It is grounded by a podium level that is one storey in height at the west adjacent to the plaza and grows as the site slopes to become two storeys where the building meets Carolina Street. This podium has a highly articulated and scalloped façade that offers visual interest and rhythm with a textured metal panel at the solid returns of the scallops. The podium level also provides significant visual porosity and overlook with generous glazing along Great Northern Way and the pedestrian spine. This scalloped façade terminates in a curving and cantilevered soffit. A large, inviting vestibule where the building abuts the plaza at the west functions as the building's "front door" as well as allowing for a seamless transition from Great Northern Way to the pedestrian spine. Within this vestibule the public are provided access to parking structure. Grade level access is also provided for staff of the building through a Carolina Street access bicycle facilities. Grade level access on the north connects directly to the pedestrian spine between the public plaza and the adjacent ECUAD plaza to the north east.

Above the podium level the building is characterized by long, sinuous curving walls that will establish the building's identity. These curving walls define various two, three, and four storey volumes that share coplanar corners and "peel" away from the wall below to create a northern and southern roof decks. The southern deck occurs at the fifth floor and establishes a parapet that is lower than the pre-text amendment 60' height limit in deference to the adjacent community. A similar deck is created at the sixth floor on the north side of the building and correlates roughly with the height of the adjacent ECUAD. The east and west facades are angled, at Carolina Street to maximize site coverage while negotiating the Statutory Right-of-Way and the west to open the view and daylight access to the pedestrian spine. Solar shading is proposed on the south façade as a simple, glazed horizontal sunshade that can be edge-lit to highlight the curving façade. On the west and east, solar shading and articulation are created by vertical fins that extend from curtain wall mullion caps.

A large rooftop is accessed from the top level and accommodates office-related activities as well as a significant urban agriculture component for office users.

The retail pavilion is a simple one-storey building that provides retail functions to activate the plaza. It has been intentionally designed to be legible as a light pavilion within a large public plaza. Its roof creates the building's primary expression and is envisioned as an extension of the landscape through a tilted and twisted heavy timber roof and exposed wood soffit. Below the roof is a glazed pavilion as well as a public stair and elevator providing access to the parking structure.

SUSTAINABLE STRATEGIES

The new development will incorporate green building strategies, including high-performance glazing, integrated storm water management, and external solar shading. LEED Gold certification has been targeted for the development. A green roof at the retail pavilion and urban agriculture incorporated on accessible roof terraces of the office tower provide visual amenity and assist with capturing rainwater on site. Highly durable and locally appropriate materials and plantings, energy efficient lighting and irrigation systems, and a clear emphasis on public access and active transportation will be incorporated in the site design.

PUBLIC REALM

The pedestrian spine and public plaza create the heart of the public realm for the redeveloped Great Northern Way Campus. Its language and character create an accessible, connective ground plane that will connect from the future transit station and associated greenspace at Thornton Street to the existing GNW buildings east of Carolina Street. This design has been completed with the collaboration and input of the ECUAD design team and City planning staff.

The pedestrian spine is a series of sloped planes that are contained with CorTen planters, integrated wood benches and unit paving surfaces creating an accessible route for all. This language has been developed to respond to both the site's significant industrial heritage, and also to provide a robust landscape in response to ECUAD and the anticipated level of activity as a public conduit for the campus. Active and passive zones relate to adjacent uses, concentrating assembly around the public plaza. Retail, building lobbies, and office programs all open directly onto the spine to promote a highly animated and pedestrian friendly environment east to west and north to south.

The plaza at the west end of the site serves as the central open space within the campus and frames the primary entrance to ECUAD, as well as forecourt type spaces for retail animation from the 565 Great Northern Way pavilion, and future building at 515 Great Northern Way. The plaza is envisioned as the central public open space within the larger campus precinct, centered between the East Arts Court of ECUAD on Carolina and the future greenspace and Skytrain station on Thornton, with a clear sense of address from Great Northern Way.

The project also incorporates a new leg of the Central Valley Greenway (CVG). This route runs parallel to Great Northern Way and runs through the plaza and the western section of the pedestrian spine. Where the CVG is integrated with the central plaza, pedestrian priority is given through surface treatment to promote a safe and fully accessible space for people of all ages and abilities.

RAINWATER

Stormwater is controlled and celebrated on the plaza, spine, and along Great Northern Way through a number of interpretive means as well as planting that will benefit from the collection and control of the stormwater on the site.

These rainwater features will be developed in a contemporary urban character for integration with an active, highly pedestrianized site, but will clearly demonstrate the presence of rainwater onsite with associated opportunities for interpretation and embellishment through art.

An iterative consultation and collaboration process has been undertaken with the St. George Railway Group to best respond to their aspirations. The following Vision Highlights from the Railway Group and Integration Principles of our project team have provided the working framework for this collaboration:

Vision Highlights:

- Visibly integrate and celebrate water in the design.
- Provide terminus for the St. George Railway and to Stallow Creek, and connect to Brewery Creek, China Creek, and the surrounding community.
- Minimize / eliminate discharge of clean rainwater.
- Improve quality of stormwater that is discharged into False Creek.
- Incorporate wetland function and identity in design by integrating elements such as pocket wetlands, rain gardens, fish habitat, swales, and sunken plazas.
- Respect and celebrate local ecology and indigenous cultures. Integrate public and habitat functions in open spaces to support native flora and fauna.
- Integrate Coast Salish design elements and recognition, and acknowledge the historic shoreline.
- Have a water self-sufficient campus and landscape on the site that harvests and reuses water.

Integration Principles:

- Create a multi-functional urban plaza which responds to retail/ office lobbies and ground floor animation, the ECUAD entry stair, the pedestrian spine passage, and supports intermittent programming.
- Reuse clean roof water in inventive ways.
- Manage plaza and spine runoff in a contemporary urban manner.
- Align and integrate rainwater features with public realm and landscape language and material palette.
- Explore rainwater and stormwater elements which support circulation paths across site.
- Integrate rainwater expression with development sustainability objectives.
- Integrate rainwater expression as integrated design element.
- Contemporary urban design language.
- Maximise onsite use of rainwater for landscape.




 **565 GREAT NORTHERN WAY**
565 Great Northern Way, Vancouver BC

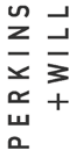
DEVELOPMENT PERMIT SET
18 DECEMBER, 2015



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03820 PROJECT DEVELOPMENT FORM - 2015.02.08

DRAWING INDEX

- AD: GENERAL
- AD01 COVER SHEET
- AD02 INDEX OF DRAWINGS
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PROJECT STATISTICS

Owner: PCI Developments Corp.
Architect: Perkins + Will
Legal Description: Subdivision Parcel 1 of Lot 2, New Westminster District Plan BC756441
Land Use Zoning: CD-1 (M2)
Site Area: 73,854 sf
Total Allowable FSR Area: 14,429 sm
FSR Areas: Office 10,521 sf, Retail 3,907 sf, Total 14,428 sf

Level	Name	Area (sq ft)	Area (sm)
LEVEL 02	CHL	3,073 sf	281 sf
LEVEL 03	OFFICE	23,208 sf	2,139 sf
LEVEL 04	OFFICE	26,200 sf	2,417 sf
LEVEL 05	OFFICE	26,091 sf	2,397 sf
LEVEL 06	OFFICE	21,801 sf	2,011 sf
LEVEL 07	OFFICE	18,136 sf	1,687 sf
ROOF	OFFICE	2,300 sf	212 sf
TOTAL FSR AREA		158,389 sf	14,425 sf

Site Coverage: 26,271 sf / 73,854 sf = 35.4%

FSR: 2.15

Building Height: Max. Height Per Zoning: Height From Base Surface: 150' (45.7 m)
 Max. Height Per Zoning: 150'

Height Exclusions: Building height is measured as the height to the top of crown of the highest occupied floor and excluding antenna masts, mechanical penthouses and other vertical protrusions.

Setbacks: 15' Z typical

Vehicle Parking

Level	Type	Dimensions	Count
LEVEL P3	M Small Vehicle Space	4620 x 2000mm - 50.9m x 20.9m	7
LEVEL P3	M Standard Vehicle Space	5500 x 2000mm - 59.9m x 20.9m	28
LEVEL P3	M Small Vehicle Space	4620 x 2000mm - 50.9m x 20.9m	18
LEVEL P3	M Standard Vehicle Space	5500 x 2000mm - 59.9m x 20.9m	104
LEVEL P3	M Standard Vehicle Space	5500 x 2000mm - 59.9m x 20.9m	15
LEVEL P4	M Small Vehicle Space	4620 x 2000mm - 50.9m x 20.9m	13
LEVEL P4	M Standard Vehicle Space	5500 x 2000mm - 59.9m x 20.9m	120
LEVEL P4	M Standard Vehicle Space	5500 x 2000mm - 59.9m x 20.9m	2
LEVEL P1	M Small Vehicle Space	4620 x 2000mm - 50.9m x 20.9m	14
LEVEL P1	M Standard Vehicle Space	5500 x 2000mm - 59.9m x 20.9m	120
LEVEL P1	M Standard Vehicle Space	5500 x 2000mm - 59.9m x 20.9m	2
LEVEL G1	M Small Vehicle Space	4620 x 2000mm - 50.9m x 20.9m	14
LEVEL G1	M Standard Vehicle Space	5500 x 2000mm - 59.9m x 20.9m	120
LEVEL G1	M Standard Vehicle Space	5500 x 2000mm - 59.9m x 20.9m	2
LEVEL G1	M Standard Vehicle Space	5500 x 2000mm - 59.9m x 20.9m	2
Grand total: 414			

Note: Off street vehicle parking by-law requirement is being exceeded in order to provide maximum parking facility for future development on adjacent Lot 8. It is anticipated that future development will be able to provide additional parking spaces. The parking inclusion in this proposal will ultimately be commensurate to future plans.

Bicycle Parking

Level	Type	Dimensions	Count
LEVEL P3	M Small Bicycle Space	1440mm x 700mm - 1.44m x 0.70m	6
LEVEL P3	M Standard Bicycle Space	2000mm x 700mm - 2.00m x 0.70m	30
LEVEL P4	M Small Bicycle Space	1440mm x 700mm - 1.44m x 0.70m	6
LEVEL P4	M Standard Bicycle Space	2000mm x 700mm - 2.00m x 0.70m	30
LEVEL G1	M Small Bicycle Space	1440mm x 700mm - 1.44m x 0.70m	6
LEVEL G1	M Standard Bicycle Space	2000mm x 700mm - 2.00m x 0.70m	30
LEVEL G1	M Standard Bicycle Space	2000mm x 700mm - 2.00m x 0.70m	6
LEVEL G1	M Standard Bicycle Space	2000mm x 700mm - 2.00m x 0.70m	6
Grand total: 114			

Off Street Loading

Level	Type	Dimensions	Count
LEVEL P3	M Small Loading Space	1500 x 2700mm - 15.0m x 27.0m	2
LEVEL P3	M Standard Loading Space	1500 x 3000mm - 15.0m x 30.0m	4
LEVEL P4	M Small Loading Space	1500 x 2700mm - 15.0m x 27.0m	2
LEVEL P4	M Standard Loading Space	1500 x 3000mm - 15.0m x 30.0m	4
LEVEL G1	M Small Loading Space	1500 x 2700mm - 15.0m x 27.0m	2
LEVEL G1	M Standard Loading Space	1500 x 3000mm - 15.0m x 30.0m	4
Grand total: 18			



569 GREAT NORTHERN WAY

569 Great Northern Way
Vancouver BC

INDEX OF DRAWINGS

G00-01

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08820 PROJECT DEVELOPMENT FORM# 2015-03-B



566 GREAT NORTHERN WAY
566 Great Northern Way
Manassas, VA

CONTEXT PLAN

A04-00

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① CONTEXT PLAN
1:1,000





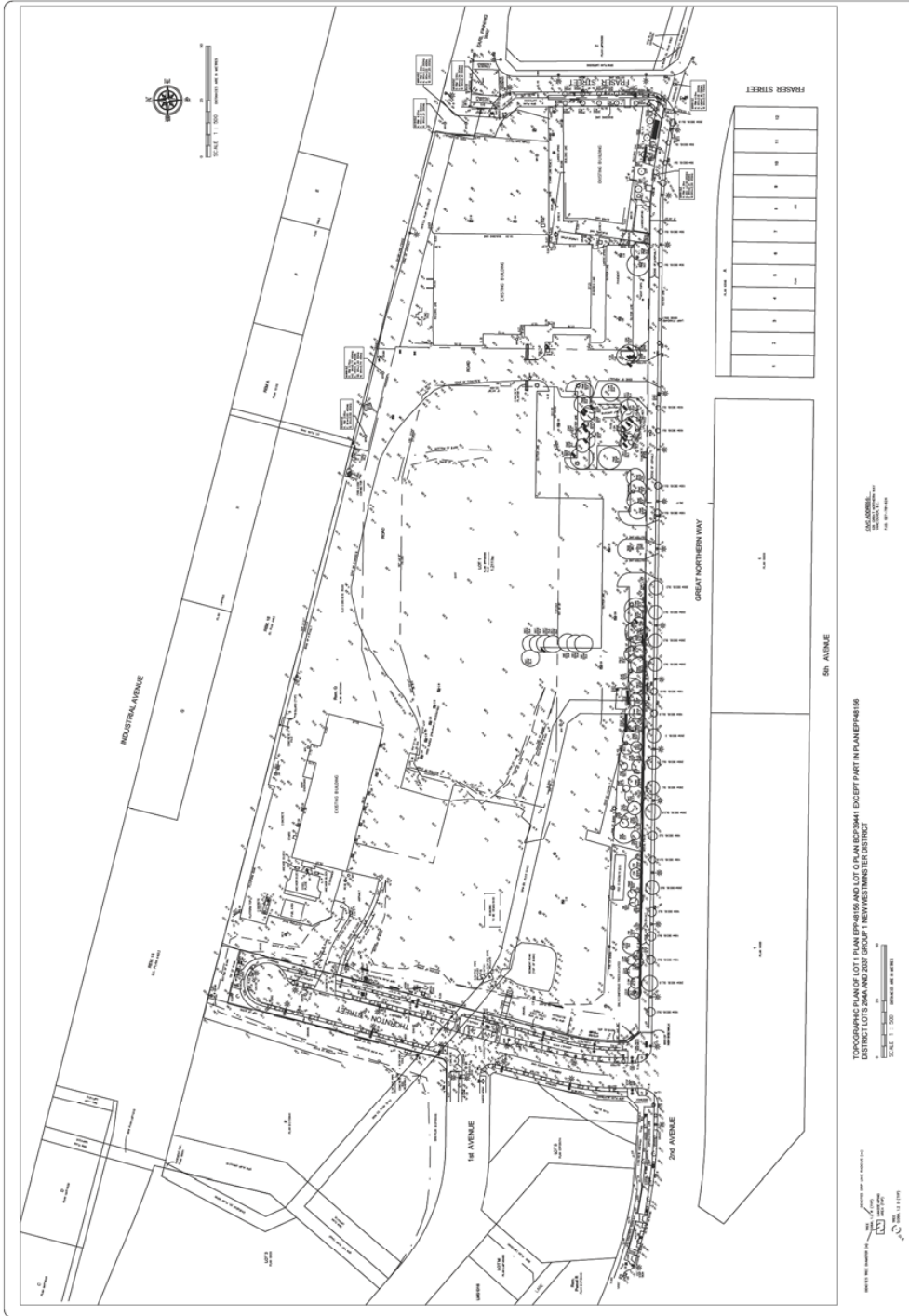
OSBD FOR DEVELOPMENT FORM - 2015.02.08



565 GREAT NORTHERN WAY
565 Great Northern Way
New Westminster BC

SITE SURVEY

A04-01



TOPOGRAPHIC PLAN OF LOT 1 IN PLAN EP1468 AND LOT 2 IN PLAN EP1468A, DISCREET PART IN PLAN EP1468B AND DISTRICT LOTS 504A AND 2007 GROUP 7 IN NEW WESTMINSTER DISTRICT
SCALE: 1:500

<p>DATE: 2015.02.08 DRAWN BY: [Name] CHECKED BY: [Name]</p>		<p>PROJECT: BUTLER SUNDVEK GREAT NORTHERN WAY CAMPUS EMILY CARE</p>							
<p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>2015.02.08</td> <td>ISSUED FOR DEVELOPMENT FORM</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	2015.02.08	ISSUED FOR DEVELOPMENT FORM	<p>SCALE: 1:500</p>	<p>DATE: 2015.02.08</p>	<p>SCALE: 1:500</p>
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1	2015.02.08	ISSUED FOR DEVELOPMENT FORM							

1 SITE SURVEY
1:750

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08262 FOR DEVELOPMENT FORM# 2019.02.08



VIEW LOOKING NORTH ALONG GREAT NORTHERN WAY



VIEW LOOKING NORTHEAST ALONG THORNTON AVE



VIEW LOOKING EAST ALONG GREAT NORTHERN WAY



VIEW LOOKING WEST ALONG GREAT NORTHERN WAY



565 GREAT NORTHERN WAY
565 Great Northern Way
Vancouver, BC

STREETSCAPE PHOTOS



A04-03

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08820 PLAN DEVELOPMENT POINT 2015.02.B



566 GREAT NORTHERN WAY
566 Great Northern Way
Washington DC

SHADOW ANALYSIS

A04-04

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565 GREAT NORTHERN WAY

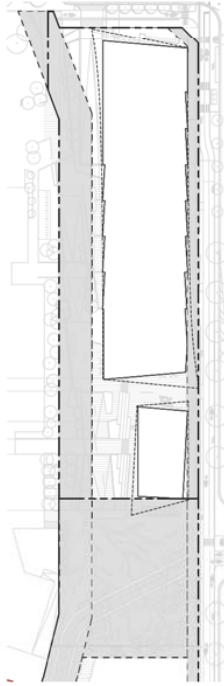
565 Great Northern Way
Vancouver BC

SRM PLAN



A04-05

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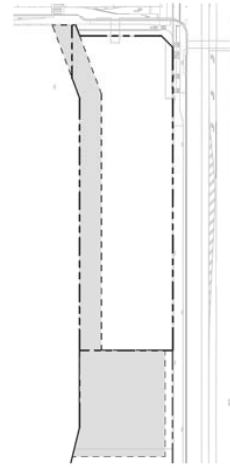
SITE PLAN - OVERLAY OF STATUTORY
RIGHTS OF WAY
① 1:100



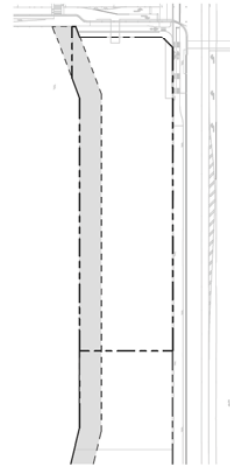
② SRW 520650 - PLAZA
1:100



③ SRW 520652 - SIDEWALK ALONG GNW
1:100



④ SRW 52063 - PLAZA AND PEDESTRIAN
SPINE
1:100



⑤ SRW 52067 - NEIGHBORHOOD ENERGY
UTILITY
1:100

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00000 DEVELOPMENT FORM# 2015.02.08



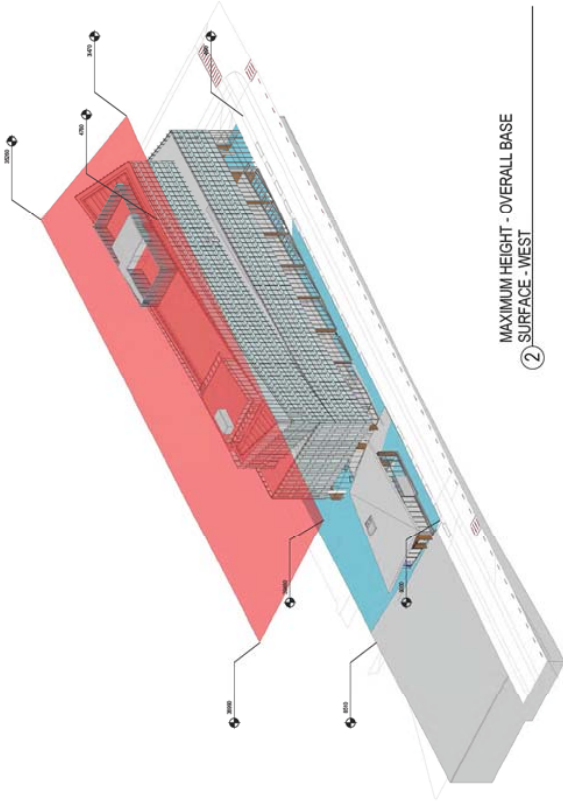
569 GREAT NORTHERN WAY

569 Great Northern Way
Vancouver BC

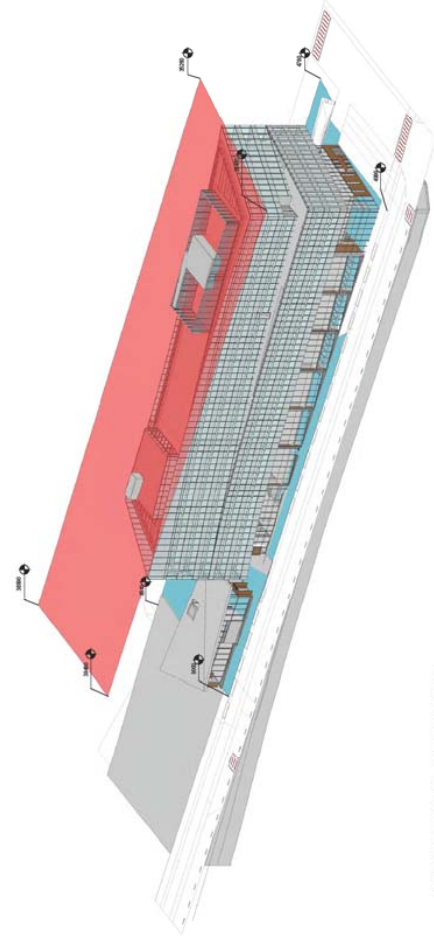
MAXIMUM HEIGHT BASE
SURFACE

A04-06

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MAXIMUM HEIGHT - OVERALL BASE
② SURFACE - WEST



MAXIMUM HEIGHT - OVERALL BASE
① SURFACE - EAST

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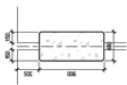
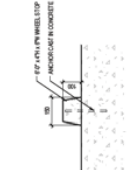
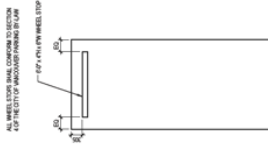
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08502 PARK DEVELOPMENT FORM# 2015-12-8

Level	Type	Dimensions	Count
LEVEL P3	M, Small Vehicle Spaces	4500 x 2500mm, 60.00m	2
LEVEL P3	M, Standard Vehicle Spaces	5500 x 2500mm, 60.00m	24
LEVEL P3	M, Disabled Vehicle Spaces	5500 x 4000mm, 60.00m	2
LEVEL P2	M, Small Vehicle Spaces	4500 x 2500mm, 60.00m	18
LEVEL P2	M, Standard Vehicle Spaces	5500 x 2500mm, 60.00m	184
LEVEL P2	M, Disabled Vehicle Spaces	5500 x 4000mm, 60.00m	3
LEVEL P2	M, Small Vehicle Spaces	4500 x 2500mm, 60.00m	13
LEVEL P2	M, Standard Vehicle Spaces	5500 x 2500mm, 60.00m	70
LEVEL P2	M, Disabled Vehicle Spaces	5500 x 4000mm, 60.00m	2
LEVEL P1	M, Small Vehicle Spaces	4500 x 2500mm, 60.00m	14
LEVEL P1	M, Standard Vehicle Spaces	5500 x 2500mm, 60.00m	86
LEVEL P1	M, Disabled Vehicle Spaces	5500 x 4000mm, 60.00m	2

Count Total: 474

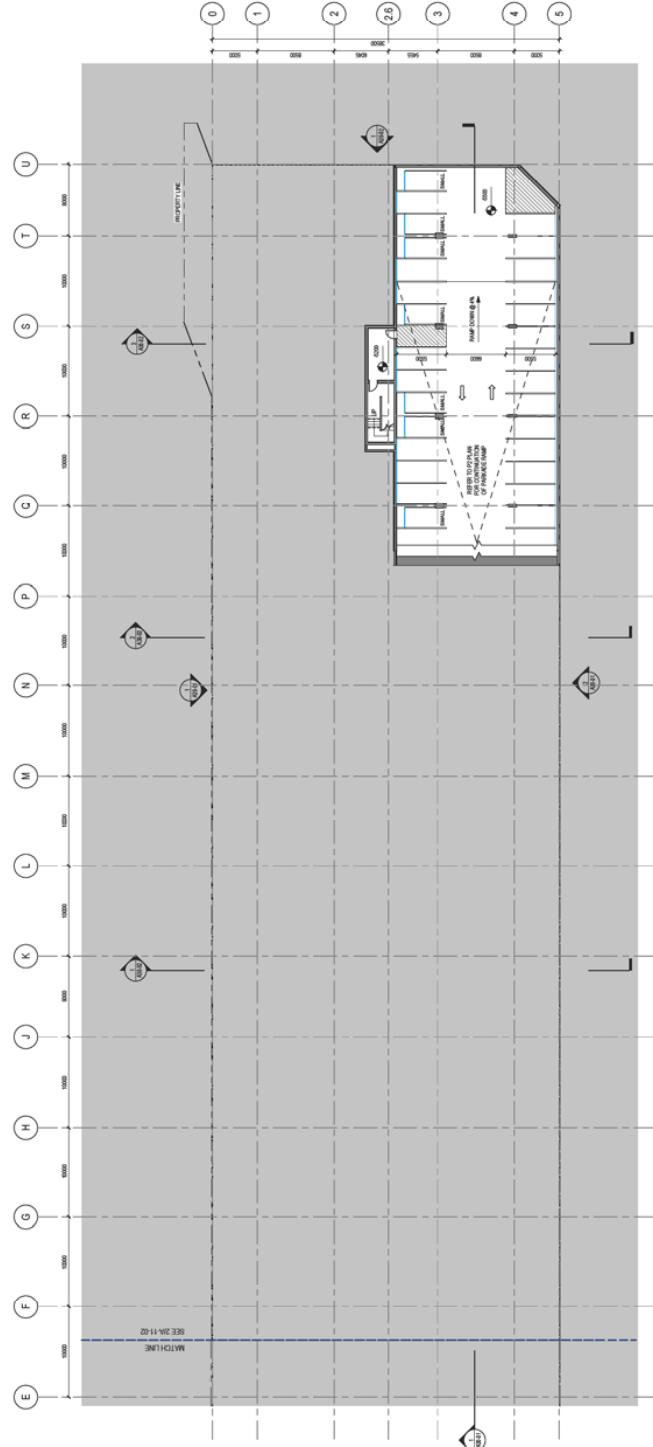
NOTE: THE DESIGN OF THE PARKING STRUCTURE REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH SECTION 413 OF THE PARKING BY-LAW.



2 WHEEL STOP PLAN 1:50

3 WHEEL STOP DETAIL 1:10

4 PARKING CLEARANCE 1:25



1 LEVEL P3 EAST - OVERALL PLAN 1:200



565 GREAT NORTHERN WAY
565 Great Northern Way
Vancouver BC

PARKING LEVEL P03

A11-P03

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08282 PARK DEVELOPMENT FORM# 2015-12-B

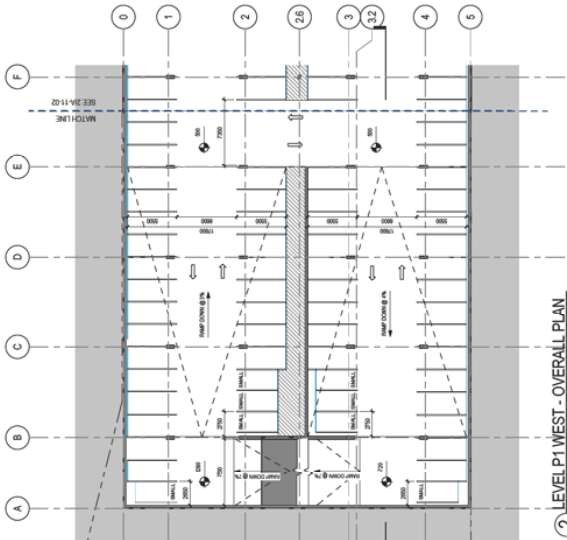
OFF STREET VEHICULAR PARKING SCHEDULE

Level	Type	Dimensions	Count
LEVEL P1	M - Small Vehicle Space	6057 x 2520mm - 00 00sq	13
LEVEL P1	M - Standard Vehicle Space	5571 x 2520mm - 00 00sq	2
LEVEL P1	M - Standard Vehicle Space	5571 x 2520mm - 00 00sq	2
LEVEL P2	M - Small Vehicle Space	6057 x 2520mm - 00 00sq	13
LEVEL P2	M - Standard Vehicle Space	5571 x 2520mm - 00 00sq	2
LEVEL P2	M - Standard Vehicle Space	5571 x 2520mm - 00 00sq	2
LEVEL P2	M - Standard Vehicle Space	5571 x 2520mm - 00 00sq	2

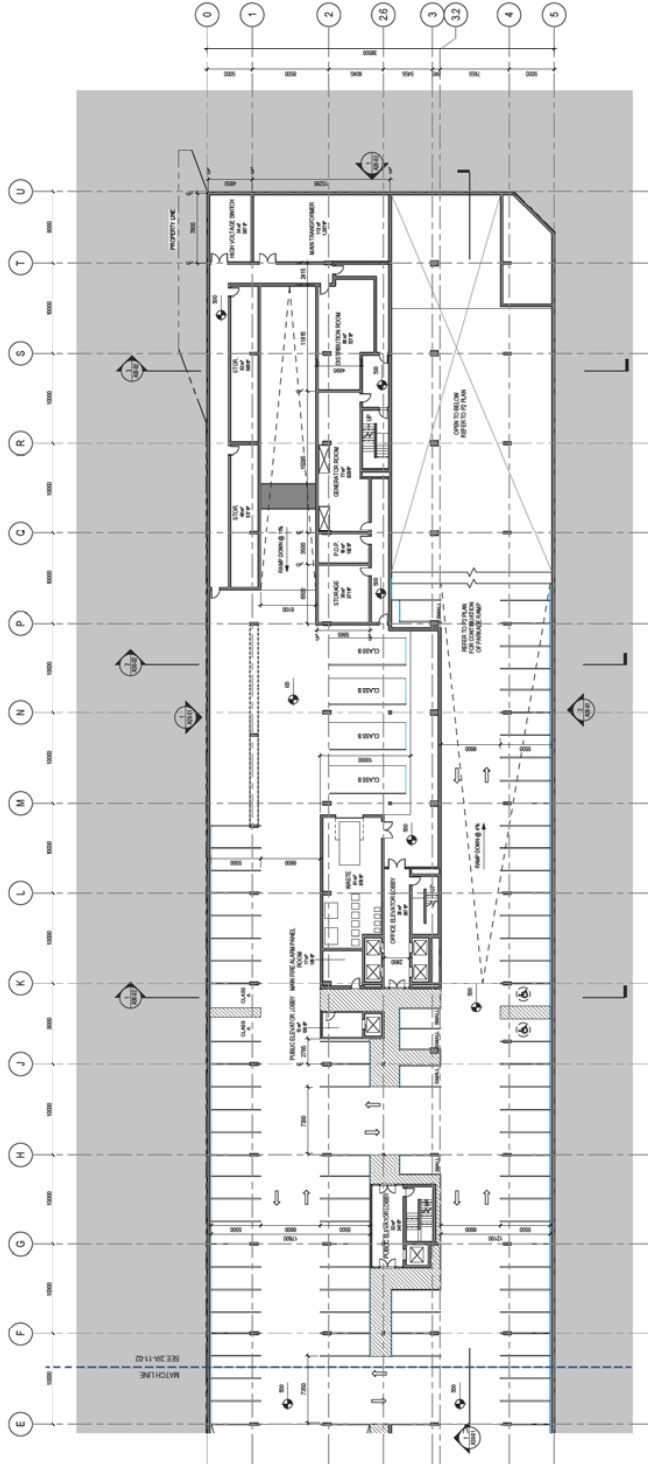
OFF STREET LOADING SCHEDULE

Level	Type	Dimensions	Count
LEVEL P1	M - Office A Loading Space	5571 x 2700mm - 00 00sq	2
LEVEL P1	M - Office B Loading Space	5571 x 2700mm - 00 00sq	1
LEVEL P1	M - Office B Loading Space	5571 x 2700mm - 00 00sq	1
LEVEL P1	M - Office B Loading Space	5571 x 2700mm - 00 00sq	1

NOTE: THIS SCHEDULE OF THE NUMBER, TYPE AND DIMENSIONS OF THE PARKING SPACES AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH SECTION 413 OF THE PARKING BY-LAW.



2 LEVEL P1 WEST - OVERALL PLAN
1:200



1 LEVEL P1 EAST - OVERALL PLAN
1:200



565 GREAT NORTHERN WAY
5th Floor, North York
Toronto, ON

PARKING LEVEL P01



A11-P01
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DEVELOPMENTS CORP.

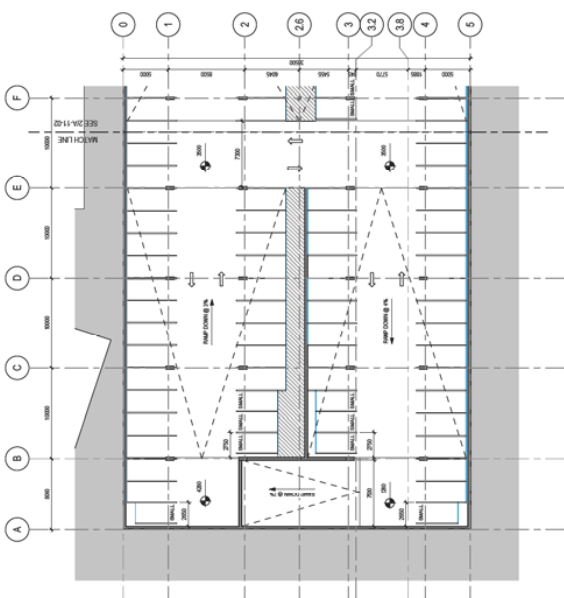
08820 PARCEL DEVELOPMENT FORM# 2015-12-8

Level	Type	Dimensions	Count
LEVEL P3	M, Stand Vehicle Space	4800 x 2000mm - 90.00m	2
LEVEL P3	M, Standover Vehicle Space	5500 x 2000mm - 92.00m	2
LEVEL P2	M, Stand Vehicle Space	4800 x 2000mm - 90.00m	18
LEVEL P2	M, Standover Vehicle Space	5500 x 2000mm - 92.00m	18
LEVEL P2	M, Standover Vehicle Space	5500 x 4000mm - 92.00m	3
LEVEL P1	M, Stand Vehicle Space	4800 x 2000mm - 90.00m	13
LEVEL P1	M, Standover Vehicle Space	5500 x 2000mm - 92.00m	10
LEVEL P1	M, Standover Vehicle Space	5500 x 4000mm - 92.00m	2
LEVEL O1	M, Stand Vehicle Space	4800 x 2000mm - 90.00m	14
LEVEL O1	M, Standover Vehicle Space	5500 x 2000mm - 92.00m	10
LEVEL O1	M, Standover Vehicle Space	5500 x 4000mm - 92.00m	2

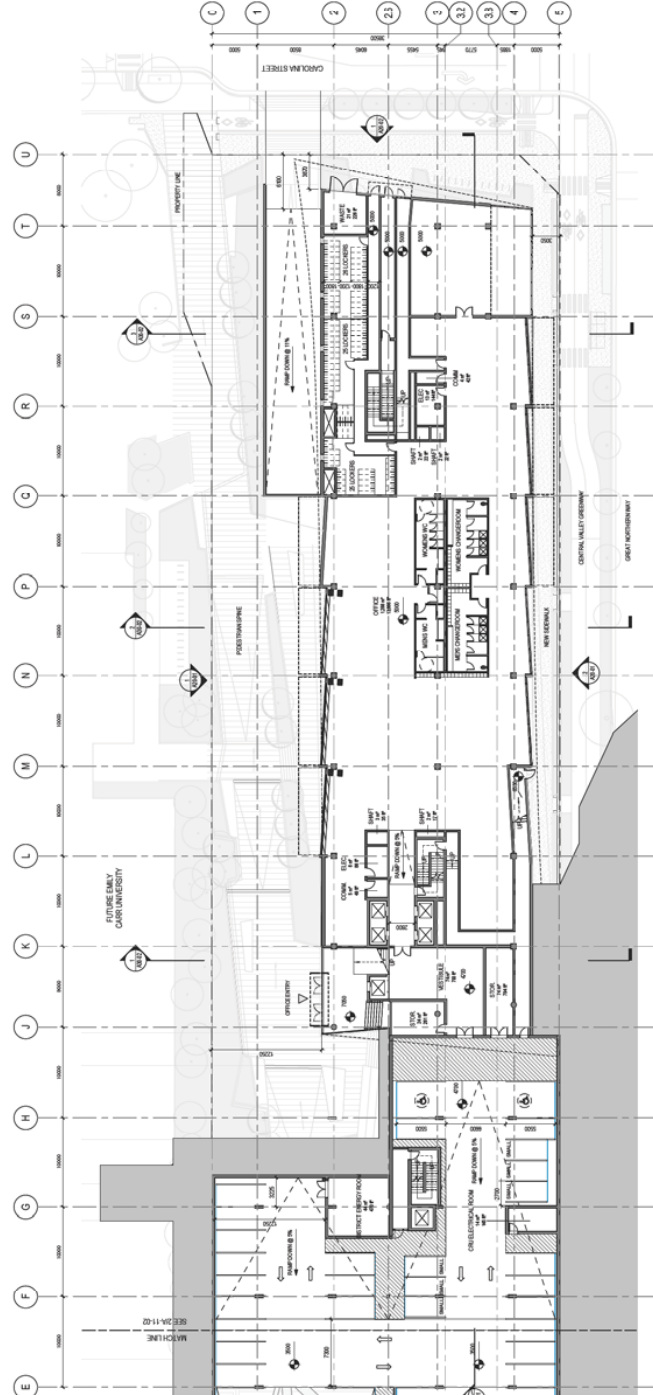
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LEVEL O1	M, Backup Storage, Not reserved	2.2' x 2.2' Horizontal Size	15
LEVEL O1	M, Backup Storage, Not reserved	5'11" x 2' Horizontal Size	10

Level	Type	Dimensions	Count
LEVEL O1	M, Backup Storage, Not reserved	2.2' x 2.2' Horizontal Size	15
LEVEL O1	M, Backup Storage, Not reserved	5'11" x 2' Horizontal Size	10

NOTE: THE LOCATION OF THE PARKING STRUCTURE REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF SECTION OF THE FIREWORKS BY-LAW.



2 LEVEL 01 - OVERALL PLAN
1:200



1 LEVEL 01 - OVERALL PLAN
1:200



565 GREAT NORTHERN WAY
565 Great Northern Way
Vancouver BC

LEVEL 01 FLOOR PLAN



A11-01

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ISSUED FOR DEVELOPMENT PERMIT 2015.02.08



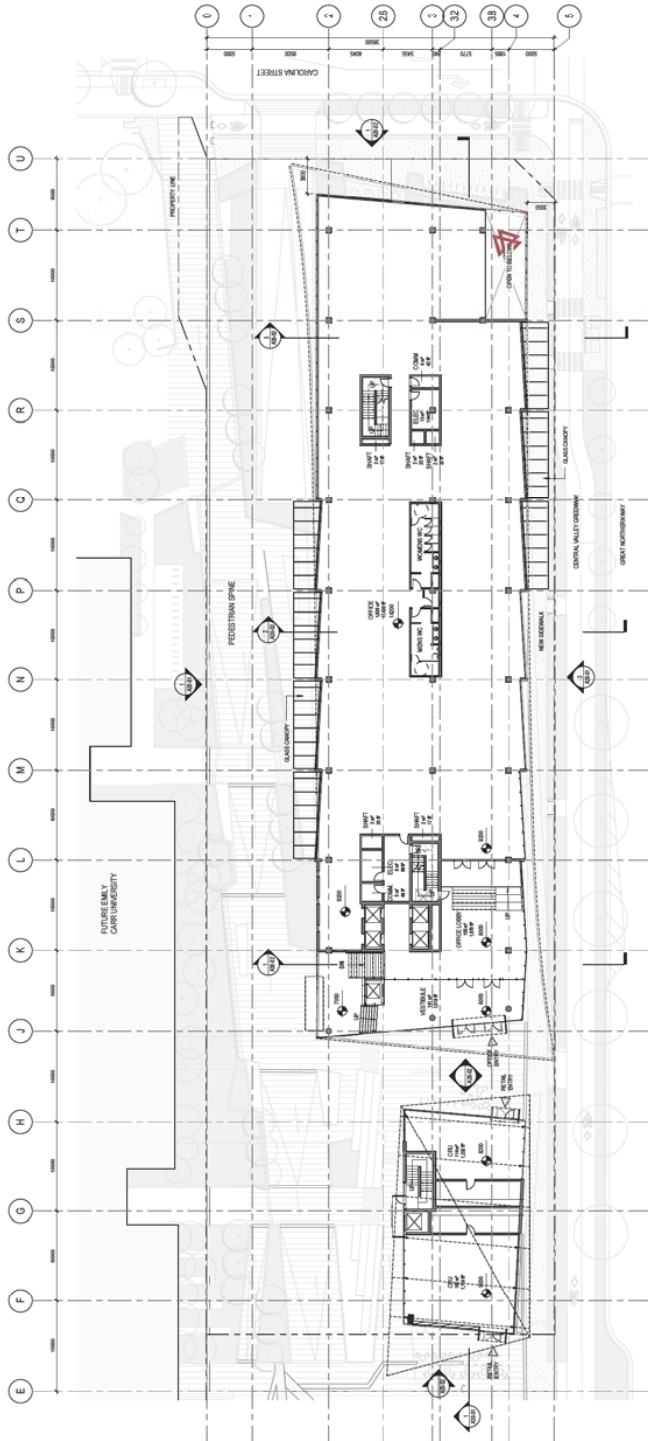
569 GREAT NORTHERN WAY

569 Great Northern Way
 Vancouver, BC

LEVEL 02 FLOOR PLAN

A11-02

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1 LEVEL 02 - OVERALL PLAN
 1" = 20'



03820 PLAN DEVELOPMENT FORM 2015.02.08

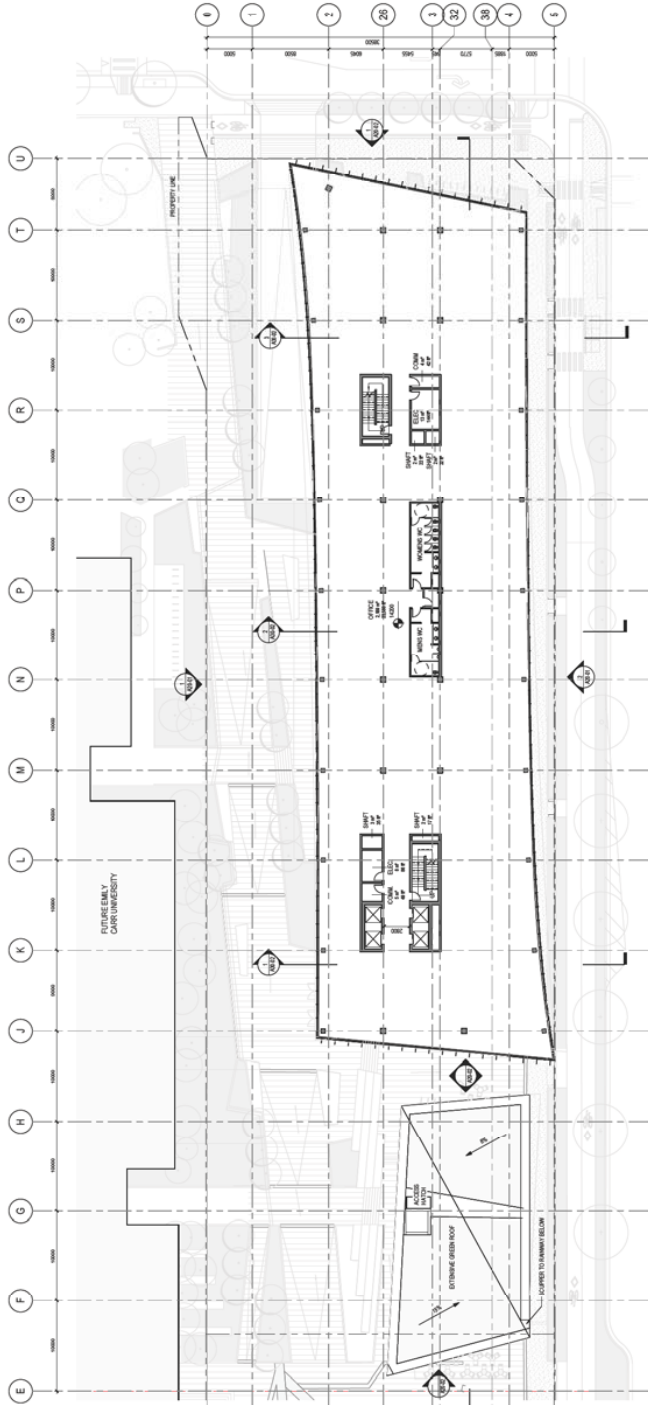


569 GREAT NORTHERN WAY
569 Great Northern Way
Vancouver BC

LEVEL 03 FLOOR PLAN

A11-03

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1 LEVEL 03 FLOOR PLAN
1:100



ISSUED FOR DEVELOPMENT FORM# 2015-12-B

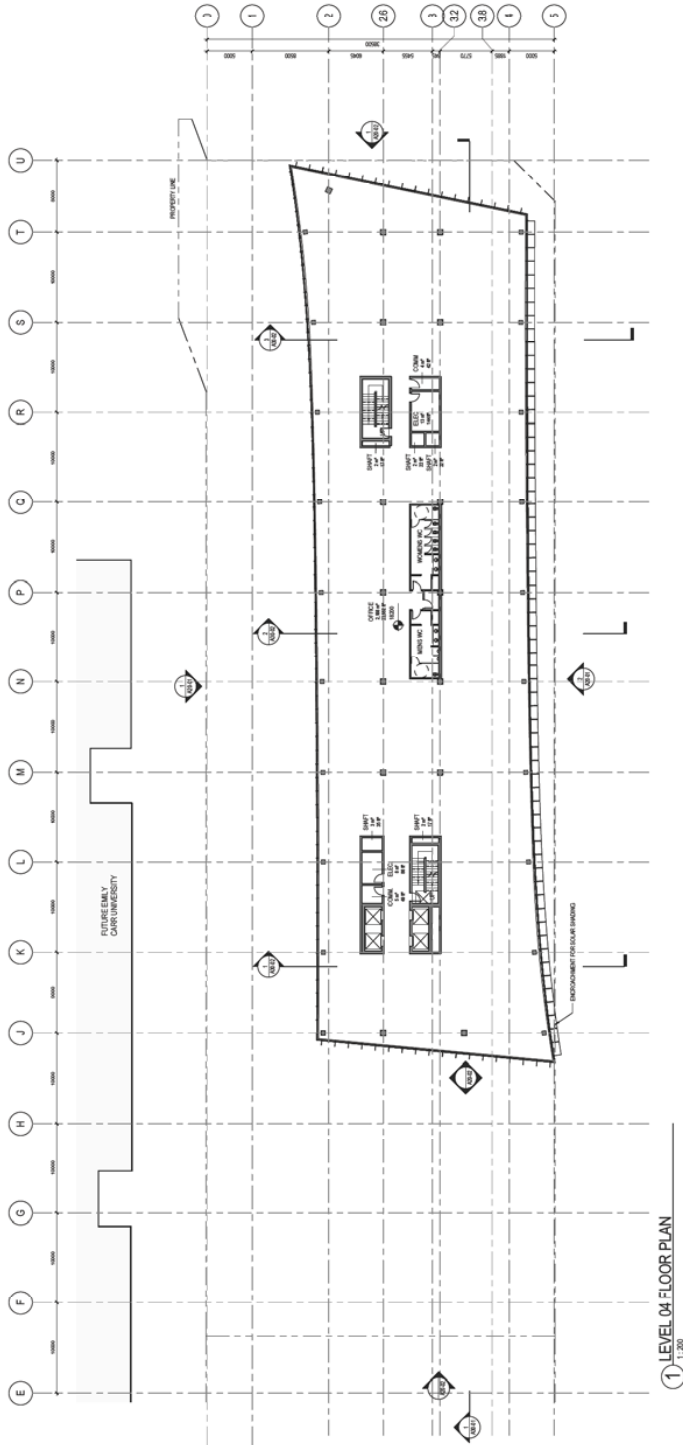


566 GREAT NORTHERN WAY
566 Great Northern Way
Washington DC

LEVEL 04 FLOOR PLAN

A11-04

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03252 PLAN DEVELOPMENT FORM - 2015.02.08

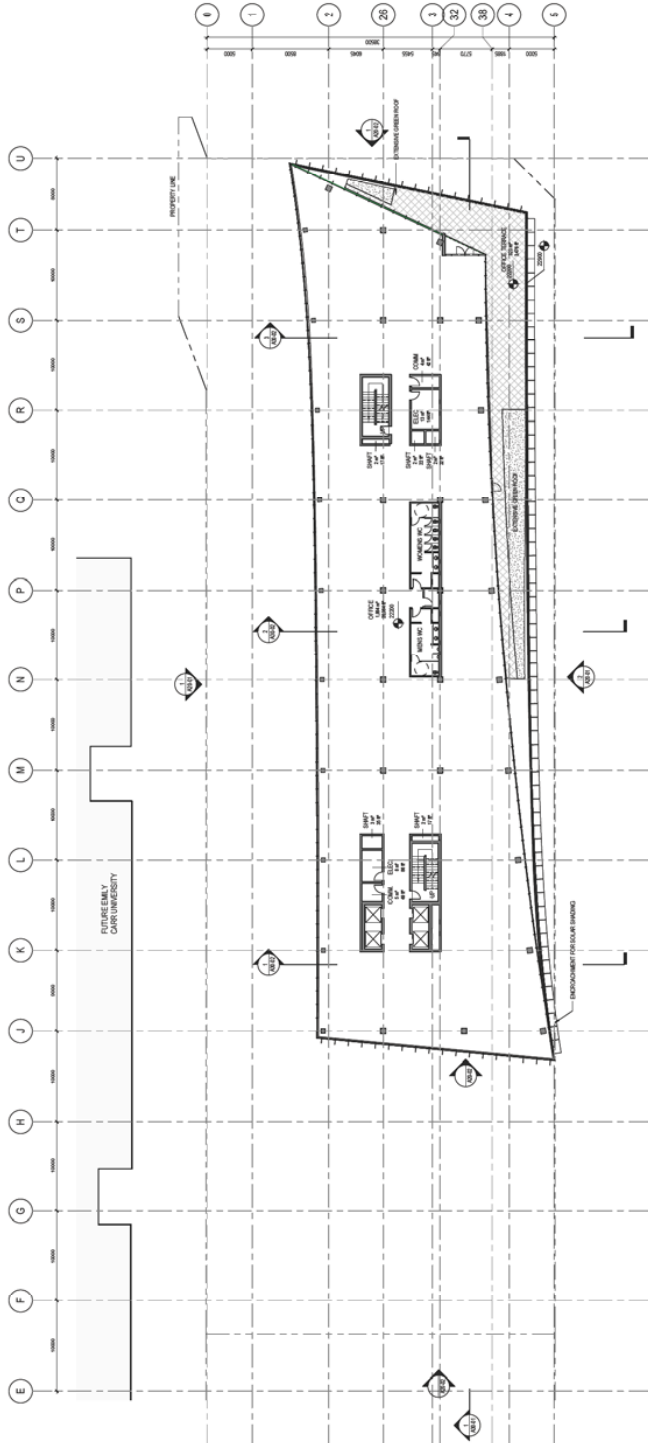


566 GREAT NORTHERN WAY
 566 Great Northern Way
 Vancouver, BC

LEVEL 05 FLOOR PLAN

A11-05

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1 LEVEL 05 - OVERALL PLAN
 1/200



ISSUED FOR DEVELOPMENT FORM# 201512.8



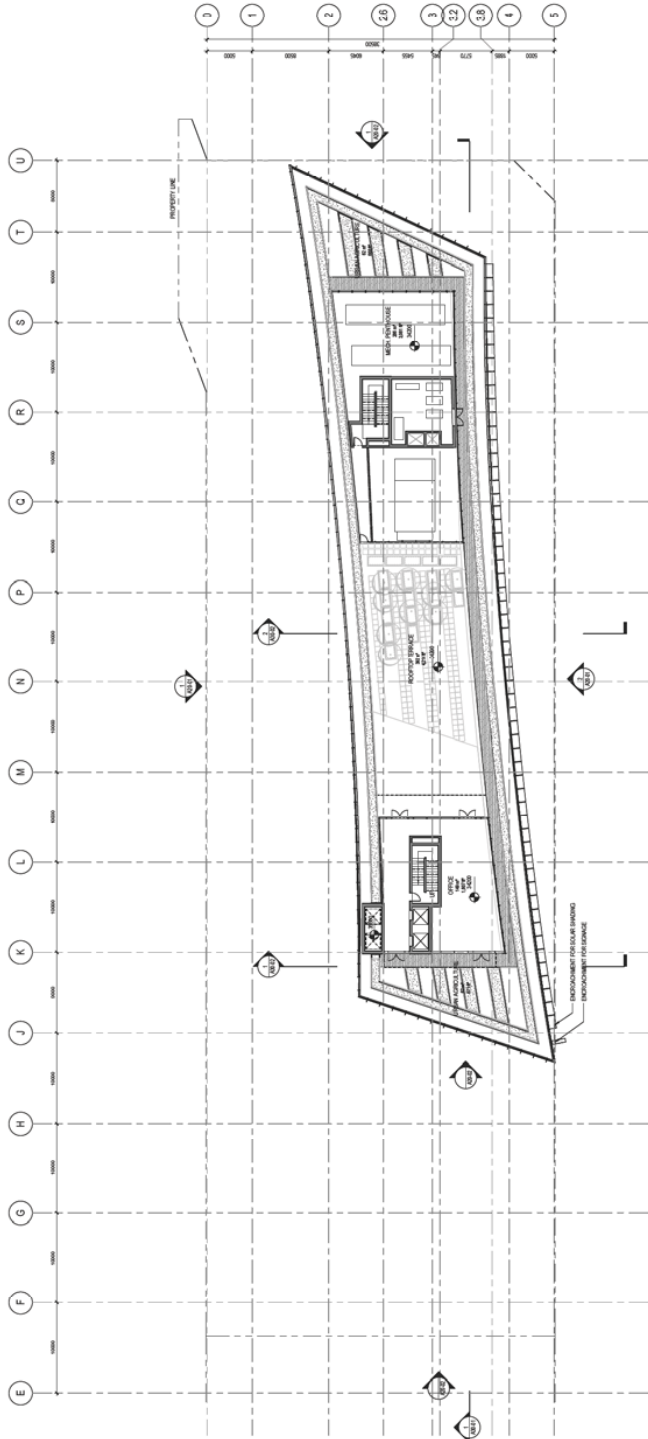
566 GREAT NORTHERN WAY
566 Great Northern Way
Washington, DC

ROOF PLAN



A11-08

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1 ROOF - OVERALL PLAN
1" = 20'



ISSUED FOR DEVELOPMENT FORM# 201512.8



566 GREAT NORTHERN WAY

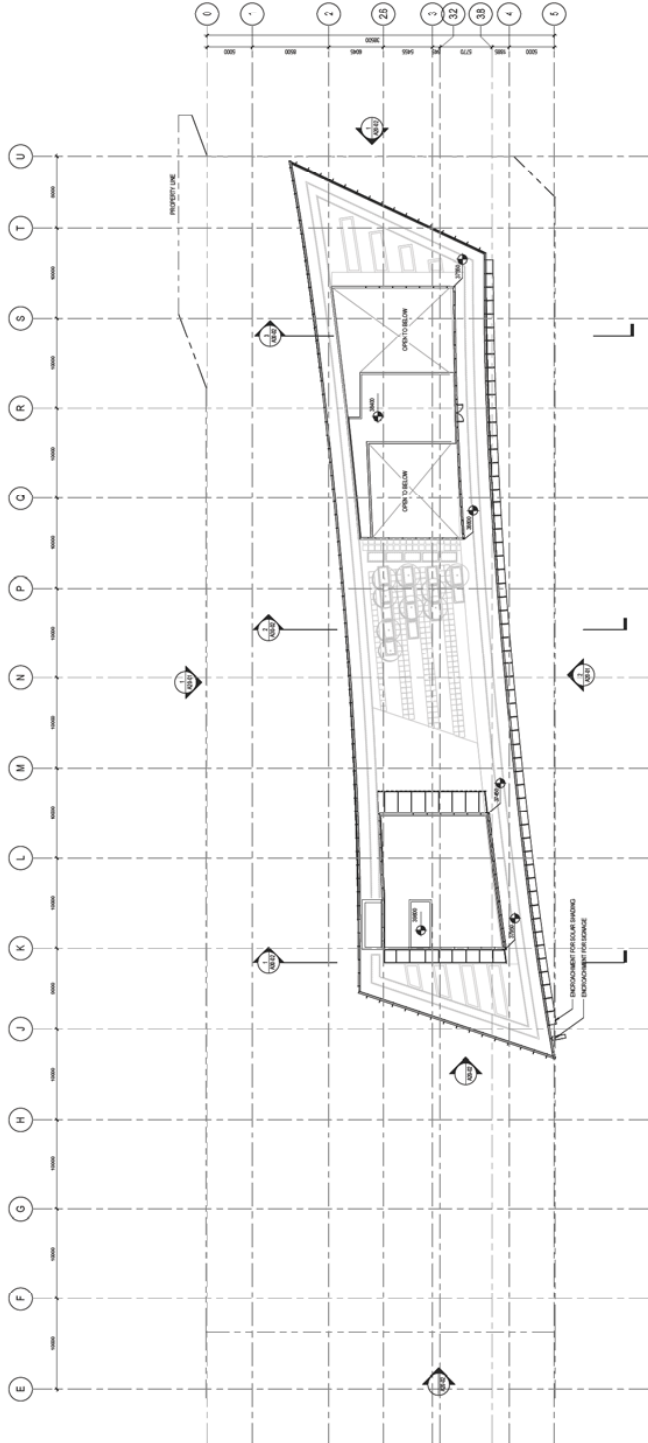
566 Great Northern Way
Washington DC

PENTHOUSE ROOF PLAN



A11-09

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1 PENTHOUSE ROOF - OVERALL PLAN
1\"/>



03520 DEVELOPMENT FORM 2015.02.8



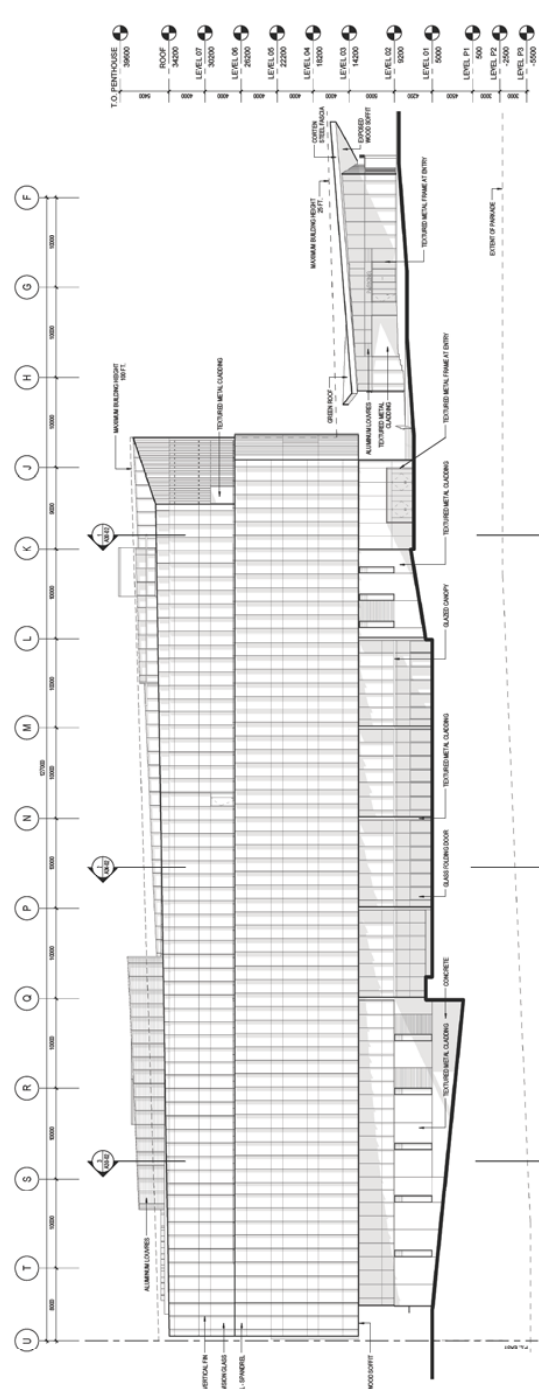
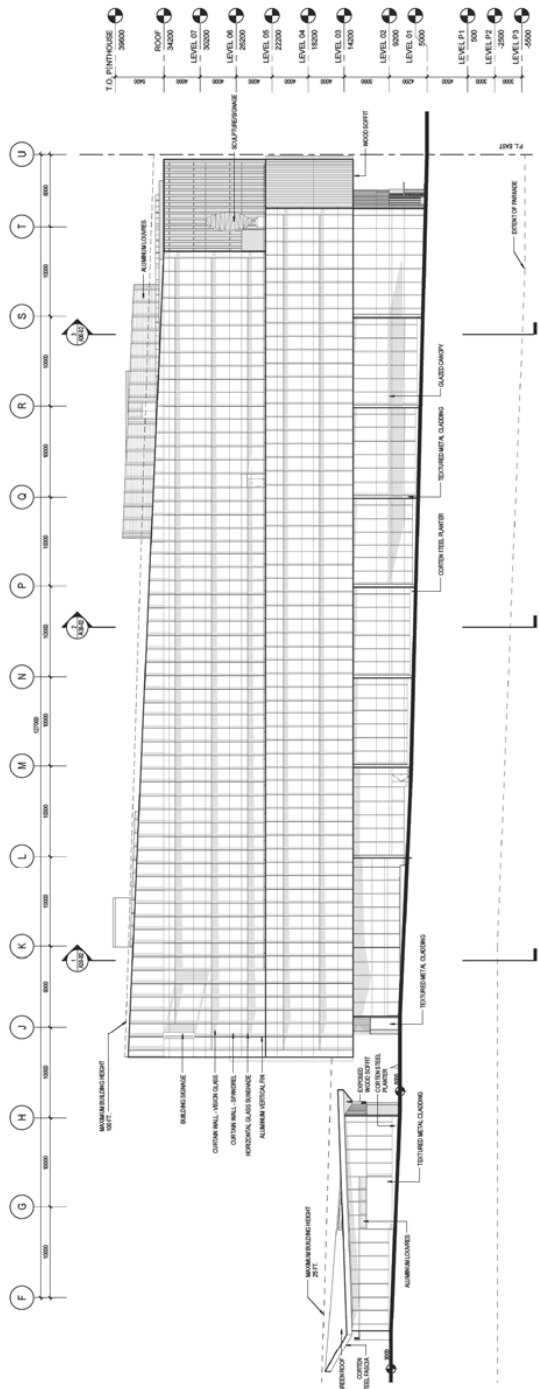
565 GREAT NORTHERN WAY
 565 Great Northern Way
 Vancouver BC

EXTERIOR BUILDING
 ELEVATIONS

A20-01

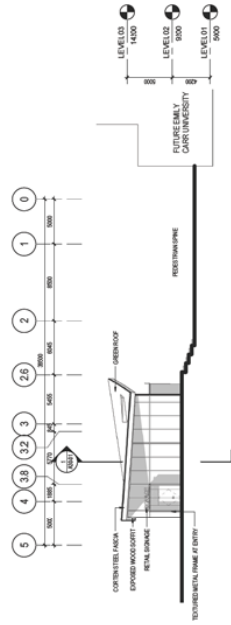


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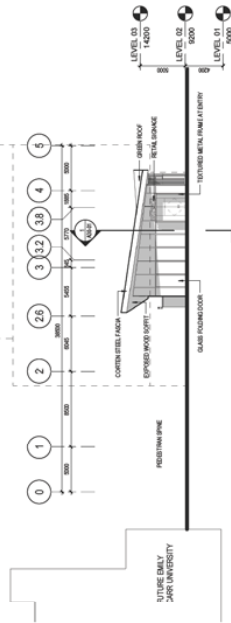




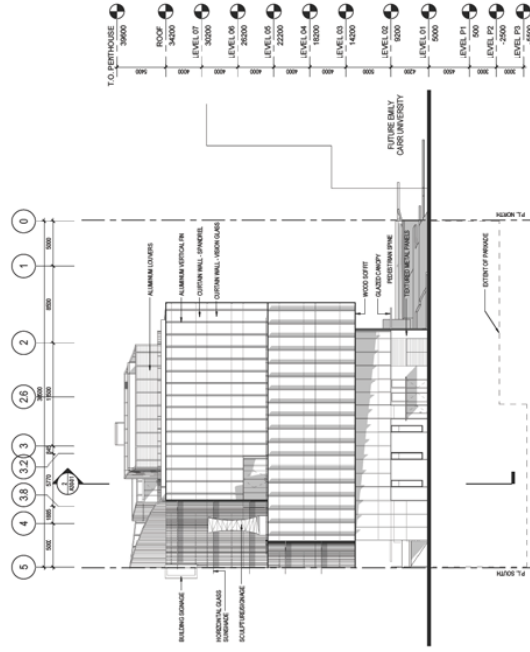
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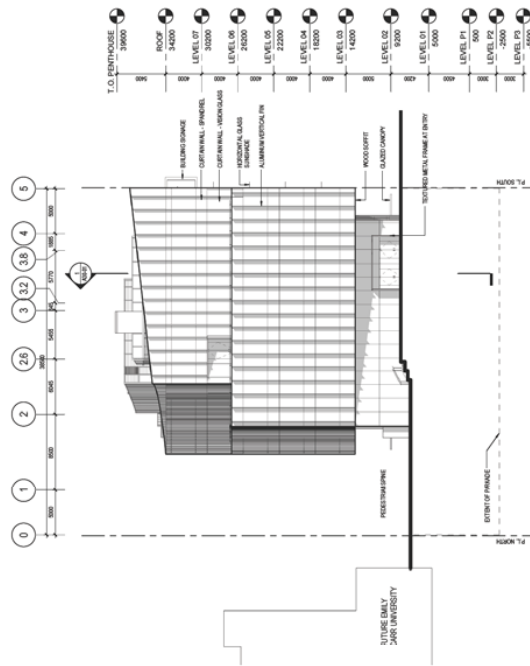
3 EAST ELEVATION AT PAVILION
1" = 20'



4 WEST ELEVATION AT PAVILION
1" = 20'



1 EAST ELEVATION AT OFFICE
1" = 20'



2 WEST ELEVATION AT OFFICE
1" = 20'



565 GREAT NORTHERN WAY
565 Great Northern Way
Vancouver BC

EXTERIOR BUILDING
ELEVATIONS

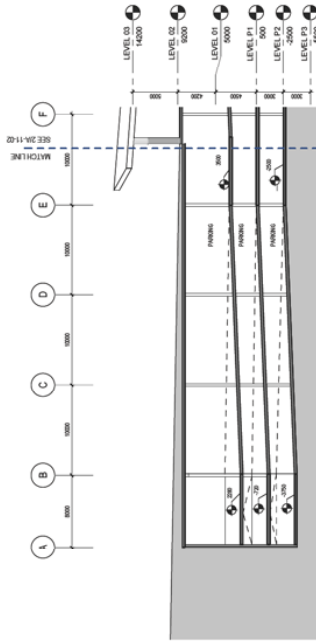
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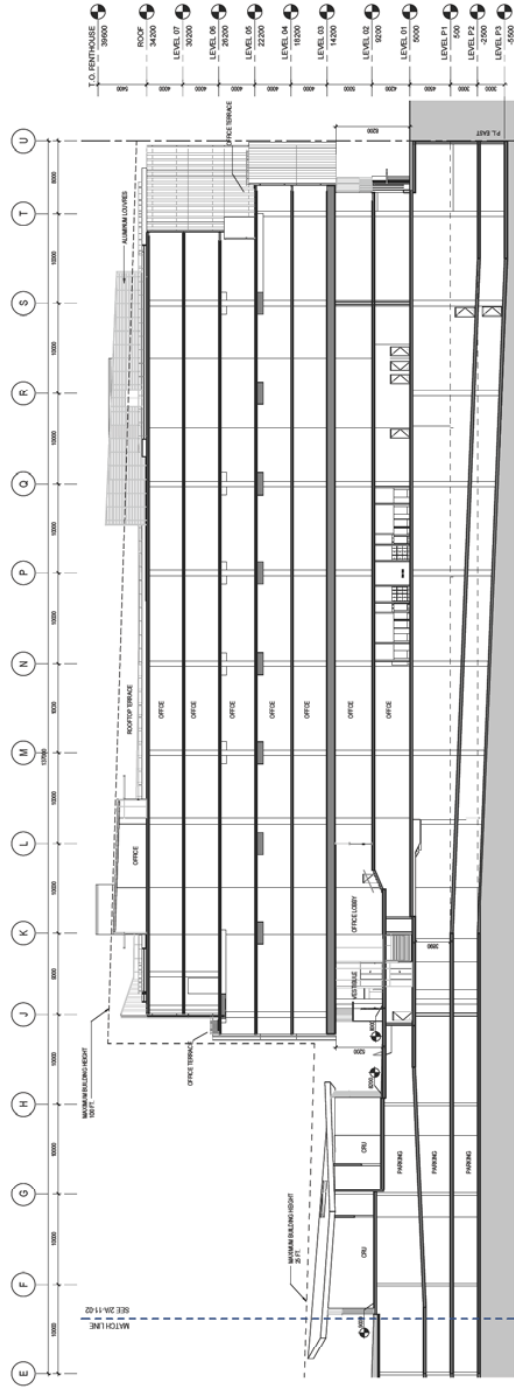
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03262 PLAN DEVELOPMENT FORM - 2015.02.8



② OVERALL EAST-WEST SECTION
 1/200



① OVERALL EAST-WEST SECTION
 1/200



565 GREAT NORTHERN WAY
 565 Great Northern Way
 Vancouver BC

OVERALL BUILDING
 SECTIONS



A30-01

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03520 PLAN DEVELOPMENT FORM# 20151218



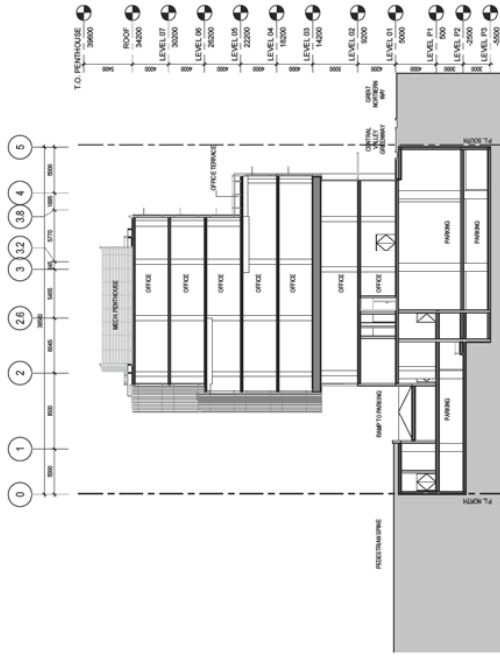
565 GREAT NORTHERN WAY
565 Great Northern Way
Vancouver BC

OVERALL BUILDING SECTIONS

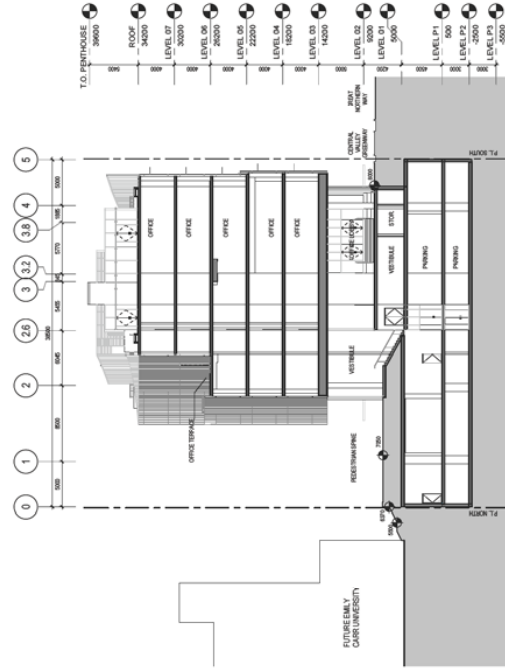


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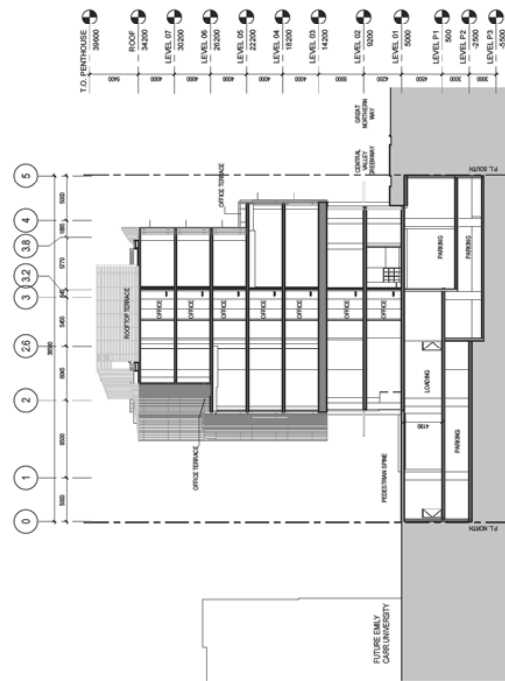
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③ SECTION AT PARKING RAMP
1/100



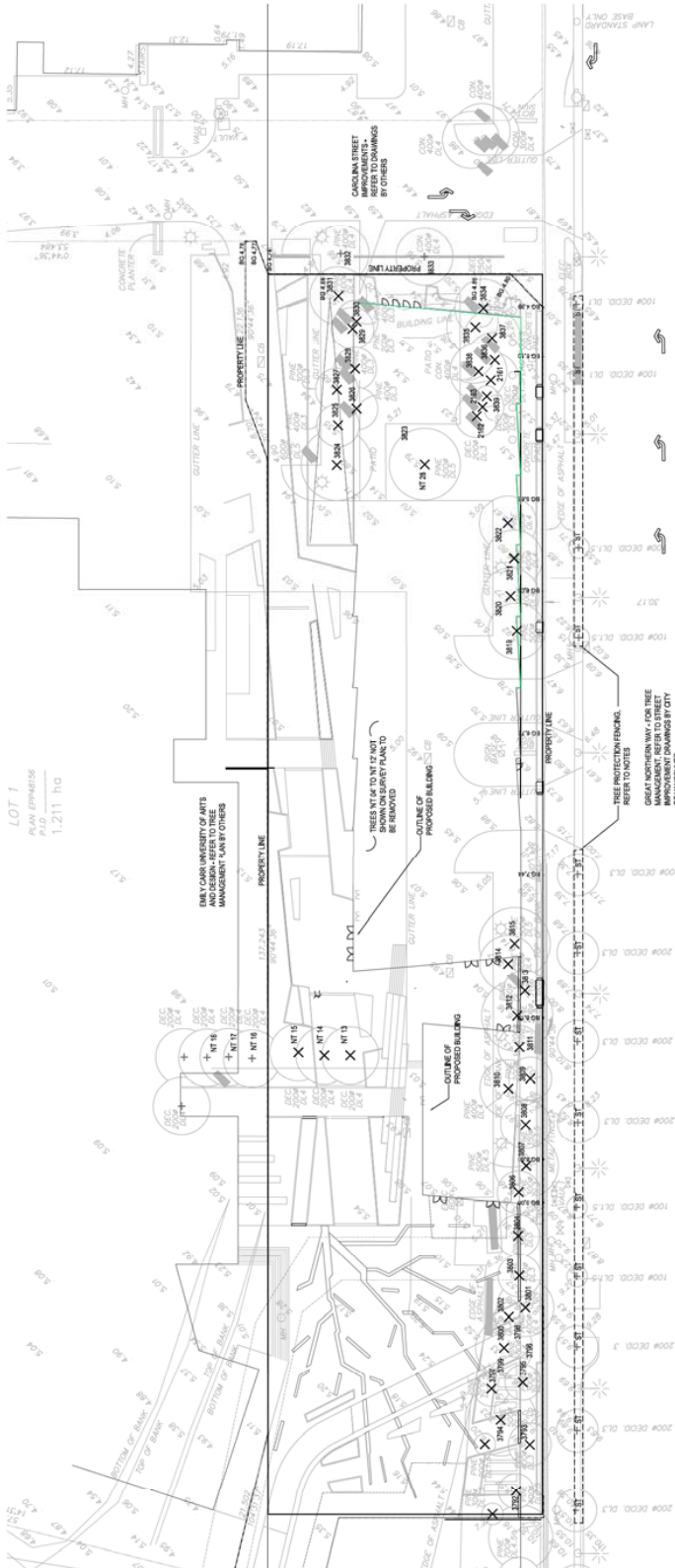
① SECTION AT OFFICE LOBBY
1/100



② SECTION AT OFFICE
1/100



80507 FOR P
2014-10-18

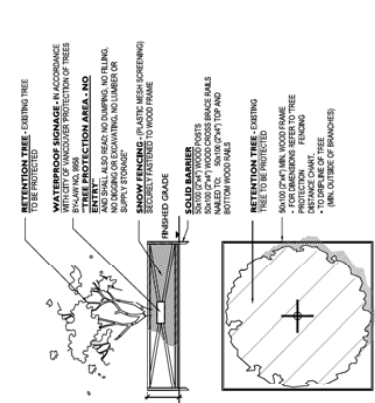


GREAT NORTHERN WAY

569 GREAT NORTHERN WAY
569 Great Northern Way, Vancouver, BC

Tree Management Plan

L-00.01



Tree ID	Tree Name	Tree Species	Tree Status	Tree Management	Tree Measurements	Tree Location
3010	47	Plum (shrub)	Remove	Remove	2151 21	2000 DEC 03.0
3011	32	Black Pine	Remove	Remove	2152 31	2000 DEC 03.0
3012	34	Black Pine	Remove	Remove	2153 25	2000 DEC 03.0
3013	34	Black Pine	Remove	Remove	2154 25	2000 DEC 03.0
3014	27	Plum (shrub)	Remove	Remove	2155 25	2000 DEC 03.0
3015	47	Plum (shrub)	Remove	Remove	2156 21	2000 DEC 03.0
3016	49	Plum (shrub)	Remove	Remove	2157 25	2000 DEC 03.0
3017	49	Plum (shrub)	Remove	Remove	2158 25	2000 DEC 03.0
3018	49	Plum (shrub)	Remove	Remove	2159 25	2000 DEC 03.0
3019	49	Plum (shrub)	Remove	Remove	2160 25	2000 DEC 03.0
3020	49	Plum (shrub)	Remove	Remove	2161 25	2000 DEC 03.0
3021	51	Black Pine	Remove	Remove	2162 25	2000 DEC 03.0
3022	51	Black Pine	Remove	Remove	2163 25	2000 DEC 03.0
3023	36	Black Pine	Remove	Remove	2164 25	2000 DEC 03.0
3024	36	Black Pine	Remove	Remove	2165 25	2000 DEC 03.0
3025	36	Black Pine	Remove	Remove	2166 25	2000 DEC 03.0
3026	42	Black Pine	Remove	Remove	2167 25	2000 DEC 03.0
3027	42	Black Pine	Remove	Remove	2168 25	2000 DEC 03.0
3028	42	Black Pine	Remove	Remove	2169 25	2000 DEC 03.0
3029	42	Black Pine	Remove	Remove	2170 25	2000 DEC 03.0
3030	44	Black Pine	Remove	Remove	2171 25	2000 DEC 03.0
3031	44	Black Pine	Remove	Remove	2172 25	2000 DEC 03.0
3032	44	Black Pine	Remove	Remove	2173 25	2000 DEC 03.0
3033	44	Black Pine	Remove	Remove	2174 25	2000 DEC 03.0
3034	44	Black Pine	Remove	Remove	2175 25	2000 DEC 03.0
3035	44	Black Pine	Remove	Remove	2176 25	2000 DEC 03.0
3036	44	Black Pine	Remove	Remove	2177 25	2000 DEC 03.0
3037	46	Black Pine	Remove	Remove	2178 25	2000 DEC 03.0
3038	39	Black Pine	Remove	Remove	2179 25	2000 DEC 03.0
3039	39	Black Pine	Remove	Remove	2180 25	2000 DEC 03.0
3040	39	Black Pine	Remove	Remove	2181 25	2000 DEC 03.0

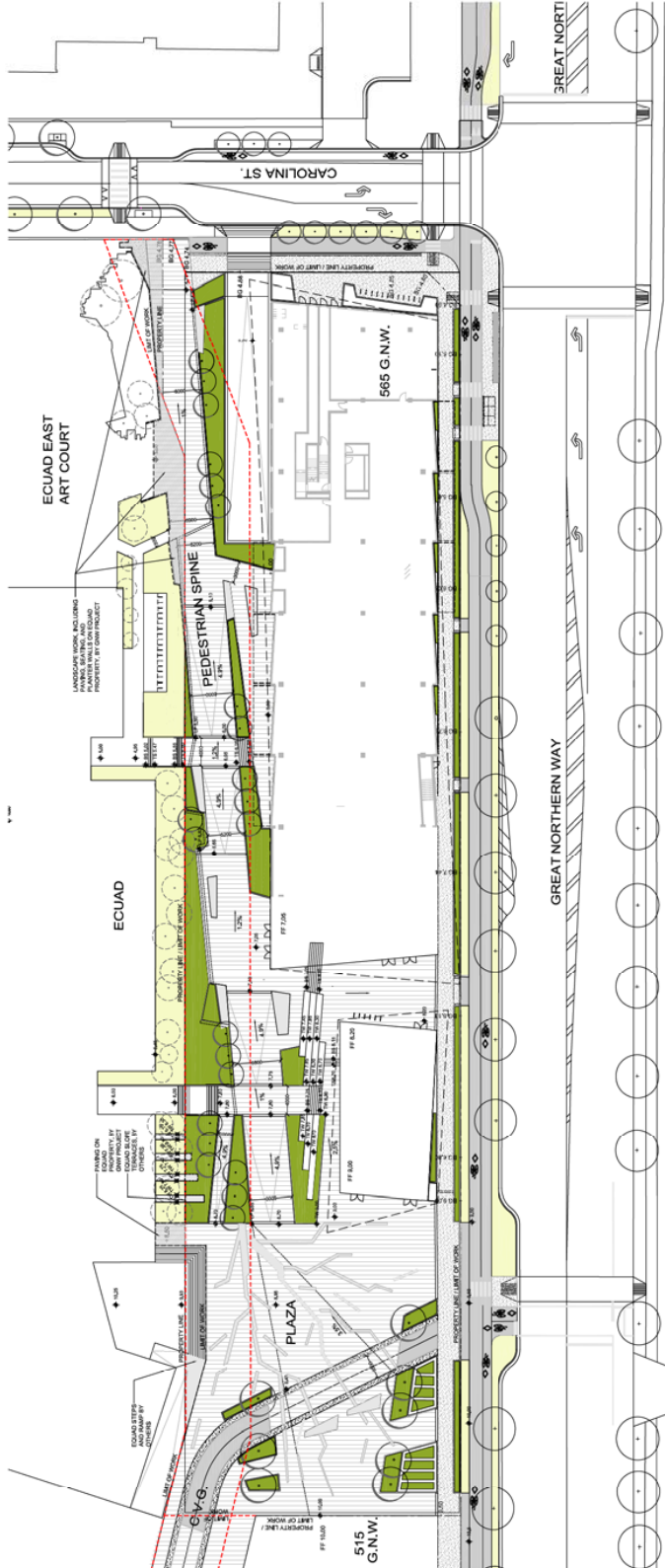
- TREE MANAGEMENT PLAN NOTES:**
- THIS PLAN FOR REFERENCE ONLY. REFER TO ARBORIST REPORT FOR GREAT NORTHERN WAY CAMPS, PREPARED BY DIMONDROAD REFER TO ARBORIST REPORT FOR ALL APPLICABLE TREE PROTECTION MEASURES.
 - MEASURES: REFER TO ARBORIST WORK CLOSE TO EXISTING TREES TO BE RETAINED SHALL BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST. REFER TO ARBORIST REPORT FOR ALL APPLICABLE TREE PROTECTION MEASURES. SUCH WORK SHALL INCLUDE BUT NOT BE LIMITED TO: ANY EXCAVATION, PRUNING, ANTI-DECAY TREATMENT, BRANCH PRUNING, AND ANY OTHER MEASURES NECESSARY TO MAINTAIN THE HEALTH AND STABILITY OF THE TREE. TREE PROTECTION TO BE CONSTRUCTED AS PER CITY OF VANCOUVER TREE PROTECTION BY-LAW SECTION 10.01 AND 10.02.
 - ALL TREE RETENTION, PROTECTION AND REPLACEMENT SHALL BE IN ACCORDANCE WITH THE CITY OF VANCOUVER TREE PROTECTION BY-LAW.
 - AS PER CAN/ULP 1746-06, TREE PROTECTION BARRIERS MUST BE A MINIMUM OF 1.2M HIGH AND MUST BE INSTALLED AS SET OUT IN CITY OF VANCOUVER TREE PROTECTION BY-LAW SECTION 10.01 AND 10.02. MEET THE PERFORMANCE REQUIREMENTS TO CALIFAS AS SET OUT IN CITY OF VANCOUVER TREE PROTECTION BY-LAW SECTION 10.01 AND 10.02. THE TREE PROTECTION BARRIERS IN STREET BOLLARDS ADJACENT TO THE CURB SHALL BE INSTALLED ON MIN. 100MM (4") OF CURB AND SHALL BE INSTALLED ON TOP OF ANY EXISTING LOCATED WITHIN CURBS AND BOLLARDS.
 - ALL TREE PROTECTION BARRIERS SHALL BE INSTALLED WITHIN OR ADJACENT TO THE CURB.
 - PROTECTION BARRIERS MUST NOT BE LIFTED OR REMOVED AT ANY TIME WITHOUT THE WRITTEN APPROVAL OF THE ARBORIST. THE ARBORIST SHALL BE NOTIFIED IMMEDIATELY IN WRITING OF ANY DAMAGE TO THE BARRIERS. THE CONDITIONS SHALL APPLY TO ALL EXISTING BARRIERS AND TO NEW BARRIERS.
 - REFER TO PLAN FOR RELOCATION.



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8/25/2019 2:51:15 PM



LAYOUT AND MATERIALS: GENERAL NOTES

1. DO NOT SCALE DRAWINGS. LAYOUT AS PLOTTED DIMENSIONS NOTED ON LANDSCAPE PLAN.
2. RESPONSE TO MATERIALS AND DIMENSIONS ARE TO BE MADE IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
3. FOR REVISED DIMENSIONS, REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
4. THE CONSULTANT FOR REVIEW AND RESPONSE.

LANDSCAPE KEY LEGEND

CP	CAST-IN-PLACE CONCRETE	TS	TOP OF STAIR	TR	TOP OF BENCH
TS	TOP OF STAIR	TC	TOP OF CURB	TC	TOP OF CURB
TR	TOP OF RAMP	TC	TOP OF CURB	TC	TOP OF CURB
TW	TOP OF WALL	AD	AREA DRAIN	AD	AREA DRAIN
BW	BOTTOM OF WALL	RD	ROOF DRAIN	RD	ROOF DRAIN
PA	PLANTING AREA	CB	CATCH BASIN	CB	CATCH BASIN
		PE	PLANT SPECIES	PE	PLANT SPECIES
		QTY	PLANT QUANTITY	QTY	PLANT QUANTITY
		SECT	SECTION NUMBER	SECT	SECTION NUMBER
		SET	SET SHEET NO.	SET	SET SHEET NO.
		DET	DETAIL NUMBER	DET	DETAIL NUMBER
		SET	SET SHEET NO.	SET	SET SHEET NO.

MATERIALS LEGEND

	CAST-IN-PLACE CONCRETE		PROPOSED PLANTING
	PRECAST CONCRETE		PROPOSED STONE PAVING
	NATURAL STONE PAVING		PROPOSED ASPHALT
	ASPHALT		PROPOSED CONCRETE
	CONCRETE		WOOD TOP BENCHES
	WOOD TOP BENCHES		BIKE SHARE
	BIKE SHARE		FUTURE CITY STREET
	FUTURE CITY STREET		PROPOSED LIGHTING
	PROPOSED LIGHTING		PROPOSED ELECTRICAL
	PROPOSED ELECTRICAL		ROLLARDS
	ROLLARDS		ROLLARDS (UNLIGHT)
	ROLLARDS (UNLIGHT)		AREA DRAIN
	AREA DRAIN		

565 GREAT NORTHERN WAY
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Layout & Grading Plan

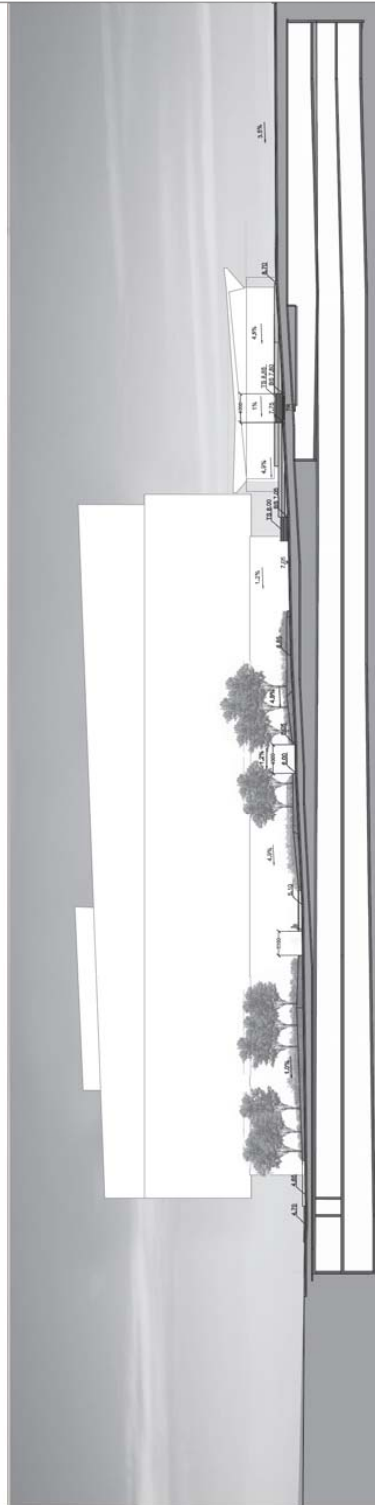
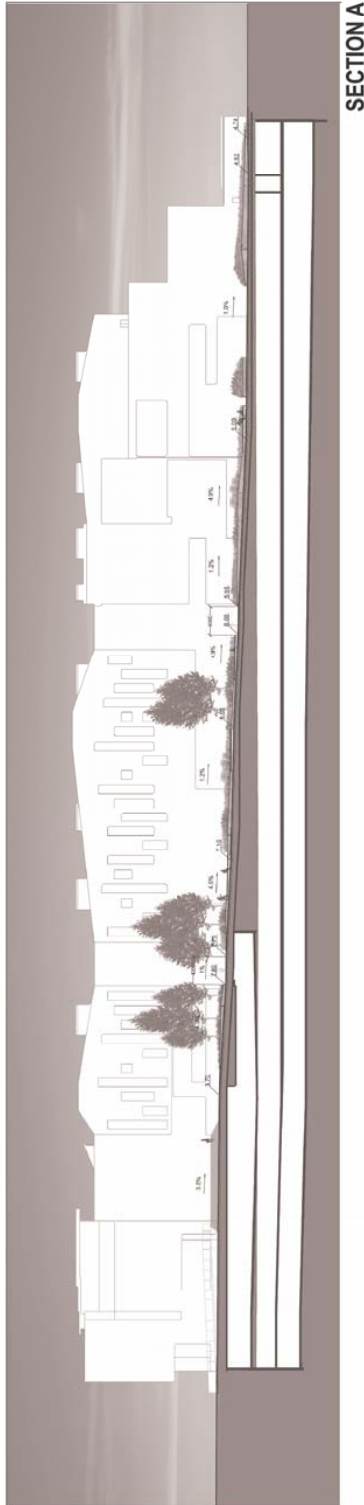
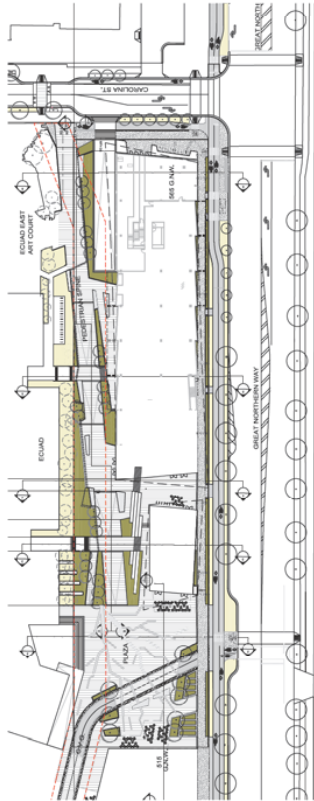
L-03.00

THE NORTH

APPENDIX C - 565 GREAT NORTHERN WAY (COMPLETE APPLICATION) - LANDSCAPE PLAN, SHEET L-03.00



2015-03-18



565 GREAT NORTHERN WAY
 181 Great Northern Way, Vancouver, BC

Landscape Sections



L-07.00

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805017 (04/19)
 2016-10-19

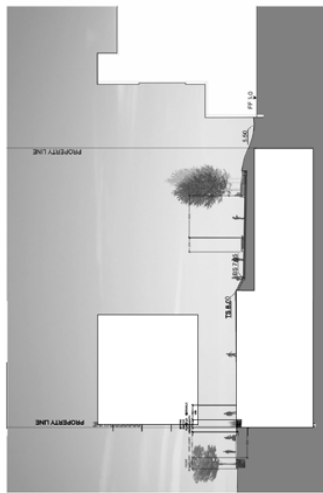
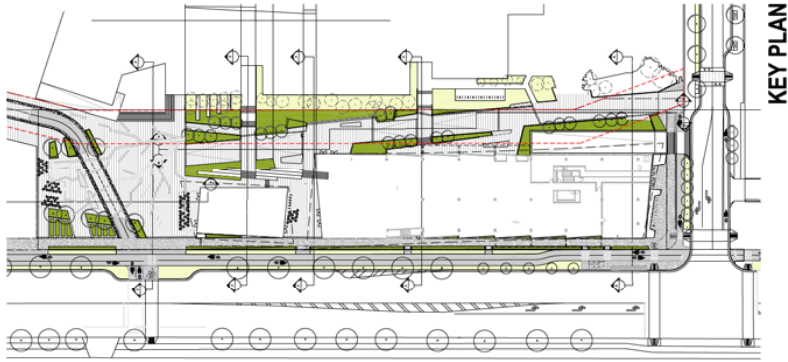
565 GREAT NORTHERN WAY
 565 Great Northern Way, Vancouver, BC

Landscaping
 Sections

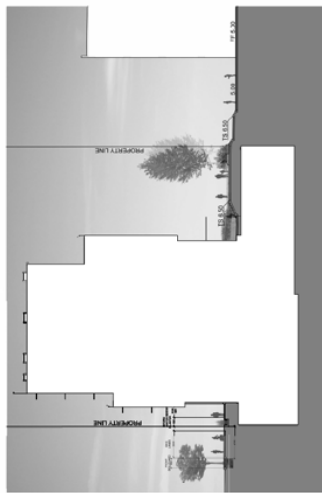
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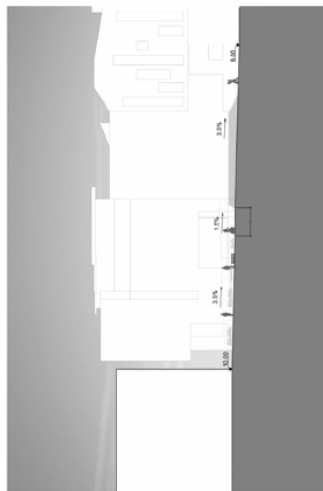
SECTION 4



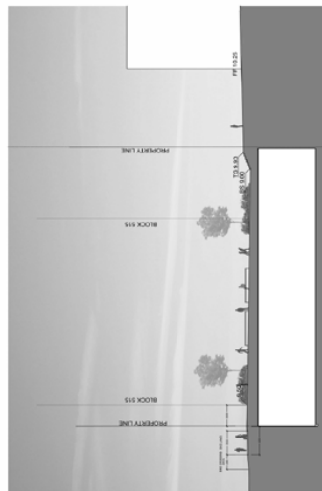
SECTION 5



SECTION 6



SECTION 1



SECTION 2



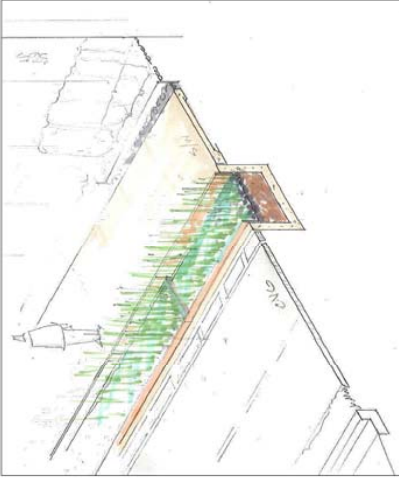
SECTION 3

PFS STUDIO
 ARCHITECTURE • LANDSCAPE ARCHITECTURE

PCI
 DEVELOPMENTS CORP.

800/577-7247
 2014-10-18

URBAN SWALE



URBAN WETLANDS



PERCHED WETLANDS



BIKE RACK



WOOD SEATING

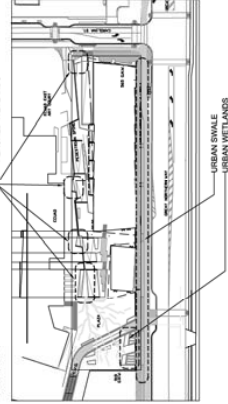


565 GREAT NORTHERN WAY
 565 Great Northern Way, Vancouver, BC

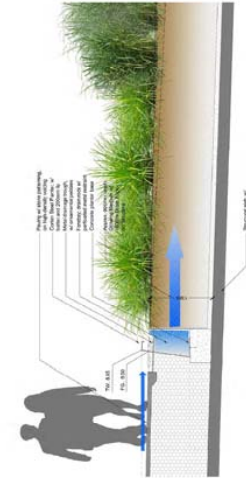
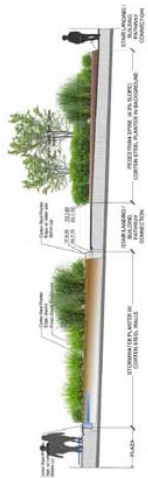
Landscape Details

L09-00

KEY PLAN



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