

File No.: 04-1000-20-2017-423

February 20, 2018

s.22(1)

Dear s.22(1)

Re: Request for Access to Records under the Freedom of Information and Protection of Privacy Act (the "Act")

I am responding to your request of November 2, 2017 for:

Information and records in the possession of the City of Vancouver pertaining to the Langara West development:

1. The entire Development Application, including any documents submitted with it;
2. The March 31, 2016 letter and any other correspondence from the City of Vancouver to the Developer or agent thereof discussing the Development Application;
3. Any feedback provided by the City with respect to the Developer's submission in March 2016 or thereafter, and any correspondence with respect to the Developer's response thereto;
4. Any correspondence between Vivigrand, or its representatives, and the City with respect to the seeking or provision of information and documentation in respect of the Development Application. Including with respect to any delays that may have occurred in the provision of such information or otherwise impacting upon;
5. The Arborist Report and any revised or other arborist reports submitted to the City in respect of the proposed Langara West development;
6. Any documents pertaining to or discussing the Large Tree, including any correspondence, reports, or memoranda; and
7. The Revised Landscaping Plan and any other landscaping plan submitted to the City in respect of the proposed Langara West development.

In addition to the responsive records originally sent to you on January 5, 2018, please find all remaining responsive records attached.

Under section 52 of the Act you may ask the Information & Privacy Commissioner to review any matter related to the City's response to your request. The Act allows you 30 business days from the date you receive this notice to request a review by writing to: Office of the

Information & Privacy Commissioner, info@oipc.bc.ca or by phoning 250-387-5629.

If you request a review, please provide the Commissioner's office with: 1) the request number assigned to your request (#04-1000-20-2017-423); 2) a copy of this letter; 3) a copy of your original request for information sent to the City of Vancouver; and 4) detailed reasons or grounds on which you are seeking the review.

Please do not hesitate to contact the Freedom of Information Office at foi@vancouver.ca if you have any questions.

Yours truly,



Barbara J. Van Fraassen, BA
Director, Access to Information & Privacy

Barbara.vanfraassen@vancouver.ca
453 W. 12th Avenue Vancouver BC V5Y 1V4
Phone: 604.873.7999
Fax: 604.873.7419

Encl.

:kt



RADIX TREE & LANDSCAPE CONSULTING INC

July 18, 2016

First Western Projects Ltd
Attn: Tom Almas
1305 W 57th Avenue
Vancouver, BC
V6P 1S7

RE: Arborist Report for tree at 7510 to 7544 Cambie Street, Vancouver

ASSIGNMENT:

The intent of this report is to review the site conditions pertaining to a Douglas Fir tree located along the east property line at 7510 to 7544 Cambie Street. Furthermore review of the project information was undertaken which included the review of reports completed by the project arborist from Durante Kreuk Ltd, the geotechnical engineer from GeoPacific Consultants Ltd, and the proposed site and landscape plans. The intent of this report is to provide independent opinion with some recommendations based on the observations and findings from the information provided with respect to the safe retention and useful life expectancy of the subject tree.



Picture L Aerial View of property

OBSERVATIONS & DISCUSSIONS:

A site visit was conducted on July 12th to review the site pertaining to the subject tree. To maintain consistency with the information contained within the other professional



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reports and for ease of reference, the number assigned to the Douglas Fir tree in the Durante Kreuk Ltd report (tree #1) will be used to refer to this tree within the Radix Tree and Landscape Consulting Inc report.

There were a number of observations noted at the time the site visit occurred with respect to the subject tree and they are as follows:

1. The existing grade of the site naturally slopes down towards the southeast.
2. There is a laneway immediately adjacent to tree #1 at the east side and a 3-phase Hydro line runs parallel with the east side of the laneway.
3. Tree #1 is located closer to the southeast corner of the site and is growing atop an isolated mound.
4. The base of the tree is obviously higher than the surrounding grades. This includes the laneway, asphalt parking surface to the north and the existing garage structure at the south side.
5. Approximately 75% of the critical root zone (CRZ) is already covered by asphalt surfacing (laneway and parking) which immediately limits the good growing conditions for this tree over the long term.
6. Evidence of tree roots growing beneath the hard surfaces showing characteristic cracks and heaving in the asphalt were noted and are also indicative of the shallow and compacted soils on the site.
7. Evidence of girdling in the tree trunk at approx 2.5 m above grade was noted and could be resulting from an old clothes line or something like that affixed to the tree for an extended period.

Although this tree is acclimated to the current site conditions it is reasonable to expect that it will experience reduced mortality as a result of the changes that will occur to this site. Primarily the concerns are the change in soil hydrology and available soil water for this tree. Secondly, the changes to the grade and multiple impacts to the CRZ based on the proposed plans and what would be required to complete these works will negatively impact this tree further. Any works (past or present) within the laneway near tree #1, such as for services installation or maintenance etc, will also impact the CRZ. Additionally it appears that the proposed plans essentially have the tree retained within close proximity to the new building. As mentioned above the proposed works will essentially cut off the natural flow of soil water as this will now be managed by the storm water management system for the site. I further understand that this is essentially the construction of a 'planter' that has been proposed around this tree. This appears to have the potential to also negatively impact the livability of the site in this area.

This is a Douglas Fir tree which is a forest sized tree species that can grow in excess of 80 to 100+ feet in cultivated or landscaped environments and well over 300+ feet in its natural environment. That is to say that it is a great tree for forest or parkland settings however it is not considered a great tree for confined city environments. It requires lots of air circulation and soil moisture for it to perform to its optimum. Although it can be a long lived species and relatively tolerant of many different conditions once established. It does not however fare well in droughted environments surrounded by hardscapes. It naturally



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requires medium moist to wet, well drained soils and therefore it will be negatively impacted by the changes to this site. The mechanical application of water through irrigation is not likely sufficient or adequate to support this tree over the long term either.

It has been constricted to a certain degree on this site already and it will be further restricted by the creation of a confined space around it. It is also reasonable to expect that tree and structure conflicts will occur as this is a large tree species that is being forced onto a smaller site. Genetically it still has the desire to be a 'big' tree and therefore will likely cause damage to the structure overtime both above and below grade.

Based on the review of the site plans for the proposed retaining wall around the tree, it is considered to be the "cutting off" of any remaining available soil water that the tree is used to receiving. The retaining wall will also create significant variations to the grade where the finished grade at the tree will require backfilling or being covered over which will further impact the remaining roots. The increased amount of concrete and hard surfaces will increase the temperature around the tree due to the radiant heat from the building and hard surfaces. As well, the tree will experience reduced airflow due to the buildings now deflecting the natural flow of air up and over the site.

CONCLUSION:

In conclusion, *although this tree* is considered in overall good condition at this time it is expected to have a reduced life expectancy as a result of these proposed works. Mature trees are much less adaptable to site changes that occur during or are associated with construction. Therefore it is not uncommon to see decline or reduced mortality in trees well after the construction is completed. And as trees will rely on stored carbohydrates within their root systems to try and compensate for the loss or disruption they may not show signs of stress for 1 to 3 years (or may be longer).....well after the construction is completed. In some cases by the time a tree shows signs that it is unhappy and struggling, it may be too late to turn it around to save it. That is to say that despite efforts to provide palliative care for this tree, there are no guarantees that it will survive. In some circumstances reduced mortality or death is inevitable.

Therefore based on the information reviewed and the findings observed during the site visit, the recommendation for this tree would be for removal and replacement. This tree will experience stress and decline.....and will likely succumb to these stresses overtime due to the proposed site changes. Furthermore it will be damaged and mutilated because of the manipulation of the site conditions which conflict with the ability to safely retain it in its current location. As well any future maintenance for this tree is expected to include heavy pruning to maintain building clearance and prevent tree/structure conflicts on one side and heavy pruning for Hydro clearance on the other.

It would be considered more reasonable and responsible for long term tree retention on this site to forego a few underground parking stalls and actually create a deep enough planting area in this location to accommodate the introduction of more upsized trees. This would be creating a more conducive environment for the longevity of trees on this site and



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increases the likelihood of success because they will have a proper and more suitable environment to grow in.

The information and recommendations outlined above may be subject to change based on any further information provided or findings that are uncovered after this report is submitted. It is important to note that there are many different factors causing stress to trees. For example, imposed stress could be things such as environmental factors like climate change to cultural conditions such as soil compaction or mechanical damage to the roots, but is likely to be a combination of factors. Trees play an important role in the urban ecology, and all of us must be stewards to ensure a tree's survival and our own safety.

Testing and Analysis:

The assessment completed on the trees defined within this report, consisted of a visual and physical inspection from the ground and was based upon the principals of Visual Tree Assessments. No invasive tests, such as using a resistograph or increment borer, were used during the testing for this report.

Assumptions and Limiting Conditions:

1. The information contained in this report covers only those items that were examined and reflect the condition of these items at the time of inspection. The inspection is limited to visual examination of accessible components without dissection, excavation or probing. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the trees or property in question may not arise in future.
2. The opinions in this Report are given based upon observations made using generally accepted professional judgment, however, because trees and plants are living organisms and subject to change, damage and disease, the results, observations, recommendations, and analysis as set out in this Report are valid only as at the date any such testing, observations and analysis took place. No guarantee, warranty, representation or opinion is offered or made by Radix Tree and Landscape Consulting Inc as to the length of the validity of the results, observations, recommendations and analysis contained within this Report.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the appraiser/company can neither guarantee nor be responsible for the accuracy of information provided by others.
4. All tree work is to be completed under the supervision of an ISA Certified Arborist and in compliance with ISA, BC Hydro and WCB standards.
5. Alteration of any part of this report invalidates the entire report.

If you have any questions or concerns please feel free to contact us.

Sincerely yours,

Michelle McEwen

CofQ #00317-LH-08

ISA Certified Arborist (PN-6707A)

ISA Certified Tree Risk Assessor (544)

Wildlife/Danger Tree Assessor BC (P-1453)

Certified Horticulturist

Radix Tree and Landscape Consulting Inc

REZONING INTENT AND DESIGN RATIONALE
7516 – 7550 CAMBIE STREET, VANCOUVER, BRITISH COLUMBIA

The subject site is located at the south-east corner of Cambie Street and West 59th Avenue. The site is currently a mixed zoned "C-1", "RS-1" and "RT-1" site and is part of the "Cambie Corridor Plan". The Applicant proposes to rezone the site to "Comprehensive CD-1" to allow for a commercial and residential, mixed-use, development.

The site is generally surrounded by low scale commercial, single family and duplex residential uses.

To the north are single family residences with the Langara Golf Course a block further north. West, across Cambie Street, are one and two storey commercial offices and a service station. The block north-east, across Cambie Street, are the "Pearson Dogwood Lands", currently under a Council directed "Planning Study".

To the south, along Cambie Street, are duplex residences. Across the rear lane, to the east, are single family residences, which are part of the recent Council adopted "Marpole Plan", which would allow for future four storey residential apartment developments.

Two, six storey, buildings are proposed. A six storey, mixed-use, commercial and residential building is proposed at the corner of Cambie Street and West 59th Avenue. The building will include one level of ground floor commercial fronting Cambie and five levels of residential, above, providing twenty-nine units for sale.

A six storey, plus basement, building is proposed on the southern portion of the site, which will be all residential providing forty-three units for sale.

A two level, underground parking garage with entry off the rear lane will provide one hundred and thirty-three, (133), parking stalls, (forty-one, (41), commercial and ninety-two, (92), residential), for both buildings. Residential bicycle parking and storage facilities will also be provided underground.

The proposed Floor Space Ratio is F.S.R. 2.9. Proposed average height, above grade, is 25.4 metres, and 24.9 metres, for the two buildings respectively, which includes the elevator penthouse height.

The residential entrance for the two buildings is located off of a thirty foot wide landscaped entry forecourt situated between the buildings. The shared residential amenity space for the two buildings and a children's play area is also located adjacent to this entry forecourt.

A public "Bike Share" parking space is also provided at the corner of West 59th Avenue and the rear lane.

BUILT FORMS

The site is steeply sloping from the north-west corner to the south-east corner with a cross fall of 16.73 feet. The two buildings take advantage and respond to this slope by stepping the buildings in both height, massing and planar form along Cambie Street.

The corner building, with the commercial ground floor use, is setback two feet, (2'0"), from both Cambie Street and West 59th Avenue and recedes along Cambie Street to open up to the landscaped residential entry courtyard. The southerly building is setback seventeen feet, six inches, (17'6"), to provide for a well landscaped frontyard and patio space for the residential units.

Both buildings present a strong four storey street wall with the corner of the mixed-use building holding the street corner with a full six storey form.

The upper two floors of both buildings step back to reduce the building's street presence and shading effects with the south building stepping back more on the upper two floors, along the south property line, and rear lane elevations.

Continuous weather protection is provided for pedestrians at the corner building with glazed canopies.

The building will target "LEED-Gold" equivalency, as required by the City's "Green Building Policy for Rezoning". Landscaped roof terraces are provided on roof decks with urban agriculture garden plots provided along the rear yard for the buildings' residents.

Other sustainable measures include strategies, such as, but not limited to, utilizing air-water heat pumps, (commercial spaces), hydroponic heating, (commercial spaces), double-glazed window with exterior brise-soleil and low-flow plumbing fixtures.

Building finishes will be a mix of brick masonry, pre-cast concrete, painted concrete, prefinished aluminium windows and painted glazed canopies.

4 2017.10.04	ISSUED FOR CP
5 2017.11.07	ISSUED FOR
6 2018.01.18	REZONING
7 2018.01.18	REZONING

PROJECT NORTH

LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE

DESIGN
RATIONALE

SCALE	1/8" = 1'-0"
JOB NO.	13-10
DRAWN	ME, VM, LL, VK
DATE	14 APRIL 2015
CHECKED	WTL

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DRAWING NO.

A1.01



KANE CONSULTING

20 November, 2015
SUSTAINABILITY Features:

Project: 7510-7554 Cambie Street (59th and Cambie), Vancouver
This project has been registered with the US Green Building Council (USGBC) LEED for Homes Mid-Rise program and has been assigned a USGBC Registration # 1000066556.

The following list highlights the prominent sustainable features of the 59th and Cambie project. We have also provided a draft LEED for Homes Mid-Rise Scorecard. The Scorecard shows the project has incorporated numerous sustainable strategies that would achieve 72 LEED points (65 points are required for Gold) including min. 9 Energy Points, 1 or more Water Efficiency Points and 1 Stormwater Point (from SSM Surface Water Management). Several more points are potentially available and will be confirmed, as the design is refined. These strategies are consistent with the City of Vancouver Green Building Relating Policy.



KANE CONSULTING

20 November, 2015

Project: 59th and Cambie Street, Vancouver

Re: Sustainability Features

The following list highlights the prominent sustainable features of the 59th and Cambie Street project. Many of these features are a positive response to energy conservation, thermal comfort, and protection or restoration of a more natural environment.

We have also provided a LEEDS for Homes – Multifamily Mid-Rise sample checklist, which shows that the project has incorporated numerous sustainable strategies that would achieve 72 LEED points (65 points are required for Gold). Several more points are potentially available and will be confirmed, as the design is refined.

1.0 Site:

- o An erosion and sedimentation control plan will be implemented to minimize erosion and sedimentation during demolition, site preparation and throughout construction.
- o Landscaping will utilize natural and adaptive plants and is designed to reduce the development's heat island effect and minimize its impact on storm sewers while increasing local habitat.
- o Alternative Transportation: Smart location with easy access to rapid transit routes. The project will incorporate significant bicycle storage to further strengthen the use of alternative methods of transportation.
- o The development will feature charging stations to encourage the use of alternative fuel vehicles.

2.0 Water:

- o The irrigation system will include a number of features to significantly reduce the amount of water consumed.
- o Low flow/high plumbing fixtures will be provided.
- o Water-efficient clothes washers and dishwashers.

3.0 Energy:

- o Energy efficiency measures are evaluated via a full building energy simulation.
- o Energy conservation measures include high performance envelope including glazing systems and highly insulated walls and roof.

- o Energy efficient appliances including dishwasher, refrigerator and clothes washer.

4.0 Materials:

- o A construction waste management plan will be developed and implemented throughout construction with a goal of diverting over 75% of waste generated.
- o Many of the building materials and components will be selected based on recycled content and local or regional production.

5.0 Environmental Quality:

- o Low VOC paints.
- o Low emitting carpet and composite wood will be sourced.
- o Best practices will be implemented during construction to optimize air quality and provide a clean and healthy building for the future residents.
- o Operable windows will be incorporated throughout the buildings giving the future residents a high level of control over their thermal comfort.
- o Appropriate glazing selection and placement will allow for plenty of daylight and views.

Thank you.

Diana Klein

Diana Klein
LEED® AP BD+C, LEED® AP, LEED® CSRA
Project Manager,
Kane Consulting Partnership

W.T. LEUNG ARCHITECTS

A R C H I T E C T S

Suite 101 - 472 West Broadway
Vancouver, British Columbia
Canada V6C 1G2
Telephone: (604) 255-0111

WTL 1412 (2015)

11/11/15 11/11/15

4.10.17 (14/11/15) ISSUED FOR CP
FROM THE ARCHITECT
3.10.17 (11/11/15) ISSUED FOR
FROM THE ARCHITECT
2.10.17 (11/11/15) ISSUED FOR
FROM THE ARCHITECT
1.10.17 (11/11/15) ISSUED FOR
FROM THE ARCHITECT

PROJECT NORTH

PROJECT

LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE

SUSTAINABILITY

SCALE: 1/8" = 1'-0"

DATE: 11/11/15

DRAWN: BCL, VML, LJV

DATE: 14 APRIL 2015

DRAWN: BCL

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WTL 1412 (2015)

A1.02



For: **Homes**

LEED for Homes Mid-rise Simplified Project Checklist

Builder Name:	TSC
Project Team Leader (if different):	Diana Kich
Home Address (Street/City/State):	5506A Cambie Street, Vancouver

Project Description

Building type: **Mid-rise multi-family**
of units: **71**

Avg. Home Size (sq-ft): **~10**

Reported Certification Thresholds

Green: **35** Gold: **40**
Silver: **30** Platinum: **45**

Project Point Total

Score: **3**

Certification Level

Targeted: **Gold**

Points Available: **35**

Prerequisite and Design Prerequisites (RD)		Min	Typ	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
1. Integrated Project Planning		1.1	1.2	1.3	1.4	1.5	1.6	1.7	1.8	1.9	2.0	2.1	2.2	2.3	2.4	2.5	2.6	2.7	2.8	2.9	3.0	3.1	3.2	3.3	3.4	3.5	3.6	3.7	3.8	3.9	4.0	4.1	4.2	4.3	4.4	4.5	4.6	4.7	4.8	4.9	5.0	5.1	5.2	5.3	5.4	5.5	5.6	5.7	5.8	5.9	6.0	6.1	6.2	6.3	6.4	6.5	6.6	6.7	6.8	6.9	7.0	7.1	7.2	7.3	7.4	7.5	7.6	7.7	7.8	7.9	8.0	8.1	8.2	8.3	8.4	8.5	8.6	8.7	8.8	8.9	9.0	9.1	9.2	9.3	9.4	9.5	9.6	9.7	9.8	9.9	10.0												
2. Sustainability Management Process		2.1	2.2	2.3	2.4	2.5	2.6	2.7	2.8	2.9	3.0	3.1	3.2	3.3	3.4	3.5	3.6	3.7	3.8	3.9	4.0	4.1	4.2	4.3	4.4	4.5	4.6	4.7	4.8	4.9	5.0	5.1	5.2	5.3	5.4	5.5	5.6	5.7	5.8	5.9	6.0	6.1	6.2	6.3	6.4	6.5	6.6	6.7	6.8	6.9	7.0	7.1	7.2	7.3	7.4	7.5	7.6	7.7	7.8	7.9	8.0	8.1	8.2	8.3	8.4	8.5	8.6	8.7	8.8	8.9	9.0	9.1	9.2	9.3	9.4	9.5	9.6	9.7	9.8	9.9	10.0																						
3. Innovation & Design		3.1	3.2	3.3	3.4	3.5	3.6	3.7	3.8	3.9	4.0	4.1	4.2	4.3	4.4	4.5	4.6	4.7	4.8	4.9	5.0	5.1	5.2	5.3	5.4	5.5	5.6	5.7	5.8	5.9	6.0	6.1	6.2	6.3	6.4	6.5	6.6	6.7	6.8	6.9	7.0	7.1	7.2	7.3	7.4	7.5	7.6	7.7	7.8	7.9	8.0	8.1	8.2	8.3	8.4	8.5	8.6	8.7	8.8	8.9	9.0	9.1	9.2	9.3	9.4	9.5	9.6	9.7	9.8	9.9	10.0																																
4. Location and Land Use		4.1	4.2	4.3	4.4	4.5	4.6	4.7	4.8	4.9	5.0	5.1	5.2	5.3	5.4	5.5	5.6	5.7	5.8	5.9	6.0	6.1	6.2	6.3	6.4	6.5	6.6	6.7	6.8	6.9	7.0	7.1	7.2	7.3	7.4	7.5	7.6	7.7	7.8	7.9	8.0	8.1	8.2	8.3	8.4	8.5	8.6	8.7	8.8	8.9	9.0	9.1	9.2	9.3	9.4	9.5	9.6	9.7	9.8	9.9	10.0																																										
5. Regional and Global Climate		5.1	5.2	5.3	5.4	5.5	5.6	5.7	5.8	5.9	6.0	6.1	6.2	6.3	6.4	6.5	6.6	6.7	6.8	6.9	7.0	7.1	7.2	7.3	7.4	7.5	7.6	7.7	7.8	7.9	8.0	8.1	8.2	8.3	8.4	8.5	8.6	8.7	8.8	8.9	9.0	9.1	9.2	9.3	9.4	9.5	9.6	9.7	9.8	9.9	10.0																																																				
6. Energy and Water		6.1	6.2	6.3	6.4	6.5	6.6	6.7	6.8	6.9	7.0	7.1	7.2	7.3	7.4	7.5	7.6	7.7	7.8	7.9	8.0	8.1	8.2	8.3	8.4	8.5	8.6	8.7	8.8	8.9	9.0	9.1	9.2	9.3	9.4	9.5	9.6	9.7	9.8	9.9	10.0																																																														
7. Indoor Environmental Quality		7.1	7.2	7.3	7.4	7.5	7.6	7.7	7.8	7.9	8.0	8.1	8.2	8.3	8.4	8.5	8.6	8.7	8.8	8.9	9.0	9.1	9.2	9.3	9.4	9.5	9.6	9.7	9.8	9.9	10.0																																																																								
8. Materials and Resources		8.1	8.2	8.3	8.4	8.5	8.6	8.7	8.8	8.9	9.0	9.1	9.2	9.3	9.4	9.5	9.6	9.7	9.8	9.9	10.0																																																																																		
9. Pollution Prevention		9.1	9.2	9.3	9.4	9.5	9.6	9.7	9.8	9.9	10.0																																																																																												
10. Construction Waste		10.1	10.2	10.3	10.4	10.5	10.6	10.7	10.8	10.9	11.0																																																																																												
11. Construction Materials		11.1	11.2	11.3	11.4	11.5	11.6	11.7	11.8	11.9	12.0																																																																																												
12. Construction Methods		12.1	12.2	12.3	12.4	12.5	12.6	12.7	12.8	12.9	13.0																																																																																												
13. Construction Labor		13.1	13.2	13.3	13.4	13.5	13.6	13.7	13.8	13.9	14.0																																																																																												
14. Construction Safety		14.1	14.2	14.3	14.4	14.5	14.6	14.7	14.8	14.9	15.0																																																																																												
15. Construction Quality		15.1	15.2	15.3	15.4	15.5	15.6	15.7	15.8	15.9	16.0																																																																																												
16. Construction Cost		16.1	16.2	16.3	16.4	16.5	16.6	16.7	16.8	16.9	17.0																																																																																												
17. Construction Schedule		17.1	17.2	17.3	17.4	17.5	17.6	17.7	17.8	17.9	18.0																																																																																												
18. Construction Risk		18.1	18.2	18.3	18.4	18.5	18.6	18.7	18.8	18.9	19.0																																																																																												
19. Construction Communication		19.1	19.2	19.3	19.4	19.5	19.6	19.7	19.8	19.9	20.0																																																																																												
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**W.T. LEUNG
ARCHITECTS
INC.**

Scale 1/8" = 1'-0" (1/4" = 1'-0")
Vancouver, British Columbia
Canada V6Z 1K3
Telephone (604) 734-8111

REVISED DATE (MM/DD/YY)
18/03/18 3300

1. 2017/04/04 - SUBMIT FOR SP. PERMIT TO CONSTRUCT
2. 2018/03/17 - SUBMIT FOR DEVELOPMENT PERMIT
3. 2018/03/17 - GREEN DESIGN PANEL
4. 2018/03/17 - REZONING
5. 2018/03/17 - SUBMIT FOR DEVELOPMENT PERMIT

PROJECT NORTH

PROJECT
LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

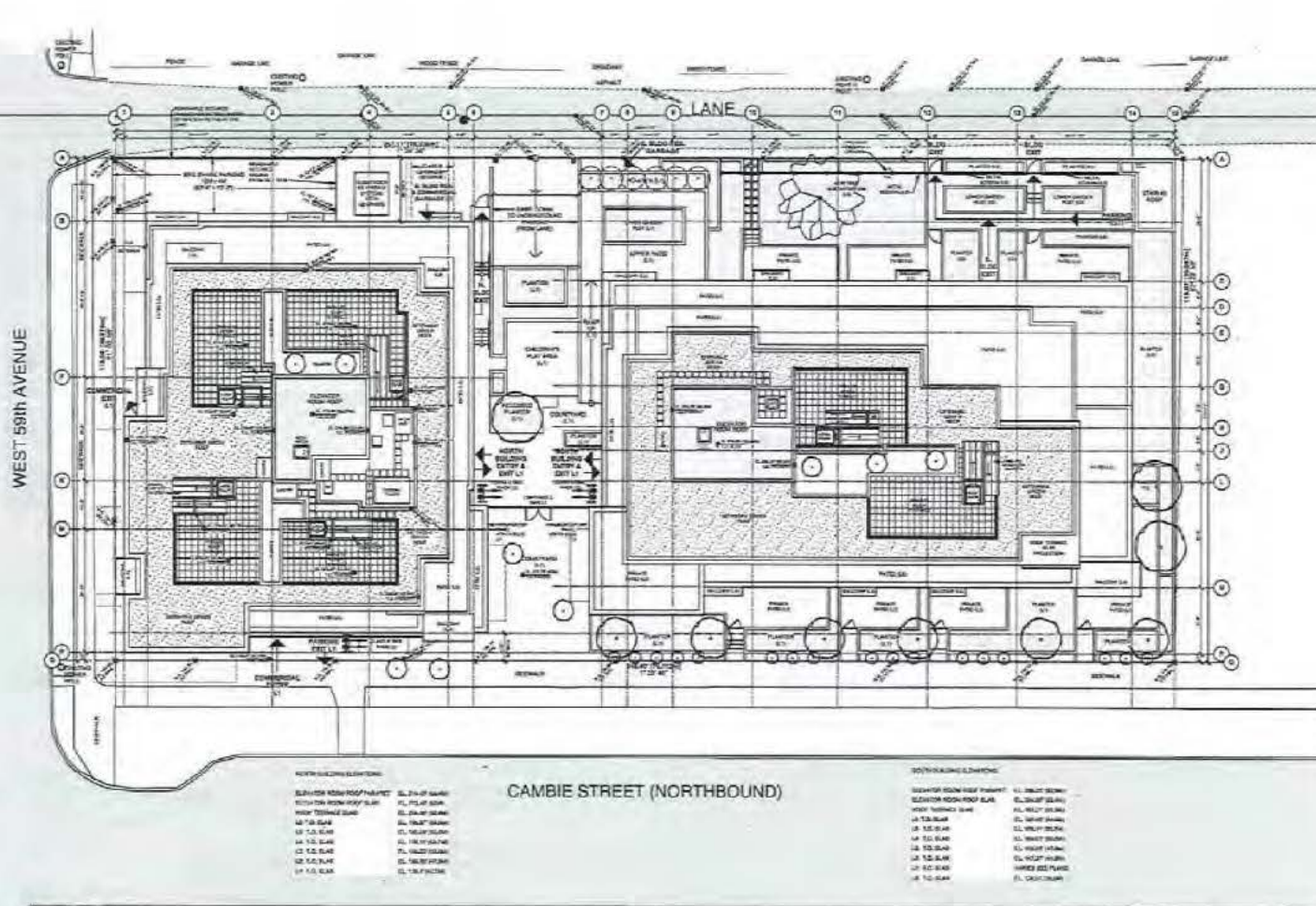
DRAWING TITLE
SITE PLAN

SCALE 1/8" = 1'-0"
JOB NO. 18-19
DATE 4 August 2018
DRAWN BY WTL
CHECKED BY WTL

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DRAWING NO.

A1.04

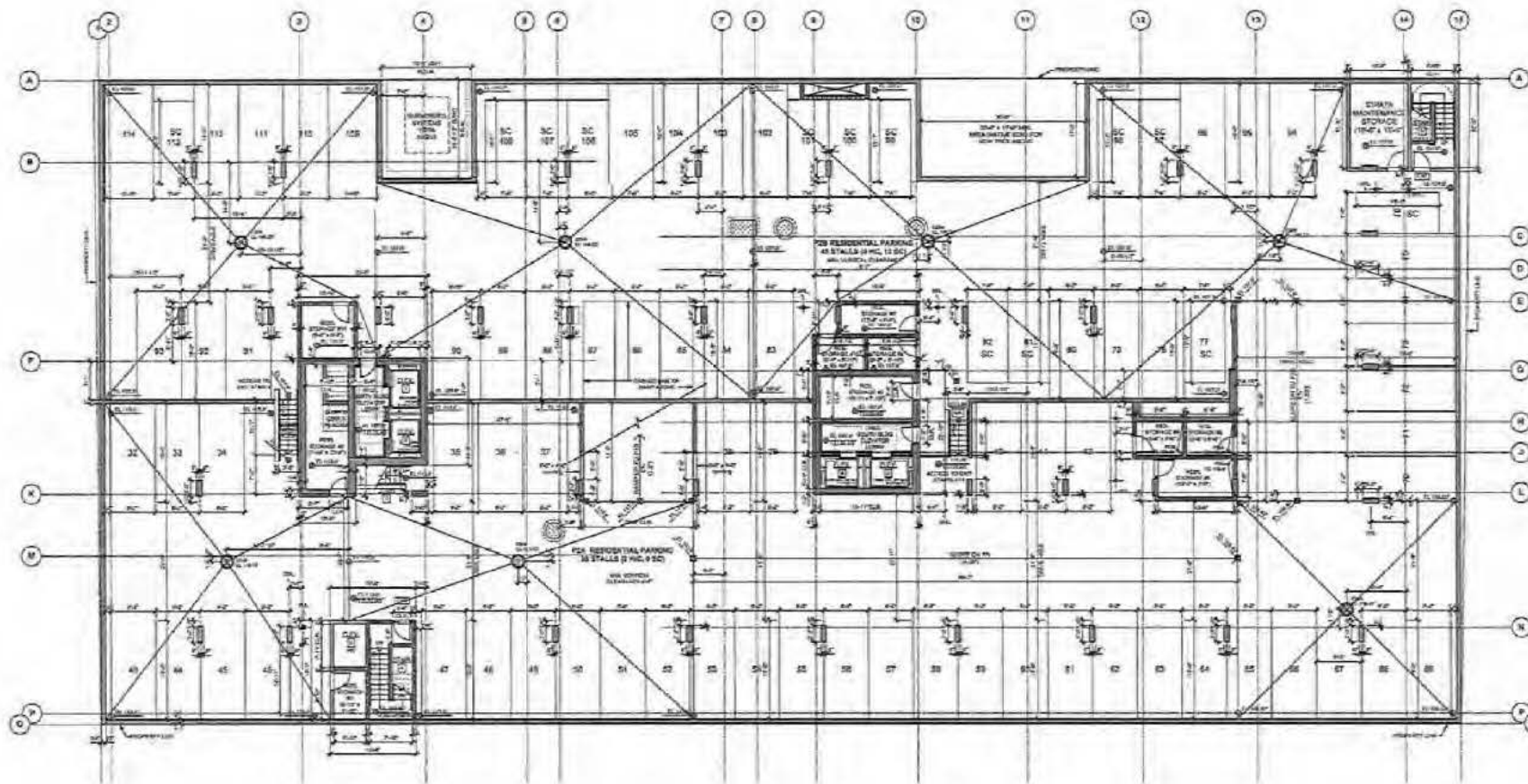


**W.T. LEUNG
ARCHITECTS
INC.**

1016-1018 West Broadway
Vancouver, British Columbia
Canada V5Z 1G1
Telephone (604) 755-8711

WEEK 04/02/2015

1. W. W. W. 2015



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PROJECT NORTH

LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE

PARKING LEVEL P2

SCALE: 1/8" = 1'-0"

JOB NO. 1515

DRAWN BY: W.T. LEUNG

DATE: 14 APRIL 2015

CHECKED BY: W.T. LEUNG

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DRAWING NO.

A2.01

DATE: 14-03-2015
BY: WTL

1. DESIGN: BUILD FOR THE
PROJECT: VISITOR TO CONVENTION
2. DESIGN: BUILD FOR
PROJECT: VISITOR TO CONVENTION
3. DESIGN: BUILD FOR
PROJECT: VISITOR TO CONVENTION
4. DESIGN: BUILD FOR
PROJECT: VISITOR TO CONVENTION

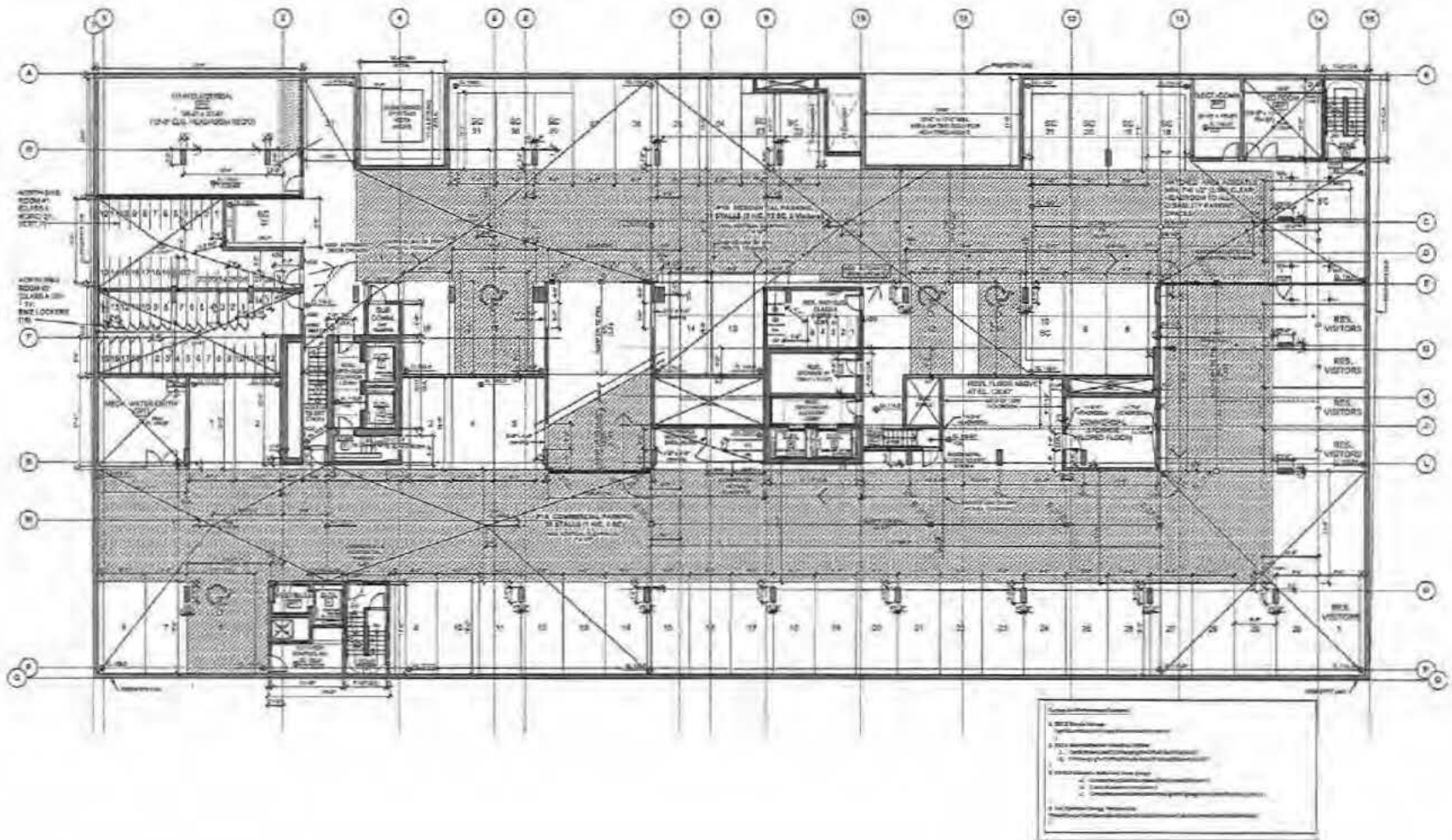
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LANGARA WEST
7510-7524 Cambie Street
Vancouver, B.C.

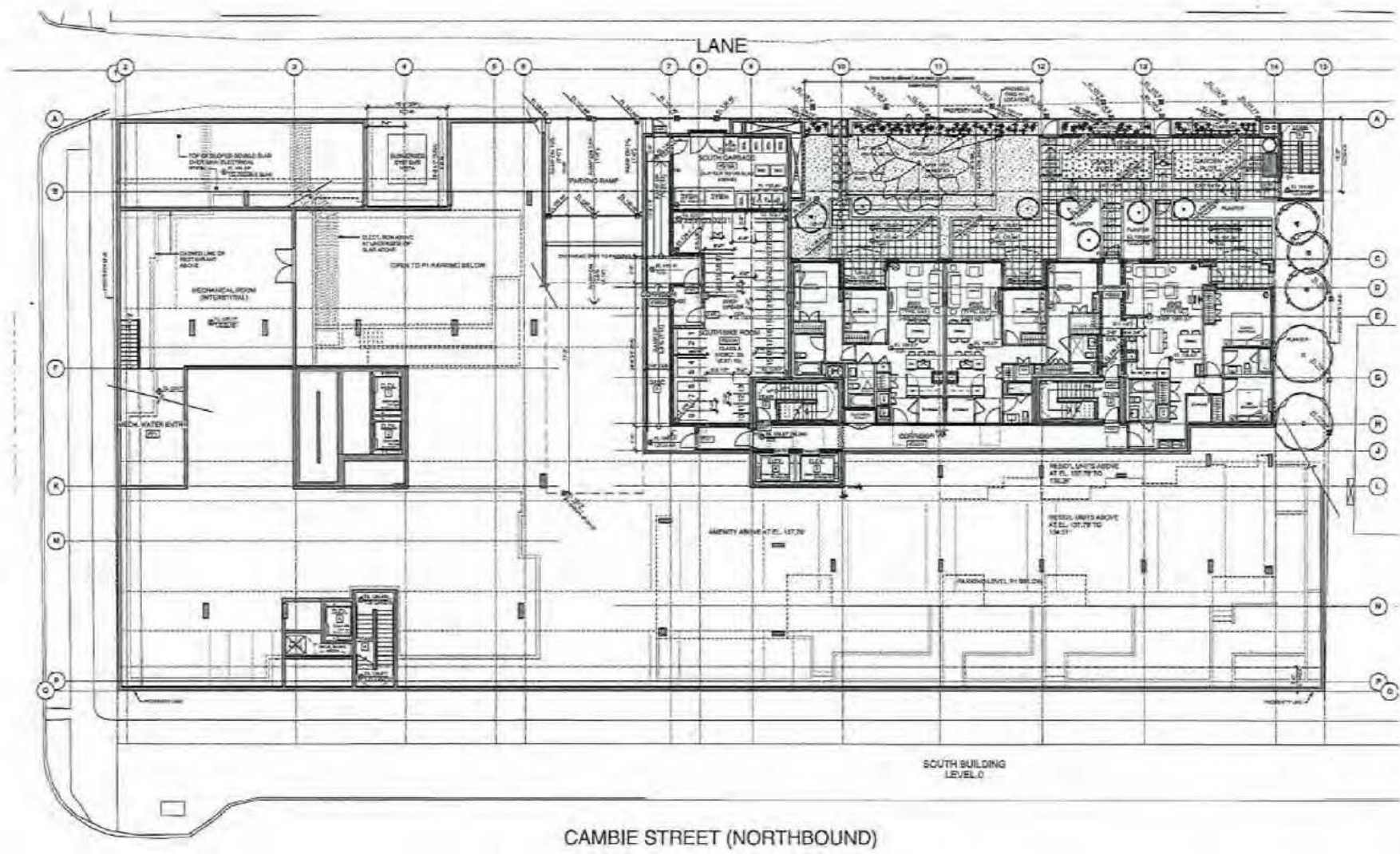
ARCHITECT:
PARKING LEVEL P1

SCALE: 1/8" = 1'-0"
JOB NO.: 15-10
OWNER: WTL
DATE: 14 APRIL 2015
DRAWN BY: WTL

DESIGNER'S NOTE: This plan and
section is one of a set of drawings
prepared by WTL, and is to be used
in conjunction with the other drawings
in this set of drawings.

A2.02





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 I.D.C.
 Suite 301-373 West Broadway
 Vancouver, British Columbia
 Canada V5C 1A3
 Telephone (604) 739-0711

FORM 04/11/2002
 1/8" = 1'-0" 0000

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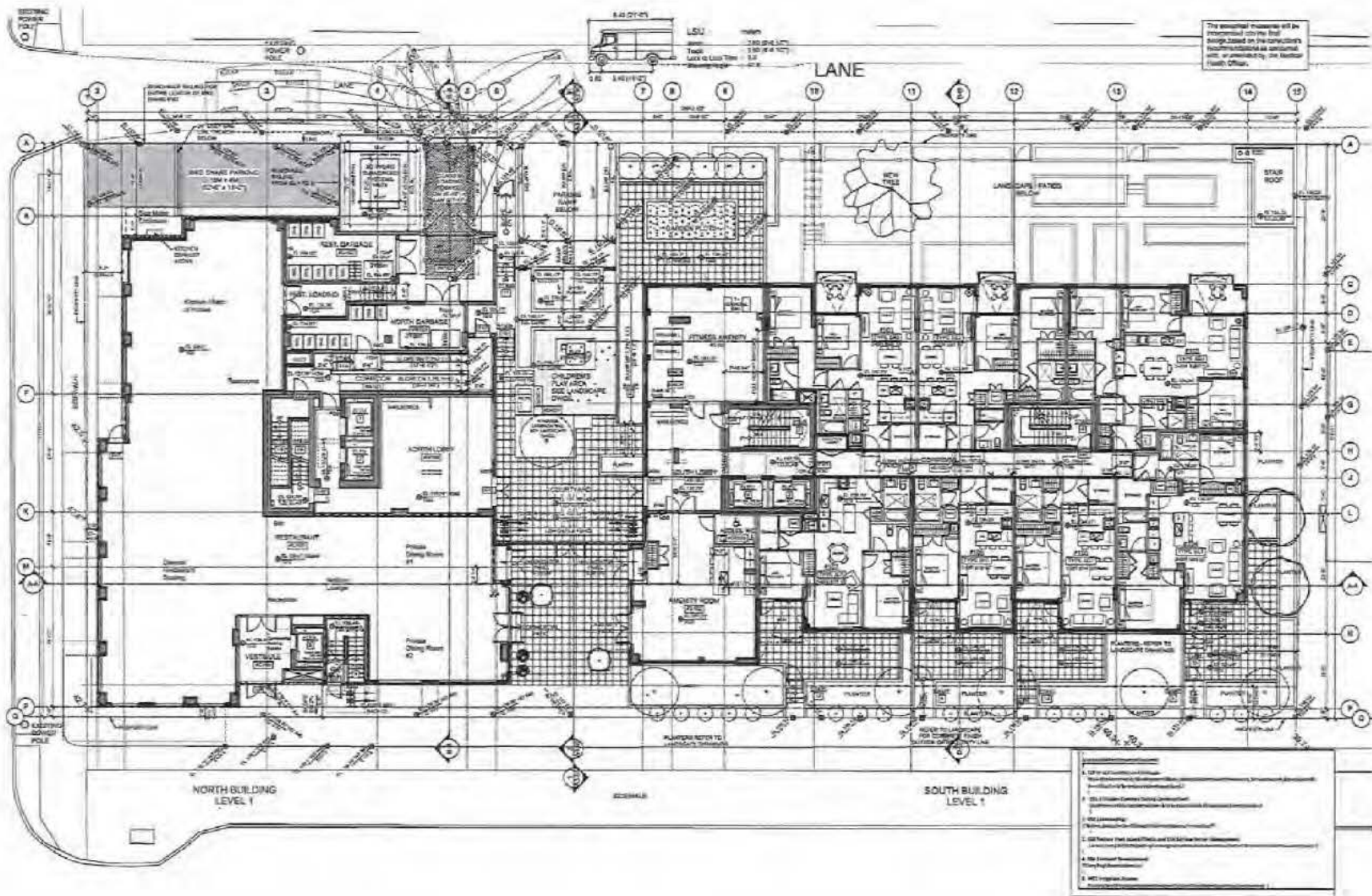
PROJECT NAME
 PROJECT
 LANGARA WEST
 7510-7554 Cambie Street
 Vancouver, B.C.

DRAWING TITLE
 PLAN
 LEVEL 0 (SOUTH BLDG)

SCALE 1/8" = 1'-0"
 JOB NO. 12-02
 DRAWN BY W.T. LEUNG
 DATE 14 APRIL 2012
 CHECKED BY WTL
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A2.03

WEST 59th AVENUE



**W.T. LEUNG
ARCHITECTS
INC.**

2010-2011 West Broadway
Vancouver, British Columbia
Canada V6Z 1G3
Telephone: (604) 734-1111

Scale: 1/8" = 1'-0"
North Arrow

1. 2017/04/10: REVISED FOR PROPOSED CONDITIONS
2. 2016/11/27: REVISED FOR DEVELOPMENT PERMIT
3. 2016/11/14: 1.0000000000000000
4. 2016/11/14: 1.0000000000000000
5. 2016/11/14: 1.0000000000000000
6. 2016/11/14: 1.0000000000000000

PROJECT NAME:
PROJECT
LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE
PLAN
LEVEL 1 (NORTH & SOUTH BLDGS)

SCALE: 1/8" = 1'-0"
JOB NO.: 10-11
DRAWN: W.T. LEUNG
DATE: 10/10/2010
CHECKED: WTL

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DRAWING NO.:
A2.04

Suite 300 • 871 West Broadway
Vancouver, British Columbia
Canada V5Z 4C2
Telephone (604) 731-0744

8/1/2014	ISSUED FOR BP PROPOSING CONDITIONS
2/28/11/17	ISSUED FOR DESIGN/CONSTRUCT PERMIT
2/28/11/14	WORK DESIGN PERMIT
7/20/10/10	REZONING
4/24/10/10	DESIGN PERMIT

LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

PLAN
LEVEL 2 (SOUTH BLDG)

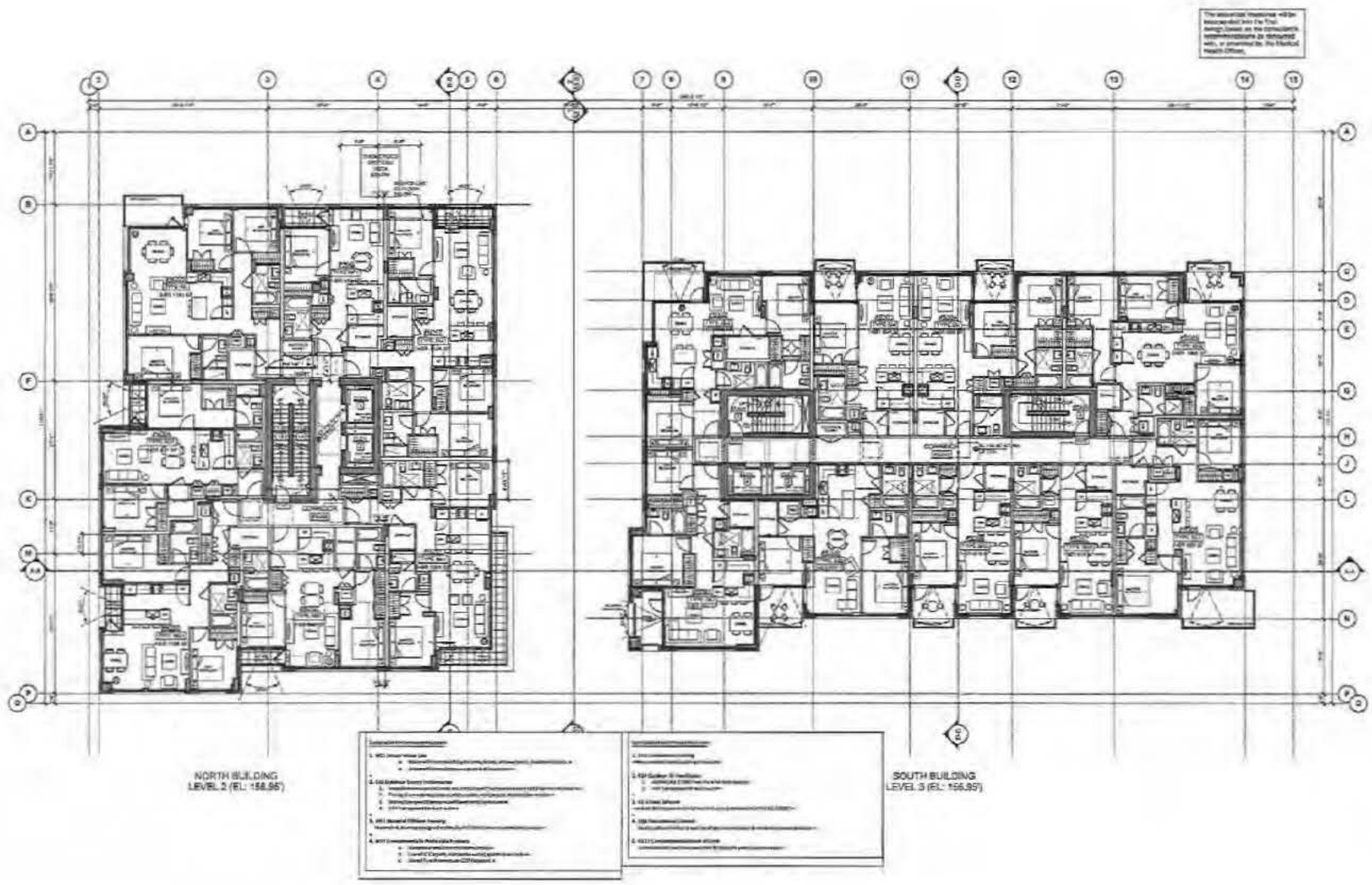
SCALE	1/8" = 1'-0"
JOB NO.	13-15
DRAWN BY	MR. H. M. L. V.
DATE	14 APRIL 1915
CHECKED BY	WTL

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DRAWINGS INC.

A2.05

City of Vancouver - FOI 2017-423 - Page 0047



W.T. LEUNG ARCHITECTS
I.L.C.

3075-101 - 875 West Broadway
Vancouver, British Columbia
Canada V5C 1G5
Telephone: (604) 681-1111

PROJECT NO.: 1447-01-0000

4.001.001 - BUILDING FOR THE
FUTURE OF COMMUNITY
3.001.001 - BUILDING FOR
THE FUTURE OF COMMUNITY
2.001.001 - BUILDING FOR THE
FUTURE OF COMMUNITY
1.001.001 - BUILDING FOR THE
FUTURE OF COMMUNITY

PROJECT NAME:
LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE:
PLAN
LEVEL 2 (NORTH BLDG)
LEVEL 3 (SOUTH BLDG)

SCALE: 1/8" = 1'-0"
JOB NO. 1447-01
DRAWN: W.T. LEUNG
DATE: 14 APRIL 2015
CHECKED: W.T.

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ISSUED NO:
A2.06

THESE

6-20-12-20	ISSUED FOR CP PRO-10 CONDITIONS
3-20-11-27	ISSUED FOR DEVELOPMENT PERMIT
2-20-10-18	UPHILL DESIGN PANEL
1-20-11-10	REWORKING
2-20-11-10	REWORKING

PROJECT NORTH 

LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRINKING TITLE

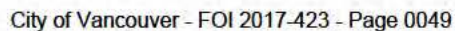
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LEVEL 3 (NORTH BLDG)
LEVEL 4 (SOUTH BLDG)

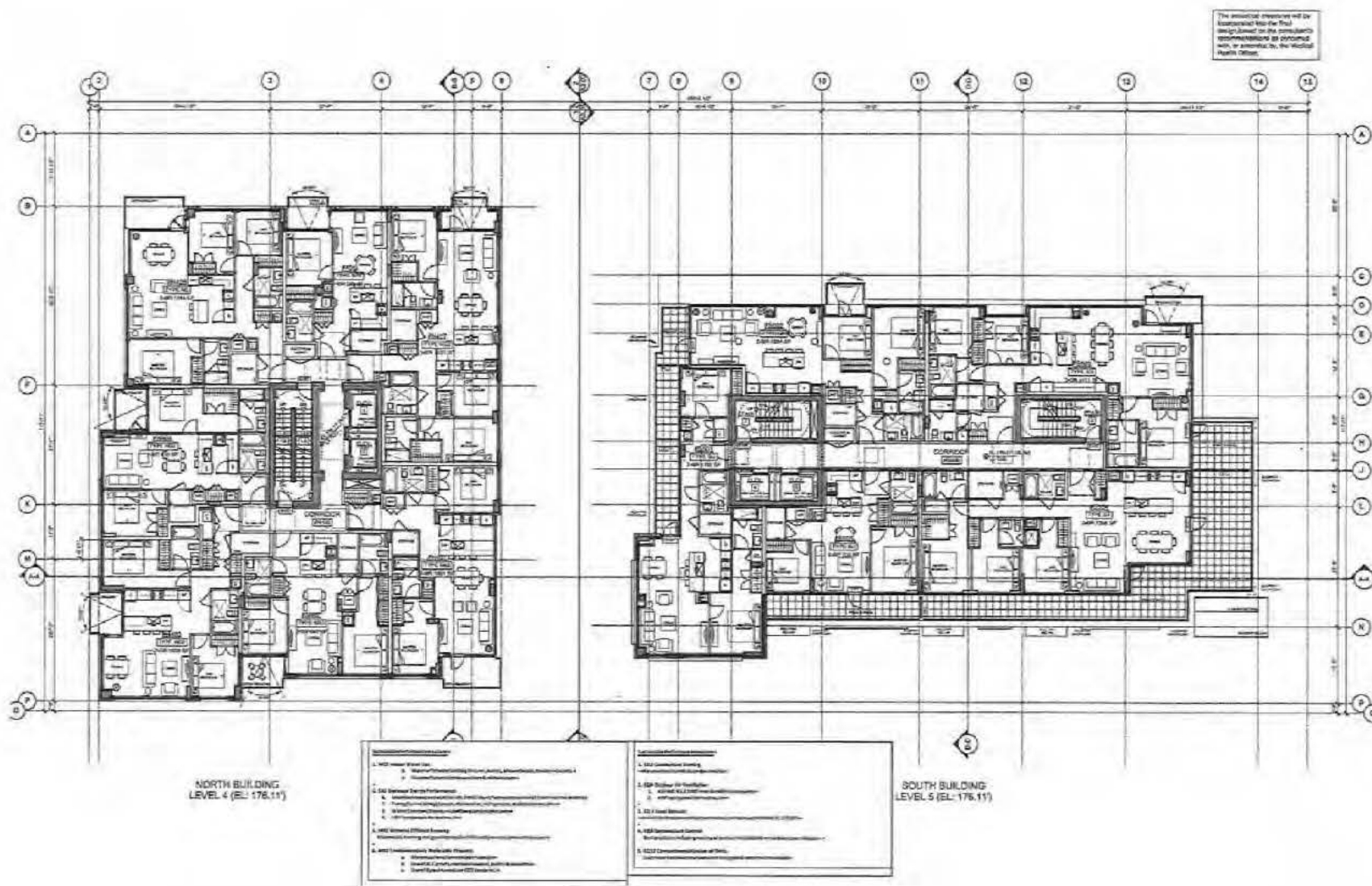
SCALE	66" x 140"
JOB NO.	13-02
DRAWN	MR. W.B.L.L. VR
DATE	24 APRIL 2012
CHECKED	HTL

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DRAFTING NO.

A2.07





**W.T. LEUNG
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Suite 200 - 1110 West Broadway
Vancouver, British Columbia
Canada V6E 1G3
Telephone (604) 754-4711

DATE: 14 APR 2013
BY: WTL

4. 2017 D.M. ISSUED FOR THE
PROPOSED CONDITIONS
5. 2017 D.M. ISSUED FOR
THE PROPOSED CONDITIONS
6. 2017 D.M. ISSUED FOR
THE PROPOSED CONDITIONS
7. 2017 D.M. ISSUED FOR
THE PROPOSED CONDITIONS

PROJECT NORTH

LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE

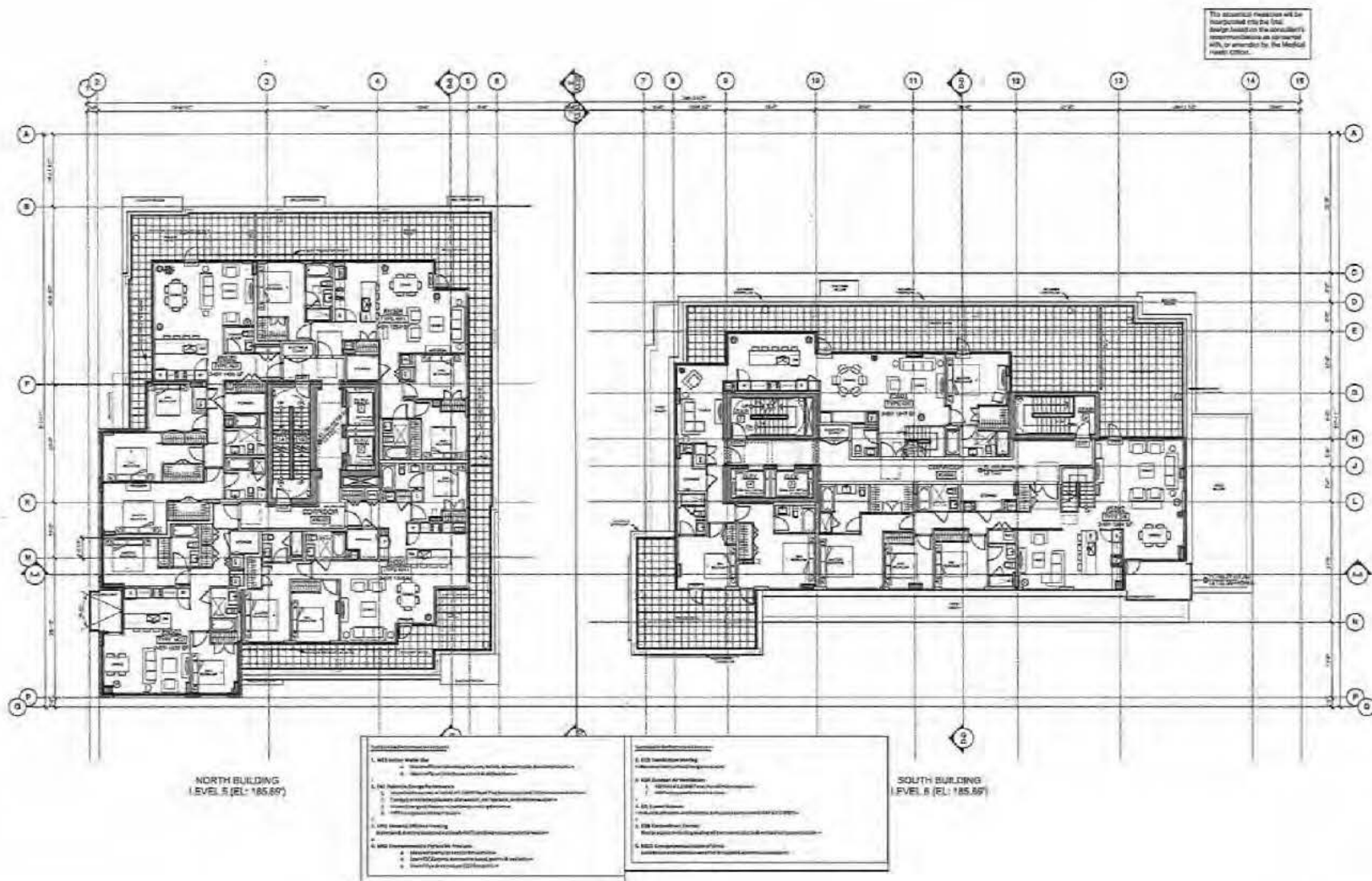
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LEVEL 4 (NORTH BLDG)
LEVEL 5 (SOUTH BLDG)

SCALE: 1/8" = 1'-0"
JOB NO. 13-02
DRAWN BY: WTL
DATE: 14 APRIL 2013
CHECKED BY: WTL

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PROVEN AND

A2.08



**W.T. LEUNG
ARCHITECTS
INC.**

2006-2007-2008-2009-2010-2011
Vancouver, British Columbia
Canada V6C 3G3
Telephone: (604) 733-4711

THIS DATE: 11/11/11
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PROJECT NORTH
11/11/11 11/11/11

LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE:
PLAN
LEVEL 5 (NORTH BLDG)
LEVEL 5 (SOUTH BLDG)

SCALE: 1/8" = 1'-0"
JOB NO: 15-10
DRAWN: JKL, JKL, JKL
DATE: 14 APRIL 2015
CHECKED: WTL

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DRAWING NO.

A2.09

*The financial incentives will be incorporated into the final design based on the consultant's recommendations as permitted with, or mandated by, the Medical Health Office.

NEW DATE (MM/DD)
10/20/12 0000

4-0117 (2-09)	ISSUED FOR DP PROPOSED CONDITIONS
3-0116 (1-12)	ISSUED FOR DEVELOPMENT PERMIT
2-0115 (6-04)	URBAN DESIGN PHASE
1-0114 (2-01)	RECORDING
0-0113 (1-00)	ISSUED FOR

PROJECT NORTH

LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

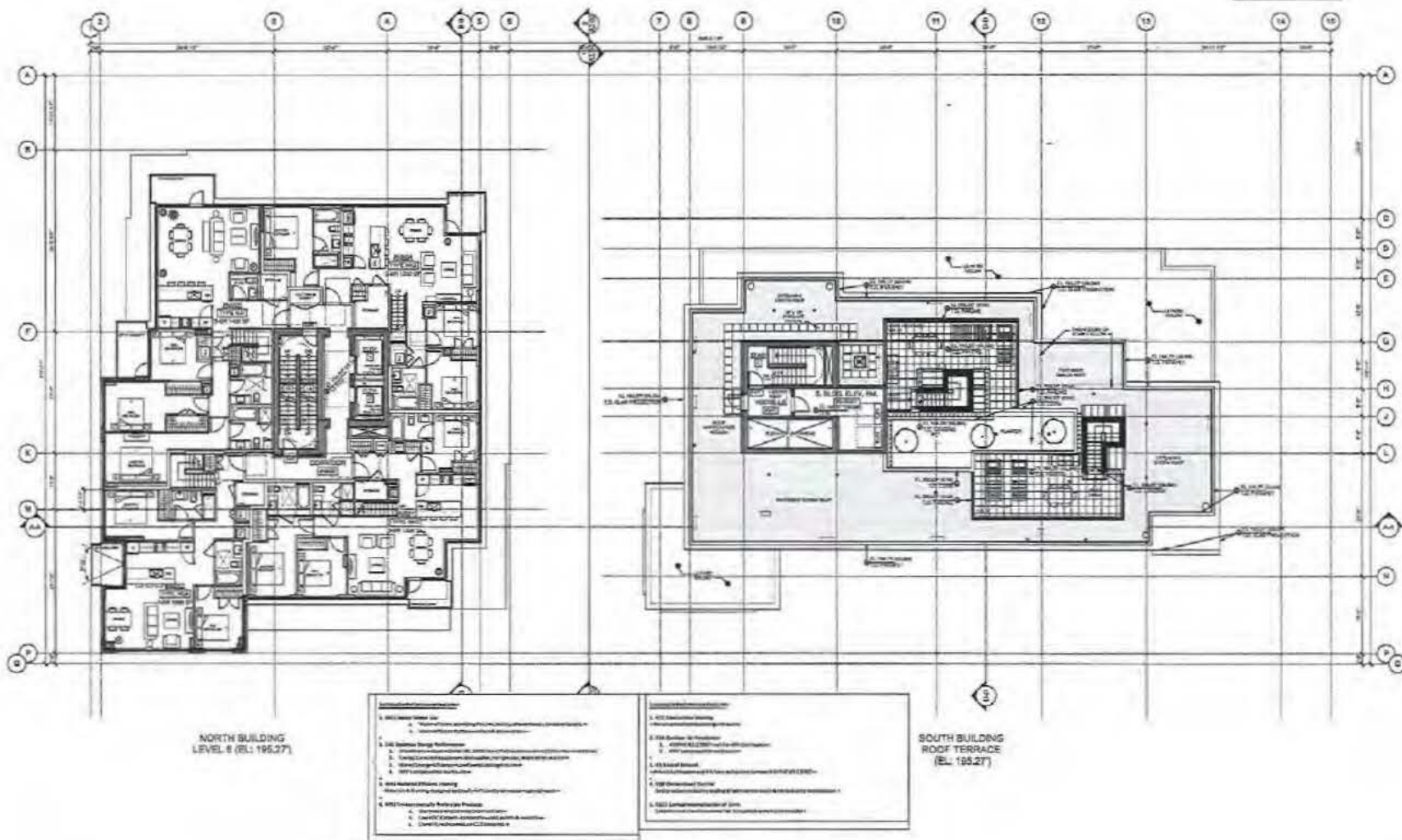
DRAWING TITLE

PLAN
LEVEL 6 (NORTH BLDG)
ROOF TERRACE
(SOUTH BLDG)

SCALE	1/8" = 1'-0"
JOB NO.	13-02
DRAWN	MD, RM, LL, SR
DATE	14 APRIL 2012
D-CHECKED	WTL

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A2.10



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I.R.C.**

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Canada V6C 1G3
Telephone (604) 681-0771

PLAT 00000000
1:1000 1:1000 1:1000

4.2017-2018
3.2016-2017
2.2015-2016
1.2014-2015
0.2013-2014

PROJECT NORTH
PROJECT

LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

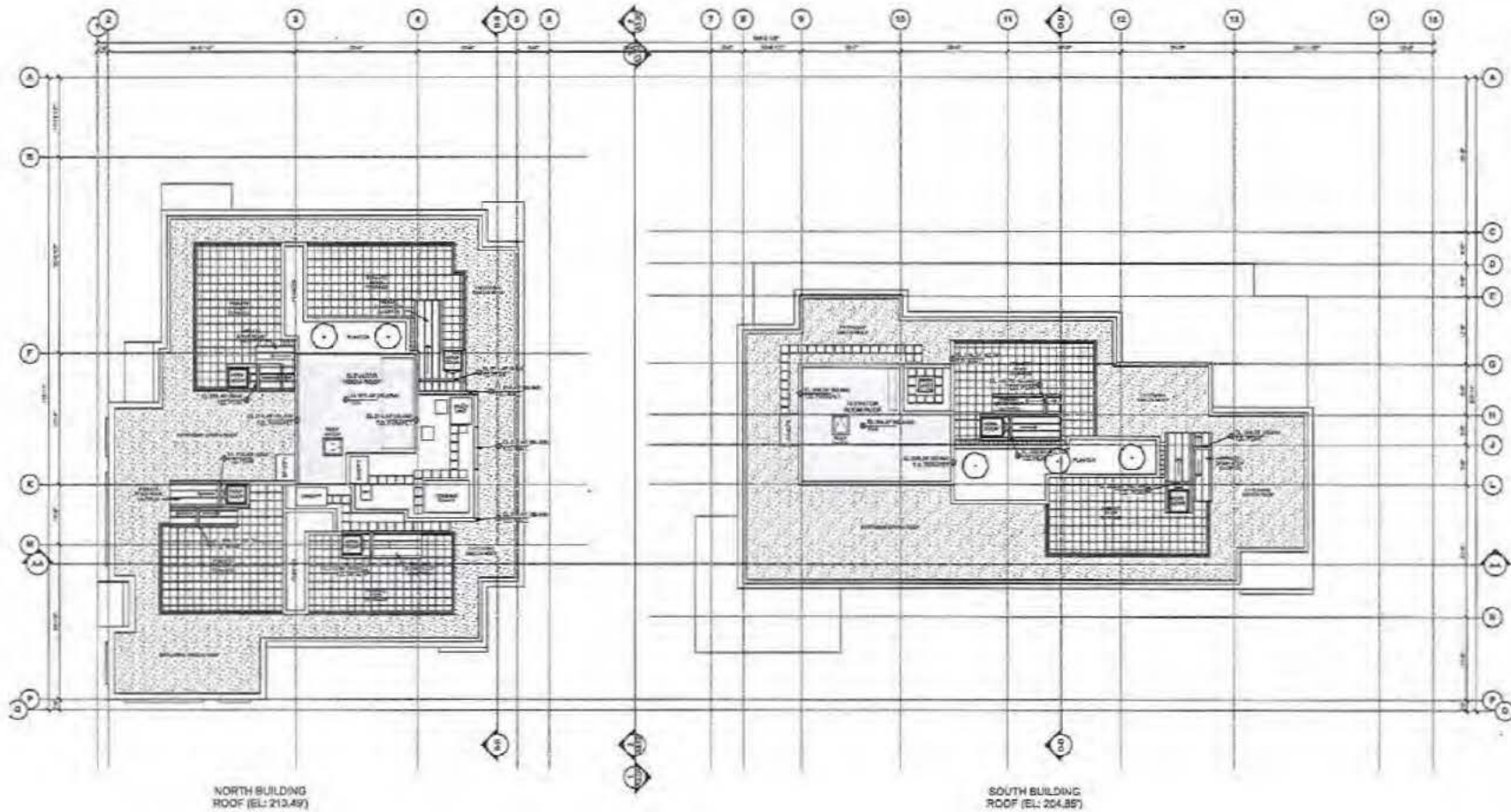
CHANGING TITLE

PLAN
ROOF PLAN
(NORTH BLDG)

SCALE: 1/8" = 1'-0"
JOB NO.: 13-018
OWNER: W.T. LEUNG
DATE: 14 APRIL 2015
CHECKED: WTL

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DRAWING NO.

A2.12



MATERIALS	
1	BRICK (NATURAL MATERIALS CO. IMPERIAL GRAY - MEDIUM)
2	PRE-FINISHED ALUMINUM WINDOW WALL
3	ALUMINUM CLADDING WITH GLASS INFILL PANELS
4	CAST-IN-PLACE CONCRETE WITH REVEALS & ELASTOMERIC PAINT
5	GLAZED CANOPY
6	ALUMINUM SLANDERON
7	PRE-FINISHED ALUMINUM CURTAIN WALL
8	PRECAST CONCRETE
9	PRE-FINISHED METAL FLASHING
10	ALUMINUM FRAME WITH SCREEN PANELS
11	ALUMINUM MECHANICAL LOUVERS
12	METAL ROOFING AND SIDING



2.2017.03.04 ISSUED FOR DP
3.2017.03.27 PRELIMINARY
3.2017.03.27 DEVELOPMENT PERMIT
2.2016.08.14 URBAN DESIGN PANEL
1.2014.10.15 RECORDING
1.2014.10.15 RECORDING

PROJECT
LANGARA WEST
7510-7584 Cambie Street
Vancouver, B.C.

DRAWING TITLE
ELEVATIONS
**WEST (NORTH &
SOUTH BLDGS)**

SCALE 1/8" = 1'-0"
JOB NO. 17-01
DRAWN BY: W.T. LEUNG
DATE: 18 MARCH 2015
CHECKED BY: WTL

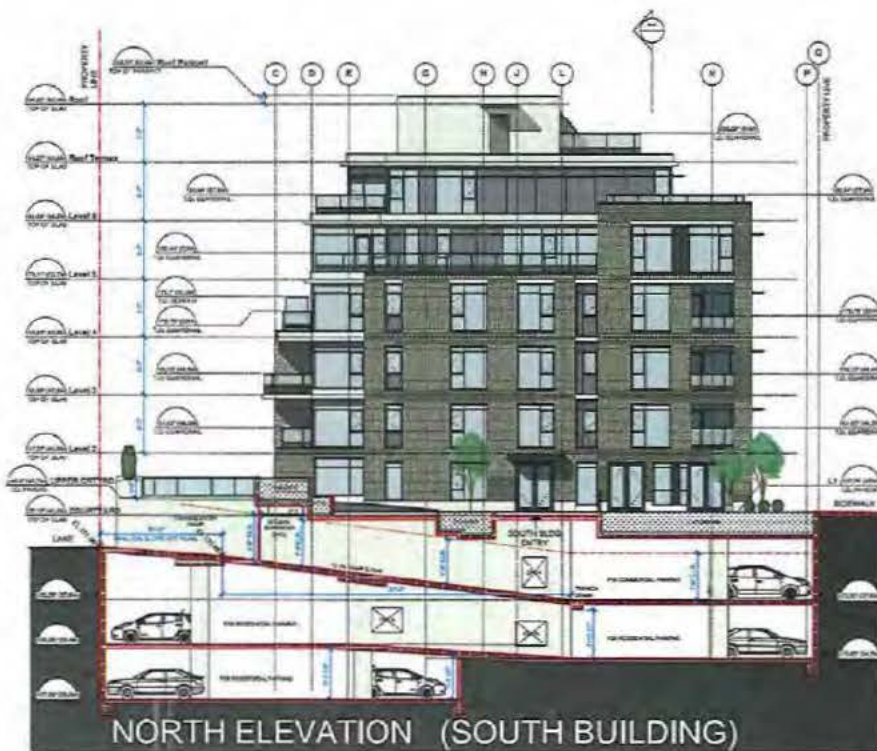
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DRAWING NO.

A3.01

INTERIOR	
BRICK/CLAY TILE, INTERIORS (CL, INTERIOR GRAY - HESSE)	
PRE FINISHED ALUMINUM WINDOW WALL	
ALUMINUM GLAZING WITH GLASS INFILL PANELS	
CAST-IN-PLACE CONCRETE WITH REVEALS & ELASTOMERIC PAINT	
GLAZED CANOPY	
ALUMINUM SUBSIDIARY	
PRE FINISHED ALUMINUM CURTAIN WALL	
PRECAST CONCRETE	
PRE FINISHED METAL FLASHING	
ALUMINUM FRAME WITH GLASS PANELS	
ALUMINUM MECHANICAL LOUVER	
METAL ROOFING AND Siding	







4.2017.24 - ISSUED FOR CP
PROPOSAL CONDITIONS
3.2016.11.17 - ISSUED FOR
DEVELOPMENT PERMIT
2.2016.01.14 - URBAN DESIGN PHASE
1.2014.12.14 - RECORDING
7.2014.01.01 - DESIGN TOP

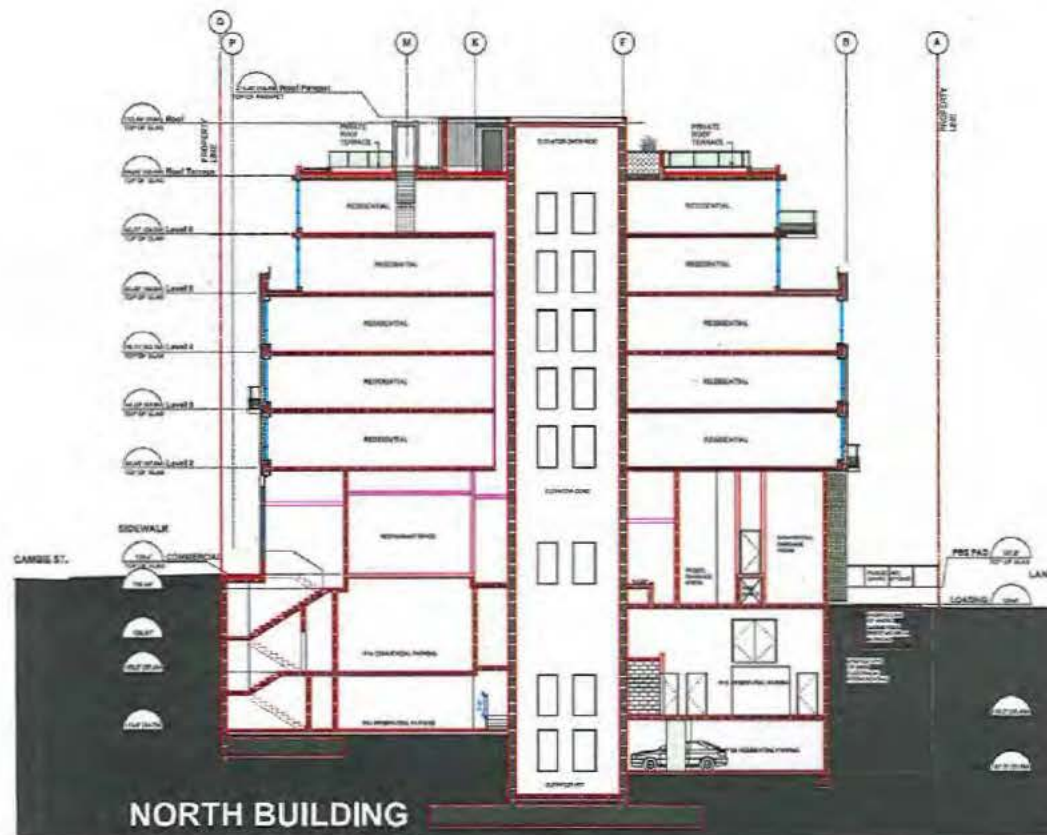
PROJECT
LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE
ELEVATIONS
NORTH & SOUTH
(SOUTH BLDG)

SCALE 1/8" = 1'-0"
JOB NO. 13-15
DRAWN M.E. NIKLAVIC
DATE 10 MARCH 2015
CHECKED W.T.L.

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DRAWING NO.

A3.04



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ARCHITECTS
I.R.C.**

Units 101 - 871 West Broadway
Vancouver, British Columbia
Canada V6C 1G3
Telephone (604) 754-8771

SCALE: 1/8" = 1'-0"
1/8" = 1'-0"

4. 2017.08.04 ISSUED FOR PERMIT
2. 2015.11.17 ISSUED FOR PERMIT
1. 2015.11.17 ISSUED FOR PERMIT
1. 2014.12.15 REVISION
1. 2014.12.15 REVISION

PROJECT
LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE
Section B-B

SCALE: 1/8" = 1'-0"
JOB NO.: 15-02
DRAWN: WTLA, LALR
DATE: 06 MARCH 2015
CHECKED: WTL

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7/26/2015 WTL

A4.02

REV. DATE (NAME)
1 1999 M. 0001

4 2017 20 18 ISSUED FOR DP
3 2014 17 22 ISSUED FOR
2 2014 01 14 URBAN DESIGN PANEL
1 2014 12 18 REVISIONS
1 2014 12 18 REVISIONS

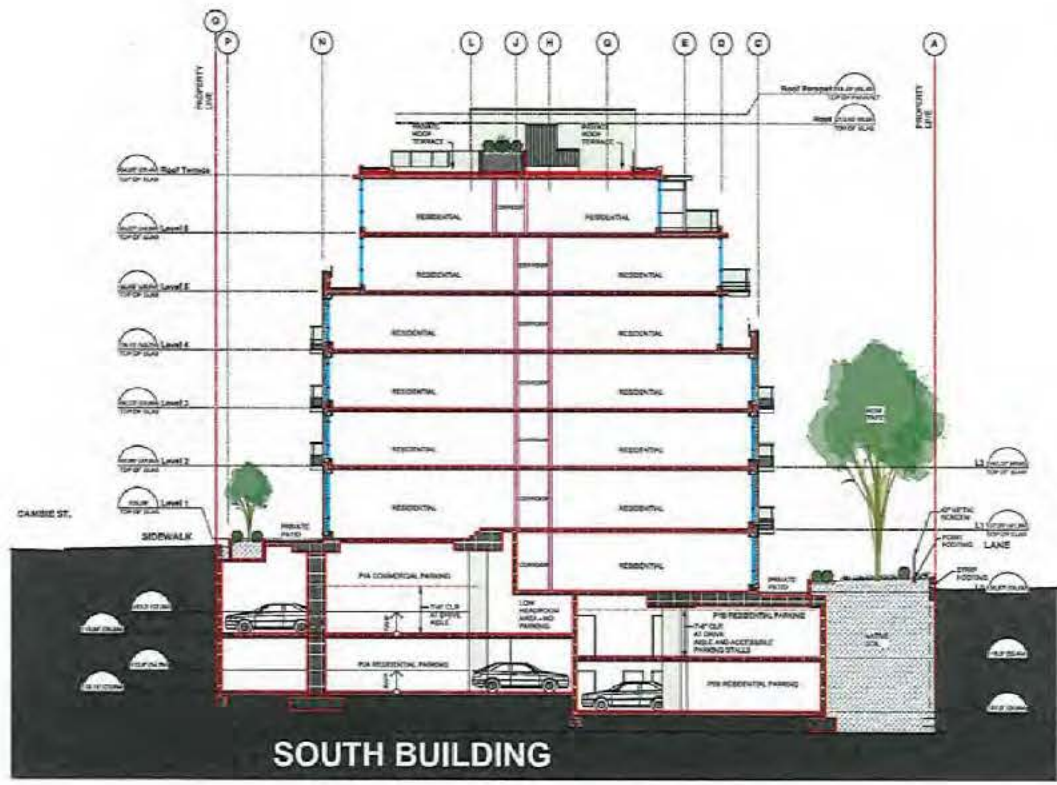
PROJECT
LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE
Section D-D

SCALE 1/8" = 1'-0"
JOB NO. 1345
DRAWN WTLA, LLX
DATE 28 MARCH 2018
CHECKED WTL

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DRAWING NO.

A4.03



1. Sectional Performance of the Building
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**W.T. LEUNG
ARCHITECTS
I.N.C.**

Suite 300 • 872 West Broadway
Vancouver, British Columbia
Canada V5Z 0G3
Telephone (604) 684-7777

BALCONY RAIL

LEVEL 3
T.O.S.: 166.53'

SUNSHADE
BEYOND

PATIO RAIL

LEVEL 2
T.O.S.: 139.40'

PRECAST CONC.

GLASS CANOPY

SURFACE MTD.
LIGHT FIXTURE

CONC. CURB

LEVEL 1
T.O.S.: 139.40'

ISSUED FOR O.P.
PROVING CONDITIONS
7/20/2018 10:00 AM

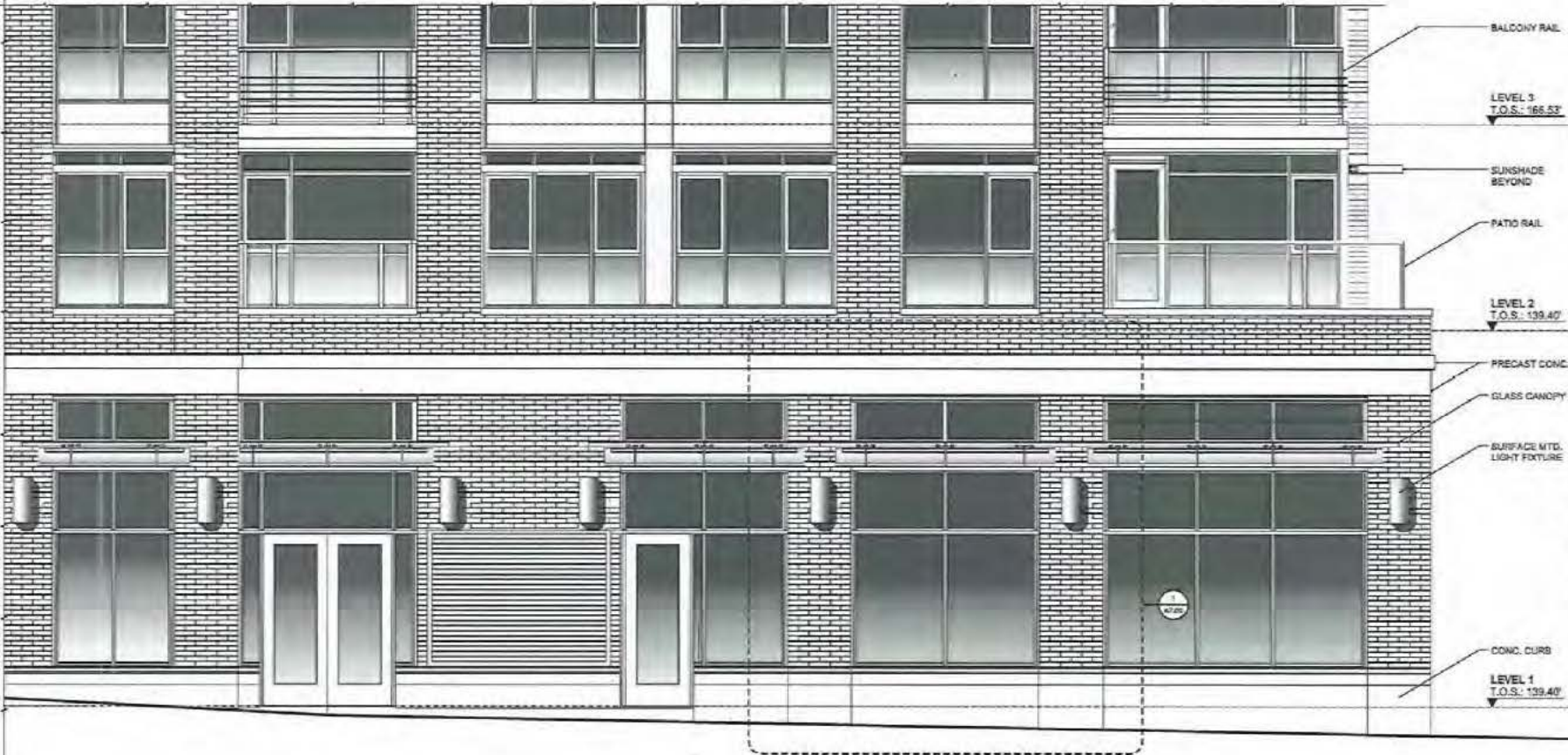
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LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE
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PART. WEST ELEV.
@ COMM. ENTRANCE
& MECH. LOUVER

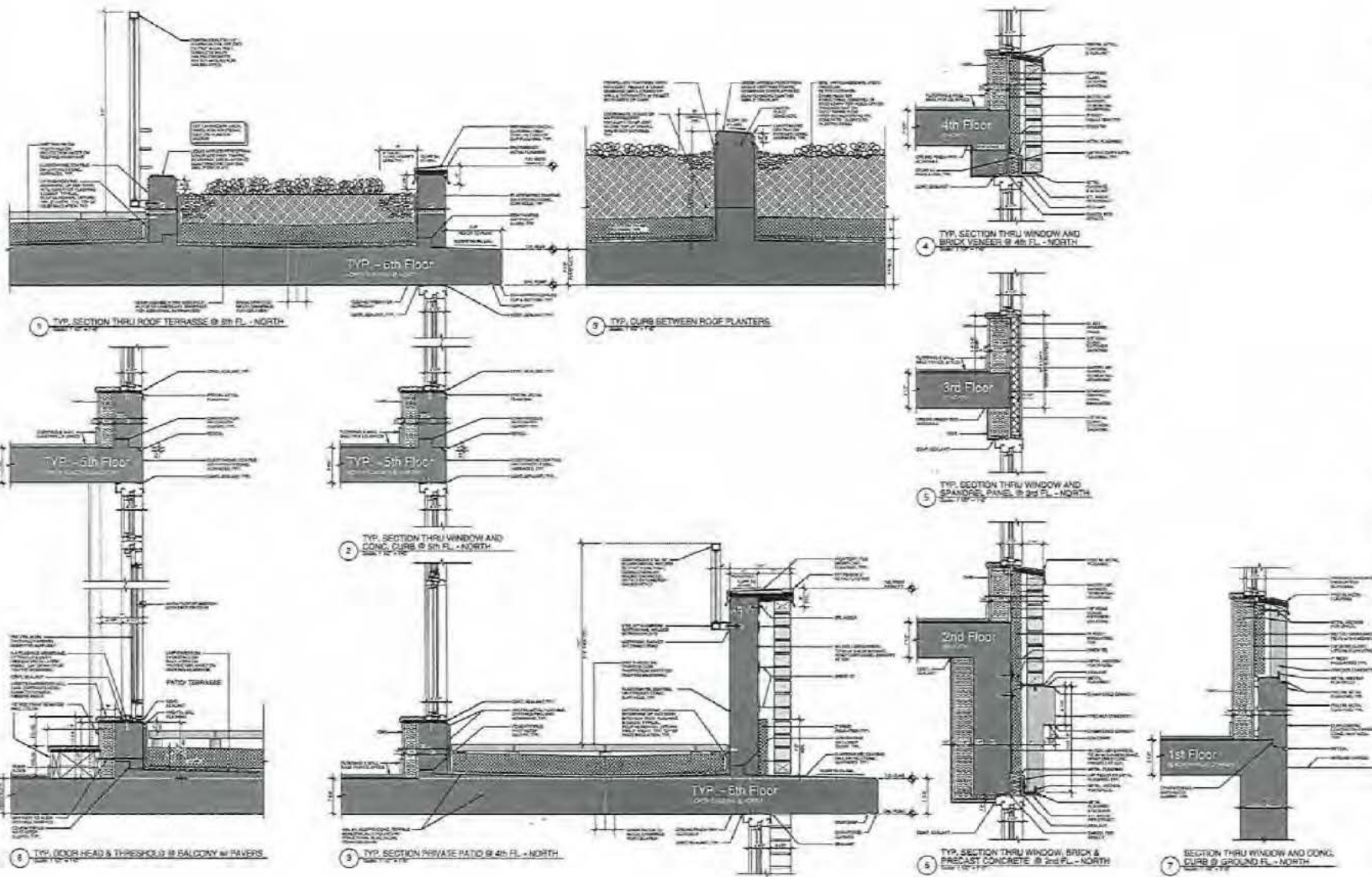
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JOB NO. 13-10
DRAWN VS.
DATE 18 MARCH 2018
CHECKED WTL

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DRAWING NO.
A5.09



7
A5.09 SOUTH BUILDING - PARTIAL WEST ELEVATION @ COMMERCIAL ENTRANCE
SCALE: 1/2" = 1'-0"



W.T. LEUNG
ARCHITECTS
INC.

Suite 207-812 Third Avenue
Vancouver, British Columbia
Canada V5C 9C3
Telephone (604) 756-8111

DATE: (REV)
11/03/01 1000

PROJECT: LANGLEY WEST
7510-7554 Cambie Street
Vancouver, B.C.

PROJECT: LANGLEY WEST
7510-7554 Cambie Street
Vancouver, B.C.

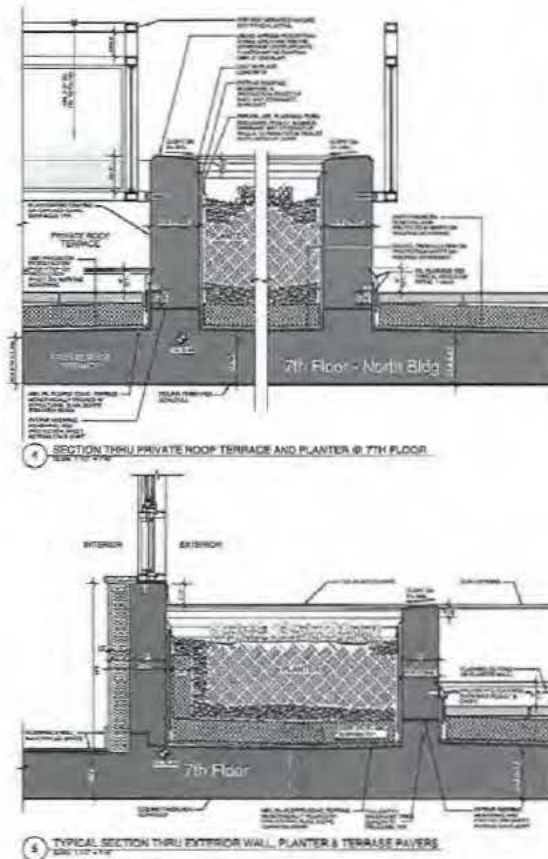
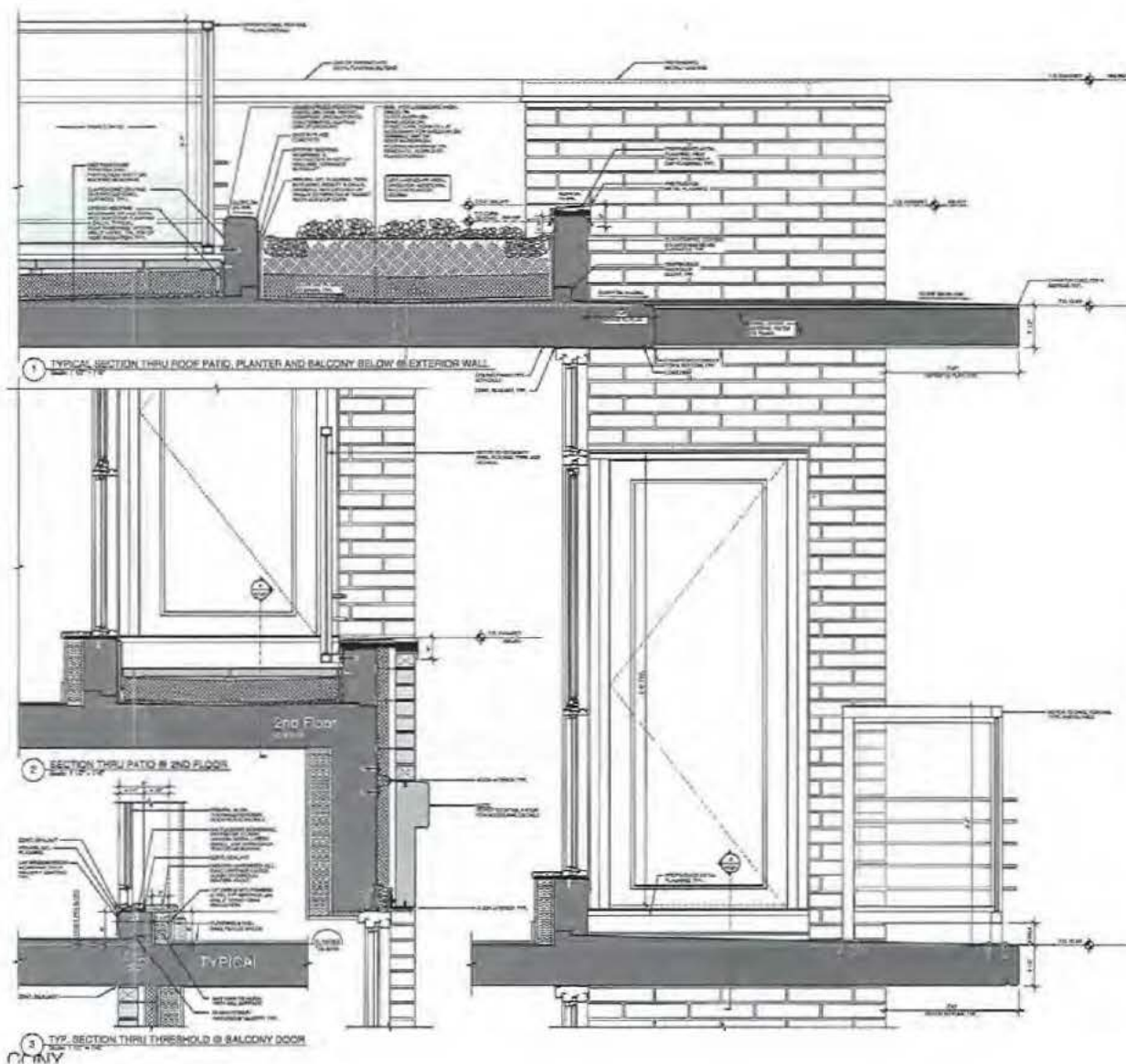
SECTION
NORTH BUILDING
NORTH SECTIONS
TYPICAL DETAILS

SCALE: AS SHOWN
JOB NO: 13-00
DRAWN: YS
DATE: 10 MARCH 2015
CHECKED: WTL

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Architects Inc. and cannot be used
without the architect's consent.

DRAWING NO.

A7.01



**W.T. LEUNG
ARCHITECTS
INC.**

340 281-0721 ext. 200
Vancouver, British Columbia
Canada V6C 5K3
Telephone: 604-681-7347

ALL DIMENSIONS
IN MILLIMETERS

1.000000
1.000000
1.000000

PROJECT
LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE

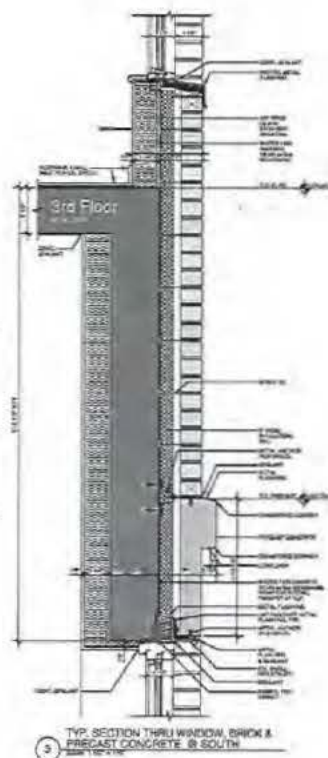
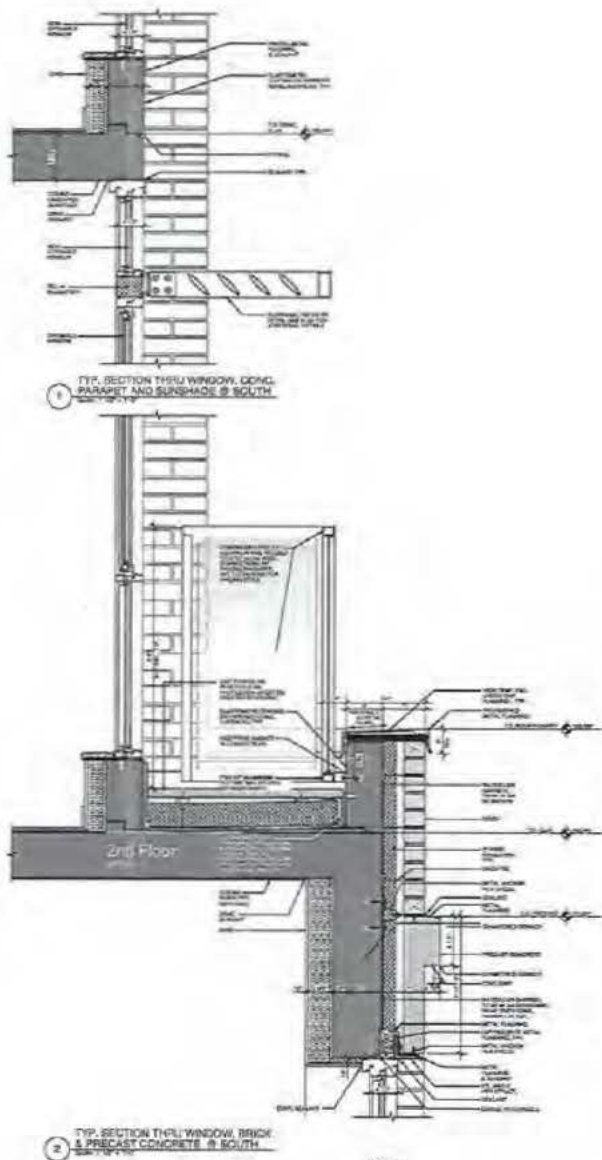
SECTIONS
NORTH BUILDING
NORTH SECTIONS
&
TYPICAL DETAILS

SCALE: AS SHOWN
JOB NO. 13410
DRAWN BY VS
DATE 10 MARCH 2010
CHECKED WTL

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DRAWING NO.

A7.02



W.T. LEUNG
ARCHITECTS
INC.

546 251-8770 Fax: 251-8771
Vancouver, British Columbia
Canada, V6C 2G2
Telephone (604) 734-0771

NOT TO SCALE
1/8" = 1'-0" 1/4" = 1'-0" 1/2" = 1'-0"

1/8" = 1'-0" 1/4" = 1'-0" 1/2" = 1'-0"
1/8" = 1'-0" 1/4" = 1'-0" 1/2" = 1'-0"

PROJECT

LANGARA WEST
7510-7534 Cambie Street
Vancouver, B.C.

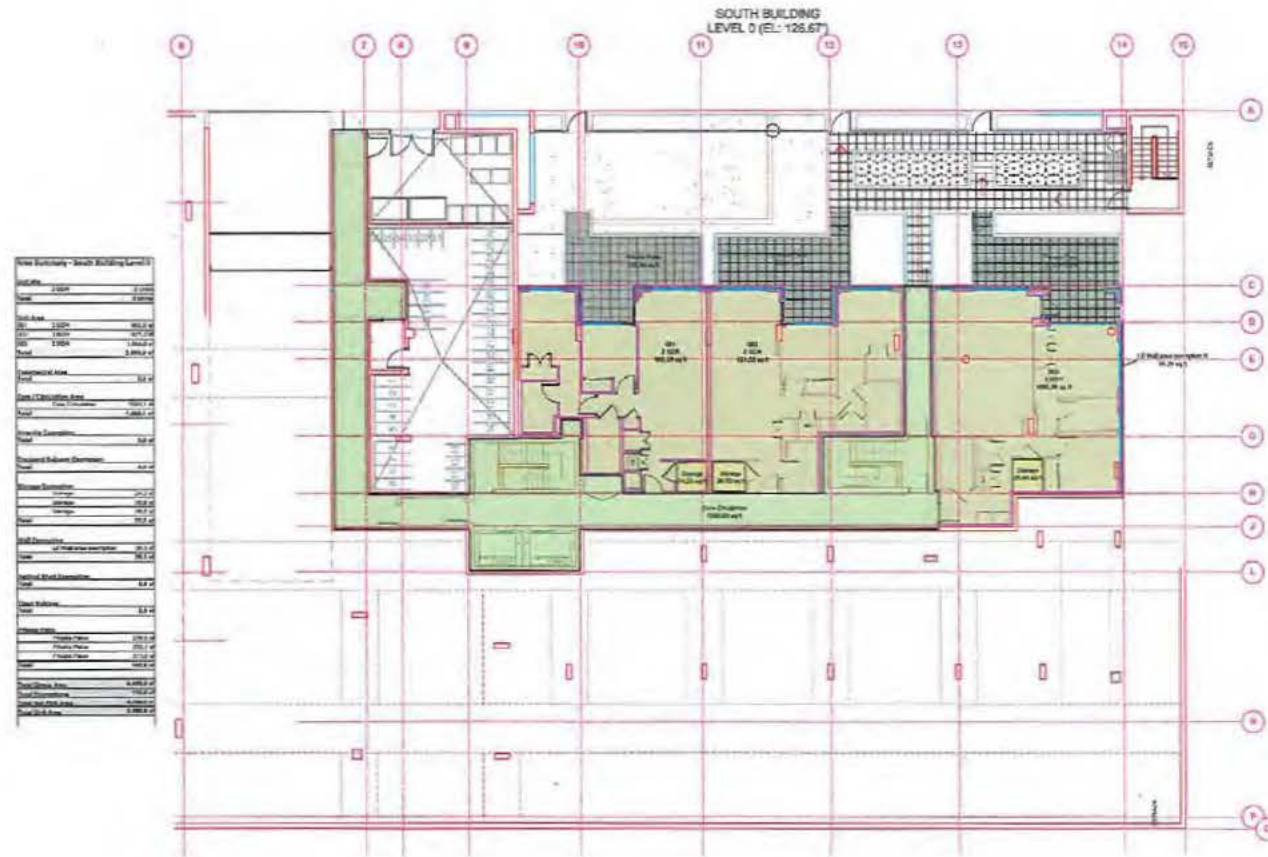
DRAWING TITLE

SECTIONS
NORTH BUILDING
SOUTH SECTIONS
TYPICAL DETAILS

SCALE: AS SHOWN
JOB NO. 13-02
DRAWN: WTL
DATE: 10 MARCH 2015
CHECKED: WTL

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DRAWING NO.

A7.04



4-10/19/03 ISSUED FOR BP
PROVIDE COMMENTS
3-20/19/03 ISSUED FOR
DEVELOPMENT PERMIT
2-20/19/03 ISSUED FOR
DESIGN PERMIT
1-20/19/03 ISSUED FOR
DESIGN PERMIT

PROJECT NORTH
PROJECT
LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE
FSR
LEVEL 0 (SOUTH BLDG)

SCALE 1/8" = 1'-0"
JOB NO. 10410
DRAWN BY: W.T. LEUNG
DATE 14 APRIL 2010
CHECKED BY: W.T.

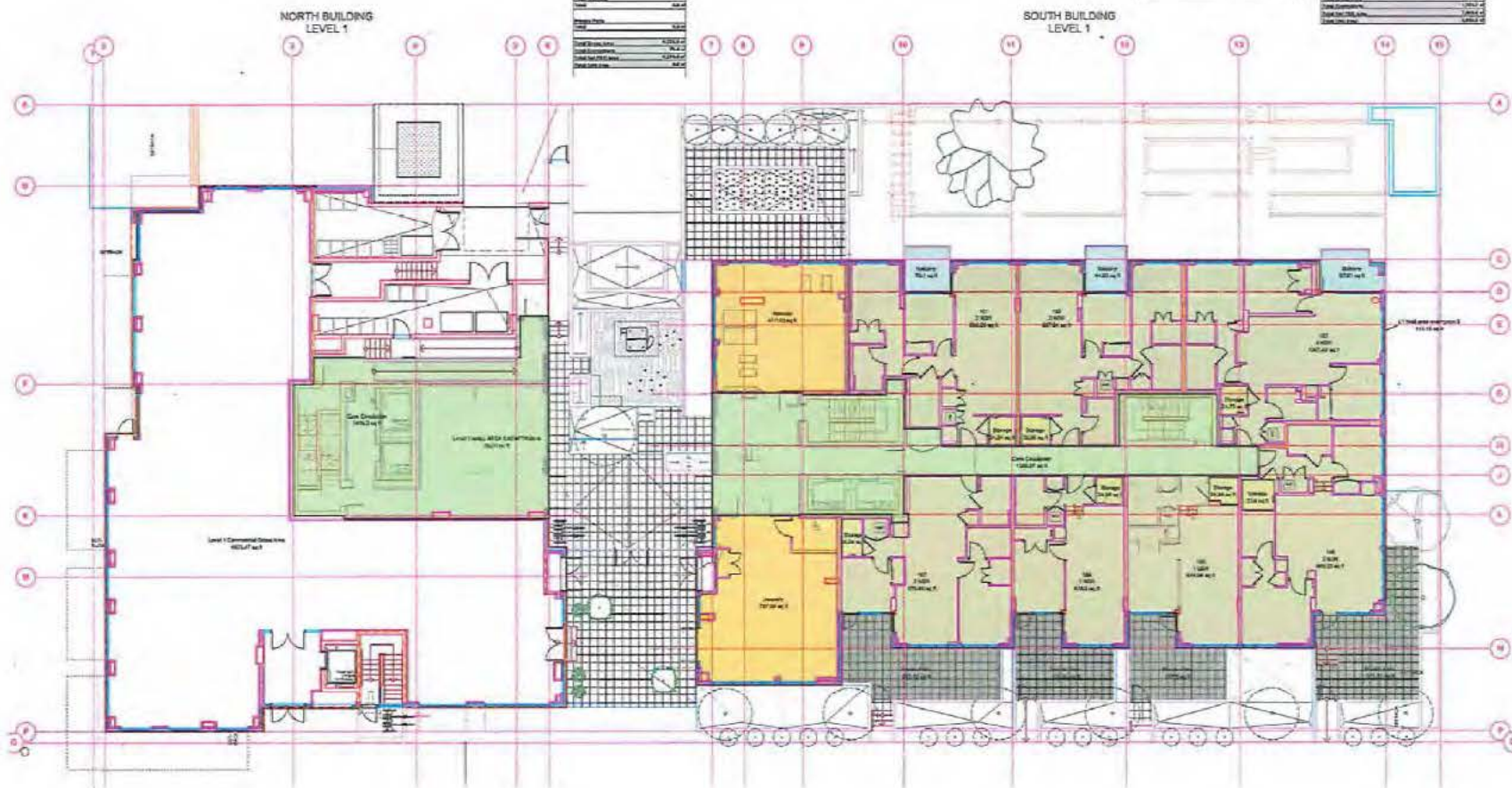
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exclusive property of W.T. Leung
Architects Inc. and cannot be used
without the Architect's consent.
DRAWING NO.

FSR-1


[illegible][illegible]

Suite 300 - 872 West Broadway
Vancouver, British Columbia
Canada V6Z 1K3
Telephone: (604) 726-8711

 NATIONAL BUREAU OF STANDARDS



4/2017/25/34	ISSUED FOR DP PRIORITY CONDITIONS
3/2014/11/27	ISSUED FOR DEVELOPMENT PERMIT
2/2015/15/14	URBAN DESIGN PANEL
1/2014/12/16	REZONING
7/2016/2015/2015/2015	DATE ISSUED

PROJECT NORTH 
PROJECT
LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE

FSR

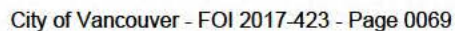
**LEVEL 1 (NORTH &
SOUTH BLDGS)**

SCALE	1/8" = 1'-0"
JOB NO.	13-10
DRAWN	ME, NM, LLVK
DATE	14 APRIL 2013
CHECKED	WTL

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DRAWING NO.

FSR-2



Area Summary - North Building Level 2			
Room	Area	Volume	Weight
2000	1,000.00	1,000.00	1,000.00
2001	1,000.00	1,000.00	1,000.00
2002	1,000.00	1,000.00	1,000.00
2003	1,000.00	1,000.00	1,000.00
2004	1,000.00	1,000.00	1,000.00
2005	1,000.00	1,000.00	1,000.00
2006	1,000.00	1,000.00	1,000.00
2007	1,000.00	1,000.00	1,000.00
2008	1,000.00	1,000.00	1,000.00
2009	1,000.00	1,000.00	1,000.00
2010	1,000.00	1,000.00	1,000.00
2011	1,000.00	1,000.00	1,000.00
2012	1,000.00	1,000.00	1,000.00
2013	1,000.00	1,000.00	1,000.00
2014	1,000.00	1,000.00	1,000.00
2015	1,000.00	1,000.00	1,000.00
2016	1,000.00	1,000.00	1,000.00
2017	1,000.00	1,000.00	1,000.00
2018	1,000.00	1,000.00	1,000.00
2019	1,000.00	1,000.00	1,000.00
2020	1,000.00	1,000.00	1,000.00
2021	1,000.00	1,000.00	1,000.00
2022	1,000.00	1,000.00	1,000.00
2023	1,000.00	1,000.00	1,000.00
2024	1,000.00	1,000.00	1,000.00
2025	1,000.00	1,000.00	1,000.00
2026	1,000.00	1,000.00	1,000.00
2027	1,000.00	1,000.00	1,000.00
2028	1,000.00	1,000.00	1,000.00
2029	1,000.00	1,000.00	1,000.00
2030	1,000.00	1,000.00	1,000.00
2031	1,000.00	1,000.00	1,000.00
2032	1,000.00	1,000.00	1,000.00
2033	1,000.00	1,000.00	1,000.00
2034	1,000.00	1,000.00	1,000.00
2035	1,000.00	1,000.00	1,000.00
2036	1,000.00	1,000.00	1,000.00
2037	1,000.00	1,000.00	1,000.00
2038	1,000.00	1,000.00	1,000.00
2039	1,000.00	1,000.00	1,000.00
2040	1,000.00	1,000.00	1,000.00
2041	1,000.00	1,000.00	1,000.00
2042	1,000.00	1,000.00	1,000.00
2043	1,000.00	1,000.00	1,000.00
2044	1,000.00	1,000.00	1,000.00
2045	1,000.00	1,000.00	1,000.00
2046	1,000.00	1,000.00	1,000.00
2047	1,000.00	1,000.00	1,000.00
2048	1,000.00	1,000.00	1,000.00
2049	1,000.00	1,000.00	1,000.00
2050	1,000.00	1,000.00	1,000.00
2051	1,000.00	1,000.00	1,000.00
2052	1,000.00	1,000.00	1,000.00
2053	1,000.00	1,000.00	1,000.00
2054	1,000.00	1,000.00	1,000.00
2055	1,000.00	1,000.00	1,000.00
2056	1,000.00	1,000.00	1,000.00
2057	1,000.00	1,000.00	1,000.00
2058	1,000.00	1,000.00	1,000.00
2059	1,000.00	1,000.00	1,000.00
2060	1,000.00	1,000.00	1,000.00
2061	1,000.00	1,000.00	1,000.00
2062	1,000.00	1,000.00	1,000.00
2063	1,000.00	1,000.00	1,000.00
2064	1,000.00	1,000.00	1,000.00
2065	1,000.00	1,000.00	1,000.00
2066	1,000.00	1,000.00	1,000.00
2067	1,000.00	1,000.00	1,000.00
2068	1,000.00	1,000.00	1,000.00
2069	1,000.00	1,000.00	1,000.00
2070	1,000.00	1,000.00	1,000.00
2071	1,000.00	1,000.00	1,000.00
2072	1,000.00	1,000.00	1,000.00
2073	1,000.00	1,000.00	1,000.00
2074	1,000.00	1,000.00	1,000.00
2075	1,000.00	1,000.00	1,000.00
2076	1,000.00	1,000.00	1,000.00
2077	1,000.00	1,000.00	1,000.00
2078	1,000.00	1,000.00	1,000.00
2079	1,000.00	1,000.00	1,000.00
2080	1,000.00	1,000.00	1,000.00
2081	1,000.00	1,000.00	1,000.00
2082	1,000.00	1,000.00	1,000.00
2083	1,000.00	1,000.00	1,000.00
2084	1,000.00	1,000.00	1,000.00
2085	1,000.00	1,000.00	1,000.00
2086	1,000.00	1,000.00	1,000.00
2087	1,000.00	1,000.00	1,000.00
2088	1,000.00	1,000.00	1,000.00
2089	1,000.00	1,000.00	1,000.00
2090	1,000.00	1,000.00	1,000.00
2091	1,000.00	1,000.00	1,000.00
2092	1,000.00	1,000.00	1,000.00
2093	1,000.00	1,000.00	1,000.00
2094	1,000.00	1,000.00	1,000.00
2095	1,000.00	1,000.00	1,000.00
2096	1,000.00	1,000.00	1,000.00
2097	1,000.00	1,000.00	1,000.00
2098	1,000.00	1,000.00	1,000.00
2099	1,000.00	1,000.00	1,000.00
2100	1,000.00	1,000.00	1,000.00
2101	1,000.00	1,000.00	1,000.00
2102	1,000.00	1,000.00	1,000.00
2103	1,000.00	1,000.00	1,000.00
2104	1,000.00	1,000.00	1,000.00
2105	1,000.00	1,000.00	1,000.00
2106	1,000.00	1,000.00	1,000.00
2107	1,000.00	1,000.00	1,000.00
2108	1,000.00	1,000.00	1,000.00
2109	1,000.00	1,000.00	1,000.00
2110	1,000.00	1,000.00	1,000.00
2111	1,000.00	1,000.00	1,000.00
2112	1,000.00	1,000.00	1,000.00
2113	1,000.00	1,000.00	1,000.00
2114	1,000.00	1,000.00	1,000.00
2115	1,000.00	1,000.00	1,000.00
2116	1,000.00	1,000.00	1,000.00
2117	1,000.00	1,000.00	1,000.00
2118	1,000.00	1,000.00	1,000.00
2119	1,000.00	1,000.00	1,000.00
2120	1,000.00	1,000.00	1,000.00
2121	1,000.00	1,000.00	1,000.00
2122	1,000.00	1,000.00	1,000.00
2123	1,000.00	1,000.00	1,000.00
2124	1,000.00	1,000.00	1,000.00
2125	1,000.00	1,000.00	1,000.00
2126	1,000.00	1,000.00	1,000.00
2127	1,000.00	1,000.00	1,000.00
2128	1,000.00	1,000.00	1,000.00
2129	1,000.00	1,000.00	1,000.00
2130	1,000.00	1,000.00	1,000.00
2131	1,000.00	1,000.00	1,000.00
2132	1,000.00	1,000.00	1,000.00
2133	1,000.00	1,000.00	1,000.00
2134	1,000.00	1,000.00	1,000.00
2135	1,000.00	1,000.00	1,000.00
2136	1,000.00	1,000.00	1,000.00
2137	1,000.00	1,000.00	1,000.00
2138	1,000.00	1,000.00	1,000.00
2139	1,000.00	1,000.00	1,000.00
2140	1,000.00	1,000.00	1,000.00
2141	1,000.00	1,000.00	1,000.00
2142	1,000.00	1,000.00	1,000.00
2143	1,000.00	1,000.00	1,000.00
2144	1,000.00	1,000.00	1,000.00
2145	1,000.00	1,000.00	1,000.00
2146	1,000.00	1,000.00	1,000.00
2147	1,000.00	1,000.00	1,000.00
2148	1,000.00	1,000.00	1,000.00
2149	1,000.00	1,000.00	1,000.00
2150	1,000.00	1,000.00	1,000.00
2151	1,000.00	1,000.00	1,000.00
2152	1,000.00	1,000.00	1,000.00
2153	1,000.00	1,000.00	1,000.00
2154	1,000.00	1,000.00	1,000.00
2155	1,000.00	1,000.00	1,000.00
2156	1,000.00	1,000.00	1,000.00
2157	1,000.00	1,000.00	1,000.00
2158	1,000.00	1,000.00	1,000.00
2159	1,000.00	1,000.00	1,000.00
2160	1,000.00	1,000.00	1,000.00
2161	1,000.00	1,000.00	1,000.00
2162	1,000.00	1,000.00	1,000.00
2163	1,000.00	1,000.00	1,000.00
2164	1,000.00	1,000.00	1,000.00
2165	1,000.00	1,000.00	1,000.00
2166	1,000.00	1,000.00	1,000.00
2167	1,000.00	1,000.00	1,000.00
2168	1,000.00	1,000.00	1,000.00
2169	1,000.00	1,000.00	1,000.00
2170	1,000.00	1,000.00	1,000.00
2171	1,000.00	1,000.00	1,000.00
2172	1,000.00	1,000.00	1,000.00
2173	1,000.00	1,000.00	1,000.00
2174	1,000.00	1,000.00	1,000.00
2175	1,000.00	1,000.00	1,000.00
2176	1,000.00	1,000.00	1,000.00
2177	1,000.00	1,000.00	1,000.00
2178	1,000.00	1,000.00	1,000.00
2179	1,000.00	1,000.00	1,000.00
2180	1,000.00	1,000.00	1,000.00
2181	1,000.00	1,000.00	1,000.00
2182	1,000.00	1,000.00	1,000.00
2183	1,000.00	1,000.00	1,000.00
2184	1,000.00	1,000.00	1,000.00
2185	1,000.00	1,000.00	1,000.00
2186	1,000.00	1,000.00	1,000.00
2187	1,000.00	1,000.00	1,000.00
2188	1,000.00	1,000.00	1,000.00
2189	1,000.00	1,000.00	1,000.00
2190	1,000.00	1,000.00	1,000.00
2191	1,000.00	1,000.00	1,000.00
2192	1,000.00	1,000.00	1,000.00
2193	1,000.00	1,000.00	1,000.00
2194	1,000.00	1,000.00	1,000.00
2195	1,000.00	1,000.00	1,000.00
2196	1,000.00	1,000.00	1,000.00
2197	1,000.00	1,000.00	1,000.00
2198	1,000.00	1,000.00	1,000.00
2199	1,000.00	1,000.00	1,000.00
2200	1,000.00	1,000.00	1,000.00
2201	1,000.00	1,000.00	1,000.00
2202	1,000.00	1,000.00	1,000.00
2203	1,000.00	1,000.00	1,000.00
2204	1,000.00	1,000.00	1,000.00
2205	1,000.00	1,000.00	1,000.00
2206	1,000.00	1,000.00	1,000.00
2207	1,000.00	1,000.00	1,000.00
2208	1,000.00	1,000.00	1,000.00
2209	1,000.00	1,000.00	1,000.00
2210	1,000.00	1,000.00	1,000.00
2211	1,000.00	1,000.00	1,000.00
2212	1,000.00	1,000.00	1,000.00
2213	1,000.00	1,000.00	1,000.00
2214	1,000.00	1,000.00	1,000.00
2215	1,000.00	1,000.00	1,000.00
2216	1,000.00	1,000.00	1,000.00
2217	1,000.00	1,000.00	1,000.00
2218	1,000.00	1,000.00	1,000.00
2219	1,000.00	1,000.00	1,000.00
2220	1,000.00	1,000.00	1,000.00
2221	1,000.00	1,000.00	1,000.00
2222	1,000.00	1,000.00	1,000.00
2223	1,000.00	1,000.00	1,000.00
2224	1,000.00	1,000.00	1,000.00
2225	1,000.00	1,000.00	1,000.00
2226	1,000.00	1,000.00	1,000.00
2227	1,000.00	1,000.00	1,000.00
2228	1,000.00	1,000.00	1,000.00
2229	1,000.00	1,000.00	1,000.00
2230	1,000.00	1,000.00	1,000.00
2231	1,000.00	1,000.00	1,000.00
2232	1,000.00	1,000.00	1,000.00
2233	1,000.00	1,000.00	1,000.00
2234	1,000.00	1,000.00	1,000.00
2235	1,000.00	1,000.00	1,000.00
2236	1,000.00	1,000.00	1,000.00
2237			

Area Summary - North Building Level 3	
Sub Area	1.000
1.000	1.000
2.000	2.000
3.000	3.000
4.000	4.000
5.000	5.000
6.000	6.000
7.000	7.000
8.000	8.000
9.000	9.000
10.000	10.000
11.000	11.000
12.000	12.000
13.000	13.000
14.000	14.000
15.000	15.000
16.000	16.000
17.000	17.000
18.000	18.000
19.000	19.000
20.000	20.000
21.000	21.000
22.000	22.000
23.000	23.000
24.000	24.000
25.000	25.000
26.000	26.000
27.000	27.000
28.000	28.000
29.000	29.000
30.000	30.000
31.000	31.000
32.000	32.000
33.000	33.000
34.000	34.000
35.000	35.000
36.000	36.000
37.000	37.000
38.000	38.000
39.000	39.000
40.000	40.000
41.000	41.000
42.000	42.000
43.000	43.000
44.000	44.000
45.000	45.000
46.000	46.000
47.000	47.000
48.000	48.000
49.000	49.000
50.000	50.000
51.000	51.000
52.000	52.000
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91.000	91.000
92.000	92.000
93.000	93.000
94.000	94.000
95.000	95.000
96.000	96.000
97.000	97.000
98.000	98.000
99.000	99.000
100.000	100.000

Area Summary - South Building Level 4	
Sub Area	1.000
1.000	1.000
2.000	2.000
3.000	3.000
4.000	4.000
5.000	5.000
6.000	6.000
7.000	7.000
8.000	8.000
9.000	9.000
10.000	10.000
11.000	11.000
12.000	12.000
13.000	13.000
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34.000	34.000
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36.000	36.000
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38.000	38.000
39.000	39.000
40.000	40.000
41.000	41.000
42.000	42.000
43.000	43.000
44.000	44.000
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99.000	99.000
100.000	100.000

Area Summary - South Building Level 4	
Sub Area	1.000
1.000	1.000
2.000	2.000
3.000	3.000
4.000	4.000
5.000	5.000
6.000	6.000
7.000	7.000
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98.000	98.000
99.000	99.000
100.000	100.000

NORTH BUILDING
LEVEL 3 (EL: 166.53)

SOUTH BUILDING
LEVEL 4 (EL: 166.53)

Area Summary - North Building Level 6	
Sub Area	
1	2,100.0
2	1,000.0
3	1,000.0
4	1,000.0
5	1,000.0
6	1,000.0
7	1,000.0
8	1,000.0
9	1,000.0
10	1,000.0
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12	1,000.0
13	1,000.0
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15	1,000.0
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96	1,000.0
97	1,000.0
98	1,000.0
99	1,000.0
100	1,000.0

Area Summary - South Building Roof Terrace	
Sub Area	
1	2,100.0
2	1,000.0
3	1,000.0
4	1,000.0
5	1,000.0
6	1,000.0
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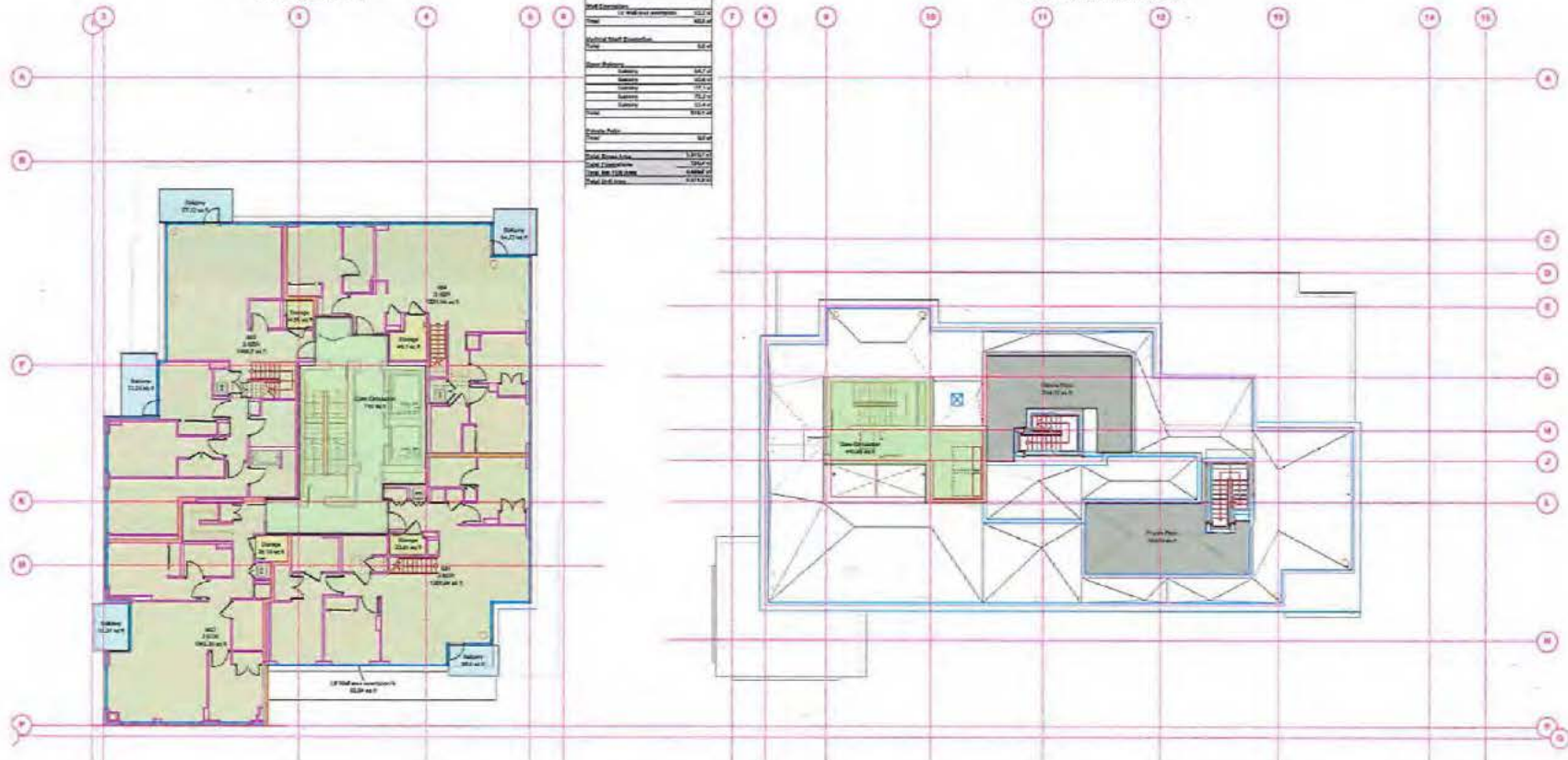
W.T. LEUNG ARCHITECTS
I.N.C.

Suite 202 - 672 West Broadway
Vancouver, British Columbia
Canada V5Z 1G2
Telephone (604) 734-8771

REVISED DATE: 10/01/00

NORTH BUILDING
LEVEL 6 (EL: 195.27)

SOUTH BUILDING
ROOF TERRACE (EL: 195.27)



1 2017 01 01 ISSUED FOR BIP
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SCALE: 1/8" = 1'-0"

JOB NO. 10-10

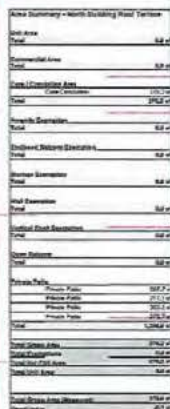
DESIGN: ME, MN, LL, VV

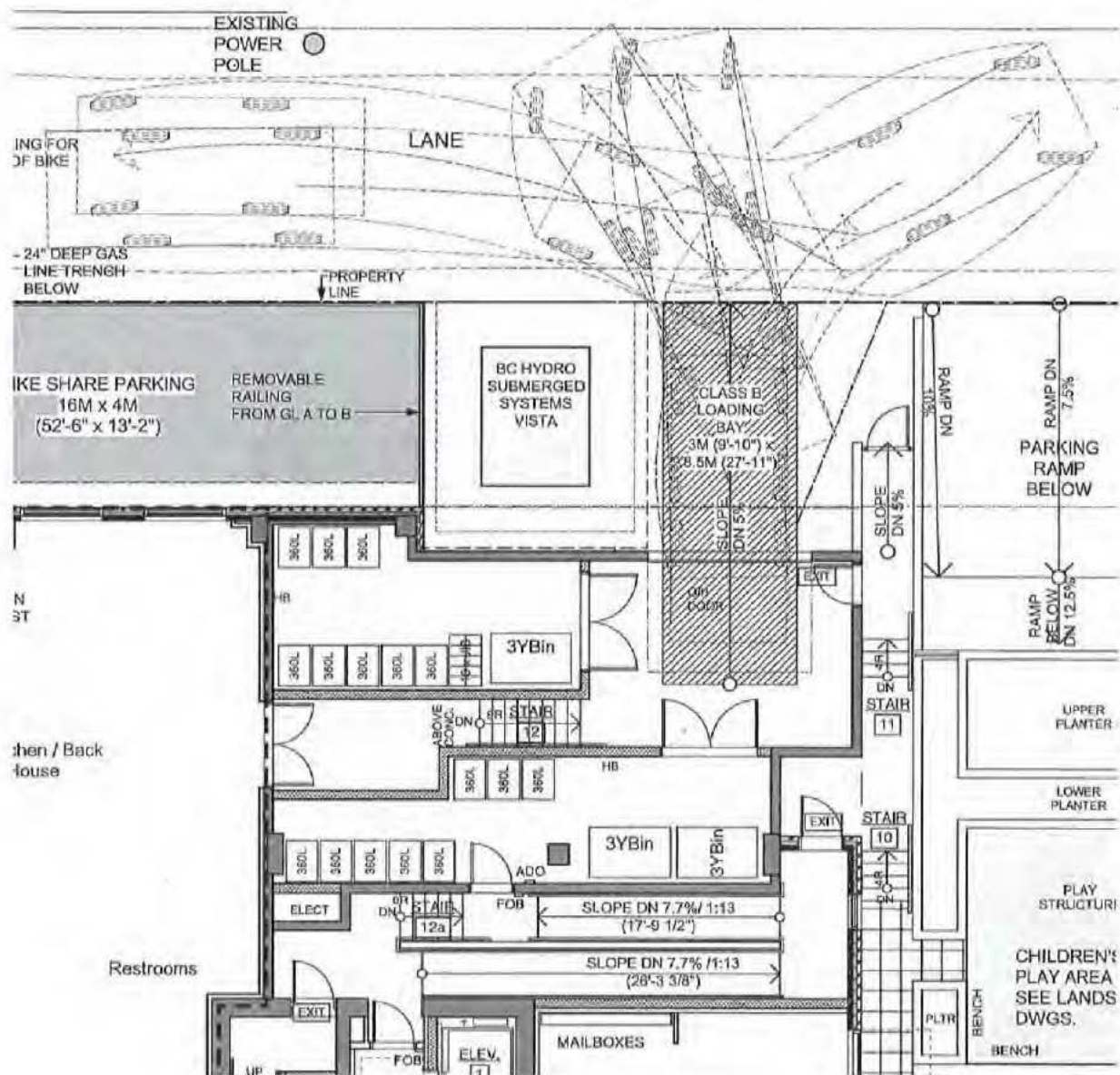
DATE: 14 APRIL 2013

CHECKED: WTL

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DRAWING NO. **FSR-8**





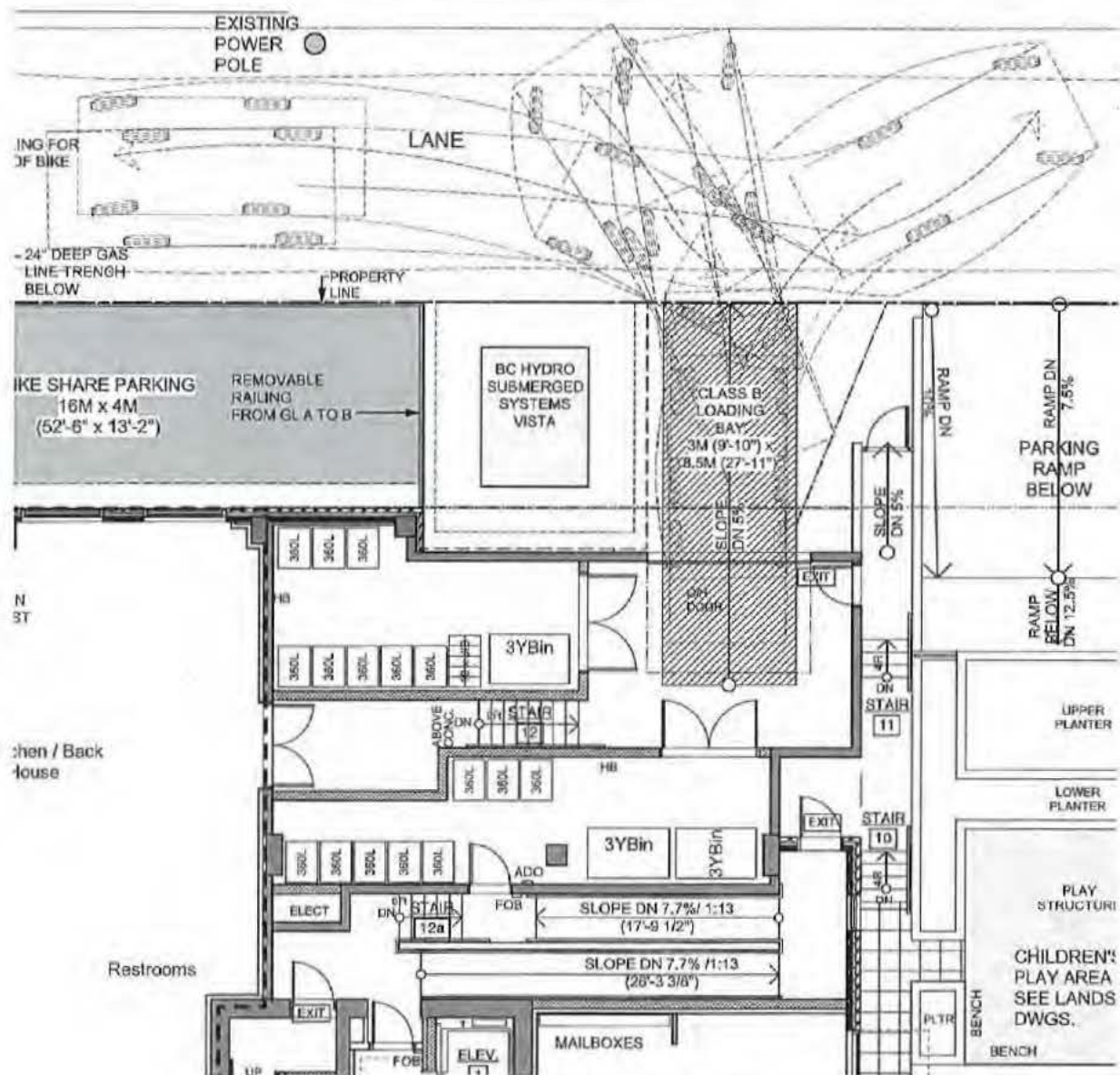
Drawing Title: Enlarged Plan
Truck Turning: Backing into Loading Bay along Lane
Prior-To Permit Issuance Letter Item 1.24v (31 March 2016)

Project: Langara West 7500 Cambie Street DE419896
Scale: 1/8" = 1'-0"

Date: 28 April 2017
Drawn: EJ

W. T. LEUNG
ARCHITECTS
INC.

Sheet no: 1 of 2



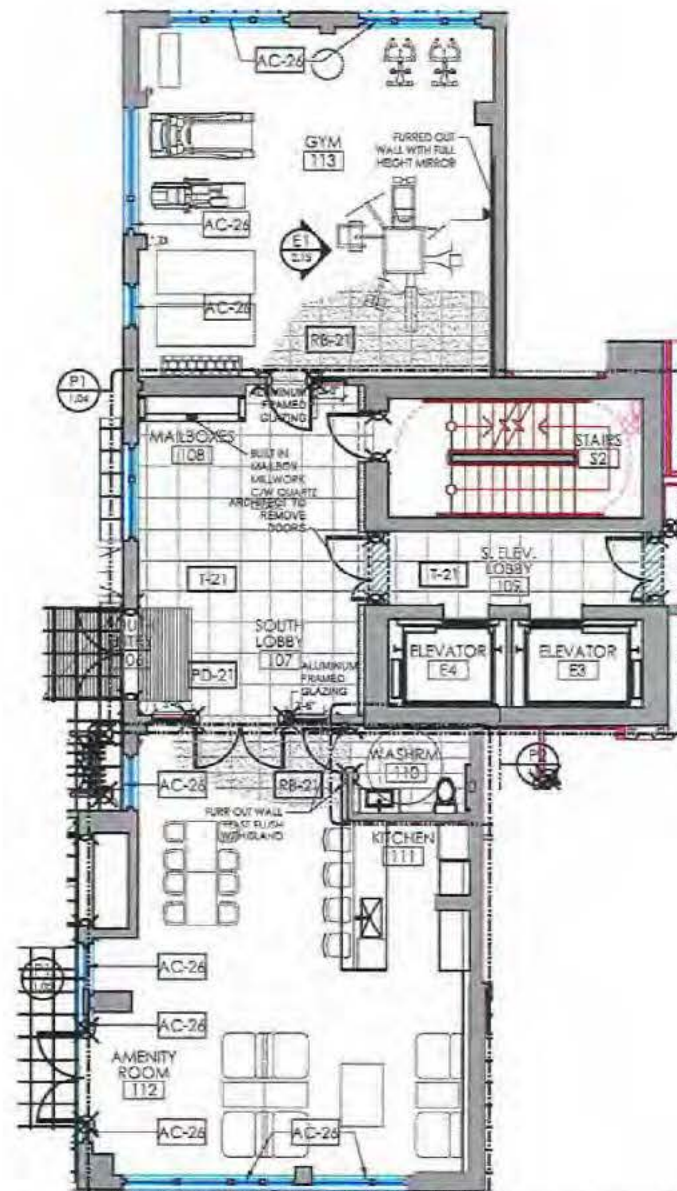
Drawing Title: Enlarged Plan
Truck Turning: Exiting North from Loading Bay along Lane
Prior-To Permit Issuance Letter Item 1.24v (31 March 2016)

Project: Langara West 7500 Cambia Street DE419896
Scale: 1/8" = 1'-0"

Date: 28 April 2017
Drawn: EJ
Job No:

W. T. LEUNG
ARCHITECTS
INC.

Sheet no: 2 of 2



SOUTH BUILDING LOBBY & AMENITY - PLAN P1
scale: 1/8" = 1'-0"

Area3

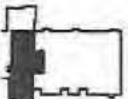
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V6X-1X3 | PH: 778.297.2732 | area3design.co

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KEY PLAN


PROGRESS DRAWINGS

ISSUE FOR CP REVIEW	14.05.27	
ISSUE FOR REVIEW	16.05.24	
REV#	DESCRIPTION	DATE

PROJECT NAME:
**LANGARA WEST
COMMON AREA
INTERIOR DESIGN**

PROJECT TITLE:
**SOUTH BUILDING
LOBBY & AMENITY
PLAN**

PROJECT NO.	15-135-03
DRAWN	SE
CHECKED	SC

 NORTH
ID 1.03
 AUTHORIZED FOR PRINTING: [Signature]
 **Designed Together**

Area3

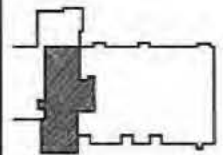
9217-7080 River Road, Richmond, BC, Canada
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KEY PLAN

PROGRESS DRAWINGS

ISSUE FOR CP REVIEW	14.05.21
ISSUE FOR REVIEW	14.05.24
REV#	DESCRIPTION
	DATE

PROJECT NAME:
**LANGARA WEST
COMMON AREA
INTERIOR DESIGN**

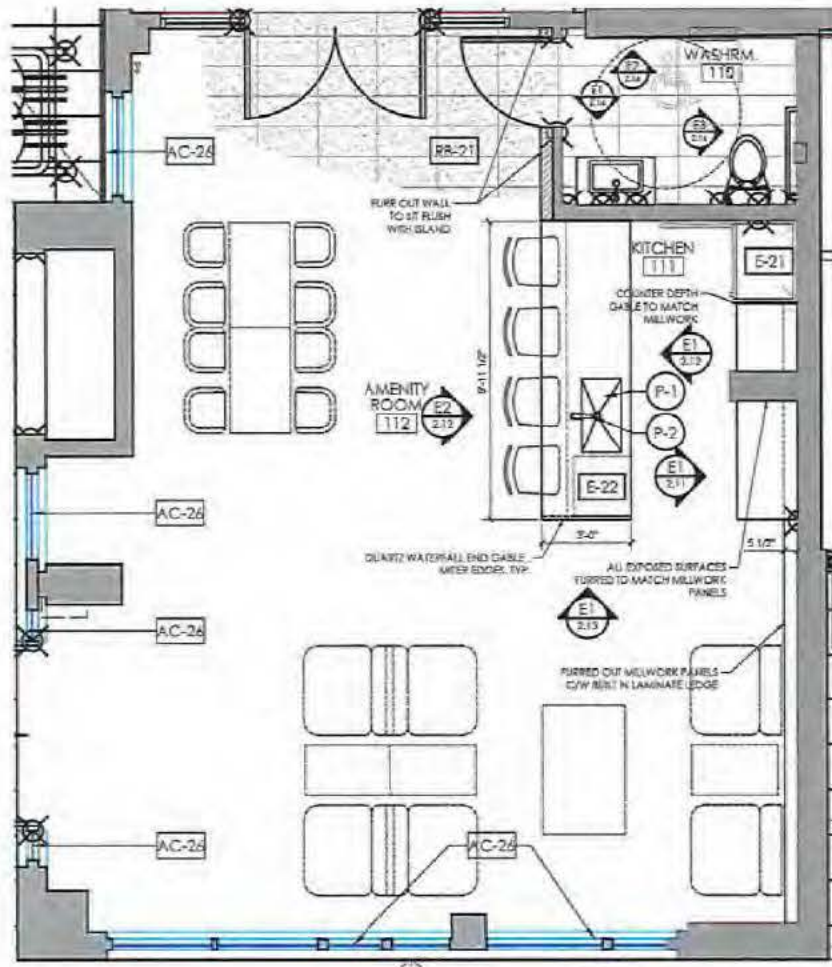
PROJECT TITLE:
**SOUTH BUILDING
AMENITY & WASHROOM
DETAIL PLANS**

PROJECT NO:	15-135-02
DRAWN:	SE
CHECKED:	BC

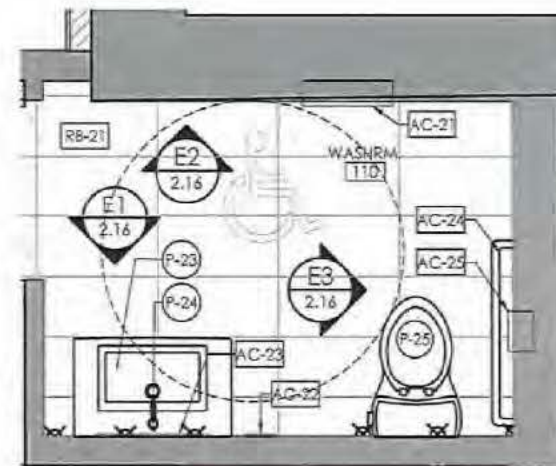
THEME/SCHEME:
NORTH ID 1.05

SUPPLEMENTED ALL PHOTOGRAPHIC INFORMATION AND/OR MEASUREMENTS

A3 Designed Together



SOUTH BUILDING: AMENITY - DETAIL PLAN P1
scale: 1/4" = 1'-0" 1.00



RM: 110 - WASHROOM - DETAIL PLAN P2
scale: 1/2" = 1'-0" 1.00

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KEY PLAN

DESIGNED BY	15-035-02	15.05.27
CHECKED BY	SE	16.05.24
REV#	DESCRIPTION	DATE

PROJECT NAME

**LANGARA WEST
COMMON AREA
INTERIOR DESIGN**

SHEET TITLE

**SOUTH AMENITY
ELEVATION**

PROJECT NO.	15-035-02
DRAWN	SE
CHECKED	EC

PROJECT NO.

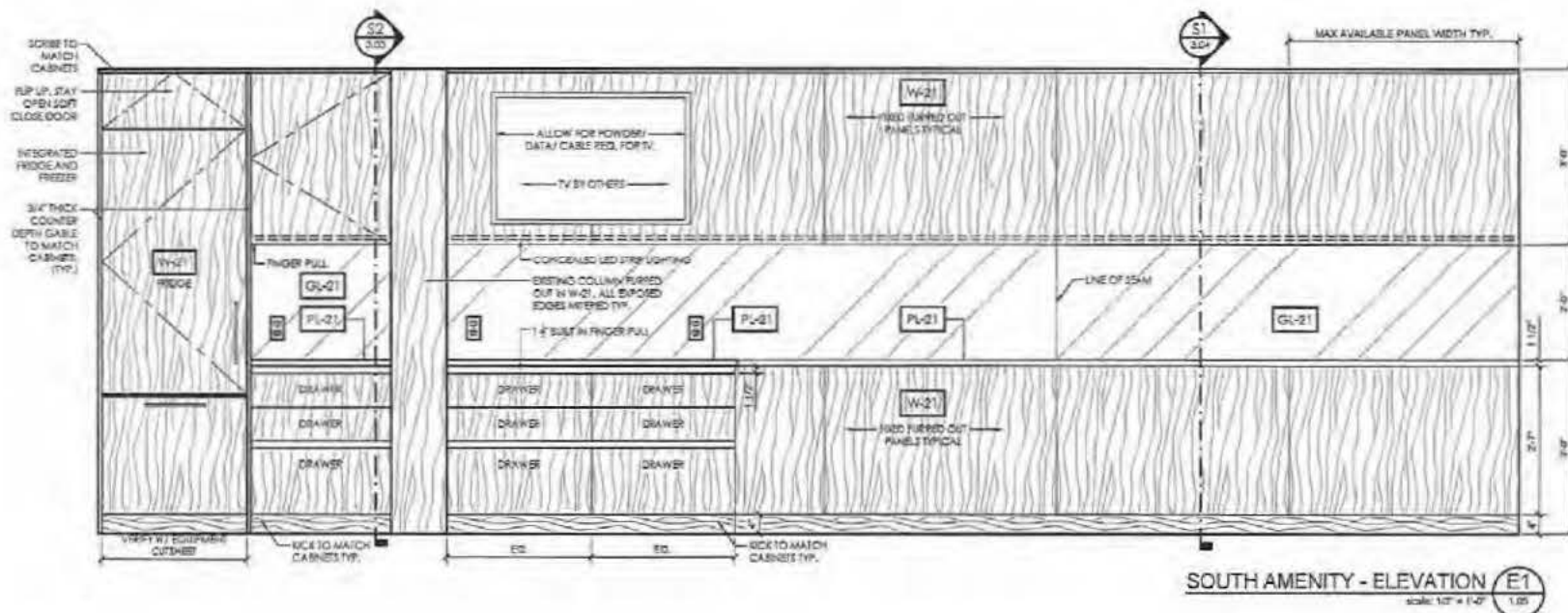
ID 2.11

APPROVED ALL IN-IT-TO-BE CONSTRUCTION REQUIREMENTS

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PROGRESS DRAWINGS

CABINETS & MILLWORK SCHEDULE: AMENITY KITCHEN		
KITCHEN	DESCRIPTION	
KITCHEN LOWER & UPPER CABINETS	DOOR PROFILE: SLAB DOOR WITH SQUARE EDGE BACKER: TO MATCH FRONT EDGE TAPE: MATCHING EDGE TAPE EXPOSED GABLES: TO MATCH CASE INTERIORS: WHITE KICK: TO MATCH CABINETS NOTE: W-21 IS VERTICAL GRAIN	W-21
ISLAND COUNTERTOP	THICKNESS: 3CM ISLAND END GABLE C/W MITER CORNERS PROFILE: SQUARE BASED EDGE	ST-21
KITCHEN COUNTER	THICKNESS: 1 1/2" SQUARE EDGE	PL-21
BACKSPLASH	AS SPECIFIED ALLOW FOR RECEPTACLE CUT OUTS	GL-21
CABINET PULLS	APPLIANCE PULLS AS PER EQUIPMENT SPECIFICATIONS ALL BASE CABINETS HAVE BUILT IN FINGER PULLS. REFER TO ID ELEVATIONS/SECTIONS FOR DETAILS	



Area3

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PROGRESS DRAWINGS

KEY PLAN

ISSUE FOR CP REVIEW	15.05.27	
ISSUE FOR REVIEW	16.05.28	
REV#	DESCRIPTION	DATE

PROJECT NAME:
**LANGARA WEST
COMMON AREA
INTERIOR DESIGN**

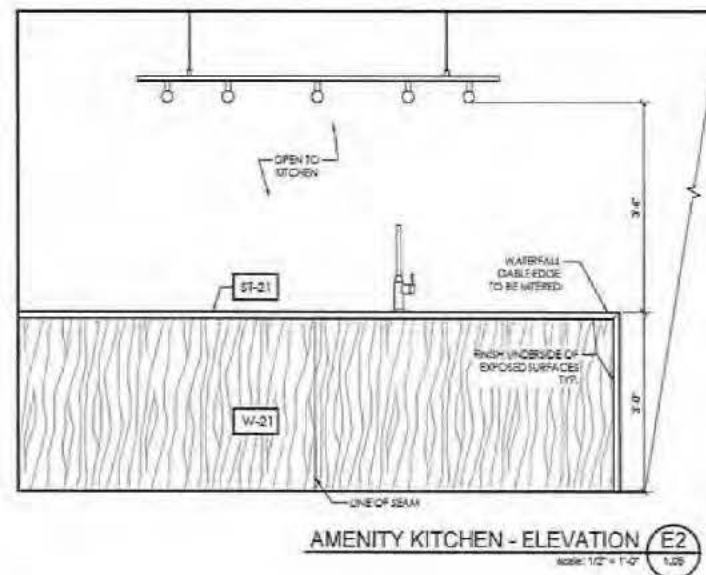
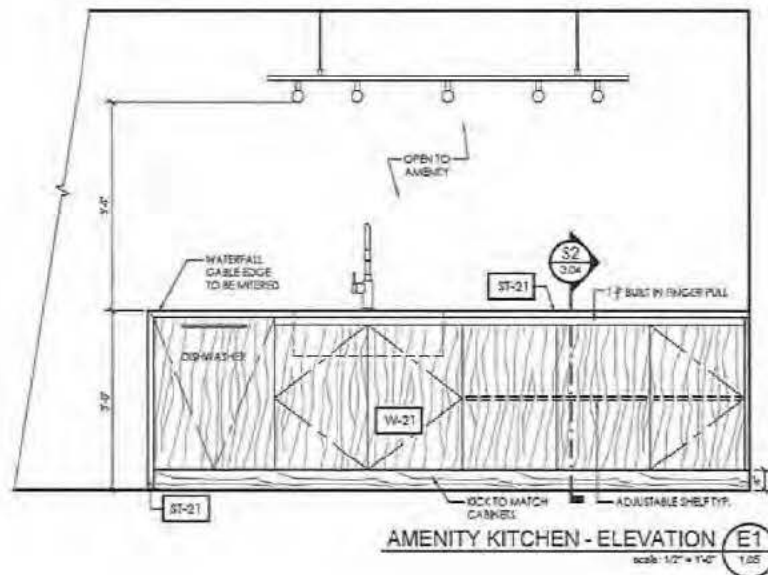
SHEET TITLE:
**SOUTH AMENITY
KITCHEN ELEVATIONS**

PROJECT NO.	15-125-02
DRAWN	SE
CHECKED	EC

DRAWING NO.
ID 2.12

APPROVALS: PROJECT MANAGER APPROVAL SIGNATURE

A3 Designed Together



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PROGRESS DRAWINGS

KEY PLAN

DATE FOR CP REVIEW	14.02.27	
DATE FOR REVIEW	14.02.24	
REV #	DESCRIPTION	DATE

PROJECT NAME:
**LANGARA WEST
COMMON AREA
INTERIOR DESIGN**

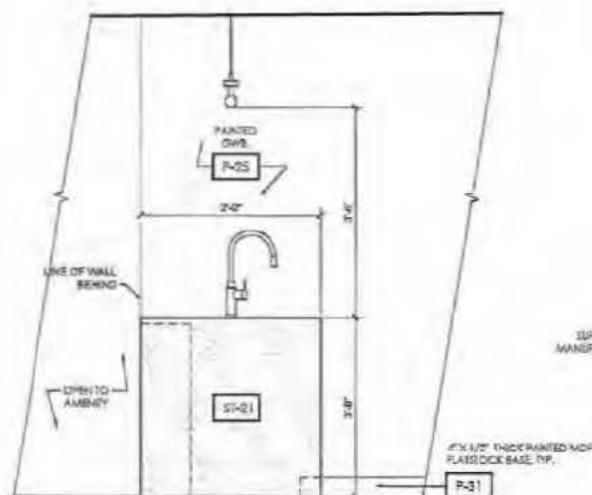
SHEET NO:
**S. BUILDING AMENITY
KITCHEN & TYP. SUITE
ENTRY ELEVATIONS**

PROJECT NO.	15-195-02
DATE	SE
DRAWN BY	BC

DATE: 14.02.27

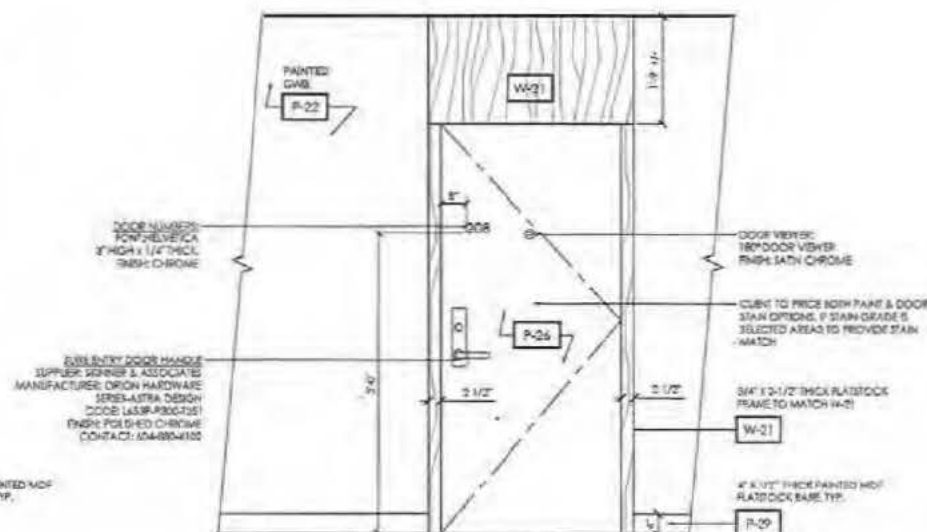
UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN METERS.

Ag Designed Together



AMENITY KITCHEN - ELEVATION **E1**

SCALE: 1/2" = 1'-0"



TYP. SUITE ENTRY - ELEVATION **E2**

SCALE: 1/2" = 1'-0"

Area3

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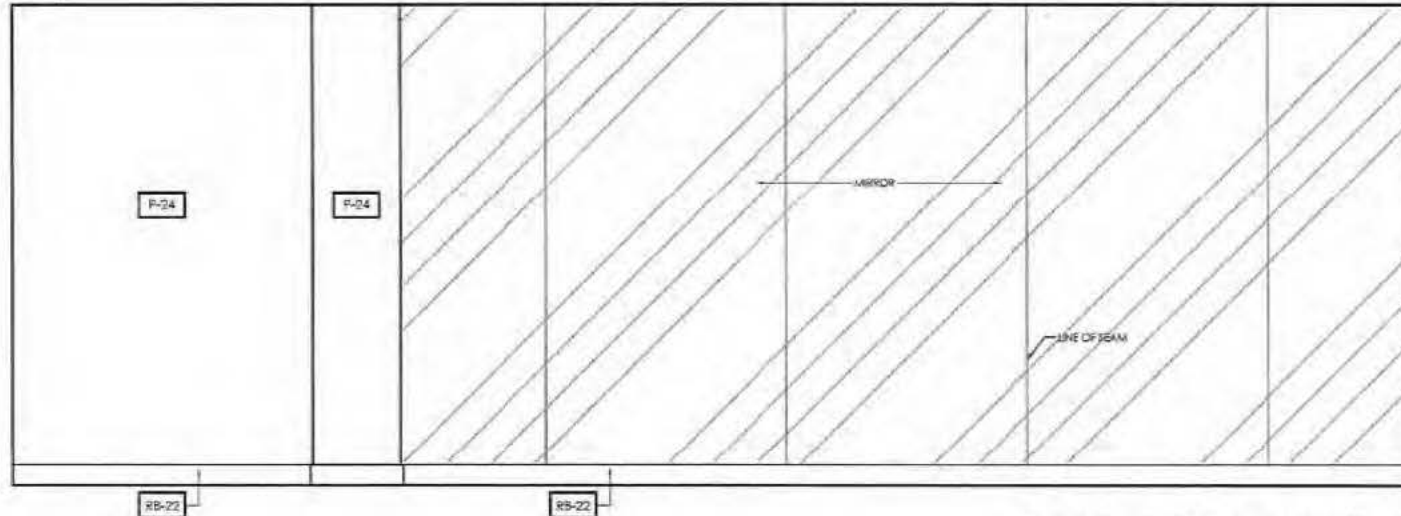
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DO NOT SCALE DRAWINGS.

PROGRESS DRAWINGS

KEY PLAN



SOUTH AMENITY GYM - ELEVATION **E1**
SCALE: 1/2" = 1'-0"

ISSUE FOR CP REVIEW	14.03.20	
ISSUE FOR REVIEW	14.03.20	
REV#	DESCRIPTION	DATE

PROJECT NAME:
**LANGARA WEST
COMMON AREA
INTERIOR DESIGN**

SHEET TITLE:
**SOUTH AMENITY
GYM ELEVATION**

PROJECT NO:	15-135-02
DRAWN:	SE
CHECKED:	BC

DRAWING NO:
ID 2.15

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PROGRESS DRAWINGS

KEY PLAN

ISSUE FOR CP REVIEW	14.05.27	
ISSUE FOR REVIEW	14.05.24	
REV#	DESCRIPTION	DATE

PROJECT NAME:
**LANGARA WEST
COMMON AREA
INTERIOR DESIGN**

SHEET TITLE:
**SOUTH AMENITY
WASHROOM
ELEVATIONS**

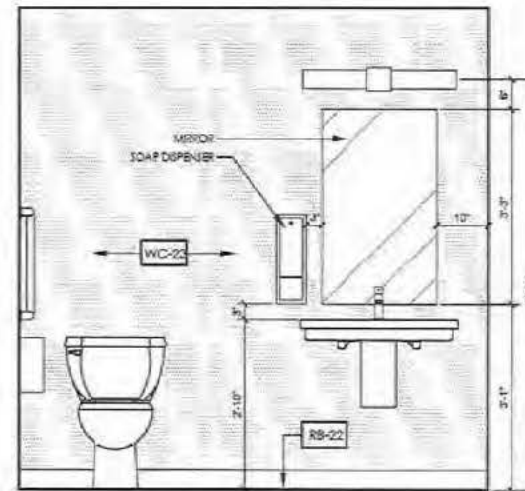
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(DRAWING NO.)

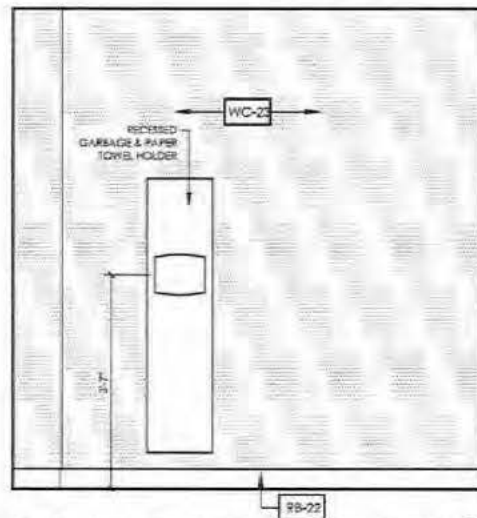
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SUPPLEMENT ALL PRINTS SHOWING PREVIOUS REVISION NUMBERS

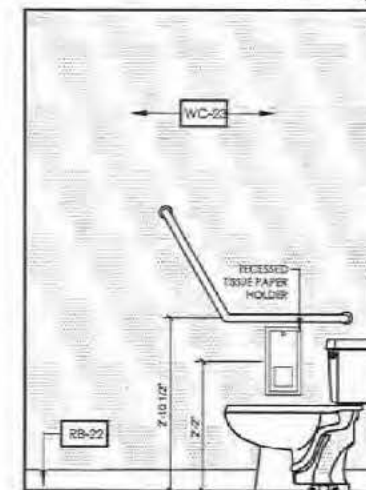
A3 Designed Together



SOUTH AMENITY WASHROOM - ELEVATION E1
scale: 1/2" = 1'-0" 1.04



SOUTH AMENITY WASHROOM - ELEVATION E2
scale: 1/2" = 1'-0" 1.04



SOUTH AMENITY WASHROOM - ELEVATION E3
scale: 1/2" = 1'-0" 1.04

DIV.9			FINISH SCHEDULE		
KEY	MATERIAL	DESCRIPTION	KEY	MATERIAL	DESCRIPTION
C-21	CARPET	DISTRIBUTOR: MILLIKEN COLLECTION: WHALE SONG DESIGN NAME: BELUGA COLOR: 3EL108-204 BRNY SIZE: 50 X 50 CM CONTACT: MIKE PAJIC 604-808-6614 INSTALLATION: ASHLAR	P-27	ELEVATOR DOOR & TRIM	DISTRIBUTOR: PARA PAINTS TYPE: LATEX COLOR: OLD STERLING TINT 2 -P2105-02 FINISH: SEMI GLOSS
F-21	BENCH FABRIC	DISTRIBUTOR: ARCCOM SERIES: TASK FORCE PRODUCT NAME: SPECTRUM AC-69692 COLOR: PEBBLE #3 CONTACT:	P-28	EXT. DOOR & TRIM	DISTRIBUTOR: BENJAMIN MOORE TYPE: LATEX SERIES: COLOR STORIES PRODUCT NUMBER: CSP-120 BURNT EMER FINISH: SEMI GLOSS
GL-21	GLASS - ELEVATOR CAB & AMENITY KITCHEN BACK SPLASH	8MM SMOKED POLISHED MIRROR CONTACT: KELVIN GLASS LTD. 604-879-3073 SAMPLE TO BE APPROVED BY THE DESIGNER	P-29	ELEC. CLOSET DOOR TRIMS & CORRIDOR BASEBOARDS	DISTRIBUTOR: SHERWIN WILLIAMS TYPE: LATEX PRODUCT NUMBER: SW7044 AMAZING GRAY FINISH: SEMI GLOSS
PL-21	AMENITY BACK COUNTER	DISTRIBUTOR: FORMICA COLOR: GRAPHITE MATT COLLECTION PRODUCT NUMBER: 837-58	P-30	AMENITY ROOM BASE	DISTRIBUTOR: BENJAMIN MOORE TYPE: LATEX PRODUCT NUMBER: CC-530 BRANDON BEIGE FINISH: SEMI GLOSS
PL-22	ELEVATOR CAB WALL PANELS	DISTRIBUTOR: FORMICA PRODUCT NUMBER: SROJ1SCREEN FINISH: MATT FIRE RATED GRADE 32/VGF	PD-21	ENTRY PEDIMAT SYSTEM	SUPPLIER: C/S ENTRANCE SYSTEMS MANUFACTURER: PEDI SYSTEMS PRODUCT: DESIGNSTEPS COLOR: 102 GRAY WIDTH: 6'-6" WIDE CONTACT: 888-895-8955
P-21	LOBBY WALL PAINT	DISTRIBUTOR: BENJAMIN MOORE TYPE: LATEX PRODUCT NUMBER: HC-173 EDGE COMB GRAY FINISH: EGG SHELL	RB-21	GYM FLOOR	DISTRIBUTOR: JOHNSONITE TYPE: MINERALEY RUBBER TILE PRODUCT NUMBER: MRLR-PA6 CARRA CG MAJOR COLOR: 23 VAPOR GREY ACCENT COLORS: 1A5 COLONIAL GRAY/50 WHITE/38 PEWTER SURFACE TEXTURE: LEATHER SIZE 12" X 24" INSTALLATION: MONOLITHIC CONTACT:
P-22	TYPICAL CORRIDOR GENERAL WALLS	DISTRIBUTOR: SHERWIN WILLIAMS TYPE: LATEX PRODUCT NUMBER: SW7044 AMAZING GRAY FINISH: EGG SHELL	RB-22	GYM & WASHROOM BASE	DISTRIBUTOR: JOHNSONITE COLOR: VAPOR GREY 23
P-23	CEILING	DISTRIBUTOR: SHERWIN WILLIAMS TYPE: LATEX PRODUCT NUMBER: SW7005 PURE WHITE FINISH: FLAT	ST-21	AMENITY ISLAND TOP & MALE AREA LEDGE	DISTRIBUTOR: VICOSTONE TYPE: QUARTZ PRODUCT NUMBER: BS124 SATINET FINISH: POLISHED
P-24	GYM WALLS	DISTRIBUTOR: BENJAMIN MOORE TYPE: LATEX SERIES: COLOR STORIES PRODUCT NUMBER: CSP-70 UPPER WEST SIDE FINISH: EGG SHELL	T-21	LOBBY FLOOR & WALLS	DISTRIBUTOR: C & S TYPE: PORCELAIN SERIES: BLOCK SERIES CODE - MABL-WH24 COLOR: WHITE GROUT: C8P #11 SNOW WHITE SIZE 24" X 24" FINISH: MATT CONTACT: RACHAEL BULLOCK 804.817.8907
P-25	AMENITY WALLS	DISTRIBUTOR: BENJAMIN MOORE TYPE: LATEX PRODUCT NUMBER: CC-530 BRANDON BEIGE FINISH: EGG SHELL	T-22	PARKADE FLOOR	DISTRIBUTOR: C & S TYPE: PORCELAIN SERIES: INDUSTRIAL INDOOR/OUTDOOR COLOR: SAGE GROUT: MAPEI 02 PEWTER SIZE 30 X 60 CM FINISH: MATTE CONTACT: RACHAEL BULLOCK 804.817.8907
P-26	SUITE ENTRY DOOR & AMENITY ROOM BASEBOARD TRIM	DISTRIBUTOR: BENJAMIN MOORE TYPE: LATEX SERIES: COLOR STORIES PRODUCT NUMBER: CSP-110 VINTAGE PEWTER FINISH: SEMI GLOSS			

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KEY PLAN

ISSUED FOR CP REVIEW 16.05.27
ISSUED FOR REVIEW 16.05.24

REV	DESCRIPTION	DATE

PROJECT NAME:
**LANGARA WEST
COMMON AREA
INTERIOR DESIGN**

SHEET TITLE:
**FINISHES
SCHEDULE**

PROJECT NO: 15-135-02

DRAWN: KA

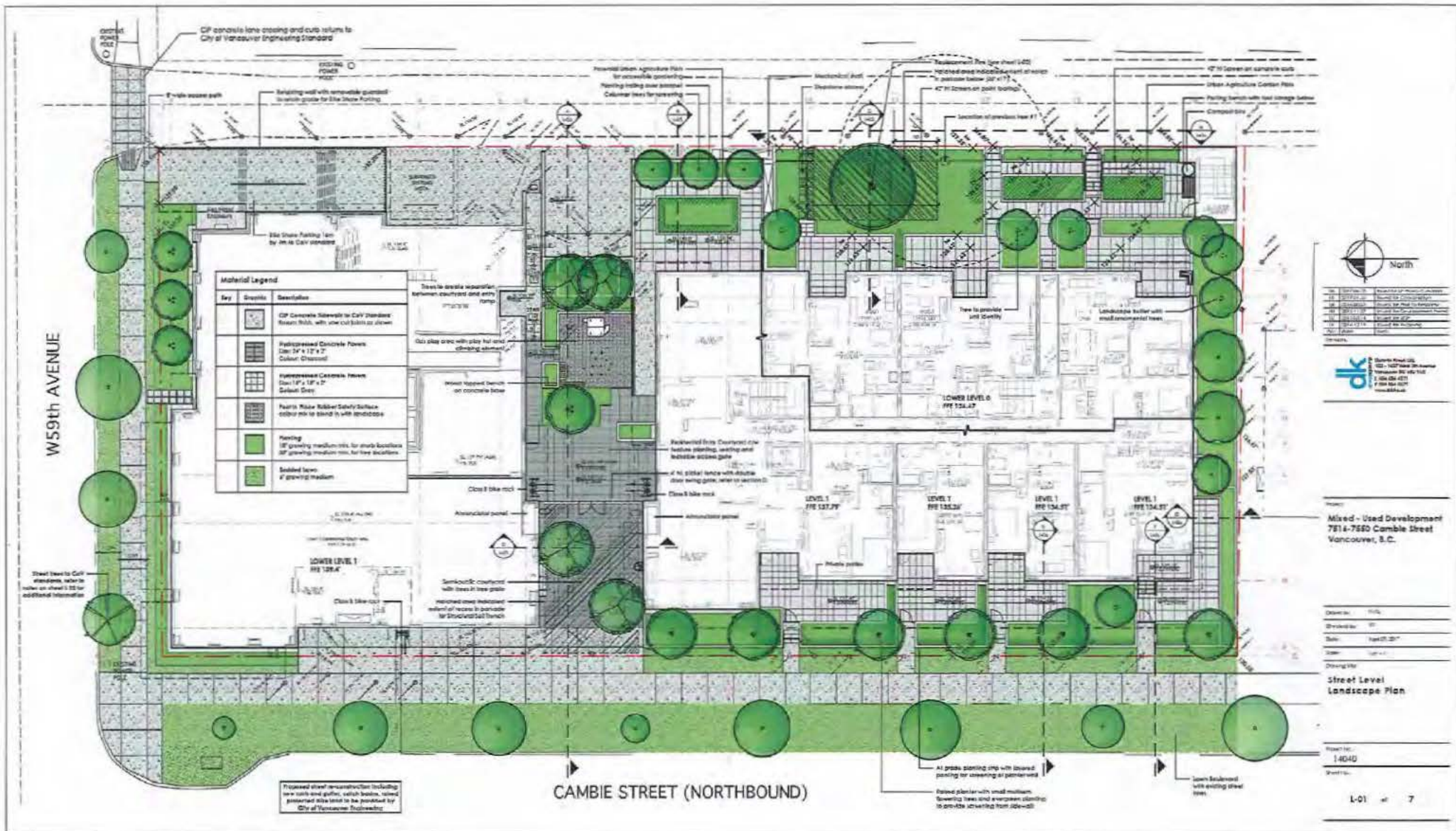
CHECKED: BC

DRAWING NO:

ID 4.02

SUPERSEDES ALL PREVIOUS FINISHES SCHEDULES UNLESS NOTED

A3 Designed Together



WS9th AVENUE

CAMBIE STREET (NORTHBOUND)

PLANT ID	SYMBOL	COMMON NAME	SCIENTIFIC NAME	HEIGHT	SPREAD	ROOT SYSTEM
1		Red Maple	Acer rubrum	20m	10m	Shallow
2		Green Ash	Fraxinus viridis	15m	8m	Shallow
3		White Birch	Betula papyrifera	12m	6m	Shallow
4		Black Birch	Betula nigra	12m	6m	Shallow
5		Red Pine	Pinus resinosa	25m	12m	Deep
6		White Pine	Pinus strobus	25m	12m	Deep
7		Black Pine	Pinus nigra	25m	12m	Deep
8		White Oak	Quercus alba	20m	10m	Shallow
9		Red Oak	Quercus rubra	20m	10m	Shallow
10		White Oak	Quercus alba	20m	10m	Shallow
11		Red Oak	Quercus rubra	20m	10m	Shallow
12		White Oak	Quercus alba	20m	10m	Shallow
13		Red Oak	Quercus rubra	20m	10m	Shallow
14		White Oak	Quercus alba	20m	10m	Shallow
15		Red Oak	Quercus rubra	20m	10m	Shallow
16		White Oak	Quercus alba	20m	10m	Shallow
17		Red Oak	Quercus rubra	20m	10m	Shallow
18		White Oak	Quercus alba	20m	10m	Shallow
19		Red Oak	Quercus rubra	20m	10m	Shallow
20		White Oak	Quercus alba	20m	10m	Shallow

GENERAL PLANTING NOTES:

1. All plantings shall be in accordance with the current edition of the BC Planting Standards.
2. Plantings shall be in accordance with the current edition of the BC Planting Standards.
3. Plantings shall be in accordance with the current edition of the BC Planting Standards.
4. Plantings shall be in accordance with the current edition of the BC Planting Standards.
5. Plantings shall be in accordance with the current edition of the BC Planting Standards.
6. Plantings shall be in accordance with the current edition of the BC Planting Standards.
7. Plantings shall be in accordance with the current edition of the BC Planting Standards.
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12. Plantings shall be in accordance with the current edition of the BC Planting Standards.
13. Plantings shall be in accordance with the current edition of the BC Planting Standards.
14. Plantings shall be in accordance with the current edition of the BC Planting Standards.
15. Plantings shall be in accordance with the current edition of the BC Planting Standards.
16. Plantings shall be in accordance with the current edition of the BC Planting Standards.
17. Plantings shall be in accordance with the current edition of the BC Planting Standards.
18. Plantings shall be in accordance with the current edition of the BC Planting Standards.
19. Plantings shall be in accordance with the current edition of the BC Planting Standards.
20. Plantings shall be in accordance with the current edition of the BC Planting Standards.

STREET TREE PLANTING NOTES:

1. Street trees shall be planted in accordance with the current edition of the BC Planting Standards.
2. Street trees shall be planted in accordance with the current edition of the BC Planting Standards.
3. Street trees shall be planted in accordance with the current edition of the BC Planting Standards.
4. Street trees shall be planted in accordance with the current edition of the BC Planting Standards.
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18. Street trees shall be planted in accordance with the current edition of the BC Planting Standards.
19. Street trees shall be planted in accordance with the current edition of the BC Planting Standards.
20. Street trees shall be planted in accordance with the current edition of the BC Planting Standards.

BIRD FRIENDLY PLANTING BENEFITS:

- Attracts birds to the area.
- Provides food for birds.
- Provides shelter for birds.
- Provides nesting sites for birds.
- Provides perching sites for birds.
- Provides water for birds.
- Provides shade for birds.
- Provides windbreak for birds.
- Provides protection from predators for birds.
- Provides a sense of security for birds.
- Provides a sense of community for birds.
- Provides a sense of belonging for birds.
- Provides a sense of identity for birds.
- Provides a sense of pride for birds.
- Provides a sense of accomplishment for birds.
- Provides a sense of achievement for birds.
- Provides a sense of satisfaction for birds.
- Provides a sense of fulfillment for birds.
- Provides a sense of purpose for birds.
- Provides a sense of meaning for birds.
- Provides a sense of direction for birds.
- Provides a sense of orientation for birds.
- Provides a sense of location for birds.
- Provides a sense of time for birds.
- Provides a sense of space for birds.
- Provides a sense of place for birds.
- Provides a sense of community for birds.
- Provides a sense of belonging for birds.
- Provides a sense of identity for birds.
- Provides a sense of pride for birds.
- Provides a sense of accomplishment for birds.
- Provides a sense of achievement for birds.
- Provides a sense of satisfaction for birds.
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- Provides a sense of purpose for birds.
- Provides a sense of meaning for birds.
- Provides a sense of direction for birds.
- Provides a sense of orientation for birds.
- Provides a sense of location for birds.
- Provides a sense of time for birds.
- Provides a sense of space for birds.
- Provides a sense of place for birds.

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19	Red Oak	Quercus rubra	20m	10m	Shallow
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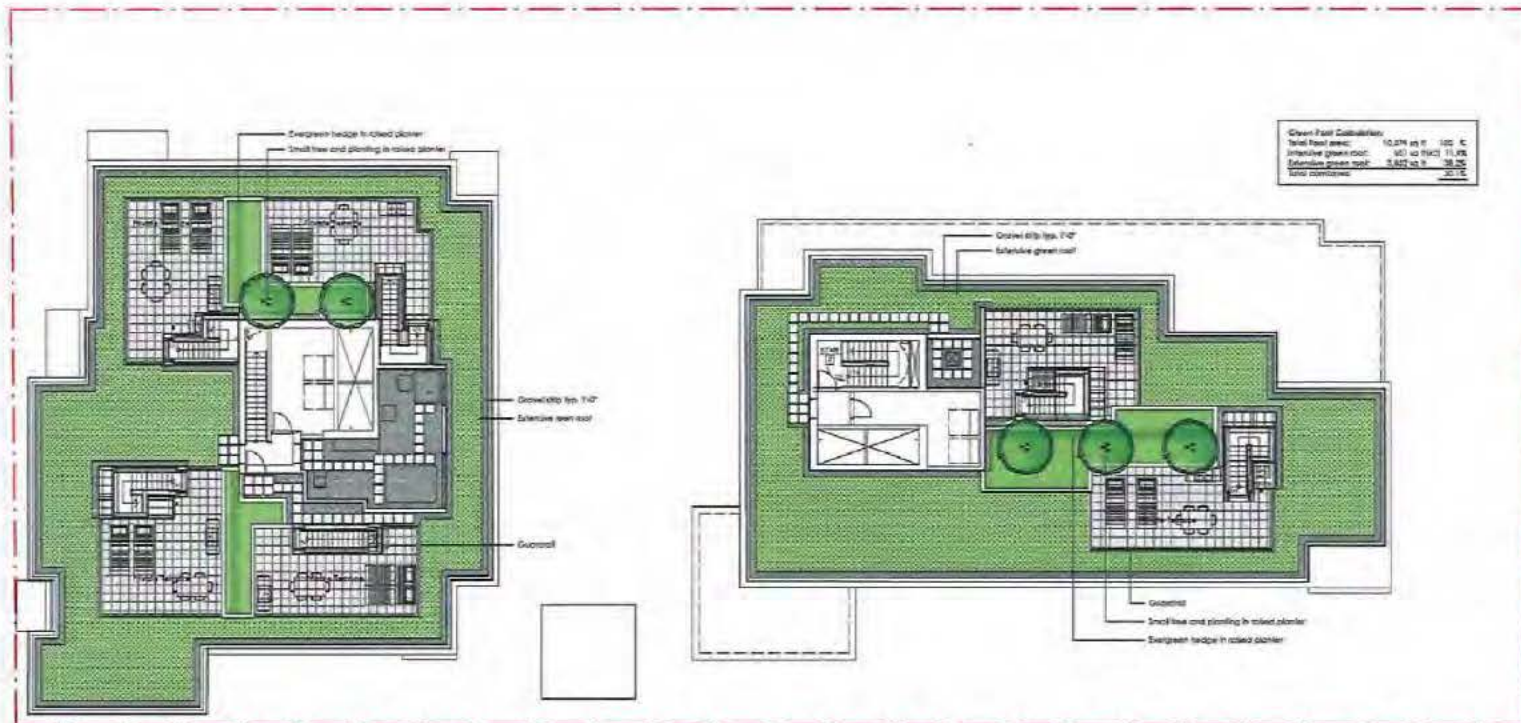
North

Mixed - Used Development
751a-7550 Cambie Street
Vancouver, B.C.

Street Level Planting Plan
Landscape Plan

14040

L-02 of 7



1.00	2017-04-02	Final Design - Landscape Plan
2.00	2017-04-02	Final Design - Landscape Plan
3.00	2017-04-02	Final Design - Landscape Plan
4.00	2017-04-02	Final Design - Landscape Plan
5.00	2017-04-02	Final Design - Landscape Plan
6.00	2017-04-02	Final Design - Landscape Plan
7.00	2017-04-02	Final Design - Landscape Plan
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9.00	2017-04-02	Final Design - Landscape Plan
10.00	2017-04-02	Final Design - Landscape Plan



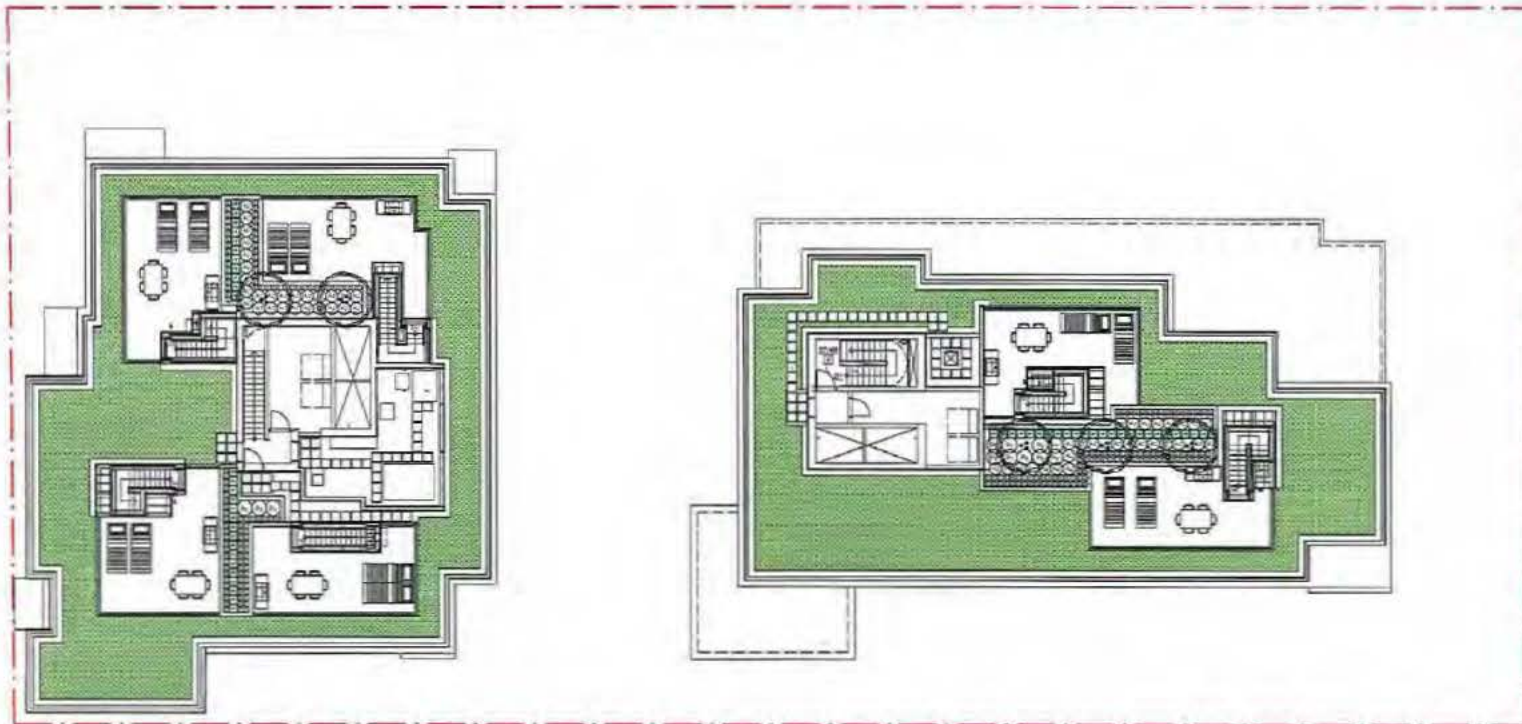
Project:
Mixed - Use Development
7516-7550 Cambie Street
Vancouver, B.C.

Drawn by:	DK
Checked by:	DK
Date:	April 27, 2017
Scale:	1/8" = 1'-0"

Drawing title:
Roof Plans
Landscape Plan

Project No.:	14040
Sheet No.:	

L-03 of 7



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104	104-104-104	104-104-104
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dk Design & Construction
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 102-102-102
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Mixed - Used Development
 7514-7550 Cambie Street
 Vancouver, B.C.

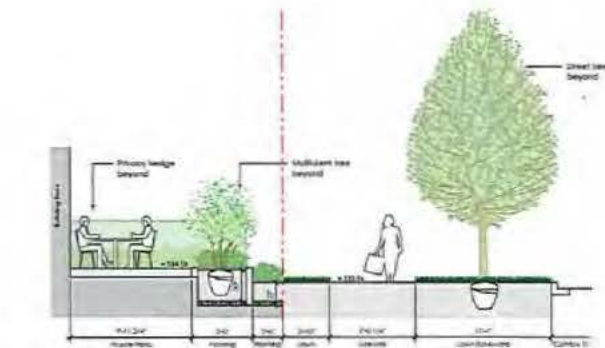
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 Checked by: [Name]
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Roof Planting Plan

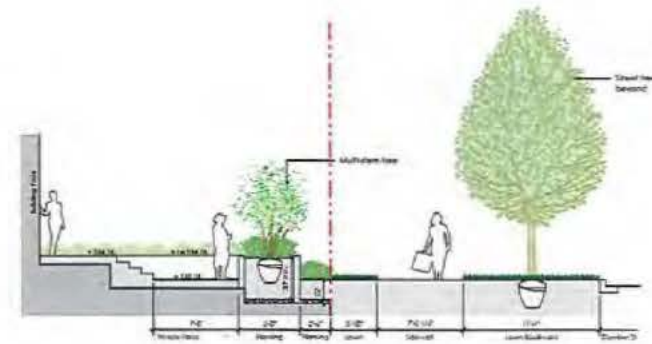
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REFER TO L-02 FOR PLANT LIST

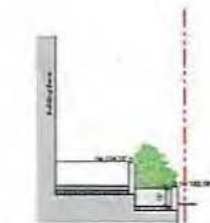
L-04 of 2



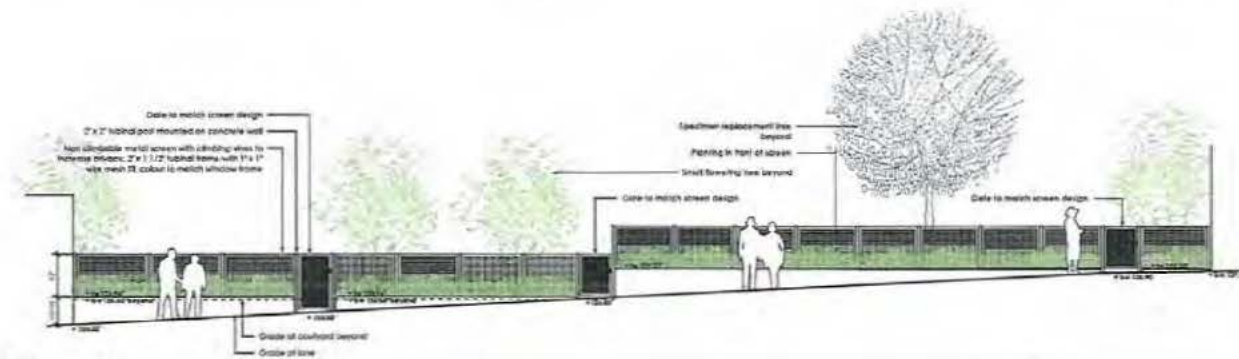
SECTION E
SCALE: 1/8" = 1'-0"



SECTION F
SCALE: 1/8" = 1'-0"



SECTION G
SCALE: 1/8" = 1'-0"



ELEVATION H
SCALE: 1/8" = 1'-0"

10	10-1000-20	Removal of 1000-20
11	10-1000-20	Removal of 1000-20
12	10-1000-20	Removal of 1000-20
13	10-1000-20	Removal of 1000-20
14	10-1000-20	Removal of 1000-20
15	10-1000-20	Removal of 1000-20
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97	10-1000-20	Removal of 1000-20
98	10-1000-20	Removal of 1000-20
99	10-1000-20	Removal of 1000-20
100	10-1000-20	Removal of 1000-20



REVIEW OF EXISTING TREES, 7516 – 7550 CAMBIE STREET VANCOUVER, B.C.

PREPARED BY: Florian Fisch, Landscape Architect, Certified Arborist PN – 7921A
DATE: January 29, 2015
DATE REVISED: November 26, 2015 / August 03, 2016 / *updated April 28, 2017*

1.0 INTRODUCTION

Durante Kreuk Ltd. was requested by W.T. Leung Architects to carry out a visual tree assessment and review of site conditions for all existing trees on and adjacent to the subject site to assess potential for tree retention within the site and adjacent road allowances. The tree locations are based on a 2014 tree survey by J.C. Tam and Associates, BCLS.

This tree report is prepared on the basis of on site observations made January 16, 2014. The fieldwork and reporting has been done by Florian Fisch, Certified Arborist, Certification Number PN-7921A.

The observations consist of a visual assessment of individual trees using criteria set out by the International Society of Arboriculture (ISA). The object of this review is to determine the species, size and general condition of each tree, and suitability for retention within the proposed new development of the site.

Criteria considered include:

- windfirmness or potential for blowdown in the area
- visible indicators of structural defects in individual trees
- location, exposure
- species, age, size, health, condition and anticipated longevity
- current and potential hazard to persons or property.

The accompanying Existing Trees Plan shows the tree locations, diameters at breast height (DBH) and tree numbers corresponding to tree numbers cited in this report. The plan also shows the suitability for retention and the proposed status (Retain or Remove) for each tree in the proposed development.

2.0 GENERAL OBSERVATIONS

The subject site includes two legal parcels (Lot 1 and Lot 264) and one remainder (REM. 50) in between of them. Lot 264 at the corner of Cambie Street and 59th Avenue is occupied with a two-story building with a restaurant on the main floor. To the south of the restaurant, a large asphalt parking lot occupies REM. 50. A one story single-family residence occupies Lot 1 to the south of the parking lot.

A busy roadway to the west, a neighborhood roadway to the north and a laneway to the east border the subject site. A single-family residence is located adjacent to the south of the site. Based on the City of Vancouver Cambie Corridor Plan, this residence will likely be redeveloped in the near future.

In addition to the existing trees observed, there are three cedar hedges located on the subject site, all of which consisting of non by-law sized trees. Refer to 'EXISTING TREE RETENTION AND REMOVAL PLAN' for further information.

The existing trees on this site can be summarized into three general groups, trees within the yard of the private residence, trees within the parking lot area and trees within the restaurant front patio area.

1.) Trees within the yard of the private residence mainly consist of large conifers. A large *Pseudotsuga menziesii* (#1) is ~~was~~ located at the northeast corner of the yard, adjacent to the lane and the parking lot. ~~Its base is about 50cm above street level. This tree has been removed in fall 2016.~~ A row of *Thuja plicata* (#3 though #11) immediately along the property line frames the front yard to the north. These trees have previously been topped at 3m above grade and now have multiple leaders above this point. All these trees are in good condition. One broadleaf tree, a *Rhus var.* (#2) is located in the front yard of this residence. It is heavily leaning and shows large trunk wounds with extensive decay in the lower trunk area. This tree is in poor condition.

2.) Trees within the parking lot consist of a mix of conifers and broadleaf trees. Two *Thuja occidentalis* (#12, #13) are located in a small planting island at the north side of the parking lot. One large *Acer palmatum* (#14) with a good balanced scaffold branching and 7 non by-law sized *Thuja plicata* are located between parking lot and Cambie Street. All these trees are in good condition.

3.) Trees within the restaurant's patio area consist of conifers, one *Pinus mugo* (#15) and four *Thuja plicata* (#16, #17, #20, #21). Most cedars are clipped into roundish shape. All trees are in fair to good condition. In addition to the conifers, there are two non by-law sized *Betula verrucosa* (#18, #19), both in poor condition. As part of the patio landscape design, but within the road allowance, two broadleaf trees (#209, #210) are located directly adjacent to the property line. For further description refer to paragraph below.

The existing trees on adjacent property to the south of the subject site are all conifers, planted within a few feet to the property line. All are in fair condition.

The existing trees within road allowance are all broadleaf trees. All trees within the front boulevard are non b-law size. Two trees in the back boulevard along Cambie Street (# 209, #210) are part of the restaurant patio planting. All trees with one exception are in good condition. Remaining tree (#213) has many suckers at the base. This tree is in fair condition.

Following are tables showing more detailed observations of individual trees, upon which the recommendations are based:

7516 - 7560 CAMBIE STREET - EXISTING TREES - ON-SITE

Tree Number	Tree Type	# of Stems	Size			Observations	State				Recommendation			
	Species		DBH - cm	Spread - m	Height - m		Dead	Poor	Fair	Good	Retain	Remove	Relocate	Note
1	<i>Pseudotsugamontezii</i> (Douglas fir)		65	15	28	Base 50 cm above street level.	+							a)
2	<i>Rhus var.</i> (sumac)		20	4	3	Heavy lean east. Asymmetrical crown. Limb removed at base. Suckers at base. Large trunk wounds at base and from 0.3m to 2m above ground with extensive decay and peeling bark. Heavily pruned.		+				+		
3	<i>Thuja plicata</i> (Western red cedar)	3	74	8	14	Part of Hedge. Previously topped at 3m above ground. 6 Co-dominant leaders, 1 at base, 1 at 1m above ground, 4 at 3m above ground. Asymmetrical trunk. Limbed up to 80% LCR.				+		+		
4	<i>Thuja plicata</i> (Western red cedar)		28	8	14	Part of Hedge. Previously topped at 3m above ground. 2 Co-dominant leaders at 4m above ground. Barber chair limb(s). Limbed up to 80% LCR.				+		+		
5	<i>Thuja plicata</i> (Western red cedar)		22	8	14	Part of Hedge. Sweep south. Previously topped at 3m above ground. 2 Co-dominant leaders at 4m above ground. Barber chair limb(s). Asymmetrical trunk. Limbed up to 80% LCR.				+		+		
6	<i>Thuja plicata</i> (Western red cedar)	2	24	8	14	Part of Hedge. Sweep south. Previously topped at 3m above ground. Limbed up to 80% LCR.				+		+		
7	<i>Thuja plicata</i> (Western red cedar)		23	8	14	Part of Hedge. Sweep south. Previously topped at 3m above ground. Limbed up to 80% LCR.				+		+		
8	<i>Thuja plicata</i> (Western red cedar)	2	30	8	14	Part of Hedge. Previously topped at 3m above ground. Included bark. Limbed up to 80% LCR.				+		+		
9	<i>Thuja plicata</i> (Western red cedar)		22	8	14	Part of Hedge. Sweep south. Previously topped at 3m above ground. 2 Co-dominant leaders at 3m above ground. Limbed up to 80% LCR.				+		+		
10	<i>Thuja plicata</i> (Western red cedar)		25	8	14	Previously topped with 2 co-dominant leaders at 3m above ground. Limbed up to 80% LCR.				+		+		
11	<i>Thuja plicata</i> (Western red cedar)	2	47	8	14	Part of Hedge. Previously topped at 3m above ground. 5 Co-dominant leaders, 1 at base, 4 at 3m above ground. Limbed up to 80% LCR.				+		+		
12	<i>Thuja occidentalis</i> (Yellow cedar)	6	26	3	6	Other stem(s) Ø 8, 6, 6, 80% LCR.				+		+		
13	<i>Thuja occidentalis</i> (Yellow cedar)	8	31	4	6	Other stem(s) Ø 9, 8, 6, 5, 5, 80% LCR.				+		+		
14	<i>Acer palmatum</i> (Japanese maple)	4	34	6	6	Other stem(s) Ø 9. Grade high at base.				+			+	
15	<i>Pinus mugo</i> (Mugo pine)	5	28	6	4	Other stem(s) Ø 8, 7, 90% LCR.				+		+		
16	<i>Thuja plicata</i> (Western red cedar)	2	40	7	9	Co-dominant leaders at 0.3m above ground, included bark. Trunk wound at 2m above ground, callused. White fungal mycelia on trunk. Limbed up to 75% LCR.			+			+		

7516 - 7550 CAMBIE STREET - EXISTING TREES - ON-SITE													
Tree Number	TREE TYPE	# of Stems	SIZE			OBSERVATIONS	STATE				RECOMMEN- DATION		
	Species		DBH - cm	Spread - m	Height - m		Dead	Poor	Fair	Good	Retain	Remove	Relocate
17	<i>Thuja plicata</i>	3	32	5	5	Co-dominant leaders at 0.3m above ground. Lean east. Heavily clipped to roundish shape. White fungal mycelia on trunk. Limbed up to 75% LCR.			+			+	
18													
19													
20	<i>Thuja plicata</i>		27	7	6	Heavily clipped to roundish shape. White fungal mycelia on trunk. Limbed up to 70% LCR.					+		+
21	<i>Thuja plicata</i>		20	6	5	Heavily clipped to roundish shape. White fungal mycelia on trunk. Limbed up to 70% LCR.					+		+
Notes													
a)	This tree has been removed in fall 2016. Replacement planting for this tree has been coordinated with the city. Refer to landscape drawings for location and specification.												a)

7516 - 7550 CAMBIE STREET - EXISTING TREES - ADJACENT PROPERTIES													
Tree Number	TREE TYPE	# of Stems	SIZE			OBSERVATIONS	STATE				RECOMMEN- DATION		
	Species		DBH - cm	Spread - m	Height - m		Dead	Poor	Fair	Good	Retain	Remove	Relocate
101	<i>Chamaecyparis</i>	2	33	5	15	On adjacent property to the south. 3 Co-dominant leaders, 1 at 1m above ground, 1 at 4m above ground. Barber chair limb(s).			+			+	
102	<i>Thuja plicata</i>	2	35	6	15	On adjacent property to the south. 4 Co-dominant leaders at 2m above ground. Barber chair limb(s). Limbed up to 85% LCR.			+			+	
103	<i>Thuja plicata</i>		30	6	15	On adjacent property to the south. Previously topped at 4m above ground. 3 large barber chair limb(s). Limbed up to 85% LCR.			+			+	
104	<i>Taxus</i> var.	3	48	8	13	On adjacent property to the south. Included bark from base to 3m above ground. Limbed up to 85% LCR.			+			+	
105	<i>Juniperus</i> var.	3	35	4	4	On adjacent property to the south.			+			+	



7516 - 7550 CAMBIE STREET - EXISTING TREES - ROAD ALLOWANCE														
Tree Number	Tree Type	# of Stems	Size			OBSERVATIONS	STATE				RECOMMEN- DATION			
	Species		DBH-cm	Spread - m	Height - m		Dead	Poor	Fair	Good	Retain	Remove	Relocate	Note
201	Aspen (populus sp.) (deciduous)		8	1	7	On front (backyard) lot adjacent property to the south.					+			
202	Common maple (acer glabrum) (deciduous)		8	3	8	On front (backyard) lot.					+			
203	Common deciduous (acer glabrum) (deciduous)		8	4	8	On front (backyard) lot adjacent property to the south.					+			
204	Aspen (populus sp.) (deciduous)		9	5	6	On front (backyard) lot.					+			
205	Common maple (acer glabrum) (deciduous)		8	2	12	On front (backyard) lot.					+			
206	Common deciduous (acer glabrum) (deciduous)			5	3	On front (backyard) lot adjacent property to the south.					+			
207	Aspen (populus sp.) (deciduous)		2	4	8	On front (backyard) lot.					+			
208	Common maple (acer glabrum) (deciduous)		8	2	8	On front (backyard) lot.					+			
209	Unidentified (deciduous)	10	48	8	8	Broadleaf, Other stem(s) Ø 10 - 14.					+	+		
210	Unidentified (deciduous)	10	48	8	7	Broadleaf, Other stem(s) Ø 10 - 14.					+	+		
211	Common maple (acer glabrum) (deciduous)		8	3	9	On front (backyard) lot adjacent property to the south.					+			
212	Common maple (acer glabrum) (deciduous)		8	4	5	On front (backyard) lot adjacent property to the south.					+			
213	Common maple (acer glabrum) (deciduous)		8	3	3	On front (backyard) lot adjacent property to the south.					+			

Note: Small trees under 0.20DBH and dead trees listed in gray.



3.0 THE PROJECT AND POTENTIAL IMPACTS ON TREES

The proposed new development on this site is to replace the existing single-family residence and the restaurant building with one 6 story residential and one mixed used building. New infrastructure for the existing restaurant business will be provided for it to remain at its existing location.

Due to the extent of the underground parking structure over almost the entire site, all on site trees fall within the building footprint. For all trees on adjacent property to the south, 40% or more of the root protection zone falls within the proposed building footprint or within area of heavy construction.

4.0 RECOMMENDATIONS FOR DEVELOPMENT

The observations above are an objective assessment of the existing tree and site conditions. The following recommendations take into account the proposed site development:

- Remove 17 on site trees, because they fall within the proposed building footprint.
- As a replacement for tree #1, which was removed in fall 2016, the city of Vancouver requested to integrate a large caliper tree into the design. The tree is to be planted on site on terra firma. A 17' by 30' notch has been provided in the underground parking structure, as shown on architectural as well as landscape drawings, to allow for sufficient space for the tree to mature. The replacement tree as specified on landscape drawings shall be pre-purchased and secured in a nursery, in order to be adequately prepared for transplanting. Actual planting shall be scheduled after construction has been finalized and landscape installation is under way, as to minimize potential for damage. Adequate irrigation shall be provided through an automated drip irrigation system to IABC standards. Planting of tree as well as installation of the irrigation system shall be reviewed by the consulting arborist.
- Tree #14, Japanese maple, is suitable for relocation. It is recommended to move larger trees directly to their permanent location. Due to the extent of the underground parking structure, this is not possible on the subject site and if this tree would be integrated into the landscape design, it would have to be stored off site during construction. We recommend this tree be donated to the city and relocated to a location within a park or boulevard as directed by city staff.
- Obtain permission from the owner of adjacent property to remove 5 trees on adjacent property to the south. 40% or more of their root protection zone falls within the proposed building footprint. Based on the City of Vancouver Cambie Corridor Plan, this parcel will likely be redeveloped in the near future at which time these trees would further be impacted or be removed.
- Retain and protect all (11) non by-law sized trees within road allowance that are located on either Cambie Street or West 59th Avenue Front Boulevard.
- Obtain permission from City of Vancouver to remove trees #209 and #210. 40% or more of their root protection zone falls within the proposed building footprint.

5.0 SUMMARY OF TREE REMOVALS AND REPLACEMENT TREES

- Trees recommended for removal: 17
- Trees recommended for relocation off site: 1
- Replacement trees required for subject site: 20
(Required for site area of 2,739sqm per City of Vancouver Protection of Trees By-Law, Schedule C)
- Proposed replacement trees: 20
(Count of replacement trees proposed in the current landscape concept consists of 8 trees within Part 1 and 25 trees within Part 2 of City of Vancouver Protection of Trees By-law, Schedule D. The exact count will be developed with the landscape design and verified as per City of Vancouver Protection of Trees By-Law, Schedule D.)

6.0 TREE PROTECTION MEASURES

The "dripline", i.e. the furthest horizontal extent of the branches, is used as a general guide to the location of most important roots, however the root system actually extends far beyond that limit. Tree roots are very shallow, generally in the top 450 mm (1'-6") of soil. The key to tree retention is minimizing root loss and possible sites for decay. Limits of disruption as shown on the EXISTING TREE RETENTION AND REMOVAL PLAN must be demarcated on site and fenced off from all impacts of construction.


Planning for tree protection, installation of protective barrier, root pruning and all other tree protection measures shall be done by or under supervision of a certified arborist. Excavation, soil stabilizing measures, shoring (if necessary) and related work shall be planned and executed such that no excavation or other construction activities occur within the Tree Protection Area defined by the protective barrier.

Protective Barrier shall be a 1.2 M (4'-0") high chain link fence (standard chain link fence or temporary construction fencing), securely installed, plumb, and securely fixed in the approved positions. Alternatively, Protective Barrier may be 1.2 M (4'-0") high orange plastic snow fence securely fastened to a sturdy, well anchored frame of 2 x 4 lumber with top and bottom rails and braced where necessary for rigidity. Tree Protection Area signs shall be signs at least 900mm x 450mm, on painted plywood or other acceptable weather resistant material, stating:

TREE PROTECTION AREA:

- No Dumping
- No Storage
- No Machinery
- No Burning
- No Cutting

Install Tree Protection Area signs as specified on the snow fence barrier, total of five signs. Signs shall be well secured and shall be maintained in place until Substantial Performance.



Take all measures necessary to prevent the following activities within tree protection areas except as authorized by the Consultant:

- Storage of materials or equipment
- Stockpiling of soil or excavated materials
- Burning
- Excavation or trenching
- Cutting of roots or branches

Before the start of machine excavation, hand excavate along the established limit of excavation and prune all roots along the line. Cuts shall be clean, to approved arboricultural practice.

Retained trees shall be watered thoroughly and deeply, as necessary to supplement rainfall to maintain plant turgidity without prolonged saturation of the root zone. The method, amount and frequency of watering shall be as recommended by the arborist. Retained trees may require fertilizing to stimulate regeneration of lost roots and foliage. The fertilizer program shall be as recommended by the arborist. Other measures may be necessary for tree protection and ongoing survival, depending on site conditions. These may be determined during the initial planning for retention and excavation, or may be recommended by the arborist during the course of construction.

7.0 LIMITATIONS OF THIS REPORT

The assessment of the trees presented in this report has been made using accepted arboricultural techniques. These include a visual examination of each tree for structural defects, scars, external indications of decay such as fungal fruiting bodies, evidence of insect attack, discoloured foliage, the condition of any visible root structures, the degree and direction of lean (if any), the general condition of the tree(s) in the surrounding site, and the proximity of property and people. Except where specifically noted in the report, none of the trees examined were dissected, cored, probed, or climbed, and detailed root crown examinations involving excavation were not undertaken.

The conclusions and recommendations made in this report are based on conditions as recorded on the date(s) of the field review. Notwithstanding the recommendations and conclusions, it must be realized that trees are living organisms, and their health and vigour constantly changes over time. They are not immune to changes in site conditions, or seasonal variations in the weather.


While reasonable efforts have been made to determine that the trees recommended for retention are healthy, no guarantees are offered, or implied, that these trees, or parts of them, will remain standing and whole. It is impossible to predict with absolute certainty the behaviour of any one single tree or group of trees, or their component parts in all future circumstances. Inevitably any standing tree will pose some risk. In accordance with standard practice, the assessment presented in this report is valid at the time it was undertaken. Durante Kreuk Ltd. accepts no responsibility for subsequent damage or deterioration.



Notwithstanding the recommendations made in this report, Durante Kreuk Ltd. accepts no responsibility for the implementation of all or part of the recommendations, unless we have been specifically retained to review the implementation measures as they are carried out. Implementation of the recommendations in no way implies any supervisory or inspection role on the part of Durante Kreuk Ltd.

This report shall be considered a whole; no sections or parts are severable. The report shall be considered incomplete if any pages are missing, including the attached plan.

Durante Kreuk Ltd.



Per: Florian Fisch

From: "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>
To: "Bosnjak, Joe" <joe.bosnjak@vancouver.ca>
Date: 3/31/2016 11:48:08 AM
Subject: FW: 7510-7554 Cambie St

Has it been mailed? If not, it is good to go.

I responded to wing.

From: Wing Leung [<mailto:wing@wtleungarch.com>]
Sent: Thursday, March 31, 2016 12:03 PM
To: Borsa, Jonathan
Cc: Elaine Jong
Subject: Re: 7510-7554 Cambie St

Hi Jonathan,

When is the official prior to letter available?

Regards,
Wing

W.T. Leung Architects, Inc.
300-973 West Broadway
Vancouver, BC V5Z 1K3
Canada
Tel: (604) 736-9711
Fax: (604) 736-7991

On Mar 18, 2016, at 12:42 PM, Borsa, Jonathan wrote:

Hi Wing,

Please see the attached draft prior-to letter. I don't expect any changes, but the official one will be mailed out.

Let me know if you have any questions.

Best,
Jonathan

From: Wing Leung [<mailto:wing@wtleungarch.com>]
Sent: Friday, March 18, 2016 11:50 AM
To: Borsa, Jonathan
Cc: Elaine Jong
Subject: Re: 7510-7554 Cambie St

Hi Jonathan,

Any update on the prior-to letter for this project?

Regards,
Wing

W.T. Leung Architects, Inc.
300-973 West Broadway
Vancouver, BC V5Z 1K3
Canada
Tel: (604) 736-9711
Fax: (604) 736-7991

On Mar 16, 2016, at 3:54 PM, Borsa, Jonathan wrote:

Hi Wing,

It was approved with conditions and we are just finalizing the prior-to letter. I expect to be able to email it to you tomorrow.

Thanks,
Jonathan

From: Wing Leung [<mailto:wing@wtleungarch.com>]
Sent: Wednesday, March 16, 2016 11:50 AM
To: Borsa, Jonathan
Subject: Re: 7510-7554 Cambie St

Hi Jonathan,

I understand from Marie Linehan last Thursday that our project's decision was dealt with on March 10 and that we would be receiving the prior-to letter shortly.

Please let me know when you expect the letter to be ready and I would appreciate if you would be able to email me a copy prior to mailing it out.

Thanks and regards,
Wing

W.T. Leung Architects, Inc.
300-973 West Broadway
Vancouver, BC V5Z 1K3
Canada
Tel: (604) 736-9711
Fax: (604) 736-7991

On Sep 21, 2015, at 11:40 AM, Borsa, Jonathan wrote:

Hi Wing,

Just a note that I have been assigned this file for the Development Permit stage.

Please let me know if you have any questions or when you are ready to move forward.

Best,
Jonathan

jonathan borsa | project facilitator | planning & development | city of vancouver
t | 604.671.6021

<7500 Cambie St - DE419896 - Prior To Letter DRAFT.DOCX>

From: ["Elaine Jong" <ejong@wtleungarch.com>](mailto:ejong@wtleungarch.com)
To: ["Bosnjak, Joe" <joe.bosnjak@vancouver.ca>](mailto:joe.bosnjak@vancouver.ca)
Date: 7/26/2017 9:01:27 AM
Subject: Fwd: 7516 - 7550 Cambie (DE 419896)
Attachments: 2017-07-26 7516-7550 Cambie Stat Clarification.pdf

Hi Joe

We hope you are well, and have a question regarding the email below, relayed to us by Jonathan Borsa. Please see attached.

We are assuming because the roof terrace entries are sloped, they need to be included in the area calculations.

Currently, our total net areas are as follows: Building A (North Bldg) = 38,994.8 sf
Building B (South Bldg) = 46,566.1 sf.

But the email below notes your calculations are: Building A (North Bldg) = 39,811 sf
Building B (south Bldg) = 46,800 sf.

The difference between the two is not 812 sf and 679 sf, respectively.

We have no issue with revising our stat sheet, but just need some clarification, or that we are looking at the same stat that you have referred to.

Thanks Joe.

Elaine Jong

Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

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V5Z 1K3

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E: ejong@wtleungarch.com

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DRAWING LIST

ARCHITECTURAL

A1.00 COVER	A2.03 PLAN - LEVEL 0 (SOUTH BLDG)
A1.01 DESIGN RATIONALE	A2.04 PLAN - LEVEL 1 (NORTH & SOUTH BLDGS)
A1.02 SUSTAINABILITY	A2.05 PLAN - LEVEL 2 (SOUTH BLDG)
A1.03 SUSTAINABILITY	A2.06 PLAN - LEVEL 2 (NORTH BLDG) & LEVEL 3 (SOUTH BLDG)
A1.04 SITE PLAN	A2.07 PLAN - LEVEL 3 (NORTH BLDG) & LEVEL 4 (SOUTH BLDG)
A1.05 NOT USED	A2.08 PLAN - LEVEL 4 (NORTH BLDG) & LEVEL 5 (SOUTH BLDG)
A1.06 NOT USED	A2.09 PLAN - LEVEL 5 (NORTH BLDG) & LEVEL 6 (SOUTH BLDG)
A1.07 NOT USED	A2.10 PLAN - LEVEL 6 (NORTH BLDG) & ROOF TERRACE (SOUTH BLDG)
A1.08 NOT USED	A2.11 ROOF TERRACE (NORTH BLDG) & ROOF PLAN (SOUTH BLDG)
A1.09 NOT USED	A2.12 ROOF PLAN (NORTH BLDG)
A1.10 NOT USED	
A1.11 NOT USED	
A2.01 PARKING LEVEL P2	A3.01 ELEVATIONS - WEST (NORTH & SOUTH BLDGS)
A2.02 PARKING LEVEL P1	A3.02 ELEVATIONS - NORTH & SOUTH (NORTH BLDG)
	A3.03 ELEVATION - EAST (NORTH & SOUTH BLDGS)
	A3.04 ELEVATION - NORTH & SOUTH (SOUTH BLDG)

A4.01 SECTION A-A
A4.02 SECTION B-B
A4.03 SECTION D-D
A5.09 NORTH BLDG PARTIAL WEST ELEVATION
A7.01 SECTION DETAILS
A7.02 SECTION DETAILS
A7.03 SECTION DETAILS
A7.04 SECTION DETAILS

FSR-1 FSR LEVEL 0 (SOUTH BLDG)
FSR-2 FSR LEVEL 1 (NORTH & SOUTH BLDG)
FSR-3 FSR LEVEL 3 (SOUTH BLDG)

FSR-4 FSR LEVEL 2 (NORTH BLDG) & LEVEL 3 (SOUTH BLDG)
FSR-5 FSR LEVEL 3 (NORTH BLDG) & LEVEL 4 (SOUTH BLDG)
FSR-6 FSR LEVEL 4 (NORTH BLDG) & LEVEL 5 (SOUTH BLDG)
FSR-7 FSR LEVEL 5 (NORTH BLDG) & LEVEL 6 (SOUTH BLDG)
FSR-8 FSR LEVEL 6 (NORTH BLDG) & ROOF TERRACE (SOUTH BLDG)
FSR-9 FSR ROOF TERRACE (NORTH BLDG)

LANDSCAPE

L-01 STREET LEVEL LANDSCAPE PLAN
L-02 STREET LEVEL PLANTING PLAN
L-03 ROOF PLAN
L-04 ROOF PLANTING PLAN
L-05 LANDSCAPE SECTIONS
L-06 LANDSCAPE SECTIONS
T-01 TREE REPORT

CONTEXT PLAN

AREA SUMMARY NORTH BUILDING

Floor	Residential Gross	Commercial Gross	Total Gross	Exemptions				Total Exemptions	Net FSR Area
				Amenity	Enclosed Balcony	Storage	Wall Exemption		
Floor - 1	1415.3 sf	4923.5 sf	6338.8 sf	0.0 sf	0.0 sf	0.0 sf	79.4 sf	79.4 sf	6259.4 sf
Floor - 2	7465.8 sf	0.0 sf	7465.8 sf	0.0 sf	0.0 sf	204.1 sf	95.8 sf	299.8 sf	7166.0 sf
Floor - 3	7464.5 sf	0.0 sf	7464.5 sf	0.0 sf	0.0 sf	206.4 sf	113.0 sf	319.4 sf	7145.2 sf
Floor - 4	7464.5 sf	0.0 sf	7464.5 sf	0.0 sf	0.0 sf	204.8 sf	95.6 sf	300.4 sf	7164.1 sf
Floor - 5	5815.1 sf	0.0 sf	5815.1 sf	0.0 sf	0.0 sf	131.2 sf	68.8 sf	199.9 sf	5615.2 sf
Floor - 6	5815.1 sf	0.0 sf	5815.1 sf	0.0 sf	0.0 sf	121.4 sf	40.3 sf	169.0 sf	5645.5 sf
Roof	0.0 sf	0.0 sf	0.0 sf	0.0 sf	0.0 sf	0.0 sf	0.0 sf	0.0 sf	0.0 sf
Total	35440.3 sf	4923.5 sf	40363.8 sf	0.0 sf	0.0 sf	867.8 sf	500.9 sf	1368.6 sf	38995.2 sf

Cov: Add 812 ϕ
= 39,811 ϕ

+ 812 ϕ
39,807 ϕ

AREA SUMMARY SOUTH BUILDING

Floor	Total Residential Gross	Amenity	Enclosed Balcony	Storage	Wall Exemption	Total Exemptions	Net FSR Area
Floor - 0	4450.0 sf	0.0 sf	0.0 sf	77.7 sf	38.3 sf	116.0 sf	4334.0 sf
Floor - 1	8713.2 sf	1405.0 sf	0.0 sf	185.5 sf	113.2 sf	1703.7 sf	7009.6 sf
Floor - 2	8563.3 sf	0.0 sf	0.0 sf	249.0 sf	113.0 sf	362.0 sf	8201.2 sf
Floor - 3	8563.9 sf	0.0 sf	0.0 sf	253.2 sf	113.0 sf	366.3 sf	8197.6 sf
Floor - 4	7698.4 sf	0.0 sf	0.0 sf	180.2 sf	95.6 sf	275.8 sf	7422.5 sf
Floor - 5	6548.7 sf	0.0 sf	0.0 sf	141.9 sf	68.8 sf	210.7 sf	6338.0 sf
Floor - 6	4718.1 sf	0.0 sf	0.0 sf	53.1 sf	48.3 sf	101.3 sf	4616.8 sf
Roof	446.0 sf	0.0 sf	0.0 sf	0.0 sf	0.0 sf	0.0 sf	446.0 sf
Total	49701.5 sf	1405.0 sf	0.0 sf	1148.7 sf	590.1 sf	3135.8 sf	46565.7 sf

Cov: Add 679 ϕ
= 46,800 ϕ

+ 679 ϕ
= 47,245 ϕ

UNIT SUMMARY NORTH BUILDING

1 BDR	3	10.345
2 BDR	14	48.276
3 BDR	12	41.379
Total	29 Units	100.0 %

UNIT SUMMARY SOUTH BUILDING

1 BDR	10 Units	23.8 %
2 BDR	23 Units	54.8 %
3 BDR	9 Units	21.4 %
Total	42 Units	101.0 %

BALCONY SUMMARY - NORTH BUILDING

Floor	Open Balcony	Private Patio	Exemptions	
			Encl. Balcony	
Floor - 1	0.00 sf	0.00 sf	0.00 sf	
Floor - 2	197.12 sf	247.74 sf	0.00 sf	
Floor - 3	427.12 sf	0.00 sf	0.00 sf	
Floor - 4	427.20 sf	0.00 sf	0.00 sf	
Floor - 5	172.83 sf	1,471.84 sf	0.00 sf	
Floor - 6	318.05 sf	0.00 sf	0.00 sf	
Floor - 6	118.37 sf	1,702.09 sf	0.00 sf	
Total	1,578.69 sf	3,421.67 sf	0.00 sf	
FSR Area	38,995.16 sf			
Total Balcony	4,992.36 sf			
Total Open Balcony	1,578.69 sf			
Total Enclosed Balcony	0.00 sf			

BALCONY SUMMARY - SOUTH BUILDING

Floor	Open Balcony	Private Patio	Exemptions	
			Encl. Balcony	
Floor - 0	0.00 sf	743.59 sf	0.00 sf	
Floor - 1	217.27 sf	1,134.94 sf	0.00 sf	
Floor - 2	472.24 sf	115.59 sf	0.00 sf	
Floor - 3	711.73 sf	0.00 sf	0.00 sf	
Floor - 4	573.02 sf	750.05 sf	0.00 sf	
Floor - 5	248.89 sf	1,052.15 sf	0.00 sf	
Floor - 6	118.37 sf	1,702.09 sf	0.00 sf	
Floor - 6	118.37 sf	1,702.09 sf	0.00 sf	
Total	2,459.89 sf	7,200.59 sf	0.00 sf	
FSR Area	46,565.72 sf			
Total Balcony	9,660.39 sf			
Total Open Balcony	2,459.89 sf			

4 2017 08 04 ISSUED FOR DP
PRIOR-TO CONDITIONS

3 2015 11 27 ISSUED FOR
DEVELOPMENT PERMIT

2 2015 03 14 URBAN DESIGN PANEL

1 2014 12 18 REZONING

DATE (mm/dd) ISSUED FOR

PROJECT NORTH

PROJECT

LANGARA WEST
7510-7554 Cambie Street
Vancouver, B.C.

DRAWING TITLE

PROJECT DATA

CONTEXT PLAN

SCALE 1/8" = 1'-0"

JOB NO. 13-10

DRAWN ME, NM, LL, VK

DATE 14 APRIL 2015

CHECKED WTL

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DRAWING NO.

A1.00

Begin forwarded message:

From: "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>
Subject: RE: 7516 - 7550 Cambie (DE 419896)
Date: July 24, 2017 4:28:37 PM PDT
To: Elaine Jong <ejong@wtleungarch.com>

Hi Elaine,

The electronic copy is sufficient.

I also have the following note from Joe:

The roof entries from each individual unit are counted in floor area; Stats page to be updated with appropriate numbers, I have noted roof of building A as 812 sq. ft. and roof of building b 679 sq. ft.; For a total of 39, 811 for building a and 46800 for building b.

Thanks,
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From: Elaine Jong [<mailto:ejong@wtleungarch.com>]
Sent: Monday, July 24, 2017 3:41 PM
To: Borsa, Jonathan
Cc: Autiero, David; Tom Almas; Alex Liang; John Liang; Wing Leung
Subject: Re: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

Thanks for your response.

Attached is the Acoustical Report. If you need hard copies delivered, please let me know (as well as how many).

We look forward to hearing from you soon, about the DP, and any other items we need to address to obtain the DP.

Thanks.

Elaine Jong
Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

#300 - 973 West Broadway,
Vancouver, BC
V5Z 1K3

T: 604.736.9711
F: 604.736.7991
E: ejong@wtleungarch.com

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On Jul 24, 2017, at 3:18 PM, "Borsa, Jonathan" <jonathan.borsa@vancouver.ca> wrote:

Hi Elaine,

I have just received clearance on the technical items (conditions 1.12-1.17). We just need the Acoustical Report.

I have reminded the other staff that the target date is approaching and will advise.

Thanks,
Jonathan

From: Elaine Jong [<mailto:ejong@wtleungarch.com>]
Sent: Thursday, July 20, 2017 5:16 PM
To: Borsa, Jonathan
Cc: Autiero, David; Tom Almas; Alex Liang; John Liang; Wing Leung
Subject: Re: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

Not only are we following up on our client's email to you, from July 6, 2017 and earlier today, but we would like to know what items are still outstanding and are needed for the issuance of the DP for this project.

Also, are there any comments to our Prior-To submission, which need to be addressed?

We are nearing the 12 weeks (will be 31 July 2017) from when we met and submitted the Prior-to package to yourself.

Thanks.

Elaine Jong
Architect, AIBC

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On Jul 19, 2017, at 4:28 PM, John Liang <john@vivagrand.com> wrote:

Hi Jonathan,

I am checking to see if you receive the email below or not. Please let us know when we can expect to obtain the development permit.

Thanks,

John Liang
Vivagrand Developments
#550-601 West Broadway
Vancouver, B.C.
V5Z 4C2
T 604-336-6787
C 778-858-9898
www.vivagrand.com

On Jul 6, 2017, at 11:28 AM, Tom Almas <talmas@fwpl.net> wrote:

Hi Jonathan,

Is it possible to give an estimated date for the issuance of the development permit?

Regards,

Tom Almas

From: Borsa, Jonathan [<mailto:jonathan.borsa@vancouver.ca>]
Sent: Thursday, April 13, 2017 12:59 PM
To: Elaine Jong
Cc: Linehan, Marie; Wing Leung; Tom Almas; John Liang; Alex Liang; Florian Fisch
Subject: RE: 7516 - 7550 Cambie (DE 419896)

Hi Elaine,

I've moved the meeting to Friday April 21st at the same time 9:30 am.

We are in Town Hall Meeting Room 114 in the Main Building of City Hall. Please meet directly at the meeting room.

Let me know if you have any questions prior to the meeting.

Thanks,
Jonathan

From: Elaine Jong [<mailto:ejong@wtleungarch.com>]
Sent: Thursday, April 13, 2017 12:32 PM
To: Borsa, Jonathan

Cc: Linehan, Marie; Autiero, David; Wing Leung; Tom Almas; John Liang; Alex Liang; Florian Fisch
Subject: Re: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

I just learned Wing cannot make the meeting on Wednesday April 19 at 9:30am.

We would like to reschedule. Is there anything available on the Friday April 21st or Monday April 24th?

Thanks.

Elaine Jong
Architect, AIBC

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From: Elaine Jong <ejong@wtleungarch.com>
Date: Thursday, April 13, 2017 11:51 AM
To: "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>
Cc: "Linehan, Marie" <marie.linehan@vancouver.ca>, David Autiero <david.autiero@vancouver.ca>, Wing Leung <wing@wtleungarch.com>, Tom Almas <talmas@fwpl.net>, John Liang <john@vivagrand.com>, Alex Liang <alex@vivagrand.com>, Florian Fisch <florian@dkl.bc.ca>
Subject: Re: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

Wednesday April 19, 2017 at 9:30am, works for us.

Which room and building will it be held?

Thanks.

Elaine Jong
Architect, AIBC

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From: <Borsa>, Jonathan <jonathan.borsa@vancouver.ca>
Date: Wednesday, April 12, 2017 1:35 PM
To: Elaine Jong <ejong@wtleungarch.com>
Cc: "Linehan, Marie" <marie.linehan@vancouver.ca>, David Autiero <david.autiero@vancouver.ca>, Wing Leung <wing@wtleungarch.com>, Tom Almas <talmas@fwpl.net>, John Liang <john@vivagrand.com>, Alex Liang <alex@vivagrand.com>
Subject: RE: 7516 - 7550 Cambie (DE 419896)

Hi Elaine,

I've booked a time for next Wednesday, April 19th, morning at 9:30 am. Please let me know if this time will work for your team.

Thanks,
Jonathan

From: Elaine Jong [<mailto:ejong@wtleungarch.com>]
Sent: Wednesday, April 12, 2017 12:25 PM
To: Borsa, Jonathan
Cc: Linehan, Marie; Autiero, David; Wing Leung; Tom Almas; John Liang; Alex Liang
Subject: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

Just following up on my voice message to you a couple of days ago, to set up a meeting to review this project's DP prior-to conditions.

Let us know what dates are available as we are currently preparing our documents for the meeting.

Thanks.

Elaine Jong
Architect, AIBC

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From: "Elaine Jong" <ejong@wtleungarch.com>
To: "Bosnjak, Joe" <joe.bosnjak@vancouver.ca>
"Borsa, Jonathan" <jonathan.borsa@vancouver.ca>
Date: 7/26/2017 3:38:16 PM
Subject: Fwd: 7516 - 7550 Cambie (DE 419896)
Attachments: 2017-07-26 7510-7554 Cambie Data Revisions.pdf

Hi Joe and Jonathan

Attached is a pdf showing our revisions to our data sheet (A1.00). The roof areas now include the roof door assemblies footprints (drip line), as well as the area for the core.

We hope this will suffice. Please advise to the best and most efficient means to make this change to City documents.

Thanks.

Elaine Jong

Architect, AIBC

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Begin forwarded message:

From: "Bosnjak, Joe" <joe.bosnjak@vancouver.ca>
Subject: RE: 7516 - 7550 Cambie (DE 419896)
Date: July 26, 2017 11:22:40 AM PDT
To: Elaine Jong <ejong@wtleungarch.com>
Cc: Wing Leung <wing@wtleungarch.com>, "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>

Hello Elaine,

It is the roof entries that need to be counted in floor area. The only way they can be excluded is if they are considered to be a roof hatch and have a height of no greater than 4' measured from the top of roof (slab) to the top of roof hatch.

Joe

From: Elaine Jong [mailto:ejong@wtleungarch.com]
Sent: Wednesday, July 26, 2017 10:01 AM
To: Bosnjak, Joe
Cc: Wing Leung; Borsa, Jonathan
Subject: Fwd: 7516 - 7550 Cambie (DE 419896)

Hi Joe

We hope you are well, and have a question regarding the email below, relayed to us by Jonathan Borsa. Please see attached.

We are assuming because the roof terrace entries are sloped, they need to be included in the area calculations.

Currently, our total net areas are as follows:

Building A (North Bldg) = 38,994.8 sf

Building B (South Bldg) = 46,566.1 sf.

But the email below notes your calculations are:

Building A (North Bldg) = 39,811 sf

Building B (south Bldg) = 46,800 sf.

The difference between the two is not 812 sf and 679 sf, respectively.

We have no issue with revising our stat sheet, but just need some clarification, or that we are looking at the same stat that you have referred to.

Thanks Joe.

Elaine Jong

Architect, AIBC

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Begin forwarded message:

From: "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>
Subject: RE: 7516 - 7550 Cambie (DE 419896)
Date: July 24, 2017 4:28:37 PM PDT
To: Elaine Jong <ejong@wtleungarch.com>

Hi Elaine,

The electronic copy is sufficient.

I also have the following note from Joe:

The roof entries from each individual unit are counted in floor area; Stats page to be updated with appropriate numbers, I have noted roof of building A as 812 sq. ft. and roof of building b 679 sq. ft.; For a total of 39, 811 for building a and 46800 for building b.

Thanks,
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Sent: Monday, July 24, 2017 3:41 PM
To: Borsa, Jonathan
Cc: Autiero, David; Tom Almas; Alex Liang; John Liang; Wing Leung
Subject: Re: 7516 - 7550 Cambie (DE 419896)

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Thanks.

Elaine Jong
Architect, AIBC

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Thanks,
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To: Borsa, Jonathan
Cc: Autiero, David; Tom Almas; Alex Liang; John Liang; Wing Leung
Subject: Re: 7516 - 7550 Cambie (DE 419896)

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Thanks.

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#550-601 West Broadway
Vancouver, B.C.
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C 778-858-9898
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From: Borsa, Jonathan [<mailto:jonathan.borsa@vancouver.ca>]

Sent: Thursday, April 13, 2017 12:59 PM

To: Elaine Jong

Cc: Linehan, Marie; Wing Leung; Tom Almas; John Liang; Alex Liang; Florian Fisch

Subject: RE: 7516 - 7550 Cambie (DE 419896)

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Cc: "Linehan, Marie" <marie.linehan@vancouver.ca>, David Autiero <david.autiero@vancouver.ca>, Wing Leung <wing@wtleungarch.com>, Tom Almas <talmas@fwpl.net>, John Liang <john@vivagrand.com>, Alex Liang <alex@vivagrand.com>, Florian Fisch <florian@dkl.bc.ca>

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Architect, AIBC

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To: Elaine Jong <ejong@wtleungarch.com>
Cc: "Linehan, Marie" <marie.linehan@vancouver.ca>, David Autiero <david.autiero@vancouver.ca>, Wing Leung <wing@wtleungarch.com>, Tom Almas <talmas@fwpl.net>, John Liang <john@vivagrand.com>, Alex Liang <alex@vivagrand.com>
Subject: RE: 7516 - 7550 Cambie (DE 419896)

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Thanks,
Jonathan

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Sent: Wednesday, April 12, 2017 12:25 PM
To: Borsa, Jonathan
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LANGARA WEST

7510-7554 CAMBIE ST.

DE 419896.

26 July 2017.

AREA SUMMARY

NORTH BUILDING *Block A*

Floor	Residential Gross	Commercial Gross	Total Gross	Exemptions				Total Exemptions	Net FSR Area
				Amenity	Enclosed Balcony	Storage	Wall Exemption		
Floor - 1	1415.3 sf	4923.5 sf	6338.8 sf	0.0 sf	0.0 sf	0.0 sf	79.4 sf	79.4 sf	6259.4 sf
Floor - 2	7465.6 sf	0.0 sf	7465.6 sf	0.0 sf	0.0 sf	204.1 sf	95.8 sf	299.8 sf	7165.8 sf
Floor - 3	7464.5 sf	0.0 sf	7464.5 sf	0.0 sf	0.0 sf	206.4 sf	113.0 sf	319.4 sf	7145.2 sf
Floor - 4	7464.3 sf	0.0 sf	7464.3 sf	0.0 sf	0.0 sf	204.8 sf	95.6 sf	300.4 sf	7163.9 sf
Floor - 5	5815.4 sf	0.0 sf	5815.4 sf	0.0 sf	0.0 sf	116.9 sf	68.8 sf	185.6 sf	5629.8 sf
Floor - 6	5815.1 sf	0.0 sf	5815.1 sf	0.0 sf	0.0 sf	122.1 sf	48.3 sf	170.4 sf	5644.7 sf
Roof Terrace / Roof	772.9 sf	0.0 sf	772.9 sf	0.0 sf	0.0 sf	0.0 sf	0.0 sf	0.0 sf	772.9 sf
Total	36213.1 sf	4923.5 sf	41136.6 sf	0.0 sf	0.0 sf	854.2 sf	500.9 sf	1355.0 sf	39781.5 sf

AREA SUMMARY

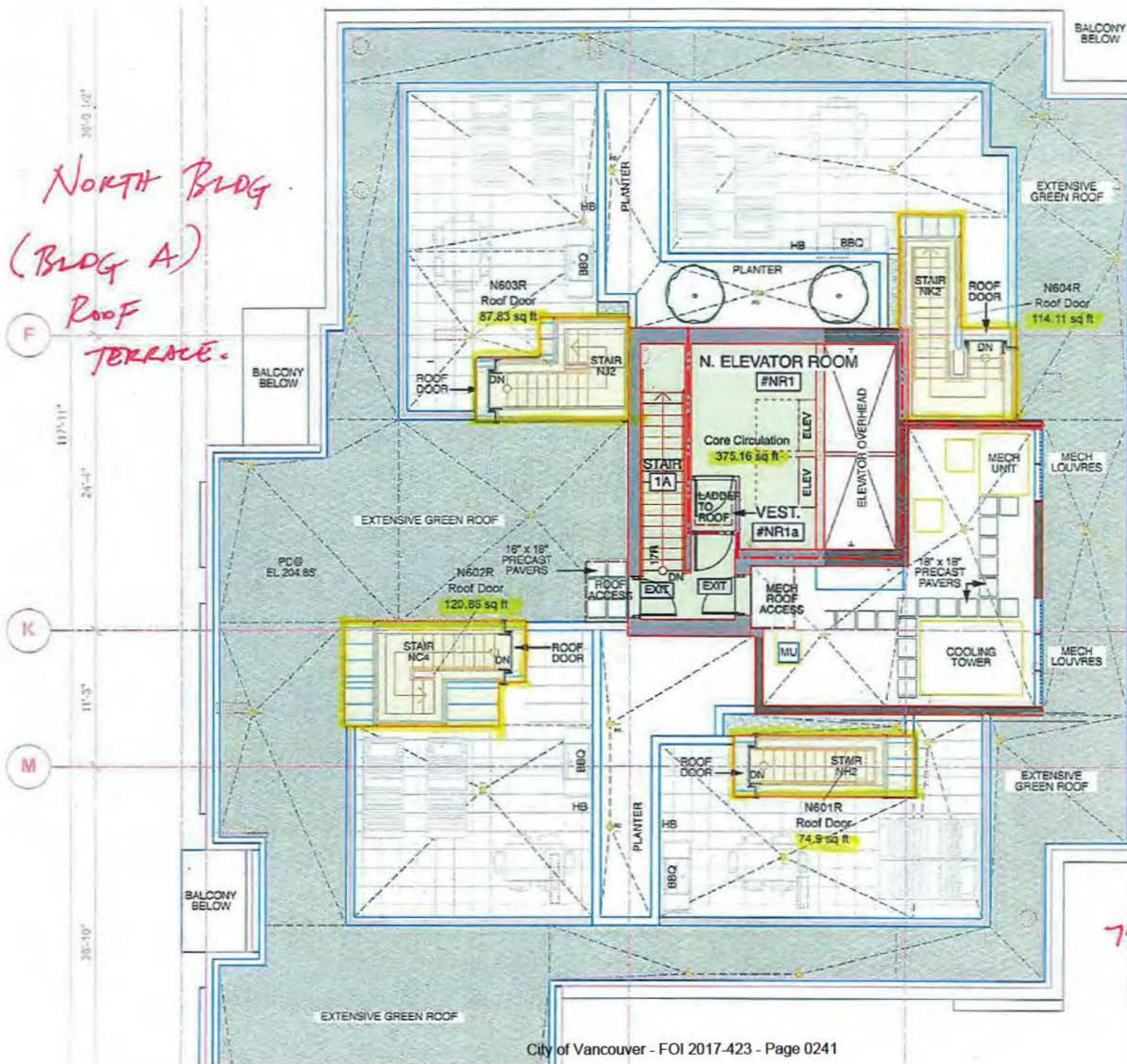
SOUTH BUILDING *Block B.*

Floor	Total Residential Gross	Exemptions				Total Exemptions	Net FSR Area
		Amenity	Enclosed Balcony	Storage	Wall Exemption		
Floor - 0	4450.0 sf	0.0 sf	0.0 sf	77.7 sf	38.3 sf	116.0 sf	4334.0 sf
Floor - 1	8713.2 sf	1405.0 sf	0.0 sf	185.5 sf	113.2 sf	1703.7 sf	7009.6 sf
Floor - 2	8563.3 sf	0.0 sf	0.0 sf	249.0 sf	113.0 sf	362.0 sf	8201.3 sf
Floor - 3	8564.0 sf	0.0 sf	0.0 sf	253.2 sf	113.0 sf	366.3 sf	8197.8 sf
Floor - 4	7698.4 sf	0.0 sf	0.0 sf	180.2 sf	95.6 sf	275.8 sf	7422.6 sf
Floor - 5	6548.7 sf	0.0 sf	0.0 sf	141.9 sf	68.8 sf	210.7 sf	6338.0 sf
Floor - 6	4718.3 sf	0.0 sf	0.0 sf	53.1 sf	48.3 sf	101.3 sf	4617.0 sf
Roof Terrace / Roof	687.7 sf	0.0 sf	0.0 sf	0.0 sf	0.0 sf	0.0 sf	687.7 sf
Total	49943.6 sf	1405.0 sf	0.0 sf	1140.7 sf	590.1 sf	3135.8 sf	46807.8 sf

REVISED TO INCLUDE AREAS
OF ROOF DOOR

From A1.00.

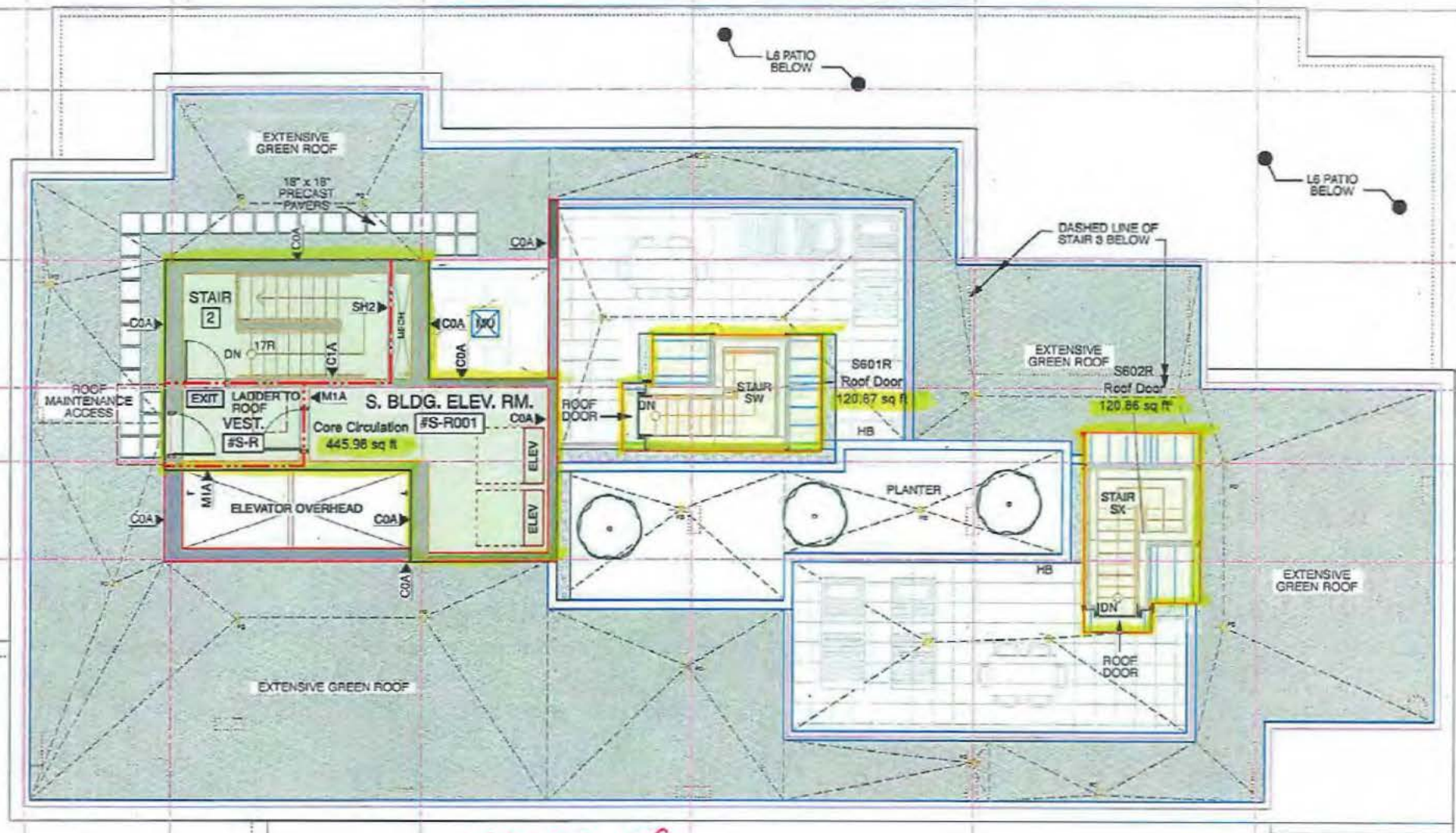
NORTH BLDG.
(BLDG A)
ROOF
TERRACE.



375.16 s.f.
114.11 s.f.
74.9 s.f.
120.86 s.f.
87.83 s.f.
772.9 s.f.

LANGARA WEST
7510-7554 CAMBIE
DE 419896
26 June 2017.

SOUTH BLDG (BLDG B) ROOF TERRACE



445.98 s.f.

120.87 s.f.

120.86 s.f.

687.7 s.f.

City of Vancouver - FOI 2017-423 - Page 0242

LANGARA WEST
7510-7554 CAMBIE
DE 419896
26 JULY 2017 - NTS.

From: "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>
To: "Elaine Jong" <ejong@wtleungarch.com>
Date: 7/22/2016 7:30:31 AM
Subject: RE: 7500 Cambie St.; Development Application #DE419896

Hi Elaine,

Apologies for the delay. Next Wednesday would be the latest in the week staff are available due to the long weekend/vacation. Does 11 am on wed the 27th work for you? Alternatively, I can look into the week following the long weekend.

Let me know.

Thanks,
Jonathan

From: Elaine Jong [mailto:ejong@wtleungarch.com]
Sent: Thursday, July 21, 2016 6:02 PM
To: Borsa, Jonathan
Cc: Kopy, Vaughan; Wing Leung; Bosnjak, Joe
Subject: Fwd: 7500 Cambie St.; Development Application #DE419896

Jonathan

We are following up on our email below (and two voice messages to you.)

We would like to arrange a meeting on Friday 29 July 2016 for our preliminary review of our submission for the above noted project.

Please call to discuss. Thanks.

Elaine Jong
Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

#300 - 973 West Broadway,
Vancouver, BC
V5Z 1K3

T: 604.736.9711
F: 604.736.7991
E: ejong@wtleungarch.com

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Begin forwarded message:

From: Elaine Jong <ejong@wtleungarch.com>
Subject: 7500 Cambie St.; Development Application #DE419896
Date: July 19, 2016 2:57:29 PM PDT
To: Jonathan Borsa <jonathan.borsa@vancouver.ca>
Cc: "Joe.bosnjak@vancouver.ca" <Joe.bosnjak@vancouver.ca>, Wing Leung <wing@wtleungarch.com>

Hi Jonathan

I just called and left you a voice message.

We would like to arrange a meeting with the City for a preliminary review of our submission that addresses the prior-to conditions. We are hoping to meet on Friday, 29 July 2016.

Please call to discuss when we can meet.

Thanks.

Elaine Jong
Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

#300 - 973 West Broadway,
Vancouver, BC
V5Z 1K3

T: 604.736.9711
F: 604.736.7991
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From: "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>
To: "Elaine Jong" <ejong@wtleungarch.com>
Date: 7/22/2016 1:59:33 PM
Subject: RE: 7500 Cambie St. #DE419896 Item 1.22ig

Hi Elaine,

A note on the drawings stating the "Concept to be provided by the Engineering" will be fine.

The earliest time after the long weekend is on Thursday August 4th at 11 am, will that work for you?

Thanks,
Jonathan

From: Elaine Jong [mailto:ejong@wtleungarch.com]
Sent: Friday, July 22, 2016 1:22 PM
To: Borsa, Jonathan
Cc: Bosnjak, Joe; Kopy, Vaughan; Wing Leung; Florian Fisch
Subject: 7500 Cambie St. #DE419896 Item 1.22ig

Jonathan

On one of my voice messages to you earlier this week, I asked about Item 1.22ig. The last line says "Note, concept to be provided by the City."

Please provide this concept or advise how we are to address this item for our preliminary review.

Thanks.

Elaine Jong
Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

#300 - 973 West Broadway,
Vancouver, BC
V5Z 1K3

T: 604.736.9711
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From: ["Borsa, Jonathan" <jonathan.borsa@vancouver.ca>](mailto:Jonathan.Borsa@vancouver.ca)
To: ["Elaine Jong" <ejong@wtleungarch.com>](mailto:ejong@wtleungarch.com)
Date: 8/3/2016 9:17:17 AM
Subject: RE: 7500 Cambie St. #DE419896 Meeting confirmation?
Attachments: 7500 Cambie St - DE419896 - Prior-to.DOCX

Hi Elaine,

Yes, we are on for tomorrow. Please see attached word file.

Thanks,
Jonathan

From: Elaine Jong [mailto:ejong@wtleungarch.com]
Sent: Friday, July 29, 2016 3:08 PM
To: Borsa, Jonathan
Cc: Bosnjak, Joe; Wing Leung
Subject: Fwd: 7500 Cambie St. #DE419896 Meeting confirmation?

Hi Jonathan

We just wanted to confirm that we are on for Aug 4, 2016, at 11am?

Also, could you please email the Word document for this project's "prior-to permit issuance" dated 31 March 2016, so we can put our responses in writing?

Thanks.

Elaine Jong

Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

#300 - 973 West Broadway,

Vancouver, BC

V5Z 1K3

T: 604.736.9711

F: 604.736.7991

E: ejong@wtleungarch.com

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Begin forwarded message:

From: "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>

Subject: RE: 7500 Cambie St. #DE419896 Item 1.22ig

Date: July 22, 2016 2:59:33 PM PDT

To: Elaine Jong <ejong@wtleungarch.com>

Cc: "Bosnjak, Joe" <joe.bosnjak@vancouver.ca>, Wing Leung <wing@wtleungarch.com>, Florian Fisch <florian@dkl.bc.ca>

Hi Elaine,

A note on the drawings stating the "Concept to be provided by the Engineering" will be fine.

The earliest time after the long weekend is on Thursday August 4th at 11 am, will that work for you?

Thanks,
Jonathan

From: Elaine Jong [mailto:ejong@wtleungarch.com]
Sent: Friday, July 22, 2016 1:22 PM
To: Borsa, Jonathan
Cc: Bosnjak, Joe; Kopy, Vaughan; Wing Leung; Florian Fisch
Subject: 7500 Cambie St. #DE419896 Item 1.22ig

Jonathan

On one of my voice messages to you earlier this week, I asked about Item 1.22ig. The last line says "Note, concept to be provided by the City."

Please provide this concept or advise how we are to address this item for our preliminary review.

Thanks.

Elaine Jong

Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

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Vancouver, BC

V5Z 1K3

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From: "Wing Leung" <wing@wtleungarch.com>
To: "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>
Date: 3/16/2016 3:10:37 PM
Subject: Re: 7510-7554 Cambie St

Thanks Jonathan,

Please e mail the letter to me tomorrow when it is available.

Regards,
Wing

W.T. Leung Architects, Inc.
300-973 West Broadway
Vancouver, BC V5Z 1K3
Canada
Tel: (604) 736-9711
Fax: (604) 736-7991

On Mar 16, 2016, at 3:54 PM, Borsa, Jonathan wrote:

Hi Wing,

It was approved with conditions and we are just finalizing the prior-to letter. I expect to be able to email it to you tomorrow.

Thanks,
Jonathan

From: Wing Leung [mailto:wing@wtleungarch.com]
Sent: Wednesday, March 16, 2016 11:50 AM
To: Borsa, Jonathan
Subject: Re: 7510-7554 Cambie St

Hi Jonathan,

I understand from Marie Linehan last Thursday that our project's decision was dealt with on March 10 and that we would be receiving the prior-to letter shortly.

Please let me know when you expect the letter to be ready and I would appreciate if you would be able to e mail me a copy prior to mailing it out.

Thanks and regards,
Wing

W.T. Leung Architects, Inc.
300-973 West Broadway
Vancouver, BC V5Z 1K3
Canada
Tel: (604) 736-9711
Fax: (604) 736-7991

On Sep 21, 2015, at 11:40 AM, Borsa, Jonathan wrote:

Hi Wing,

Just a note that I have been assigned this file for the Development Permit stage.

Please let me know if you have any questions or when you are ready to move forward.

Best,
Jonathan

jonathan borsa | project facilitator | planning & development | city of vancouver
t | 604.871.6021

From: ["Borsa, Jonathan" <jonathan.borsa@vancouver.ca>](mailto:Jonathan.Borsa@vancouver.ca)
To: ["Wing Leung" <wing@wtleungarch.com>](mailto:wing@wtleungarch.com)
Date: 3/31/2016 12:39:18 PM
Subject: RE: 7510-7554 Cambie St

Hi Wing,

I will have Joe sign another copy and send over. Would you like it scanned and emailed as well?

Thanks,
Jonathan

From: Wing Leung [<mailto:wing@wtleungarch.com>]
Sent: Thursday, March 31, 2016 1:07 PM
To: Borsa, Jonathan
Subject: Re: 7510-7554 Cambie St

Hi Jonathan,

My reason for asking is that our client needs a signed original for their lawyers to be able to file a Disclosure Statement and it has been almost two weeks since your last e mail and I am a bit worried that it got lost?

Regards,
Wing

W.T. Leung Architects, Inc.
300-973 West Broadway
Vancouver, BC V5Z 1K3
Canada
Tel: (604) 736-9711
Fax: (604) 736-7991

On Mar 31, 2016, at 12:47 PM, Borsa, Jonathan wrote:

Hi Wing,

There are no changes from the draft version, but the official copy should be in the mail. I will double check that it has been sent.

Let me know if there are any questions.

Thanks,
Jonathan

From: Wing Leung [<mailto:wing@wtleungarch.com>]
Sent: Thursday, March 31, 2016 12:03 PM
To: Borsa, Jonathan
Cc: Elaine Jong
Subject: Re: 7510-7554 Cambie St

Hi Jonathan,

When is the official prior to letter available?

Regards,
Wing

W.T. Leung Architects, Inc.
300-973 West Broadway
Vancouver, BC V5Z 1K3
Canada
Tel: (604) 736-9711
Fax: (604) 736-7991

On Mar 18, 2016, at 12:42 PM, Borsa, Jonathan wrote:

Hi Wing,

Please see the attached draft prior-to letter. I don't expect any changes, but the official one will be mailed out.

Let me know if you have any questions.

Best,
Jonathan

From: Wing Leung [<mailto:wing@wtleungarch.com>]
Sent: Friday, March 18, 2016 11:50 AM
To: Borsa, Jonathan
Cc: Elaine Jong
Subject: Re: 7510-7554 Cambie St

Hi Jonathan,

Any update on the prior-to letter for this project?

Regards,
Wing

W.T. Leung Architects, Inc.
300-973 West Broadway
Vancouver, BC V5Z 1K3
Canada
Tel: (604) 736-9711
Fax: (604) 736-7991

On Mar 16, 2016, at 3:54 PM, Borsa, Jonathan wrote:

Hi Wing,

It was approved with conditions and we are just finalizing the prior-to letter. I expect to be able to email it to you

tomorrow.

Thanks,
Jonathan

From: Wing Leung [<mailto:wing@wtleungarch.com>]

Sent: Wednesday, March 16, 2016 11:50 AM

To: Borsa, Jonathan

Subject: Re: 7510-7554 Cambie St

Hi Jonathan,

I understand from Marie Linehan last Thursday that our project's decision was dealt with on March 10 and that we would be receiving the prior-to letter shortly.

Please let me know when you expect the letter to be ready and I would appreciate if you would be able to email me a copy prior to mailing it out.

Thanks and regards,
Wing

W.T. Leung Architects, Inc.
300-973 West Broadway
Vancouver, BC V5Z 1K3
Canada
Tel: (604) 736-9711
Fax: (604) 736-7991

On Sep 21, 2015, at 11:40 AM, Borsa, Jonathan wrote:

Hi Wing,

Just a note that I have been assigned this file for the Development Permit stage.

Please let me know if you have any questions or when you are ready to move forward.

Best,
Jonathan

jonathan borsa | project facilitator | planning & development | city of vancouver
t | 604.871.6021

<7500 Cambie St - DE419896 - Prior To Letter DRAFT.DOCX>

From: "Elaine Jong" <ejong@wtleungarch.com>
To: "Bosnjak, Joe" <joe.bosnjak@vancouver.ca>
"Borsa, Jonathan" <jonathan.borsa@vancouver.ca>
Date: 8/1/2017 8:17:27 AM
Subject: Re: 7516 - 7550 Cambie (DE 419896)

Thanks Joe. Red ink sounds easiest.

Jonathan -- is our development permit ready? It has been 16 weeks since we submitted our prior-to conditions. Please advise when we can meet with you to revise the areas (as discussed with Joe) and to address any other items needed for us to obtain our DP.

Thanks.

Elaine Jong

Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

#300 - 973 West Broadway,
Vancouver, BC
V5Z 1K3

T: 604.736.9711

F: 604.736.7991

E: ejong@wtleungarch.com

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On Jul 27, 2017, at 10:02 AM, "Bosnjak, Joe" <joe.bosnjak@vancouver.ca> wrote:

Hello Elaine,

That looks fine from my end. All that will be required from my end is an update of the stats table on 3 sets of drawings. We can coordinate with Jonathan prior to issuance. Since it's only a couple of markups you can do it by red ink (crossing out and replacing with new numbers) or by cutting and pastings the new area on the page. Whatever your prefer.

Regards

Joe

From: Elaine Jong [<mailto:ejong@wtleungarch.com>]

Sent: Wednesday, July 26, 2017 4:38 PM

To: Bosnjak, Joe; Borsa, Jonathan

Cc: Wing Leung

Subject: Fwd: 7516 - 7550 Cambie (DE 419896)

Hi Joe and Jonathan

Attached is a pdf showing our revisions to our data sheet (A1.00). The roof areas now include the roof door assemblies footprints (drip line), as well as the area for the core.

We hope this will suffice. Please advise to the best and most efficient means to make this change to City documents.

Thanks.

Elaine Jong

Architect, AIBC

W.T. LEUNG **ARCHITECTS** INC.

#300 - 973 West Broadway,
Vancouver, BC
V5Z 1K3

T: 604.736.9711

F: 604.736.7991

E: ejong@wtleungarch.com

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Begin forwarded message:

From: "Bosnjak, Joe" <joe.bosnjak@vancouver.ca>
Subject: RE: 7516 - 7550 Cambie (DE 419896)
Date: July 26, 2017 11:22:40 AM PDT
To: Elaine Jong <ejong@wtleungarch.com>
Cc: Wing Leung <wing@wtleungarch.com>, "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>

Hello Elaine,

It is the roof entries that need to be counted in floor area. The only way they can be excluded is if they are considered to be a roof hatch and have a height of no greater than 4' measured from the top of roof (slab) to the top of roof hatch.

Joe

From: Elaine Jong [mailto:ejong@wtleungarch.com]

Sent: Wednesday, July 26, 2017 10:01 AM
To: Bosnjak, Joe
Cc: Wing Leung; Borsa, Jonathan
Subject: Fwd: 7516 - 7550 Cambie (DE 419896)

Hi Joe

We hope you are well, and have a question regarding the email below, relayed to us by Jonathan Borsa. Please see attached.

We are assuming because the roof terrace entries are sloped, they need to be included in the area calculations.

Currently, our total net areas are as follows:

Building A (North Bldg) = 38,994.8 sf

Building B (South Bldg) = 46,566.1 sf.

But the email below notes your calculations are:

Building A (North Bldg) = 39,811 sf

Building B (south Bldg) = 46,800 sf.

The difference between the two is not 812 sf and 679 sf, respectively.

We have no issue with revising our stat sheet, but just need some clarification, or that we are looking at the same stat that you have referred to.

Thanks Joe.

Elaine Jong

Architect, AIBC

W.T. LEUNG **ARCHITECTS INC.**

#300 - 973 West Broadway,
Vancouver, BC
V5Z 1K3

T: 604.736.9711

F: 604.736.7991

E: ejong@wtleungarch.com

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Begin forwarded message:

From: "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>

Subject: RE: 7516 - 7550 Cambie (DE 419896)

Date: July 24, 2017 4:28:37 PM PDT

To: Elaine Jong <ejong@wtleungarch.com>

Hi Elaine,

The electronic copy is sufficient.

I also have the following note from Joe:

The roof entries from each individual unit are counted in floor area; Stats page to be updated with appropriate numbers, I have noted roof of building A as 812 sq. ft. and roof of building b 679 sq. ft.; For a total of 39, 811 for building a and 46800 for building b.

Thanks,
Jonathan

From: Elaine Jong [<mailto:ejong@wtleungarch.com>]

Sent: Monday, July 24, 2017 3:41 PM

To: Borsa, Jonathan

Cc: Autiero, David; Tom Almas; Alex Liang; John Liang; Wing Leung

Subject: Re: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

Thanks for your response.

Attached is the Acoustical Report. If you need hard copies delivered, please let me know (as well as how many).

We look forward to hearing from you soon, about the DP, and any other items we need to address to obtain the DP.

Thanks.

Elaine Jong

Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

#300 - 973 West Broadway,
Vancouver, BC
V5Z 1K3

T: 604.736.9711

F: 604.736.7991

E: ejong@wtleungarch.com

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On Jul 24, 2017, at 3:18 PM, "Borsa, Jonathan" <jonathan.borsa@vancouver.ca> wrote:

Hi Elaine,

I have just received clearance on the technical items (conditions 1.12-1.17). We just need the Acoustical Report.

I have reminded the other staff that the target date is approaching and will advise.

Thanks,
Jonathan

From: Elaine Jong [mailto:ejong@wtleungarch.com]
Sent: Thursday, July 20, 2017 5:16 PM
To: Borsa, Jonathan
Cc: Autiero, David; Tom Almas; Alex Liang; John Liang; Wing Leung
Subject: Re: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

Not only are we following up on our client's email to you, from July 6, 2017 and earlier today, but we would like to know what items are still outstanding and are needed for the issuance of the DP for this project.

Also, are there any comments to our Prior-To submission, which need to be addressed?

We are nearing the 12 weeks (will be 31 July 2017) from when we met and submitted the Prior-to package to yourself.

Thanks.

Elaine Jong
Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

#300 - 973 West Broadway,
Vancouver, BC
V5Z 1K3

T: 604.736.9711
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On Jul 19, 2017, at 4:28 PM, John Liang <john@vivagrand.com> wrote:

Hi Jonathan,

I am checking to see if you receive the email below or not. Please let us know when we can expect to obtain the development permit.

Thanks,

John Liang
Vivagrand Developments
#550-601 West Broadway
Vancouver, B.C.
V5Z 4C2
T 604-336-6787
C 778-858-9898
www.vivagrand.com

On Jul 6, 2017, at 11:28 AM, Tom Almas <talmas@fwpl.net> wrote:

Hi Jonathan,

Is it possible to give an estimated date for the issuance of the development permit?

Regards,

Tom Almas

From: Borsa, Jonathan [<mailto:jonathan.borsa@vancouver.ca>]
Sent: Thursday, April 13, 2017 12:59 PM
To: Elaine Jong
Cc: Linehan, Marie; Wing Leung; Tom Almas; John Liang; Alex Liang; Florian Fisch
Subject: RE: 7516 - 7550 Cambie (DE 419896)

Hi Elaine,

I've moved the meeting to Friday April 21st at the same time 9:30 am.

We are in Town Hall Meeting Room 114 in the Main Building of City Hall. Please meet directly at the meeting room.

Let me know if you have any questions prior to the meeting.

Thanks,
Jonathan

From: Elaine Jong [<mailto:ejong@wtleungarch.com>]
Sent: Thursday, April 13, 2017 12:32 PM
To: Borsa, Jonathan
Cc: Linehan, Marie; Autiero, David; Wing Leung; Tom Almas; John Liang; Alex Liang; Florian Fisch
Subject: Re: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

I just learned Wing cannot make the meeting on Wednesday April 19 at 9:30am.

We would like to reschedule. Is there anything available on the Friday April 21st or Monday April 24th?

Thanks.

Elaine Jong
Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

#300 - 973 West Broadway,
Vancouver, BC
V5Z 1K3

T:
604.736.9711
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604.736.7991
E:
ejong@wtleungarch.com

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From: Elaine Jong <ejong@wtleungarch.com>
Date: Thursday, April 13, 2017 11:51 AM
To: "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>
Cc: "Linehan, Marie" <marie.linehan@vancouver.ca>, David Autiero <david.autiero@vancouver.ca>, Wing Leung <wing@wtleungarch.com>, Tom Almas <talmas@fwpl.net>, John Liang <john@vivagrand.com>, Alex Liang <alex@vivagrand.com>, Florian Fisch <florian@dkl.bc.ca>
Subject: Re: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

Wednesday April 19, 2017 at 9:30am, works for us.

Which room and building will it be held?

Thanks.

Elaine Jong
Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

#300 - 973 West Broadway,
Vancouver, BC
V5Z 1K3

T:604.736.9711
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E:ejong@wtleungarch.com

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From: <Borsa>, Jonathan <jonathan.borsa@vancouver.ca>
Date: Wednesday, April 12, 2017 1:35 PM
To: Elaine Jong <ejong@wtleungarch.com>
Cc: "Linehan, Marie" <marie.linehan@vancouver.ca>, David Autiero <david.autiero@vancouver.ca>, Wing Leung <wing@wtleungarch.com>, Tom Almas <talmas@fwpl.net>, John Liang <john@vivagrand.com>, Alex Liang <alex@vivagrand.com>
Subject: RE: 7516 - 7550 Cambie (DE 419896)

Hi Elaine,

I've booked a time for next Wednesday, April 19th, morning at 9:30 am. Please let me know if this time will work for your team.

Thanks,
Jonathan

From: Elaine Jong [<mailto:ejong@wtleungarch.com>]
Sent: Wednesday, April 12, 2017 12:25 PM
To: Borsa, Jonathan
Cc: Linehan, Marie; Autiero, David; Wing Leung; Tom Almas; John Liang; Alex Liang
Subject: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

Just following up on my voice message to you a couple of days ago, to set up a meeting to review this project's DP prior-to conditions.

Let us know what dates are available as we are currently preparing our documents for the meeting.

Thanks.

Elaine Jong
Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

#300 - 973 West Broadway,
Vancouver, BC
V5Z 1K3

T:
604.736.9711
F:
604.736.7991
E:
ejong@wtleungarch.com

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From: "Elaine Jong" <ejong@wtleungarch.com>
To: "Bosnjak, Joe" <joe.bosnjak@vancouver.ca>
Date: 7/26/2017 10:30:35 AM
Subject: Re: 7516 - 7550 Cambie (DE 419896)

Hi Joe

Thanks for getting back to us.

We will add 812 sf to Bldg A and 679 sf to Bldg B, as per your calculation.

Thanks.

Elaine Jong

Architect, AIBC

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On Jul 26, 2017, at 11:22 AM, "Bosnjak, Joe" <joe.bosnjak@vancouver.ca> wrote:

Hello Elaine,

It is the roof entries that need to be counted in floor area. The only way they can be excluded is if they are considered to be a roof hatch and have a height of no greater than 4' measured from the top of roof (slab) to the top of roof hatch.

Joe

From: Elaine Jong [<mailto:ejong@wtleungarch.com>]
Sent: Wednesday, July 26, 2017 10:01 AM
To: Bosnjak, Joe
Cc: Wing Leung; Borsa, Jonathan
Subject: Fwd: 7516 - 7550 Cambie (DE 419896)

Hi Joe

We hope you are well, and have a question regarding the email below, relayed to us by Jonathan Borsa. Please see attached.

We are assuming because the roof terrace entries are sloped, they need to be included in the area calculations.

Currently, our total net areas are as follows:

Building A (North Bldg) = 38,994.8 sf

Building B (South Bldg) = 46,566.1 sf.

But the email below notes your calculations are:

Building A (North Bldg) = 39,811 sf

Building B (south Bldg) = 46,800 sf.

The difference between the two is not 812 sf and 679 sf, respectively.

We have no issue with revising our stat sheet, but just need some clarification, or that we are looking at the same stat that you have referred to.

Thanks Joe.

Elaine Jong

Architect, AIBC

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Begin forwarded message:

From: "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>

Subject: RE: 7516 - 7550 Cambie (DE 419896)

Date: July 24, 2017 4:28:37 PM PDT

To: Elaine Jong <ejong@wtleungarch.com>

Hi Elaine,

The electronic copy is sufficient.

I also have the following note from Joe:

The roof entries from each individual unit are counted in floor area; Stats page to be updated with appropriate numbers, I have noted roof of building A as 812 sq. ft. and roof of building b 679 sq. ft.; For a total of 39, 811 for building a and 46800 for building b.

Thanks,
Jonathan

From: Elaine Jong [mailto:ejong@wtleungarch.com]
Sent: Monday, July 24, 2017 3:41 PM
To: Borsa, Jonathan
Cc: Autiero, David; Tom Almas; Alex Liang; John Liang; Wing Leung
Subject: Re: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

Thanks for your response.

Attached is the Acoustical Report. If you need hard copies delivered, please let me know (as well as how many).

We look forward to hearing from you soon, about the DP, and any other items we need to address to obtain the DP.

Thanks.

Elaine Jong

Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

#300 - 973 West Broadway,
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V5Z 1K3

T: 604.736.9711

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On Jul 24, 2017, at 3:18 PM, "Borsa, Jonathan" <jonathan.borsa@vancouver.ca> wrote:

Hi Elaine,

I have just received clearance on the technical items (conditions 1.12-1.17). We just need the Acoustical

Report.

I have reminded the other staff that the target date is approaching and will advise.

Thanks,
Jonathan

From: Elaine Jong [mailto:ejong@wtleungarch.com]
Sent: Thursday, July 20, 2017 5:16 PM
To: Borsa, Jonathan
Cc: Autiero, David; Tom Almas; Alex Liang; John Liang; Wing Leung
Subject: Re: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

Not only are we following up on our client's email to you, from July 6, 2017 and earlier today, but we would like to know what items are still outstanding and are needed for the issuance of the DP for this project.

Also, are there any comments to our Prior-To submission, which need to be addressed?

We are nearing the 12 weeks (will be 31 July 2017) from when we met and submitted the Prior-to package to yourself.

Thanks.

Elaine Jong
Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

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On Jul 19, 2017, at 4:28 PM, John Liang <john@vivagrand.com> wrote:

Hi Jonathan,

I am checking to see if you receive the email below or not. Please let us know when we can expect to obtain the development permit.

Thanks,

John Liang
Vivagrand Developments
#550-601 West Broadway
Vancouver, B.C.
V5Z 4C2
T 604-336-6787
C 778-858-9898
www.vivagrand.com

On Jul 6, 2017, at 11:28 AM, Tom Almas <talmas@fwpl.net> wrote:

Hi Jonathan,

Is it possible to give an estimated date for the issuance of the development permit?

Regards,

Tom Almas

From: Borsa, Jonathan [<mailto:jonathan.borsa@vancouver.ca>]
Sent: Thursday, April 13, 2017 12:59 PM
To: Elaine Jong
Cc: Linehan, Marie; Wing Leung; Tom Almas; John Liang; Alex Liang; Florian Fisch
Subject: RE: 7516 - 7550 Cambie (DE 419896)

Hi Elaine,

I've moved the meeting to Friday April 21st at the same time 9:30 am.

We are in Town Hall Meeting Room 114 in the Main Building of City Hall. Please meet directly at the meeting room.

Let me know if you have any questions prior to the meeting.

Thanks,
Jonathan

From: Elaine Jong [<mailto:ejong@wtleungarch.com>]
Sent: Thursday, April 13, 2017 12:32 PM
To: Borsa, Jonathan
Cc: Linehan, Marie; Autiero, David; Wing Leung; Tom Almas; John Liang; Alex Liang; Florian Fisch
Subject: Re: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

I just learned Wing cannot make the meeting on Wednesday April 19 at 9:30am.

We would like to reschedule. Is there anything available on the Friday April 21st or Monday April 24th?

Thanks.

Elaine Jong

Architect, AIBC

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From: Elaine Jong <ejong@wtleungarch.com>
Date: Thursday, April 13, 2017 11:51 AM
To: "Borsa, Jonathan" <jonathan.borsa@vancouver.ca>
Cc: "Linehan, Marie" <marie.linehan@vancouver.ca>, David Autiero <david.autiero@vancouver.ca>, Wing Leung <wing@wtleungarch.com>, Tom Almas <talmas@fwpl.net>, John Liang <john@vivagrand.com>, Alex Liang <alex@vivagrand.com>, Florian Fisch <florian@dkl.bc.ca>
Subject: Re: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

Wednesday April 19, 2017 at 9:30am, works for us.

Which room and building will it be held?

Thanks.

Elaine Jong
Architect, AIBC

W.T. LEUNG ARCHITECTS INC.

#300 - 973 West Broadway,
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V5Z 1K3

T:604.736.9711
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From: <Borsa>, Jonathan <jonathan.borsa@vancouver.ca>
Date: Wednesday, April 12, 2017 1:35 PM
To: Elaine Jong <ejong@wtleungarch.com>
Cc: "Linehan, Marie" <marie.linehan@vancouver.ca>, David Autiero <david.autiero@vancouver.ca>, Wing Leung <wing@wtleungarch.com>, Tom Almas <talmas@fwpl.net>, John Liang <john@vivagrand.com>, Alex Liang <alex@vivagrand.com>

Subject: RE: 7516 - 7550 Cambie (DE 419896)

Hi Elaine,

I've booked a time for next Wednesday, April 19th, morning at 9:30 am. Please let me know if this time will work for your team.

Thanks,
Jonathan

From: Elaine Jong [<mailto:ejong@wtleungarch.com>]
Sent: Wednesday, April 12, 2017 12:25 PM
To: Borsa, Jonathan
Cc: Linehan, Marie; Autiero, David; Wing Leung; Tom Almas; John Liang; Alex Liang
Subject: 7516 - 7550 Cambie (DE 419896)

Hi Jonathan

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Let us know what dates are available as we are currently preparing our documents for the meeting.

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The above information is confidential.

I have been the following party to the:

The above information is confidential and is not to be disclosed to any other person without the prior written consent of the City of Vancouver. It is not to be used for any other purpose than that for which it was provided.

Thank you,
[Signature]

From: Steve Jung (steve.jung@vancouver.ca)
Sent: Friday, April 14, 2017 11:01 AM
To: Steve Jung
Cc: Aaron Dault, Yan Wang, Ming Long, Ming Long, Ming Long
Subject: RE: 672 West Broadway, Vancouver, BC
V6Z 1K3

Hi Steve,

Thank you for your response.

Attached to the Annual Report of the City of Vancouver, please find the requested information.

We look forward to having your comments on the report and any other matters related to the City of Vancouver.

Thank you.

Steve Jung

Director, City

604-681-1111 (ext. 2100)

672 West Broadway,

Vancouver, BC

V6Z 1K3

T: 604-730-8711

F: 604-730-7891

E: steve.jung@vancouver.ca

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On Fri, 14 Apr 2017, at 11:01 AM, "Steve Jung" <steve.jung@vancouver.ca> wrote:

Hi Steve,

Thank you for your response to the request for information (FOI) regarding the requested information.

I have continued the search for the requested information and will provide you with a response as soon as possible.

Thank you.

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From: Steve Jung (steve.jung@vancouver.ca)

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[Signature]

From: Steve Jung (steve.jung@vancouver.ca)

Sent: Thursday, April 13, 2017 11:01 AM

To: Steve Jung

Cc: Aaron Dault, Yan Wang, Ming Long, Ming Long, Ming Long

From: "Bosnjak, Joe" <joe.bosnjak@vancouver.ca>
To: "Florian Fisch" <florian@dkl.bc.ca>
Date: 4/12/2016 2:35:49 PM
Subject: RE: DE419896 - Prior To Comment 1.1 - Retention of Tree #1

Hello Florian,

I have cc'ed the Project Facilitator for this DE – Jonathan Borsa.

Jonathan – Please see email below and get back to Florian as soon as possible.

Thanks

Joe

From: Florian Fisch [mailto:florian@dkl.bc.ca]
Sent: Tuesday, April 12, 2016 2:08 PM
To: Bosnjak, Joe
Subject: DE419896 - Prior To Comment 1.1 - Retention of Tree #1

Hi Joe

I left you a voice mail in regards of Prior To comment 1.1 for the project at 7500 Cambie Street (DE419896). We would like to arrange for a meeting with you and the landscape reviewer to discuss this comment in further detail, as we think that successful retention of this tree would have a significant impact on the viability of this project.

In our first response, we were using the minimal approach of 6xDBH typically accepted by CoV for calculation of the root protection zone. Based on proposed construction impact on all 4 sides, as well as species factors, age and potential size of this tree, we see the need to adjust this calculation. Based on IAS Best Management Practices, the minimal root protection zone in this instance should not less than 12 x DBH, to ensure structural integrity during construction. and to provide a good chance for successful retention.

This obviously has a significant impact on the proposed development. We would like to set up a meeting with you and the landscape reviewer to have a conversation in this regard. Please call to discuss or propose a time that would best work for you to meet.

Regards

florian fisch

BCSLA INTERN, ISA CERT, ARBORIST, ISA TRAQ

DURANTE KREUK LTD. | 102 - 1637 W 5th Avenue | Vancouver BC V6J 1N5 | T 604.684.4611 EXT.35 | F 604.684.0577 | www.dkl.bc.ca

From: "Linehan, Marie" <marie.linehan@vancouver.ca>
To: "John Liang" <john@vivagrand.com>
Date: 10/28/2016 11:13:18 AM
Subject: RE: Tree #1 cut down Langara West
Attachments: Letter regarding tree #1.pdf

Hi John

We are reviewing this internally with senior staff and will be in contact.

Thanks
Marie

MARIE LINEHAN
Development Planner
Planning and Development Services
t: 604 873 7092
f: 604 871 6489
e-mail: marie.linehan@vancouver.ca

From: John Liang [<mailto:john@vivagrand.com>]
Sent: Friday, October 28, 2016 11:34 AM
To: Linehan, Marie
Cc: Maness, Alina; Tom Almas; Alex Liang
Subject: Tree #1 cut down Langara West

Hi Marie,

My name is John Liang and I work for Vivagrand developments. Please find attached letter explaining the situation about tree #1. We would like to know what's our next step.

Thanks,

John Liang
Vivagrand Developments
#550-601 West Broadway
Vancouver, B.C.
V5Z 4C2
T 604-336-6787
C 778-858-9898
www.vivagrand.com



Vivagrand Developments
CREATING HOMES THAT RADIATE LIFE

VIVAGRANT DEVELOPMENT (MARPOLE 1) LTD.
550 – 601 West Broadway, Vancouver, B.C. V5Z 4C2

October 27, 2016

City of Vancouver
453 West 12th Avenue
Vancouver BC
V5Y 1V4

Attention: Marie Lineham

Dear Marie:

Re: Lands and premises located at 7510 – 7554 Cambie Street, Vancouver, B.C. and legally described as: PID: 029-788-897 Parcel 1 District Lot 323 Group 1 New Westminster District Plan EPP59445 (the "Property") - Development Application Number DE419896 (the "DP Application") – Langara West (the "Development")

Sometime between the evening of October 14, 2016 and the morning of October 15, 2016, Tree #1 was cut down.

The Vivagrand team is shocked and dismayed at this turn of events. We reported the incident to the police and we have retained a private investigator in the hopes of finding the culprit.

We at Vivagrand value our reputation and integrity. We were working toward a solution with our project architect and landscape architect.

Our company understands that far from furthering our course, the cutting down of Tree #1 could seriously jeopardize our DP Application as we would be the prime suspect of this act. We state unequivocally that we have nothing to do with the cutting down of Tree #1.

Please advise what the next steps are with respect of the DP Application in light of the unexpected removal of Tree #1.

Yours truly,

VIVAGRANT DEVELOPMENT (MARPOLE 1) LTD.

#550-601 WEST BROADWAY
VANCOUVER, B.C.
V5Z 4C2

T 604 336 6787
info@vivagrand.com
www.vivagrand.com

From: "John Liang" <john@vivagrand.com>
To: "Linehan, Marie" <marie.linehan@vancouver.ca>
Date: 11/14/2016 2:23:28 PM
Subject: Re: Tree #1 cut down Langara West

Good afternoon Marie,

My understanding is that you will be in the office today. Can you give us an update on the tree issue? Is there any decision been made by the senior staff?

Thanks,

John Liang
Vivagrand Development Corp.
#550-601 West Broadway, Vancouver, BC, V5Z 4C2
778-858-9898

On Nov 3, 2016, at 3:16 PM, John Liang <john@vivagrand.com> wrote:

Good afternoon Marie,

Have you and senior staff had a chance to look at the next step for this issue? Can you give us a timeline? We really want to move forward on this project.

Thanks,

John Liang
Vivagrand Developments
#550-601 West Broadway
Vancouver, B.C.
V5Z 4C2
T 604-336-6787
C 778-858-9898
www.vivagrand.com

On Oct 28, 2016, at 12:13 PM, Linehan, Marie <marie.linehan@vancouver.ca> wrote:

Hi John

We are reviewing this internally with senior staff and will be in contact.

Thanks
Marie

MARIE LINEHAN
Development Planner
Planning and Development Services
t: 604 873 7092
f: 604 871 6489
e-mail: marie.linehan@vancouver.ca

From: John Liang [<mailto:john@vivagrand.com>]
Sent: Friday, October 28, 2016 11:34 AM
To: Linehan, Marie
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Subject: Tree #1 cut down Langara West

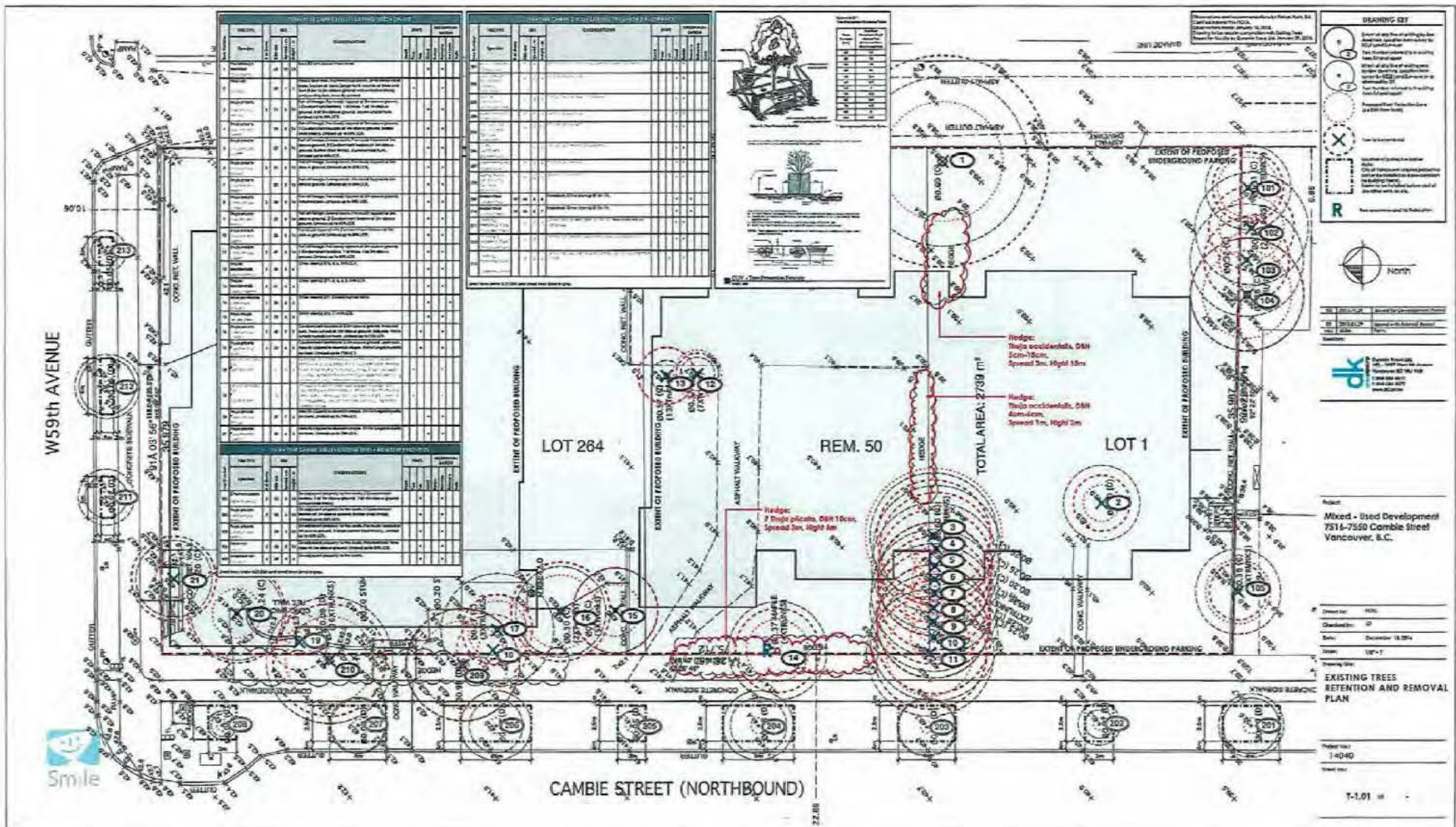
Hi Marie,

My name is John Liang and I work for Vivagrand developments. Please find attached letter explaining the situation about tree #1. We would like to know what's our next step.

Thanks,

John Liang
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www.vivagrand.com

<Letter regarding tree #1.pdf>





RADIX TREE & LANDSCAPE CONSULTING INC

July 18, 2016

First Western Projects Ltd

Attn: Tom Almas

1305 W 57th Avenue

Vancouver, BC

V6P 1S7

RE: Arborist Report for tree at 7510 to 7544 Cambie Street, Vancouver

ASSIGNMENT:

The intent of this report is to review the site conditions pertaining to a Douglas Fir tree located along the east property line at 7510 to 7544 Cambie Street. Furthermore review of the project information was undertaken which included the review of reports completed by the project arborist from Durante Kreuk Ltd, the geotechnical engineer from GeoPacific Consultants Ltd, and the proposed site and landscape plans. The intent of this report is to provide independent opinion with some recommendations based on the observations and findings from the information provided with respect to the safe retention and useful life expectancy of the subject tree.



Picture 1. Aerial View of property

OBSERVATIONS & DISCUSSIONS:

A site visit was conducted on July 12th to review the site pertaining to the subject tree. To maintain consistency with the information contained within the other professional



RADIX TREE & LANDSCAPE CONSULTING INC

reports and for ease of reference, the number assigned to the Douglas Fir tree in the Durante Kreuk Ltd report (tree #1) will be used to refer to this tree within the Radix Tree and Landscape Consulting Inc report.

There were a number of observations noted at the time the site visit occurred with respect to the subject tree and they are as follows:

1. The existing grade of the site naturally slopes down towards the southeast.
2. There is a laneway immediately adjacent to tree #1 at the east side and a 3-phase Hydro line runs parallel with the east side of the laneway.
3. Tree #1 is located closer to the southeast corner of the site and is growing atop an isolated mound.
4. The base of the tree is obviously higher than the surrounding grades. This includes the laneway, asphalt parking surface to the north and the existing garage structure at the south side.
5. Approximately 75% of the critical root zone (CRZ) is already covered by asphalt surfacing (laneway and parking) which immediately limits the good growing conditions for this tree over the long term.
6. Evidence of tree roots growing beneath the hard surfaces showing characteristic cracks and heaving in the asphalt were noted and are also indicative of the shallow and compacted soils on the site.
7. Evidence of girdling in the tree trunk at approx 2.5 m above grade was noted and could be resulting from an old clothes line or something like that affixed to the tree for an extended period.

Although this tree is acclimated to the current site conditions it is reasonable to expect that it will experience reduced mortality as a result of the changes that will occur to this site. Primarily the concerns are the change in soil hydrology and available soil water for this tree. Secondly, the changes to the grade and multiple impacts to the CRZ based on the proposed plans and what would be required to complete these works will negatively impact this tree further. Any works (past or present) within the laneway near tree #1, such as for services installation or maintenance etc, will also impact the CRZ. Additionally it appears that the proposed plans essentially have the tree retained within close proximity to the new building. As mentioned above the proposed works will essentially cut off the natural flow of soil water as this will now be managed by the storm water management system for the site. I further understand that this is essentially the construction of a 'planter' that has been proposed around this tree. This appears to have the potential to also negatively impact the livability of the site in this area.

This is a Douglas Fir tree which is a forest sized tree species that can grow in excess of 80 to 100+ feet in cultivated or landscaped environments and well over 300+ feet in its natural environment. That is to say that it is a great tree for forest or parkland settings however it is not considered a great tree for confined city environments. It requires lots of air circulation and soil moisture for it to perform to its optimum. Although it can be a long lived species and relatively tolerant of many different conditions once established. It does not however fare well in droughted environments surrounded by hardscapes. It naturally



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requires medium moist to wet, well drained soils and therefore it will be negatively impacted by the changes to this site. The mechanical application of water through irrigation is not likely sufficient or adequate to support this tree over the long term either.

It has been constricted to a certain degree on this site already and it will be further restricted by the creation of a confined space around it. It is also reasonable to expect that tree and structure conflicts will occur as this is a large tree species that is being forced onto a smaller site. Genetically it still has the desire to be a 'big' tree and therefore will likely cause damage to the structure overtime both above and below grade.

Based on the review of the site plans for the proposed retaining wall around the tree, it is considered to be the "cutting off" of any remaining available soil water that the tree is used to receiving. The retaining wall will also create significant variations to the grade where the finished grade at the tree will require backfilling or being covered over which will further impact the remaining roots. The increased amount of concrete and hard surfaces will increase the temperature around the tree due to the radiant heat from the building and hard surfaces. As well, the tree will experience reduced airflow due to the buildings now deflecting the natural flow of air up and over the site.

CONCLUSION:

In conclusion, although this tree is considered in overall good condition at this time it is expected to have a reduced life expectancy as a result of these proposed works. Mature trees are much less adaptable to site changes that occur during or are associated with construction. Therefore it is not uncommon to see decline or reduced mortality in trees well after the construction is completed. And as trees will rely on stored carbohydrates within their root systems to try and compensate for the loss or disruption they may not show signs of stress for 1 to 3 years (or may be longer)....well after the construction is completed. In some cases by the time a tree shows signs that it is unhappy and struggling, it may be too late to turn it around to save it. That is to say that despite efforts to provide palliative care for this tree, there are no guarantees that it will survive. In some circumstances reduced mortality or death is inevitable.

Therefore based on the information reviewed and the findings observed during the site visit, the recommendation for this tree would be for removal and replacement. This tree will experience stress and decline.....and will likely succumb to these stresses overtime due to the proposed site changes. Furthermore it will be damaged and mutilated because of the manipulation of the site conditions which conflict with the ability to safely retain it in its current location. As well any future maintenance for this tree is expected to include heavy pruning to maintain building clearance and prevent tree/structure conflicts on one side and heavy pruning for Hydro clearance on the other.

It would be considered more reasonable and responsible for long term tree retention on this site to forego a few underground parking stalls and actually create a deep enough planting area in this location to accommodate the introduction of more upsized trees. This would be creating a more conducive environment for the longevity of trees on this site and



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increases the likelihood of success because they will have a proper and more suitable environment to grow in.

The information and recommendations outlined above may be subject to change based on any further information provided or findings that are uncovered after this report is submitted. It is important to note that there are many different factors causing stress to trees. For example, imposed stress could be things such as environmental factors like climate change to cultural conditions such as soil compaction or mechanical damage to the roots, but is likely to be a combination of factors. Trees play an important role in the urban ecology, and all of us must be stewards to ensure a tree's survival and our own safety.

Testing and Analysis:

The assessment completed on the trees defined within this report, consisted of a visual and physical inspection from the ground and was based upon the principals of Visual Tree Assessments. No invasive tests, such as using a resistograph or increment borer, were used during the testing for this report.

Assumptions and Limiting Conditions:

1. The information contained in this report covers only those items that were examined and reflect the condition of these items at the time of inspection. The inspection is limited to visual examination of accessible components without dissection, excavation or probing. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the trees or property in question may not arise in future.
2. The opinions in this Report are given based upon observations made using generally accepted professional judgment, however, because trees and plants are living organisms and subject to change, damage and disease, the results, observations, recommendations, and analysis as set out in this Report are valid only as at the date any such testing, observations and analysis took place. No guarantee, warranty, representation or opinion is offered or made by Radix Tree and Landscape Consulting Inc as to the length of the validity of the results, observations, recommendations and analysis contained within this Report.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the appraiser/company can neither guarantee nor be responsible for the accuracy of information provided by others.
4. All tree work is to be completed under the supervision of an ISA Certified Arborist and in compliance with ISA, BC Hydro and WCB standards.
5. Alteration of any part of this report invalidates the entire report.

If you have any questions or concerns please feel free to contact us.

Sincerely yours,

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