

PROJECT ADDRESS	1520-1558 West 6th Ave Vancouver, BC V6J 1R2		
LEGAL ADDRESS	ADDRESS	PID	LEGAL
	1520 West 6th	015-220-923	THE EAST 15 FEET OF LOT 7 BLOCK 290 DISTRICT LOT 526 590
	1520 West 6th	015-220-940	LOT 8 BLOCK 290 DISTRICT LOT 526 PLAN 590
	1524 West 6th	010-183-850	LOT 7, EXCEPT THE SOUTH 10 FEET, NOW LANE, BLOCK 290 DISTRICT LOT 526 PLAN 590
	1530 West 6th	015-220-885	LOT 6, EXCEPT THE SOUTH 10 FEET, NOW LANE, BLOCK 290 DISTRICT LOT 526 PLAN 590
	1558 West 6th	015-220-851	LOT 5, BLOCK 290 PLAN VAP590 NWD PART W 1/2, LOT 5, BLOCK 290, PLAN VAP250, PART E 1/2, DISTRICT LOT 526, NEW WESTMINSTER LAND DISTRICT
	1558 West 6th	015-220-818	THE EAST 1/2 OF LOT 5, EXCEPT THE SOUTH FEET NOW LANE, BLOCK 290 DISTRICT LOT 526 PLAN 590
ZONING	C3-A DISTRICT SCHEDULE		
GUIDELINE	C3-A BURRARD SLOPES GUIDELINE		
TOTAL SITE AREA	1826 sq.m		
TOTAL FLOOR SPACE RATIO	PERMITTED: 1.0-3.3 (GUIDELINE + HERITAGE TRANSFER BONUS) PROPOSED: 3.3		
TOTAL FLOOR SPACE	PERMITTED FSR 3.0: 5478 sq.m HERITAGE TRANSFER FSR 0.3 547.8 sq.m PERMITTED TOTAL FSR 3.3 6025.8 sq.m PROPOSED: 6025.8 sq.m		
SITE COVERAGE	PROPOSED: 1017sq.m or 56% ( COVERED AREA ABOVE GROUND LEVEL)		
HEIGHT	PERMITTED: 30.5m PROPOSED: 30.5m (TOP OF PARAPET AT LEVEL 11)		
SETBACKS FRONT YARD	REQUIRED: 3.6m (GUIDELINE) PROPOSED: 3.6m		
SETBACKS REAR YARD	REQUIRED: 7.6m (GUIDELINE) PROPOSED: 7.6m		
SETBACKS SIDE YARD	REQUIRED: N/A (GUIDELINE) PROPOSED: 1.1m		
SETBACKS TOWER (REAR+SIDE)	REQUIRED: 12.5m (GUIDELINE) PROPOSED: 12.5m		
PARKING	REQUIRED TOTAL: 63 SPACES (INCL. 2 DISABILITY SPACES) PROPOSED TOTAL: 78 SPACES (INCL. 2 DISABILITY SPACES)  MAX. ALLOWABLE SMALL SPACES: 16 SPACES PROPOSED SMALL SPACES: 12 SPACES		
BICYCLES	REQUIRED CLASS A: 50 REQUIRED CLASS A - LOCKABLE: 13 REQUIRED CLASS B: 6  PROPOSED CLASS A: 50 PROPOSED CLASS A - LOCKABLE: 13 PROPOSED CLASS B: 6		
UNITS	50 UNITS TOTAL - MARKET OWNERSHIP  16 x 3-BED 24 x 2-BED 9 x 1-BED 1 x STUDIO		
BALCONIES	PERMITTED: 482 sq.m (TOTAL 8% FSR, MAXIMUM 4% ENCL. BALCONIES)  PROPOSED TOTAL: 386 sq.m PROPSOED ENCL.: 137 sq.m PROPSOED EXT.: 220 sq.m		
AMENITY	REQUIRED: 232sq.m (4.64 sq.m PER UNIT) PROPOSED: 236 sq.m ( LEVEL 1= 48sq.m, LEVEL 2 = 188 sq.m)		



ARCHITECTURAL/ INTERIOR DESIGN

office of mcfarlane biggar  
architects + designers  
301-1825 Quebec Street  
Vancouver, BC V5T 2Z3

604 558 6344

Contact:  
Steve McFarlane  
smcfarlane@officemb.ca

OWNER/ PROJECT MANAGER

Anthem Properties Group Ltd.  
Suite 1100 Bentall IV, 1055 Dunsmuir Street  
Vancouver, British Columbia  
V7X 1K8

604 689 3040

Contact:  
Melissa Howey  
mhowey@anthemproperties.com

STRUCTURAL

BMZSE  
700 - 609 West Hastings Street  
Vancouver, British Columbia  
V6B 4W4

604 685 9533

Contact:  
John Markulin  
jmarkulin@bmzse.com

MECHANICAL

AME Group  
1100 - 808 W Hastings Street  
Vancouver, BC  
V6C 2X4

604 684 5995

Contact:  
Marie-France Venneri  
marievenneri@amegroup.ca

ELECTRICAL

Nemetz & Associates  
2009 West 4th Ave  
Vancouver, BC  
V6J 1N3

604 742 2942

Contact:  
Gary Geissinger  
gary@nemetz.com

CIVIL

Vector Engineering Services Ltd.  
3375 Norland Ave  
Burnaby, BC  
V5B 3A9

604 298 2333

Contact:  
Vic Sagorski  
vic@vectoreng.com

ENVELOPE

Aqua-Coast Consulting Engineers  
201-5155 Ladner Trunk Road  
Delta, BC  
V4K 1W4

604 948 0958

Contact:  
Pat Cuthbert  
pcuthbert@aqua-coast.ca

CODE

LMDG  
4th Floor, 780 Beatty Street  
Vancouver, BC  
V6B 2M1

604 682 7146

Contact:  
Ryan Martin  
rmartin@lmdg.com

ACOUSTICS

Brown Strachan Associates  
#2 - 1290 Homer Street  
Yaletown Square  
V6B 2Y5

604 689 0514

Contact:  
Andrew R. Fawcett  
bsb@brownstrachan.com

LANDSCAPE

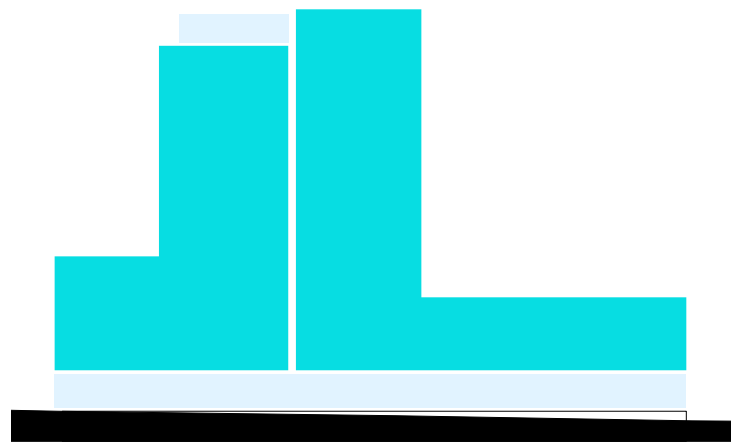
van der Zalm + Associates  
Suite 1 - 20177 97 Avenue  
Langley, BC  
V1M 4B9

604 882 0024

Contact:  
David Jerke  
davidj@vdz.ca

1520-1558 WEST 6TH AVENUE  
Residential Development incl. Townhomes

ISSUED FOR DEVELOPMENT PERMIT  
14 DECEMBER 2018












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

DRAWING LIST

A000	Cover Sheet
A002	Drawing List and General Notes
A004	Code Diagram
A005	Code Diagram
A010	Shadow Study
A011	View Study
A051	Level 1 - FSR Stats
A052	Level 2 - FSR Stats
A053	Level 3 - FSR Stats
A054	Level 4 - FSR Stats
A055	Level 5 - FSR Stats
A056	Level 6-7 - FSR Stats
A058	Level 8-10 - FSR Stats
A061	Level 11 - FSR Stats
A070	Level 1-11 - NET Area Stats
A080	Context Plan
A081	Site Context Photos
A082	Streetscape
A083	Site Plan
A099	Level P-2
A100	Level P-1
A101	Level 1
A102	Level 2
A103	Level 3
A104	Level 4
A105	Level 5
A106	Level 6-7
A108	Level 8-10
A111	Level 11
A112	Roof Plan
A200	North Elevation
A201	East Elevation
A202	South Elevation
A203	West Elevation
A300	Section AA
A301	Section BB
A302	Section CC
A303	Section DD
A304	Section EE
A305	Section FF













SYMBOL LEGEND

CODE	DESCRIPTION
	PLAN / SECTION DETAIL REFERENCE
	DETAIL SECTION
	ELEVATION REFERENCE
	FINISHED FLOOR / CEILING DATUM TAG/ ELEVATION TAG
	ROOM TAG
	FINISH / MATERIAL TAG
	ASSEMBLY TYPE TAG
	CURTAIN WALL / GLAZING ASSEMBLY TAG
	SLOPE DIRECTION

MATERIALS LEGEND

	DARK METAL PANEL CLADDING
	CEMENTITIOUS CLADDING PANEL - LIGHT GREY
	CEMENTITIOUS CLADDING PANEL - MID GREY
	CLEAR GLASS BALUSTRADE
	CLEAR GLASS WINDOW
	FROSTED GLASS WINDOW

CEILING DEVICE SYMBOLS - REFERS TO ELEC AND MECH

CODE	DESCRIPTION
	SPEAKER
	OCCUPANCY SENSOR
	LINEAR DIFFUSER
	CEILING MOUNTED EXIT SIGN
	WALL MOUNTED EXIT SIGN
	CEILING MOUNTED DAYLIGHT SENSOR
	WALL MOUNTED DAYLIGHT SENSOR
	SMOKE DETECTOR
	
	
	
	

FA	FIRE ALARM
FB	FLOOR BOX
FD	FLOOR DRAIN
FHC	FIRE HOSE CABINET
FIN	FINISH(ED)
FLR	FLOOR
FND	FOUNDATION
FO	FACE OF
F.F.L	FINISH FLOOR LEVEL
F.F.E	FINISH FLOOR ELEVATION
FP	FALL PROTECTION
FR	FRIDGE
FRR	FIRE RESISTANCE RATING
FT	FOOT or FEET
FUT	FUTURE
G/L	GRIDLINE
G1S	GOOD ONE SIDE
GA	GAUGE
GALV	GALVANIZED
GL	GLASS or GLAZED
GLAM	GLULAM
GR	GRADE
GRND	GROUND
GWB	GYPSSUM WALL BOARD
HB	HOSE BIB
HDWR	HARDWARE
HT	HEIGHT
HRWD	HARDWOOD
INSUL	INSULATION
INT	INTERIOR
JC	JANITOR CLOSET
JT	JOINT

ABBREVIATIONS

& / +	AND
@	AT
C	CENTRE LINE
Ø?	DIAMETER
#	NUMBER
±?	PLUS/MINUS
ABV	ABOVE
ACOUS	ACOUSTIC(AL)
ACT	ACOUSTICAL CEILING TILE
ADJ	ADJUST(ABLE) or ADJACENT
AFFL	ABOVE FINISHED FLOOR
AL/ALUM	ALUMINUM
ANO	ANODIZED
APPROX	APPROXIMATE(LY)
ARCH	ARCHITECTURAL
AV	AUDIO/VISUAL
AVB	AIR/VAPOUR BARRIER
BCBC	BRITISH COLUMBIA BUILDING CODE
BD	BOARD
A.F.	BARRIER FREE
BLDG	BUILDING
A.O.	BOTTOM OF
BOH	BACK OF HOUSE
C/W	COMPLETE WITH
CB	CATCH BASIN
CIP	CAST IN PLACE
CL	CENTRE LINE
CLO	CLOSET
CO	CLEAN OUT
COL	COLUMN
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
CORR	CORRIDOR
CPT	CARPET
CS	COUNTER-SUNK
CSU	CONDUIT STUB UP
CTR	CENTRE
CVN	CLEAR VENEER
DBL	DOUBLE
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DWG	DRAWING
DR	DOOR
DRW	DRAWER
DS	DAYLIGHT SENSOR
DWR	DISHWASHER
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRIC(AL)
EMER	EMERGENCY
ELEV	ELEVATOR
ENCL	ENCLOSURE
EP	ELECTRICAL PANELBOARD
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST	EXISTING
EXP	EXPOSED STRUCTURE
EXT	EXTERIOR or EXTENSION
FA	FIRE ALARM
FB	FLOOR BOX
FD	FLOOR DRAIN
FHC	FIRE HOSE CABINET
FIN	FINISH(ED)
FLR	FLOOR
FND	FOUNDATION
FO	FACE OF
F.F.L	FINISH FLOOR LEVEL
F.F.E	FINISH FLOOR ELEVATION
FP	FALL PROTECTION
FR	FRIDGE
FRR	FIRE RESISTANCE RATING
FT	FOOT or FEET
FUT	FUTURE
G/L	GRIDLINE
G1S	GOOD ONE SIDE
GA	GAUGE
GALV	GALVANIZED
GL	GLASS or GLAZED
GLAM	GLULAM
GR	GRADE
GRND	GROUND
GWB	GYPSSUM WALL BOARD
HB	HOSE BIB
HDWR	HARDWARE
HT	HEIGHT
HRWD	HARDWOOD
INSUL	INSULATION
INT	INTERIOR
JC	JANITOR CLOSET
JT	JOINT

ABBREVIATIONS CONT'D

LAM	LAMINATE / LAMINATED
LAN	LOCAL AREA NETWORK ROOM
LS	LAMP STANDARD
LT	LIGHT
LV	LOUVRE
MAT	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MET	METAL
MFR	MANUFACTURER
MH	MANHOLE
MIRR	MIRROR
MISC	MISCELLANEOUS
MTD	MOUNTED
MUL	MULLION
N/A	NOT APPLICABLE
NBC	NATIONAL BUILDING CODE
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
O.C.	ON CENTRE
O.D.	OUTSIDE DIMENSION
OH	OVER HEAD
OP	OPERABLE PARTITION
OPP	OPPOSITE
OS	OCCUPANCY SENSOR
PA	PUBLIC ADDRESS SPEAKER
PCIP	PRE-CAST CONCRETE INSULATED PANEL
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLYWD	PLYWOOD
PL	PROPERTY LINE
PT	PAINT
PTD	PAINTED
PTN	PARTITION
P.T.P / P.T.	PRESSURE TREATED
P/T	PRESSURE TREATED
PTZ	PAN-TILT-ZOOM
RD	ROOF DRAIN
REQ	REQUIREMENT
REQ'D	REQUIRED
REV	REVISION OR REVERSE
RM	ROOM
RO	ROUGH OPENING
RWL	RAIN WATER LEADER
SB	SERVICE BOX
SC	SIAMESE CONNECTION
SCHED	SCHEDULE
SCWD	SOLID CORE WOOD DOOR
S.D.	SMOKE DETECTOR
SECT	SECTION
SH	SHELF
SIM	SIMILAR
SP	SPRINKLER
SPEC	SPECIFICATION
SPF	SPRAY POLYURETHANE FOAM
SQ	SQUARE
SQ FT	SQUARE FEET
SQ M	SQUARE METRES
SS	STAINLESS STEEL
ST	STAIR
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRL	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL OR SYMBOL
TBC	TO BE CONFIRMED
TBD	TO BE DETERMINED
TD	TRENCH DRAIN
T&G	TONGUE AND GROOVE
THK	THICK
TL	TILE
T.O.	TOP OF
TOC	TOP OF CURB/CONCRETE
TOF	TOP OF FINISH
TOFF	TOP OF FINISHED FLOOR
TOS	TOP OF SLAB/STEEL
TOW	TOP OF WALL
TR	TREE
TYP/TYP.	TYPICAL
UNF	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
U/S	UNDERSIDE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
WB	WOOD BASEBOARD
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
WV	WOOD VENEER
W/	WITH
W/O	WITHOUT

GENERAL NOTES

THESE NOTES TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING NOTES.

ALL SITE RELATED ELEVATIONS AND DIMENSIONS ARE TO BE VERIFIED ON SITE BY CONTRACTOR. ELEVATIONS AND DIMENSIONS SHOWN ON DRAWINGS ARE FOR DESIGN INTENT ONLY.

ALL LABOUR, MATERIALS AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF VANCOUVER BUILDING BY LAW (VBBL) 2014. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE OF ALL APPLICABLE BUILDING CODES.

ALL CODES AND DOCUMENTS REFERRED TO IN THESE DOCUMENTS ARE TO BE THE LATEST EDITION, UNLESS OTHERWISE STATED.

THE CONTRACTOR IS RESPONSIBLE FOR ALL MEASURES REQUIRED BY "SAFETY AT CONSTRUCTION AND DEMOLITION SITES."

ALL MECHANICAL & ELECTRICAL EQUIPMENT, PIPING, DUCTWORK, ETC INSTALLED ON THIS PROJECT SHALL BE SEISMICALLY RESTRAINED IN ACCORDANCE WITH THE VANCOUVER BUILDING BY LAW (VBBL) 2014. SEISMIC RESTRAINT OF LIGHTING AND MILLWORK TO BE PROVIDED. CONTRACTOR TO REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.

ALL MECHANICAL & ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE VANCOUVER BUILDING BY LAW (VBBL) 2014.

CONTRACTOR TO ENSURE FIRE SEPARATIONS AND FIRE STOPPING ARE LOCATED AND CONSTRUCTED AS PER CODE REQUIREMENTS.

PROVIDE GUARDS WHERE SHOWN ON THE DRAWINGS AND WHERE ADJACENT GRADE OR FLOOR LEVEL IS LOWER BY 600mm OR MORE. UNLESS OTHERWISE NOTED GUARDS TO BE 1070mm. UNLESS OTHERWISE NOTED GUARDS TO BE NON-CLIMBABLE AND TO NOT ALLOW PASSAGE OF A 100mm DIAM. SPHERE. GUARDS TO BE DESIGNED TO RESIST LOADS LISTED IN NBC 2015. REFER TO STRUCTURAL INFORMATION FOR MORE INFORMATION.

GLAZING IN DOORS, SIDELIGHTS, AND WALLS REACHING THE FLOOR SHALL BE SAFETY GLASS AS PER VANCOUVER BUILDING BY LAW (VBBL) 2014.

GLAZING IN HANDRAILS AND GUARDRAILS NOT DETAILED BY STRUCTURAL TO BE ENGINEERED BY CONTRACTOR AND SHALL BE LAMINATED AND TEMPERED GLASS.

ALL PRODUCTS AND SYSTEMS RELATED TO LIFE SAFETY, ALL PRODUCTS RELATED TO BUILDING ENVELOPE, AND THOSE VISIBLE WHEN CONSTRUCTION IS COMPLETE MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

DOORS IN THEIR SWING SHALL NOT REDUCE THE EFFECTIVE WIDTH OF EXIT STAIRS OR LANDINGS TO LESS THAN 750mm, MEASURED FROM THE EDGE OF THE DOOR TO THE HANDRAIL.

PLAN DETAILS SUPERCEDE WALL TYPE DEFINITION.

ALL DIMENSIONS ARE TO GRIDLINE. FACE OF CONCRETE. FACE OF NEW STUD WALL, FACE OF FINISHED EXISTING STUD WALL, OUTSIDE FACE OF EXTERIOR WALL, UNO.

UNLESS OTHERWISE NOTED, ALL WALL ASSEMBLIES SHALL EXTEND UP TO THE UNDERSIDE OF THE STRUCTURE ABOVE AND BE SEALED CONTINUOUSLY FOR THE FULL LENGTH. PROVIDE FOR STRUCTURAL DEFLECTION WHERE REQUIRED.

ALL DIMENSIONS FOR PARTITION LAYOUT, DOORS, MILLWORK, ETC. ARE TO BE SITE VERIFIED BEFORE ANY WORK BEING EXECUTED. REPORT ANY ERRORS / DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING.

ALL PARTITIONS TO BE CONTINUOUS ABOVE DOORWAYS AND WINDOW OPENINGS UNLESS DETAILED OR NOTED OTHERWISE.

PROVIDE ALL SOLID BLOCKING REQUIRED FOR ALL WALL AND CEILING MOUNTED FIXTURES, EQUIPMENT AND MILLWORK INCLUDING OWNER SUPPLIED EQUIPMENT. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO WALL AND CEILING FINISH INSTALLATION.

CONTRACTOR TO PROVIDE AND COORDINATE ALL CONCEALED EQUIPMENT IN WALLS AND CEILING REQUIRED TO MOUNT FIXTURES, HARDWARE AND EQUIPMENT AS PER MANUFACTURERS' SPECIFICATIONS AND BUILDING CODES.

THE EXISTING BUILDING HAS BEEN CONSTRUCTED OVER EXISTING ELECTRICAL AND MECHANICAL SERVICES. CONTRACTOR IS RESPONSIBLE FOR PROTECTING SERVICES THROUGHOUT CONSTRUCTION AND TAKING ALL MEASURES NECESSARY INCLUDING HAND EXCAVATING TO ENSURE THEIR INTEGRITY IS MAINTAINED.

THE ROUTING AND LAYOUT OF ALL SERVICES, DUCTWORK, PIPING ETC IS DIAGRAMMATIC UNO. THE CONTRACTOR IS RESPONSIBLE FOR FIELD MEASURING ALL MATERIAL PRIOR TO INSTALLATION AND TO OFFSET AS REQUIRED TO AVOID CONFLICTS WITH STRUCTURAL, ARCHITECTURAL, OR OTHER TRADES.

GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING FINAL DRYWALL AND MILLWORK DETAILING PRIOR TO FRAMING TO ENSURE ANY REVEALS INDICATED IN DRAWINGS ARE ACHIEVABLE.

COORDINATE MECHANICAL AND ELECTRICAL DEVICES WITH FOUNDATION WALLS, SHEAR WALLS, REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS.

REFER TO STRUCTURAL DOCUMENTS FOR STRUCTURAL DESIGN PARAMETERS INCLUDING SHEARWALLS, STAIRS, CONCRETE ETC.

CONTRACTOR TO FIELD CHECK AND CONFIRM EXACT LOCATIONS, ELEVATIONS INVERTS AND INSTALLATIONS OF ALL SERVICES FOR THIS PROJECT.

ALL WIRED DEVICES TO BE LOCATED BY ARCHITECT.

ROOF INSTALLATION AND MATERIALS TO MEET ACCEPTED RCABC STANDARDS, MATERIALS & GUIDELINES

ALL ROOFS AND GUTTERS TO HAVE POSITIVE SLOPE TO DRAIN, UNO.

ALL GRADES AND SURFACES ADJACENT THE BUILDING EXTERIOR SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING, UNO.

ALL TILE SET OUT JOINTS AND CONCRETE JOINT/REGLET DETAILS TO BE RESOLVED ON SITE WITH ARCHITECT.

NO FLOOR TRANSITION TO BE GREATER THAN 6mm AT THRESHOLDS AND BETWEEN ADJACENT MATERIALS, UNO.

ALL MIRRORS TO HAVE POLISHED EDGES WITH MINIMAL EDGE RADIUS. MIRRORS TO BE GLUED IN PLACE WITH SUITABLE ADHESIVE AND MINIMAL CONCEALED GRAVITY CLIPS WHERE NECESSARY TO HOLD MIRROR WHILE GLUE SETS.

ANY BUILDING CONTROL SWITCHES SUCH AS ELECTRICAL SWITCHES, THERMOSTATS AND INTERCOM SWITCHES THAT ARE INTENDED TO BE OPERATED BY THE OCCUPANT SHALL BE MOUNTED BETWEEN 400-1200mm ABOVE FFL.

GENERAL NOTES CONT'D

PAINT ALL INTERIOR AND EXTERIOR CAVITIES, INCLUSIVE OF BUT NOT LIMITED TO STRUCTURE, ELECTRICAL, MECHANICAL, BLIND HOUSINGS, OR OTHER COMPONENTS FLAT BLACK, ABOVE THE WOOD CEILING, IN WALL REVEALS, GAPS, ETC AND BEHIND ALL INTERIOR AND EXTERIOR LOUVRES INCLUDING WOOD SOFFIT LOUVRES.

REMOVE ALL EXPOSED MANUFACTURER LABELS ON INSTALLED EQUIPMENT AND ACCESSORIES IN PUBLIC AREAS UNLESS APPROVED BY ARCHITECT.

GLAZING WITH LOW-E SOFT OR HARD COATING SHALL LOCATE THE COATING ON SPECIFIED SURFACE AND SHALL BE LABELED WITH A REMOVABLE LABEL FOR INSTALLATION TO ENSURE PROPER ORIENTATION OF GLASS.

ALL EXTERIOR WOOD TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED. ALL EXTERIOR FASTENERS TO BE HOT DIPPED GALVANIZED UNLESS OTHERWISE NOTED. ALL EXTERIOR WOOD TO BE FASTENED WITH STAINLESS STEEL FASTENERS UNLESS OTHERWISE NOTED.

CONTRACTOR TO MAKE GOOD ALL FLOOR, CEILING AND BUILDING SYSTEM COMPONENTS NECESSARY TO COMPLETE MECHANICAL AND ELECTRICAL TIE-INS, INCLUDING AREAS OUTSIDE OF THE GENERAL CONSTRUCTION LINE. QUALITY TO MATCH EXISTING CONDITIONS. DISRUPTIONS TO WORKSTATIONS AND PUBLIC CIRCULATION TO BE MINIMIZED AND COORDINATED WITH THE OWNER PRIOR TO EXECUTING THE WORK.

METAL FLASHING JOINTS & SEAMS TO ALIGN w/ CENTRELINE CURTAINWALL MULLIONS AND CLADDING JOINTS ONLY.

CONTRACTOR TO ALLOW FOR HORIZONTAL CONSTRUCTION JOINT (COLD JOINT) BETWEEN POURS. FINAL LAYOUT TO BE COORDINATED THROUGH SHOP DRAWINGS.

CONTRACTOR TO PROVIDE 20mm PLY PAINTED WITH FIRE RETARDANT PAINT PRIOR TO ELECTRICAL PANEL INSTALLATION ALL SERVICE ROOMS TYP.

WHERE FIELD WELDING OF GALVANIZED MATERIAL IS REQUIRED, GRIND SURFACE SMOOTH AND FILLSKIM WITH BONDO BODY FILLER TO ACHIEVE SMOOTH SURFACE. PROVIDE ZINC RICH COATING PRIOR TO PAINTING PER SCHEDULE.

PROVIDE 38mm BLOCKING AT JOIST WEBS TO INFILL GAP IN SHEATHING WHERE JOISTS PASS THROUGH SHEATHING LINE - TYP. WHERE JOIST ARE PERPENDICULAR TO SHEATHING FACE

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING THE INSTALLATION OF SIGNS AND ENSURING THAT THE WORK AND ROUGHINS, BACKING, AND SUPPORT STRUCTURES IS COMPLETE PRIOR TO INSTALLATION.

CEILINGS ARE TO BE INSTALLED WITH THE USE OF LASER ALIGNMENT TO ENSURE LEVEL ASSEMBLY.

DO NOT SCALE MEASUREMENTS OFF DRAWINGS. IF THERE ARE ANY DISCREPANCIES THE CONTRACTOR SHALL NOTIFY THE CLIENT'S REPRESENTATIVE.

CEILING NOTES

SPRINKLERS SHOWN INDICATED DESIGN INTENT AND ARE TO BE CONSIDERED THE MINIMUM NUMBER OF HEADS. CONTRACTOR IS RESPONSIBLE FOR SPRINKLER HYDRAULIC CALCULATIONS, DESIGN, AND COVERAGE. NOTIFY THE ARCHITECT WHERE ADDITIONAL COVERAGE MAY BE REQUIRED.

SPRINKLER HEADS TO BE FULLY RECESS WHERE IN GYPSUM OR ACT CEILING TYP. DISCUSS WITH ARCHITECT CONDITIONS THAT CONFLICT.

MILLWORK NOTES

REFER TO SPEC SECTION 064000 ARCHITECTURAL WOODWORK, SECTION 098350 ACOUSTIC WOOD WALLS AND CEILINGS, AND TO ARCHITECTURAL WOODWORK MANUFACTURER'S ASSOCIATION CUSTOM STANDARD "QUALITY STANDARDS"

MILLWORK CONTRACTOR TO CO-ORDINATE IN CONJUNCTION WITH GENERAL CONTRACTOR, PROVISION AND LOCATION OF ADDITIONAL SOLID BLOCKING AND STEEL SUPPORT IN WALLS AS REQUIRED TO SUPPORT MILLWORK SHOWN.

COORDINATE ALL PLUMBING, ELECTRICAL FIXTURES, SERVICES & APPLICATIONS/EQUIPMENT WITH PLUMBING AND ELECTRICAL TRADES. COORDINATE WITH MECHANICAL TRADES FOR S/A GRILLES, DUCTS & PLENUMS

CONFIRM ALL SIZES, LOCATIONS AND CLEARANCES PRIOR TO MANUFACTURE OF MILLWORK.

VERTICAL AND HORIZONTAL BACKING REQUIRED FOR ALL MILLWORK.

MILLWORK TO INCLUDE ALL CASEWORK, ALL GLAZING AND MIRRORS INTEGRATED IN MILLWORK, WOOD BASE AND TRIM.

MILLWORK CONTRACTOR TO PROVIDE/SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL TO ARCHITECT PRIOR TO FABRICATION.

COORDINATE ALL MILLWORK WITH INTERIOR ELEVATIONS (A500s)

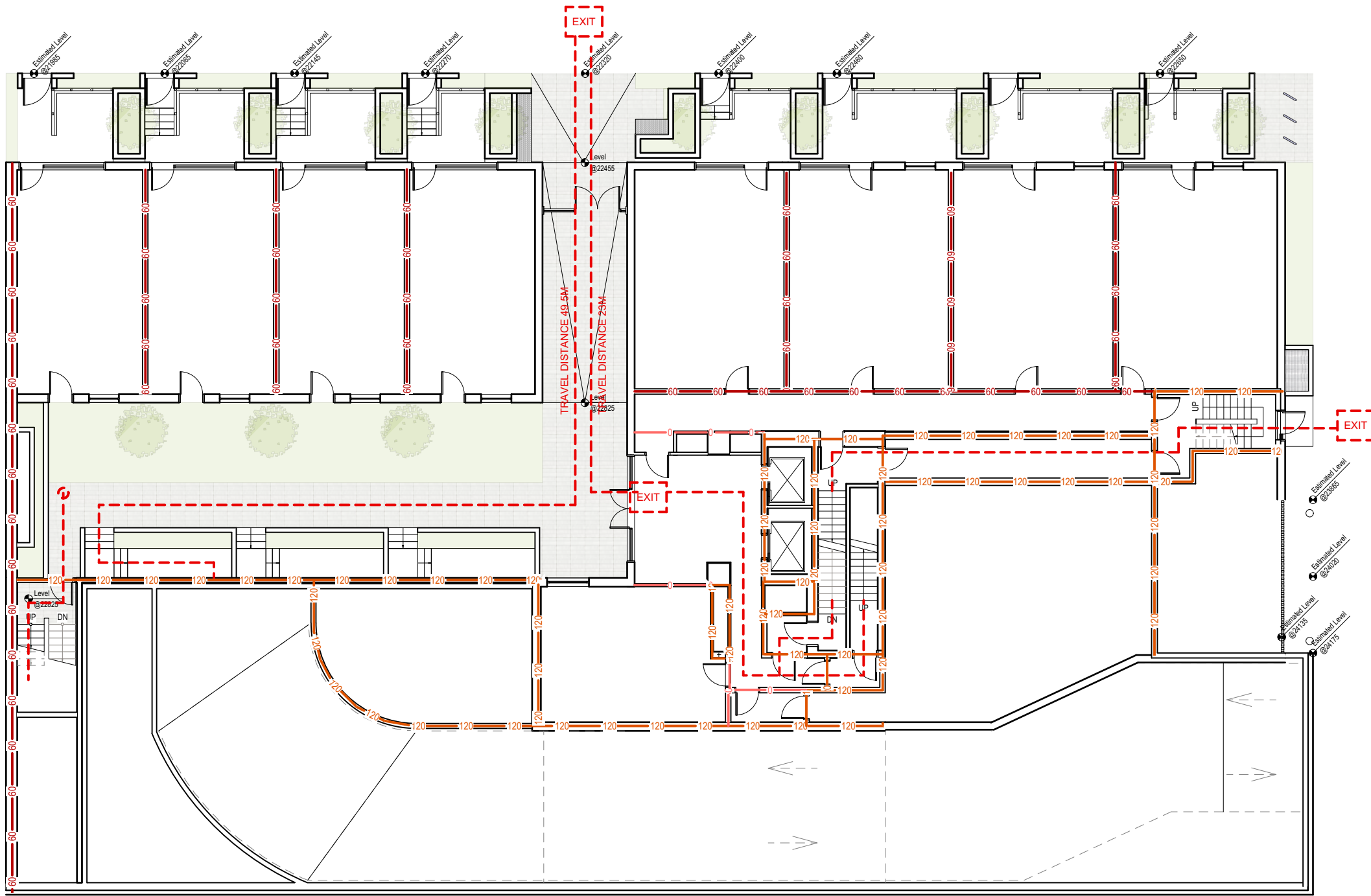
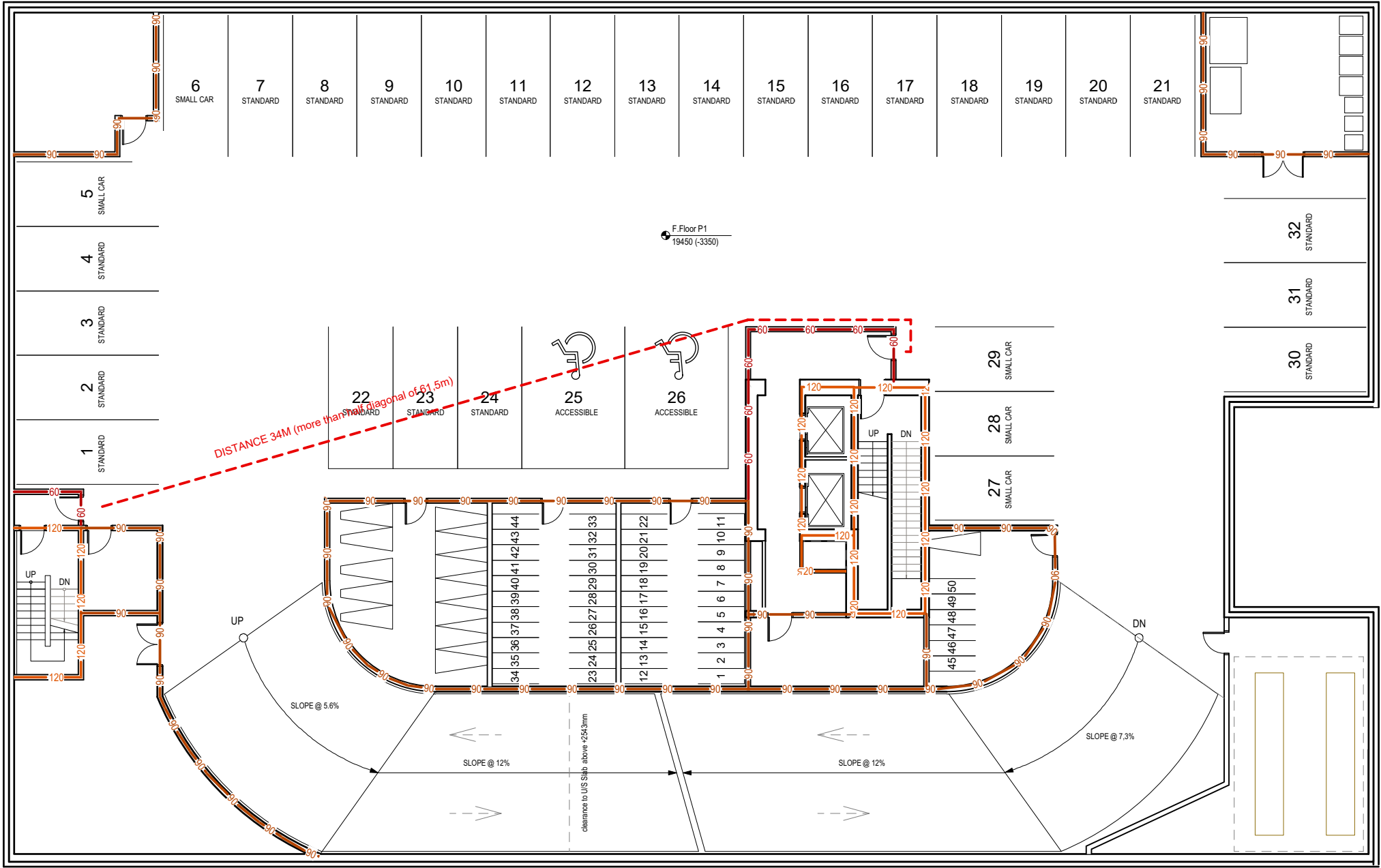
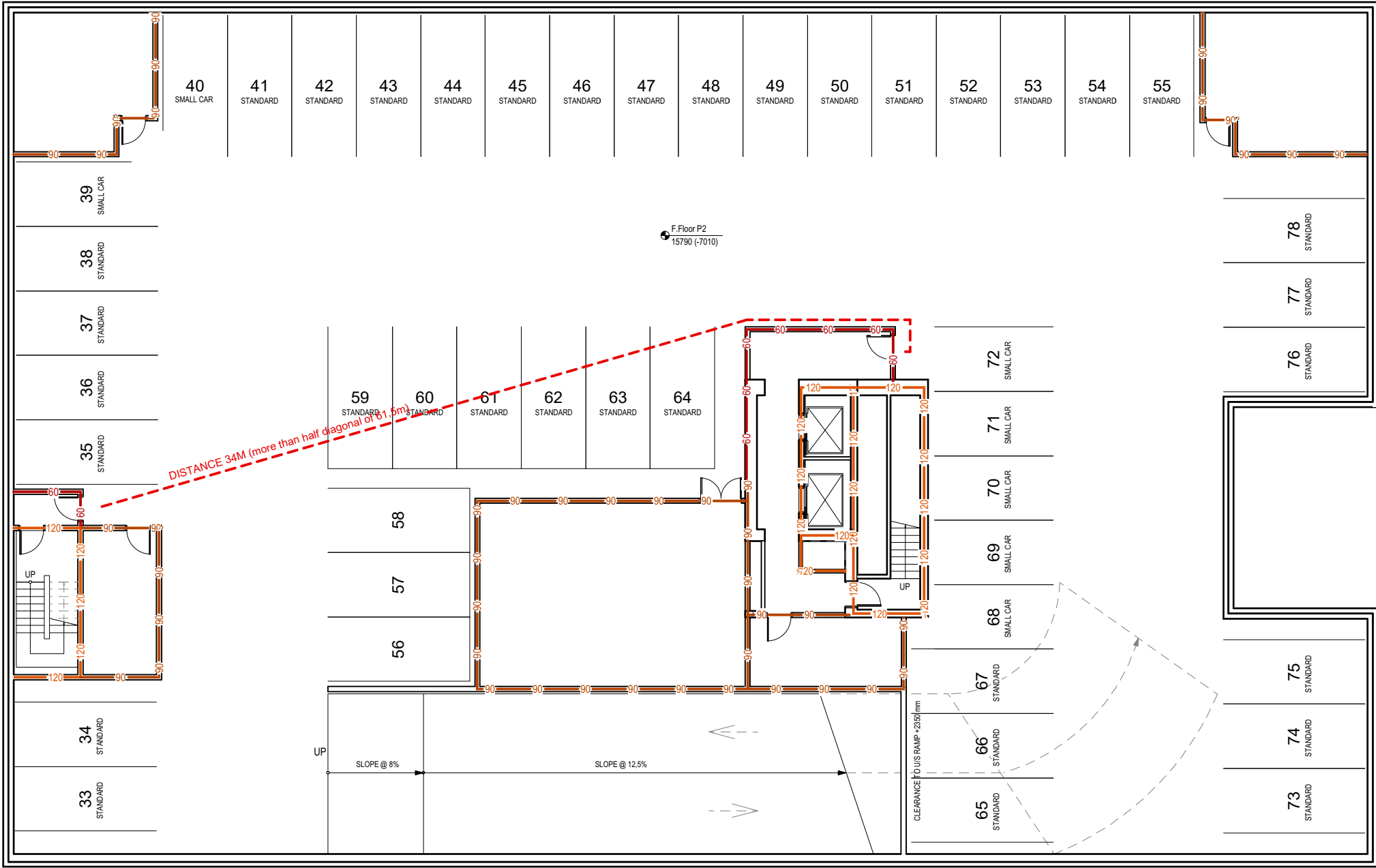
WASHROOM ACCESSORY NOTES

PROVIDE ADEQUATE BACKING & SUPPORT FOR ALL FIXTURES AND ACCESSORIES.

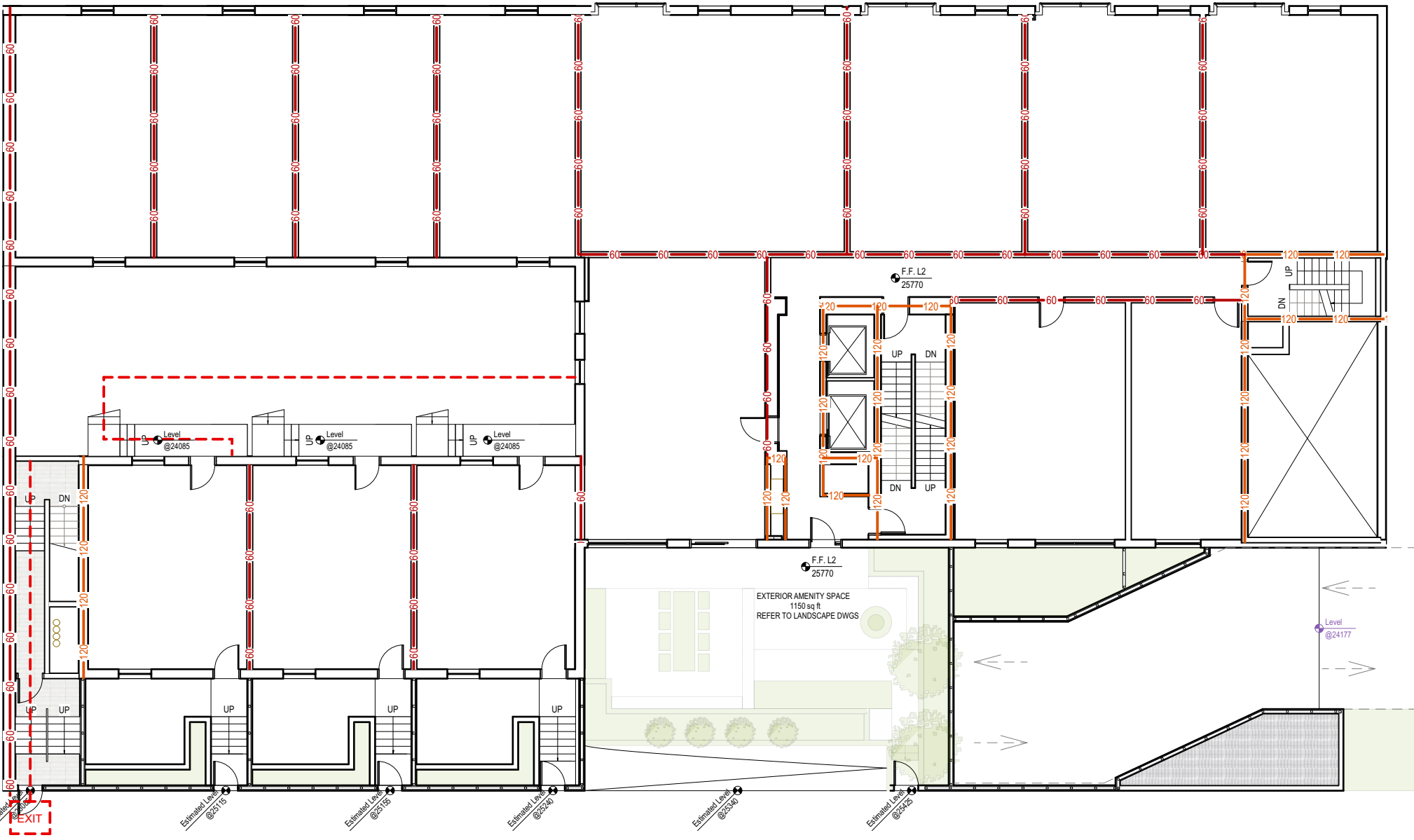
PROVIDE SOLID BACKING FOR GRAB BARS

FLOORING TILES TO RUN UNDERNEATH VANITIES.

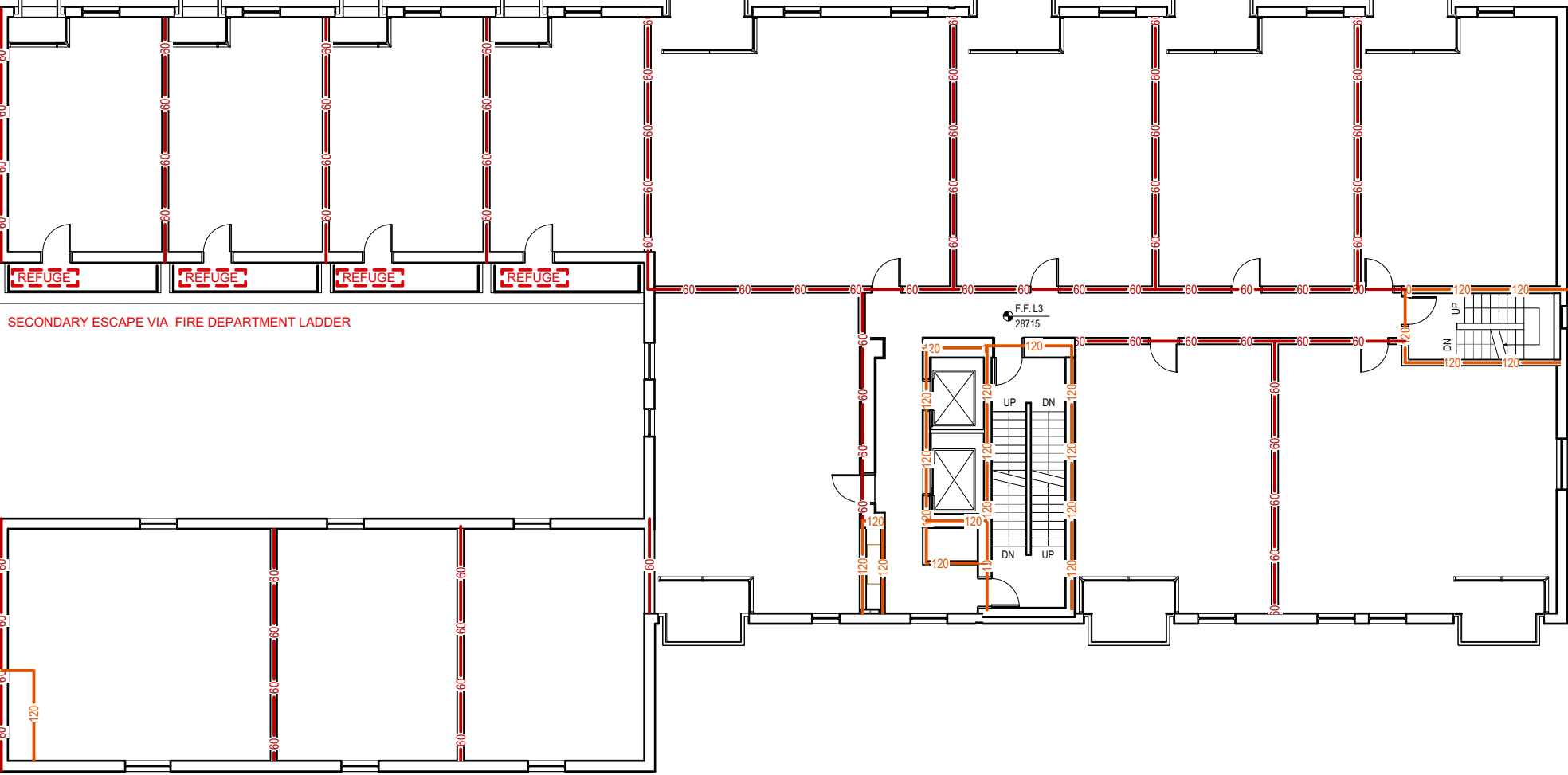




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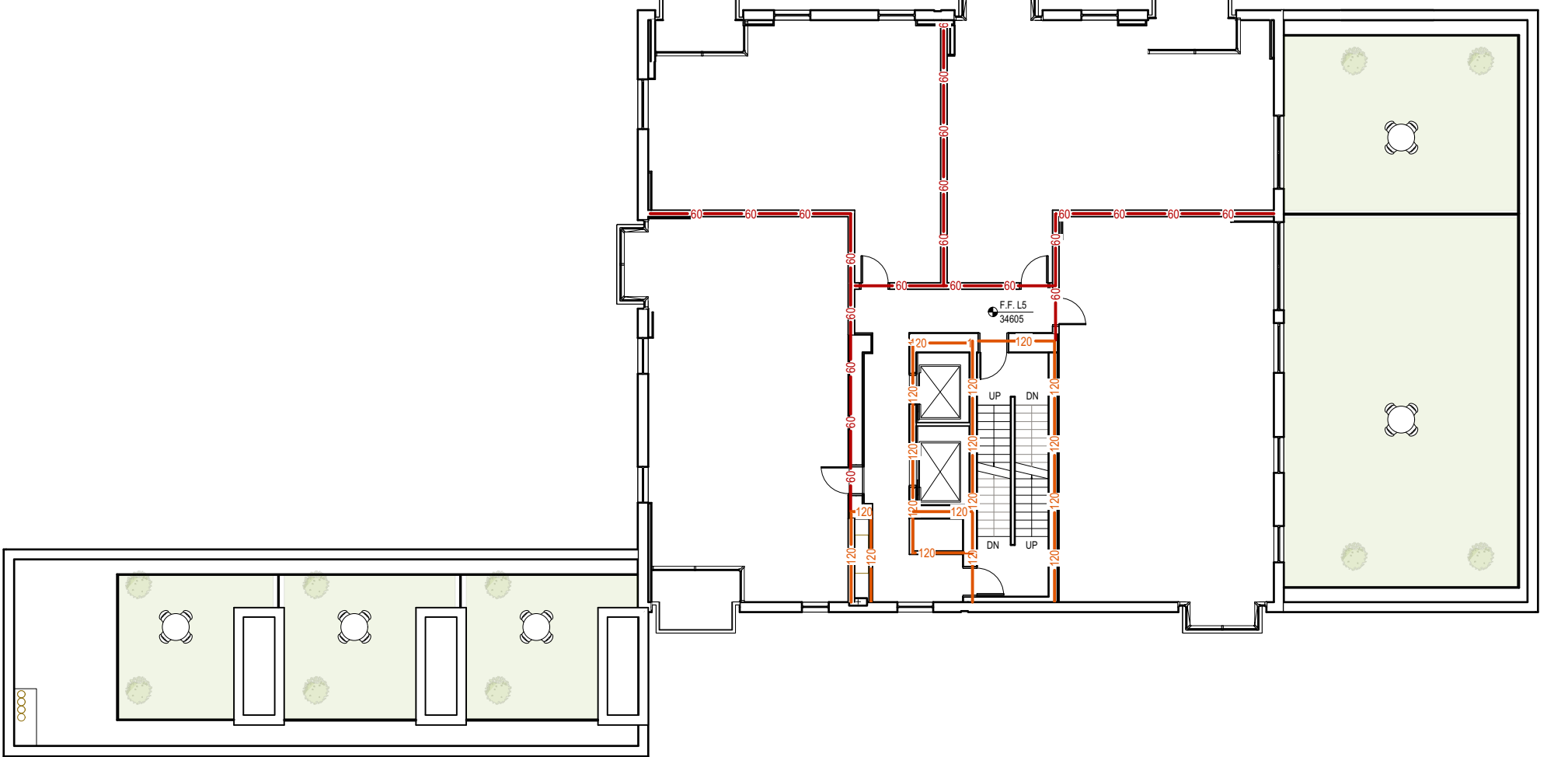
2 P1 Level  
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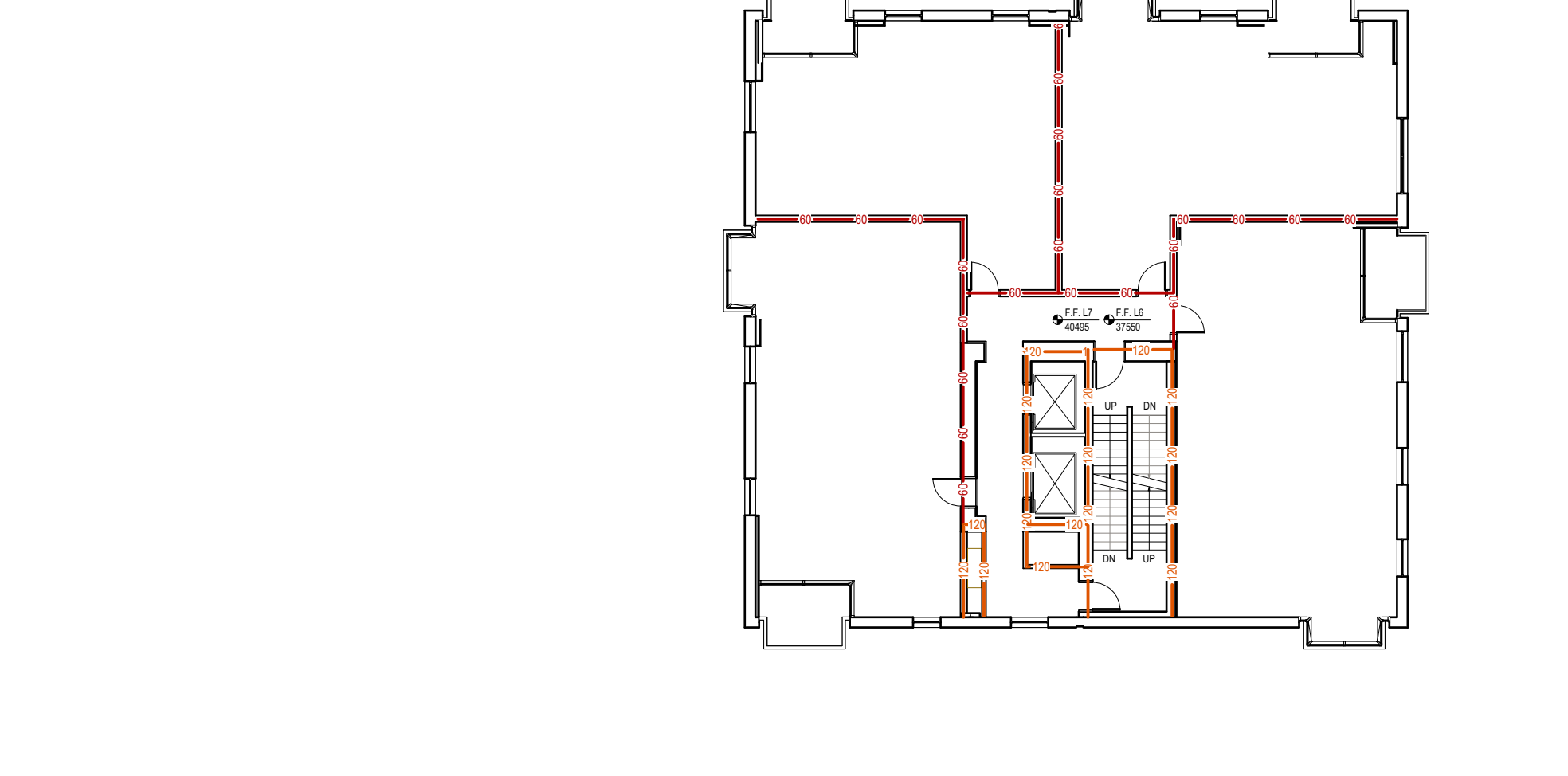
3 Ground Floor  
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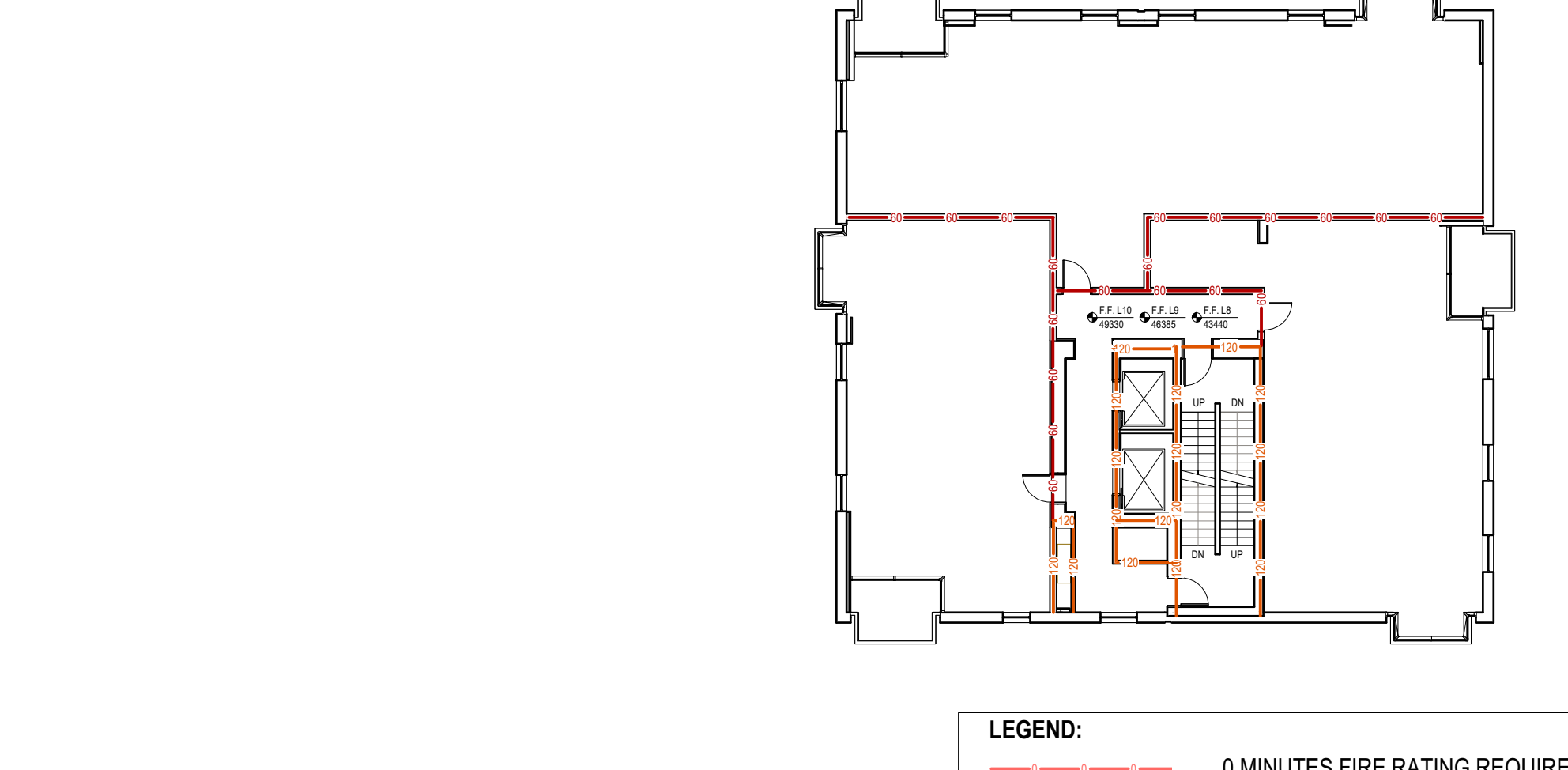
4 Level 2  
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5 Level 3  
1:200



6 Level 4  
1:200



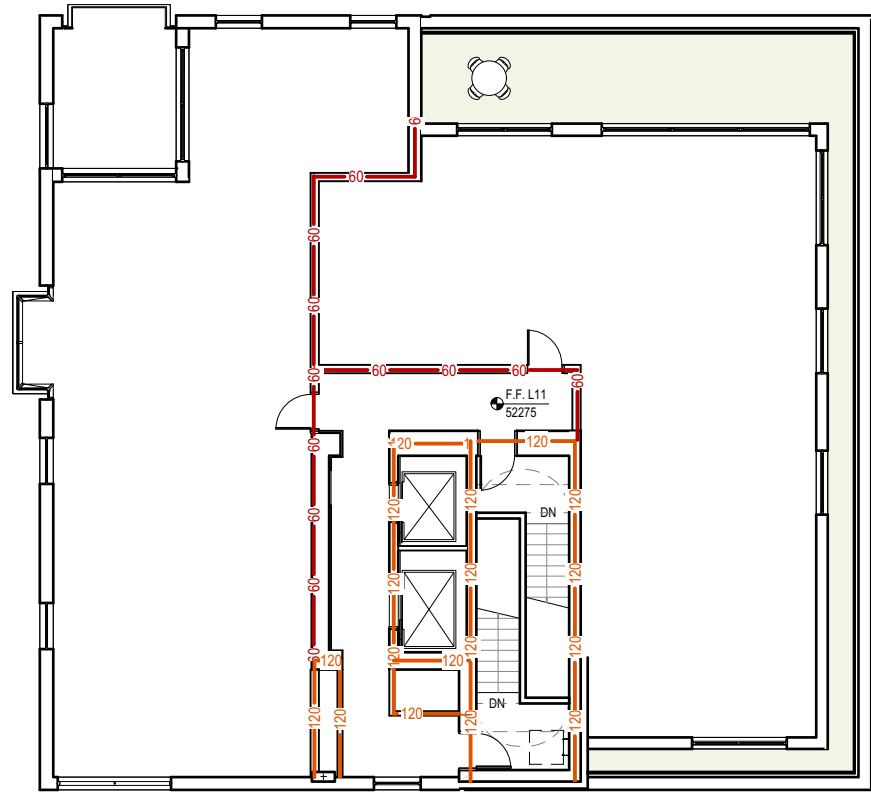
7 Level 5  
1:200

8 Level 6-7  
1:200

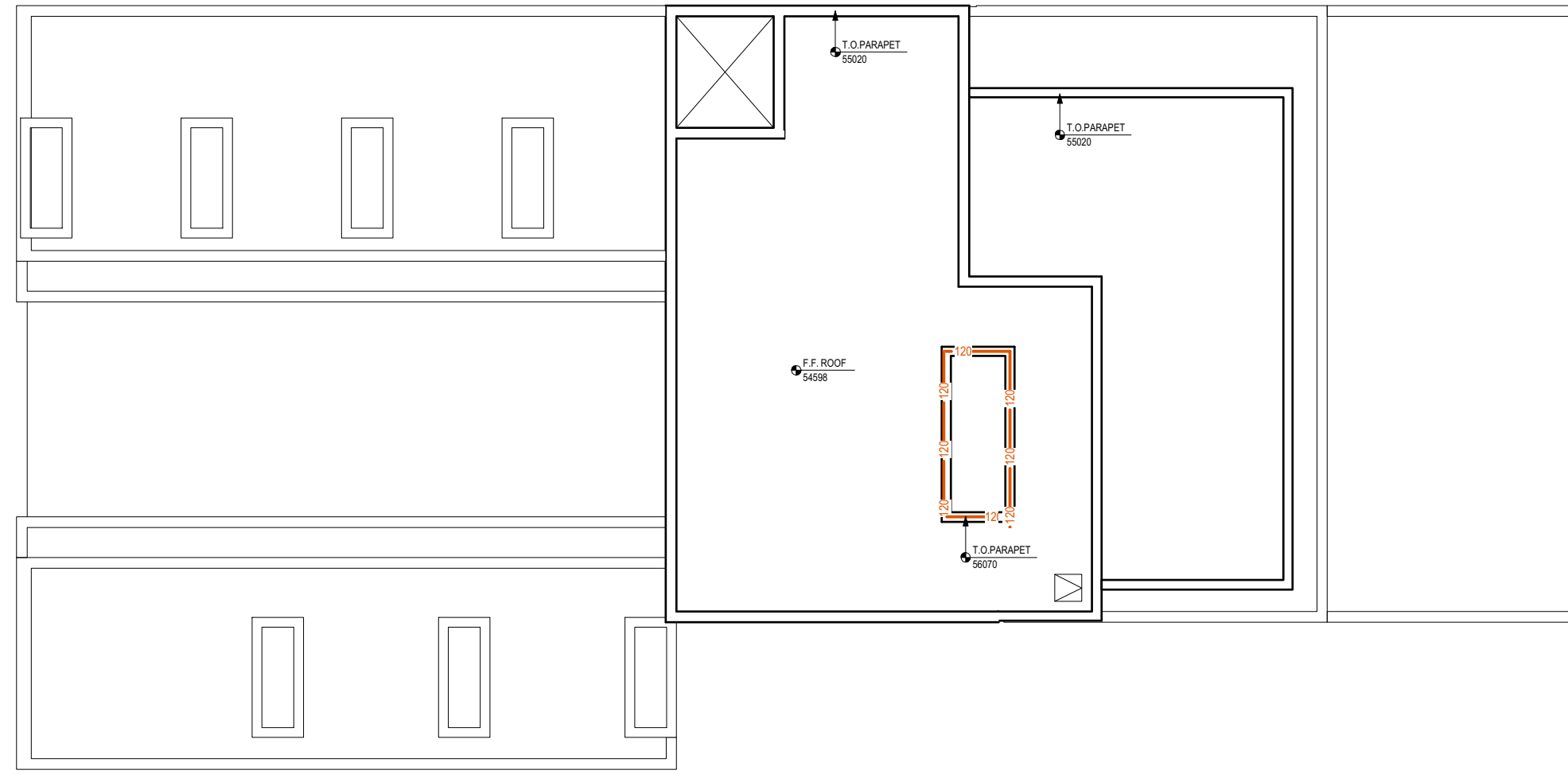
9 Level 8-10  
1:200

LEGEND:	
	0 MINUTES FIRE RATING REQUIRED
	60 MINUTES FIRE RATING REQUIRED
	90 MINUTES FIRE RATING REQUIRED
	120 MINUTES FIRE RATING REQUIRED

plotted: Dec 11, 2018 3:11:52 PM



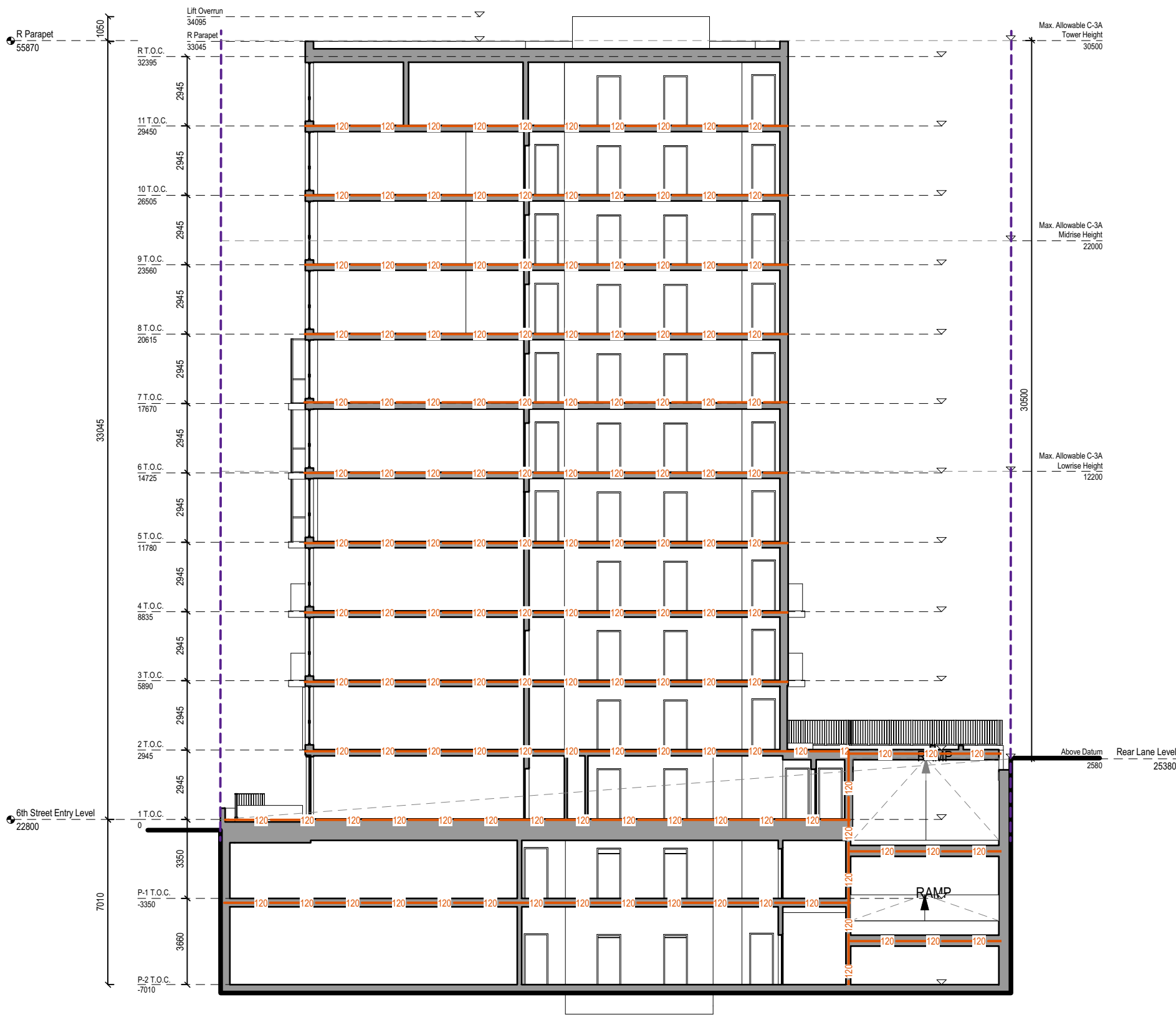
1 Level 11  
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2 Top Roof Plan  
1:200



3 Section AA  
1:200

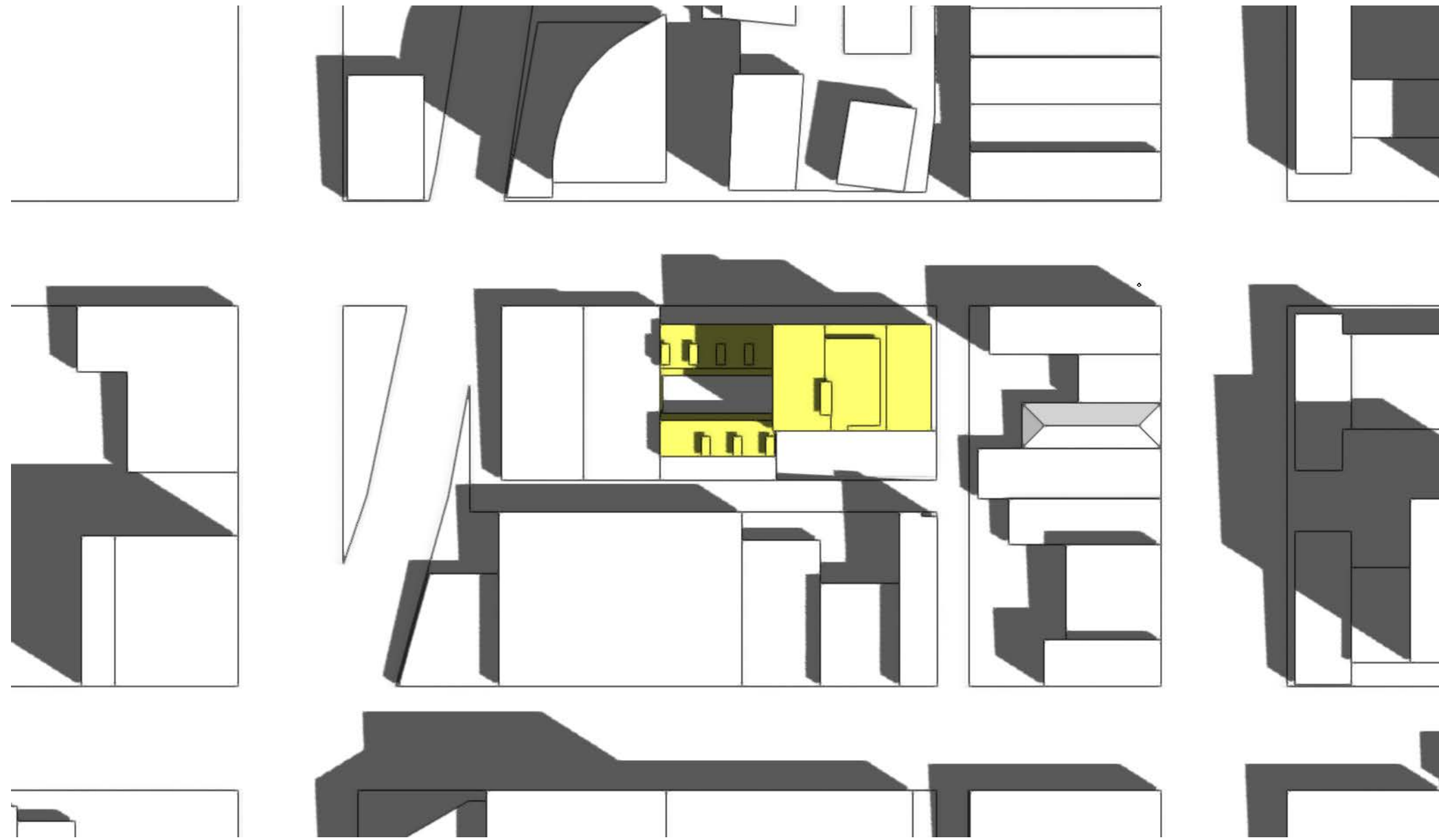


4 Section BB  
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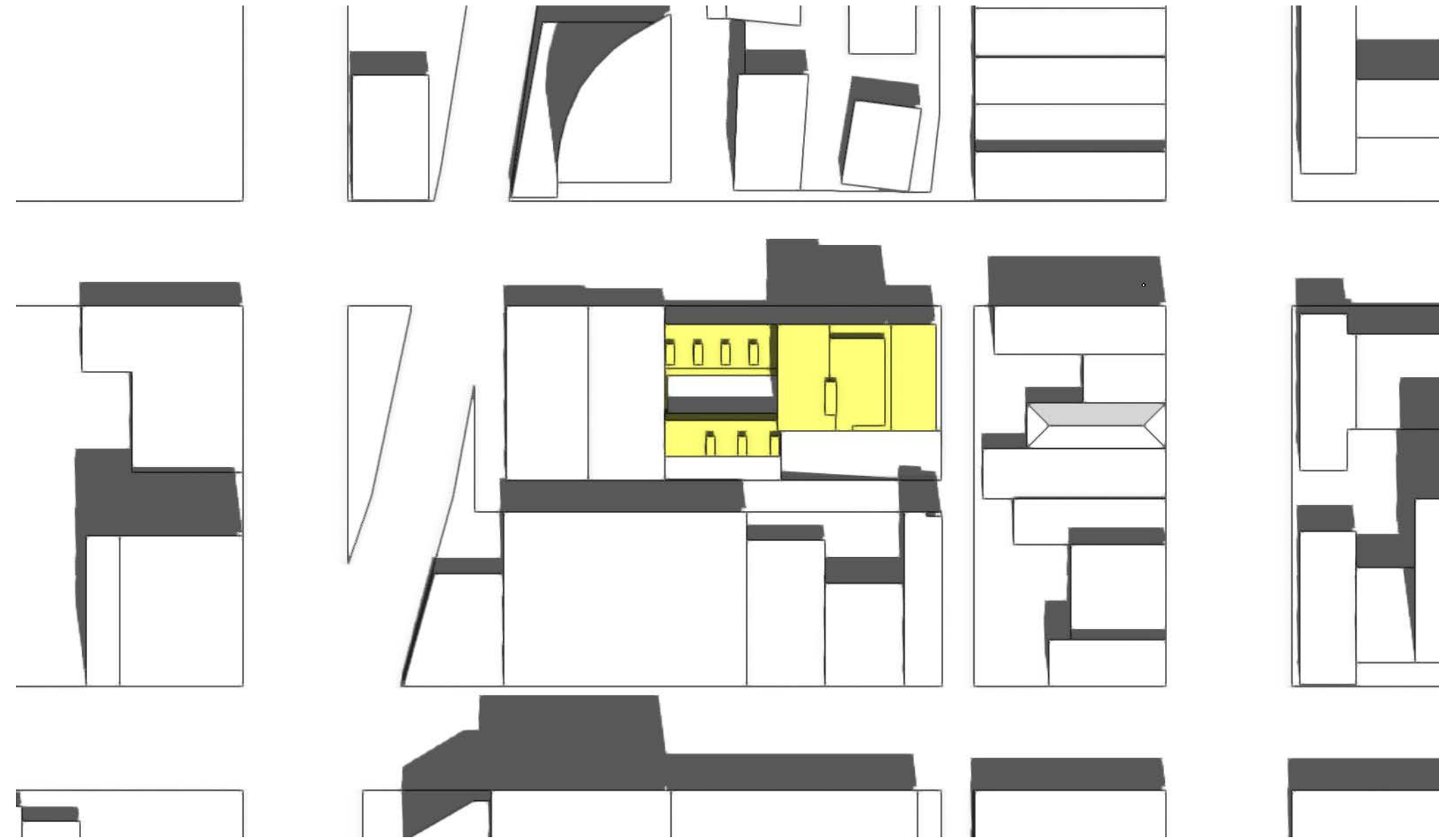
LEGEND:	
	0 MINUTES FIRE RATING REQUIRED
	60 MINUTES FIRE RATING REQUIRED
	90 MINUTES FIRE RATING REQUIRED
	120 MINUTES FIRE RATING REQUIRED

plotted: Dec 11, 2018 3:12:17 PM

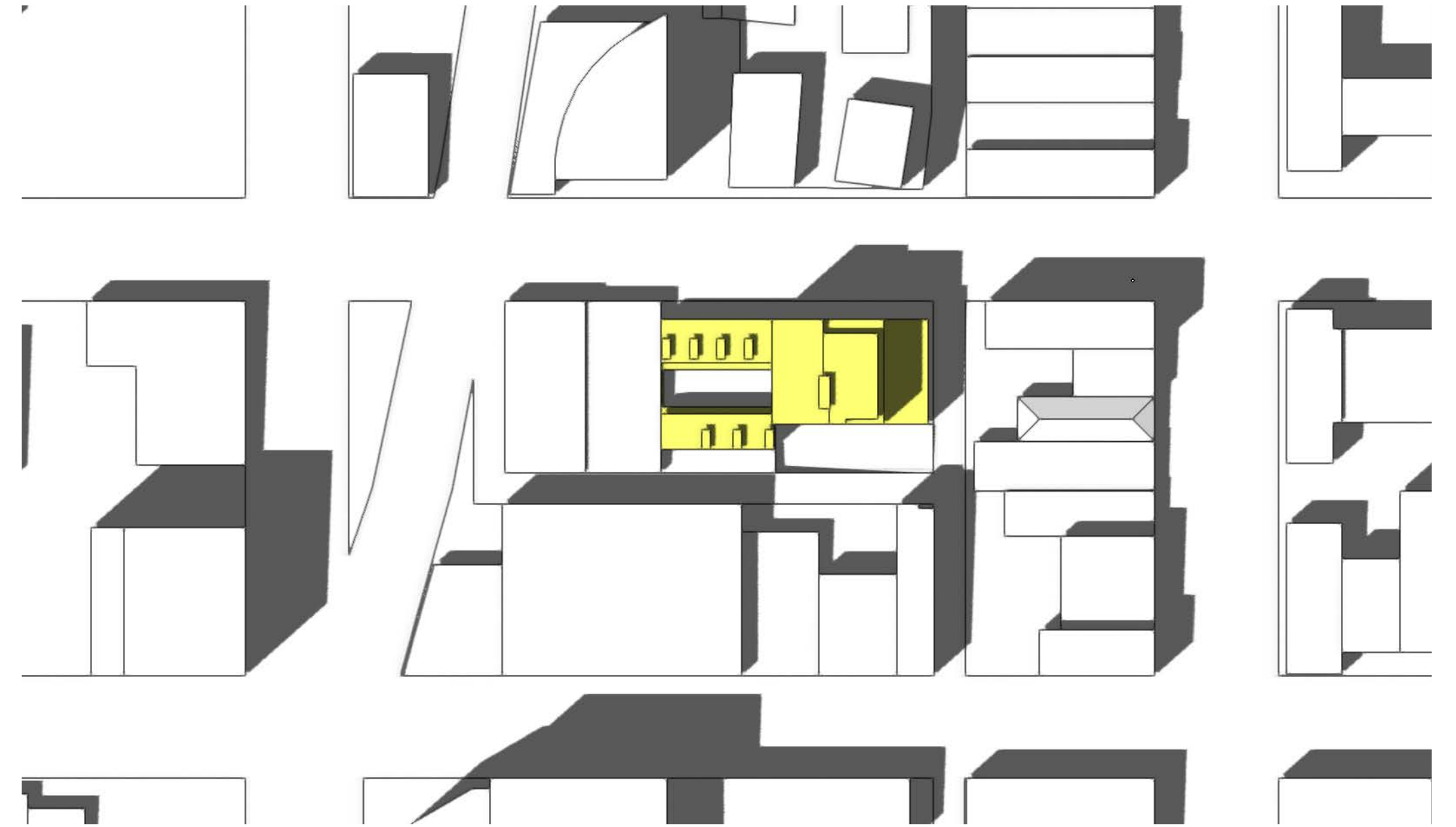




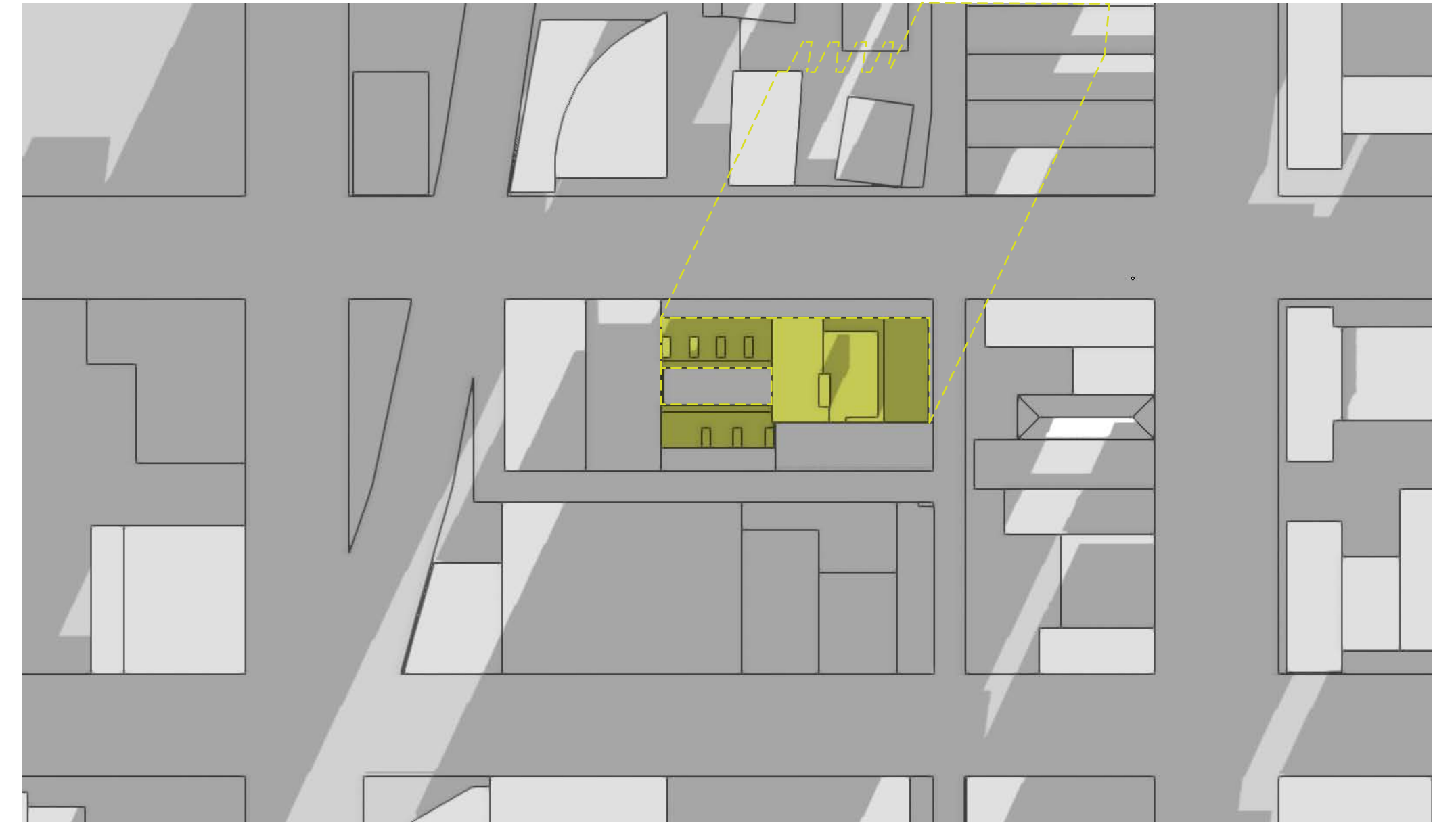
1 Summer Solstice (6/21) 10:00 AM  
1:1000



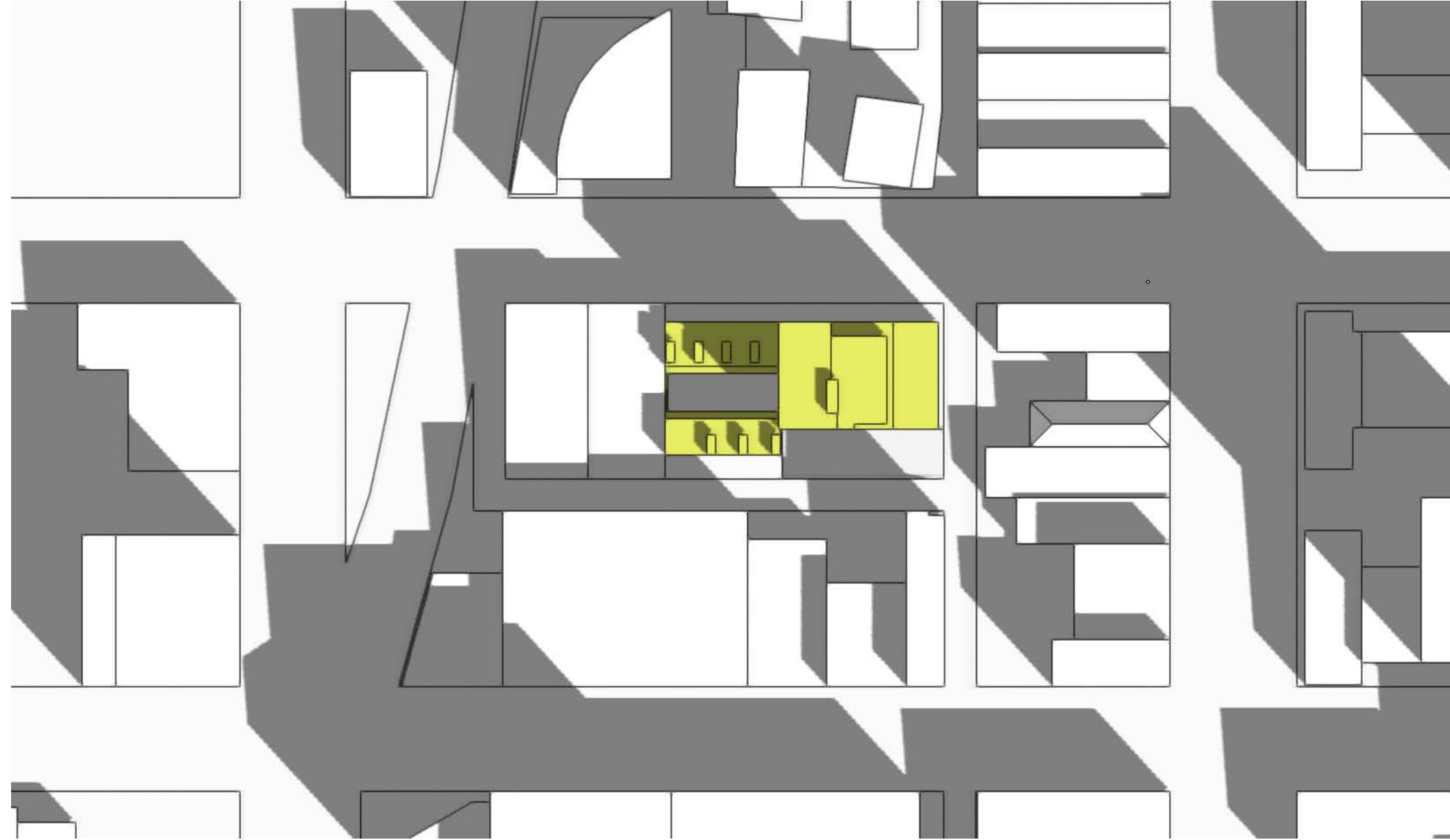
2 Summer Solstice (6/21) 12:00 PM  
1:1000



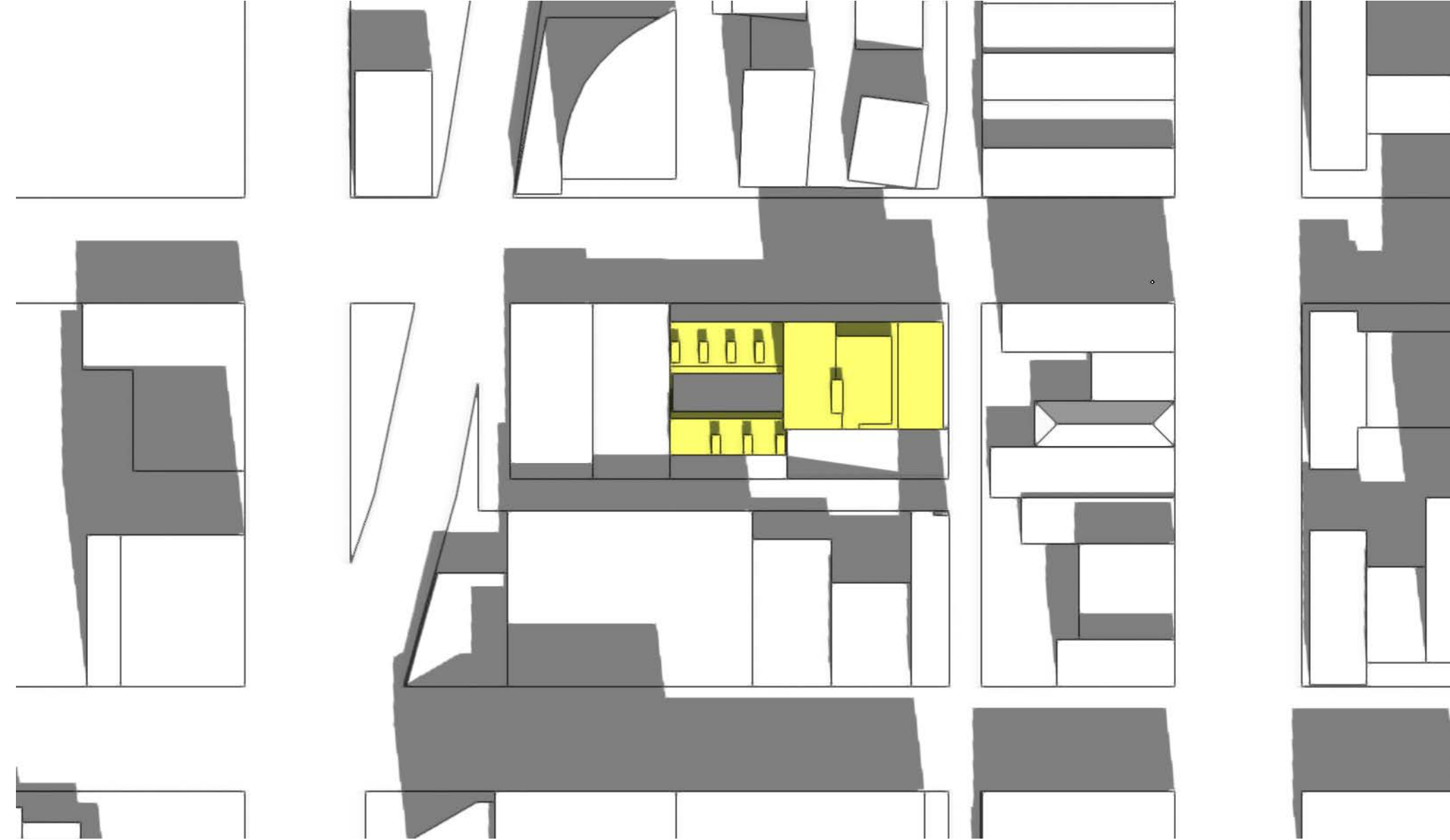
3 Summer Solstice (6/21) 2:00 PM  
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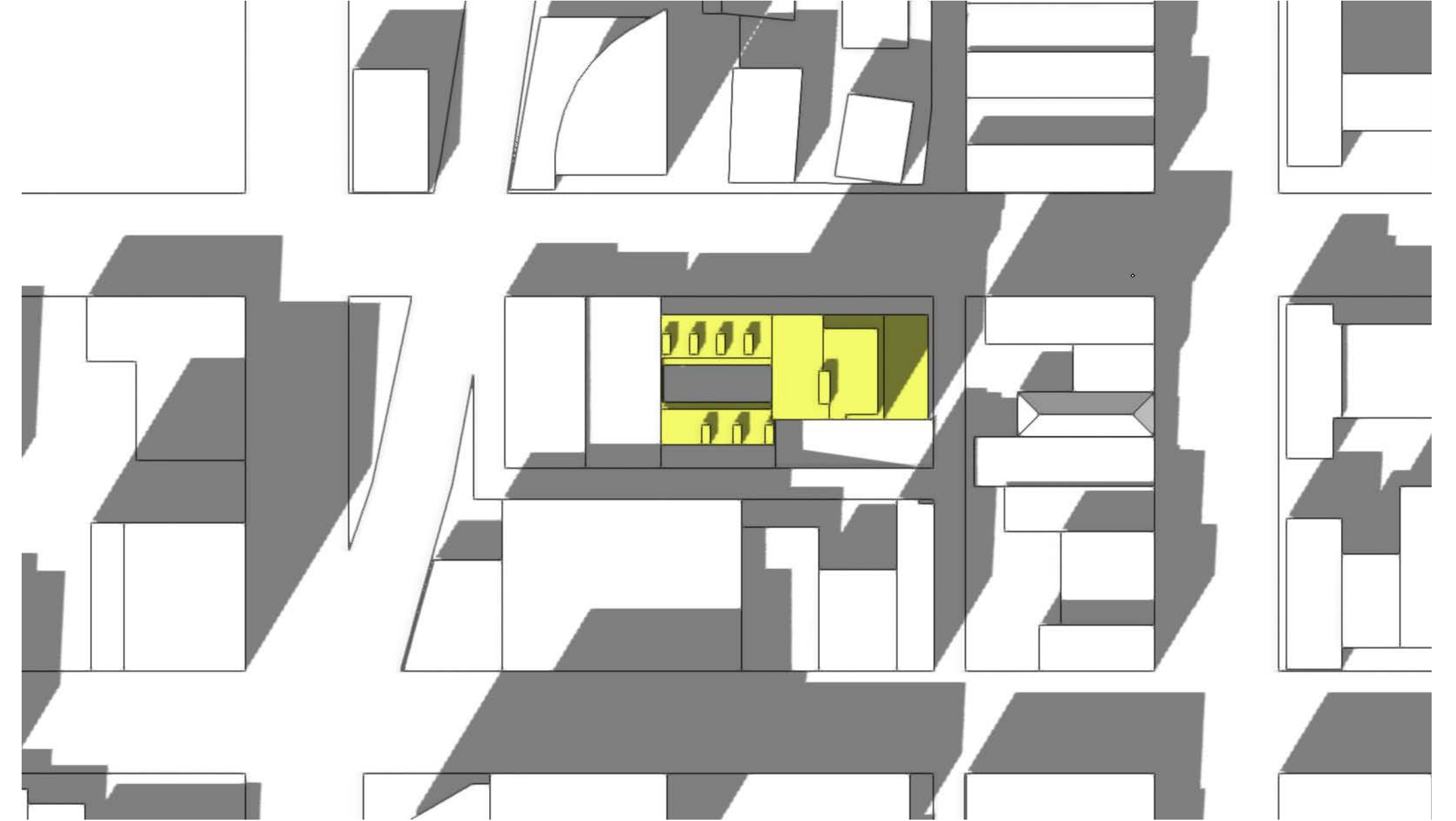
4 Winter Solstice (12/21) 10:00 AM  
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5 Winter Solstice (12/21) 12:00 PM  
1:1000



6 Winter Solstice (12/21) 2:00 PM  
1:1000



7 Vernal (3/20) / Autumnal Equinox (9/22) 10:00 AM  
1:1000

plotted: D:\1000\18 3:12:54 PM

8 Vernal (3/20) / Autumnal Equinox (9/22) 12:00 PM  
1:1000

plotted: D:\1000\18 3:12:54 PM

9 Vernal (3/20) / Autumnal Equinox (9/22) 2:00 PM  
1:1000

plotted: D:\1000\18 3:12:54 PM





----- REDUCTION IN VIEW IF TOWER LOCATION WOULD BE FURTHER WEST

REDUCTION IN VIEW  
MAINTAINED VIEW

PROPOSED TOWER LOCATION - 11 STOREYS  
POSSIBLE TOWER LOCATION - 11 STOREYS

plotted: Dec 12, 2018 10:17:51 AM



## FSR STATS

PROJECT	WEST 6TH & FIR	Project No. 2017-032
CLIENT	ANTHEM PROPERTIES	Date: 31 Oct 2018
ISSUE	DEVELOPMENT PERMIT APPLICATION	

LEVEL 1	LENGTH (mm)	x	HEIGHT (mm)	=	AREA (sq.m)
GROSS ENVELOPE	52195		23209		1211.41 sq.m






GEOMETRIC DEDUCTIONS					
G1	21465		13399		287.61 sq.m
G2	5980		2790 / 2		8.34 sq.m
G3	6012		2790		16.77 sq.m
GEOMETRIC DEDUCTIONS SUBTOTAL					312.73 sq.m

TOTAL GROSS FLOOR AREA	898.68 sq.m
------------------------	-------------

BYLAW DEDUCTIONS				
AMENITY DEDUCTIONS				
A1	4180		6251	26.13 sq.m
A2	1556		6016	9.36 sq.m
A3	1667		6016	10.03 sq.m
A4	714		3234	2.31 sq.m

MECHANICAL DEDUCTIONS				
M1	11152		7541	84.10 sq.m
M2	5465		7543	41.22 sq.m
M3	6080		1780	10.82 sq.m
M4	4539		2789	12.66 sq.m
M5	5981		2790 / 2	8.34 sq.m
M6	3886		996	3.87 sq.m

BYLAWS DEDUCTIONS SUBTOTAL	208.84 sq.m
TOTAL FSR AREA	689.84 sq.m

	RESIDENTIAL FSR AREA
	AMENITY BYLAW EXCLUSION
	ENCLOSED BALCONY BYLAW EXCLUSION
	MECHANICAL / LOADING / PARKING BYLAW EXCLUSION
	STORAGE BYLAW EXCLUSION







FSR STATS

PROJECT WEST 6TH & FIR  
CLIENT ANTHEM PROPERTIES  
ISSUE DEVELOPMENT PERMIT APPLICATION

Project No. 2017-032  
Date: 31 Oct 2018

LEVEL 2	LENGTH (mm)	x	HEIGHT (mm)	=	AREA (sq.m)
GROSS ENVELOPE	52235		25512		1332.66 sq.m
GEOMETRIC DEDUCTIONS					
G1	21585		7150		154.32 sq.m
G2	22337		112		2.50 sq.m
G3	7505		112		0.84 sq.m
G4	3896		112		0.44 sq.m
G5	3893		112		0.44 sq.m
G6	3856		112		0.43 sq.m
G7	30290		4940		149.62 sq.m
GEOMETRIC DEDUCTIONS SUBTOTAL					308.59 sq.m
TOTAL GROSS FLOOR AREA					1024.07 sq.m
BYLAW DEDUCTIONS					
AMENITY DEDUCTIONS					
A1	175		7149		1.25 sq.m
A2	7202		10958		78.92 sq.m
A3	280		6270		1.76 sq.m
ENCLOSED BALCONY DEDUCTIONS					
B1	3549		1489		5.28 sq.m
B2	2687		611		1.64 sq.m
B3	3525		1487		5.24 sq.m
B4	2687		462		1.24 sq.m
B5	3524		1487		5.24 sq.m
B6	2687		462		1.24 sq.m
B7	3526		1487		5.24 sq.m
B8	2687		462		1.24 sq.m
MECHANICAL DEDUCTIONS					
M1	5251		7542		39.60 sq.m
M2	3925		996		3.91 sq.m
STORAGE DEDUCTIONS					
S1	2118		1752		3.71 sq.m
S2	2118		1752		3.71 sq.m
S3	2118		1752		3.71 sq.m
S4	2118		1752		3.71 sq.m
S5	1778		2110		3.75 sq.m
S6	2900		1275		3.70 sq.m
BYLAWS DEDUCTIONS SUBTOTAL					174.11 sq.m
TOTAL FSR AREA					849.95 sq.m

- RESIDENTIAL FSR AREA
- AMENITY BYLAW EXCLUSION
- ENCLOSED BALCONY BYLAW EXCLUSION
- MECHANICAL / LOADING / PARKING BYLAW EXCLUSION
- STORAGE BYLAW EXCLUSION

1 2-Plan  
1:100

plotted: Dec 11, 2018 3:13:03 PM





FSR STATS

PROJECT	WEST 6TH & FIR	Project No. 2017-032
CLIENT	ANTHEM PROPERTIES	Date: 31 Oct 2018
ISSUE	DEVELOPMENT PERMIT APPLICATION	

LEVEL 3	LENGTH (mm)	x	HEIGHT (mm)	=	AREA (sq.m)
GROSS ENVELOPE	52240		25400		1326.90 sq.m

GEOMETRIC DEDUCTIONS				
G1	21585		8500	183.46 sq.m
G2	1905		1190	2.27 sq.m
G3	1905		1190	2.27 sq.m
G4	1905		1190	2.27 sq.m
G5	1905		1190	2.27 sq.m
G6	3000		1412	4.24 sq.m
G7	3000		1412	4.24 sq.m
G8	3000		1412	4.24 sq.m
G9	3000		1412	4.24 sq.m
G10	3000		1412	4.24 sq.m
G11	3000		1412	4.24 sq.m
G12	3000		1412	4.24 sq.m
G13	30290		4900	148.42 sq.m
G14	0		0	0.00 sq.m
GEOMETRIC DEDUCTIONS SUBTOTAL				370.61 sq.m

TOTAL GROSS FLOOR AREA	956.30 sq.m
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BYLAW DEDUCTIONS				
STORAGE DEDUCTIONS				
S1	1477		2521	3.72 sq.m
S2	2900		1280	3.71 sq.m
S3	2900		1280	3.71 sq.m
S4	1832		2023	3.71 sq.m
S5	1494		2485	3.71 sq.m
S6	2900		1280	3.71 sq.m
S7	1740		2131	3.71 sq.m
S8	1836		2015	3.70 sq.m
S9	1836		2015	3.70 sq.m

BYLAWS DEDUCTIONS SUBTOTAL	33.38 sq.m
TOTAL FSR AREA	922.91 sq.m

- RESIDENTIAL FSR AREA
- AMENITY BYLAW EXCLUSION
- ENCLOSED BALCONY BYLAW EXCLUSION
- MECHANICAL / LOADING / PARKING BYLAW EXCLUSION
- STORAGE BYLAW EXCLUSION





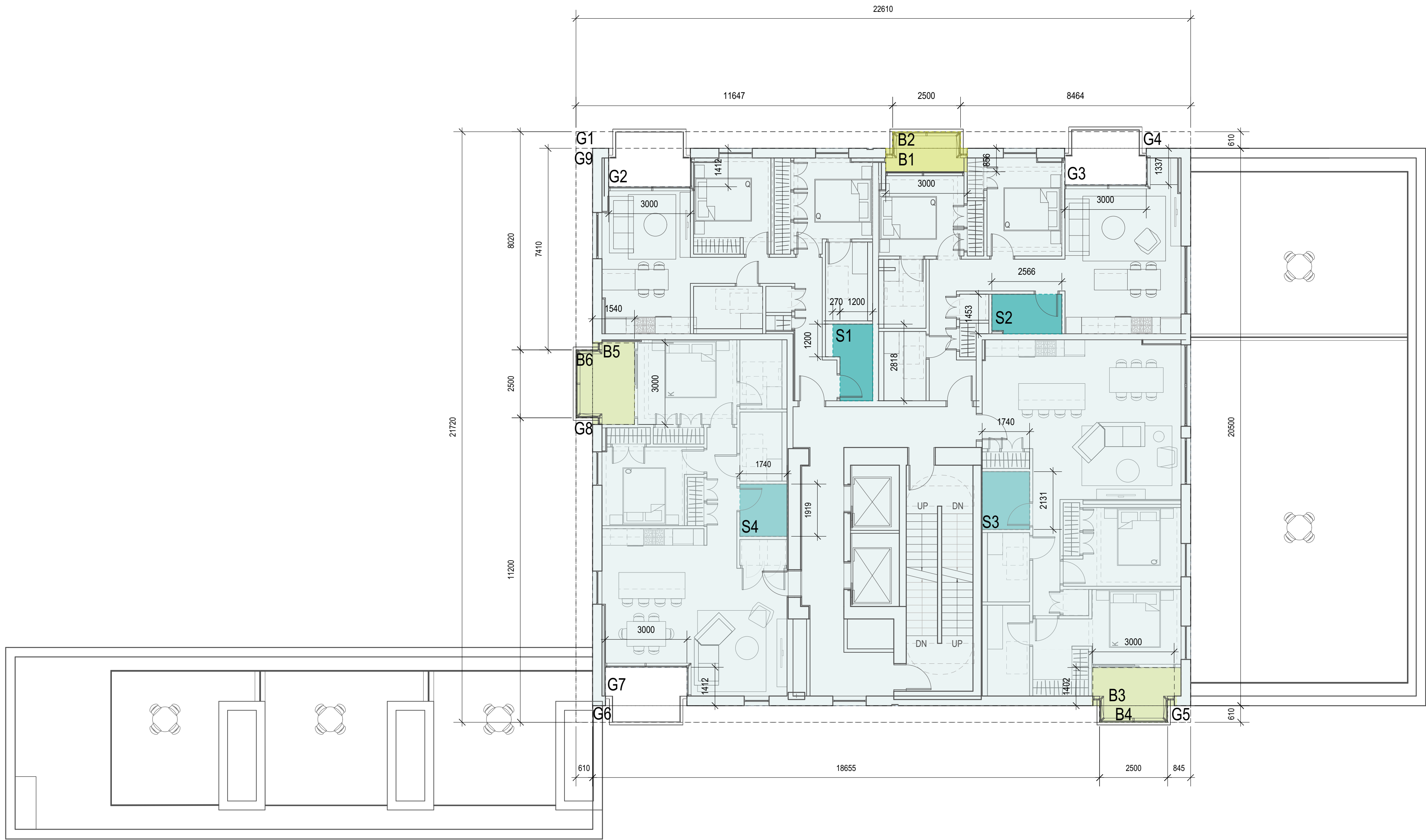
FSR STATS

PROJECT	WEST 6TH & FIR	Project No. 2017-032
CLIENT	ANTHEM PROPERTIES	Date: 31 Oct 2018
ISSUE	DEVELOPMENT PERMIT APPLICATION	

LEVEL 4	LENGTH (mm)	x	HEIGHT (mm)	=	AREA (sq.m)
GROSS ENVELOPE	52240		25400		1328.90 sq.m
GEOMETRIC DEDUCTIONS					
G1	21590		18360		396.39 sq.m
G2	3000		1412		4.24 sq.m
G3	3000		1412		4.24 sq.m
G4	3000		1412		4.24 sq.m
G5	3000		1412		4.24 sq.m
G6	3000		1412		4.24 sq.m
G7	3000		1412		4.24 sq.m
G8	3000		1412		4.24 sq.m
G9	30290		4900		148.42 sq.m
G10	0		0		0.00 sq.m
GEOMETRIC DEDUCTIONS SUBTOTAL					574.46 sq.m
TOTAL GROSS FLOOR AREA					752.44 sq.m
BYLAW DEDUCTIONS					
STORAGE DEDUCTIONS					
S1	1477		2521		3.72 sq.m
S2	2900		1280		3.71 sq.m
S3	2900		1280		3.71 sq.m
S4	1832		2023		3.71 sq.m
S5	1494		2505		3.74 sq.m
S6	2900		1280		3.71 sq.m
S7	1740		2131		3.71 sq.m
S7	2054		1810		3.72 sq.m
BYLAWS DEDUCTIONS SUBTOTAL					29.73 sq.m
TOTAL FSR AREA					722.71 sq.m

- RESIDENTIAL FSR AREA
- AMENITY BYLAW EXCLUSION
- ENCLOSED BALCONY BYLAW EXCLUSION
- MECHANICAL / LOADING / PARKING BYLAW EXCLUSION
- STORAGE BYLAW EXCLUSION





FSR STATS

PROJECT	WEST 6TH & FIR	Project No. 2017-032
CLIENT	ANTHEM PROPERTIES	Date: 31 Oct 2018
ISSUE	DEVELOPMENT PERMIT APPLICATION	

LEVEL 5	LENGTH (mm)	x	HEIGHT (mm)	=	AREA (sq.m)
GROSS ENVELOPE	22610		21720		491.10 sq.m

GEOMETRIC DEDUCTIONS					
G1	11647		610		7.10 sq.m
G2	3000		1412		4.24 sq.m
G3	3000		1337		4.01 sq.m
G4	8464		610		5.16 sq.m
G5	845		610		0.52 sq.m
G6	18655		610		11.38 sq.m
G7	3000		1412		4.24 sq.m
G8	610		11200		6.83 sq.m
G9	610		7410		4.52 sq.m
GEOMETRIC DEDUCTIONS SUBTOTAL					48.00 sq.m

TOTAL GROSS FLOOR AREA	443.10 sq.m
------------------------	-------------

BYLAW DEDUCTIONS					
ENCLOSED BALCONY DEDUCTIONS					
B1	2995		856		2.56 sq.m
B2	2500		610		1.53 sq.m
B3	3000		1402		4.21 sq.m
B4	2500		610		1.53 sq.m
B5	1540		3000		4.62 sq.m
B6	610		2500		1.53 sq.m

STORAGE DEDUCTIONS					
S1	1470		2818		3.70 sq.m
S2	2566		1453		3.73 sq.m
S3	1740		2131		3.71 sq.m
S4	1740		1919		3.34 sq.m

BYLAWS DEDUCTIONS SUBTOTAL	30.44 sq.m
TOTAL FSR AREA	412.66 sq.m

- RESIDENTIAL FSR AREA
- AMENITY BYLAW EXCLUSION
- ENCLOSED BALCONY BYLAW EXCLUSION
- MECHANICAL / LOADING / PARKING BYLAW EXCLUSION
- STORAGE BYLAW EXCLUSION





## FSR STATS

PROJECT	WEST 6TH & FIR	Project No. 2017-032
CLIENT	ANTHEM PROPERTIES	Date: 31 Oct 2018
ISSUE	DEVELOPMENT PERMIT APPLICATION	

LEVEL 6 - 7	LENGTH (mm)	x	HEIGHT (mm)	=	AREA (sq.m)
GROSS ENVELOPE	22610		21720		491.10 sq.m

GEOMETRIC DEDUCTIONS					
G1	11647		610		7.10 sq.m
G2	3000		1412		4.24 sq.m
G3	3000		1412		4.24 sq.m
G4	8464		610		5.16 sq.m
G5	1412		3000		4.24 sq.m
G6	845		610		0.52 sq.m
G7	18655		610		11.38 sq.m
G8	3000		1412		4.24 sq.m
G9	610		11200		6.83 sq.m
G10	610		7410		4.52 sq.m
GEOMETRIC DEDUCTIONS SUBTOTAL					52.46 sq.m

TOTAL GROSS FLOOR AREA	438.64 sq.m
------------------------	-------------

BYLAW DEDUCTIONS					
ENCLOSED BALCONY DEDUCTIONS					
B1	3000		856		2.57 sq.m
B2	2500		610		1.53 sq.m
B3	3245		1402		4.55 sq.m
B4	2500		610		1.53 sq.m
B5	1540		3055		4.71 sq.m
B6	610		2500		1.53 sq.m

STORAGE DEDUCTIONS					
S1	1470		2818		3.70 sq.m
S2	2566		1453		3.73 sq.m
S3	1740		2131		3.71 sq.m
S4	1740		1919		3.34 sq.m

BYLAWS DEDUCTIONS SUBTOTAL	30.88 sq.m
TOTAL FSR AREA	407.76 sq.m

RESIDENTIAL FSR AREA	
AMENITY BYLAW EXCLUSION	
ENCLOSED BALCONY BYLAW EXCLUSION	
MECHANICAL / LOADING / PARKING BYLAW EXCLUSION	
STORAGE BYLAW EXCLUSION	





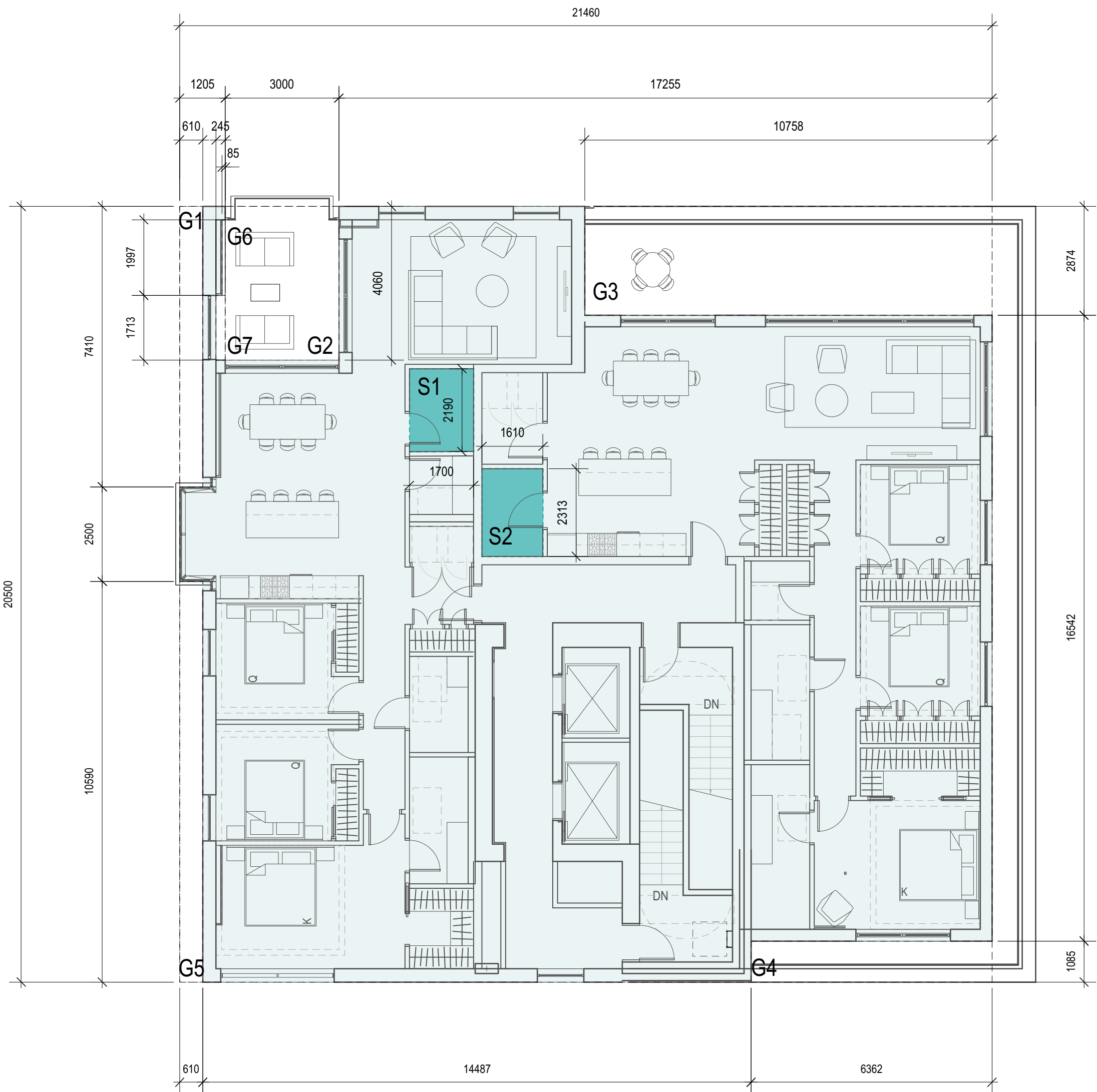
FSR STATS

PROJECT	WEST 6TH & FIR	Project No. 2017-032
CLIENT	ANTHEM PROPERTIES	Date: 31 Oct 2018
ISSUE	DEVELOPMENT PERMIT APPLICATION	

LEVEL 8-10	LENGTH (mm)	x	HEIGHT (mm)	=	AREA (sq.m)
GROSS ENVELOPE	22610		21720		491.10 sq.m
GEOMETRIC DEDUCTIONS					
G1	18228		610		11.12 sq.m
G2	3000		1412		4.24 sq.m
G3	1882		610		1.15 sq.m
G4	1412		3000		4.24 sq.m
G5	845		610		0.52 sq.m
G6	18655		610		11.38 sq.m
G7	3000		1412		4.24 sq.m
G8	610		11200		6.83 sq.m
G9	610		7410		4.52 sq.m
GEOMETRIC DEDUCTIONS SUBTOTAL					48.22 sq.m
TOTAL GROSS FLOOR AREA					442.88 sq.m
BYLAW DEDUCTIONS					
ENCLOSED BALCONY DEDUCTIONS					
B1	3000		1540		4.62 sq.m
B2	2500		610		1.53 sq.m
B3	3352		1340		4.49 sq.m
B4	2500		610		1.53 sq.m
B5	1540		3000		4.62 sq.m
B6	610		2500		1.53 sq.m
STORAGE DEDUCTIONS					
S1	2153		1740		3.75 sq.m
S2	1645		2242		3.69 sq.m
S3	1740		1919		3.34 sq.m
BYLAWS DEDUCTIONS SUBTOTAL					29.08 sq.m
TOTAL FSR AREA					413.80 sq.m

- RESIDENTIAL FSR AREA
- AMENITY BYLAW EXCLUSION
- ENCLOSED BALCONY BYLAW EXCLUSION
- MECHANICAL / LOADING / PARKING BYLAW EXCLUSION
- STORAGE BYLAW EXCLUSION





FSR STATS

PROJECT	WEST 6TH & FIR	Project No. 2017-032
CLIENT	ANTHEM PROPERTIES	Date: 31 Oct 2018
ISSUE	DEVELOPMENT PERMIT APPLICATION	

LEVEL 8-10	LENGTH (mm)	x	HEIGHT (mm)	=	AREA (sq.m)
GROSS ENVELOPE	21460		20500		439.92 sq.m

GEOMETRIC DEDUCTIONS					
G1	610		7410		4.52 sq.m
G2	3000		4060		12.18 sq.m
G3	10758		2874		30.91 sq.m
G4	6362		1085		6.90 sq.m
G5	610		10590		6.46 sq.m
G6	140		1997		0.28 sq.m
G7	245		1713		0.42 sq.m
GEOMETRIC DEDUCTIONS SUBTOTAL					61.67 sq.m

TOTAL GROSS FLOOR AREA	378.25 sq.m
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BYLAW DEDUCTIONS					
STORAGE DEDUCTIONS					
S1	1700		2193		3.73 sq.m
S2	1610		2313		3.72 sq.m

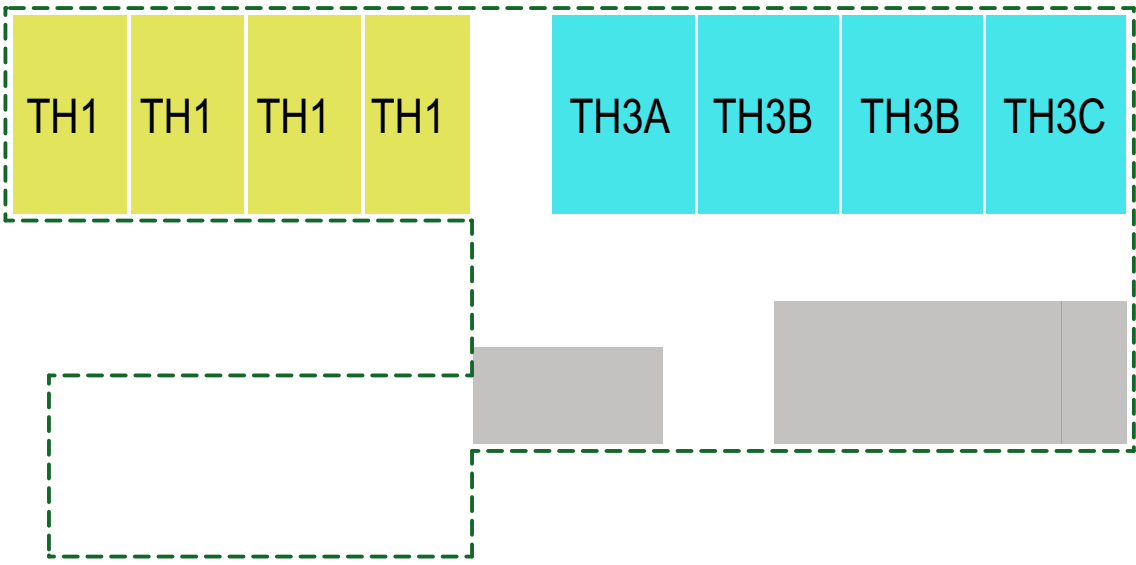
BYLAWS DEDUCTIONS SUBTOTAL	7.45 sq.m
TOTAL FSR AREA	370.80 sq.m

- RESIDENTIAL FSR AREA
- AMENITY BYLAW EXCLUSION
- ENCLOSED BALCONY BYLAW EXCLUSION
- MECHANICAL / LOADING / PARKING BYLAW EXCLUSION
- STORAGE BYLAW EXCLUSION

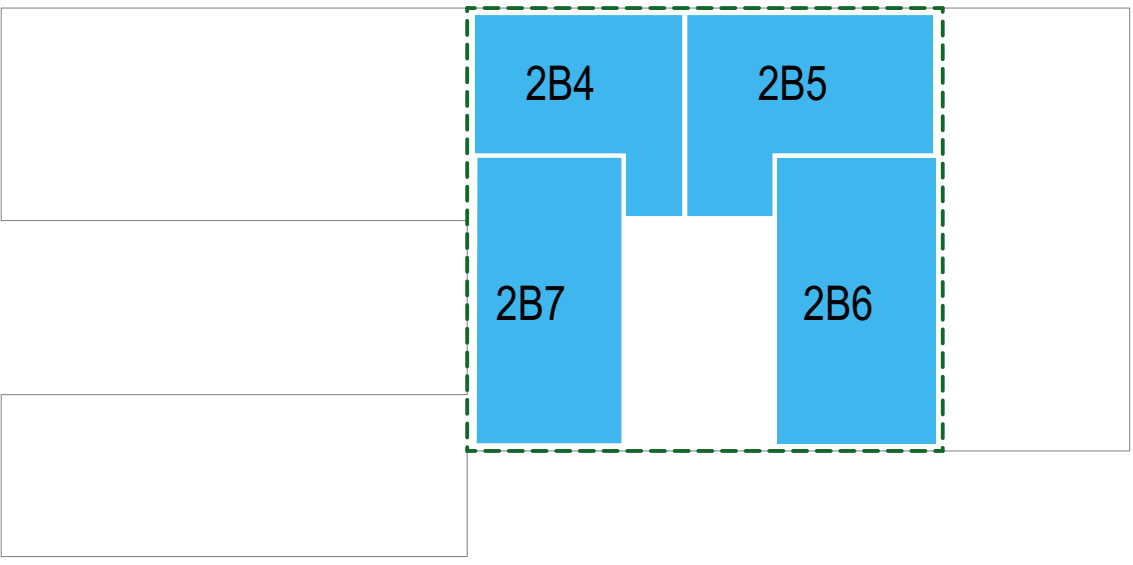


	3 BED TOWNHOME			3 BED TOWNHOME			3 BED			2 BED										1 BED			STUDIO	
Type	TH1	TH2A	TH2B	TH3A	TH3B	TH3C	3B1	PH1	PH2	2B1	2B2	2B3	2B4	2B5	2B6	2B7	2B8	2B9	2B10	1B1	1B2	1B3	1S	
Size (Net)	1394 sf	981 sf	1173 sf	1459 sf	1180 sf	1166 sf	1461 sf	1410 sf	1488 sf	893 sf	801 sf	730 sf	716 sf	801 sf	984 sf	867 sf	801 sf	943 sf	1033 sf	577 sf	573 sf	619 sf	399 sf	
	130 sm	91 sm	109 sm	136 sm	110 sm	108 sm	136 sm	131 sm	138 sm	83 sm	74 sm	68 sm	67 sm	74 sm	91 sm	81 sm	74 sm	88 sm	96 sm	54 sm	53 sm	58 sm	37 sm	
Total #	4 no.	2 no.	1 no.	1 no.	2 no.	1 no.	3 no.	1 no.	1 no.	2 no.	2 no.	2 no.	3 no.	1 no.	1 no.	6 no.	2 no.	2 no.	3 no.	6 no.	2 no.	1 no.	1 no.	50 no.
Total Area (Net) (by type)	5576 sf	1962 sf	1173 sf	1459 sf	2360 sf	1166 sf	4383 sf	1410 sf	1488 sf	1786 sf	1602 sf	1460 sf	2148 sf	801 sf	984 sf	5202 sf	1602 sf	1886 sf	3099 sf	3462 sf	1146 sf	619 sf	399 sf	47173 sf
	518 sm	182 sm	109 sm	136 sm	219 sm	108 sm	407 sm	131 sm	138 sm	166 sm	149 sm	136 sm	200 sm	74 sm	91 sm	483 sm	149 sm	175 sm	288 sm	322 sm	106 sm	58 sm	37 sm	4383 sm

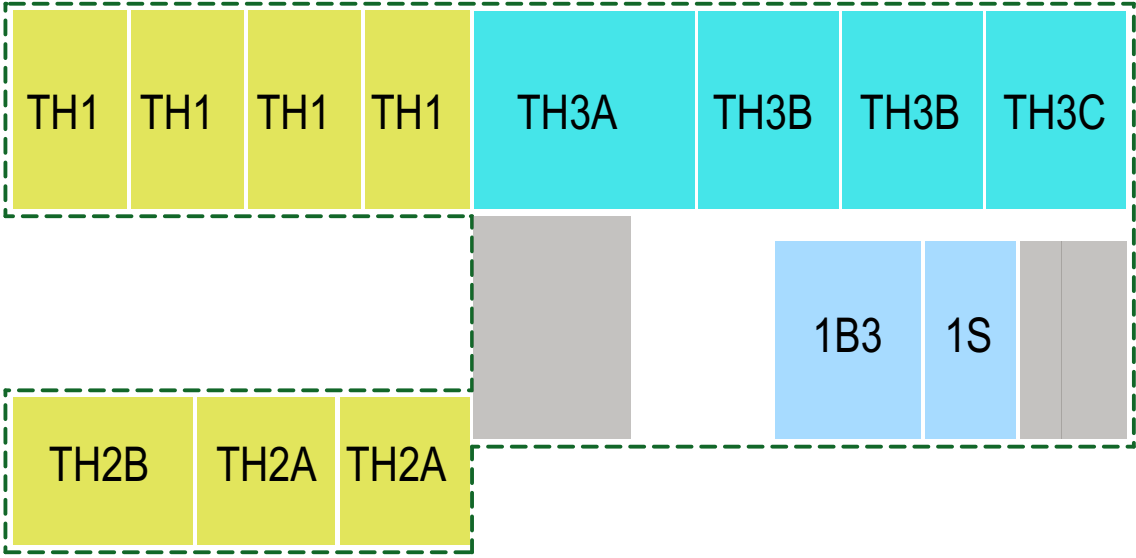
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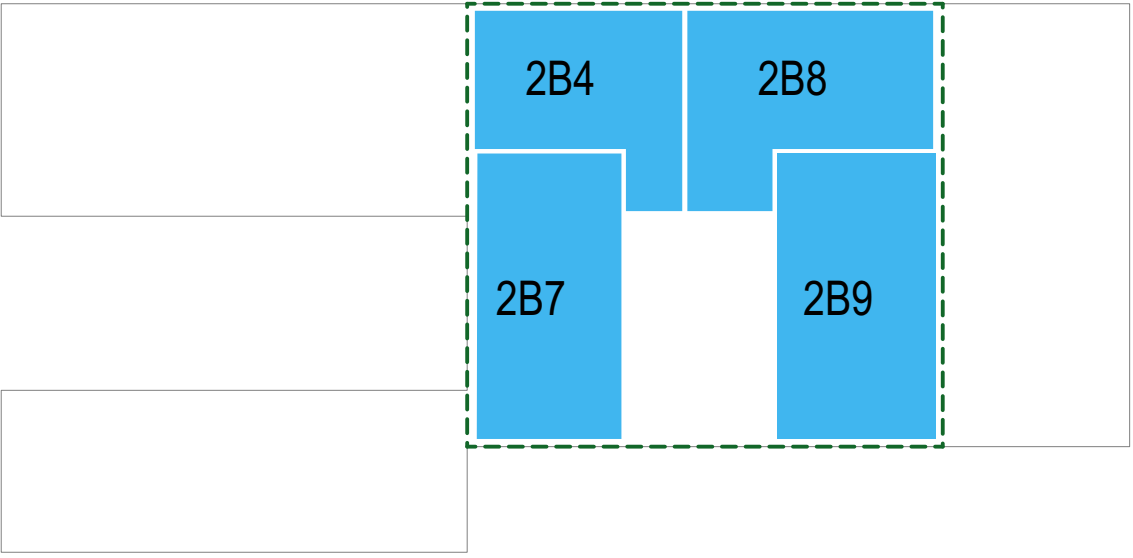
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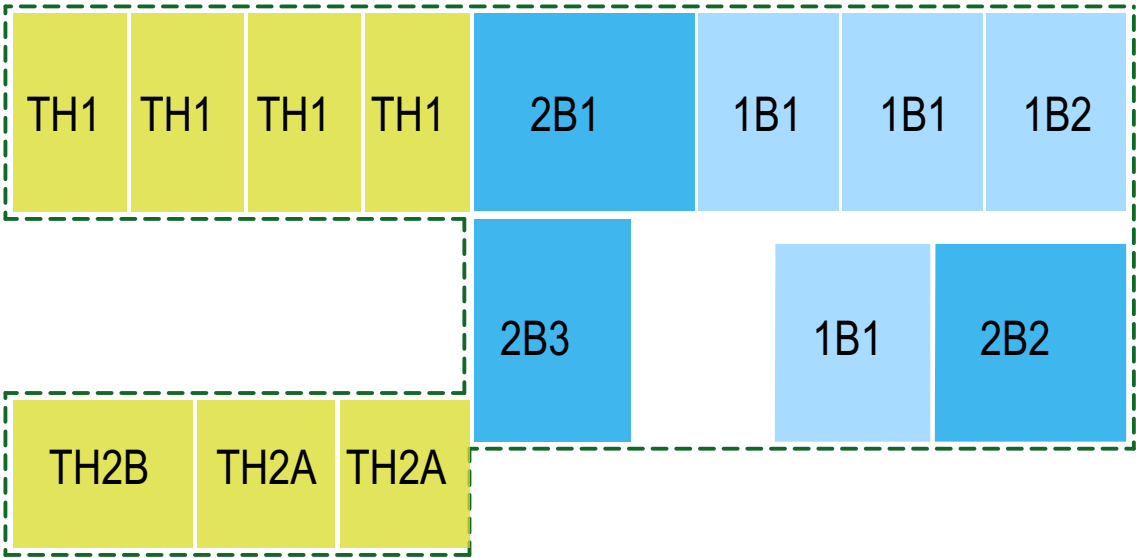
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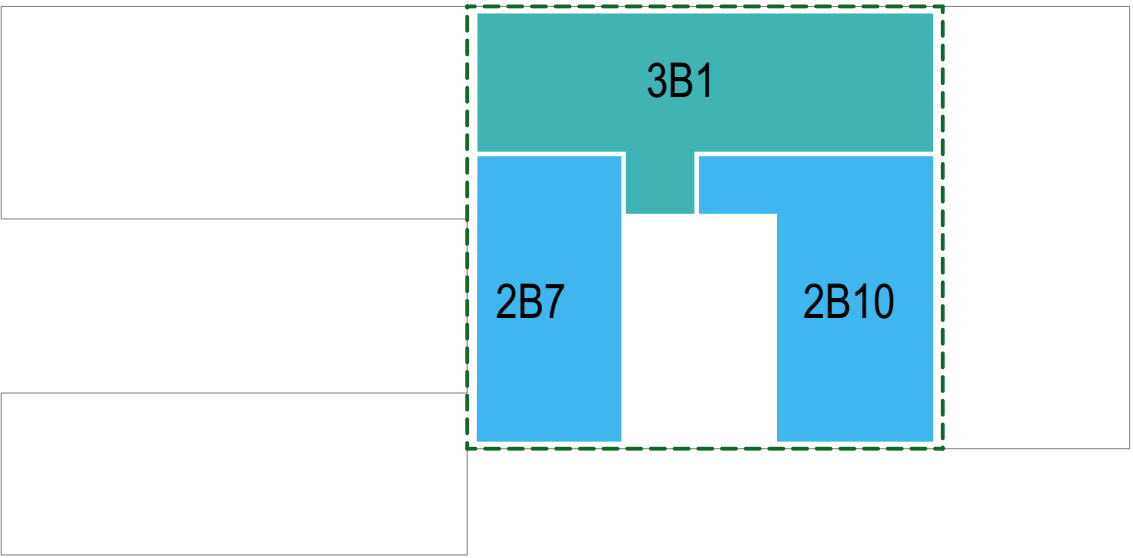
LEVEL6-7



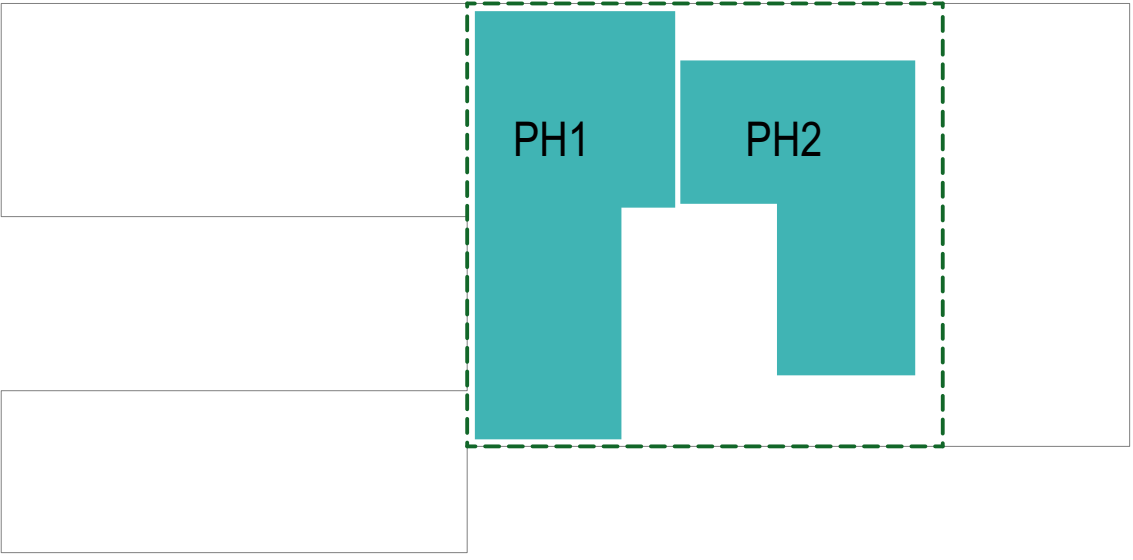
LEVEL 3-4



LEVEL 8-10

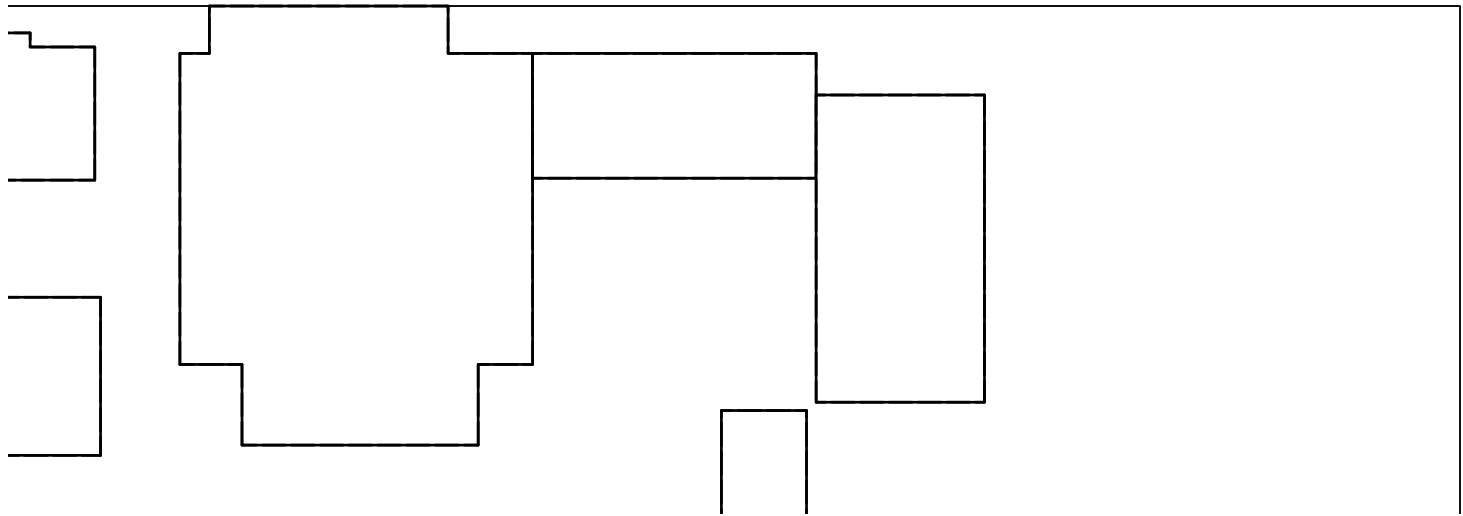
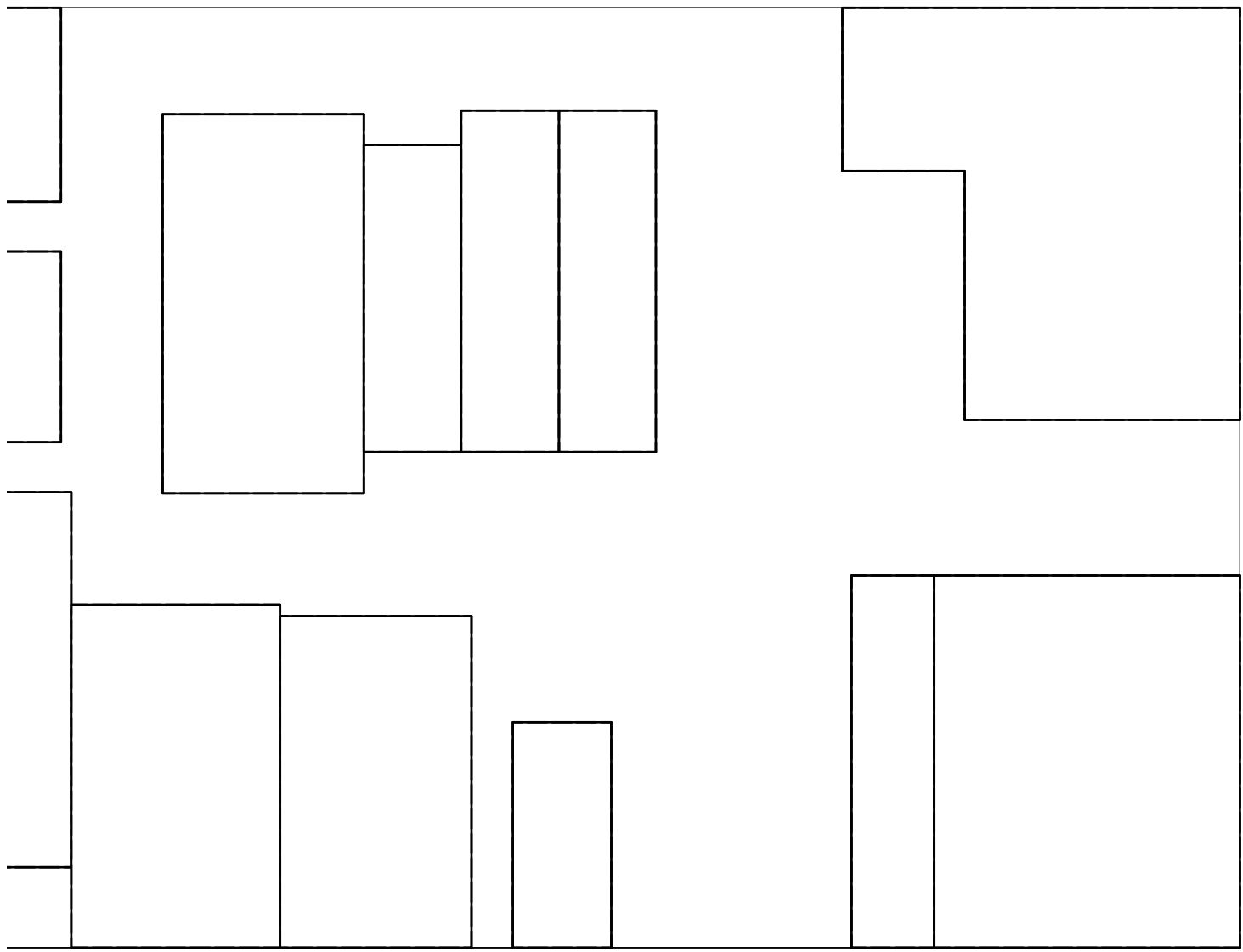
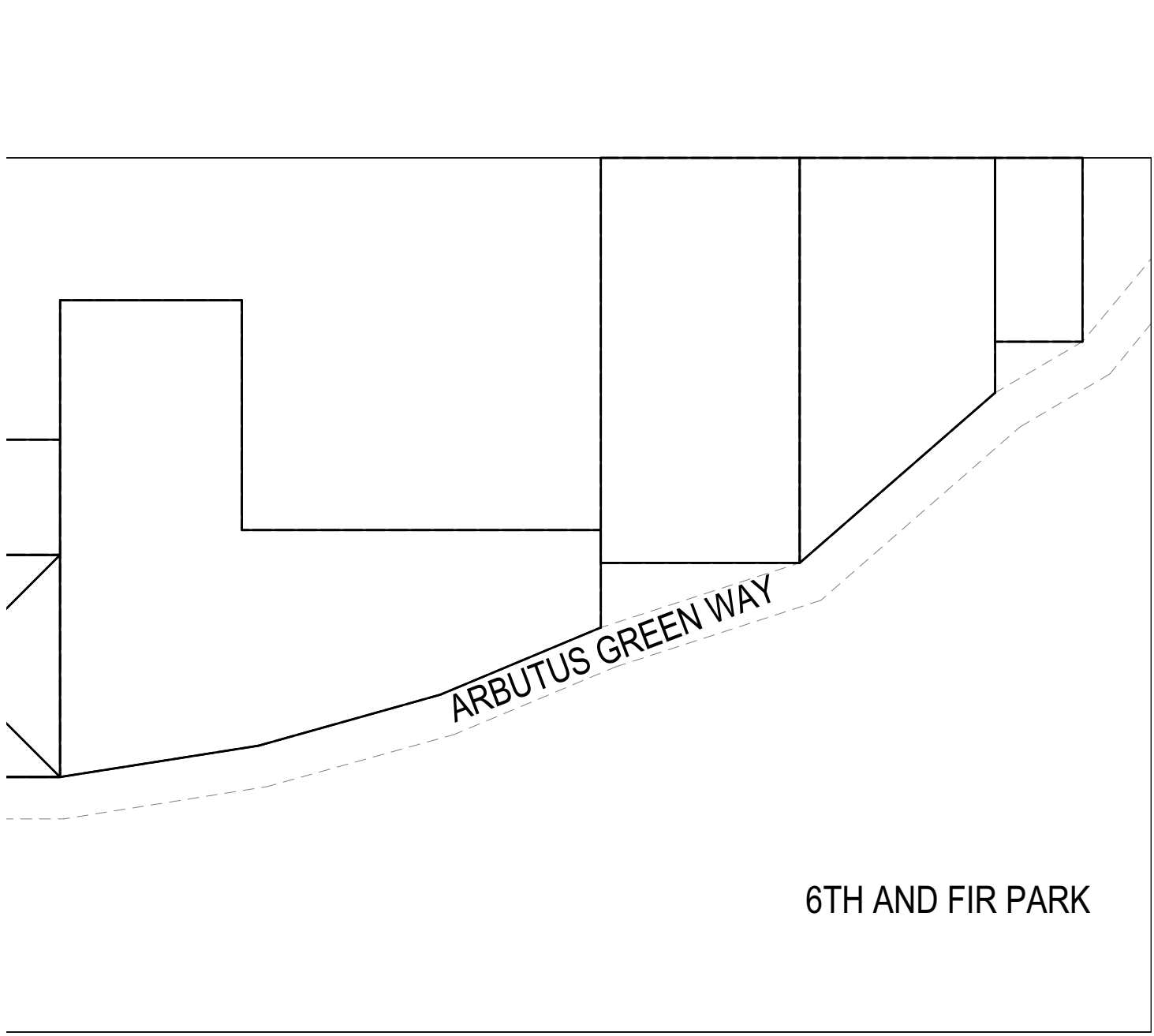


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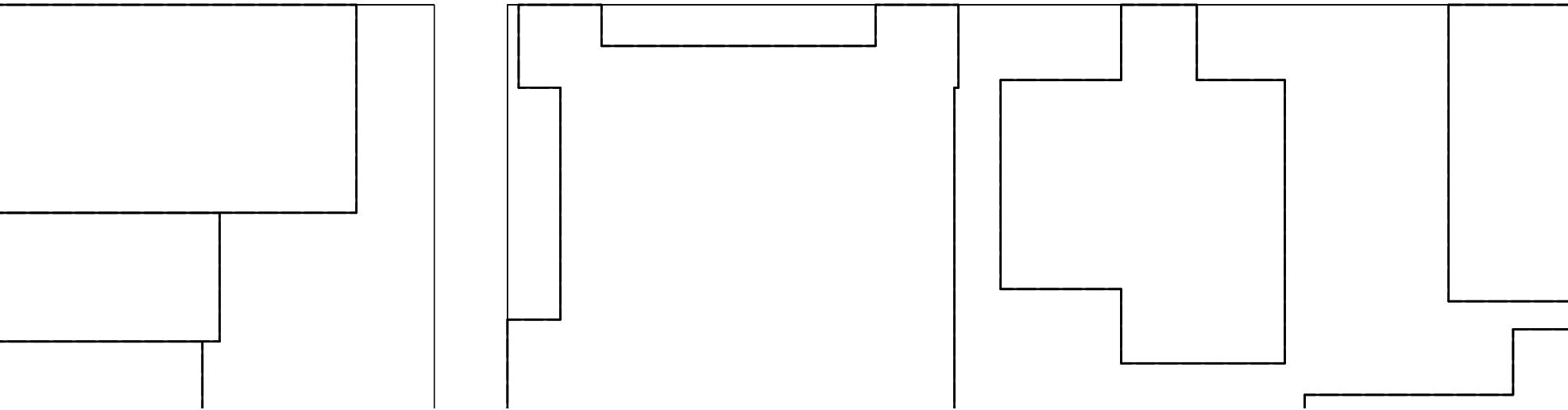
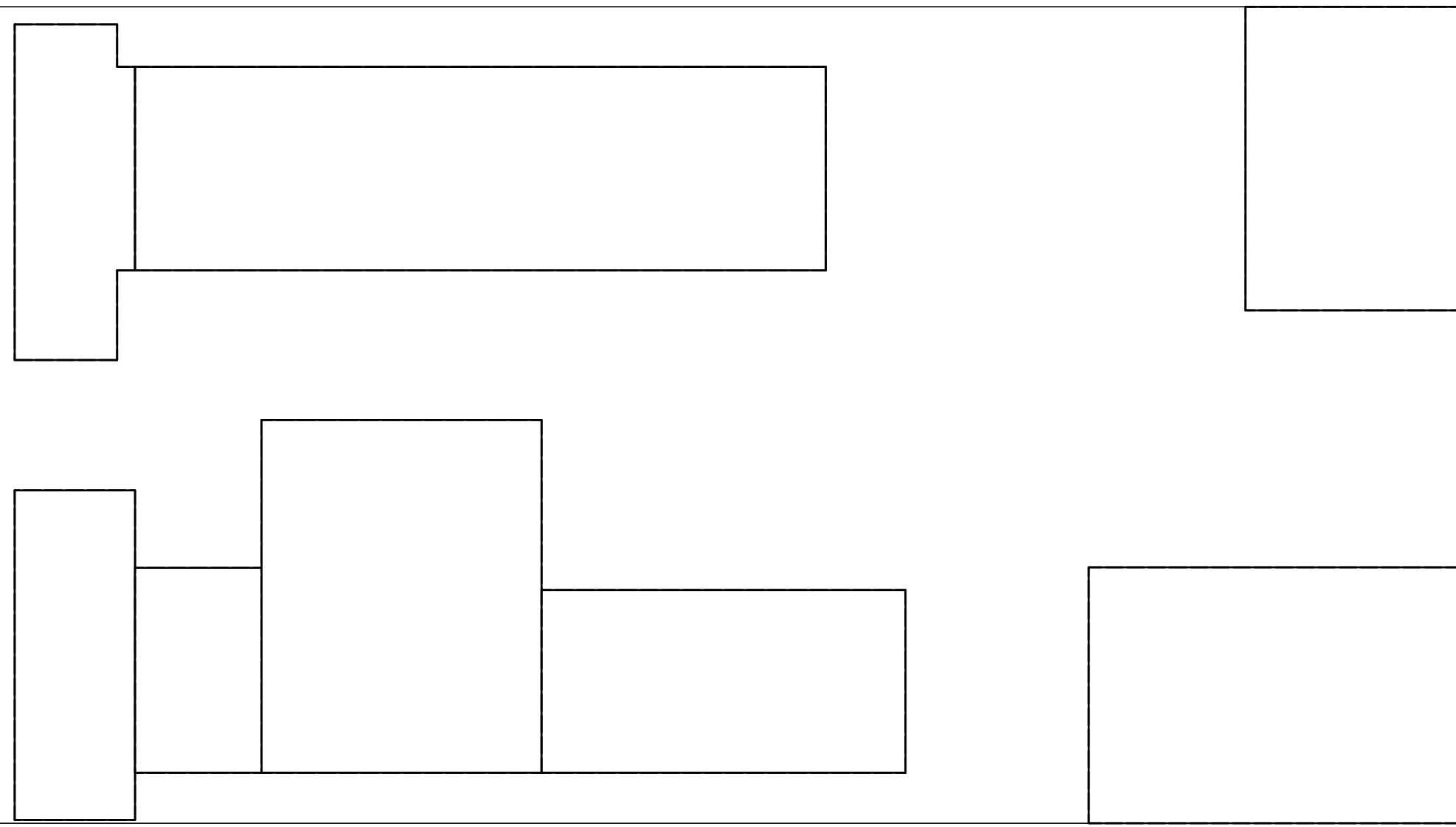
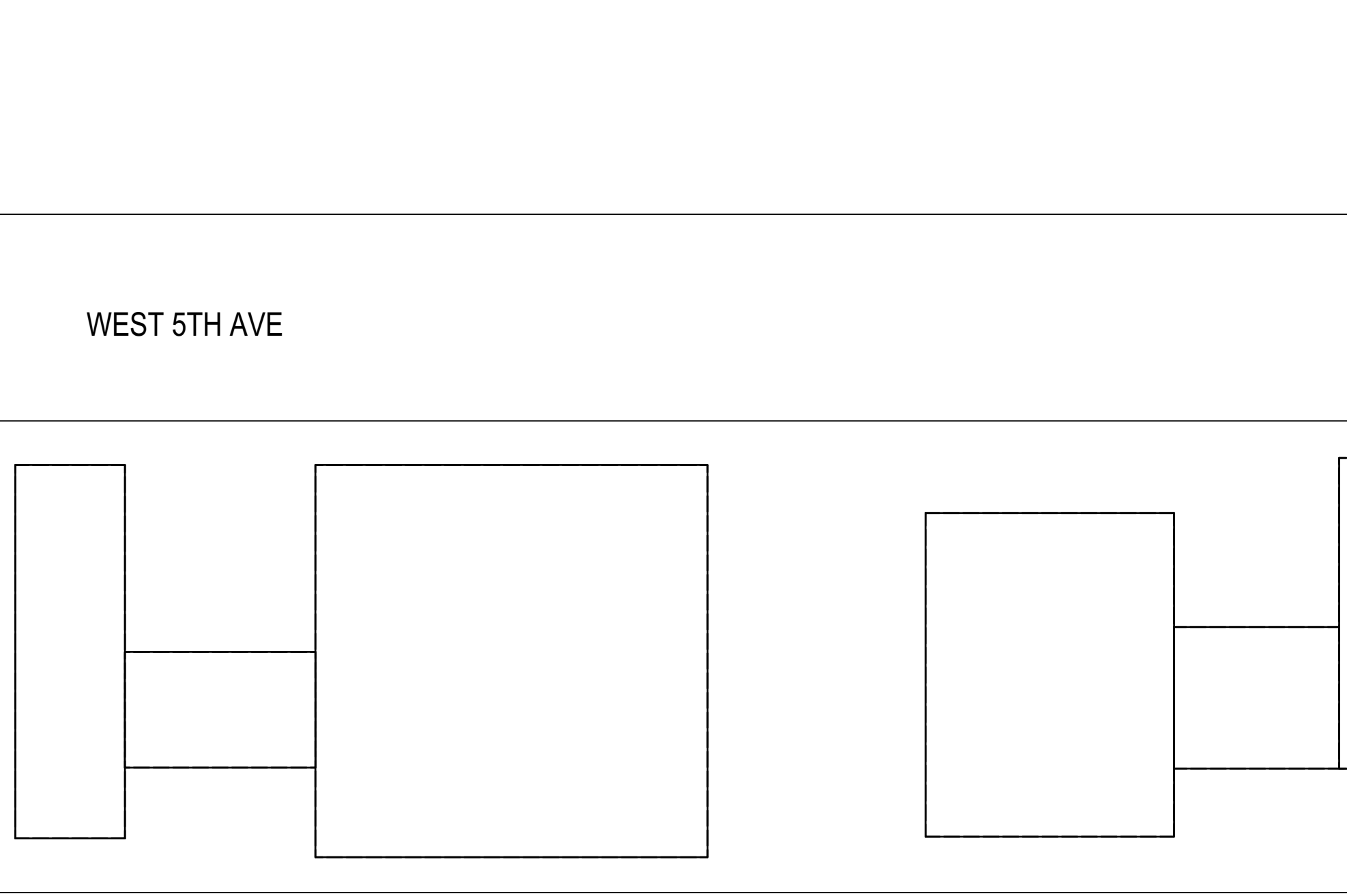
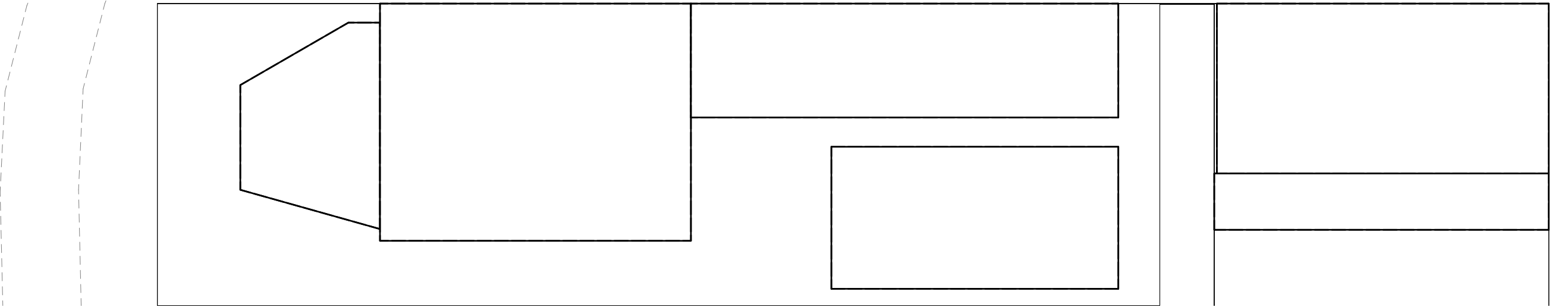
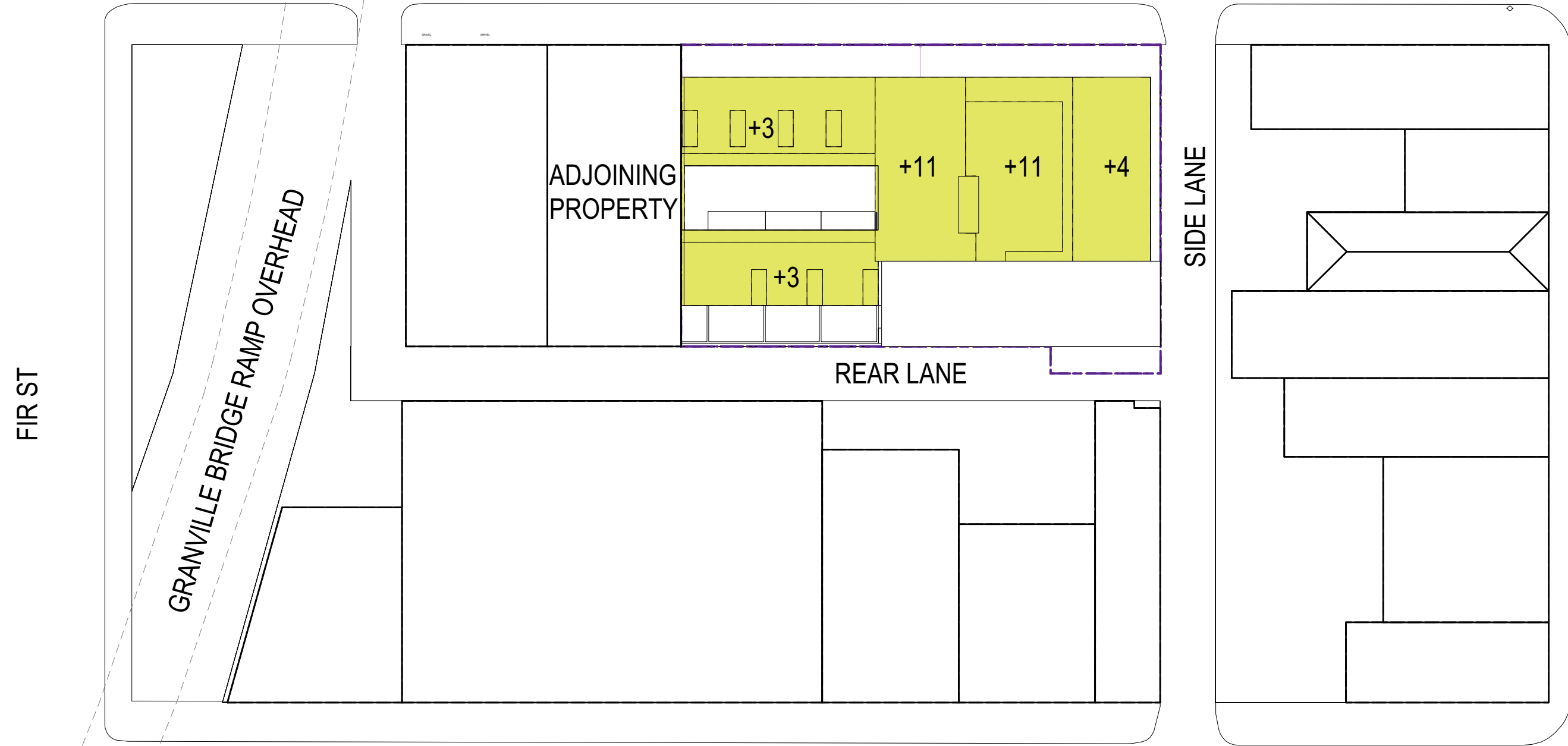
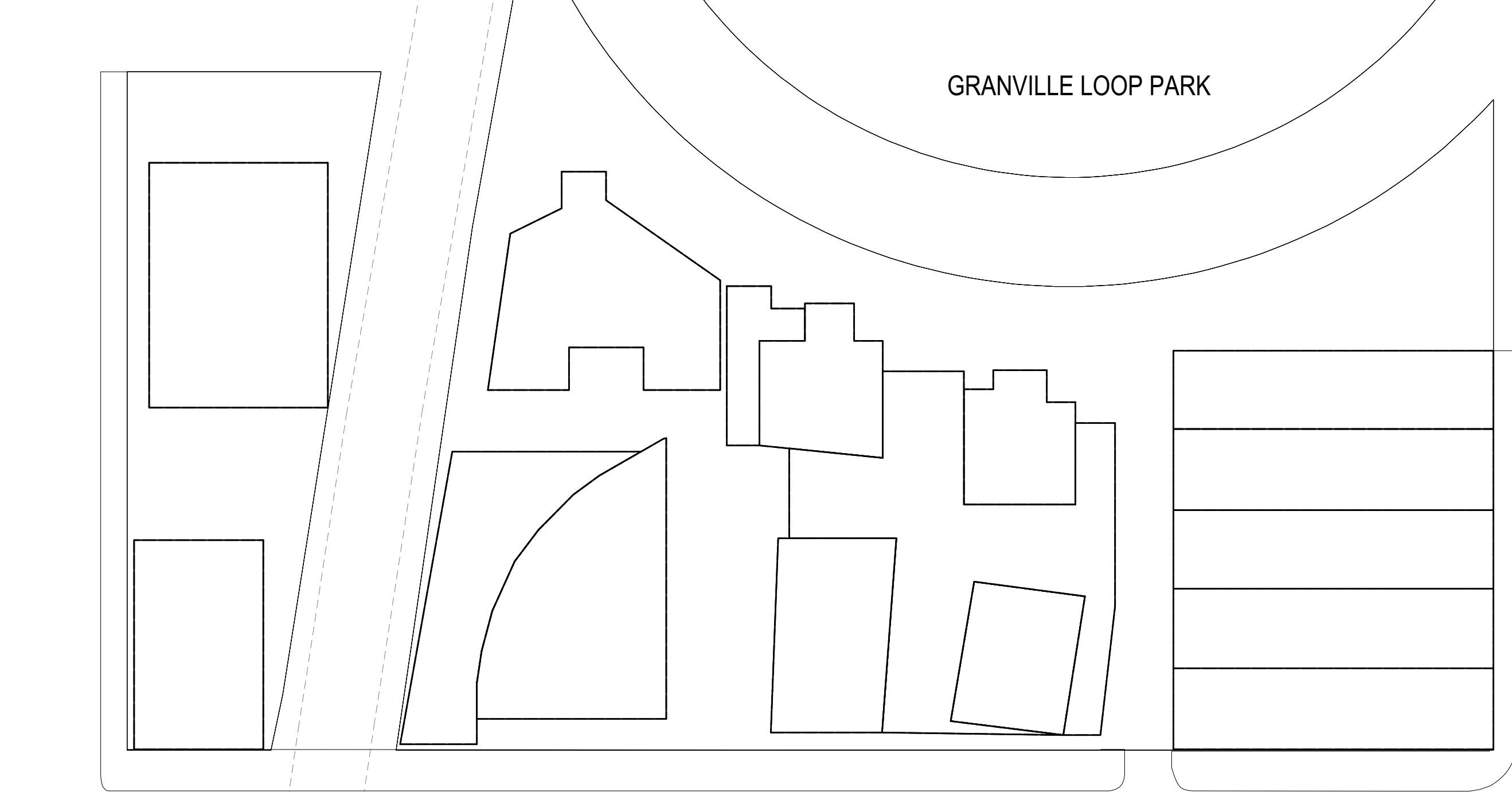


NOTE:  
ALL UNIT AREAS ARE NET INTERNAL AREAS, EXCLUDING ENCLOSED AND EXTERNAL BALCONIES.  
ALL AREAS ARE MEASURED TO THE INTERNAL FACE OF ALL OUTER AND DEMISING WALLS.  
ALL AREAS ARE APPROXIMATE ONLY AND MAY CHANGE DURING FURTHER DESIGN DEVELOPMENT .





1 Context Plan  
1:500







1. Photo looking north/ west



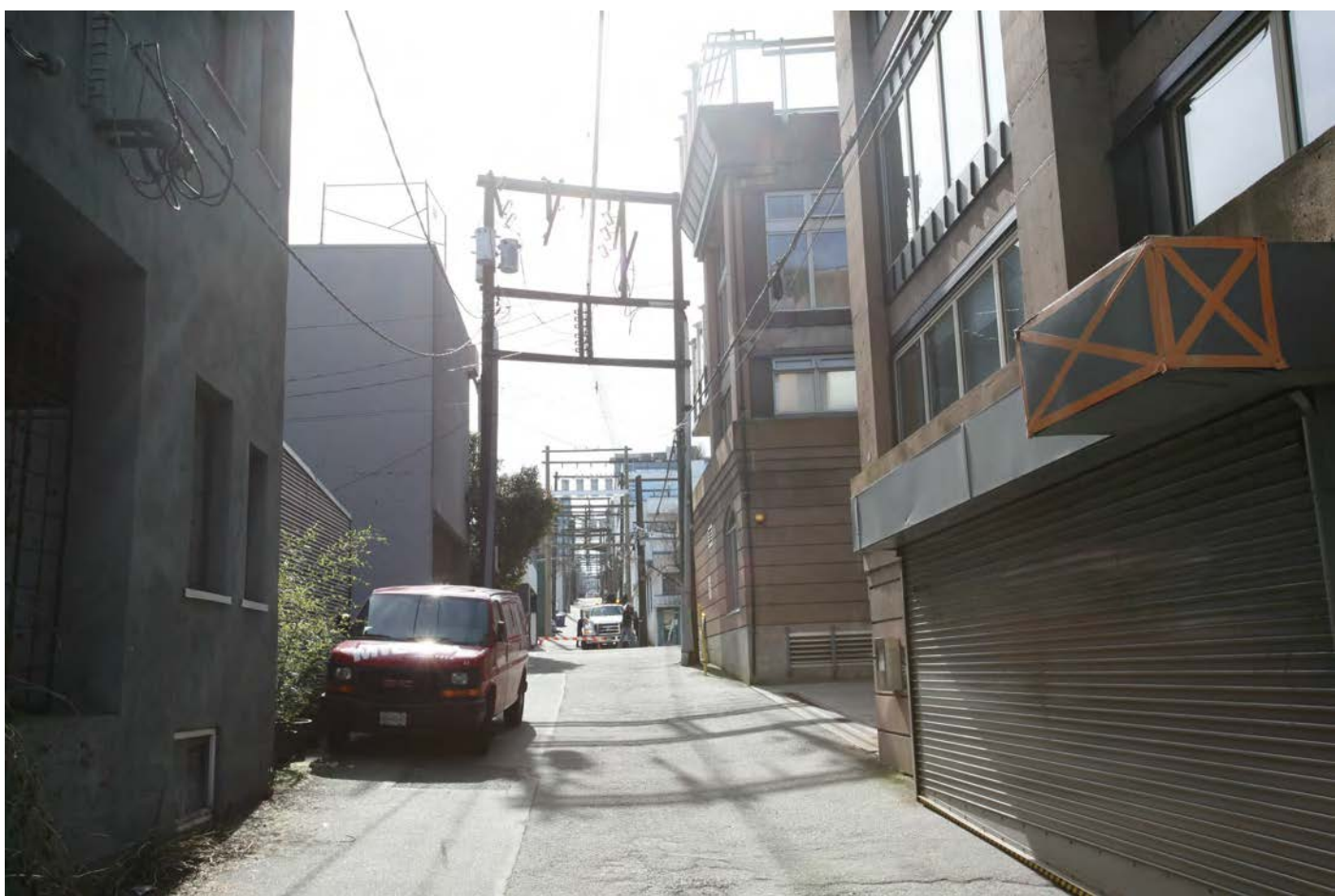
2. Photo looking west



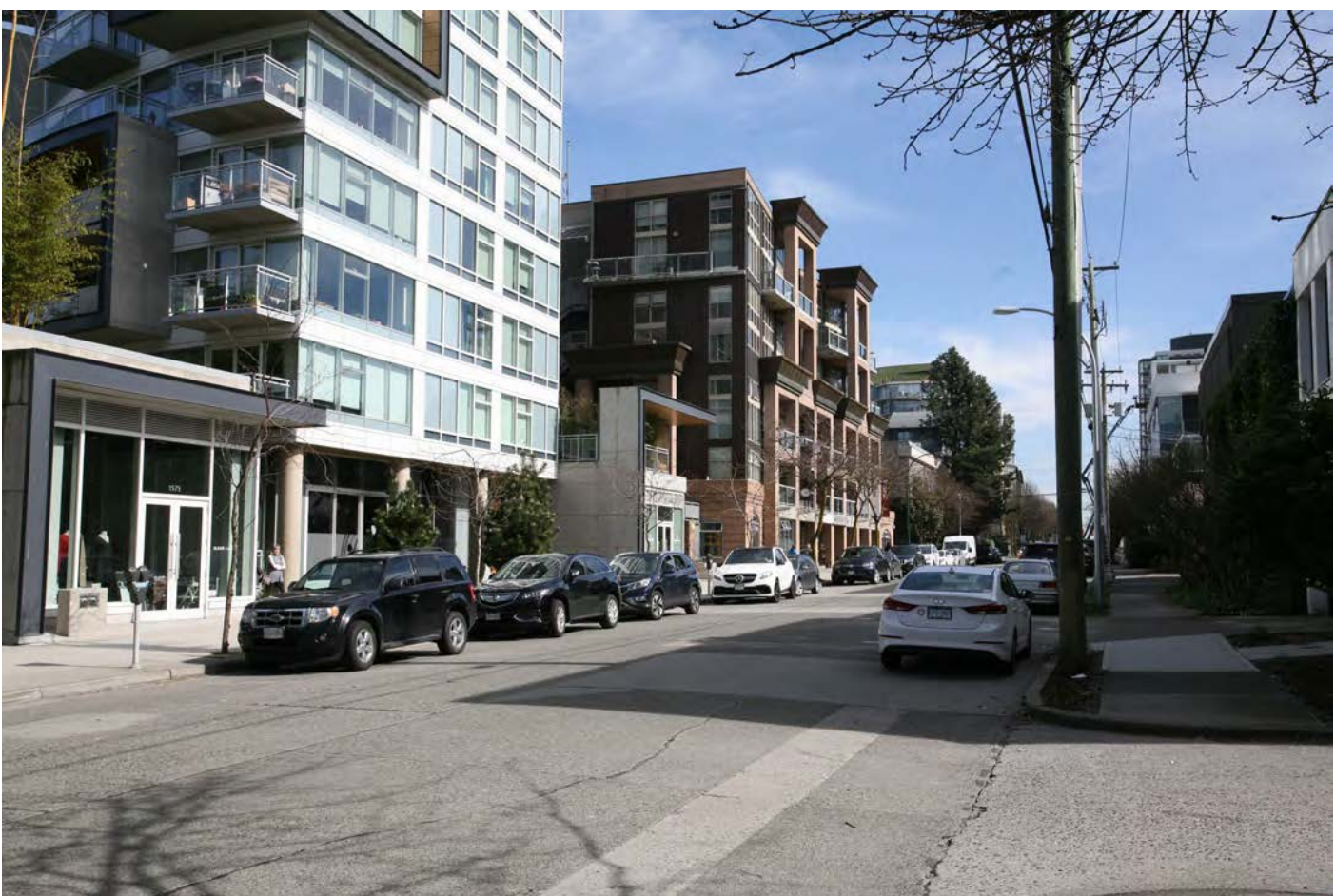
3. Photo looking west



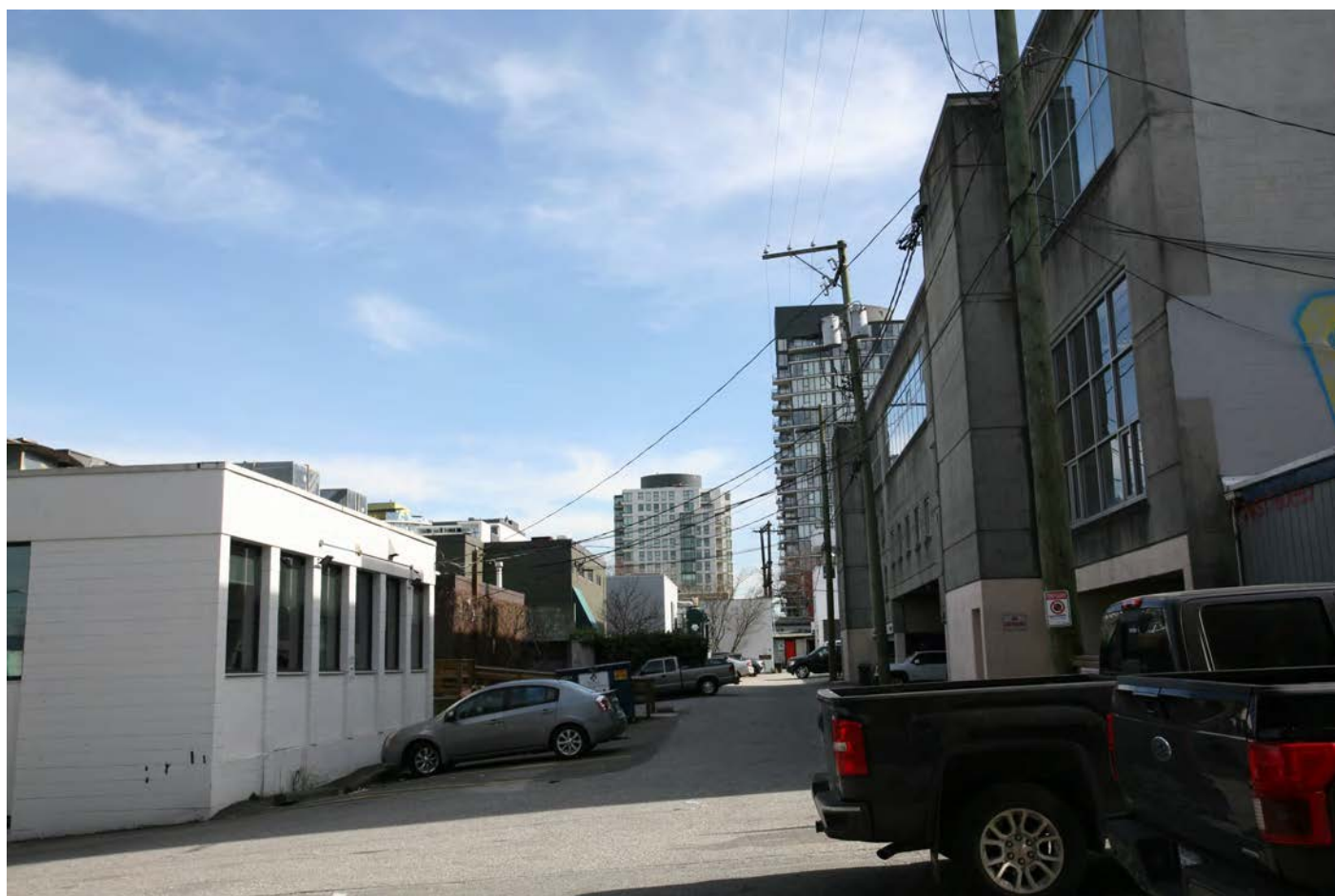
4. Photo looking south/ west



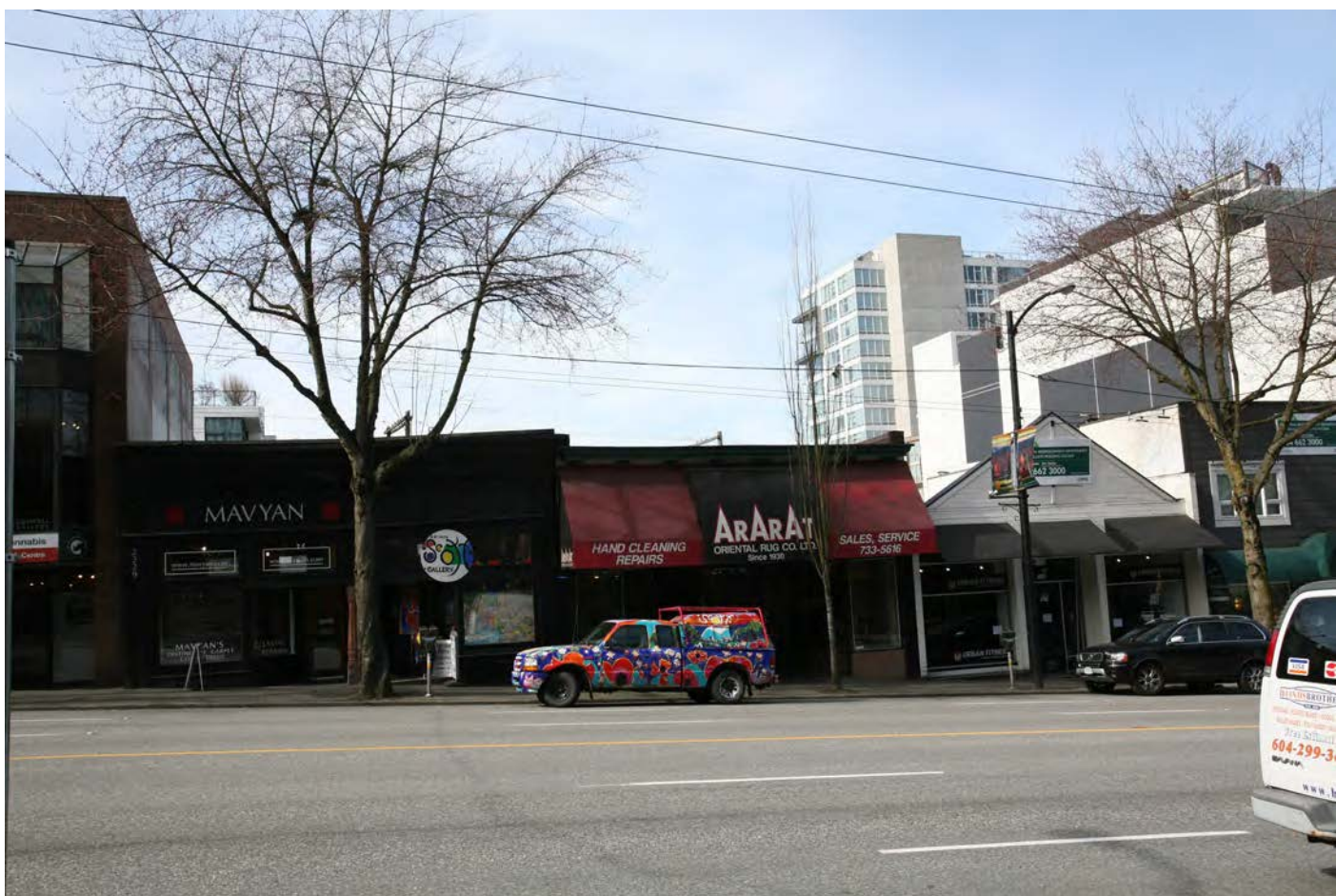
5. Photo looking south



6. Photo looking east



7. Photo looking east

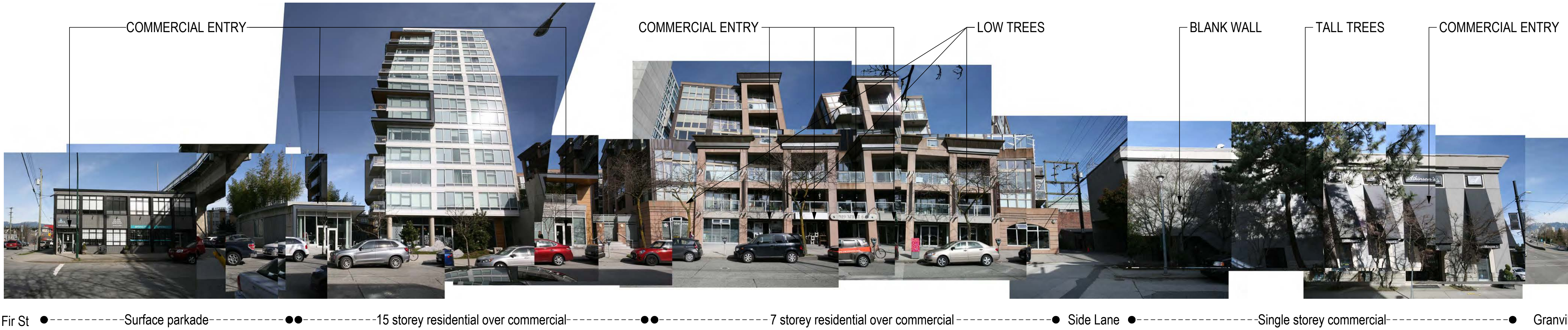


8. Photo looking west



9. Key plan



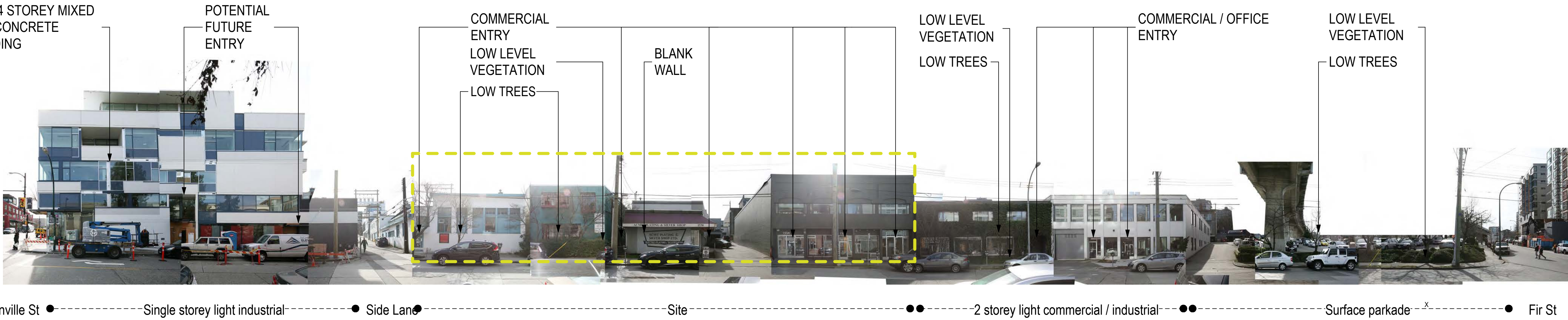


**6th Avenue North:**  
6th Avenue has a predominantly residential character in the vicinity of the subject site, this is particularly strong east of the junction of 6th and Granville. Directly opposite the subject site, two mixed-use buildings occupy the middle of the block, with multi-storey residential over commercial units at grade. These house cafes and shops, which, combined with the southern aspect, contribute to the streetfront. A single storey commercial unit with a single entry door and a large expanse of blank wall marks the corner with Granville St. A two storey commercial unit faces onto 6th Avenue at the junction with Fir St. The block is subdivided by the Granville loop overpass, meaning there is little continuity or coherence to the street scene.

The colour and material palette is highly varied across the buildings; stucco, painted concrete, copper cladding and window wall .

There are a number of small deciduous trees set individually into the pavement. A park with children's play area and community garden sits on the north west corner of the junction of 6th and Fir.

1. Streetscape along 6th Avenue (north)



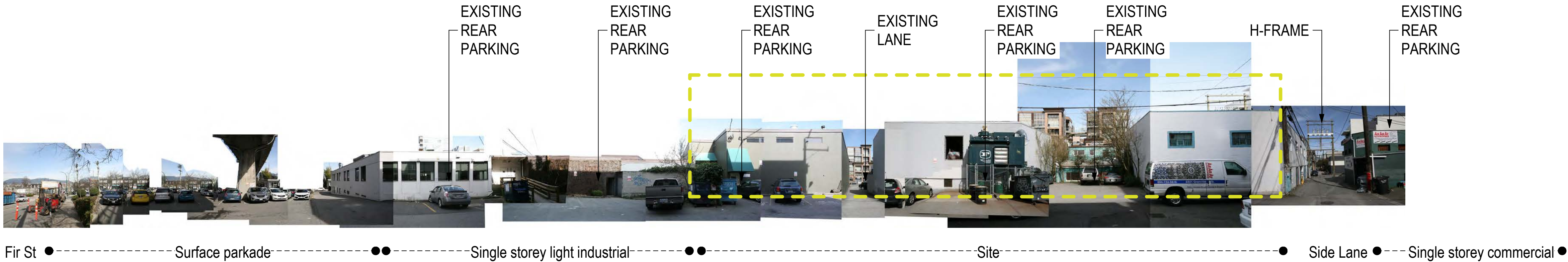
**6th Avenue South:**  
The south side of 6th Avenue currently houses a mixture of one and two storey commercial / industrial / office premises. A number of these have closed or blank facades, and contribute little to activating the streetfront. A newbuild 4 storey mixed-use development is nearing completion at the corner with Granville St. A surface parkade occupies the corner site at Fir St. On the southwest corner of 6th and Fir, a 12 storey newbuild mixed use development is also under construction. This scale of development is becoming typical of the area.

Painted concrete, CMU and stucco are the predominant existing materials. On the large scale residential developments (10 storey+) in the area, a wide variety of materials are used; masonry, painted concrete, window wall, metal cladding and composite panels.

The subject site currently has a couple of low trees inset in the pavement, and some shade planting directly in front of some of the buildings. As per the northern side of the street, planting is not extensive or continuous.

The proposed development will consolidate the middle part of the block, providing continuous street frontage with landscaped gardens which will increase the greenery at street level. Projecting balconies will provide an active facade that responds to the 7 storey building across the street.

2. Streetscape along 6th Avenue (south)



**Rear Lane:**  
The rear lane is mostly used for parking and waste collection, or access to the surface parkade. There is no through traffic. Each of the existing buildings currently has a few rear parking spots, building access points and waste collection areas. There are few windows onto the lane.

The proposed development will animate the rear lane by providing townhouses with gardens and rear access, as well as an external amenity space connected to an internal amenity room.

3. Rear lane (north)

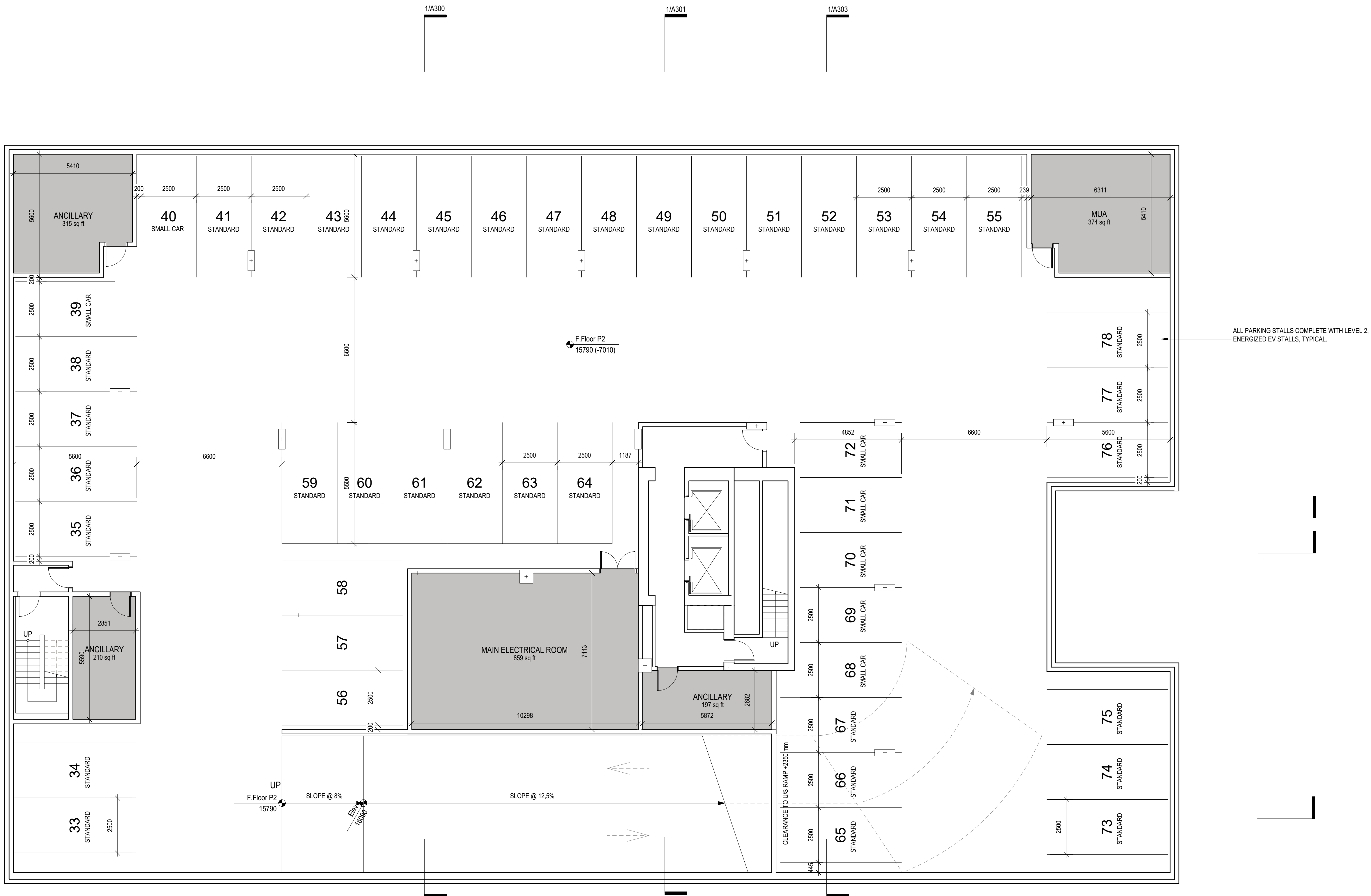








1 P-2-Plan  
1:100









plotted: Dec 11, 2018 3:13:47 PM



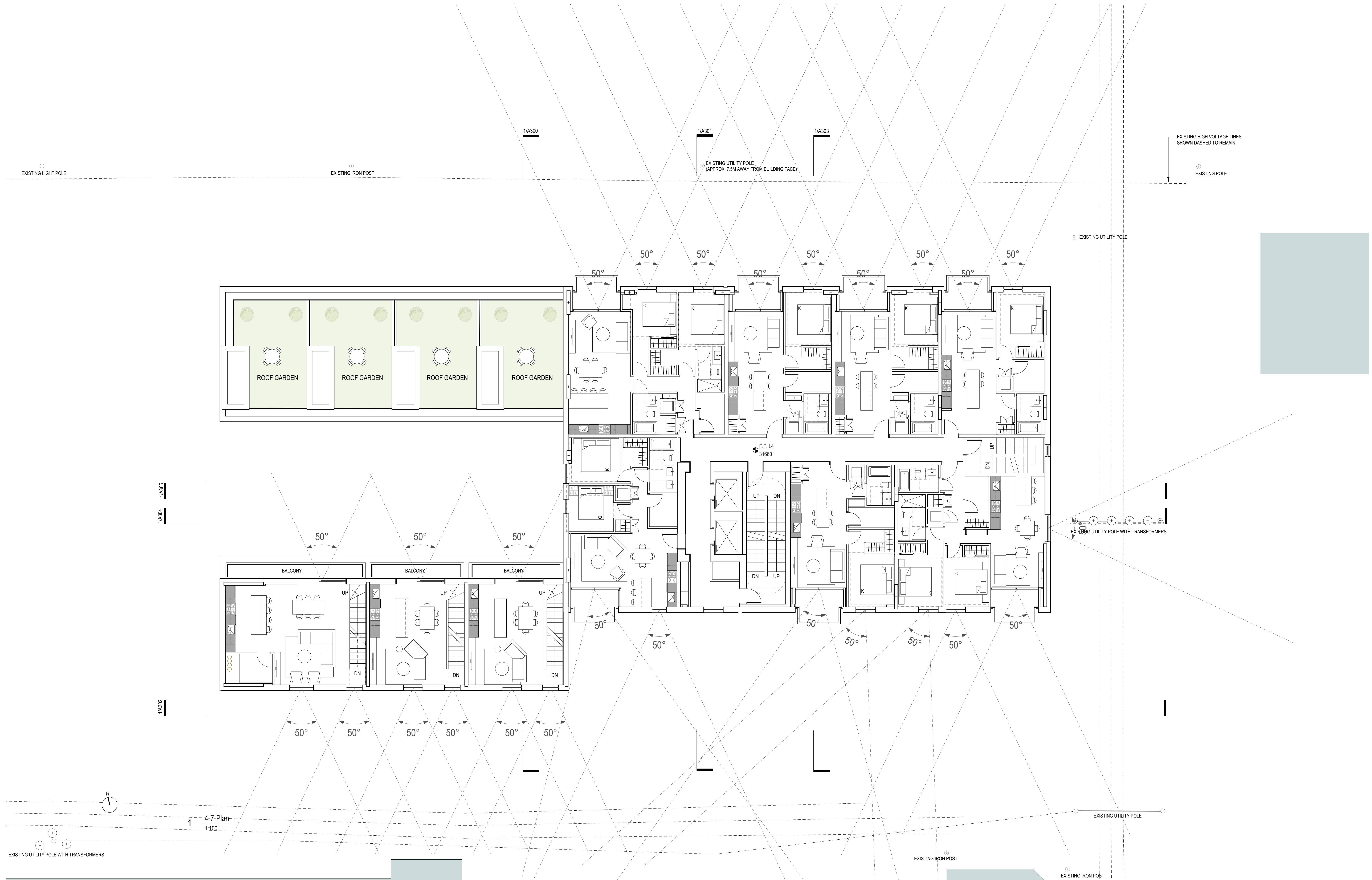


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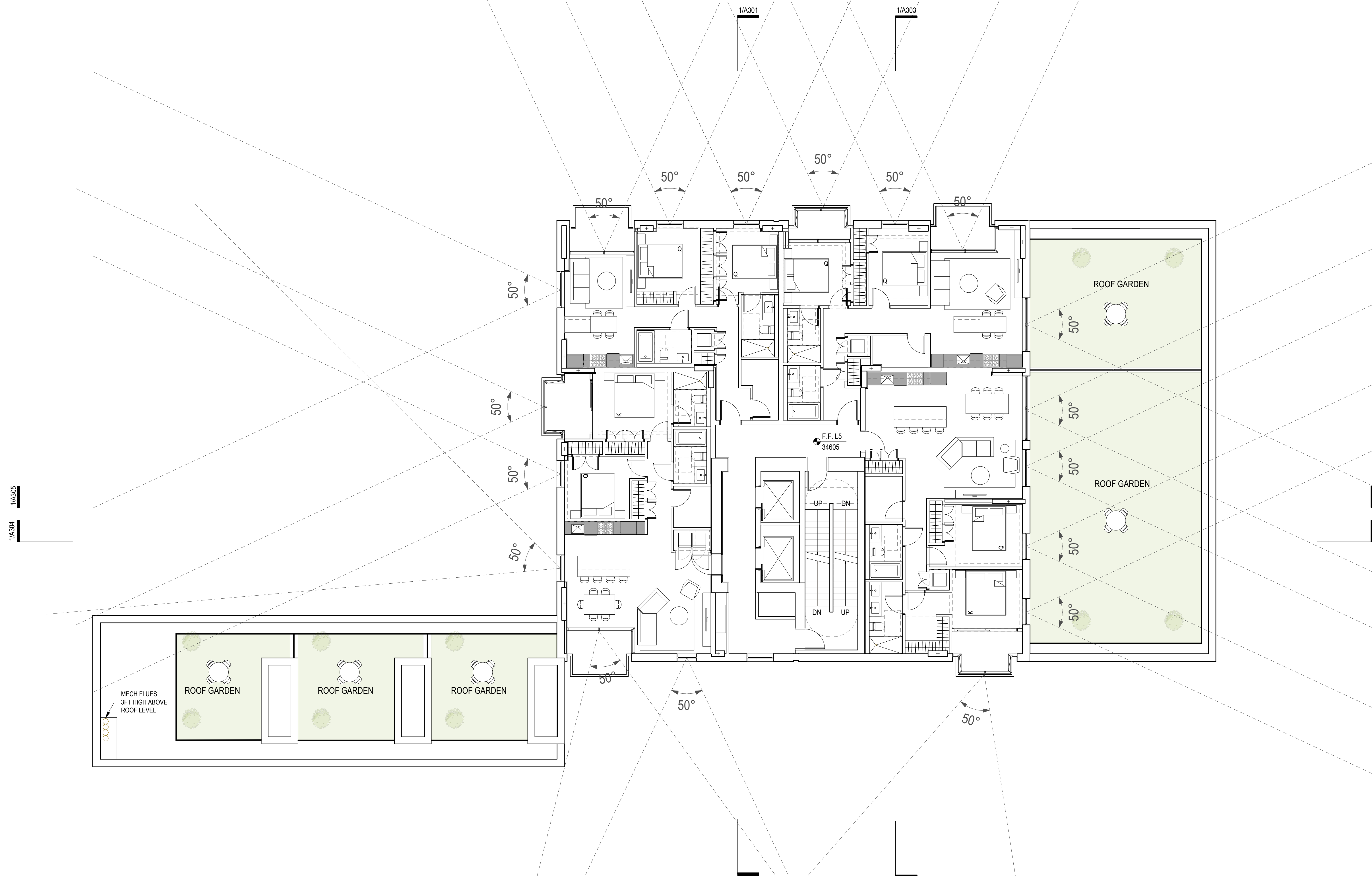






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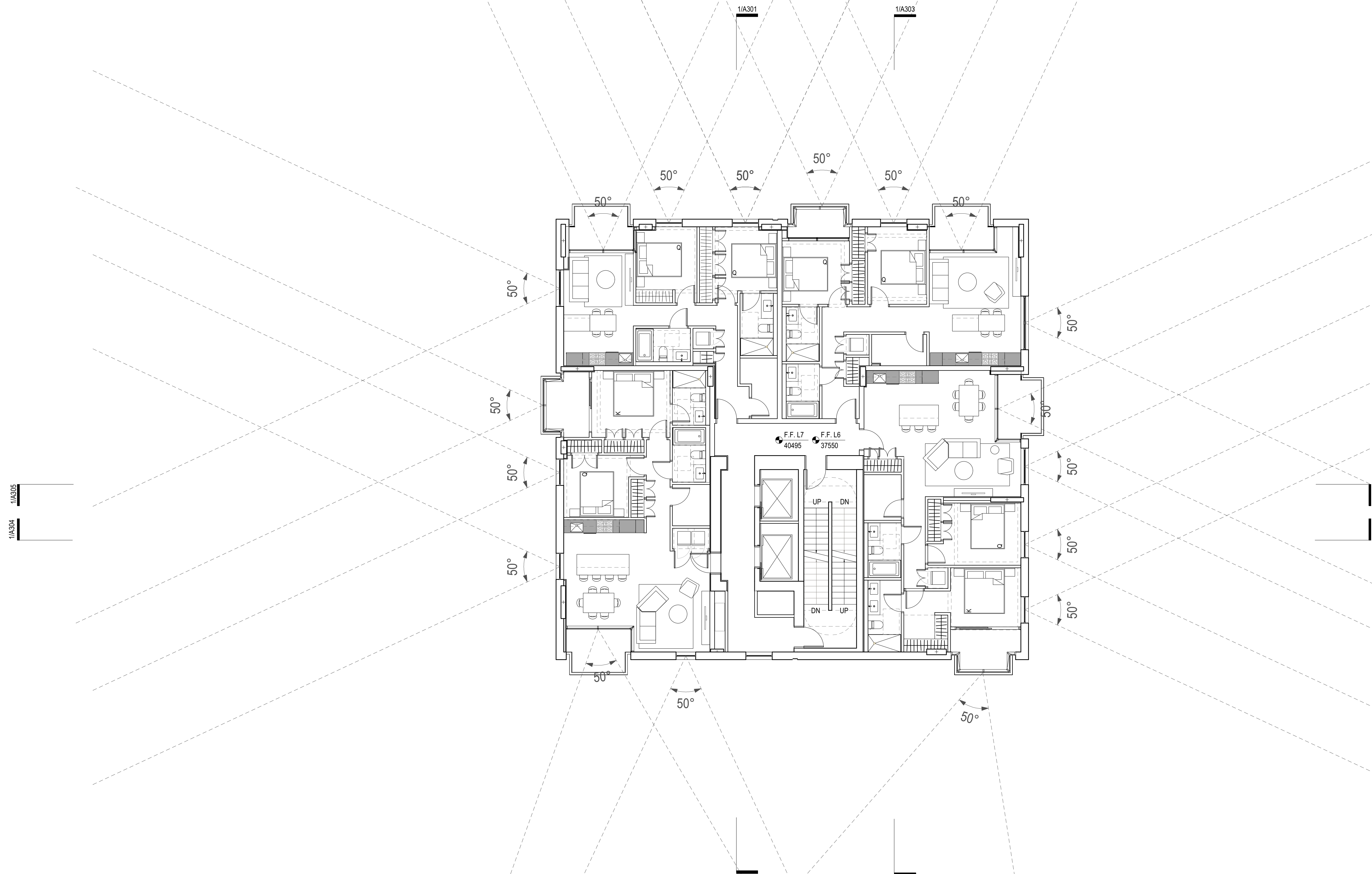




1 5-Plan  
1:100

plotted: Dec 11, 2018 3:14:05 PM

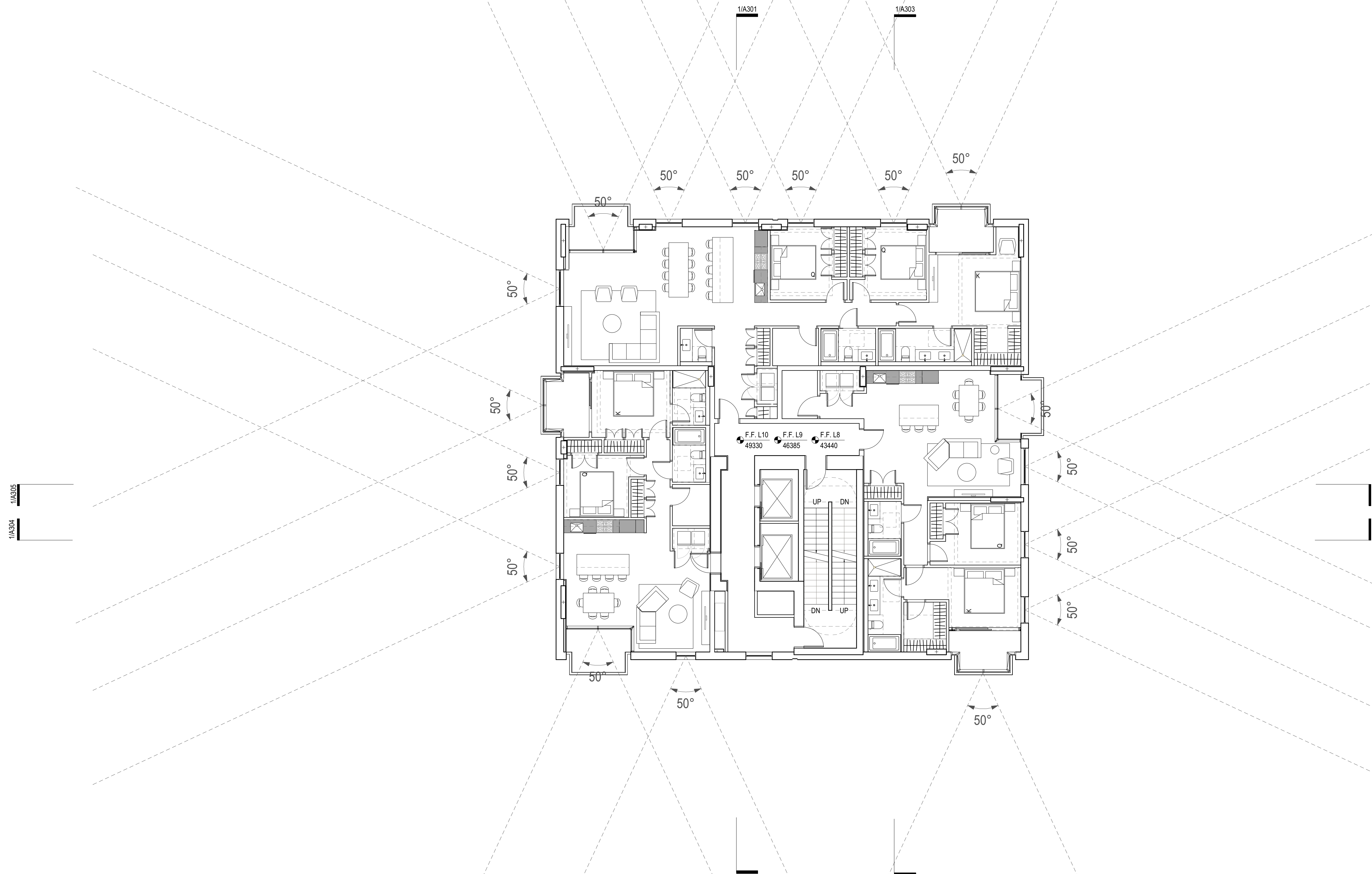




1 6-7-Plan  
1:100

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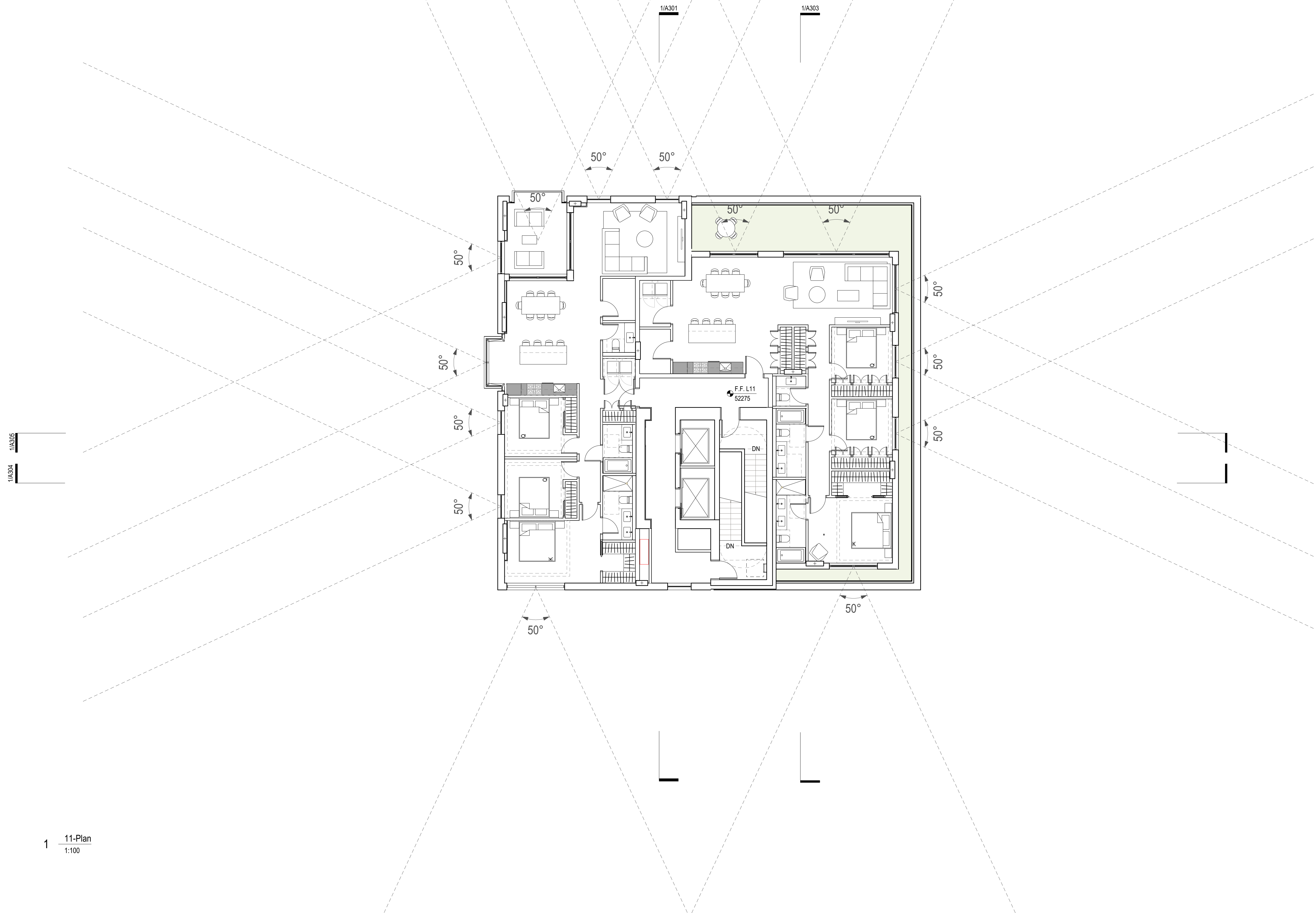




1 8-10-Plan  
1:100

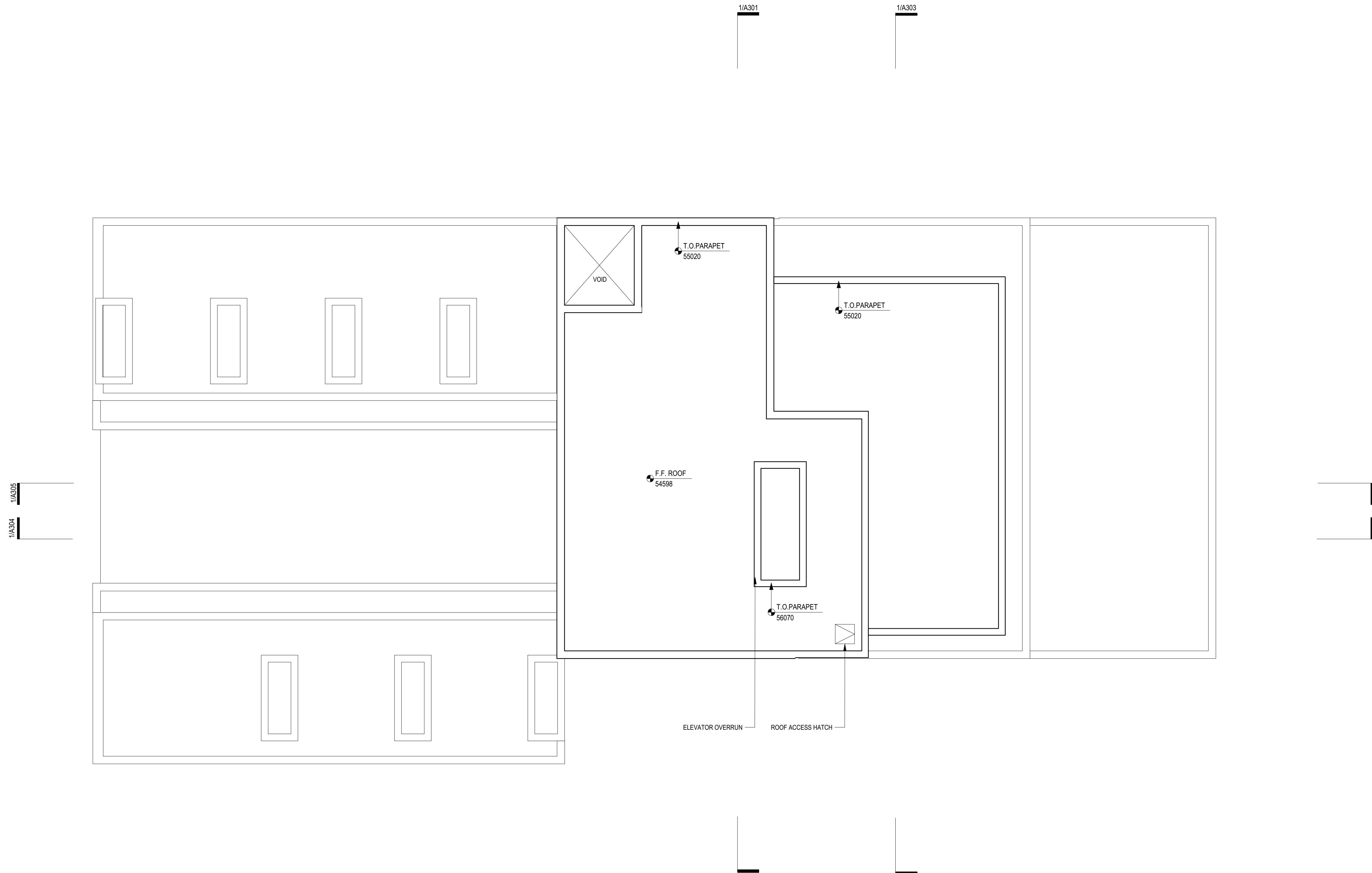
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plotted: Dec 11, 2018 3:14:15 PM

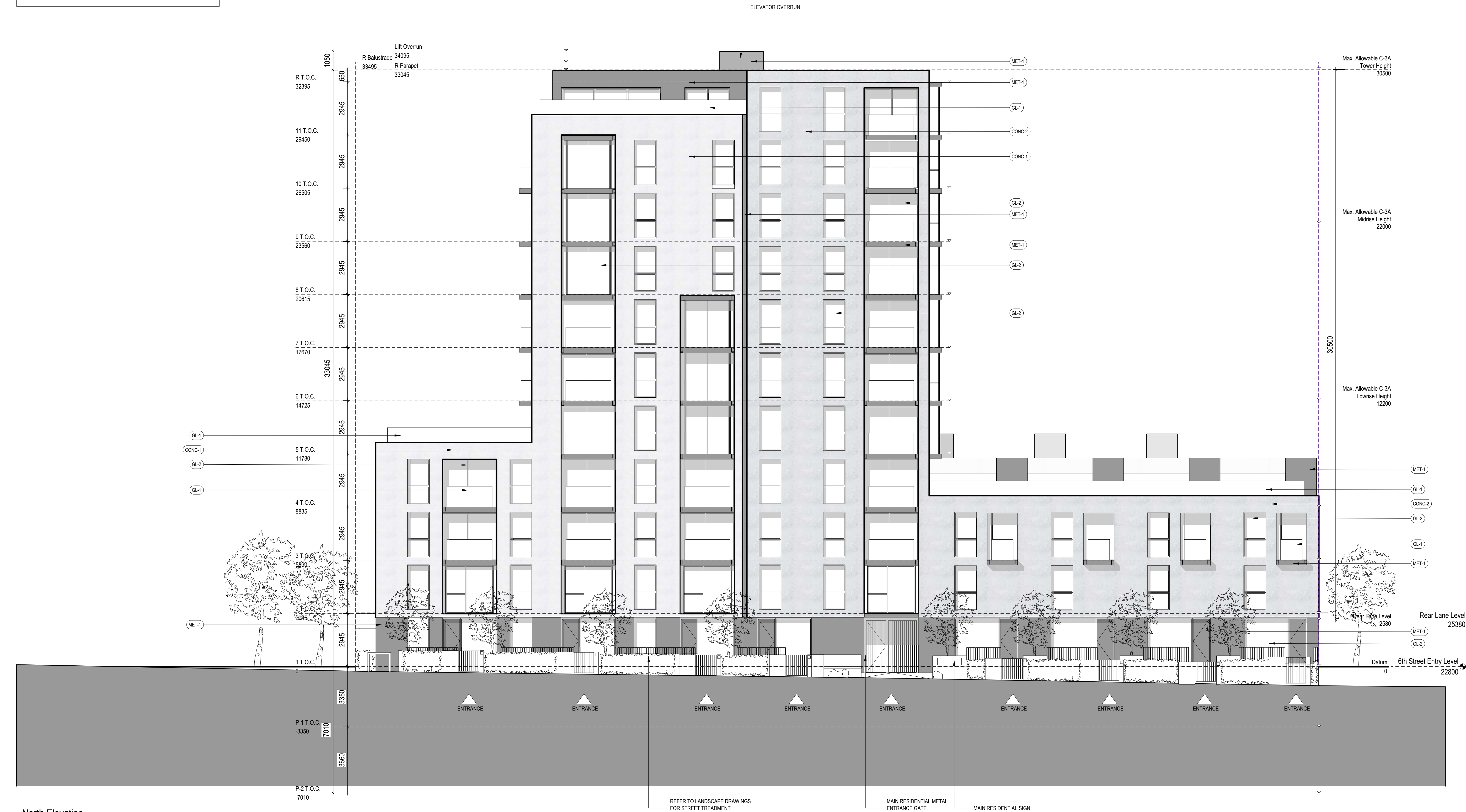




1 R-Plan - [P]  
1:100



- NOTES:
- GL-1 CLEAR GLASS BALUSTRADE
  - GL-2 CLEAR GLASS WINDOW
  - GL-3 FROSTED GLASS WINDOW
  - MET-1 DARK METAL PANEL
  - CONC-1 CEMENTITIOUS CLADDING PANEL - LIGHT GREY
  - CONC-2 CEMENTITIOUS CLADDING PANEL - MID GREY

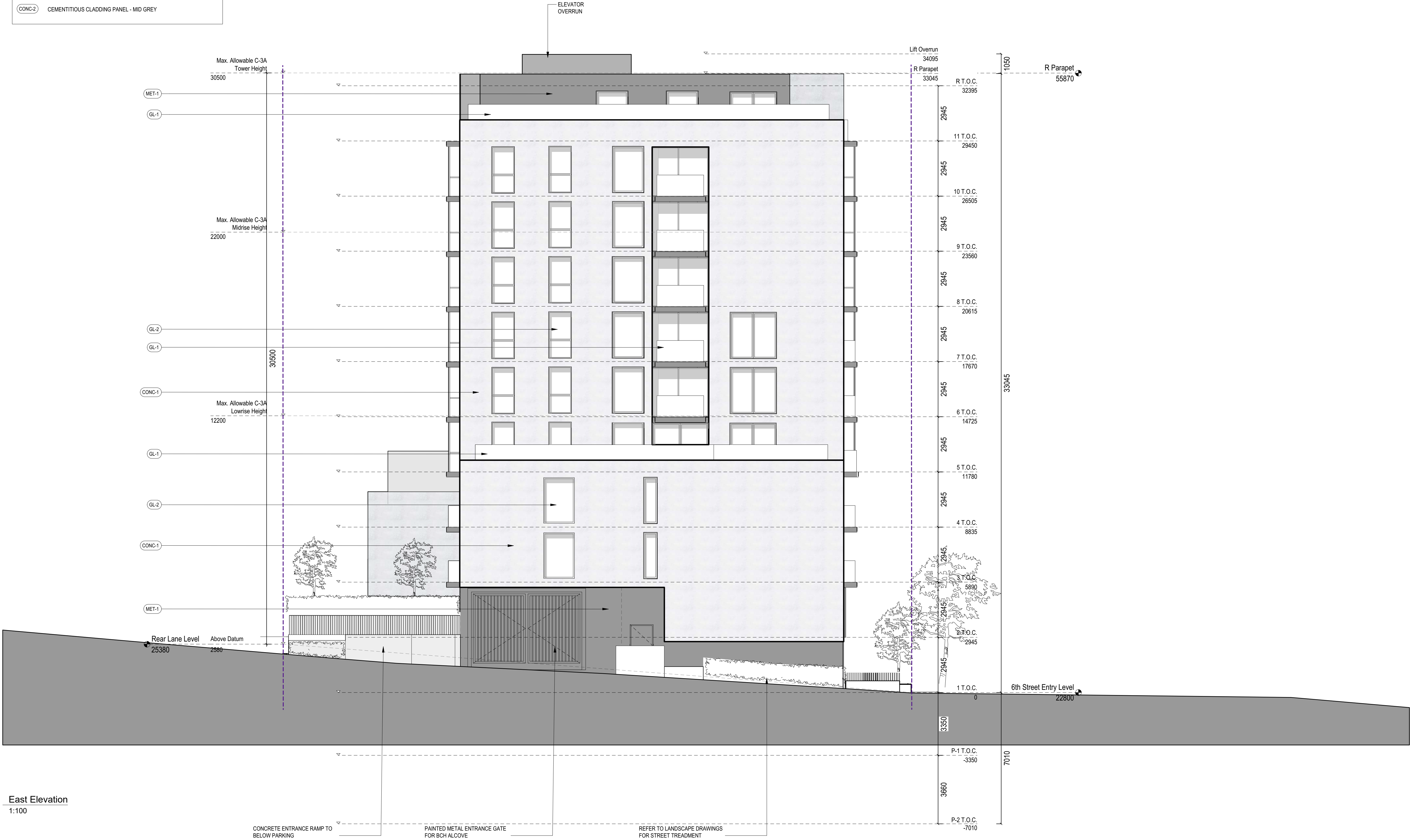


1 North Elevation  
1:100

plotted: Dec 11, 2018 3:14:43 PM



- NOTES:
- GL-1 CLEAR GLASS BALUSTRADE
  - GL-2 CLEAR GLASS WINDOW
  - GL-3 FROSTED GLASS WINDOW
  - MET-1 DARK METAL PANEL
  - CONC-1 CEMENTITIOUS CLADDING PANEL - LIGHT GREY
  - CONC-2 CEMENTITIOUS CLADDING PANEL - MID GREY



plotted: Dec 11, 2018 3:14:49 PM



- NOTES:
- GL-1 CLEAR GLASS BALUSTRADE
  - GL-2 CLEAR GLASS WINDOW
  - GL-3 FROSTED GLASS WINDOW
  - MET-1 DARK METAL PANEL
  - CONC-1 CEMENTITIOUS CLADDING PANEL - LIGHT GREY
  - CONC-2 CEMENTITIOUS CLADDING PANEL - MID GREY



1 South Elevation  
1:100



- NOTES:
- GL-1 CLEAR GLASS BALUSTRADE
  - GL-2 CLEAR GLASS WINDOW
  - GL-3 FROSTED GLASS WINDOW
  - MET-1 DARK METAL PANEL
  - CONC-1 CEMENTITIOUS CLADDING PANEL - LIGHT GREY
  - CONC-2 CEMENTITIOUS CLADDING PANEL - MID GREY



plotted: Dec 11, 2018 3:15:52 PM









plotted: Dec 11, 2018 3:17:22 PM

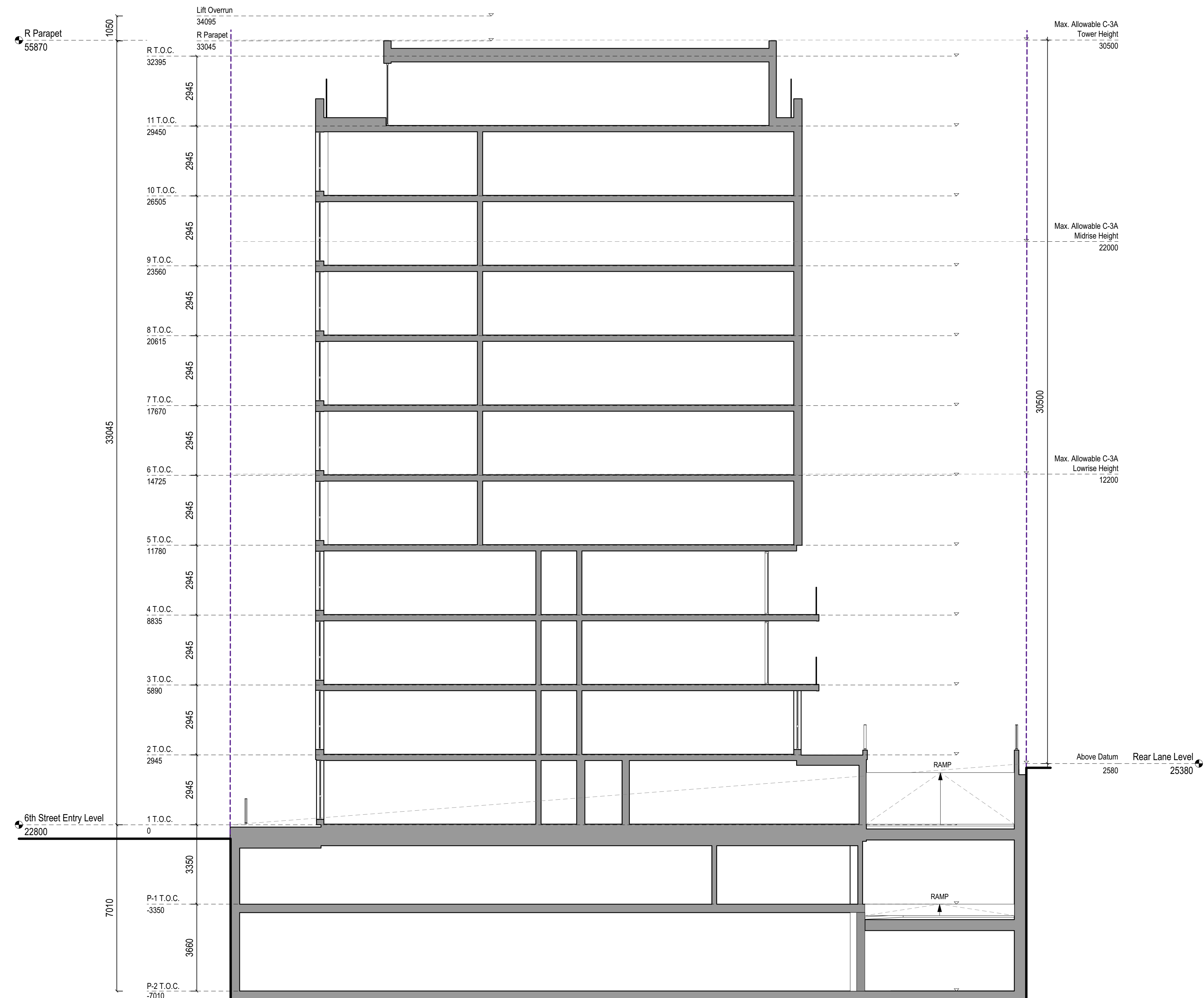




1 Section CC  
1:100

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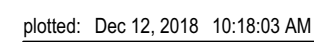




1 Section DD  
1:100



GL-1	CLEAR GLASS BALUSTRADE
GL-2	CLEAR GLASS WINDOW
GL-3	FROSTED GLASS WINDOW
MET-1	DARK METAL PANEL
CONC-1	CEMENTITIOUS CLADDING PANEL - LIGHT GREY
CONC-2	CEMENTITIOUS CLADDING PANEL - MID GREY





- NOTES:
- GL-1

CLEAR GLASS BALUSTRADE
- GL-2

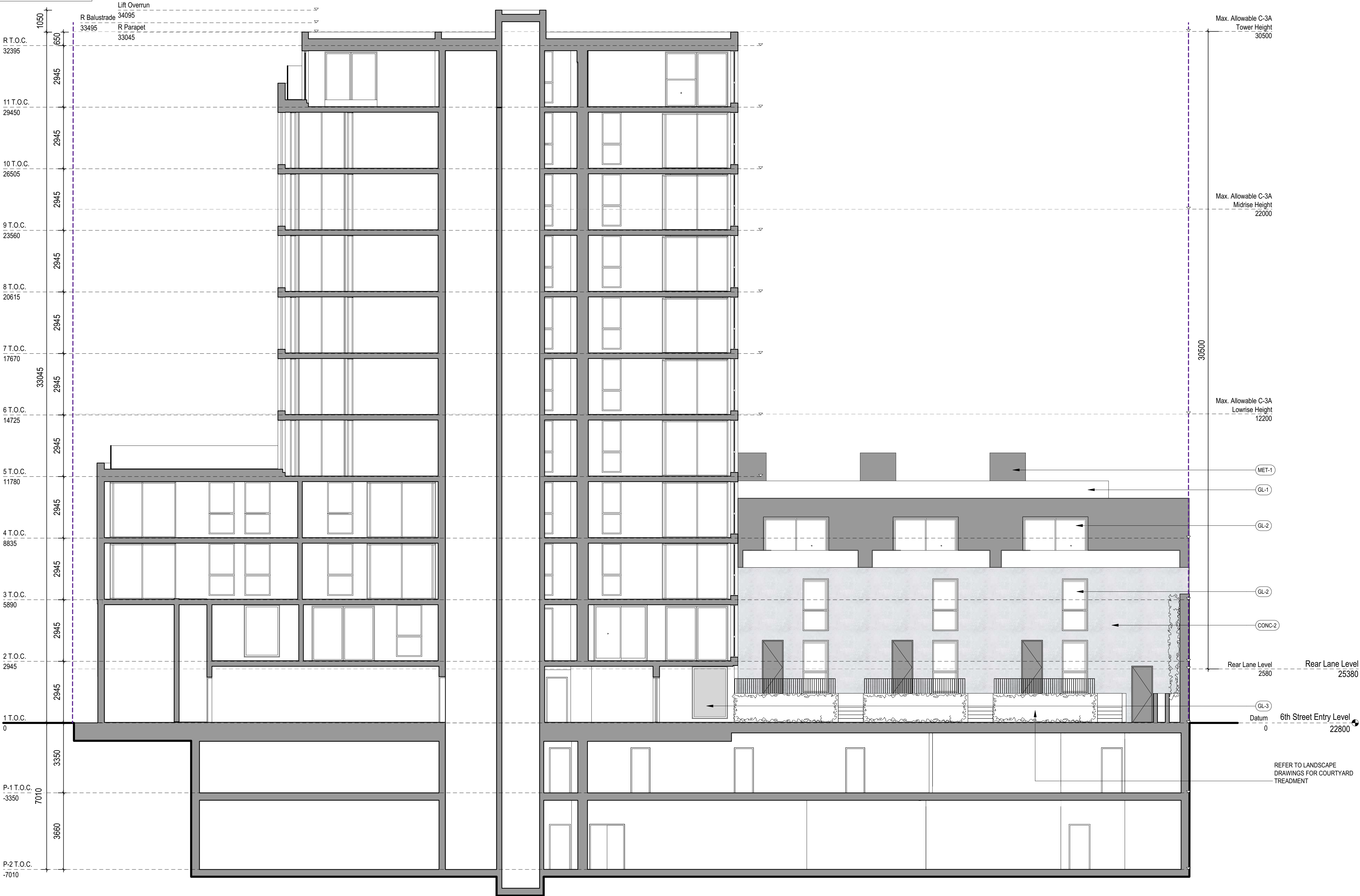
CLEAR GLASS WINDOW
- GL-3

FROSTED GLASS WINDOW
- MET-1

DARK METAL PANEL
- CONC-1

CEMENTITIOUS CLADDING PANEL - LIGHT GREY
- CONC-2

CEMENTITIOUS CLADDING PANEL - MID GREY



1 Section FF  
1:100

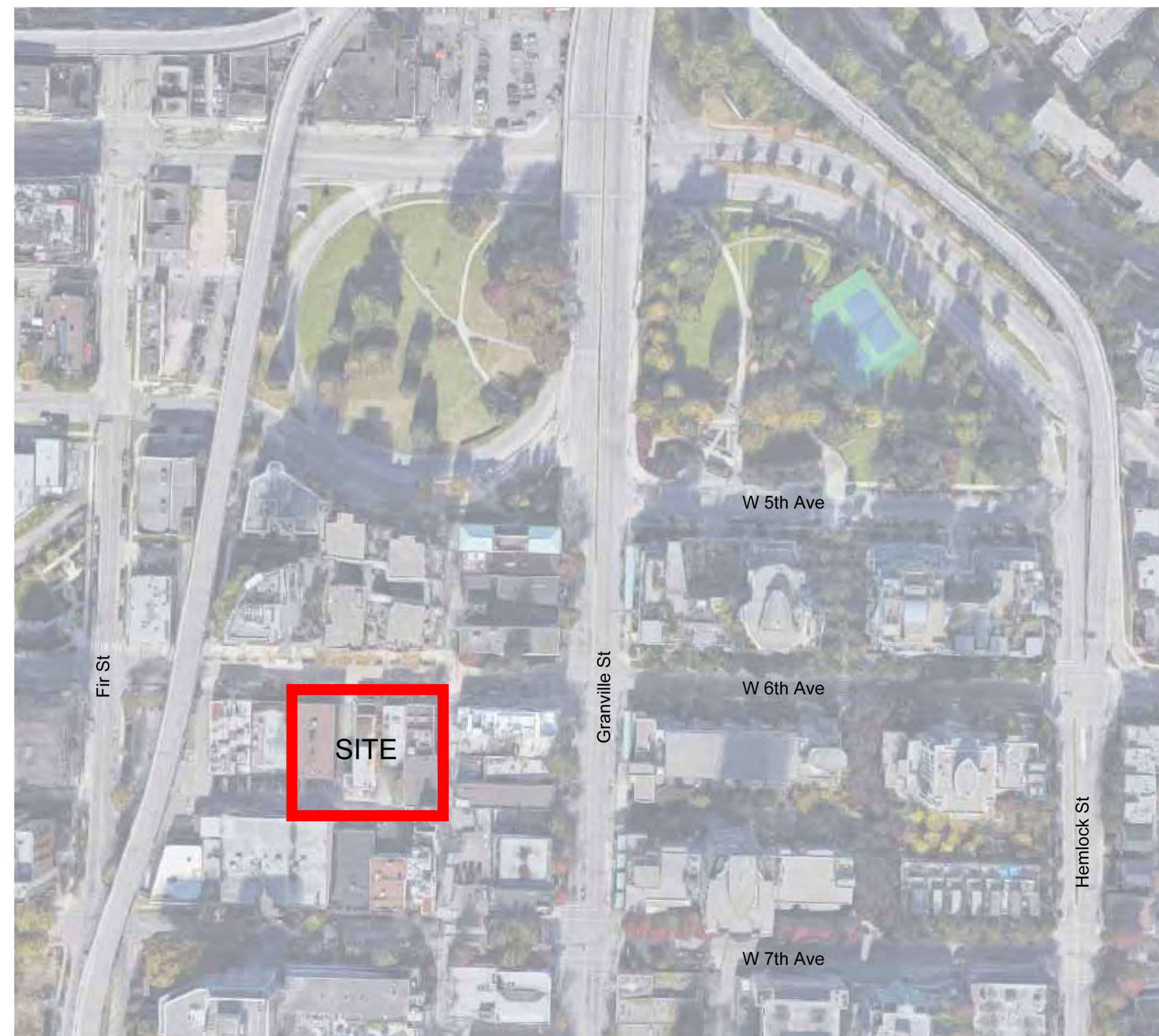
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## Issued for Development Permit



## Sheet List Table



Scale: \_\_\_\_\_

AS SHOWN

# Drawing Title: COVER SHEET



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DP2018-18

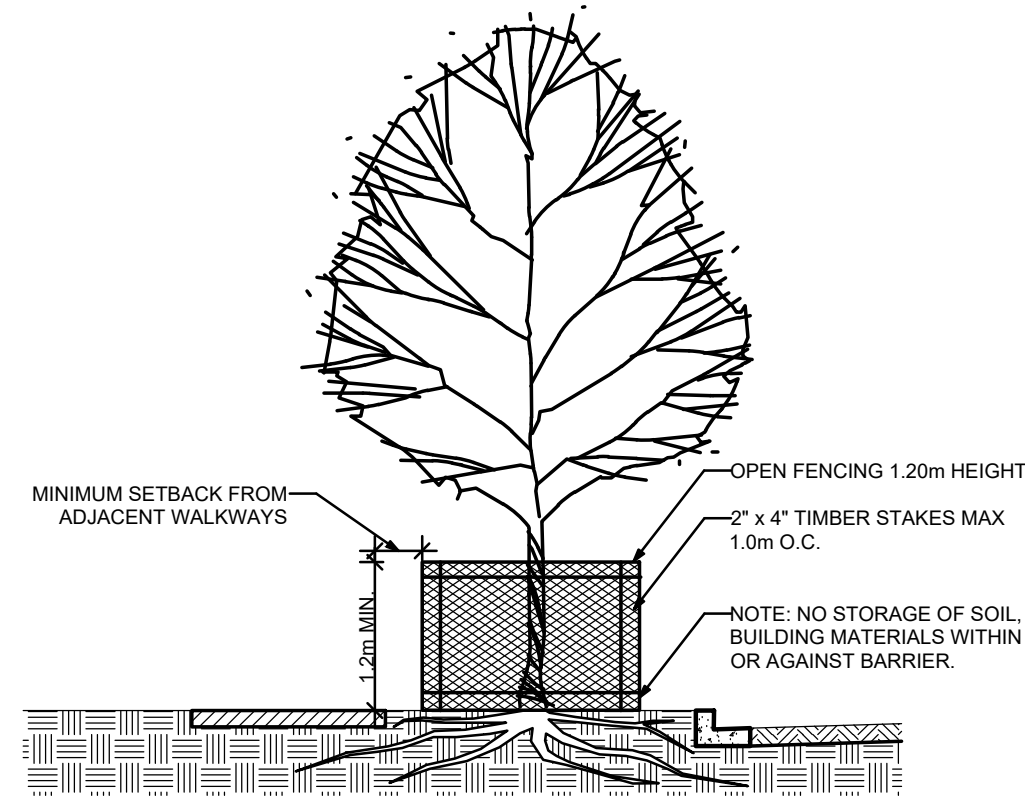
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**L-01**



\\02-SERVER\PROJECTS\DEVELOPMENT PERMITS\ACTIVEDP2018-18 WEST 6TH ANTHEM\DWGS\SHEET\SL-02 TREE MANAGEMENT PLAN.DWG

Note:

1. Contact Arborist (Kelly Koome, 604-882-0024, kkoome@vdz.ca) for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ)
2. Read this plan together with the arborist report prepared by Kelly Koome and dated December 7, 2018

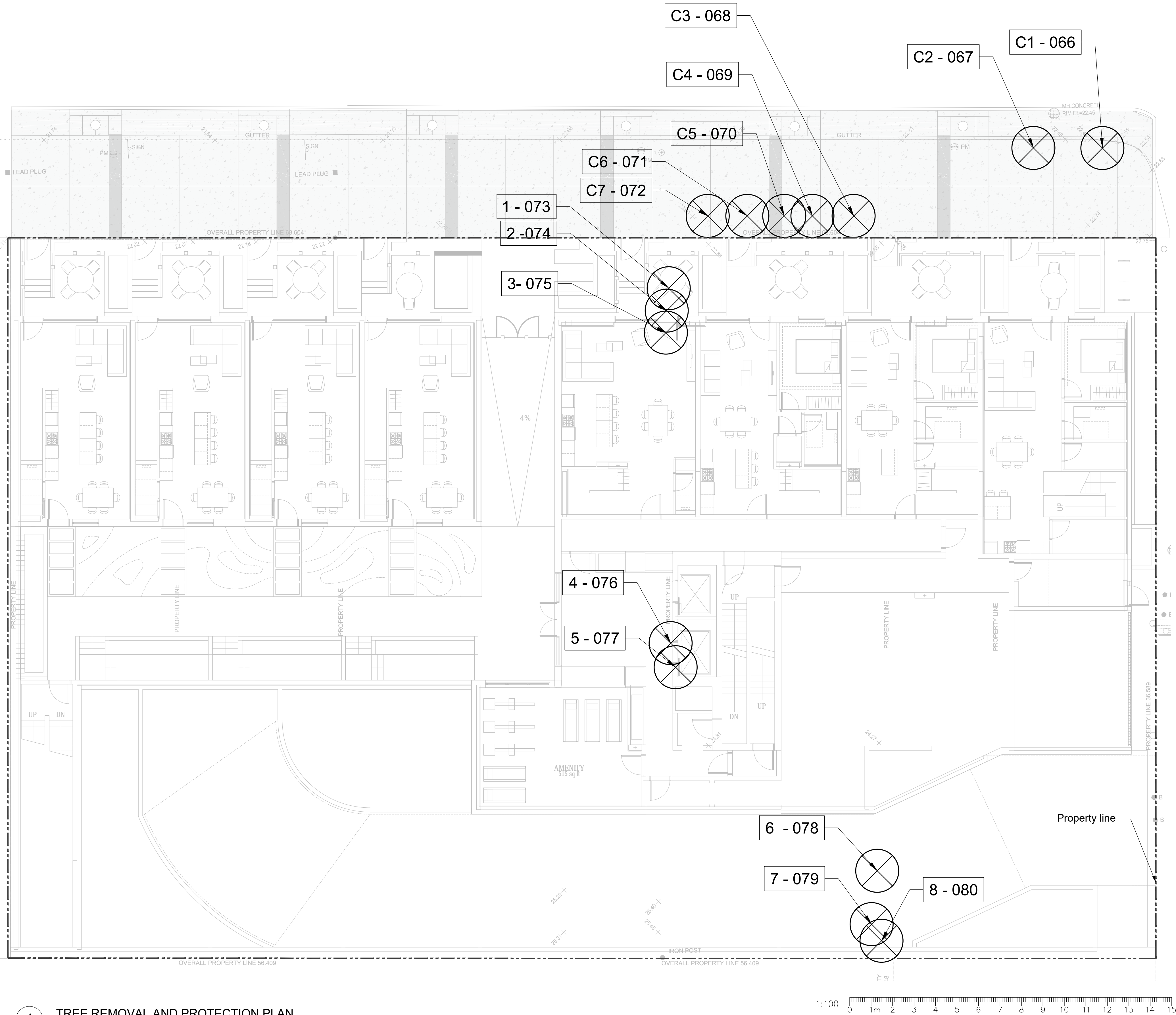


SCHEDULE A - TREE PROTECTION BARRIER		
TREE PROTECTION DISTANCE TABLE		
TRUNK DIAMETER CM	FT	MINIMUM DISTANCE FROM TRUNK (METERS)
25	0.8	1.2
25	0.8	1.5
30	1.0	2.1
35	1.2	2.4
40	1.3	2.7
45	1.5	3.0
50	1.7	3.3
55	2.0	3.6
60	2.0	4.0
75	3.0	6.0
90	3.0	6.0
100	3.3	6.0

**NOTE:**  
TREE PROTECTION BARRIERS MUST BE AT LEAST 1.20m IN HEIGHT AND CONSTRUCTED OF EITHER SNOW FENCING SECURELY FASTENED TO 2x4 TIMBER STAKES, OR METAL STAKES SPACED NO FURTHER THAN 1.00m APART.

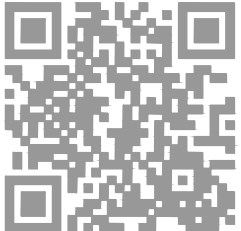
2 TREE RETENTION DETAIL  
Scale NTS

1 TREE REMOVAL AND PROTECTION PLAN  
Scale 1:100



TREE LEGEND

Existing Tree to be Retained	Existing Tree to be Removed	Tree Tag Key	Tree Protection Zone	Tree Protection Fence



No.	By:	Description	Date
2	MW	Issued for Development Permit	Dec 14, 2018
1	MW	Issued for Review	Nov 15, 2018

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No.	By:	Description	Date

Project:  
West 6th Anthem

Location:  
1558 West 6th Avenue,  
Vancouver BC

Drawn: MS	Stamp: 
Checked: MW	
Approved: MW	Original Sheet Size: 24"x36"
Scale: 1:100	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DP/PPA/HA/BA/ DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title:  
TREE MANAGEMENT PLAN

VDZ Project #:  
DP2018-18

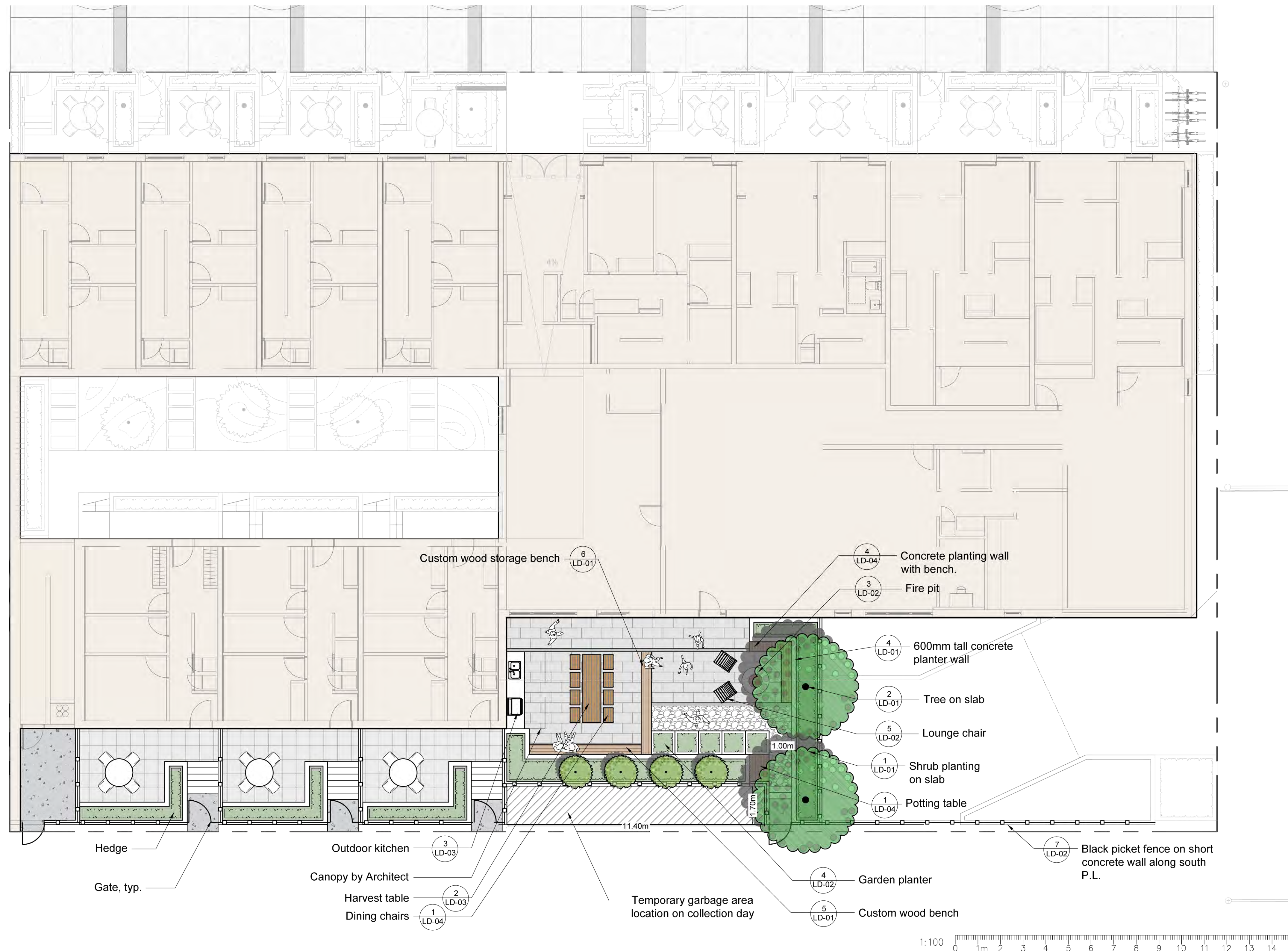
Drawing #:  
L-02







\\V02-SERVER\PROJECTS\DEVELOPMENT PERMITS\ACTIVE\DP2018-18 WEST 6TH ANTHEM\DWGS\LEVEL 04 LEVEL 2 AMENITY SPACE.DWG



#### HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	7 LD-01	CONCRETE BAND
	7 LD-01	HYDRAPRESSED SLABS Paver: Anistokrat 2cm Porcelain Slabs Pattern: Offset Running Bond Colour: Bleachwood Size: 17 3/4" x 35 1/2" x 3/4" (45cm x 90cm x 2cm) Supplier: Abbotsford Concrete
		PATIO PAVER BY OTHERS

	3 LD-01	DRIP STRIP
	4 LD-04	CRUSHED GRANITE

#### FENCING

KEY	REF.	DESCRIPTION
	1 LD-03	ENTRANCE GATE
	7 LD-02	ALUMINIUM PICKET FENCE

#### SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	2 LD-01	PROPOSED TREE
	1 LD-01	SHRUB PLANTING

No.	By:	Description	Date
2	MW	Issued for Development Permit	Dec 14, 2018
1	MW	Issued for Review	Nov 15, 2018

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Project:  
West 6th Anthem

Location:  
1558 West 6th Avenue,  
Vancouver BC

Drawn: MS	Stamp:
Checked: MW	
Approved: MW	Original Sheet Size: 24"x36"
Scale: 1:100	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DP/PPA/HA/BP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title:  
LEVEL 2 AMENITY SPACE

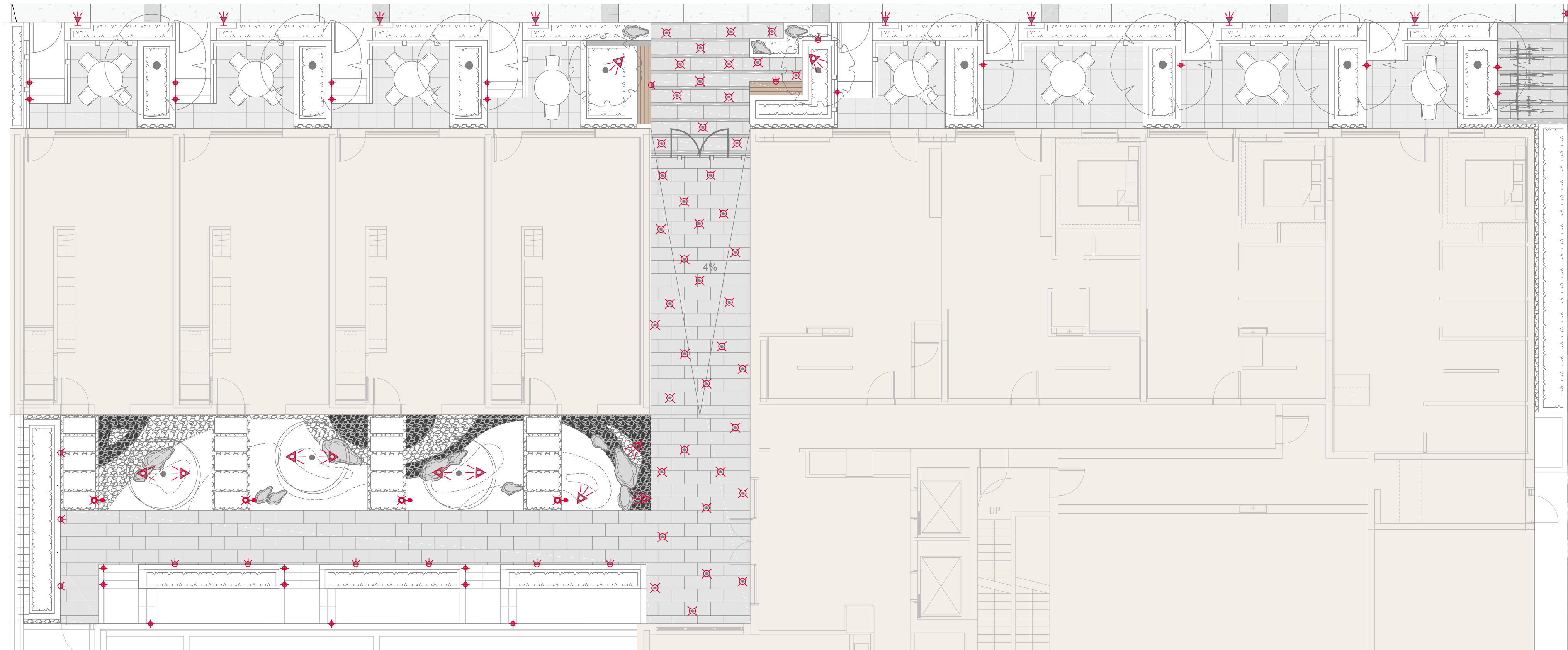


VDZ Project #:  
DP2018-18

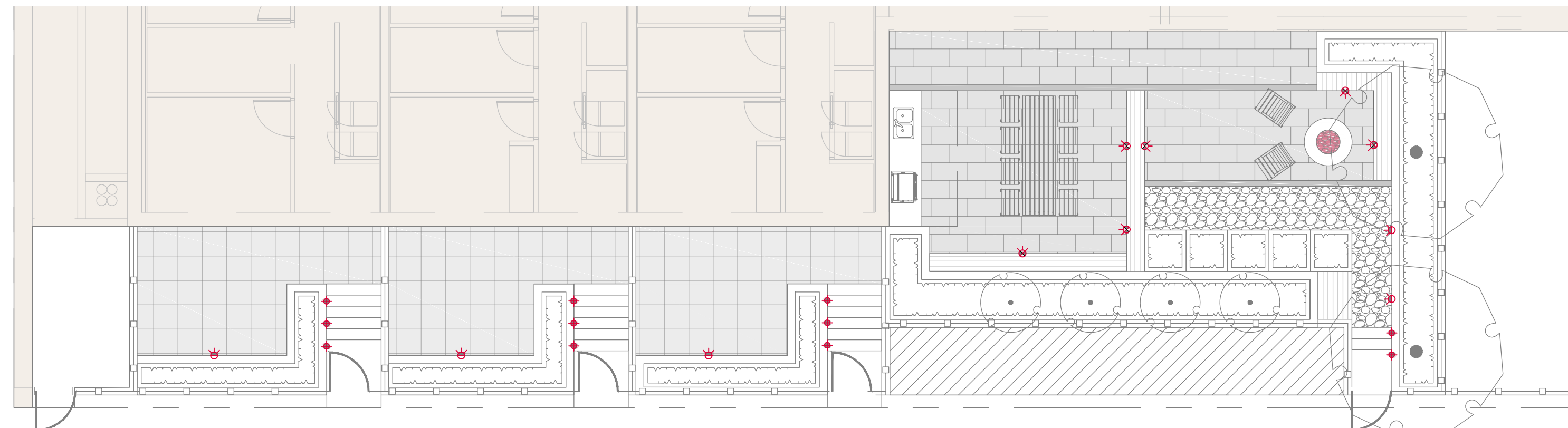
Drawing #:  
L-04



\\02-SERVER\PROJECTS\DEVELOPMENT PERMITS\ACTIVE\DP2018-18 WEST 6TH ANTHEM\DWGS\SHEET\L-05 LIGHTING PLAN (SITE PLAN).DWG



1 LEVEL 1 LIGHTING PLAN  
Scale 1:100



2 LEVEL 2 LIGHTING PLAN  
Scale 1:100



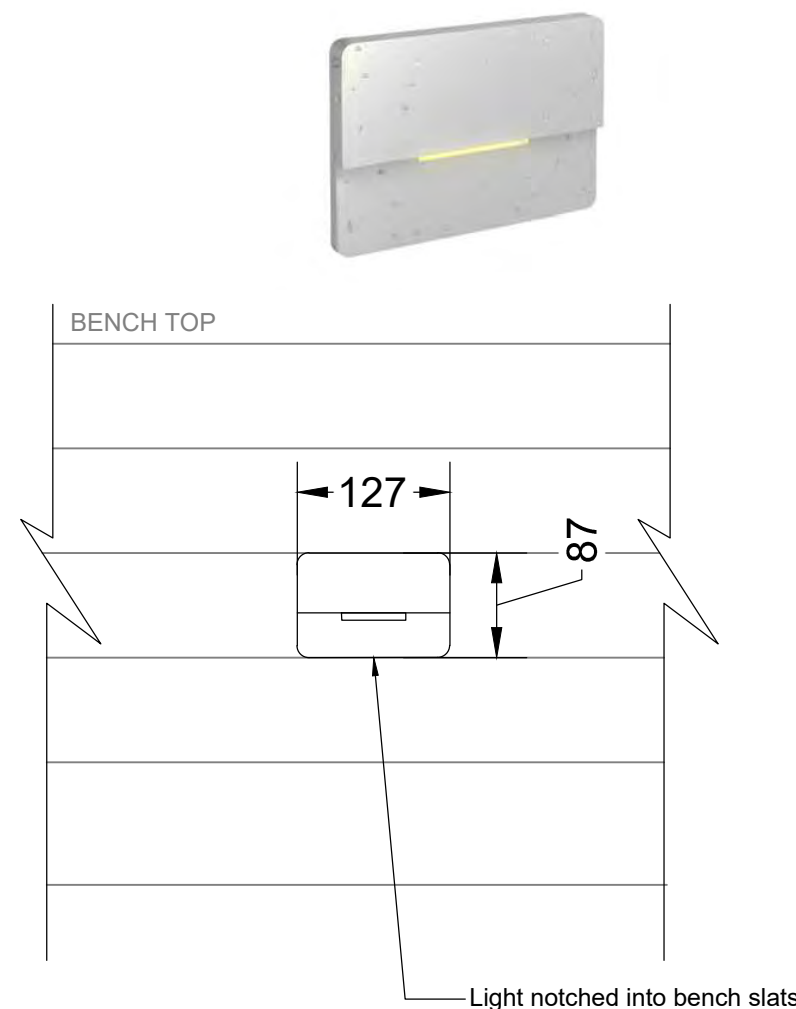
Model: MP Lighting - Spotlight Stainless Steel 316 or approved equivalent  
Notes: To be coordinated with Electrical Engineers.

5 UPLIGHT  
NTS



Model: MP Lighting - Adjustable Wall Mount (0-45°) - Matte Clear Anodized or approved equivalent  
Notes: To be coordinated with Electrical Engineers.

6 WALL MOUNTED LIGHT - RETAINING WALL  
Scale 1:10



Model: MP Lighting - Horizontal Wall Mount L46 or approved equivalent  
Notes: To be coordinated with Electrical Engineers.

7 WALL MOUNTED LIGHT - BENCH  
NTS



Notes: To be coordinated with Electrical Engineers.

3 BACK LIGHT - ADDRESS SIGNAGE  
NTS



Model: MP Lighting - In-grade L07 or approved equivalent  
Notes: To be coordinated with Electrical Engineers.

8 INGROUND ACCENT LIGHT  
NTS



Model: MP Lighting - Horizontal Wall Mount L46 or approved equivalent  
Notes: To be coordinated with Electrical Engineers.

4 STEP LIGHT  
NTS



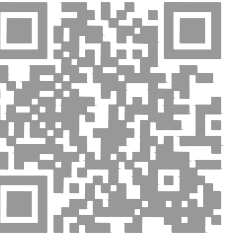
Model: MP Lighting - Bollard L92 or approved equivalent  
Notes: To be coordinated with Electrical Engineers.

9 PATH LIGHT  
NTS

## LIGHTING

KEY	REF.	DESCRIPTION
	3 L-05	BACK LIGHT - ADDRESS SIGNAGE
	4 L-05	WALL MOUNTED STEP LIGHT
	5 L-05	UPLIGHT
	6 L-05	WALL MOUNTED LIGHT - RETAINING WALL
	7 L-05	WALL MOUNTED LIGHT - CUSTOM BENCHES
	8 L-05	INGROUND ACCENT LIGHT
	9 L-05	PATH LIGHT

General note: Tone and warmth of all lighting to be complimentary to each other and interior lighting package.



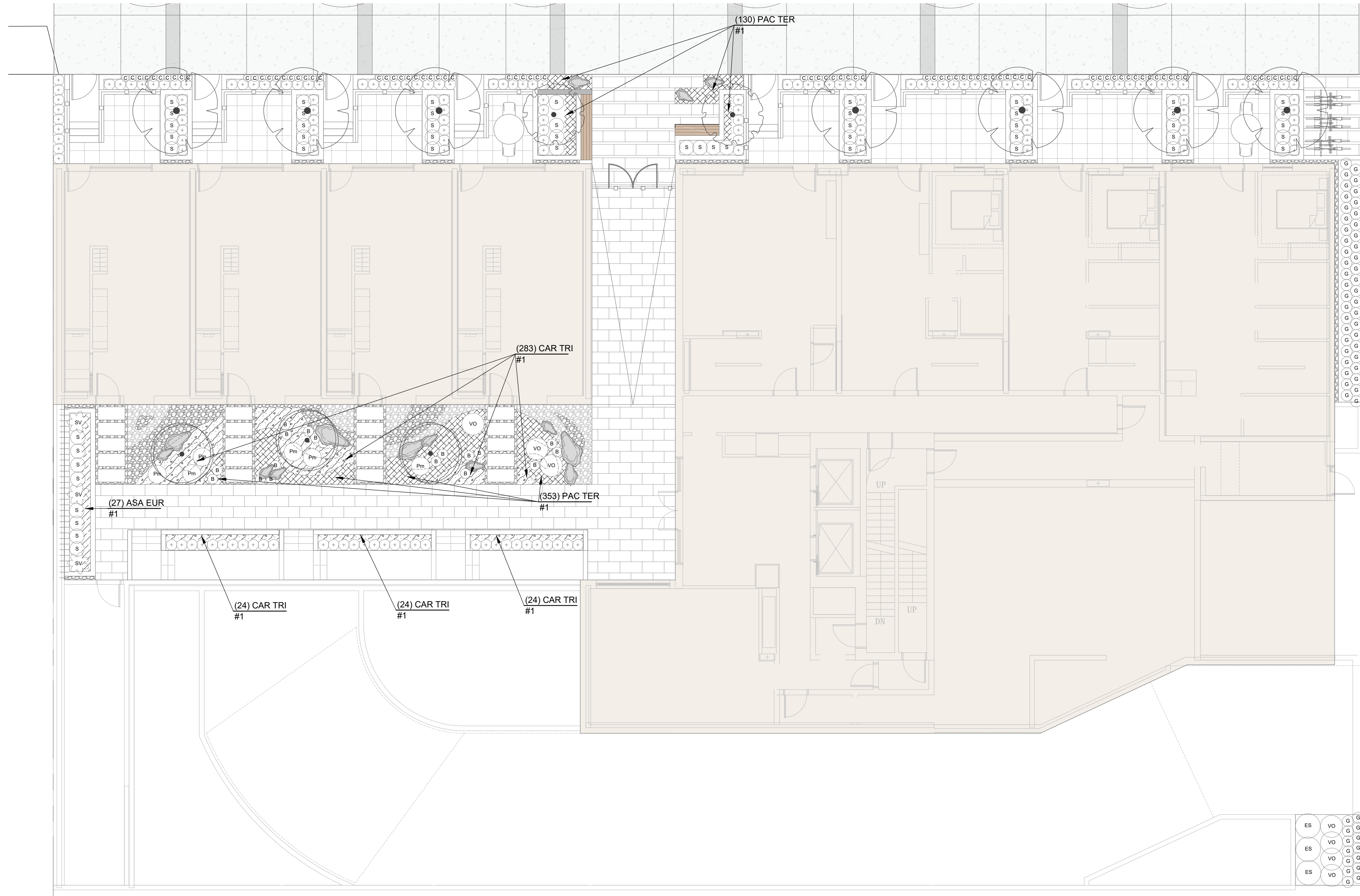
2	MW	Issued for Development Permit	Dec 14, 2018
1	MW	Issued for Review	Nov 15, 2018
No.	By:	Description	Date
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West 6th Anthem			
Location:			
1558 West 6th Avenue, Vancouver BC			
Drawn:	Stamp:		
MS			
Checked:			
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\\02-SERVER\PROJECTS\DEVELOPMENT PERMITS\ACTIVE\DP2018-18 WEST 6TH ANTHEM\DWGS\LEVEL 1\07 PLANTING PLAN (LEVEL 1).DWG



## PLANT PALETTE IMAGES



Acer palmatum 'Bloodgood'



Carpinus betulus 'Fastigiata'



Acer circinatum 'Pacific Fire'



Vaccinium ovatum



Blechnum spicant



Polystichum munitum



Sarcococca humilis



Holboellia 'Cathedral Gem'



Gaultheria shallon



Pachysandra 'Green Sheen'



Cardamine



Carex 'Ice Dance'

## 1 LEVEL 1 PLANTING PLAN

Scale 1:100

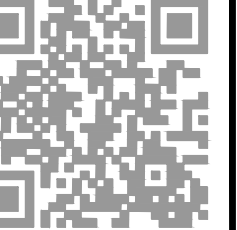
### TREE SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
	Acer circinatum 'Pacific Fire' / Pacific Fire Vine Maple	1.5 m container grown		3
	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple field grown, single stem	B&B, 1.2m std	6cm	2
	Carpinus betulus 'Fastigiata' / Pyramidal Eur. Hornbeam	B&B	6cm	7

### PLANT SCHEDULE

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Blechnum spicant / Deer Fern	#1	0.40m	18
	Escallonia x exoniensis 'Fradesii' / Pink Princess Escallonia	#5	1m	3
	Gaultheria shallon / Salal	#2	0.45m	58
	Polystichum munitum / Western Sword Fern	#2	0.75m	6
	Sarcococca hookeriana humilis / Sweet Box	#3	0.60m	51

	Sarcococca hookeriana humilis / Sweet Box	#3	0.60m	51
	Taxus x media 'Hicksii' / Hicks Yew	1.2m ht	0.45m	166
	Vaccinium ovatum 'Thunderbird' / Evergreen Huckleberry	#5	0.90m	7
<b>GROUND COVER</b>	<b>BOTANICAL NAME / COMMON NAME</b>	<b>CONT</b>	<b>SPACING</b>	<b>QTY</b>
	Carex morrowii Ice Dance / Japanese Sedge	#1	0.30m	84
<b>VINE/ESPALIER</b>	<b>BOTANICAL NAME / COMMON NAME</b>	<b>CONT</b>	<b>SPACING</b>	<b>QTY</b>
	Holboellia coriacea 'Cathedral Gem' / Sausage Vine	#5 pot; staked	0.90m	3
<b>GROUND COVERS</b>	<b>BOTANICAL NAME / COMMON NAME</b>	<b>CONT</b>	<b>SPACING</b>	<b>QTY</b>
	Asarum europaeum / European Wild Ginger	#1	300mm	27
	Cardamine trifolia / Three-Leaf Cardamine	#1	200mm	355
	Pachysandra terminalis 'Green Sheen' / Japanese Spurge	#1	200mm	483



## PLANTING PLAN (LEVEL 1)

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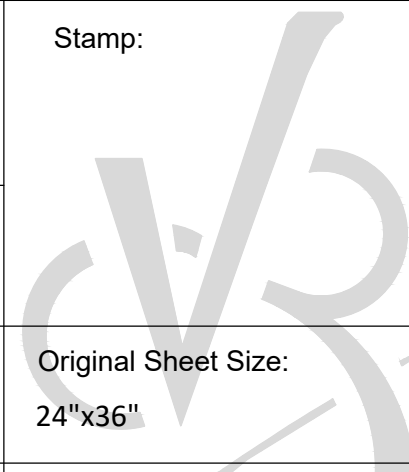
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DP2018-18

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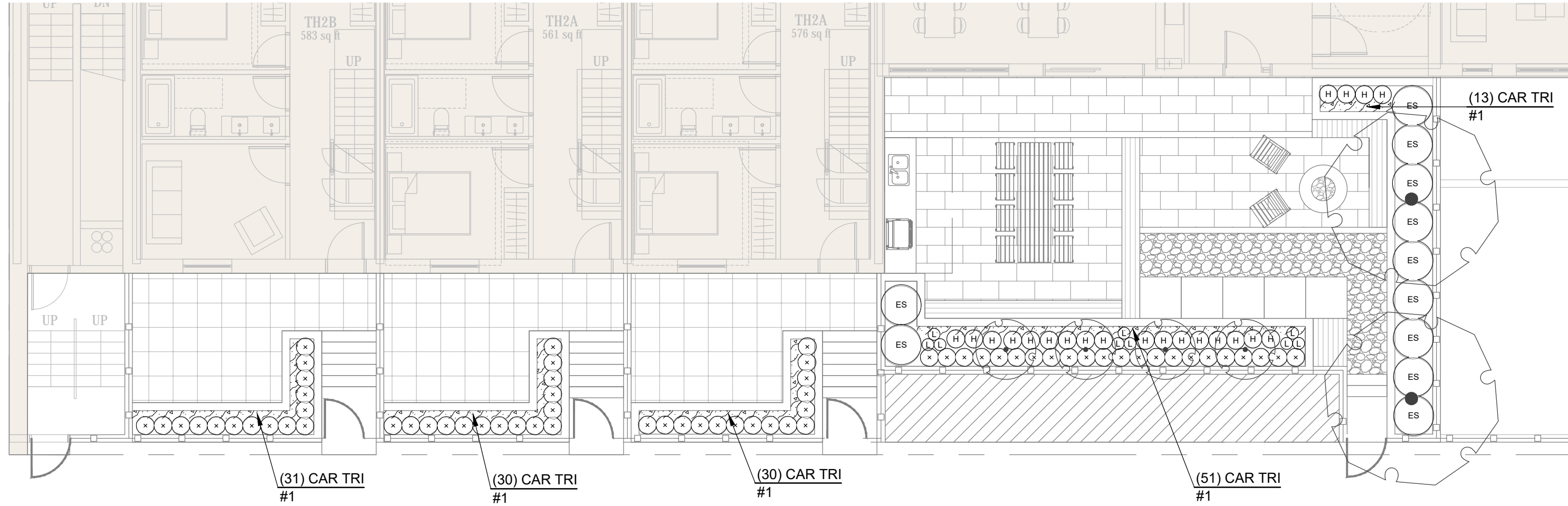
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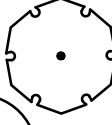
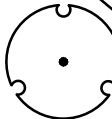


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






1 LEVEL 2 PLANTING PLAN  
Scale 1:100

TREE SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	Magnolia grandiflora 'Edith Bogue' / Edith Bogue Southern Magnolia	B&B	6cm	1.5m std.	2
	Quercus palustris 'Green Pillar' / Green Pillar Pin Oak	B&B	6cm		4

PLANT SCHEDULE

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Escallonia x exoniensis 'Fradesii' / Pink Princess Escallonia	#5	1m	11
	Taxus x media 'Hicksii' / Hicks Yew	1.2m ht	0.45m	67
ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Helleborus x sternii / Hybrid hellebore	#1	0.45m	21
	Lilium martagon / Turk's cap lily	#1	0.30m	9
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	Cardamine trifolia / Three-Leaf Cardamine	#1	200mm	155

PLANT PALETTE IMAGES



Magnolia grandiflora 'Edith Bogue'



Escallonia x exoniensis 'Fradesii'



Helleborus x



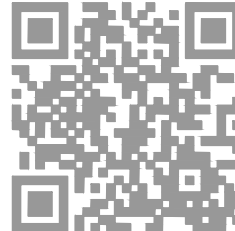
Cardamine trifolia



Quercus palustris 'Green Pillar'



Helleborus

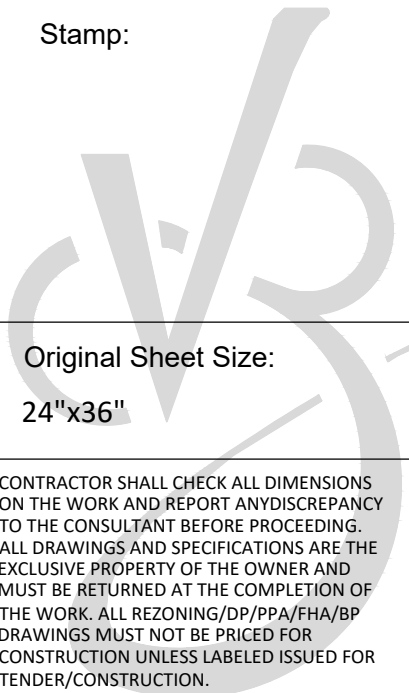



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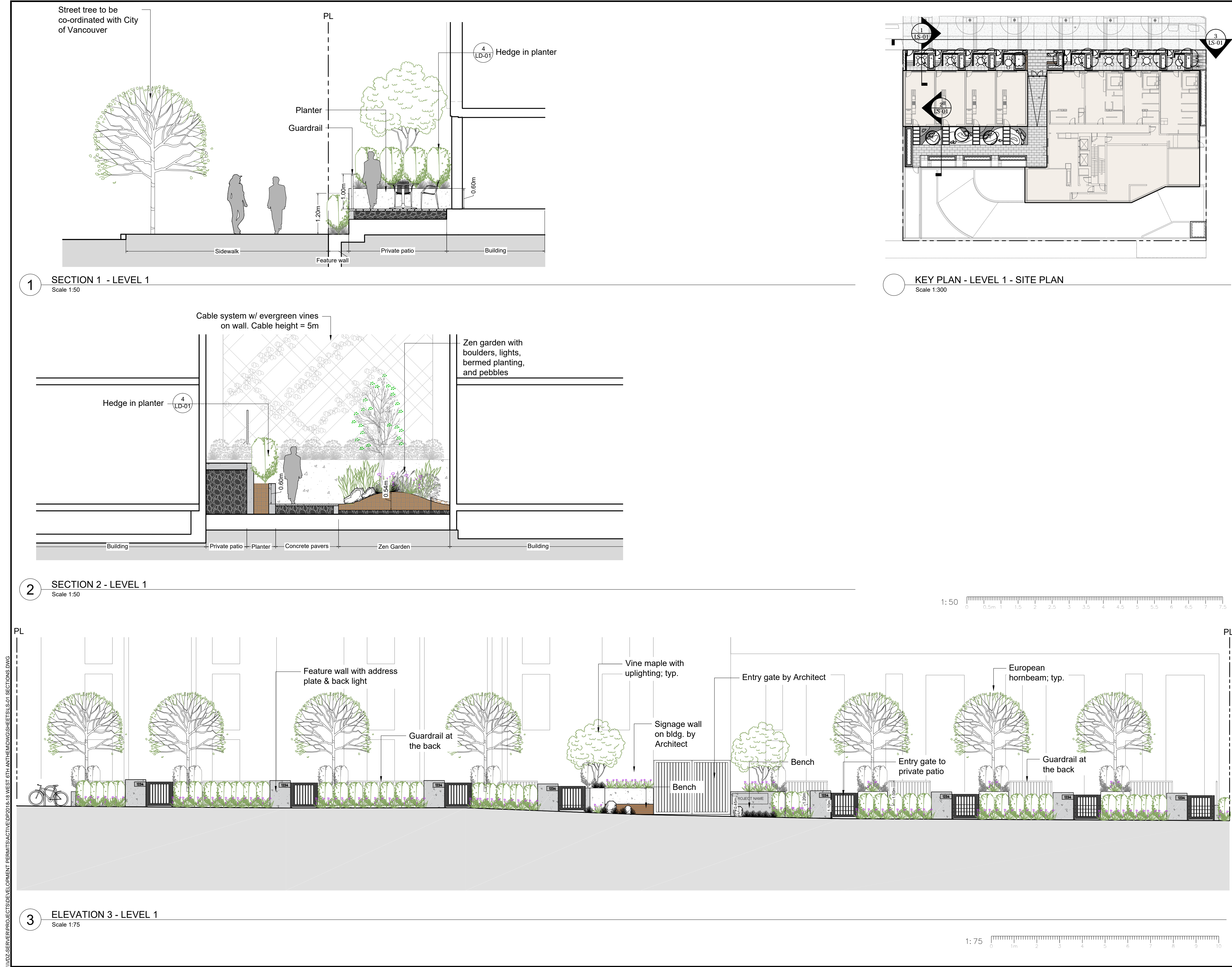

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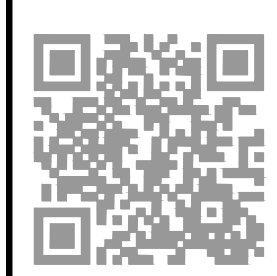
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van der Zalm + associates inc.  
Parks & Recreation + Civil Engineering  
Urban Design + Landscape Architecture  
Suite 1, 20177 97th Avenue  
Langley, British Columbia  
V1M 4B9  
P 604.882.0024  
F 604.882.0042  
info@vz.ca



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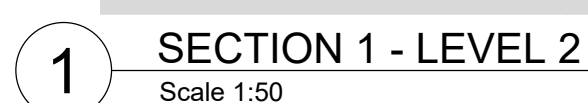
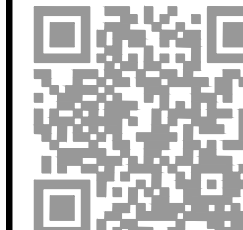
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Drawing #: VZ Project #: DP2018-18  
LS-01



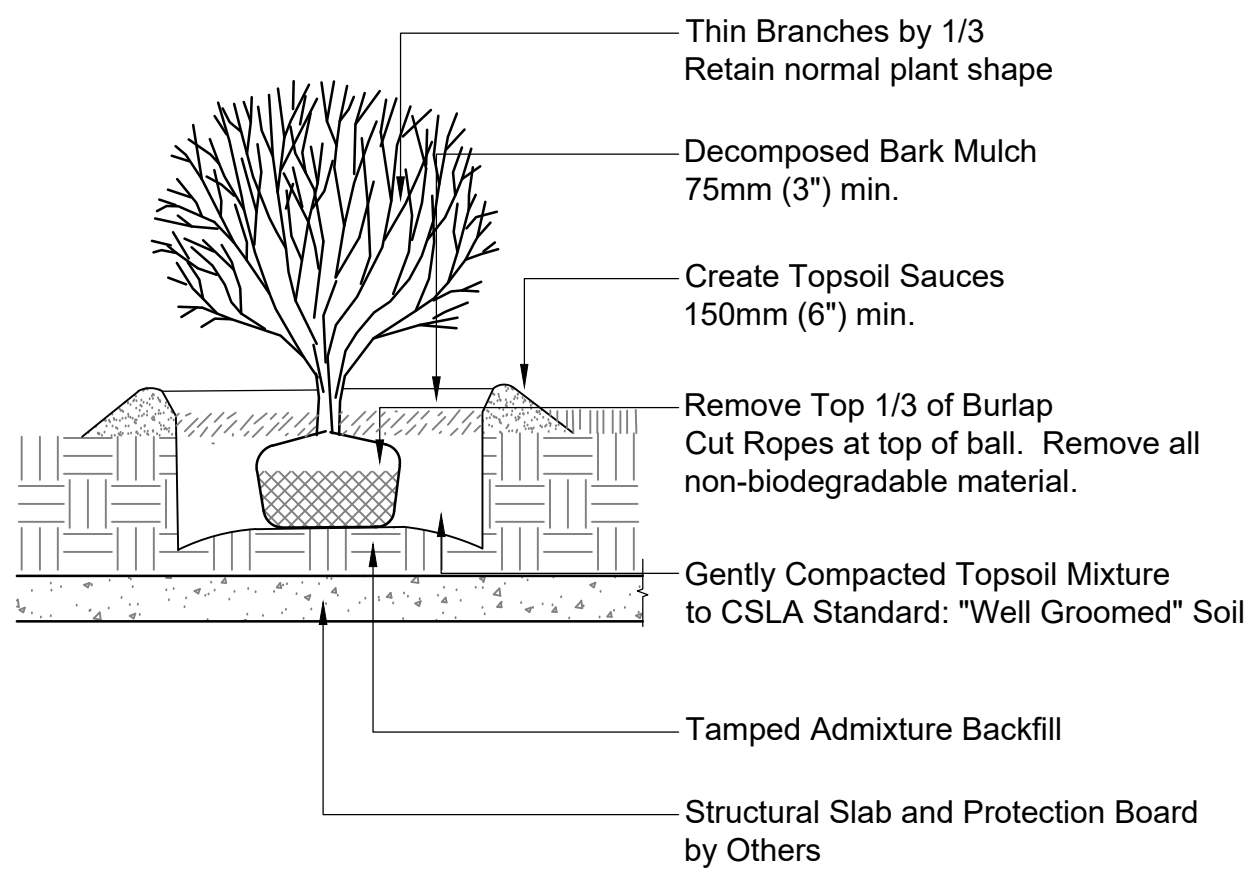


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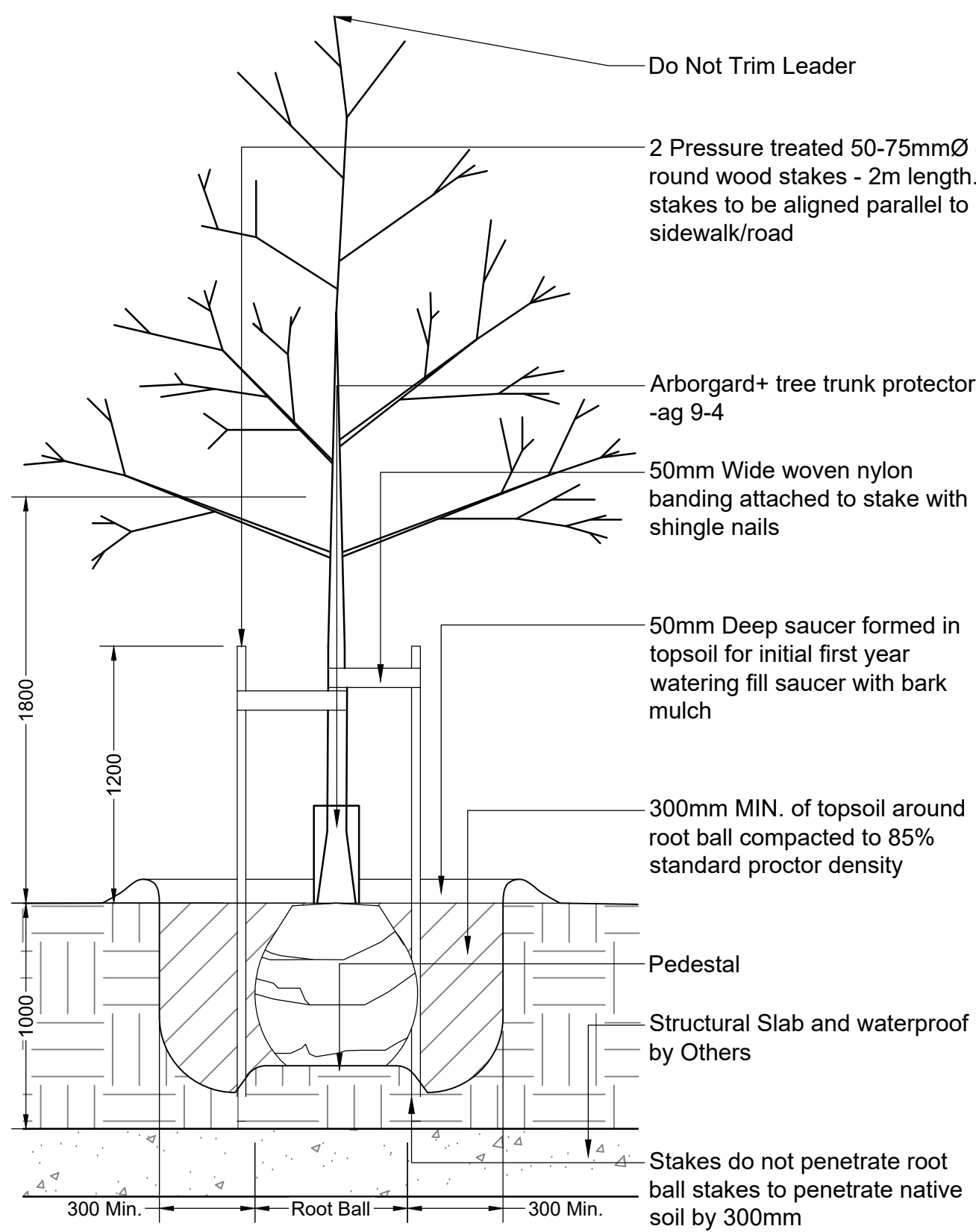
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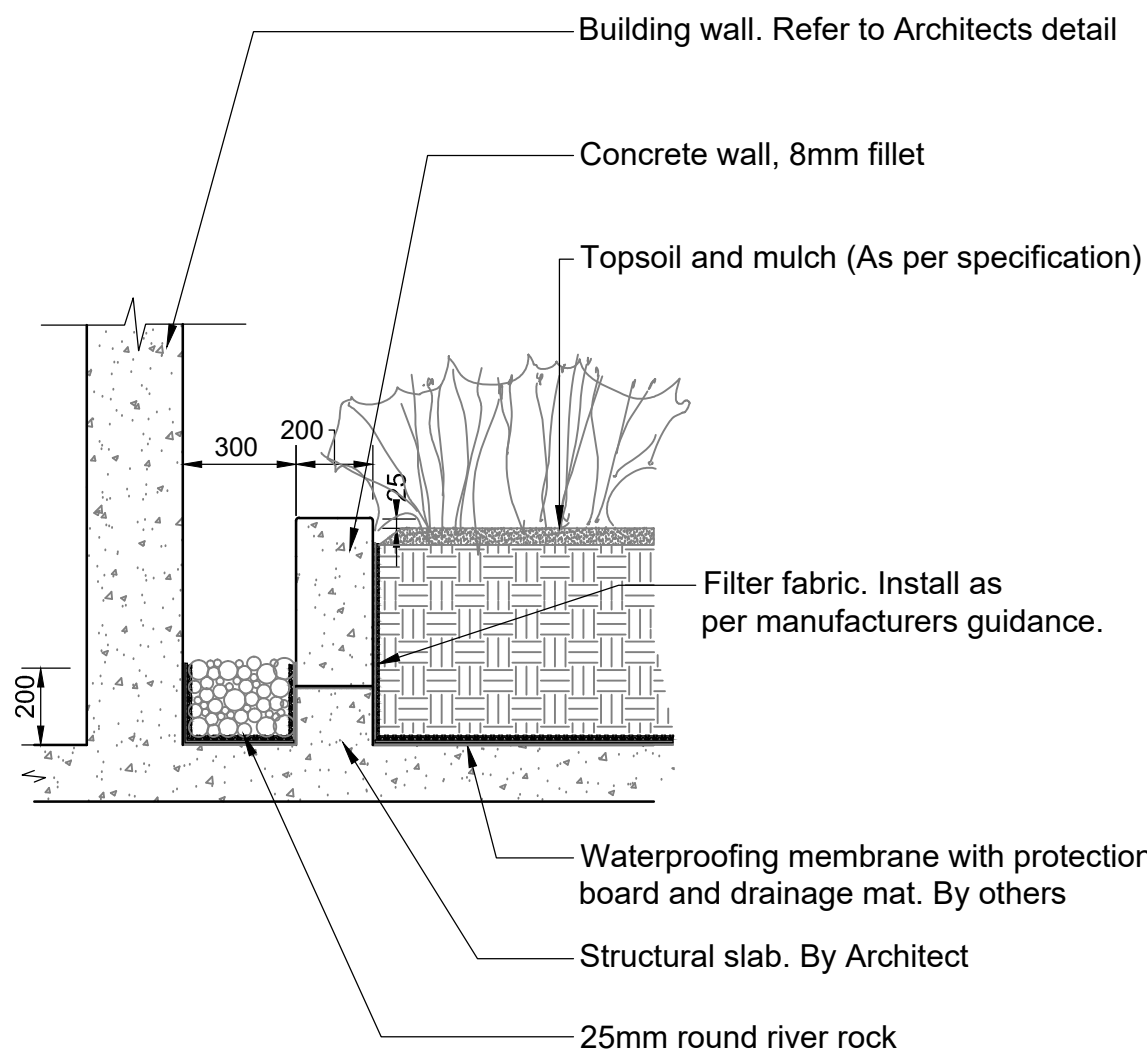


1 SHRUB ON STRUCTUAL SLAB  
Scale 1:25

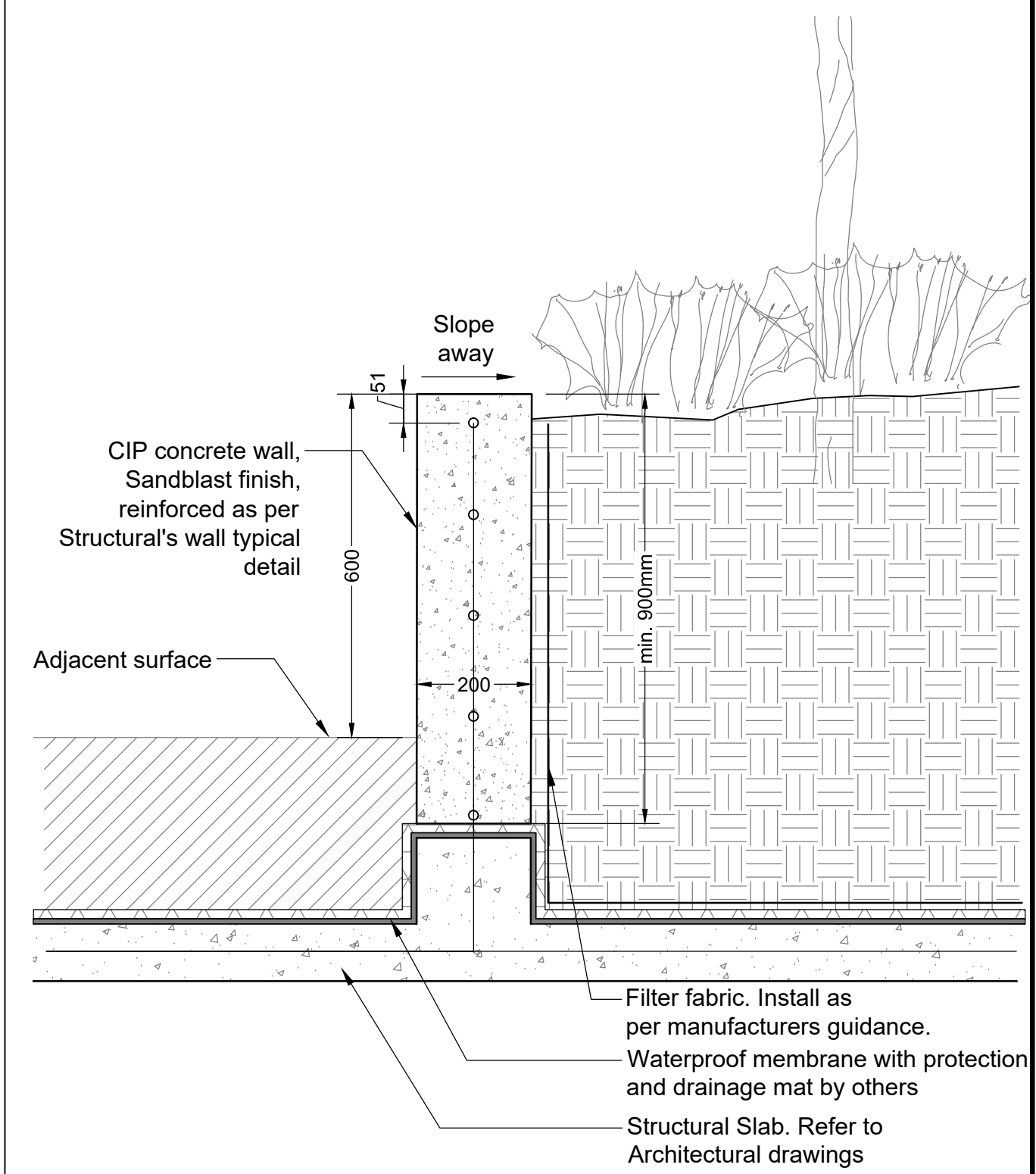


NOTES:  
1. Sacking/burlap to be loosened and dropped to the bottom of the planting hole. all string, twine, etc. to be removed.  
2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.  
3. All trees shall be single stem.

2 TREE ON STRUCTUAL SLAB  
Scale 1:25

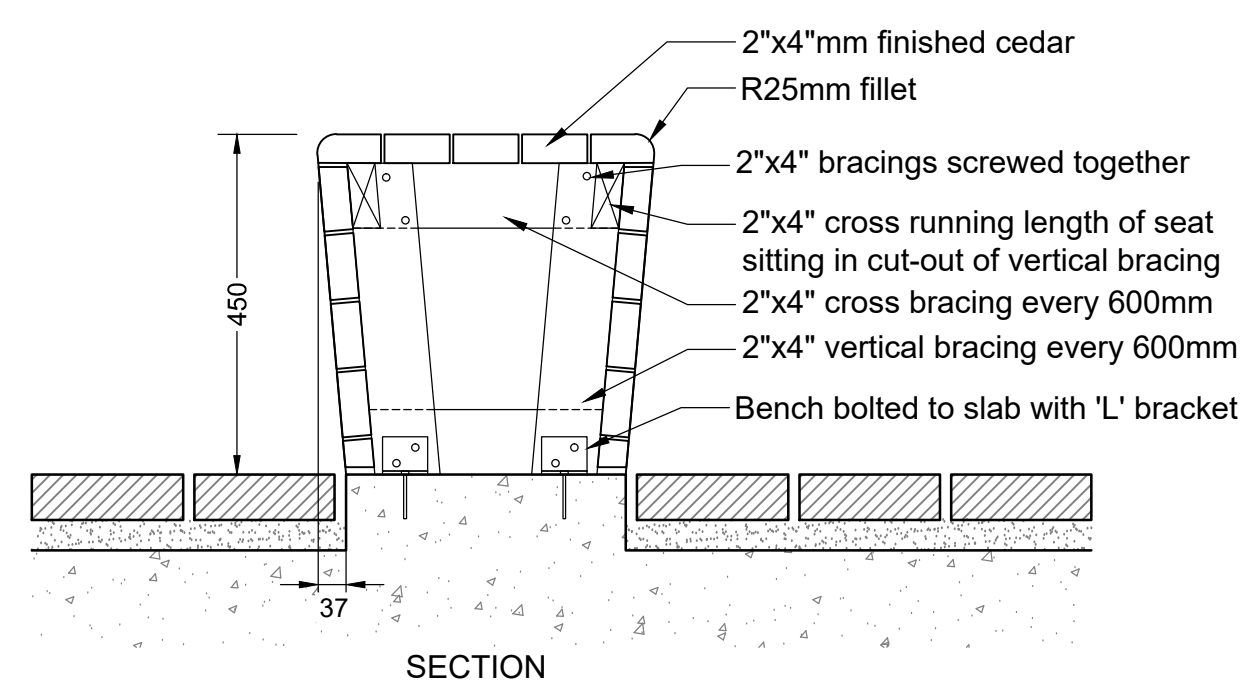
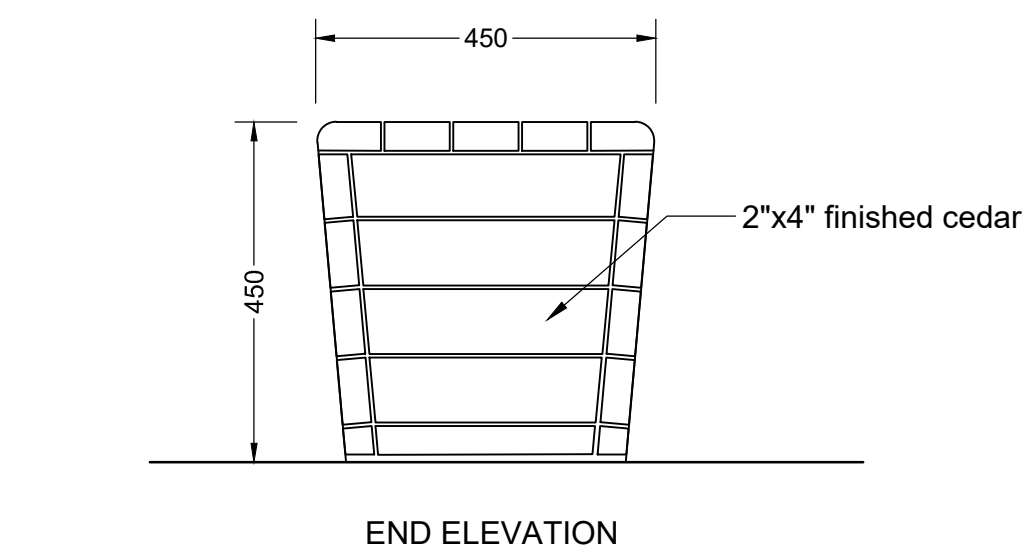


3 DRIP STRIP WITH CONCRETE WALL ON SLAB  
Scale 1:20



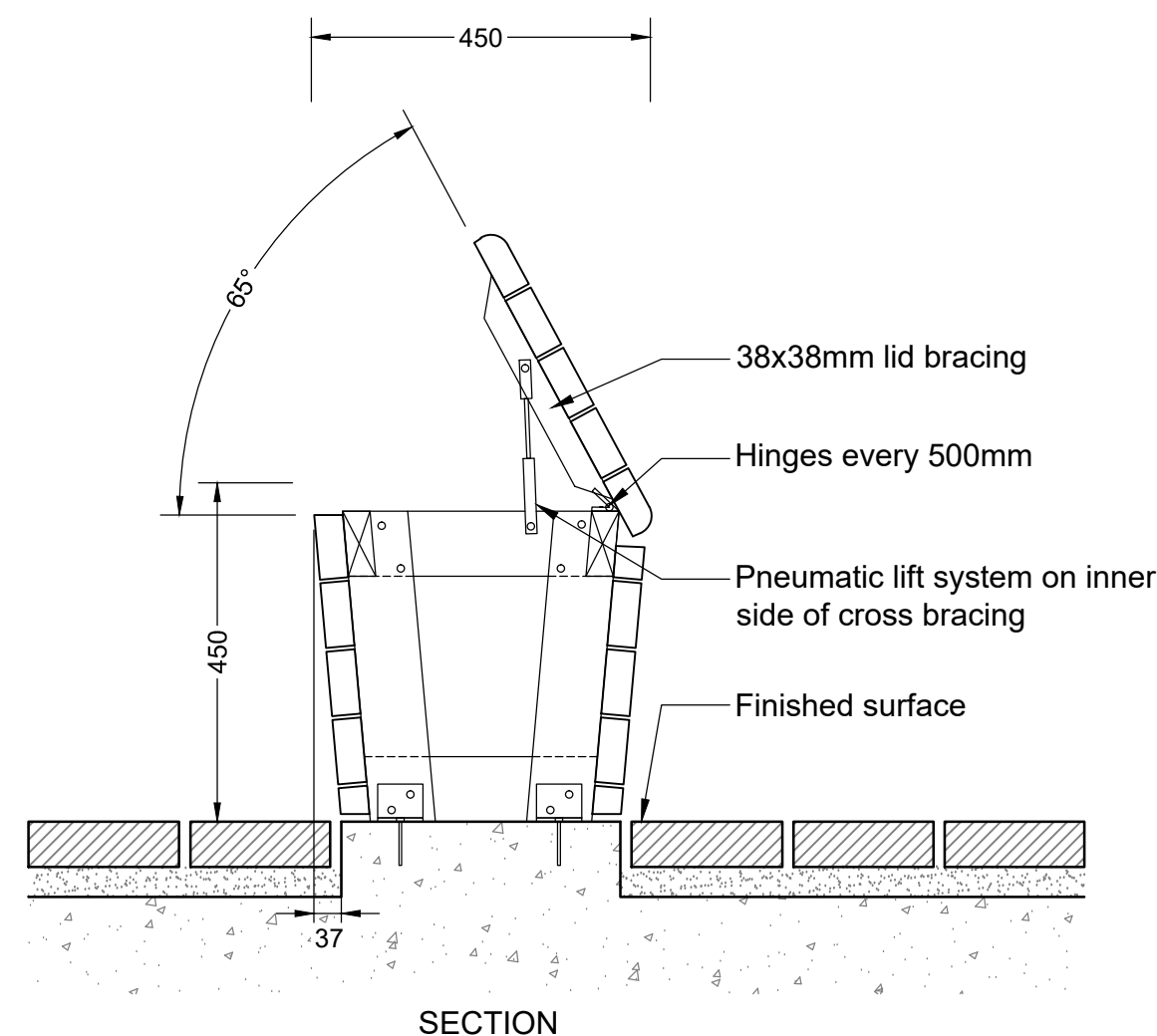
Notes:  
1. Concrete walls and bench bases to be architectural concrete, paper face formed, with a medium sandblast finish.  
2. Refer to concrete specification for specific concrete mix and curing.

4 CONCRETE PLANTING WALL  
Scale 1:10



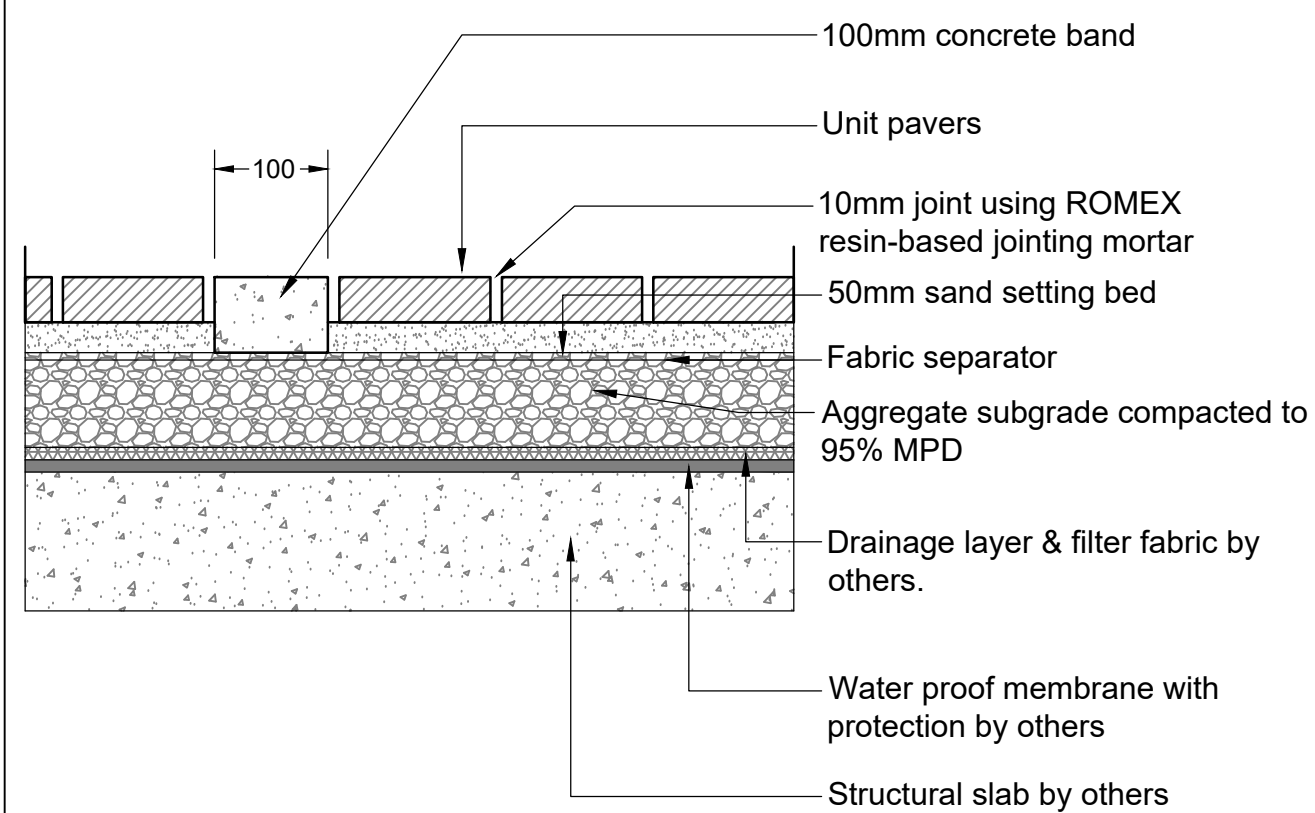
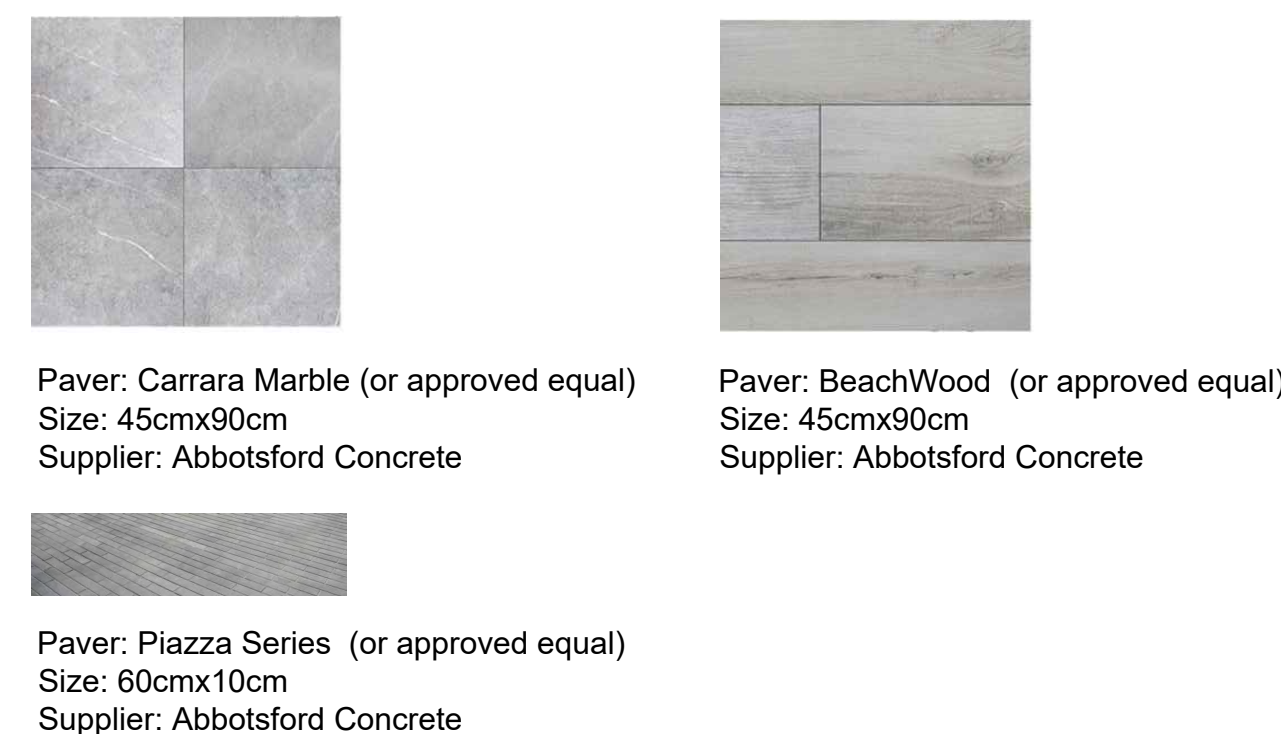
Notes:  
1. Contractor to provide shop drawings  
2. Apply Sikksens Cetol SRD to all Cedar decking and cladding.  
Colour: Cedar.

5 CUSTOM WOOD BENCH  
Scale 1:10



Notes:  
1. Contractor to provide shop drawings  
2. Refer to Custom Bench for other detail information  
3. Apply Sikksens Cetol SRD to all Cedar decking and cladding.  
Colour: Cedar.

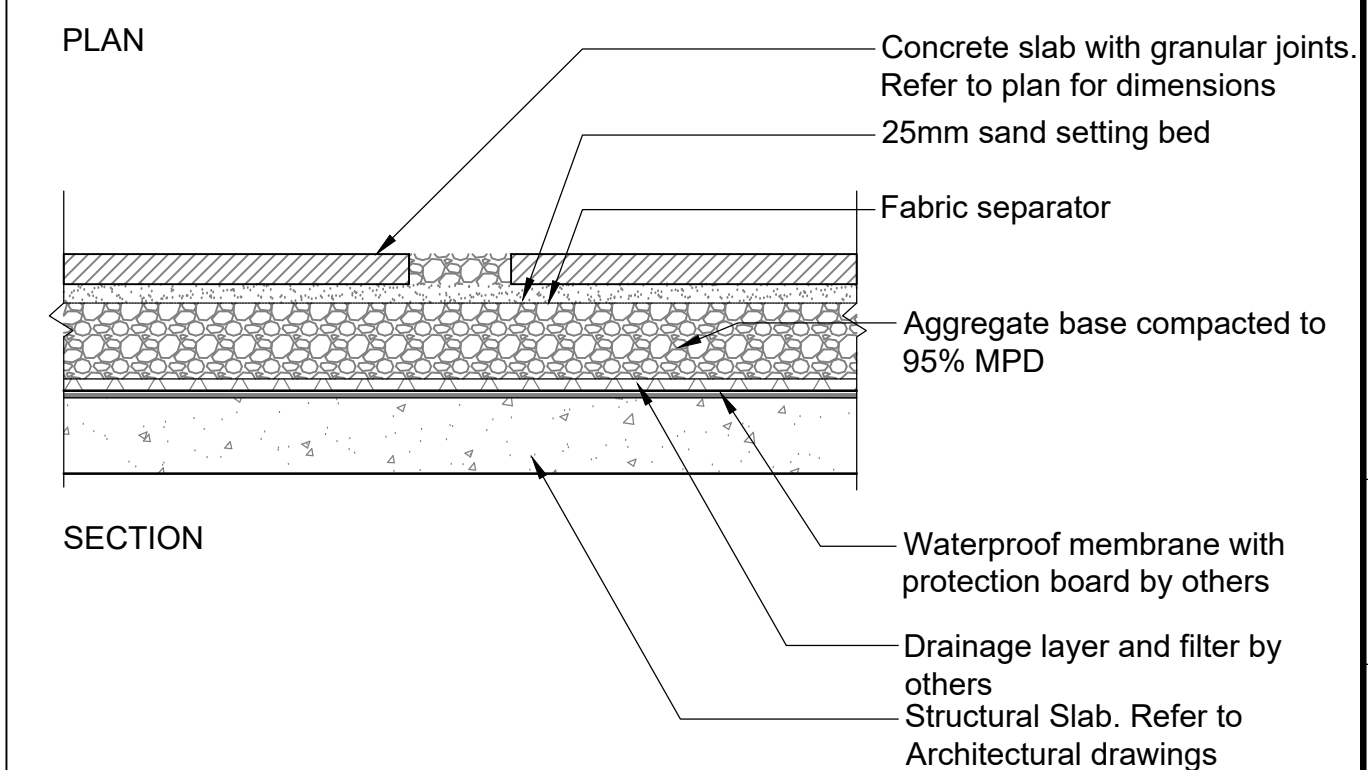
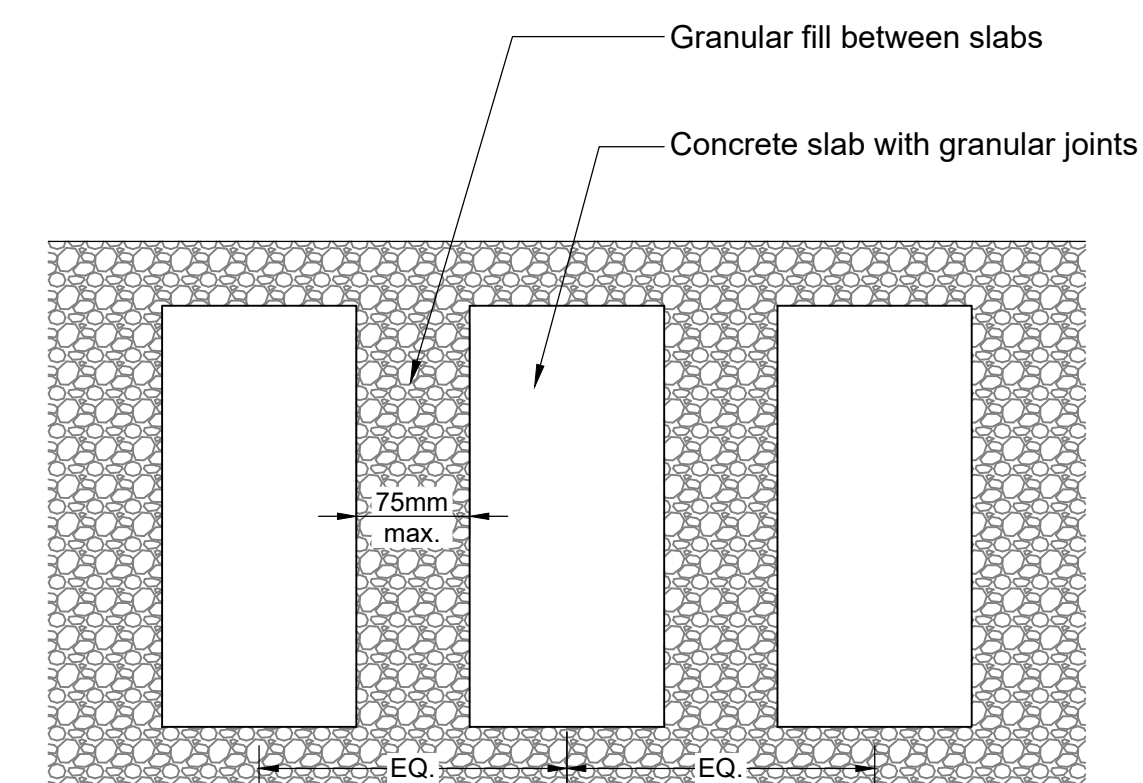
6 CUSTOM WOOD STORAGE BENCH  
Scale 1:10



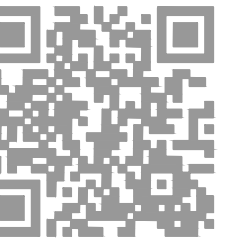
Notes:  
1. Contractor to provide shop drawings  
2. Install all components as per manufacturer's specifications

7 UNIT PAVERS ON SLAB  
Scale 1:10

Notes:  
1. Slabs to be spaced equally between adjacent surfaces.



8 CONCRETE SLAB IN GRANULAR BASE  
Scale 1:10



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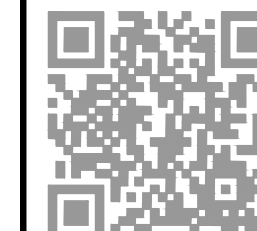
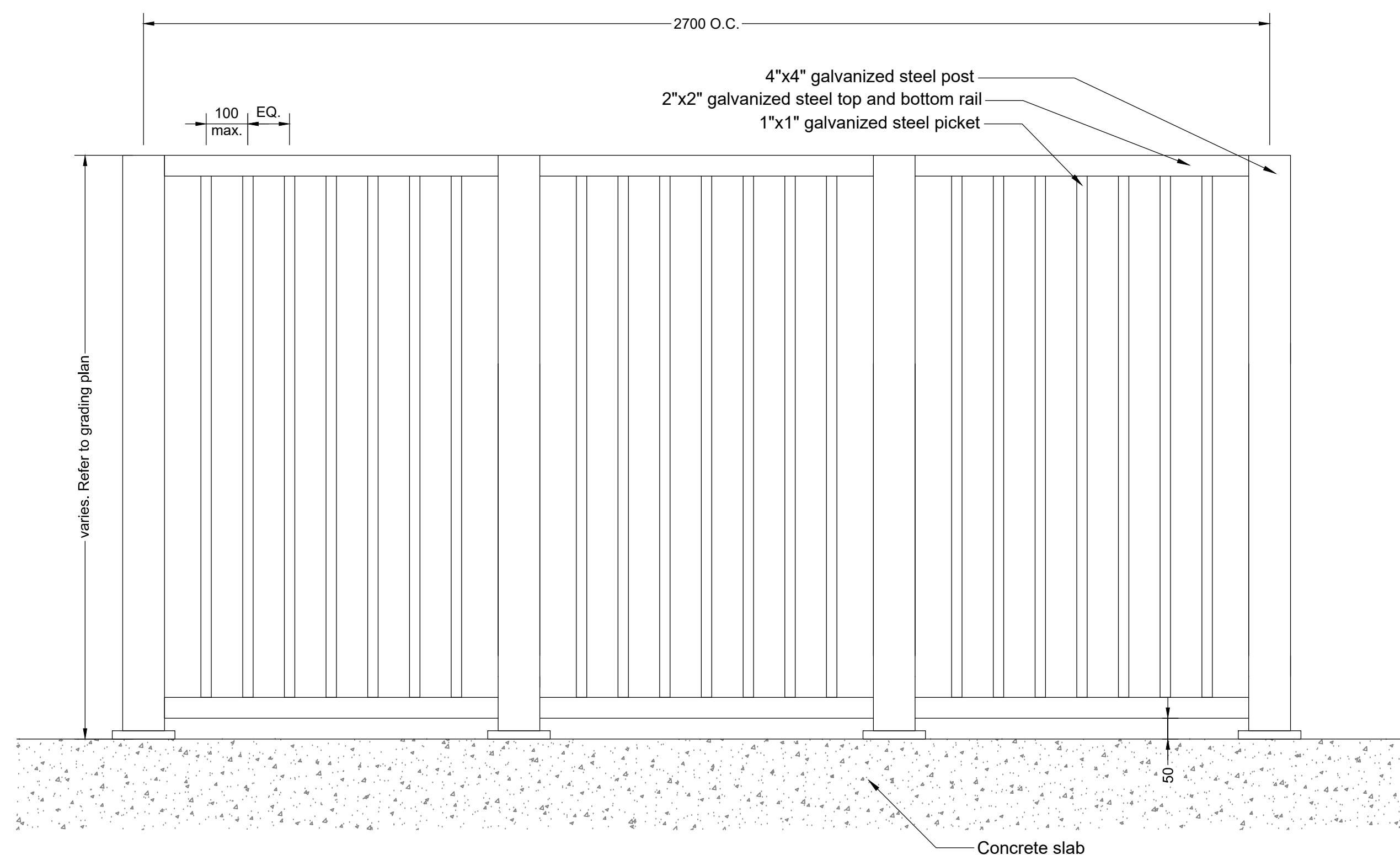
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VDZ Project #:  
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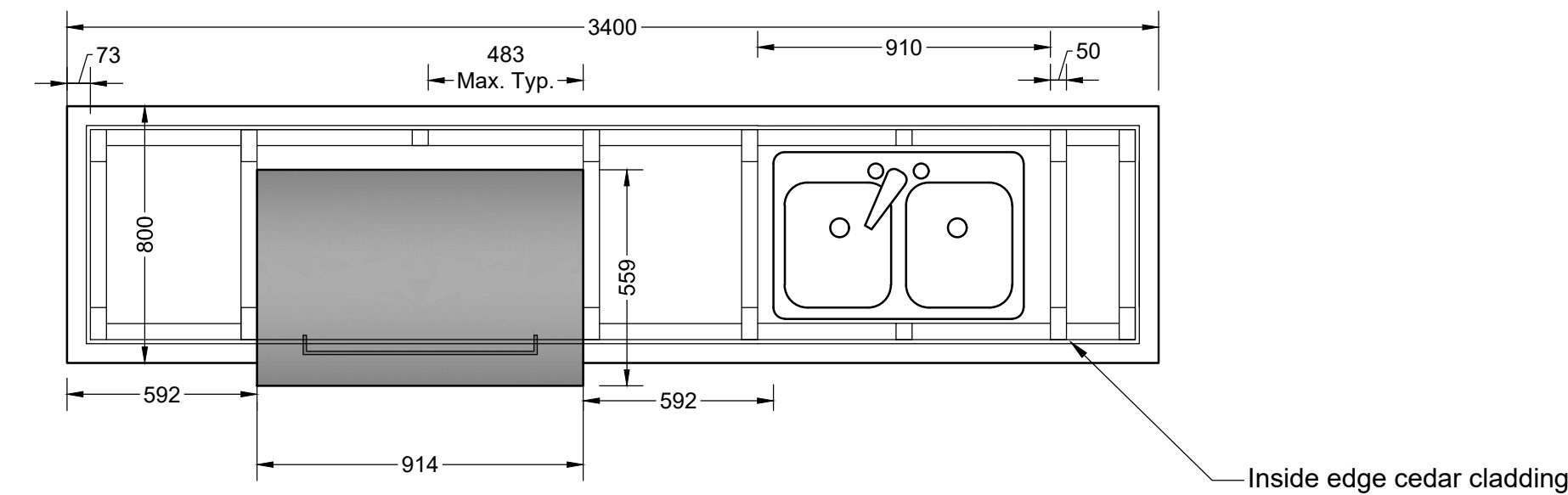
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- Note:
1. Contractor to provide shop drawings.
  2. Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.
  3. All exposed steel to be powder coated Black.
  4. Font and text layout on address to plate to be reviewed and approved by Landscape Architect.

1 ENTRANCE GATE ELEVATION  
Scale 1:20

## HARPO TABLE

Product Data Sheet



The Harpo table echoes the clean, architectural form and robust structure of Harpo seating elements. The dining height table is a simple rectangle with slatted wood top supported by a four-legged steel frame. It is offered in two lengths: the 69" long table seats 6, and the 118" long table seats 8. The Harpo table is strong, sturdy, stable and intended for use in busy public and commercial settings. Ideal for use with Harpo benches, which can be grouped around tables to suit seating requirements. Frames are powdercoat finished in Santa & Cole colors.

### Table

- Table is available surface mounted.
- Steel supports are powdercoated.
- The rectangular table is dining height.
- Table is available in two lengths, 69" and 118".
- The 69" table, seats 6.
- The 118" table, seats 8.
- Available only in jarrah, with a slatted wood top.
- Wood boards are available in either exterior or interior finishes.

### Finishes

- Santa & Cole Powdercoat Finish.
- Unfinished Exterior Woods.
- Interior Woods with LF-80 Finish.

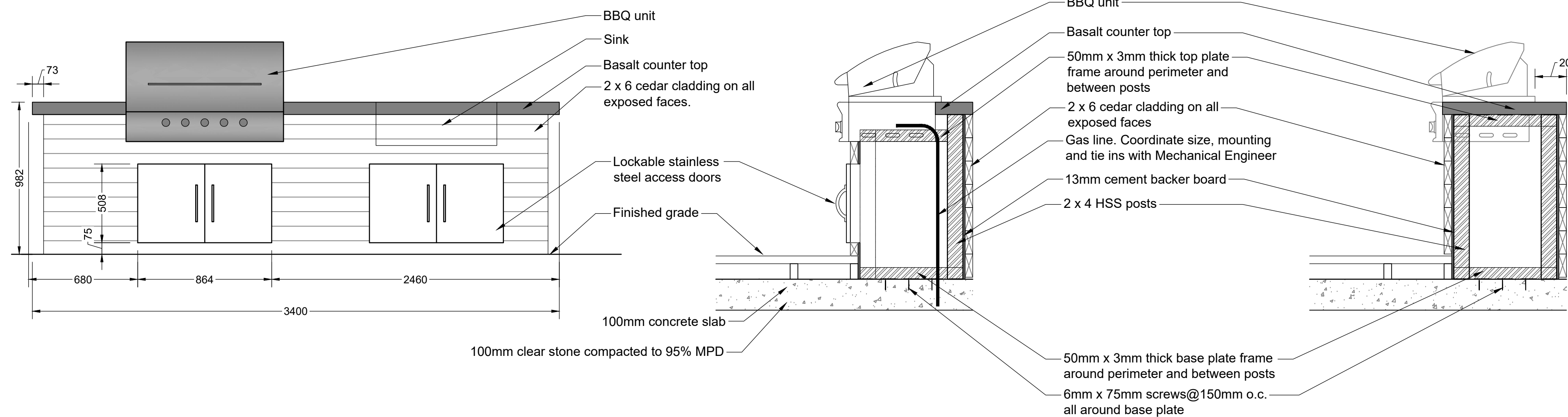
Designed by Santa & Cole

BACKED	STYLE	DEPTH	WIDTH	HEIGHT	PRODUCT WEIGHT
	69" Table	69"	32.5"	32.5"	170 lb
	118" Table	118"	32.5"	32.5"	235 lb

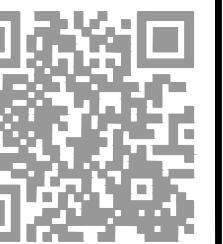
Manufacturer: Landscape Forms or approved equal

2 HARVEST TABLE  
NTS

- Notes:
1. Contractor to verify BBQ dimensions prior to construction of BBQ enclosure.
  2. Contractor to submit shop drawings for approval.
  3. BBQ grill to be installed per manufacturers specifications.
  4. Gas line to be coordinated with Mechanical Engineer and to meet BBQ manufacturers specifications.
  5. BBQ Unit model Fire Magic Auroa A79oi, or approved equal.



3 OUTDOOR KITCHEN BBQ COUNTER  
Scale 1:20




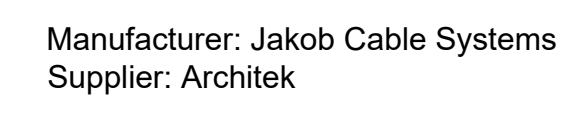
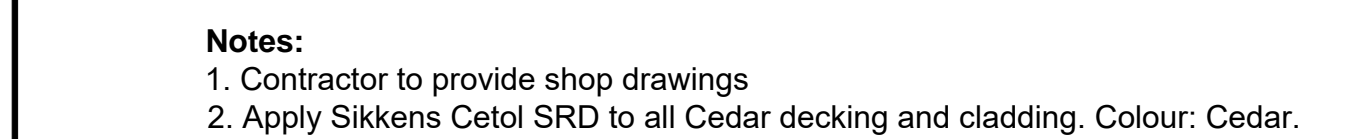
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LD-03



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Drawing #:  
LD-04