

File No.: 04-1000-20-2018-126

July 12, 2018

s.22(1)

Dear s.22(1)

Re: Request for Access to Records under the Freedom of Information and Protection of Privacy Act (the "Act")

I am responding to your request of March 6, 2018 for:

Records regarding 6289 Carnarvon Street from January 1, 2014 to January 1, 2018:

- 1) Correspondence about all permits related to the property;
- 2) All permits related to the property; and
- 3) Legal correspondence regarding lawsuits involving this property.

All responsive records are attached. Some information in the records has been severed, (blacked out), under s.13(1) and s.22(1) of the Act. You can read or download this section here: http://www.bclaws.ca/EPLibraries/bclaws_new/document/ID/freeside/96165_00

Under section 52 of the Act you may ask the Information & Privacy Commissioner to review any matter related to the City's response to your request. The Act allows you 30 business days from the date you receive this notice to request a review by writing to: Office of the Information & Privacy Commissioner, info@oipc.bc.ca or by phoning 250-387-5629.

If you request a review, please provide the Commissioner's office with: 1) the request number assigned to your request (#04-1000-20-2018-126); 2) a copy of this letter; 3) a copy of your original request for information sent to the City of Vancouver; and 4) detailed reasons or grounds on which you are seeking the review.

Please do not hesitate to contact the Freedom of Information Office at foi@vancouver.ca if you have any questions.

Yours truly,



Barbara J. Van Fraassen, BA
Director, Access to Information & Privacy

Barbara.vanfraassen@vancouver.ca
453 W. 12th Avenue Vancouver BC V5Y 1V4
Phone: 604 .873.7999
Fax: 604.873.7419

Encl.

:cf

Valley Geo #: 44110-01

SCHEDULE B-1Forming Part of Subsection 2.2.7, Div. C of the
Vancouver Building By-law

DB 446066

Building Permit No.¹

**ASSURANCE OF PROFESSIONAL DESIGN AND
COMMITMENT FOR FIELD REVIEW**

- Notes: (i) This letter must be submitted along with Schedule B-2 before issuance of a *building* permit. A separate letter must be submitted by each *registered professional*.
- (ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
- (iii) In this letter the words in *italics* have the same meaning as in the Vancouver Building By-law.

To: *The Chief Building Official*Re: Swimming Pool

Name of Project (Print)

6289 Carnarvon Street

Address of Project (Print)

LOT S BLOCK N PLAN LMP42692 DIST RICT LOT 321 NWD & BLK O.

Legal Description of Project (Print)

The undersigned hereby gives assurance that the design of the
(Initial those of the items listed below that apply to this *registered professional*.
All the disciplines will not necessarily be employed on every project.)

_____ ARCHITECTURAL

_____ STRUCTURAL

_____ MECHANICAL

_____ PLUMBING

_____ FIRE SUPPRESSION SYSTEMS

_____ ELECTRICAL

HJ GEOTECHNICAL — temporary

HJ GEOTECHNICAL — permanent

December 29, 2014

Date

components of the plans and supporting documents prepared by this *registered professional* in support of the application for the *building* permit as outlined on the attached Schedule B-2 substantially comply with the Vancouver Building By-law and other applicable enactments respecting safety except for *construction* safety aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during *construction* as indicated on the attached "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" (SCHEDULE B-2).

GRP's Initials

¹ For Building Official's use only

Schedule B-1 - Continued

Valley Geo #: 44110-01

DB 446666

Building Permit No.¹

6289 Carnarvon Street

Project Address

Geotechnical

Discipline

The undersigned also undertakes to notify the *Chief Building Official* in writing as soon as possible if the undersigned's contract for *field review* is terminated at any time during *construction*.

I certify that I am a *registered professional* as defined in the Vancouver Building By-law.

Heqing Jian

Registered Professional's Name (Print)

#15, 20279- 97th Avenue Langley, BC V1M 4B9

Address (Print)

Fax: 604-882-8476

Phone: 604-882-8475

Phone No.



(Professional's Seal and Signature)

December 29, 2014

Date

(If the *Registered Professional* is a member of a firm, complete the following.)

I am a member of the firm

Valley Geotechnical Engineering Services Ltd.

and I sign this letter on behalf of the firm:

(Print name of firm)

Note: The above letter must be signed by a *registered professional*. The Vancouver Building By-law defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

¹ For Building Official's use only

CRP's Initials

Valley Geo #: 44110-01

SCHEDULE B-2Forming Part of Subsection 2.2.7, Division C of the
Vancouver Building By-lawDB 446666
Building Permit No. 1**SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS**

- Notes: (i) This letter must be submitted along with Schedule B-1 before issuance of a *building permit*.
(ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
(iii) In this letter the words in *italics* have the same meaning as in the Vancouver Building By-law.

Registered Professional's Name (Print) Heqing JianName of Project (Print) Swimming PoolAddress of Project (Print) 6289 Carnarvon Street

(Initial applicable discipline below and cross out and initial only those items not applicable to the project.)

ARCHITECTURAL

- 1.1 Fire resisting assemblies
- 1.2 *Fire separations* and their continuity
- 1.3 *Closures*, including tightness and operation
- 1.4 Egress systems, including *access to exit* within *suites* and *floor areas*
- 1.5 Performance and physical safety features (guardrails, handrails, etc.)
- 1.6 Structural capacity of architectural components, including anchorage and seismic restraint
- 1.7 Sound control
- 1.8 Landscaping, screening and site grading
- 1.9 Provisions for fire fighting access
- 1.10 Access requirements for *persons with disabilities*
- 1.11 Elevating devices
- 1.12 Functional testing of architecturally related fire emergency systems and devices
- 1.13 Development Permit and conditions therein
- 1.14 Interior signage, including acceptable materials, dimensions and locations
- 1.15 Review of all applicable shop drawings
- 1.16 Interior and exterior finishes
- 1.17 Dampproofing and/or waterproofing of walls and slabs below *grade*
- 1.18 Roofing and flashings
- 1.19 Wall cladding systems
- 1.20 Thermal insulation systems, including condensation control and cavity ventilation
- 1.21 Exterior glazing
- 1.22 Integration of building envelope components
- 1.23 Environmental separation requirements (Part 5)

December 29, 2014

Date

STRUCTURAL

- 2.1 Structural capacity of structural components of the *building*, including anchorage and seismic restraint
- 2.2 Structural aspects of *deep foundations*
- 2.3 Review of all applicable shop drawings
- 2.4 Structural aspects of unbonded post-tensioned concrete design and construction
- 2.5 Verification of the satisfactory completion of an in-house check of the structural design
- 2.6 Verification of the satisfactory completion of an independent Concept Review, including a general overview of the design calculations

MECHANICAL

- 3.1 HVAC systems and devices, including high *building* requirements where applicable
- 3.2 *Fire dampers* at required *fire separations*
- 3.3 Continuity of *fire separations* at HVAC penetrations
- 3.4 Functional testing of mechanically related fire emergency systems and devices
- 3.5 Maintenance manuals for mechanical systems
- 3.6 Structural capacity of mechanical components, including anchorage and seismic restraint
- 3.7 Review of all applicable shop drawings

1 For Building Official's use only

Schedule B-2 - Continued

DB446666
Building Permit No.¹

Valley Geo #: 44110-01

Address of Project (Print) 6289 Carnarvon Street
Registered Professional's Name (Print) Heqing Jian**PLUMBING**

- 4.1 Roof drainage systems
- 4.2 Site and foundation drainage systems
- 4.3 Plumbing systems and devices
- 4.4 Continuity of fire separations at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for plumbing systems
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings

FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of occupancy
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Functional testing of fire suppression systems and devices

ELECTRICAL

- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of fire separations at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from buildings of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings

HJ GEOTECHNICAL — Temporary

- 7.1 Excavation
- 7.2 Shoring
- 7.3 Underpinning
- 7.4 Temporary construction dewatering

HJ GEOTECHNICAL — Permanent

- 8.1 Bearing capacity of the soil
- 8.2 Geotechnical aspects of deep foundations
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of soil, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning



December 29, 2014

Date

CRP's Initials

¹ For Building Official's use only



Heat loss calculation work sheet

Address: 6289 Carnarvon

Permit #: DB 446666

Proposed FSR:

14387 sq.ft.

BTU/hr used	
Allowed	Proposed

Proposed R-
Value

Total Wall Area Concrete (min R12)

12 5152 sq.ft.

Total Wall Area stud
(min R22)

22 1425 sq.ft.

Total Wall BTU (Deduct Glazing)

11505.3 11505.3

Total Roof Area (Attic min R-40):

40 0 sq.ft.

0 0

Total Roof Area (Vaulted min R-28):

40 3455 sq.ft.

6910 4837

Proposed Glazing from
concrete wall:

LowE 3 3367.2 sq.ft.

65997 47141

Proposed Glazing from stud wall

LowE 3 177.2 sq.ft.

3473 2481

:

Proposed glazing area:

25% 3544 sq.ft.

49622

Permitted glazing area:

15% 2158 sq.ft.

42299

Max. Permitted BTU:

130184 BTU/hr

Total Proposed BTU:

115585 BTU/hr

Proposed is less therefore **Approved**

SIGNATURE: _____

Note: Ref: VBBL 2007 9.25.2.6

Calculations required for compliance to Energy requirements of VBBL 2007 for; residential buildings of 3 storeys or less in building height, having a building area not exceeding 600m² and, all one and two family dwelling units regardless of area. (April 8 2009)



Heat loss calculation work sheet

Address: 6289 Carnarvon

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08 446666

LISTING INFORMATION OF SAFTI FIRST GPX/Superlite II-XL Fire Rated Wall Systems 120 Minute

SPEC ID: SAFTI GPX Fire-Rated Door and Wall Systems 120 Min

SAFTI FIRST
325 Newhall Street
San Francisco, CA 94124-1432

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DB 446666

Glassprotex (GPX) with Superlite II-XL Wall Assembly Systems

Assembly Rating - Up To 2 Hours; Non-Bearing Wall

SuperLite II XL - 120 Minute Assembly	
Maximum Allowable Clear View Area	4,876 sq. in
Maximum Allowable Clear View Width	124"
Maximum Allowable Clear View Height	124"
Minimum Stop Depth	5/8"

SuperLite II XL - 90 Minute Assembly	
Maximum Allowable Clear View Area	4,876 sq. in
Maximum Allowable Clear View Width	124"
Maximum Allowable Clear View Height	124"
Minimum Stop Depth	5/8"

SuperLite II XL - 60 Minute Assembly	
Maximum Allowable Clear View Area	4,952 sq. in
Maximum Allowable Clear View Width	124"
Maximum Allowable Clear View Height	124"
Minimum Stop Depth	5/8"

*Component Bearing the Warnock Hersey Certification Mark

Note: For applications of these glazing products in door assemblies and window assemblies as well as door vision panel kits, please see listing in appropriate sections.

Evaluated to the following...

Design listings are based on, and supported by, proprietary test reports. The test reports further define proprietary design details which make these listings applicable only to the specified products manufactured by the listed manufacture.

Unless otherwise noted, the assemblies in this section have been evaluated for conformance to the following standards:

ASTM-E119, Standard Methods of Fire Tests of Building Construction and Materials.
 CAN/ULC-S101, Standard Methods of Fire Endurance Tests of Building Construction and Materials.
 NFPA-251, Fire Tests of Building Construction and Materials.
 UBC-7-1-94, Uniform Building Code Standard.
 UL-263, Fire Tests of Building Construction and Materials.

DB 446666

Designs listed are minimum construction requirements to achieve fire rating.

Unless otherwise noted, fire ratings apply to tests conducted on both sides.

<u>Attribute</u>	<u>Value</u>
CSI Code	08 41 00 Entrances and Storefronts
Fire Resistance	2 Hour Wall Assembly
Listed or Inspected	LISTED
Report Number	3030221, 3103268, 3103271, 100043646MID-002
Criteria	UL 263 (2003)
Criteria	CAN / ULC S101
Criteria	UBC 7-1 (1994)
Criteria	NFPA 251 (2006)
Criteria	ASTM E119 (2008)
Intertek Services	Certification
Listing Section	WALL ASSEMBLIES

DRAWING INDEX

Design Listing SF_CWA 120-01

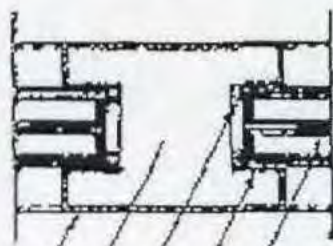
DB 446666

Design Listing SF_CWA 120-01

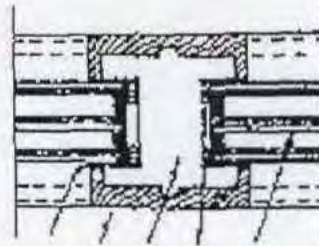
DB 446666

Page 1 of 2

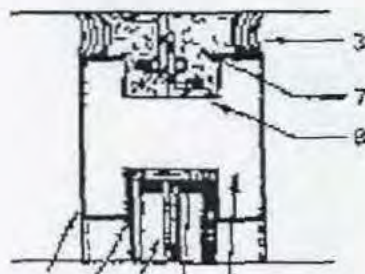
SAFTI FIRST
 Design Number: SF/CWA 120-01
 Saffi First Wall Assembly System
 ASTM E119-00, NFPA 251-99
 Assembly Rating: Up to 2 hours, Non-Bearing Wall



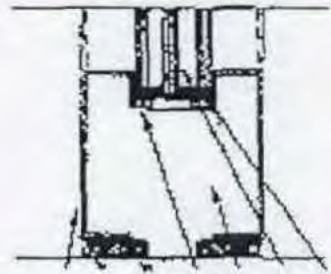
1 2 9 4 5
**Vertical Mullion
 (Aluminum)**



4 6 2 9 5
**Vertical Mullion
 (Wood)**



1 4 5 9 2
Header



1 3 7 9 2 5 4
Sill

1	Aluminum Extruded Pressure Cap
2	Saffi First GPX Framing System – Proprietary *See additional drawings in specifications
3	Sikaflex sealant or construction grade silicone similar Dow Corning 795
4	1/8" x 1/2" Butyl tape or closed cell glazing tape
5	Saffi First SuperLite II-XL – 60/90/120 minute Glazing Panels
6	Saffi First Decorative Wood or Metal Trim (optional)
7	Mineral Wool
8	2" x 1-1/4" x 1/4" x 6" long Steel Angle Clip
9	Silicone Sealant

DB 446666

Design Listing SF_CWA 120-01 (page 2 of 2)

Page 2 of 2

SAFTI FIRST
Design Number: SF/CWA 120-01
Safti First Wall Assembly System
ASTM E119-00, NFPA 251-99

Assembly Rating: Up to 2 hours, Non-Bearing Wall

SuperLite II XL - 120 Minute Assembly	
Maximum Allowable Clear View Area	4,876 sq. in
Maximum Allowable Clear View Width	124"
Maximum Allowable Clear View Height	124"
Minimum Stop Depth	5/8"

SuperLite II XL - 90 Minute Assembly	
Maximum Allowable Clear View Area	4,876 sq. in
Maximum Allowable Clear View Width	124"
Maximum Allowable Clear View Height	124"
Minimum Stop Depth	5/8"

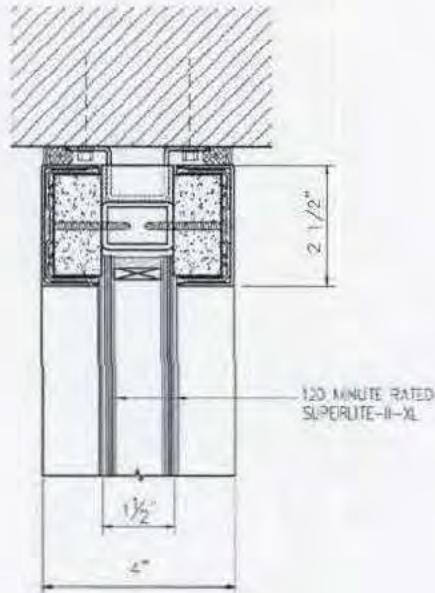
SuperLite II XL - 60 Minute Assembly	
Maximum Allowable Clear View Area	4,952 sq. in
Maximum Allowable Clear View Width	124"
Maximum Allowable Clear View Height	124"
Minimum Stop Depth	5/8"

DB 446666

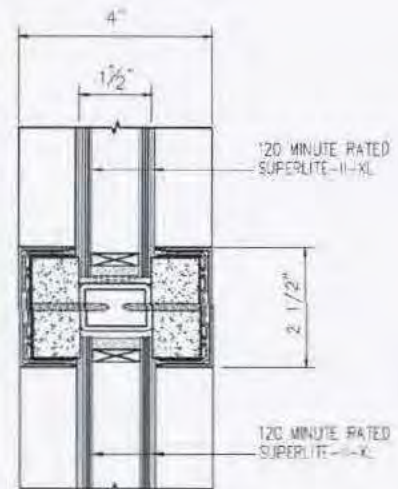
* 120 MINUTE FIRE RESISTIVE GPX WALL/WINDOW *

For more details, please visit www.safti.com

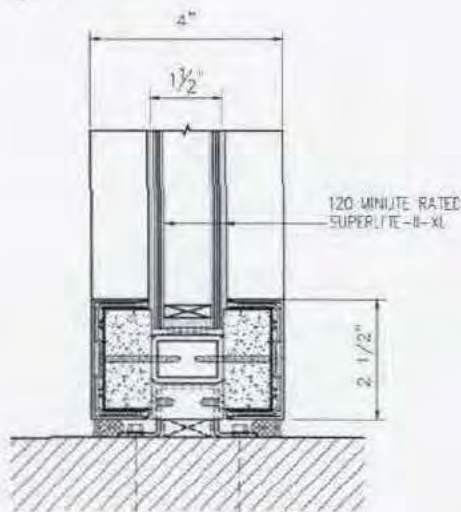
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120 HEAD DETAIL



11a 250-W-120R-II-XL
120 HORIZONTAL MULLION DETAIL



12a 250-W-120R-II-XL
120 SILL DETAIL



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FIRE RATED GLAZING SOLUTIONS Since 1982

100 NORTH HILL DRIVE TEL: (415) 230-6742
BRISBANE, CA 94005-1010 FAX: (415) 230-6743

SuperLite™ II-XL
SAFTIfire GPX
FRAMING

250-W-120R-II-XL

DATE:

DRAWN:

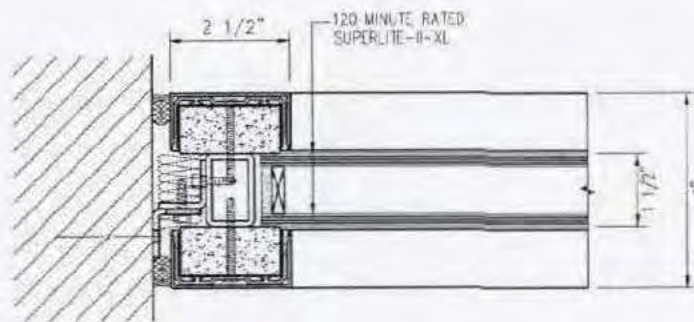
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DB 446666

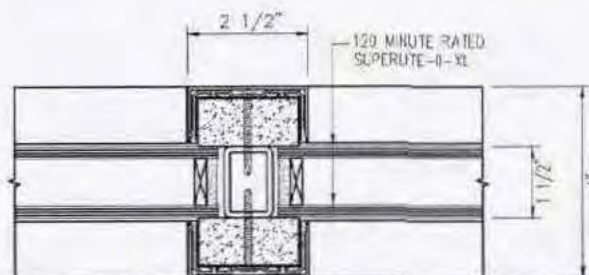
* 120 MINUTE FIRE RESISTIVE GPX WALL/WINDOW *

For more details, please visit www.safti.com

60 250-W-120R-II-XL
120 JAMB DETAIL



70 250-W-120R-II-XL
120 VERTICAL MULLION DETAIL



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BRISBANE, CA 94005-1010 FAX: (415) 230-6743

SuperLite™ II-XL
SAFTIfire GPX
FRAMING

250-W-120R-II-XL

DATE

DRAWN:

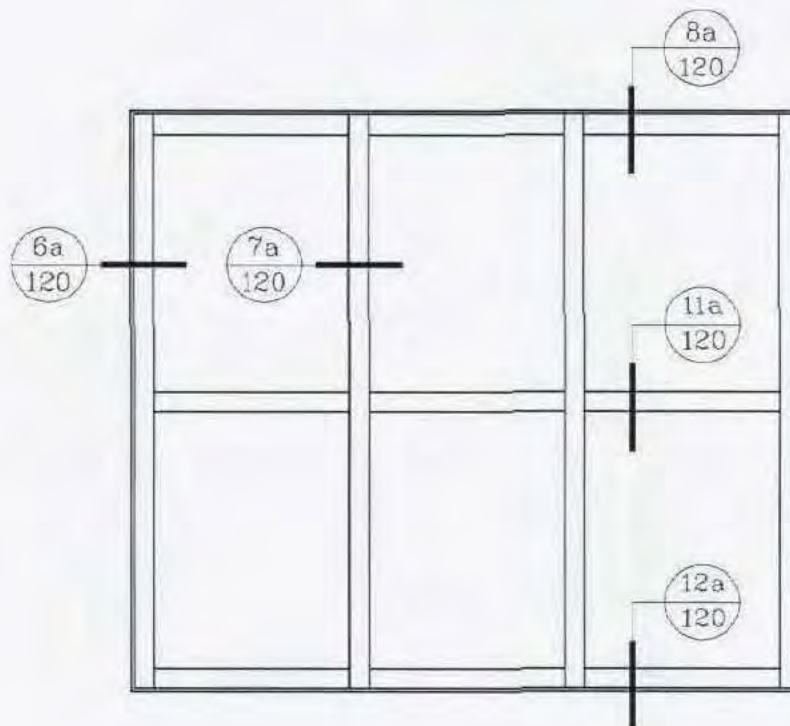
SCALE

3" = 1'

DB 446666

* 120 MINUTE FIRE RESISTIVE GPX WALL/WINDOW *

For more details, please visit www.safti.com



* 250-W-120R-IIXL *

- 2 1/2" FIRE RESISTIVE GPX WALL/WINDOW WITH SUPERLITE II-XL 120 -
- INTERIOR APPLICATION -

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BRISBANE, CA 94005-1010 FAX: (415) 230-6743

SuperLite™ II-XL
SAFTIfire GPX
FRAMING

250-W-120R-IIXL

DATE:

DRAWN:

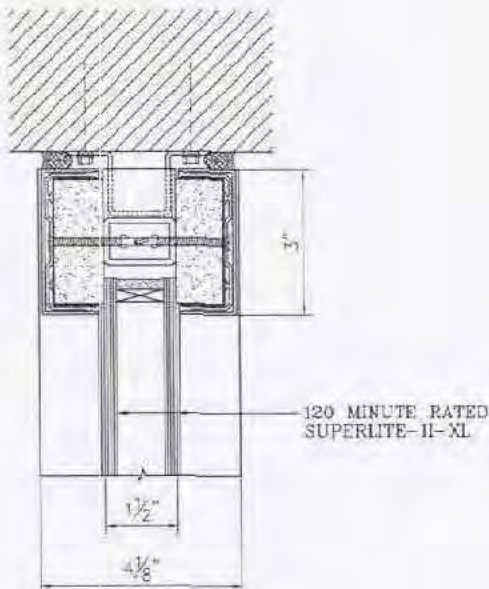
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DB 446666

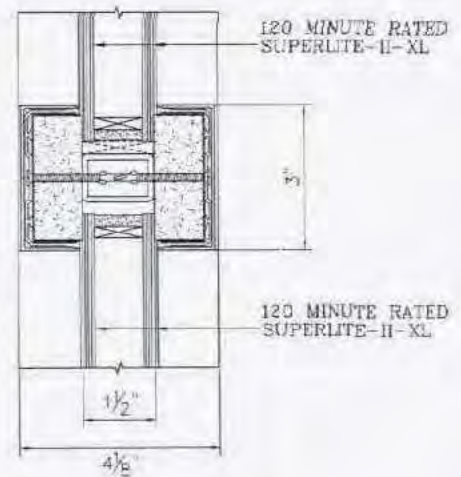
* 120 MINUTE FIRE RESISTIVE GPX WALL/WINDOW *

For more details, please visit www.safti.com

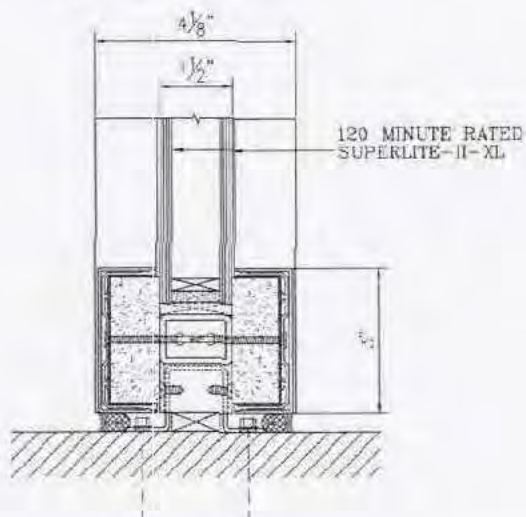
8 300-W-120R-II-XL
120 HEAD DETAIL



11 300-W-120R-II-XL
120 HORIZONTAL MULLION DETAIL



12 300-W-120R-II-XL
120 SILL DETAIL



SAFTIFIRST
FIRE RATED GLAZING SOLUTIONS
325 NEWHALL STREET TEL: (415) 824-4900
SAN FRANCISCO, CA 94124 FAX: (415) 824-5900

SuperLite™ II-XL
SAFTIfire **GPX**
FRAMING

300-W-120R-II-XL

DATE:

DRAWN:

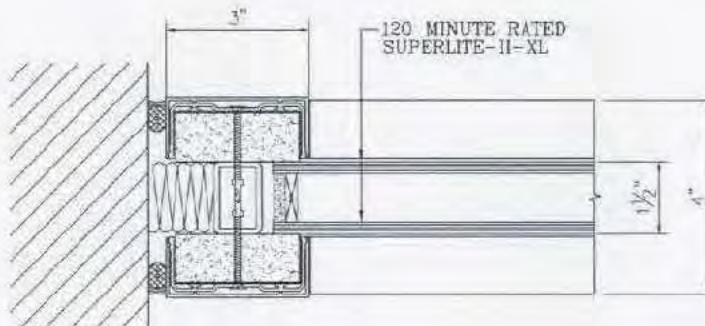
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DB 44666

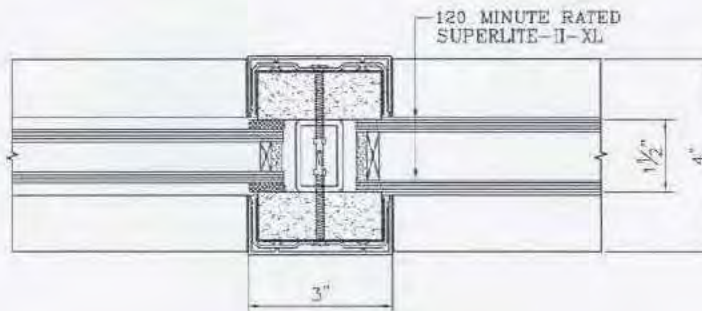
* 120 MINUTE FIRE RESISTIVE GPX WALL/WINDOW *

For more details, please visit www.safti.com

6 300-W-120R-11XL
120 JAMB DETAIL



7 300-W-120R-11XL
120 VERTICAL MULLION DETAIL



SAFTIFIRST
FIRE RATED GLAZING SOLUTIONS
325 NEWHALL STREET TEL: (415) 824-4900
SAN FRANCISCO, CA 94124 FAX: (415) 824-5900

SuperLite™ II-XL
SAFTIfire
FRAMING **GPX**

300-W-120R-11XL

DATE:

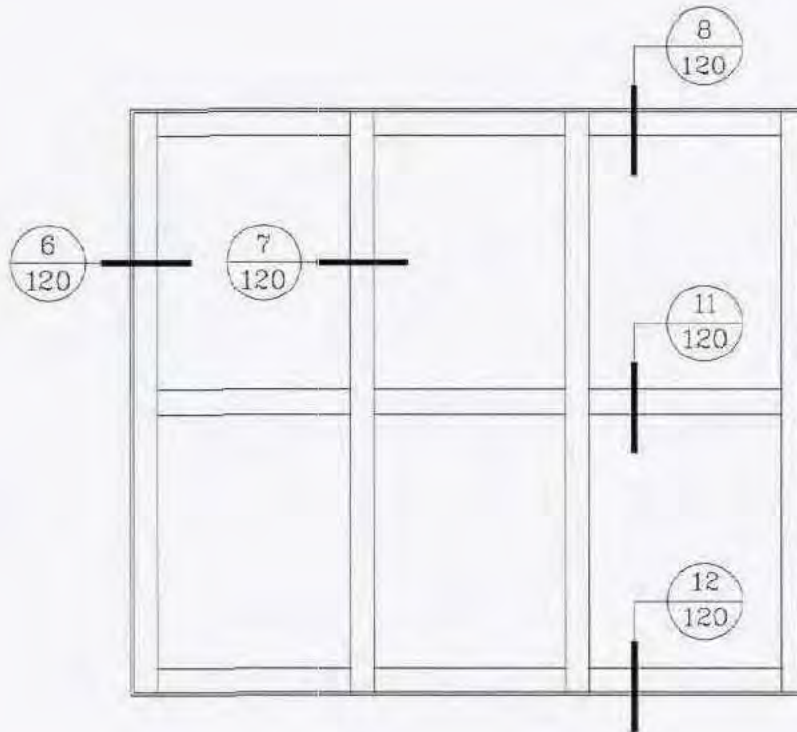
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SCALE
3" = 1"

DB 446666

* 120 MINUTE FIRE RESISTIVE GPX WALL/WINDOW *

For more details, please visit www.safti.com



* 300-W-120R-II-XL *

- 3" FIRE RESISTIVE GPX WALL/WINDOW WITH SUPERLITE II-XL 120 -

- INTERIOR APPLICATION -



FIRE RATED GLAZING SOLUTIONS

325 NEWHALL STREET TEL: (415) 824-4900
SAN FRANCISCO, CA 94124 FAX: (415) 824-5900

SuperLite™ II-XL

SAFTIfire GPX
FRAMING

300-W-120R-II-XL

DATE:

DRAWN:

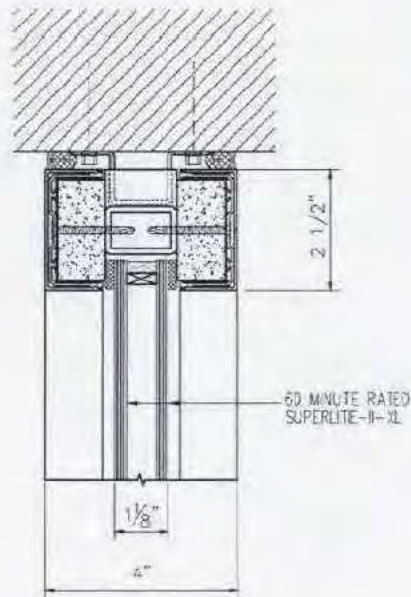
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DB 446666

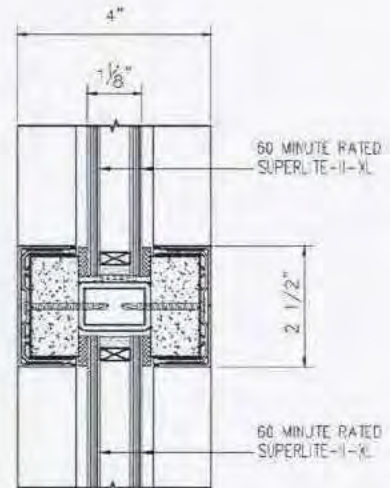
* 60 MINUTE FIRE RESISTIVE GPX WALL/WINDOW *

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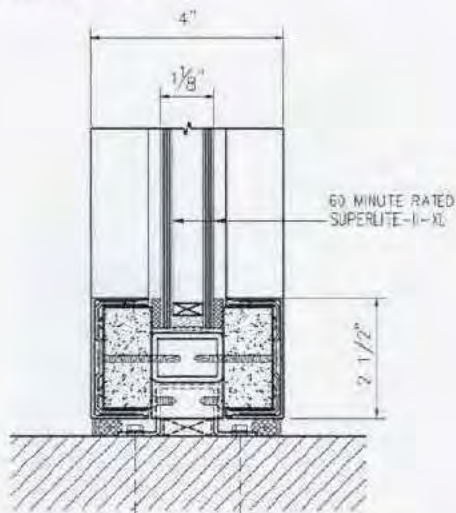
3a 250-W-60R-II-XL
50 HEAD DETAIL



4a 250-W-60R-II-XL
60 HORIZONTAL MULLION DETAIL



5a 250-W-60R-II-XL
60 SILL DETAIL



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BRISBANE, CA 94005-1010 FAX: (415) 230-6743

SuperLite™ II-XL
SAFTIfire GPX
FRAMING

250-W-60R-II-XL

DATE:

DRAWN:

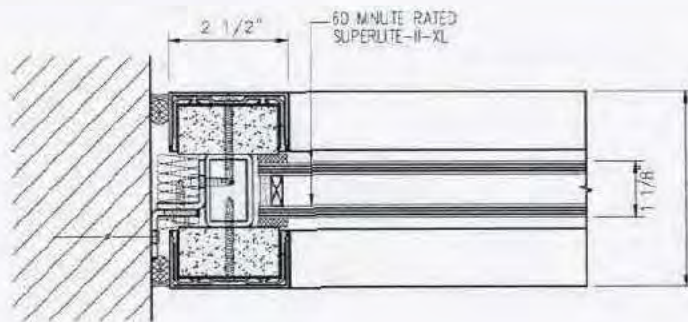
SCALE: 3" = 1'

DB 446666

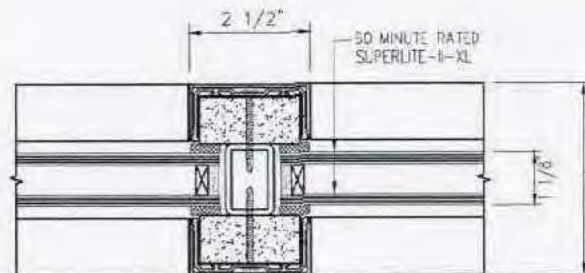
* 60 MINUTE FIRE RESISTIVE GPX WALL/WINDOW *

For more details, please visit www.safti.com

1a 250-W-60R-II-XL
60 JAMB DETAIL



2a 250-W-60R-II-XL
60 VERTICAL MULLION DETAIL



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250-W-60R-II-XL

DATE:

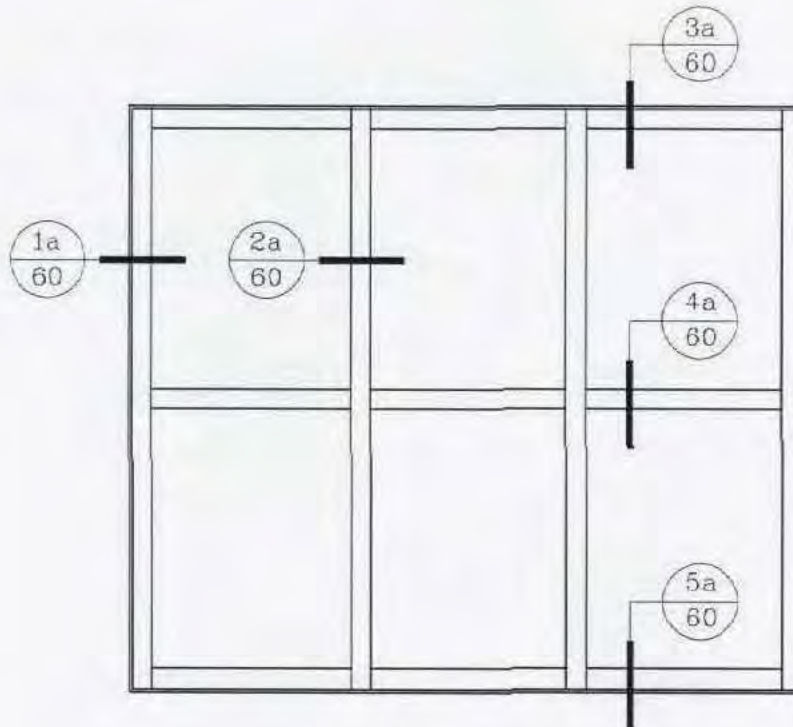
DRAWN:

SCALE:
3" = 1'

DB 446666

* 60 MINUTE FIRE RESISTIVE GPX WALL/WINDOW *

For more details, please visit www.safti.com



* 250-W-60R-II-XL *

- 2 1/2" FIRE RESISTIVE GPX WALL/WINDOW WITH SUPERLITE II-XL 60 -
- INTERIOR APPLICATION -

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250-W-60R-II-XL

DATE:

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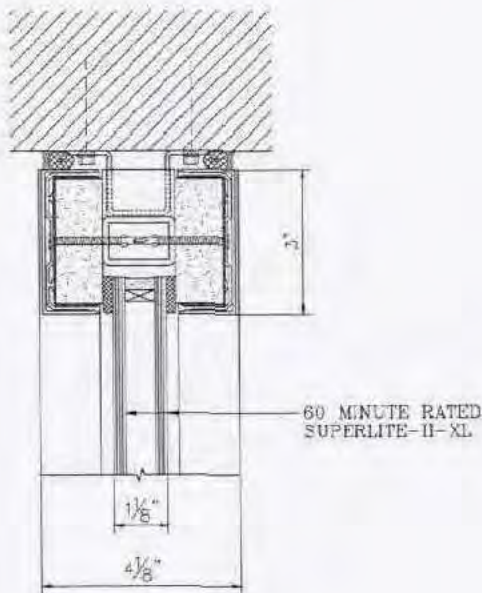
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DB 446666

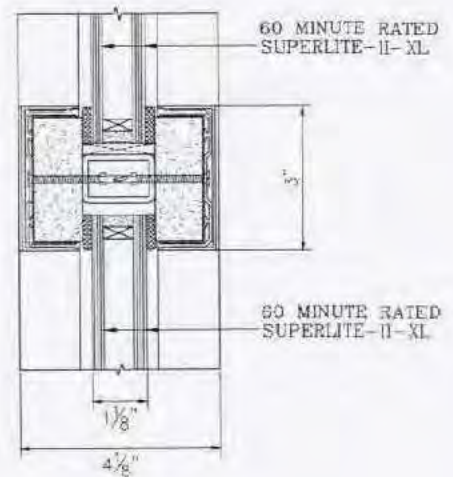
* 60 MINUTE FIRE RESISTIVE GPX WALL/WINDOW *

For more details, please visit www.safti.com

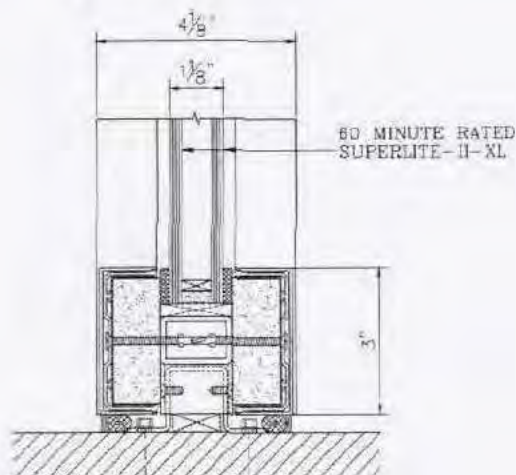
3 300-W-60R-II-XL
60 HEAD DETAIL



4 300-W-60R-II-XL
60 HORIZONTAL MULLION DETAIL



5 300-W-60R-II-XL
60 SILL DETAIL



SAFTIFIRST
FIRE RATED GLAZING SOLUTIONS
325 NEWHALL STREET TEL: (415) 824-4900
SAN FRANCISCO, CA 94124 FAX: (415) 824-5900

SuperLite™ II-XL
SAFTI fire **GPX**
FRAMING

300-W-60R-II-XL

DATE

DRAWN

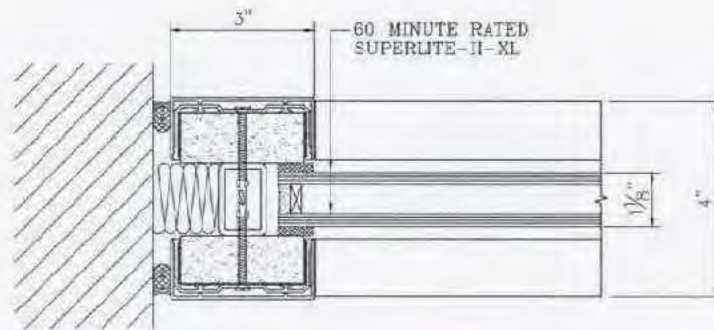
SCALE: 1/2" = 1'

DB 446666

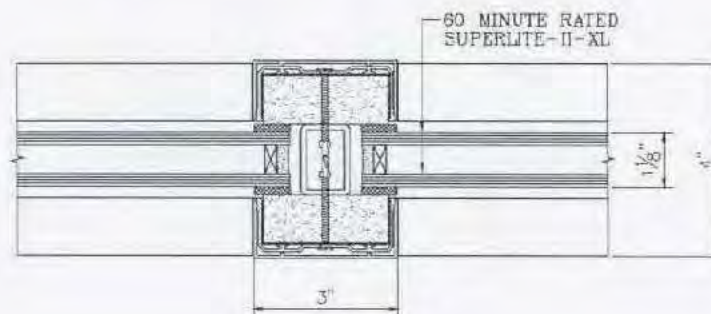
* 60 MINUTE FIRE RESISTIVE GPX WALL/WINDOW *

For more details, please visit www.safti.com

1 300-W-60R-II-XL
60 JAMB DETAIL



2 300-W-60R-II-XL
60 VERTICAL MULLION DETAIL



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FRAMING **GPX**

300-W-60R-II-XL

DATE:

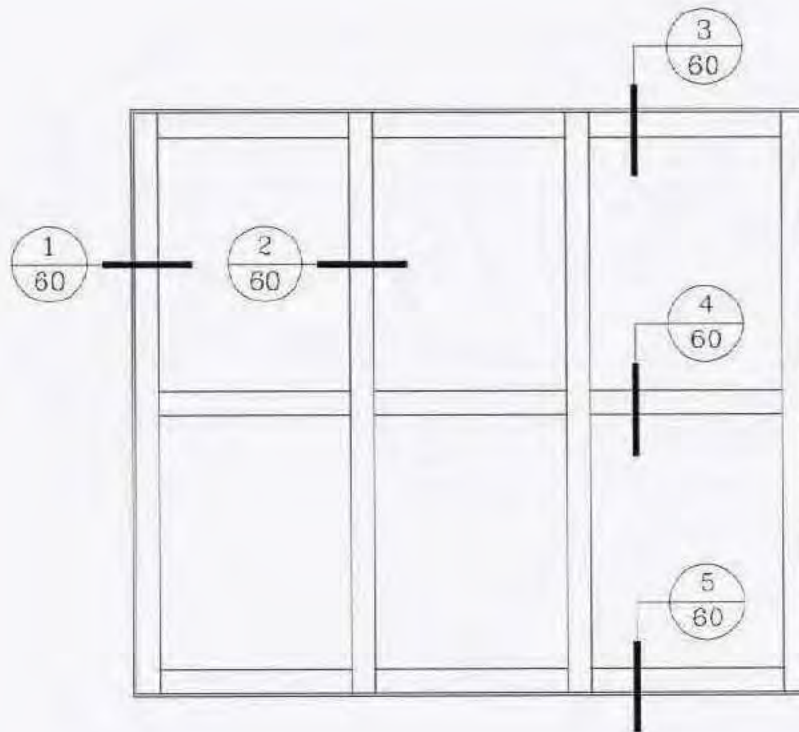
DRAWN:

SCALE
3" = 1'

DB 446666

* ¹ 60 MINUTE FIRE RESISTIVE GPX WALL/WINDOW *

For more details, please visit www.safti.com



* 300-W-60R-II-XL *

- 3" FIRE RESISTIVE GPX WALL/WINDOW WITH SUPERLITE II-XL 60 -

- INTERIOR APPLICATION -



FIRE RATED GLAZING SOLUTIONS

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SAN FRANCISCO, CA 94124 FAX: (415) 824-5900

SuperLite™ II-XL

SAFTIfire GPX
FRAMING

300-W-60R-II-XL

DATE:

DRAWN:

SCALE: 1/2" = 1'



Homeowner
Protection Office
Branch of BC Housing

New Home Registration Form

The purpose of this form is to certify, for the purpose of section 30 of the Homeowner Protection Act, that a proposed new home is covered by home warranty insurance and built by a licensed residential builder.

Form: 280837

A. BUILDER INFORMATION

Licence Number: 34389

Expiry Date: June 30, 2015

Company Name: Pro Design Co. Ltd

B. PROPERTY INFORMATION

Civic Address: 6289 Carnarvon Street

City/Town: Vancouver

Province: British Columbia

Postal Code: V6N 1K2

PID: 024-551-171

Legal Description: Lot S Blocks N and O District Lot 321 Group I New Westminster District Plan LMP42692

Owner(s) of the Property: Jin Fang Li, Sheng Yun Dong

C. CONSTRUCTION INFORMATION

Number of Dwelling Units: 1

Type of New Home: Single

D. PROOF OF HOME WARRANTY INSURANCE

Certified and sealed by warranty provider:

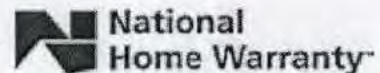
Seal:

Warranty Provider: Aviva Insurance Company of Canada

Builder Warranty No.: NHWB97693

Insurance No.: NHWB97693-A06

Warranty Provider Seal Date: October 17, 2014



E. BUILDING PERMIT INFORMATION

To be completed by municipality or regional district and returned to the HPO:

Municipality or Regional District: COV

Permit issued to: Robert Billard

Date Issued: (month/day/year) 02/25/15

Permit No.: DB 446666

Correction to civic address, type of new home or other information, if applicable:



Title Search Report

Title: CA2447209

Printed: Jun. 19, 2014 2:34 PM

JUNE 24

Application for registration received on: Mar. 21, 2012

Entered on: Apr. 2, 2012

Declared value: 5063000

Taxation Authority: City of Vancouver

REGISTERED OWNERS IN FEE SIMPLE

LI, JIN FANG, HOMEMAKER
6289 CARNARVON STREET
VANCOUVER, BC
V6N 1K2

Inc. No:

PARCELS

Parcel Identifier: 024551171

Short Legal Description: S/LMP42692/////S

Description of Land:

LOT S BLOCKS N AND O DISTRICT LOT 321 GROUP 1 NEW WESTMINSTER DISTRICT
PLAN LMP42692

LEGAL NOTATIONS

No legal notations

CHARGES

No recorded charges

* Caution -- all charges may not be shown or appear in order of priority

* Current information only -- no cancelled information shown

RS-S

EXTRA AREA AFRICAN

NOT TO AFFECT RY/BUDGET DEPTH

HPO ✓

YONG FENG ENTERPRISES #526035

- hazard doc's
rec?

CITY OF VANCOUVER

DATE ISSUED FEBRUARY 25, 2015		PERMIT TYPE DEVELOPMENT AND BUILDING PERMIT				PERMIT NUMBER P DB 446670	
LEGAL DESCRIPTION LOT S BLOCKS N AND O DISTRICT LOT 321 PLAN LMP42692					ADDRESS 6289 CARNARVON ST		
ADDITIONAL ADDRESS INFORMATION					SPECIFICS		
APPLICATION DATE JUN 24, 2014	PURPOSE DEMOLISH	PROJECT VALUE \$15,000	ASSESSED VALUE	PLANS	METRIC NO	PLACE NAME	
TEMPORARY BUILDING DATES		TEMPORARY USE DATES		SUBTYPE			
					CO-ORDINATE 056-758-59-0000		
APPLICANT DESIGN PROF ROBERT BILLARD ROBERT@BILLARDARCHITECTURE.CA 2009 9TH AVE NEW WESTMINSTER BC V3M 3G6		CONTACT 2 PROPERTY OWNER SHENG YUN DON 6289 CARNARVON ST VANCOUVER BC V6N 1K2		CONTACT 3 CONTRACTOR HAYER DEMOLITION LTD 6213 126B ST SURREY BC V3X 3N2			
TEL 604-618-0529	BUS LICENSE CERTIFICATE	TEL 604-655-8283	BUS LICENSE CERTIFICATE	TEL 604-614-3318	BUS LICENSE 145734 CERTIFICATE		
FAX		FAX		FAX			

THIS BUILDING AND DEVELOPMENT PERMIT WHICH INCLUDES THE PLANS MARKED AS FORMING PART THEREOF IS FOR THE FOLLOWING ONLY:

To demolish the existing one family dwelling (\$15,000) on this site.

AND IS SUBJECT TO THE FOLLOWING CONDITIONS AND NOTES:

598 The site shall be maintained in a neat and tidy condition.

All debris shall be cleared and the site levelled to the satisfaction of the City Building Inspector. Notify B.C. Hydro, Terasen, Telus and your local cable company WELL IN ADVANCE regarding disconnection of services and/or demolition work. A Fire Permit is required for the removal of underground storage tanks which must be drained and removed prior to demolition. If an underground storage tank is removed, a permit issued by the Fire Department is required. Water line to be disconnected inside the property line prior to demolition to prevent damage to the main line: contact the Waterworks Branch at 604-323-7800 between 7:30 - 3:30 Monday to Friday for shut-off procedures.

Before commencing demolition the applicant is requested to contact staff at the Vancouver Museum at 604-736-4431 to ascertain whether any of the building components might be of historical value.

See attached list.

Water must remain available on the site for wetting down the demolished building at regular intervals to keep the dust down.

No work shall be conducted until the Hazardous Materials Report Form has been completed and submitted to the Environmental Protection Branch.

910 Construction must be carried out in compliance with the provisions of Noise Control By-law No. 6555

EXISTING USE	SPECIFICS/LOCATION	AREA (SF)	OCC	EXISTING USE	SPECIFICS/LOCATION	AREA (SF)	OCC
D30 ONE-FAM DWELLING	DEMO		C				
ITEM	SPECIFICS/REFERENCE	QTY/AMT		ITEM	SPECIFICS/REFERENCE	QTY/AMT	
0036 LOT TYPE	01 INSIDE/LANE			0041 BY-LAW PROVISION	0 OUTRIGHT		
0037 LOT WIDTH	IRR 53.28	79.60 FT		0080 ZONE	Z009 RS-5		
0038 LOT DEPTH	IRR 102.01	203.24 FT		0375 HPO EXEMPTIONS	43 DEMOLITION ONLY		
0040 PROCESSED THROUGH	34 PROC CTR -PC1 OUT						

RELATED PERMITS: DB446666 CONSTRUCT 6289 CARNARVON ST

APPROVALS REQD BEFORE PERMIT IS COMPLETED INCLUDE: B110 BUILDING INSPECTN SAUL SCHWEBS 604-873-7040

CONTACT 4: INVOICE REFERENCE MR. CHUN ZHAO VANCOUVER BC TEL: FAX: BUSLIC: CER:

PROCESSED BY: PC1 REVIEW BY K HSIEH

ADDITIONAL NOTES:

915 To book an inspection call 3-1-1 from within Vancouver or 604-873-7000 from outside Vancouver. The 3-1-1 Centre is open 7 days a week from 7AM to 10PM, 365 days a year. Also, our 24 hour Building Inspections booking request message line is 604-873-7058. For information on how to use it, please contact the 3-1-1 Centre.

AS OWNER OR OWNERS' AGENT, I HAVE VERIFIED THAT THE INFORMATION CONTAINED WITHIN THIS DOCUMENT AND ASSOCIATED DOCUMENTS AND PLANS IS CORRECT, AND DESCRIBES A USE, A BUILDING OR A WORK WHICH COMPLIES WITH ALL RELEVANT BY-LAWS AND STATUTES. I ACKNOWLEDGE THAT RESPONSIBILITY FOR BY-LAW COMPLIANCE RESTS WITH THE OWNER AND THE OWNER'S EMPLOYEES, AGENTS AND CONTRACTORS. I WILL INDEMNIFY AND SAVE HARMLESS THE CITY OF VANCOUVER, ITS OFFICIALS, EMPLOYEES AND AGENTS AGAINST ALL CLAIMS, LIABILITIES AND EXPENSES OF EVERY KIND, IN RESPECT OF ANYTHING DONE OR NOT DONE PURSUANT TO THIS APPLICATION OR FACT SHEET OR ENSUING PERMIT, INCLUDING NEGLIGENCE AND/OR THE FAILURE TO OBSERVE ALL BY-LAWS, ACTS OR REGULATIONS.

FEE	AMOUNT	FEE	AMOUNT	SIGNED BY	ROBERT BILLARD
190 DEV SCHED 8	269.00			DATE	SEE APPLICATION
300 BUILDING FEE	201.00			ISSUED BY	K HSIEH
312 DEMO ONE-FAMILY	1,000.00			FOR THE	DIRECTOR OF PLANNING & DEV CHIEF BUILDING OFFICIAL
INVOICE: 775693		TOTAL		\$1,470.00	

Beaulieu, Lee

*Free Arborist report
revision request*

To: robert@billardarchitecture.ca
Cc: Hsieh, Katrina
Subject: landscape review - DB446666 - 6289 Carnarvon

Hi Robert,

In reviewing the arborist report (David Walsh, dated Feb.9, 2014) and plans submitted. There are items that need to be addressed in order to further the review:

1. The arborist report does not comment on tree retention in the context of the proposed plans. The report must be expanded, refer to section 7.2, The Protection of trees bylaw for further direction.
 - a. For the front yard trees, removal of existing infrastructure (demolition) should be discussed;
 - b. Depending on the findings in item #1, submit a detailed letter of assurance for arborist supervision, signed by the arborist, owner/contractor.
 - c. Ensure that the arborist provides a detailed, accurate, dimensioned tree protection barrier map;
2. On the site plan: illustrate the tree protection barriers accurately with dimensions and include and any important notes drawn from the arborist report to inform site work;

Lee Beaulieu

Landscape Review & Protection of Trees bylaw
Planning & Development Services
City of Vancouver
604.873.7168

Superseded

February 9, 2014

TREE ASSESSMENT REPORT

Residence at;
6289 Carnarvon St.
Vancouver, B.C.

This report documents and describes trees growing on the above referenced property (22) to aid in the landscape planning for the redevelopment of the site. Trees were measured and assessed for health, defects and stability and recommendations are made where appropriate. Tree locations are indicated on an attached diagram based on the provided survey plan. Five trees not shown on the original plan are included. Diagram tree letters correspond to text tree numbers. Examination date was February 4, 2014.

Tree Descriptions

A. Western Red Cedar (*Thuja plicata*)

- DBH (diameter at breast height – measured at 1.4 m) is 84 cm.
- height is 32 m.
- several panels of dead bark at base. Visible rot under portions.
- health is good, vigour is fair to good, form is good.

B. WR Cedar

- DBH is 103 cm.
- height is 32 m.
- no visible defects.
- health is good, vigour is fair to good, form is good.

C. WR Cedar

- DBH is 99 cm.
- height is 31 m.
- 30 cm diameter candelabra branches at 5 and 6 m forming small secondary tops.
- trunk with light ivy cover to 2 m.
- health is good, vigour is fair to good, form is good.
- ivy removal recommended.

D. WR Cedar

- DBH is 87 cm.
- height is 32 m.
- crown is somewhat thin with several dead branches mid and upper.
- trunk with moderate ivy cover to 5 m.
- health is fair to good, vigour is fair, form is good.
- ivy removal recommended.

E. Flowering Cherry (*Prunus spp.*)

- DBH is 52 cm.
- height is 7 m.
- main graft/crotch area at 2 m; 2 of 6 main tops are dead and removed, 40 cm and 1 m stubs.
- open scar with visible rot and extensive insect boring evident; base to crotch.
- extensive dead material throughout crown.
- numerous 2 to 5 cm diameter pruning stubs.
- health and vigour are fair, form is poor.
- in decline, very imbalanced crown, crotch stability very suspect, poor landscape specimen; removal is recommended.

F. Grand Fir (*Abies grandis*)

- DBH is 108 cm.
- height is 33 m.
- old topping at +/- 20 m.
- 6+ new +/- 30 cm diameter tops to full height with 0.5 to 3 m displacements.
- fence nailed to trunk.
- health and vigour are good, form is fair.
- fence removal is recommended. Inspection by a qualified climber to determine the condition of the topping crotch and to do any remedial work necessary (unstable top removal, cabling etc.) is recommended.

G. Flowering Cherry

- DBH is 50 cm.
- height is 7 m.
- main graft/crotch area at 1.75 m.
- numerous burl-type deformities, many with dead and shedding bark and visible rot, on main trunk.
- heavily and badly pruned down in height. Numerous 5 to 10 cm diameter stubs.
- health and vigour are fair, form is poor.
- in decline and a very poor landscape specimen. Removal is recommended.

H. Atlas Cedar (*Cedrus atlantica*)

- DBH is 61 cm.
- height is 23 m.
- several 10 cm diameter open branch removal scars in lower trunk.
- no other visible defects.
- health and vigour are good, form is good.

I. Tulip Magnolia (*Magnolia x soulangiana*)

- forked at 0.4 m; DBH's are 20 and 21 cm.
- height is 8 m.
- growing between houses; very linear crown east – west. Touches neighbour's house to north and overhangs site house.
- some pruning stubs and water shoots (minor).

- health and vigour are good, form is unusual but good.
- if retained will require careful pruning.

J. Silver Maple (*Acer saccharinum*)

- DBH is 85 cm.
- height is 24 m.
- 20 degree lean north; partially influenced by a large Big-leaf Maple to the south and partially a result of instability.
- one of three main tops has been cut back by 2/3 and has very rotten 10 to 20 cm secondary branch stubs. A remaining 10 cm diameter branch has a 1 m long open longitudinal split.
- other two tops have numerous smaller rotten stubs.
- extensive dieback throughout crown.
- middle stem has numerous small conks mid-crown.
- health and vigour are fair to poor, form is poor.
- in decline, crown and whole-tree stability are suspect; removal is recommended.

K. Sawara False Cypress (*Chamaecyparis pisifera*)

- DBH is 48 cm.
- height is 22 m.
- forked at 7 and 11 m.
- thin crown with several dead branches in lower portion.
- health and vigour are fair, form is fair.

L. English Holly (*Ilex aquifolium*)

- DBH is 29 cm.
- height is 12 m.
- forked at 8 m.
- minor scar at base.
- lower crown is thin from fungal infection.
- health is fair to good, vigour is good, form is fair to good.

M. WR Cedar

- DBH is 27 cm.
- height is 12 m.
- forked at 1.5 and 4 m.
- 40 cm of included bark in lower fork.
- health and vigour are good, form is fair.

N. WR Cedar

- DBH is 26 cm.
- height is 14 m.
- neighbour's shrubs are tied to the trunk with nylon rope.
- no visible defects.
- health and vigour are good, form is good.
- rope removal is recommended.

O. Thread-leaf Sawara Cypress (*Chamaecyparis pisifera* 'Filifera')

- DBH is 40 cm.
- height is 16 m.
- forked at 2, 2.5 and 4 m. Fork at 2 m has been removed.
- root flare is distorted by a large rock.
- thin crown.
- trunk has moderate ivy cover to 4 m.
- health is good, vigour is fair, form is fair to good.
- ivy removal is recommended.

P. Flowering Plum (*Prunus cerasifera* 'Pissardii')

- forked at base; DBH's are 27, 36 and 37 cm.
- height is 10 m.
- extensive old scarring, rot and cavities in all stems from base and into crown.
- fungal conks on some branches.
- 15 degree lean south-west over neighbour's garden.
- health and vigour are poor, form is poor.
- in rapid decline, crown and whole-tree instability; removal is recommended.

Q. WR Cedar

- DBH is 56 cm.
- height is 15 m.
- 15 x 30 cm scars at base and 2 m.
- top broken off at 7 m height and 25 cm diameter ; rot visible. New top has formed with candelabra branches. One has partially failed and has a 20 degree lean over the neighbour's garden. One scarred and broken 10 cm diameter limb hanging in crown.
- health and vigour are fair, form is poor.
- unstable top, poor landscape specimen; removal is recommended.

R. WR Cedar

- DBH is 89 cm.
- height is 30 m.
- natural forking mid-crown and in top 5 m.
- health and vigour are good, form is good.

S. E Holly

- forked at base; DBH's are 18, 22 and 24 cm.
- height is 12 m.
- additional forking at 8 m.
- 2 x 5 cm diameter removed stem stubs at base.
- health and vigour are good, form is fair.

T. F Plum

- forked at base; DBH's are 50 and 52 cm.
- height is 10 m.
- 1 m of included bark between tops.

- extensive scarring and rot throughout crown. One stem with longitudinal separation crack and cavity.
- fungal conks at base.
- extensive dead material throughout crown.
- health and vigour are poor, form is poor.
- in rapid decline, crown and whole-tree instability; removal is recommended.

U. E Holly

- forked at base; DBH's are 15 and 17 cm.
- height is 7 m.
- 5 cm diameter dead fork at base.
- scar at base.
- health and vigour are fair, form is fair.

V. WR Cedar

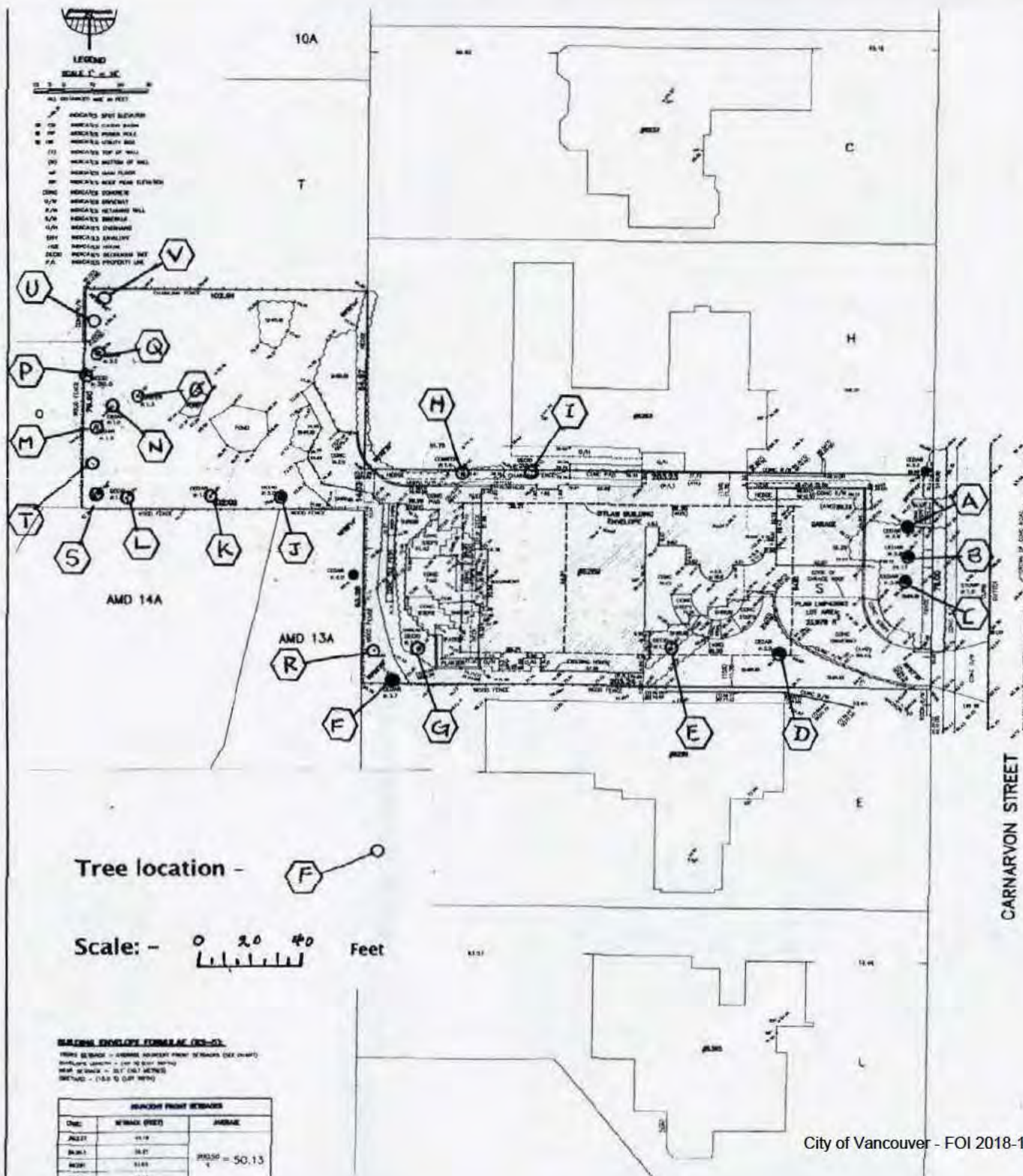
- DBH is 43 cm.
- height is 16 m.
- no visible defects.
- health and vigour are good, form is good.

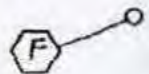
There are four neighbour trees that are close to boundaries that may have to be considered when designing protection fence locations. No city owned street trees are involved. Of the twenty-two site trees examined six are recommended for removal.

Assessments of trees were based on visual examination of above ground parts for structural defects, lean and general health. There was no coring or climbing involved. As much as is reasonable was considered to ensure that trees not recommended for immediate removal were not unstable in the conditions at the time of inspection but there can be no guarantee that failure will not occur at any time. There are too many unknowns including weather, soil structure and hidden defects for that to be possible.

Prepared by;

David Walsh, Cert. Arborist (ISA), Cert. Tree Risk Assessor
903 Hummingbird Lane, Bowen Island, B.C., V0N 1G1
604 922-2789



Tree location - 

Scale: -  Feet

STANDARD DEVELOPMENT FORMER AT (10-01)
 FRONT SETBACK - (SEE ADJACENT FRONT SETBACKS (SEE CHART))
 SIDE SETBACK - (SEE CHART)
 REAR SETBACK - 35' (SEE CHART)
 SETBACK - (SEE CHART)

ADJACENT FRONT SETBACKS		
LINE	SETBACK (FEET)	AVERAGE
LINE 1	11.19	35.00 = 50.13
LINE 2	38.07	
LINE 3	51.83	
LINE 4	47.88	

BUILDING PLAN ORDER FORM
CUSTOMER MEMO AND RECEIPT

***NOTE: REFUNDS WILL NOT BE ISSUED ONCE THE FRAMES HAVE BEEN SCANNED**

NAME: _____

EMAIL ADDRESS: _____

robert@billardarchitecture.ca
s.22(1)

DATE: _____

- ☐ SCANS TO PDF ≤ 10 frames - email within 2 business days
- ☐ SCANS TO PDF > 10 frames - USB stick for pickup
(Please allow up to 3 business days)

DATE FROM MICROFICHE (REV, SP, ETC)	ADDRESS	PERMIT #	PAGE #	FRAME #	# OF FRAMES FROM FICHE
	6289 Carnarvon				
TOTAL FRAMES					416

FOR INTERNAL USE ONLY

MI #: <u>456092</u> RECEIPT #: <u>145655</u> PAID BY: <u>Debit</u> ID TYPE: _____ ID #: _____	# of Fiche: _____ <input type="checkbox"/> Correct # of fiche returned to staff <input type="checkbox"/> Customer verified correct ID received Customer's Initials: _____	AMOUNT PAID: \$ _____ <div style="border: 1px solid black; padding: 5px; text-align: center;"> CITY OF VANCOUVER COMMUNITY SERVICES PAID MAY 19 2015 BY-LAW ADMINISTRATION </div>
---	--	---

PAID STAMP

*** By-law Administration Staff Authorization Signature: _____

Do Sent ✓

APPLICATION TO ACCESS & COPY BUILDING PLANS

(NON-STRATA PROPERTY)

RE:

(Property Address)

- ☐ The Applicant is the current registered owner (photo ID required)
- ☒ The Applicant is an agent acting on behalf of the current registered owner
(owner's signed authorization form and agent's photo ID required)

Applicant's Name: YANG ZHAO
(Please Print)

Mailing Address: s.22(1) 4411 WESTMINSTER HWY

City: RICHMOND Postal Code: B.C

Phone: 604 241 2930 Cell: 778 - 926 - 8582

E-mail: s.22(1)

I hereby make application to access and obtain copies of any building plans relating to the above property held in the City's possession. I am aware of the applicable fees herein.

I request the City to make copies on my behalf and I agree to hold harmless and indemnify the City of Vancouver in respect of any claim that may arise there from. I intend to use these copies for purposes of private study, research, criticism, review or newspaper summary, and I understand that any other use may constitute an infringement of **The Copyright Act**.

Initials: SZ

Gedra Muu
.....
(Signature of Applicant)

05/19/2015
.....
Date

OWNER'S AUTHORIZATION
TO ACCESS PLANS FOR
NON-STRATA PROPERTY

RE: 6289 Carnarvan St.

(Property Address)

I, Jin Fang Li am the Registered Owner of
(print owner's name)

the above property, and hereby authorize Yang Zhao
(print authorized agent's name)

to access and obtain copies of any building plans relating to the above property on my behalf.

I am aware of the applicable fees herein.

Owner's Signature:

李芳金

Owner's Mailing Address:

s. 22(1)

(City)

(Postal Code)

Owner's Phone No:

s. 22(1)

Cell:

s. 22(1)

Owner's Email:

BUILDING PLAN ORDER FORM
CUSTOMER MEMO AND RECEIPT

***NOTE: REFUNDS WILL NOT BE ISSUED ONCE THE FRAMES HAVE BEEN SCANNED**

NAME: _____

EMAIL ADDRESS: _____

DATE: _____

☐ SCANS TO PDF ≤ 10 frames - email within 2 business days

☒ SCANS TO PDF > 10 frames - USB stick for pickup
(Please allow up to 3 business days)

DATE FROM MICROFICHE (REV, SP, ETC)	ADDRESS	PERMIT #	PAGE #	FRAME #	# OF FRAMES FROM FICHE
04.16.15	6289 Carnarvon	D446666	0104	# 23456	5
			0204	# 13456	5
			0304	# 1236	4
TOTAL FRAMES					13 14

FOR INTERNAL USE ONLY

MI #: <u>2015-00088</u> RECEIPT #: _____ PAID BY: _____ ID TYPE: <u>DL</u> ID #: <u>6275675</u>	# of Fiche: _____ <input type="checkbox"/> Correct # of fiche returned to staff <input type="checkbox"/> Customer verified correct ID received Customer's Initials: _____	AMOUNT PAID: \$ _____ <div style="border: 1px solid black; padding: 5px; text-align: center;"> CITY OF VANCOUVER COMMUNITY SERVICES PAID OCT 06 2015 BY-LAW ADMINISTRATION </div>
---	--	---

PAID STAMP

*** By-law Administration Staff Authorization Signature: _____

Done

APPLICATION TO ACCESS & COPY BUILDING PLANS

(NON-STRATA PROPERTY)

RE:

6289 Carnarvon St

(Property Address)

- ☐ The Applicant is the current registered owner (photo ID required)
- ☒ The Applicant is an agent acting on behalf of the current registered owner
(owner's signed authorization form and agent's photo ID required)

Applicant's Name:

Jimmy Ng

(Please Print)

Mailing Address:

1983 E 41st Ave

City:

Vancouver

Postal Code:

V5P 1C1

Phone:

604 761 0011

Cell:

E-mail:

info @ 604 761 0011 . com

I hereby make application to access and obtain copies of any building plans relating to the above property held in the City's possession. I am aware of the applicable fees herein.

I request the City to make copies on my behalf and I agree to hold harmless and indemnify the City of Vancouver in respect of any claim that may arise there from. I intend to use these copies for purposes of private study, research, criticism, review or newspaper summary, and I understand that any other use may constitute an infringement of **The Copyright Act**.

Initials:

W

(Signature of Applicant)

Date

To City of Vancouver,

I Li, Jinfang, the owner 6289 Carnarvon
authorized her agent Jimmy Ng to order
or view the building plan to the property
of 6289 Carnarvon St Vancouver V6N 1K2

Sincerely,

Li, Jinfang (owner of 6289 Carnarvon)

Jin Fang Li

Memorandum

Date: Jan 13/15

To: Building Inspector
Building Inspection Branch, Licences and Inspections

From: La Beaulieu
Landscape Architectural Technician

Saul
Schuebs.

Subject: Tree and Root Protection Barriers Installation and Pre-Demolition Site
Assessment Inspection Request.

Tree protection and pre-demolition site
assessment **MUST** clear inspection prior to
Building Permit being issued.

Address: 6289 Carnarvon St.

Permit #: DB446666

Inspection has been requested by:

Applicant: Robert Billard HELEN RAI
604.723.8599

Phone Number: 604 618 0529

☐ Protection already installed.

☒ Applicant will call 604-873-7601 or 311 for inspection when the protection
barriers are installed at least 48 hours (working days only) in advance of the
appointment date.

Inspection Status Form Entered on PRISM

DS EnquiryCtr - T001 (Revised Feb. 2012)

The installation of the Tree and Root Protection Barriers was inspected and found to be

☒ Acceptable

Date: 17 FEB

☐ Unacceptable for the following reason(s):

Date: _____

- ☐ Substandard materials
- ☐ Substandard construction
- ☐ Incorrect distance from trees

- ☐ Protection Violated
- ☐ Protection not installed
- ☐ Other _____

☐ Re-inspection required

☐ Applicant notified Date: _____

The pre demolition site assessment was carried out and found to be

☒ Acceptable

Date: 17 FEB

☐ Unacceptable for the following reason(s):

Date: _____

- ☐ More than three storeys
- ☐ Too close to adjacent buildings / street
- ☐ Very sloped site / soil stability issue / limited access
- ☐ Over height chimney near property line
- ☐ Other: _____

☐ Demolition plan required

☐ Engineered demolition plan required

☐ Demolition plan received

Date: _____

☐ Engineered demolition plan received

Date: _____

NOTES:

Form submitted to DOMINO

Building Inspector: [Signature]

Date: 17 FEB 2015

Demo Permit: _____

RS-5 CHECK SHEET

EXISTING ADDRESS <i>6789 Carnarvon St</i>				PERMIT NUMBERS	
PROPOSED ADDRESS				CONSTRUCT	DB <i>446666</i>
LEGAL DESCRIPTION				DEMO	DB <i>446670</i>
LOT	BLK	DL	PLAN	DRAIN TILE	DT <i>421817</i>
<i>5</i>	<i>N10</i>	<i>321</i>	<i>Grp1 NW0 426</i>	TREE	TR <i>429731</i>

FILE RESEARCH		2.2.A ACCESSORY BUILDING	
APPROVED USE	<i>1FD + CELLAR</i>	SIZE	WIDTH = LENGTH =
DCL AREA	<i>13 C/W</i>	HEIGHT	PEAK = MEAN =
TREE BARRIERS ACCEPTED (DATE)		LANE SURFACE:	SLAB ELEVATION =
DISTRICT BUILDING INSPECTOR			REQUIRED PROPOSED
BUILDING LINE	<i>10 SCLHWEBS</i>	AREA	<i>452</i>
LANE DEDICATION		SETBACKS FROM ULT PL	<i>25.92</i>
BOV APPEAL #		MANOEUVERING AISLE	<i>21.65</i>
OTHER		REQUIRED PARKING SPACES	<i>1</i>
		LANE WIDTH	<i>15</i>

4.1 SITE AREA		MIN	PROPOSED
LOT WIDTH	<i>32.15'</i>	<i>64.97/78 E</i>	
LOT WIDTH	<i>32.15'</i>	<i>79.6/63.8 N</i>	
LOT DEPTH	<i>N</i>	<i>102.01/203.23</i>	
LOT DEPTH	<i>S</i>	<i>102.02/203.29</i>	
SITE AREA	<i>3595.15</i>	<i>23,979</i>	
LOT TYPE	<i>01 INSIDE LANE</i>		

4.4-4.6 YARDS		MIN	PROPOSED
FRONT YARD			
AVERAGE	<i>50.13</i>	<i>50.13</i>	
SIDE YARD 1	<i>15.0%</i>		
site width (m) + 2	<i>11.7</i>	<i>11.71</i>	
SIDE YARD 2	<i>15.0%</i>		
site width (m) + 2	<i>11.7%</i>	<i>11.71</i>	
SIDE YARD REDUCTION			
10% ON SITES > 13M	<i>7.8</i>	<i>8.04'</i>	
REAR YARD	<i>35.10</i>	<i>71.81</i>	
BUILDING WIDTH	PERMITTED	PROPOSED	
<i>54.67</i>	<i>58.26</i>	<i>58.29</i>	
2ND FLOOR	<i>54.60</i>	<i>54.61</i>	
4.16 BUILDING DEPTH	PERMITTED	PROPOSED	
<i>40%</i>	<i>61.29</i>	<i>81.31</i>	
65% FOR REDUCED YARD	<i>52.84</i>	<i>43.15</i>	

COMMENTS		BASEMENT OPTION	
- owner - not same as LTO		CELLAR (.25 = MAX FSR)	<i>5994.75</i> <i>4379.79</i>
- demo rental		.7 = A + B + C + D + E	<i>16785.3</i> <i>9612.59</i>
- landscaping - ask for B		.45 = B + C + D + E	<i>10790.6</i>
- existing driveway		ABOVE GRADE FSR NOT TO EXCEED THE LESSER OF	
- Rear yard ponds - notes		.45 OR .16 + 1400	
- Eng comments - driveway		4.8 SITE COVERAGE	
- provide slope		F PRINCIPLE DWELLING	<i>3384.34</i>
- or otherwise		G PORCH	<i>376.1</i>
- Driveway - 3 point turn		H ACCESSORY BUILDING	
- manoeuvring in & out		I WALKWAYS	<i>1022.72</i>
- ex grade diff/erosion in front yard		J SUNKEN PATIO	
- batch/building only		driveway	<i>1377.5</i>
- show windows of basement at basement		deck/landing/patio & steps	<i>468.02</i>
		canopy & steps	
		K OTHER HARD SURFACES	<i>390</i>
		S.C. @ 40% = F + G + H	<i>9591.6</i> <i>3760.44</i>
		IMP. @ 60% = S.C. + I + J + K	<i>14387.4</i> <i>7018.68</i>

REVIEW COMPLETED BY:	<i>K HSEH</i>	DATE:	
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#15-109165

VBBL CHECK SHEET

Spatial Separation 9.10.15.4						Address <i>6289 Carrington</i>	
Elevation	Lim. Dist.	EBF	%	Permitted	Proposed	Approved	Permit Number
<i>N</i>							
<i>S</i>	<i>SEE curtain wall all windows covered</i>						

Stairs 9.8		Requirement	Proposed	Accepted	Separation of Suites		
Rise	4.92"-7.87"	<i>9.23-7.25</i>	<input checked="" type="checkbox"/>		Wall Assembly =		
Run	8.27"-13.98"				Required	Provided	Accepted
width	2'-10"	<i>3.25'</i>	<input checked="" type="checkbox"/>		Fire 9.10.9.14	45 mins	
Headroom	6'-5"				Sound 9.11.2.1	50 STC	
Landing	2'-10"	<i>3.67'</i>	<input checked="" type="checkbox"/>		Floor Assembly =		
Handrail		<i>36"</i>	<input checked="" type="checkbox"/>		Required	Provided	Accepted
Guardrail	42"	<i>42"</i>	<input checked="" type="checkbox"/>		Fire 9.10.9.14	45 mins	
					Sound 9.11.2.1	50 STC	

Insulation Values		Min	Proposed	Accepted	Soils Condition <i>STABLE</i>		
Walls - above grade	R22	<i>R22</i>	<input checked="" type="checkbox"/>		Stable/peat/liquefaction/flood plain		
Walls - below grade	R20		<input checked="" type="checkbox"/>		Soils Report		
under slab	R12	<i>R12</i>	<input checked="" type="checkbox"/>		B1/B2 - Geo-technical		
Roof - vaulted flat	R28	<i>R40</i>	<input checked="" type="checkbox"/>		Design statement from Struc. P Eng.		
Roof - trussed	R40	<i>R40</i>	<input checked="" type="checkbox"/>		Flood plain Covenant		
Other							

Notations		Accepted	Architectural Details		Accepted
Combustion air/solid fuel burning (wood burning f/p)		<input checked="" type="checkbox"/>	Rain Screen (Bulletin)		<input checked="" type="checkbox"/>
Mechanical ventilation (roof - trussed)	1/300		Retaining Walls < 4'-0"		<input checked="" type="checkbox"/>
Mechanical ventilation (roof - vaulted)	1/150		Bay window		<input checked="" type="checkbox"/>
Crawl space ventilation	1/500		Deck over living space		<input checked="" type="checkbox"/>
Bar sink location		<input checked="" type="checkbox"/>	Other		

Structural Details/Drawings/Statements		Accepted
Floors & Walls		
Footings & foundations		
Roof Trusses		
Laminated beams		
Seismic details & statement		
Retaining Walls > 4'-0"		
B1/B2 - Structural		
B1/B2 - Geo-technical		

Comments	
<p><i>Survey - show allowable buildg env. setbacks at all four side of the building - provide to w. to bow el on walls 5 retaining walls - x-section + space below pool - Allow in 20 spaces + el - bottom of 5 patio steps Extreme outer limits of building min 18.04' depth for acc. buildg lower kitchen/fairly man</i></p>	<p><i>note plan show window wells slope at 1:6 it ok to bow retaining walls + flr yard to buildg face + stairs in side yard + cross section of glass - in front + x-section of pool + tower garage</i></p>

Hsieh, Katrina

From: Robert Billard <robert@billardarchitecture.ca>
Sent: Friday, December 12, 2014 11:23 AM
To: Hsieh, Katrina
Cc: 'Allen Yang'; zzhao@telus.net; 'Wei Chen'; 'George Zhao'; 'Werner Meile'
Subject: RE: 6289 Carnarvon update
Attachments: 6289 Carnarvon Fin Wall location confirmation12122014.pdf; 6289 CARNARVON STREET - A109 SECTION - 12 12 14.pdf; 6289 CARNARVON STREET - A108 SECTION - 12 12 14.pdf; 6289 CARNARVON STREET - A107 SECTION - 12 12 14.pdf; 6289 CARNARVON STREET - A106 ROOF PLAN - 12 12 14.pdf; 6289 CARNARVON STREET - A105 UPPER PLAN - 12 12 14.pdf; 6289 CARNARVON STREET - A104 MAIN PLAN - 12 12 14.pdf; 6289 CARNARVON STREET - A103 LOWER PLAN - 12 12 14.pdf; 6289 CARNARVON STREET - A102 SITE PLAN - 12 12 14.pdf; SuperLite II-XL 60.pdf; Fire Rated Glass_ SAFTI ...pdf; 6289 CARNARVON STREET - INTERPOLATED GRADE CALCULATIONS.pdf; Billard-6289Carnarvon.pdf

Importance: High

Good morning Katrina,

Please see the comments below in red and the supporting documentation attached.

Thank you for your help.

Robert G. Billard, Architect AIBC, LEED AP
Billard Architecture
T: 604-619-0529
robert@billardarchitecture.ca
www.billardarchitecture.ca

-----Original Message-----

From: Hsieh, Katrina [<mailto:Katrina.Hsieh@vancouver.ca>]
Sent: Thursday, December 11, 2014 9:09 PM
To: Robert Billard
Cc: 'Allen Yang'; zzhao@telus.net; 'Wei Chen'; 'George Zhao'; 'Werner Meile'
Subject: RE: 6289 Carnarvon update

Hello Robert,

Yes, the City has been experiencing longer than normal processing times for outright permit. I would like to take this opportunity again to shed light on this.

When we accepted this application in late June, we were anticipating the code to change July 1, 2014 and took in double the amount of applications for that month in order to facilitate applications under the old code.

The code change was postponed to January but it we still had to process all the applications and that is why the tentative review date was not slated until the end of September.

When you contacted me in September, it was near the tentative review date and informed me that there were changes to the plans. The plans were submitted past the review date and I did my best to accommodate this on my busy and already packed schedule.

The lot is unusual, and posed some challenges in terms of setbacks, and grade elevations which we have acknowledged and worked through with you. The design and slope of the driveway also posed some concern which required extra time to review and director of planning approval. I believe that we were fair in our decision and did our best to enable and to retain as much of the original design as possible. As our schedules are booked in advance, it often takes us a minimum of 2 weeks to review the updates etc. I believe I have adhered to this timeline.

My previous review, as noted, was an initial review and required more information, which you have since provided, before we could review fully. Some of the items listed below, again, are from the initial review. Others are indeed new but comes from the final review.

Please see my comments below.

If you have any questions, please contact me and I am happy to clarify and assist.

Katrina Hsieh
Project Coordinator
Development Review Branch
Planning & Development Services
West Annex, 515 W 10th Ave
P: 604.873.7284
E: katrina.hsieh@vancouver.ca

From: Robert Billard [mailto:robert@billardarchitecture.ca]
Sent: Tuesday, December 09, 2014 10:10 AM
To: Hsieh, Katrina
Cc: 'Allen Yang'; zzhao@telus.net; 'Wei Chen'; 'George Zhao'; 'Werner Meile'
Subject: RE: 6289 Carnarvon update
Importance: High

Katrina,

Please see my comments below in red. It is unfortunate that these issues are only coming out now. It has been six months with the city to date. Many of the comments below are and have been addressed on the drawings.

We can talk tomorrow.

Regards,

[Billard Architects Logo small]

Robert G. Billard, Architect AIBC, LEED AP Billard Architecture
T: 604-619-0529
robert@billardarchitecture.ca<mailto:robert@billardarchitecture.ca>
www.billardarchitecture.ca<http://www.billardarchitecture.ca>

From: Hsieh, Katrina [mailto:Katrina.Hsieh@vancouver.ca]
Sent: Tuesday, December 09, 2014 9:26 AM
To: robert@billardarchitecture.ca<mailto:robert@billardarchitecture.ca>
Subject: FW: 6289 Carnarvon update

Hi Robert,

I reviewed the updated plans yesterday and did a complete review of the plans and again below are my comments:

I can't see the all information on the site plan but from what we talked about and gather it looks ok.

Some of the comments are ones that weren't addressed or submitted on my earlier list of items.

Please NOTE that you still need to address Landscaping deficiencies, (see earlier email sent to you by Lee Beaulieu) before they can give clearance. The requests by Lee were addressed in September and a new report with tree protection etc was provided to you. They are attached again.

Yes, sorry, I do recall receiving the email with the attachments, and have requested an update with Lee from Landscaping. The status currently on Landscaping is still pending but I will notify you when there is an update.

Can you send the pdf? Attached

1. Updated survey required to show allowable building envelope setbacks at all four sides of the building, remove footprint of existing building, (keep all existing retaining walls and top and bottom elevations) The allowable building footprint setbacks are clearly noted on the survey. I will ask the client to supply an updated survey again. Ok thanks.
2. Reduce size of driveway to main floor garage as it allows for a 3 point turn and maneuvering which is not permitted in the front yard as per the Parking By-Law. As per the revisions over a month ago, the driveway has been reduced in size and cannot be reduced further in order to get two cars into the doors of the garage and the entrance to this part of the driveway is as thin as it can be allowed to be. There is no ability or intention to be able to do a three point turn. The driveway proposed is still larger than we would like to see. Please reduce the North East side. (2' would be ok) You can keep the first 5' distance from the garage the same size. I have revised the driveway again and reduced the width by 2' as requested. See revised site plan.
3. Glass guardrails require either a top cap or a structural Engineer assurance. A section details is required, signed, stamped and dated by the Engineer. The drawings clearly show a top rail on the railings and it is noted as being metal. The exterior ones show this but the interior stairs and guardrails are not identified. Notes have been added to the interior stairs. See revised plans.
4. Pool area section required and Structural and Geotechnical assurance required for the pool as the existing Schedules signed do not mention the pool. Schedule B1/B2 specifically required for the following: A pool section was provided in revisions a month ago. I will contact the Structural engineer for assurance. I will contact the Client for Geotechnical. Sorry I received the section for the turn table but not one for the pool. Please resubmit one. Here is the section supplied earlier.
5. Portion of the cellar (utility room) still protrudes into the required side yard on the North side. Portion of the utility room needs to be removed. We can reduce this tiny corner. Ok. Revised. See plan.
6. Clearly show that part of the corner of the 2nd Floor bedroom is within the decreased side yard building depth, it looks like it is outside and may need to be reduced in size as per 4.5.5 this portion is only permitted to be 1 storey. The second floor bedroom is within the required setback. Please show this on the floor plans, by indicating where the setback and 65% building depth. Revised. See plan.
7. Structural needs to be updated to match the Architectural Plans. I am awaiting revised drawings from Structural. Ok thanks.
8. Spatial calculations are missing from the elevations. Please provide calculations and how you are meeting them. The glass on the side elevations due the amount may be required to be glass block to meet the Vancouver Building By-Law regulations. Are you referring to the Limiting Distance Calculations? If so, as noted on the drawings, the glass that is specified is a 1hr to 3hr rated assembly and as such meets the criteria of a Protected Opening. This

system is far superior to Glass Block. We can have a Code Consultant and Glass Supplier provide assurances to this fact. Yes, I am referring to the limiting distance. You need a statement that specifically addresses 9.10.15.2 of the Vancouver Building By-Law. You can forward me the product information and testing so that I can ensure that it meets the requirements. Please see attached specifications for the specified window system. Note the reference of it as being considered a "transparent wall". Please advise if more is needed.

9.

10. Energy calculations are missing for the plans. These can be provided. However due to it being a concrete building and the rated gas filled glass with coatings it far exceeds the City's recommendations and will require a computer model. Yes, I agree that it will meet the requirements but we still need to have the statement please We will get the statement for you ASAP.

11. Height - What is the actual roof peak (given is 110.39 which is not associated with any of the roof peaks) Note that calculation of heights is calculated on interpolation as prescribed in the RS-5 Schedule. Yes, this has been calculated based on the interpolation and the roof level and the fin elevations are noted on the drawings. The interpolated grade is noted on the East Elevation and on the site plan. The maximum height needs to work on the lowest part of the lot at the highest point of the building. The current interpolation shown is on the NE side of the property but the lower side is on the SW point. As per the RS-5 Bylaw section 4.3 is as follows:

4.3.5 Height shall be measured from a hypothetical surface determined by joining the existing grades at the intersections of the hypothetical lines defining the front and rear yards and the side property lines, except that if the Director of Planning is of the opinion that the hypothetical surface determined by joining the existing grades is not compatible with the existing grades of adjoining sites or general topography of the area, he may instead require that height be measured from base surface.

Please see the attached sketch outlining the calculation of the interpolated grade. The bylaw, unlike some other bylaws, does not state the height is measured from a particular building face, but calculated based on the interpolation of the intersections of all the yard setbacks and the property line. This has been calculated as such. The max height was calculated at this as the fin and roof are level. In essence, due to the site sloping dramatically to the back, this is an advantage to the neighbours as the house appears lower at the street. Please see attached sketch.

12. Architectural Arc feature on the site plan and elevations show as within the building envelope but the plans and elevations show otherwise. Please clarify. The location of the fin is within the setback as noted on all plans as well as the site plan. Please provide overall dimensions to all floor plans. As noted in red on the attached sketches, the fin is located within the building envelope and dimensions are noted as such.

I will be away from my office doing intake appointments all day so if you have any questions please email them to me today or we can chat tomorrow if you require further clarity.

Best regards,

Katrina Hsieh
Project Coordinator
Development Review Branch
Planning & Development Services
West Annex, 515 W 10th Ave
P: 604.873.7284

- Demolition Declaration
- Updated Application form

E: katrina.hsieh@vancouver.ca<mailto:katrina.hsieh@vancouver.ca>

Hsieh, Katrina

From: Hsieh, Katrina
Sent: Tuesday, December 09, 2014 9:26 AM
To: robert@billardarchitecture.ca
Subject: FW: 6289 Carnarvon update

Hi Robert,

I reviewed the updated plans yesterday and did a complete review of the plans and again below are my comments: I can't see the all information on the site plan but from what we talked about and gather it looks ok. Some of the comments are ones that weren't addressed or submitted on my earlier list of items.

Please **NOTE** that you still need to address Landscaping deficiencies, (see earlier email sent to you by Lee Beaulieu) before they can give clearance.

Can you send the pdf?

1. Updated survey required to show allowable building envelope setbacks at all four sides of the building, remove footprint of existing building, (keep all existing retaining walls and top and bottom elevations)
2. Reduce size of driveway to main floor garage as it allows for a 3 point turn and maneuvering which is not permitted in the front yard as per the Parking By-Law.
3. Glass guardrails require either a top cap or a structural Engineer assurance. A section details is required, signed, stamped and dated by the Engineer.
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5. Portion of the cellar (utility room) still protrudes into the required side yard on the North side. Portion of the utility room needs to be removed.
6. Clearly show that part of the corner of the 2nd Floor bedroom is within the decreased side yard building depth, it looks like it is outside and may need to be reduced in size as per 4.5.5 this portion is only permitted to be 1 storey.
7. Structural needs to be updated to match the Architectural Plans.
8. Spatial calculations are missing from the elevations. Please provide calculations and how you are meeting them. The glass on the side elevations due the amount may be required to be glass block to meet the Vancouver Building By-Law regulations.
9. Energy calculations are missing for the plans.
10. Height – What is the actual roof peak (given is 110.39 which is not associated with any of the roof peaks) Note that calculation of heights is calculated on interpolation as prescribed in the RS-5 Schedule.
11. Architectural Arc feature on the site plan and elevations show as within the building envelope but the plans and elevations show otherwise. Please clarify.

I will be away from my office doing intake appointments all day so if you have any questions please email them to me today or we can chat tomorrow if you require further clarity.

Best regards,

Demolition Declaration Form

Katrina Hsieh
Project Coordinator

Development Review Branch
Planning & Development Services
West Annex, 515 W 10th Ave
P: 604.873.7284
E: katrina.hsieh@vancouver.ca

Dhanoa, Kamaljit

From: Westerman, Denise
Sent: Wednesday, August 10, 2016 11:52 AM
To: Chen, Tony
Cc: Schwebs, Saul; Lam, Matthew; DOMINO (CITYVAN)
Subject: RE: 6289 Carnarvon St - spatial re-check please - letter # 3

Thanks Tony, but I will be away and this is not my project either.

Please follow up directly with Pat Ryan and Matthew Lam for decision.

Thank you again...

Denise

From: Chen, Tony
Sent: Wednesday, August 10, 2016 11:39 AM
To: Westerman, Denise
Cc: Schwebs, Saul; Lam, Matthew; Ryan, Pat (PDS); DOMINO (CITYVAN)
Subject: RE: 6289 Carnarvon St - spatial re-check please - letter # 2

Thanks.

We will need some time to review it for VBBL compliance. Please allow up to two weeks minimum for us to provide you with a preliminary finding.

Tony Chen
Housing Review Branch
Planning and Development Services
CITY OF VANCOUVER
604 873-7783
tony.chen@vancouver.ca

From: Westerman, Denise
Sent: Wednesday, August 10, 2016 10:05 AM
To: Chen, Tony
Cc: Schwebs, Saul; Lam, Matthew; Ryan, Pat (PDS); DOMINO (CITYVAN)
Subject: 6289 Carnarvon St - spatial re-check please - letter # 2

Hi Tony & Saul,

CBO has indicated that we are not taking any immediate action / notification with the project Architect.

But the City should still figure out if spatial separation is conforming to VBBL or not, Saul confirmed that he will follow up on the spatial compliance confirmation.

I was unable to locate any AL on PRISM nor POSSE on spatial issue.

I have printed the yellow check sheet from DOMINO, and hi-lited a few areas (stairs, headroom, ventilation) that needed re-confirmation for Saul's audit.

Maybe the architect just labelled the elevation orientation incorrectly on the permit drawings.

It is a good idea to talk to Katrina in case a spatial solution was proposed that was not documented.
Thanks for following up s. 22(1), see you on Aug 22.

Denise

From: Chen, Tony
Sent: Wednesday, August 10, 2016 8:56 AM
To: Westerman, Denise
Cc: Schwebs, Saul; Lam, Matthew
Subject: RE: 6289 Carnarvon St - spatial re-check please

Saul and I took a quick look at the plans yesterday as well, and we nearly had a heart attack. UPO's are about 70% and the LD is not anywhere close to what is needed.

It is definitely not compliant. We can do a more details spatial if you want.

Tony Chen
Housing Review Branch
Planning and Development Services
CITY OF VANCOUVER
604 873-7783
tony.chen@vancouver.ca

From: Westerman, Denise
Sent: Wednesday, August 10, 2016 8:53 AM
To: Chen, Tony
Cc: Schwebs, Saul; Lam, Matthew
Subject: 6289 Carnarvon St - spatial re-check please

Good Morning Tony,

s.13(1)

I wouldn't ask Saul to do anything extra without checking with CBO & Matthew first.

It would be great if we can confirm if spatial was okay since it was done under the previous management at 1 & 2 FD group when staff were not receiving adequate VBBL training.

Spatial info was not on the yellow check sheet on DOMINO.

s.13(1)

Thanks again Saul.

Denise

From: Chen, Tony
Sent: Tuesday, August 09, 2016 3:52 PM
To: Westerman, Denise; Schwebs, Saul
Cc: Lam, Matthew; Ryan, Pat (PDS); DOMINO (CITYVAN)
Subject: RE: 6289 Carnarvon St - spatial re-check please

Hi Denise, PCs have been instructed to do spatial on all three sides and even the lane side if they find too many UPOs on that side too. This project was done in 2015 and was before my time when I started asking for it. But all the PCs now know to calculate it.

It will be up to Pat Ryan on how he wants to deal with this issue as the CBO. We can pull the drawings to confirm.

Tony Chen

Housing Review Branch
Planning and Development Services
CITY OF VANCOUVER
604 873-7783
tony.chen@vancouver.ca

From: Westerman, Denise
Sent: Tuesday, August 09, 2016 2:56 PM
To: Schwebs, Saul; Chen, Tony
Cc: Lam, Matthew; Ryan, Pat (PDS); DOMINO (CITYVAN)
Subject: 6289 Carnarvon St - spatial re-check please

Hi Saul,

Please have one of your PC to check over spatial (both side yards) for this DB permit, the spatial allowed for approx. 3.5 M Limiting Distance is about 25 to 30% UPO in a sprinklered building.

Spatial Separation calculation check box was NOT filled in on the yellow permit check sheet on DOMINO.

I believe we saw more than 50 % UPO on the permit drawings.....

Please follow up with Pat on this issue s.22(1). We may have to notify the registered Architect if there is problem with his drawings.

Thanks for following up !

Denise



CarouselUSA

Carousel USA concrete topped turntable specifications:

DB 446666

Cement Type:	Type V
Concrete Mix:	4500psi; ¾" maximum aggregate, of good gradation and preferably of crushed rock. To be pumped.
Concrete Slump:	4-inch maximum
Water/Cement Ratio:	0.45 maximum (by weight)
Min. Slab Reinforcement:	No. 3 bars @ 18 inches O.C.E.W. One -#3 perimeter bar continuous, to be placed circumferentially at 3 inches from the edge of the slab. Reinforcement should be supported on concrete blocks in the middle third of the slab section.
Curing:	Cure with a chemical curing compound to be compatible with proposed floor coverings. As an alternative to curing compound, plastic sheeting could be used to cure the concrete. Leave the sheeting for two weeks.
Scoring:	Preferred, radially, at intersections of steelwork sections, but not essential.
Cracking:	Concrete cracks. Carousel USA cannot be held responsible for superficial or non-superficial cracking.

Carousel USA

In-ground Turntable Site Work Methods

The following guide contains our recommended methods for site preparation; however, please consult your local building officials to prepare for 9/21/07 conditions in your particular area.

Safe construction is a priority for Carousel USA.

Improper design and construction can put lives and property at risk. Most states and jurisdictions have enacted laws that require a licensed engineer or architect to prepare or supervise the preparation of plans for construction projects of significant size and complexity. Local laws may be more demanding than those described in the following Carousel USA exhibits. You are encouraged to work closely with your local building officials and inspectors to make sure your project meets all state and local requirements. Safe construction is a result of a partnership among contractors, architects, engineers, property owners, government, and building and safety officials.

We recommend using one of the following methods, based upon the particular needs and capabilities available at your jobsite.

Method 1:

Summary:

In this method, you form the base slab first, install turntable, then pour surrounding finish surface.

1. Excavate site to allow for your table depth, plus slab height. For example, if the table is 12" high, and the slab is 4" thick, excavate to 16" below final finish grade.
2. Form a slab (shape is not important) that's no less than 1' larger than the turntable, at all bounds of the turntable. For example, if the turntable is 18' in diameter, the slab should be either a 20' (min) diameter *circle*, or perhaps a 20' diameter (min) *square*. Per our supplied drawings, set a 3/4" conduit at any point that's 5' from the center of the table, then provide adequate drainage to daylight or sump. The preferred drainage method is trough drain 4" wide, positioned in a radial setup as per supplied drawings.

1. We typically see slabs that are 4" to 5" thick which must be reinforced with wire mesh or rebar. Set rebar in slab for later/final curb pour. Pour slab and remove forming materials.
2. Carousel USA arrives and installs turntable. (Typically in 1 day).
3. Turntable perimeter is "wrapped" with concrete-forming material, a minimum of 1/4" thickness. Masonite or similar products are typically used. Forms must extend above table height for easy removal after concrete begins to set. To secure form boards at their base, wood blocks can be placed at appropriate intervals and secured with concrete nails or glued to base slab.
4. After final pour, the wood blocks can be left in place or removed as desired.
5. Pour surrounding (final drive surface) concrete level with turntable surface.
6. Remove forming material at appropriate time during concrete set-up, by pulling material from gap using vice grips or similar grabbing device.
7. Clean up gap edges as necessary.

Pros and Cons of this option:

Pros: Simple, less labor, leaves a consistent gap and precise height.

Cons: Leaves a "cold joint", 2 pourings required.

Method 2:

In this method the complete turntable pit is formed, but initially larger in size than its final diameter. The second pour "fills" the final 6"-12" gap. Pit is formed using traditional forming techniques and by using the turntable as a final form.

1. Excavate site to allow for the required depth of your table, plus slab height. For example, if the table is 12" high and the slab is 4" thick, excavate to 16" below final finish grade.
2. Form a slab along with the entire/complete turntable pit per supplied Carousel USA drawings, but add an additional (min.) of 18" to the diameter of the pit. Set a 3/4" conduit at any point 5' from the center of the table, ensuring adequate drainage to daylight or sump. The preferred drainage method is to use a 4" wide trough drain, positioned in a radial fashion per supplied drawings.
3. We typically see slabs 4" to 5" thick that must be reinforced with wire mesh or rebar. Pour slab, and then remove forming materials.
4. Clean up gap edges as necessary.
5. Carousel USA arrives and installs turntable. (Typically in 1 day).
6. The Turntable's perimeter is "wrapped" with concrete-forming material, minimum of 1/4" thickness. Masonite or similar products are typically

used. Form boards must extend above table height for easy removal after concrete begins to set. To secure forms at their base, wood blocks can be placed at appropriate intervals and secured with concrete nails or glued to base slab. Once final pour is completed, wood blocks can be left in place or removed if desired.

7. Pour surrounding concrete (final drive surface) level with turntable surface.
8. Remove form materials at appropriate time during concrete set-up, by pulling material from gap using vice grips or similar grabbing device.
9. Clean up gap edges as necessary.

Pros and Cons of this option:

Pros: No "cold joint," precise gap, precise height.

Cons: Labor intensive, 2 pours.

Method 3:

Summary:

In this method, the entire/complete turntable pit is formed to the prescribed diameter using traditional concrete- forming techniques.

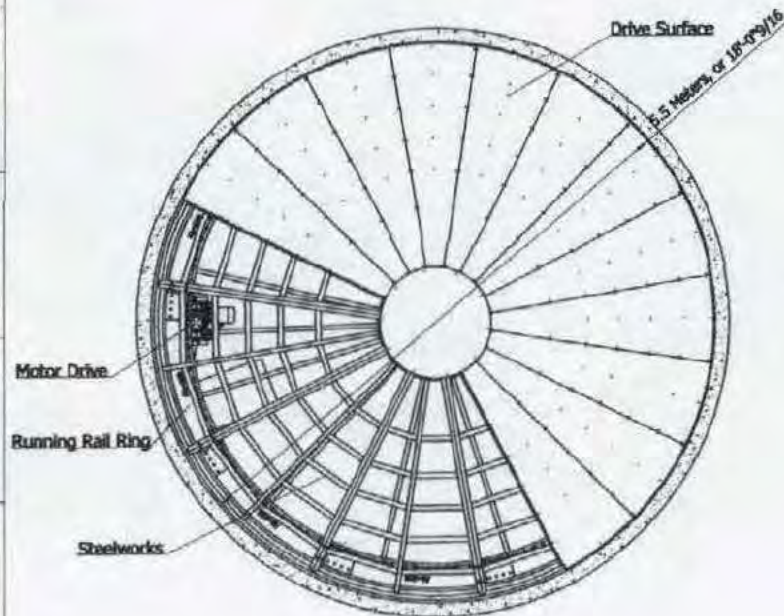
1. Excavate site to allow for the depth of your table, plus slab height. For example, if the table is 12" high and the slab is 4" thick, excavate to 16" below final finish grade.
2. Form a slab along with the completed turntable pit per supplied Carousel USA drawings. Set a 3/4" conduit at any point that's 5' from the center of the table, and ensure adequate drainage to daylight or sump. The preferred drainage uses a 4" wide trough drain, positioned in a radial fashion as per supplied drawings.
3. We typically see slabs 4" to 5" thick that must be reinforced with wire mesh or rebar. Pour slab and remove forming materials.
4. Clean up gap edges as necessary.
5. Carousel USA arrives and installs turntable. (Typically in 1 day).

Pros and Cons of this option:

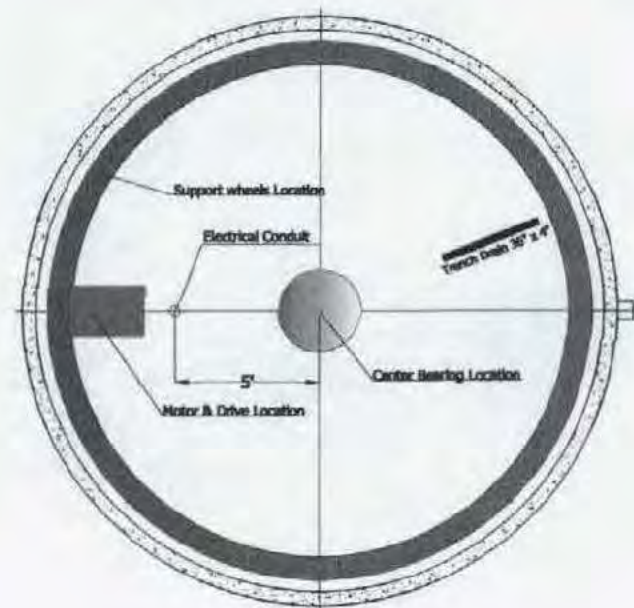
Pros: 1 Pour only, no "cold joint."

Cons: Labor intensive, possibility of forming errors, possible irregular gap.

9/21/07

[illegible]

1. Height: 12.25, $\pm \frac{1}{4}$ "
2. Capacity: 10,000 lbs, evenly distributed.
3. Rotation Speed: 0.2~1RPM (variable, forward and reverse).
4. Power required: 220-230V, 15 Amps, single-phase.
5. Motor: 1 H.P., 3 Phase, T.E.F.C.
6. All ferrous metals are coated with rust resistant paint, hot-dipped Zinc is optional
7. Top Surface: Aluminum is standard, other surfaces available.



1. Pit to be formed in concrete.
2. Base of pit to have flatness error of less than .50"
3. Error of circularity of outer diameter of pit to be less than .50"
4. Weight of the turntable is approximately 5500 lbs.
5. Dark shaded areas above bear the majority of loads.
6. Drainage: use 36" of *Zurn Z884* 4" wide trench drain or similar.

October 8, 2014

Re: Letter of Assurance for arborist supervision for 6289 Carnarvon St., Vancouver, B.C.

To whom it may concern,

Please accept this as confirmation that David Walsh, (Cert. Arborist (ISA) TRAQ) will provide site supervision for existing site or neighbouring property tree related activities during the construction process at 6289 Carnarvon St. in Vancouver.


The following site exam supervision stages are suggested;

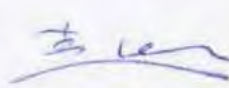
- pre-excavation with site manager to view protection fences and discuss excavation edge issues and root treatment near retained trees.
- after excavation edge examination near retained trees.
- interim inspection of excavation edge and protection fence integrity.
- post-construction inspection of restorative landscaping.

The building contractor will contact the arborist prior to each stage where appropriate and if any other tree related issues arise.



David Walsh, Cert. Arborist (ISA), TRAQ
903 Hummingbird Lane, Bowen Island, B.C., V0N 1G1, 604 947-2789

Signature of owner of 6289 Carnarvon St.: ZI CHUN ZHAO 

Signature of contractor: ZI CHUN ZHAO 



PRE-APPLICATION FOR ENGINEERING SERVICES

THE FOLLOWING INFORMATION IS REQUIRED FOR PROCESSING ENGINEERING REQUIREMENTS FOR YOUR BUILDING PERMIT APPLICATION

Site Information - Please Print Clearly

Existing Site Address: 6289 Carnarvon St.

Proposed Site Address: 6289 Carnarvon St.

Legal Information

P.I.D. # 024-551-171

Lot # 5

Block # N

District Lot # 221

Plan # LMP42692



Application Information - Please Print Clearly

Name: Michael Yin

Mailing Address: 120-11300 River Road RMD

Phone #: 778-297-7222

Fax #: VbX 185

E-mail: Yongfengenterprises@gmail.com

Owner Information - Please Print Clearly

Name: Dong, Sheng Yun

Mailing Address: 6289 Carnarvon St.

Phone #: 604-655-8283

Fax #:

E-mail:

Site / Application Details - Please check the appropriate box.

New - 1FD ☒

Duplex (2 F.D.) ☐

Is a Secondary Suite Proposed? Yes ☐ No ☒

Is this a Renovation Only? Yes ☐ No ☒

Contractor's Estimate of cost of work \$ 1.5 millions

Is this lot part of a recent subdivision? Yes ☐ No ☒

Sprinklers - NFPA: 13R or 13D (Circle applicable one)

Is there a related development application for this site? Yes ☒ No ☐ De #

Is the lot area greater than 1/2 acre (21,780 sq. ft.) Yes ☒ No ☐ What is the area of your site? 23,929 sq. ft.

Additional Site Information

- Does this site have an existing driveway (crossing) from the street? Yes ☒ No ☐
- If yes, are you keeping this driveway (crossing) for use in your new development? Yes ☐ No ☒
- Are you proposing a new driveway (crossing) from the street? Yes ☒ No ☐
- What is the legal width of the lane adjacent your site? (from your survey plan)
- Is the lane physically open for use? Yes ☐ No ☒
- If yes, what is the existing developed width of the lane?

Once you have completed this "Pre-application for Engineering Services", please submit it along with your legal survey plan to Engineering Sewers and Drainage Design office (see bullet # 2 on the attached information sheet) for determination of your sewer connection elevation. Upon receipt of your Sewer information please follow the "1 and 2 family dwelling, residential application process" instruction sheet for Building Permit Submission Requirements.

FILENAME: Final building permit application 20140506.pdf

R. Saml

CITY OF VANCOUVER

DATE ISSUED FEBRUARY 25, 2015		PERMIT TYPE DRAIN TILE PERMIT				PERMIT NUMBER P DT 421817	
LEGAL DESCRIPTION LOT S BLOCKS N AND O DISTRICT LOT 321 PLAN LMP42692					ADDRESS 6289 CARNARVON ST		
ADDITIONAL ADDRESS INFORMATION					SPECIFICS		
APPLICATION DATE JAN 23, 2015	PURPOSE CONSTRUCT	PROJECT VALUE	ASSESSED VALUE	PLANS 2	METRIC NO	PLACE NAME	
TEMPORARY PERMIT DATES		TEMPORARY USE DATES		SUBTYPE			
					CO-ORDINATE 056-758-59-0000		
APPLICANT DESIGN PROF ROBERT BILLARD ROBERT@BILLARDARCHITECTURE.CA 2009 9TH AVE NEW WESTMINSTER BC V3M 3G6			CONTACT 2 PROPERTY OWNER SHENG YUN DON 6289 CARNARVON ST VANCOUVER BC V6N 1K2		CONTACT 3 CONTRACTOR PRO DESIGN CO LTD 4411 WESTMENSTER HWY RICHMOND BC V7C 1B6		
TEL 604-518-0529 FAX	BUS LICENSE CERTIFICATE	TEL 604-655-8283 FAX	BUS LICENSE CERTIFICATE	TEL 604-723-8582 FAX	BUS LICENSE 645022 CERTIFICATE		
PROJECT DESCRIPTION: To install drain tile for this site.							
PERMIT CONDITIONS AND NOTES: 001 Drain tile shall be inspected prior to backfilling. Paved surfaces must be constructed to catch all storm water and direct it to the storm water sump as required in Plumbing By-law #5964.							
GENERAL USE D30 ONE-FAM DWELLING		SPECIFICS/LOCATION 6289 CARNARVON ST		AREA (SF) 8831.0		OCC C	
RELATED PERMITS: DB446666 CONSTRUCT							
APPROVALS REQD BEFORE PERMIT IS COMPLETED INCLUDE : P113 PLUMBING/GAS INSP S.BALACHANOFF 604-873-7951							
PROCESSED BY: PC1 REVIEW BY K HSIEH							
ADDITIONAL NOTES: 915 To book an inspection call 3-1-1 from within Vancouver or 604-873-7000 from outside Vancouver. The 3-1-1 Centre is open 7 days a week from 7AM to 10PM, 365 days a year. Also, our 24 hour Plumbing Inspections booking request message line is 604-873-7061. For information on how to use it, please contact the 3-1-1 Centre.							
AS OWNER OR OWNERS' AGENT, I HAVE VERIFIED THAT THE INFORMATION CONTAINED WITHIN THIS DOCUMENT AND ASSOCIATED DOCUMENTS AND PLANS IS CORRECT, AND DESCRIBES A USE, A BUILDING OR A WORK WHICH COMPLIES WITH ALL RELEVANT BY-LAWS AND STATUTES. I ACKNOWLEDGE THAT RESPONSIBILITY FOR BY-LAW COMPLIANCE RESTS WITH THE OWNER AND THE OWNER'S EMPLOYEES, AGENTS AND CONTRACTORS. I WILL INDEMNIFY AND SAVE HARMLESS THE CITY OF VANCOUVER, ITS OFFICIALS, EMPLOYEES AND AGENTS AGAINST ALL CLAIMS, LIABILITIES AND EXPENSES OF EVERY KIND, IN RESPECT OF ANYTHING DONE OR NOT DONE PURSUANT TO THIS APPLICATION OR FACT SHEET OR ENSUING PERMIT, INCLUDING NEGLIGENCE AND/OR THE FAILURE TO OBSERVE ALL BY-LAWS, ACTS OR REGULATIONS.							
FEE REFER TO DB446666		AMOUNT		FEE		AMOUNT	
				SIGNED BY		ROBERT BILLARD	
				DATE		SEE INFORMATION SHEET	
				ISSUED BY		K HSIEH	
				FOR THE		CHIEF BUILDING OFFICIAL	
INVOICE :		TOTAL				\$0.00	

SCHEDULE B-1

Forming Part of Subsection 2.2.7, Div. C of the
Vancouver Building By-law

DB 446666C

Building Permit No. ¹

**ASSURANCE OF PROFESSIONAL DESIGN AND
COMMITMENT FOR FIELD REVIEW**

- Notes: (i) This letter must be submitted along with Schedule B-2 before issuance of a *building permit*. A separate letter must be submitted by each *registered professional*.
(ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
(iii) In this letter the words in italics have the same meaning as in the Vancouver Building By-law.

To: *The Chief Building Official*

THE CITY OF VANCOUVER

Re: SINGLE FAMILY HOUSE

Name of Project (Print)

6289 CARNARVON STREET, VANCOUVER, BC

Address of Project (Print)

Legal Description of Project (Print)

The undersigned hereby gives assurance that the design of the
(Initial those of the items listed below that apply to this *registered professional*.
All the disciplines will not necessarily be employed on every project.)

☒ ARCHITECTURAL
☒ STRUCTURAL
☐ MECHANICAL
☐ PLUMBING
☐ FIRE SUPPRESSION SYSTEMS
☐ ELECTRICAL
☒ GEOTECHNICAL — temporary
☒ GEOTECHNICAL — permanent



(Professional's Seal and Signature)

06/16/2014

Date

components of the plans and supporting documents prepared by this *registered professional* in support of the application for the *building permit* as outlined on the attached Schedule B-2 substantially comply with the Vancouver Building By-law and other applicable enactments respecting safety except for *construction safety* aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during *construction* as indicated on the attached "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" (SCHEDULE B-2).

CRP's Initials

¹ For Building Official's use only

VANCOUVER BUILDING BY-LAW 2007

Schedule B-1 - Continued

DB446666
Building Permit No. *

6289 CARNARVON STREET, VANCOUVER, BC

Project Address

STRUCTURAL ONLYL

Discipline

The undersigned also undertakes to notify the *Chief Building Official* in writing as soon as possible if the undersigned's contract for *field review* is terminated at any time during *construction*.

I certify that I am a *registered professional* as defined in the Vancouver Building By-law.

DR. ZHANCHAO ZHAO P.Eng.

Registered Professional's Name (Print)

14839 95 AVENUE

Address (Print)

SURREY, BC. V3R 7W4

(604) 582-1305

Phone No.



(Professional's Seal and Signature)

06/16/2014

Date

(If the *Registered Professional* is a member of a firm, complete the following.)

I am a member of the firm ZHAO ENGINEERING LTD.

and I sign this letter on behalf of the firm

(Print name of firm)

Note: The above letter must be signed by a *registered professional*. The Vancouver Building By-law defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

* For Building Official's use only

CRP's Initials

SCHEDULE B-2

Forming Part of Subsection 2.2.7, Division C of the
Vancouver Building By-law

DB446666

Building Permit No. *

SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS

- Notes: (i) This letter must be submitted along with Schedule B-1 before issuance of a *building permit*.
(ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
(iii) In this letter the words in *italics* have the same meaning as in the Vancouver Building By-law.

Registered Professional's Name (Print) DR. ZHANCHAO ZHAO P.Eng.Name of Project (Print) SINGLE FAMILY HOUSEAddress of Project (Print) 6289 CARNARVON STREET, VANCOUVER, BC

(Initial applicable discipline below and cross out and initial only those items not applicable to the project.)

ARCHITECTURAL

- 1.1 Fire resisting assemblies
- 1.2 *Fire separations* and their continuity
- 1.3 *Closures*, including tightness and operation
- 1.4 Egress systems, including *access to exit* within *suites* and *floor areas*
- 1.5 Performance and physical safety features (guardrails, handrails, etc.)
- 1.6 Structural capacity of architectural components, including anchorage and seismic restraint
- 1.7 Sound control
- 1.8 Landscaping, screening and site grading
- 1.9 Provisions for fire fighting access
- 1.10 Access requirements for *persons with disabilities*
- 1.11 Elevating devices
- 1.12 Functional testing of architecturally related fire emergency systems and devices
- 1.13 Development Permit and conditions therein
- 1.14 Interior signage, including acceptable materials, dimensions and locations
- 1.15 Review of all applicable shop drawings
- 1.16 Interior and exterior finishes
- 1.17 Dampproofing and/or waterproofing of walls and slabs below grade
- 1.18 Roofing and flashings
- 1.19 Wall cladding systems
- 1.20 Thermal insulation systems, including condensation control and cavity ventilation
- 1.21 Exterior glazing
- 1.22 Integration of building envelope components
- 1.23 Environmental separation requirements (Part 5)



(Professional's Seal and Signature)

06/16/2014

Date

STRUCTURAL

- 2.1 Structural capacity of structural components of the *building*, including anchorage and seismic restraint
- 2.2 ~~Structural aspects of deep foundations~~
- 2.3 Review of all applicable shop drawings
- 2.4 ~~Structural aspects of unbonded post-tensioned concrete design and construction~~
- 2.5 Verification of the satisfactory completion of an in-house check of the structural design
- 2.6 Verification of the satisfactory completion of an independent Concept Review, including a general overview of the design calculations

MECHANICAL

- 3.1 HVAC systems and devices, including high *building* requirements where applicable
- 3.2 *Fire dampers* at required *fire separations*
- 3.3 Continuity of *fire separations* at HVAC penetrations
- 3.4 Functional testing of mechanically related fire emergency systems and devices
- 3.5 Maintenance manuals for mechanical systems
- 3.6 Structural capacity of mechanical components, including anchorage and seismic restraint
- 3.7 Review of all applicable shop drawings

* For Building Official's use only

VANCOUVER BUILDING BY-LAW 2007

Schedule B-2 - Continued

DB 446666

Building Permit No.

Address of Project (Print) 6289 CARNARVON STREET, VANCOUVER

Registered Professional's Name (Print) DR. ZHANCHAO ZHAO P.Eng.

PLUMBING

- 4.1 Roof drainage systems
- 4.2 Site and foundation drainage systems
- 4.3 Plumbing systems and devices
- 4.4 Continuity of fire separations at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for plumbing systems
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings

FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of occupancy
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Functional testing of fire suppression systems and devices

ELECTRICAL

- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of fire separations at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from buildings of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings

GEOTECHNICAL — Temporary

- 7.1 Excavation
- 7.2 Shoring
- 7.3 Underpinning
- 7.4 Temporary construction dewatering

GEOTECHNICAL — Permanent

- 8.1 Bearing capacity of the soil
- 8.2 Geotechnical aspects of deep foundations
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of soil, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning



(Professional's Seal and Signature)

06/16/2014

Date

CRP's Initials

* For Building Official's use only

APPLICATION - Outright Development/Building Permit
1 & 2 Family Dwellings, New Construction or
Additions and Renovations to Existing Homes

DB446666
DB4466670 (DENG)

FOR OFFICE USE ONLY		Date: <u>OCT 9/14</u>
Plan Checker: <u>KATUNA</u>		Start: <u>JUNE 24/14</u>
Comments:		CRT:
		Application Reviewed by: <u>KYLE</u>

COMPLETE AND ACCURATE APPLICATIONS WILL GREATLY REDUCE THE PROCESSING TIME. PLEASE TYPE or PRINT CLEARLY.

THIS APPLICATION CONCERNS: <input checked="" type="checkbox"/> ONE FAMILY DWELLING <input type="checkbox"/> TWO FAMILY DWELLING <input type="checkbox"/> FAMILY OR SECONDARY SUITE	
EXISTING PROPERTY ADDRESS(ES): <u>6289 CARNARVON STREET</u>	LOT SIZE: <u>23.979 CG FT</u>
NEW ADDRESS(ES) REQUESTED: <u>SAME</u>	TAX COORDINATE #:
LEGAL DESCRIPTION: LOT <u>5</u> SUBDIVISION <u>N 8 0</u> BLOCK <u>321</u> DISTRICT LOT <u>NEW WEST</u> PLAN <u>UMP 42 692</u>	

PLEASE READ CAREFULLY AND FILL OUT ACCURATELY

Is the owner aware of this application? ☒ Yes ☐ No

Is there a related development permit? ☐ Yes, DP # ☒ No

Is there a Board of Variance appeal involved? ☐ Yes, Appeal # Z ☒ No

Is there a minor amendment to a development permit? ☐ Yes, DP # ☒ No

Does this site have an existing driveway from a street? ☒ Yes ☐ No

If yes, are you retaining this driveway for the new development? ☒ Yes ☐ No

Are you proposing a new driveway from the street? ☐ Yes ☒ No

Is the lane adjoining this site 15 ft. wide or less? ☐ Yes ☐ No

Width of lane(s) adjoining your property is / are: _____

Is the lane adjoining this site physically opened for use? ☐ Yes ☐ No

Is this lot registered in Land Titles? ☒ Yes ☐ No

Is this a new subdivision? ☐ Yes ☐ No

Applicant's Name: <u>ROBERT G. BILLARD</u>	Business Name: <u>BILLARD ARCHITECTURE</u>
Address: <u>2009 9th AVE NEW WEST</u>	City: <u>NEW WEST</u> Postal Code: <u>V3M 3G6</u>
Telephone: (Bus.) <u>604 619 0519</u> (Home): _____	Business Licence Account # <u>128285</u>

Applicant is:	01 <input type="checkbox"/> Owner	05 <input type="checkbox"/> Tenant	09 <input type="checkbox"/> Non-Profit Organization (N.P.O.# _____)
	02 <input type="checkbox"/> Contractor	06 <input type="checkbox"/> Agent for Owner	10 <input type="checkbox"/> Civic Department
	03 <input checked="" type="checkbox"/> Certified Professional	07 <input type="checkbox"/> Agent for Tenant	12 <input type="checkbox"/> Coordinating Professional
	04 <input type="checkbox"/> Design Professional	08 <input type="checkbox"/> Consultant	98 <input type="checkbox"/> Other _____

Property Owner's Name: <u>DONG, SHENG YUN</u>	Contact Person: _____
Address: <u>6289 CARNARVON ST.</u>	City: <u>VANCOUVER</u> Postal Code: <u>V6N 1K2</u>
Telephone: (Bus.) <u>604-655 8283</u> (Home): _____	Business Licence Account # _____

Constructor's / Contractor's Name: <u>Pro Design Co. Ltd. (Helen Bai)</u>
Address: <u>4411 Westminister Hwy</u> City: <u>Richmond</u> Postal Code: <u>B4V 7K1 B6</u>
Telephone: (Bus.) <u>604 723 8599</u> Business Licence Account # <u>15-109165</u>

Demolition Contractor's Name / Additional Contact is: <u>Hayer Demolition Ltd.</u>
Address: <u>6213 126B ST</u> City: <u>Surrey</u> Postal Code: <u>V3X 3N4</u>
Telephone: (Bus.) <u>604-571 4320</u> (Home): <u>604-3318</u> Business Licence Account # <u>145734</u>

(Note: The Demolition Contractor will be informed that his/her name has been listed on the permit.)

Description of Proposed Work:	Invoice #:	Est. Cost of Work:
Check Applicable:		
<input checked="" type="checkbox"/> Demolition	<input type="checkbox"/> Alterations - Interior	<input type="checkbox"/> Raise Building
<input checked="" type="checkbox"/> Construct New Building	<input type="checkbox"/> Alterations - Exterior	<input type="checkbox"/> Additions
	<input type="checkbox"/> Conversion	<input type="checkbox"/> Fire Repairs
	<input type="checkbox"/> Swimming Pool	<input type="checkbox"/> Construct a New Accessory Building
Describe in your own words the nature and location of work and any relaxations you are requesting: <u>DEMOLISH AND CONSTRUCT NEW SINGLE FAMILY RESIDENCE</u>		

Will any of the following trade work be done?
<input checked="" type="checkbox"/> Drain Tile <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Plumbing Piping or Fixtures <input checked="" type="checkbox"/> Sprinkler System <input checked="" type="checkbox"/> Gas Lines or Appliances <input type="checkbox"/> Air Conditioning Unit
Living Accommodation: Is this an existing residential 'rental' building? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
EXISTING: Dwelling Units _____ Housekeeping Units _____ Sleeping Units _____ PROPOSED: Dwelling Units _____

"As owner or owner's agent, I have verified that the information contained within this document and associated applications and plans is correct, and describes a use, a building or a work which complies with all relevant by-laws and statutes. I acknowledge that responsibility for by-law compliance rests with the owner and the owner's employees, agents and contractors. I will indemnify and save harmless the City of Vancouver, its officials, employees and agents against all claims, liabilities and expenses of every kind, in respect to anything done or not done pursuant to this application or fact sheet or ensuing permit, including negligence and/or the failure to observe all by-laws, acts or regulations."

THIS 19 DAY OF JUNE, 2014

SIGNATURE OF APPLICANT: [Signature]

FOR OFFICE USE ONLY

Assigned Application Number: _____

Estimated Cost of Work as per Marshall Evaluation: \$ _____

Verified by: _____

Date: _____

Patio Slab Elev.: _____

Basement Slab Elev. or 1st Floor Elev.: _____

Garage Elev.: _____

Width: _____

**For Engineering Clearances, Please Visit the Client Service Centre
on the Ground Floor of the Main Building.**

The Applicant is responsible for obtaining Engineering clearances <u>before</u> issuance of a combined Development/Building Permit. The following approvals MAY be required.	Engineering Department Review	
	Comments	Engineering Clearances by (initials)
Street Use Permit		
Damage Deposit		
Sewer Connection Fees*		
Water Connection Fees		
Crossing (driveway)		
Street Tree Location/Removal**		
Utility Locations (including outside utility companies)		

* A sewer connection may be required for any of the following work:

- new building
- new foundation
- extensive renovation / additions - please refer to Plumbing By-law No. 5964, Section 8.19 (latest amendments) and refer to the Sewer Department for verification of the sewer connection requirements.

** Driveway relocation or redesign will be pursued in lieu of any tree removal.

Notes:

1. Applicant must be prepared to pay all prescribed fees at time of application, i.e., Building, Development, Temporary Crossing Permits and Sewer Connections.
2. Contractors must have a business licence to do work in the City of Vancouver.
3. When Building Grades are required, submit the building grade drawings with the application (obtained from the Engineering Department).
4. All plan approval is final. Any change to plans or permit is subject to a fee for processing.

FEES

INVOICE NUMBER _____ AMOUNT \$ _____

* Please note that if you are attending the Engineering Department after 4:00 p.m., you may not be able to complete processing until the following working day.

Katigbak, Veronica

From: Ryan, Pat (PDS)
Sent: Tuesday, August 09, 2016 8:56 PM
To: Chen, Tony; Westerman, Denise; Schwebs, Saul
Cc: Lam, Matthew; DOMINO (CITYVAN)
Subject: Re: 6289 Carnarvon St - spatial re-check please

s.13(1)

Saul has drawings.

Pat

Pat

Patrick Ryan, M.Sc, P.Eng
Chief Building Official
Director, Building
Development Services, Building and Licenses
City of Vancouver

Sent via BlackBerry

From: Chen, Tony
Sent: Tuesday, August 9, 2016 3:51 PM
To: Westerman, Denise; Schwebs, Saul
Cc: Lam, Matthew; Ryan, Pat (PDS); DOMINO (CITYVAN)
Subject: RE: 6289 Carnarvon St - spatial re-check please

Hi Denise, PCs have been instructed to do spatial on all three sides and even the lane side if they find too many UPOs on that side too. This project was done in 2015 and was before my time when I started asking for it. But all the PCs now know to calculate it.

It will be up to Pat Ryan on how he wants to deal with this issue as the CBO. We can pull the drawings to confirm.

Tony Chen
Housing Review Branch
Planning and Development Services
CITY OF VANCOUVER
604 873-7783
tony.chen@vancouver.ca

From: Westerman, Denise
Sent: Tuesday, August 09, 2016 2:56 PM
To: Schwebs, Saul; Chen, Tony
Cc: Lam, Matthew; Ryan, Pat (PDS); DOMINO (CITYVAN)
Subject: 6289 Carnarvon St - spatial re-check please

Hi Saul,

Please have one of your PC to check over spatial (both side yards) for this DB permit, the spatial allowed for approx. 3.5 M Limiting Distance is about 25 to 30% UPO in a sprinklered building.

Spatial Separation calculation check box was NOT filled in on the yellow permit check sheet on DOMINO.

I believe we saw more than 50 % UPO on the permit drawings....

Please follow up with Pat on this issue S.22(1). We may have to notify the registered Architect if there is problem with his drawings.

Thanks for following up !

Denise

CITY OF VANCOUVER

DATE ISSUED FEBRUARY 25, 2015		PERMIT TYPE TREE REMOVAL/REPLACEMENT PERMIT				PERMIT NUMBER P TR 429731	
LEGAL DESCRIPTION LOT S BLOCKS N AND O DISTRICT LOT 321 PLAN LMP42692					ADDRESS 6289 CARNARVON ST		
ADDITIONAL ADDRESS INFORMATION					SPECIFICS		
APPLICATION DATE JAN 13, 2015	PURPOSE TREE DEVEL	PROJECT VALUE	ASSESSED VALUE	PLANS	METRIC NO	PLACE NAME	
TEMPORARY PERMIT DATES		TEMPORARY USE DATES				SUBTYPE	
APPLICANT DESIGN PROF ROBERT BILLARD ROBERT@BILLARDARCHITECTURE.CA 2009 9TH AVE NEW WESTMINSTER BC V3M 3G6					CONTACT 2 PROPERTY OWNER SHENG YUN DON 6289 CARNARVON ST VANCOUVER BC V6N 1K2		
CONTACT 3 CONTRACTOR YONGFENG ENTERPRISES LTD. MICHAEL YIN UNIT 120-11300 RIVER RD RICHMOND BC V6X 1Z5					CO-ORDINATE 056-758-59-0000		
TEL 604-618-0529	BUS.LICENSE CERTIFICATE	TEL 604-655-8283	BUS.LICENSE CERTIFICATE	TEL 778-988-4658	BUS.LICENSE 526035 CERTIFICATE		

PURSUANT TO THE PROTECTION OF TREES BY-LAW, THE FOLLOWING WORK IS HEREBY AUTHORIZED:

The removal of two trees within the building envelope. The retention of fifteen site trees, one co-owned tree and two neighbor trees. One replacement tree required.

PERMIT CONDITIONS AND NOTES:

- 003 Tree removal to be completed in conjunction with approved construction. Required replacement trees shall be planted and in place prior to building occupancy. If a replacement tree fails or is removed, another tree must be planted in accordance with Schedule D, Protection of Trees By-law Number 9958.
- A replacement tree must be planted at least
- (a) 1 m away from a side property line, an accessory building and any other structure or thing likely to be affected by the tree.
 - (b) 1.5 m away from a principle building, and
 - (c) 2.5 m away from another tree.
- 006 AN ISA CERTIFIED ARBORIST MUST ATTEND ANY EXCAVATION WITHIN 1M OF THE TREE PROTECTION ZONE.
- 009 No person shall commence construction on a site where a tree protection barrier is required unless and until the barrier has been installed (and maintained) in compliance with Section 7, of the Protection of Trees By-Law #9958.
- Where a tree protection barrier has been erected around a retained tree or a replacement tree, no person shall:
- (a) undermine or in any other way damage the roots and canopy of a tree located within the barrier, or
 - (b) remove soil from within the barrier or otherwise alter the existing grade of the land within the barrier or under a tree dripline.
- No tree protection barrier shall be removed or altered until demolition and construction have been completed.
- 011 IN ACCORDANCE WITH SECTION 4.8 OF THE PROTECTION OF TREES BY-LAW #9958, THIS PERMIT SHALL BE CLEARLY POSTED ON SITE DURING THE TREE REMOVAL. FAILURE TO DO SO CONSTITUTES A VIOLATION OF THE BY-LAW, AND MAY BE REFERRED TO THE CITY PROSECUTOR FOR FURTHER ENFORCEMENT ACTION.

GENERAL USE	SPECIFICS/LOCATION	AREA (SF)	OCC	GENERAL USE	SPECIFICS/LOCATION	AREA (SF)	OCC
D30 ONE-FAM DWELLING			C				
ITEM	SPECIFICS/REFERENCE	QTY/AMT		ITEM	SPECIFICS/REFERENCE	QTY/AMT	
0080 ZONE	Z009 RS-5			0230 REMOVAL TREE SIZE	010 40-59CM (16"-23")	1	
0188 TREES REMOVED DEV	0001 TREE W/IN BLDG ENV	2		0230 REMOVAL TREE SIZE	015 60CM & UP (24"&UP)	1	
0192 REPLACE TREES DEV		1					

RELATED PERMITS: DB446666 CONSTRUCT 6289 CARNARVON ST

APPROVALS REQD BEFORE PERMIT IS COMPLETED INCLUDE: B110 BUILDING INSPECTN SAUL SCHNEBS 604-873-7040

CONTACT 4: INVOICE REFERENCE MR. CHUN ZHAO VANCOUVER BC TEL: FAX: BUSLIC: CER:

AS OWNER OR OWNERS' AGENT, I HAVE VERIFIED THAT THE INFORMATION CONTAINED WITHIN THIS DOCUMENT AND ASSOCIATED DOCUMENTS AND PLANS IS CORRECT, AND DESCRIBES A USE, A BUILDING OR A WORK WHICH COMPLIES WITH ALL RELEVANT BY-LAWS AND STATUTES. I ACKNOWLEDGE THAT RESPONSIBILITY FOR BY-LAW COMPLIANCE RESTS WITH THE OWNER AND THE OWNER'S EMPLOYEES, AGENTS AND CONTRACTORS. I WILL INDEMNIFY AND SAVE HARMLESS THE CITY OF VANCOUVER, ITS OFFICIALS, EMPLOYEES AND AGENTS AGAINST ALL CLAIMS, LIABILITIES AND EXPENSES OF EVERY KIND, IN RESPECT OF ANYTHING DONE OR NOT DONE PURSUANT TO THIS APPLICATION OR FACT SHEET OR ENSUING PERMIT, INCLUDING NEGLIGENCE AND/OR THE FAILURE TO OBSERVE ALL BY-LAWS, ACTS OR REGULATIONS.

FEE	AMOUNT	FEE	AMOUNT	SIGNED BY	ROBERT BILLARD
761 MULTI TREE REMOVAL	251.00			DATE	SEE APPLICATION
				ISSUED BY	K HSIEH
				FOR THE	DIRECTOR OF PLANNING & DEV
INVOICE: 775694		TOTAL		\$251.00	

DATE ISSUED OCTOBER 25, 2013		PERMIT TYPE DEVELOPMENT AND BUILDING PERMIT				PERMIT NUMBER P DB 444043	
LEGAL DESCRIPTION LOT S BLOCKS N & O DISTRICT LOT 321 PLAN LMP42692					ADDRESS 6289 CARNARVON ST		
ADDITIONAL ADDRESS INFORMATION					SPECIFICS		
APPLICATION DATE SEP 23, 2013	PURPOSE ADD/ALTER	PROJECT VALUE \$1,000,000	ASSESSED VALUE \$1,563,000	PLANS 2	METRIC NO	PLACE NAME	
TEMPORARY BUILDING DATES		TEMPORARY USE DATES		SUBTYPE FIELD REVIEW			
APPLICANT AGENT FOR OWNER BRAD WONG 9200 GENERAL CURRIE ROAD RICHMOND BC V6Y 1M6				CONTACT 2 PROPERTY OWNER JIN FANG LI 6289 CARNARVON ST VANCOUVER BC		CONTACT 3 CONTRACTOR DAVIDSON WALKER CONSTRUCTION 1686 W 75TH VANCOUVER BC V5Z 2X8	
TEL 604-783-1688	BUS LICENSE CERTIFICATE	TEL 778-868-6799	BUS LICENSE CERTIFICATE	TEL 604-877-1284	BUS LICENSE 219675 CERTIFICATE		

THIS BUILDING AND DEVELOPMENT PERMIT WHICH INCLUDES THE PLANS MARKED AS FORMING PART THEREOF IS FOR THE FOLLOWING ONLY:

Exterior (new guardrails, removing door to deck and replace with fixed glazing and add secured locked gate to exterior roof) and interior alterations to all floors of this existing nonconforming two storey plus basement one family dwelling on this site.

Schedule A to be submitted to District Building inspector on site.

Okay to relax existing side yard previously approved at the Board of Variance to 0' per S. Chang, September 19/13

Relocate bar sink to entertainment room in basement

Approved for permit per L. Williams, October 24, 2013.

ENTIRE BUILDING TO BE SPRINKLERED TO NFPA 13-D REQUIREMENTS.

SEPARATE BUILDING PERMIT IS REQUIRED FOR ANY BUILDING ENVELOPE REPAIR.

Please provide two sets of revised drawings to my attention with the following information:

1. Add guardrails around all accessible roof decks. Guardrails are to be constructed so that they meet the requirements of Section 9.8 and appendixes of the Vancouver Building By-law. If you choose not to add guardrails, then both accesses to the roof deck will need to be removed and exterior finishes to be made good. Guardrails should be of glass construction so as not to impede any possible views.
2. Add note to floor plans that all glass guardrails meet the requirements of the Vancouver Building Bylaw. Guardrails will need to be structurally engineered.
3. Provide a 3'0" handrail on the inside of the spiral stairs.
4. Complaint guardrails/handrails are to be located on all exterior stairs at the rear, at the reflecting pool and the planters as per your conversation with Mr. Williams, the district building inspector. If you would like a copy of where the guards need to go I have a reduced site plan that has been marked up.
5. Solid core with self closure door is required between the garage and the house.
6. New skylight as proposed on page A204 (roof plan) is required to be

(CONTINUED)

COMMENTS:

FEE	AMOUNT	FEE	AMOUNT	DEPARTMENT	BUILDING INSP
104 DEV SCHED 1A(A)	406.00			ATTENTION	BUILDING INSPECTOR
300 BUILDING FEE	4,331.00			REASON	PERMIT INSPECTION
				GROUP	60 : BUILDING INSPECTN
				DISTRICT	10 : L. WILLIAMS 7037
INVOICE : 729730		TOTAL		\$4,737.00	

DATE ISSUED OCTOBER 25, 2013		PERMIT TYPE DEVELOPMENT AND BUILDING PERMIT				PERMIT NUMBER P DB 444043	
LEGAL DESCRIPTION LOT S BLOCKS N & O DISTRICT LOT 321 PLAN LMP42692						ADDRESS 6289 CARNARVON ST	
ADDITIONAL ADDRESS INFORMATION						SPECIFICS	
APPLICATION DATE SEP 23, 2013	PURPOSE ADD/ALTER	PROJECT VALUE \$1,000,000	ASSESSED VALUE \$1,563,000	PLANS 2	METRIC NO	PLACE NAME	
TEMPORARY BUILDING DATES		TEMPORARY USE DATES		SUBTYPE FIELD REVIEW			
APPLICANT AGENT FOR OWNER BRAD WONG 9200 GENERAL CURRIE ROAD RICHMOND BC V6Y 1M6		CONTACT 2 PROPERTY OWNER JIN FANG LI 6289 CARNARVON ST VANCOUVER BC		CONTACT 3 CONTRACTOR DAVIDSON WALKER CONSTRUCTION 1686 W 75TH VANCOUVER BC V5Z 2X8			
TEL 604-783-1688	BUS LICENSE CERTIFICATE	TEL 778-868-6799	BUS LICENSE CERTIFICATE	TEL 604-877-1284	BUS LICENSE 219675 CERTIFICATE		

THIS BUILDING AND DEVELOPMENT PERMIT WHICH INCLUDES THE PLANS MARKED AS FORMING PART THEREOF IS FOR THE FOLLOWING ONLY: (CONT'

engineered. Structural drawings and letters of assurance from the structural engineer are required.
7. Letters of assurance (architectural) for the architect are required.

Please note that if you are proposing on doing any envelope repair, a separate building permit will be required. SD/lw

AND IS SUBJECT TO THE FOLLOWING CONDITIONS AND NOTES:

- 490 Separate building permit is required for building envelope repair.
560 This permit is issued without the benefit of a full plan check, on the condition that the work will meet the approval of the District Building Inspector, DO NOT START WORK UNTIL SUCH APPROVAL IS GRANTED. Contact the Inspections Branch at 604-873-7601 for inspection.
566 One set of approved up-to-date drawings being available for viewing at the jobsite.
590 Building to be sprinklered to NFPA 13D requirements.
591 All work to the satisfaction of the District Building Inspector.
910 Construction must be carried out in compliance with the provisions of Noise Control By-law No. 6555.
90 Subject to:
1. Glass guardrails to meet the requirements of the VBBL Section 9.8.8.
 2. 3'-0" handrail required on the inside of the existing circular stairs.
 3. Structural engineer and letters of assurance required for new skylight
 4. Remove door at top of circular stairs and replace with window. Locked gate to be provided at top of exterior stairs as noted on drawings.

INSPECTION	DATE	INSPECTOR	INSPECTION	DATE	INSPECTOR	INSPECTION	DATE	INSPECTOR
B02 STRUCT FRAMING			B11 FORMS			771 REQUEST FOR INFO		
B03 POLY UNDER SLAB			B12 YARDS					
B04 INSUL/VAP BARR			B13 FIELD PLANCHCK					
B07 INTERIOR LAYOUT			B24 RAIN SCREEN					
B10 FOOTINGS			770 GIVE INFO / ADVICE			990 FINAL INSPECTION		
PERMITTED USE D30 ONE-FAM DWELLING	SPECIFICS/LOCATION		AREA (SF)	OCC C	PERMITTED USE	SPECIFICS/LOCATION		AREA (SF) OCC
ITEM 0036 LOT TYPE	SPECIFICS/REFERENCE		QTY/AMT		ITEM 0126 FLOOR AREA	SPECIFICS/REFERENCE ABOVE GRADE		QTY/AMT
	01 INSIDE/LANE							

(CONTINUED)

COMMENTS:

FEE	AMOUNT	FEE	AMOUNT	DEPARTMENT	BUILDING INSP
104 DEV SCHED 1A(A)	406.00			ATTENTION	BUILDING INSPECTOR
300 BUILDING FEE	4,331.00			REASON	PERMIT INSPECTION
				GROUP	60 : BUILDING INSPECTN
				DISTRICT	10 : L. WILLIAMS 7037
INVOICE: 729730		TOTAL			
		\$4,737.00			

DATE ISSUED OCTOBER 25, 2013		PERMIT TYPE DEVELOPMENT AND BUILDING PERMIT				PERMIT NUMBER P DB 444043	
LEGAL DESCRIPTION LOT S BLOCKS N & O DISTRICT LOT 321 PLAN LMP42692					ADDRESS 6289 CARNARVON ST		
ADDITIONAL ADDRESS INFORMATION					SPECIFICS		
APPLICATION DATE SEP 23, 2013	PURPOSE ADD/ALTER	PROJECT VALUE \$1,000,000	ASSESSED VALUE \$1,563,000	PLANS 2	METRIC NO	PLACE NAME	
TEMPORARY BUILDING DATES		TEMPORARY USE DATES		SUBTYPE FIELD REVIEW			
APPLICANT AGENT FOR OWNER BRAD WONG 9200 GENERAL CURRIE ROAD RICHMOND BC V6Y 1M6				CONTACT 2 PROPERTY OWNER JIN FANG LI 6289 CARNARVON ST VANCOUVER BC		CONTACT 3 CONTRACTOR DAVIDSON WALKER CONSTRUCTION 1686 W 75TH VANCOUVER BC V5Z 2X8	
TEL 604-783-1688 FAX	BUS.LICENSE CERTIFICATE	TEL 778-868-6799 FAX	BUS.LICENSE CERTIFICATE	TEL 604-877-1284 TEL 604-328-3522	BUS.LICENSE 219675 CERTIFICATE		
ITEM		SPECIFICS/REFERENCE		QTY/AMT		ITEM	
0037 LOT WIDTH		IRREGULAR				0126 FLOOR AREA	
0038 LOT DEPTH		IRREGULAR				BASEMENT 2575.0 SF	
0040 PROCESSED THROUGH		28 ENQ CTR -FLD RV				0126 FLOOR AREA	
0041 BY-LAW PROVISION		C CONDITIONAL				MAIN 5687.0 SF	
0080 ZONE		Z009 RS-5				0126 FLOOR AREA	
						SECOND 3045.0 SF	
						0375 HPO EXEMPTIONS	
						35 ALT/REPAIR-RES BLD	
PERMITS REQD IN ADDITION TO THIS PERMIT INCLUDE :				ELECTRICAL			
				PLUMBING			
DOCUMENTS REQD BEFORE PERMIT IS COMPLETED INCLUDE :				SPRINKLER			
APPROVALS REQD BEFORE PERMIT IS COMPLETED INCLUDE :				OWNER COMMITMENT			
				P113 SEWER INSPECTION STEVE BRATINA 604-873-7840			
				B110 BUILDING INSPECTN L. WILLIAMS 604-873-7037			
PROCESSED BY: APPLICATION TAKEN BY S DUGARO. PERMIT AUTHORIZED BY L WILLIAMS PERMIT ISSUED BY R MCCARTHY.				APPLICATION TYPED BY L KING APPLICATION REVIEWED BY S DUGARO			
ADDITIONAL NOTES: 510 For information on Appeals, see Section 573 of the Vancouver Charter, The Board of Variance By-Law, and Section 11.1 of the Building By-Law. 915 To book an inspection call 3-1-1 from within Vancouver or 604-873-7000 from outside Vancouver. The 3-1-1 Centre is open 7 days a week from 7AM to 10PM, 365 days a year. Also, our 24 hour Building Inspections booking request message line is 604-873-7058. For information on how to use it, please contact the 3-1-1 Centre.							
COMMENTS :							
FEE		AMOUNT		FEE		AMOUNT	
104 DEV SCHED 1A(A)		406.00				DEPARTMENT BUILDING INSP	
300 BUILDING FEE		4,331.00				ATTENTION BUILDING INSPECTOR	
						REASON PERMIT INSPECTION	
						GROUP 60 : BUILDING INSPECTN	
INVOICE : 729730				TOTAL \$4,737.00		DISTRICT 10 : L. WILLIAMS 7037	

P5D202.01

SCHEDULE B-1

Forming Part of Subsection 2.2.7, Div. C of the
Vancouver Building By-law

DB446666

Building Permit No. 1

ASSURANCE OF PROFESSIONAL DESIGN AND
COMMITMENT FOR FIELD REVIEW

- Notes: (i) This letter must be submitted along with Schedule B-2 before issuance of a *building permit*. A separate letter must be submitted by each *registered professional*.
- (ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
- (iii) In this letter the words in *italics* have the same meaning as in the Vancouver Building By-law.

To: *The Chief Building Official*

THE CITY OF VANCOUVER

Re: POOL CONCRETE FOUNDATION

Name of Project (Print)

6289 CARNARVON STREET, VANCOUVER, BC

Address of Project (Print)

Legal Description of Project (Print)

The undersigned hereby gives assurance that the design of the
(Initial those of the items listed below that apply to this *registered professional*.
All the disciplines will not necessarily be employed on every project.)

☒ ARCHITECTURAL

☒ STRUCTURAL

☐ MECHANICAL

☐ PLUMBING

☐ FIRE SUPPRESSION SYSTEMS

☐ ELECTRICAL

☐ GEOTECHNICAL — temporary

☐ GEOTECHNICAL — permanent



(Professional's Seal and Signature)

02/24/2015

Date

components of the plans and supporting documents prepared by this *registered professional* in support of the application for the *building permit* as outlined on the attached Schedule B-2 substantially comply with the Vancouver Building By-law and other applicable enactments respecting safety except for *construction* safety aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during *construction* as indicated on the attached "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" (SCHEDULE B-2).

CRP's Initials

* For Building Official's use only

VANCOUVER BUILDING BY-LAW 2007

Schedule B-1 - Continued

DB 440666
Building Permit No.¹

6289 CARNARVON STREET, VANCOUVER, BC

Project Address

STRUCTURAL ONLYL

Discipline

The undersigned also undertakes to notify the *Chief Building Official* in writing as soon as possible if the undersigned's contract for *field review* is terminated at any time during *construction*.

I certify that I am a *registered professional* as defined in the Vancouver Building By-law.

DR. ZHANCHAO ZHAO P.Eng.

Registered Professional's Name (Print)

14839 95 AVENUE

Address (Print)

SURREY, BC. V3R 7W4

(604) 582-1305

Phone No.



(Professional's Seal and Signature)

02/24/2015

Date

(If the *Registered Professional* is a member of a firm, complete the following.)

I am a member of the firm ZHAO ENGINEERING LTD.

and I sign this letter on behalf of the firm

(Print name of firm)

Note: The above letter must be signed by a *registered professional*. The Vancouver Building By-law defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

¹ For Building Official's use only

CRP's Initials

VANCOUVER BUILDING BY-LAW 2007

SCHEDULE B-2

Forming Part of Subsection 2.2.7, Division C of the
Vancouver Building By-law

DB446666

Building Permit No. 1

SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS

- Notes: (i) This letter must be submitted along with Schedule B-1 before issuance of a building permit.
(ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
(iii) In this letter the words in italics have the same meaning as in the Vancouver Building By-law.

Registered Professional's Name (Print) DR. ZHANCHAO ZHAO P.Eng.

Name of Project (Print) POOL CONCRETE FOUNDATION

Address of Project (Print) 6289 CARNARVON STREET, VANCOUVER, BC

(Initial applicable discipline below and cross out and initial only those items not applicable to the project.)

ARCHITECTURAL

- 1.1 Fire resisting assemblies
- 1.2 Fire separations and their continuity
- 1.3 Closures, including tightness and operation
- 1.4 Egress systems, including access to exit within suites and floor areas
- 1.5 Performance and physical safety features (guardrails, handrails, etc.)
- 1.6 Structural capacity of architectural components, including anchorage and seismic restraint
- 1.7 Sound control
- 1.8 Landscaping, screening and site grading
- 1.9 Provisions for fire fighting access
- 1.10 Access requirements for persons with disabilities
- 1.11 Elevating devices
- 1.12 Functional testing of architecturally related fire emergency systems and devices
- 1.13 Development Permit and conditions therein
- 1.14 Interior signage, including acceptable materials, dimensions and locations
- 1.15 Review of all applicable shop drawings
- 1.16 Interior and exterior finishes
- 1.17 Dampproofing and/or waterproofing of walls and slabs below grade
- 1.18 Roofing and flashings
- 1.19 Wall cladding systems
- 1.20 Thermal insulation systems, including condensation control and cavity ventilation
- 1.21 Exterior glazing
- 1.22 Integration of building envelope components
- 1.23 Environmental separation requirements (Part 5)



(Professional's Seal and Signature)

02/24/2015

Date

STRUCTURAL

- 2.1 Structural capacity of structural components of the building, including anchorage and seismic restraint
- 2.2 ~~Structural aspects of deep foundations~~ *pool Foundation only*
- 2.3 Review of all applicable shop drawings
- 2.4 ~~Structural aspects of unbonded post-tensioned concrete design and construction~~
- 2.5 Verification of the satisfactory completion of an in-house check of the structural design
- 2.6 Verification of the satisfactory completion of an independent Concept Review, including a general overview of the design calculations

MECHANICAL

- 3.1 HVAC systems and devices, including high building requirements where applicable
- 3.2 Fire dampers at required fire separations
- 3.3 Continuity of fire separations at HVAC penetrations
- 3.4 Functional testing of mechanically related fire emergency systems and devices
- 3.5 Maintenance manuals for mechanical systems
- 3.6 Structural capacity of mechanical components, including anchorage and seismic restraint
- 3.7 Review of all applicable shop drawings

¹ For Building Official's use only

VANCOUVER BUILDING BY-LAW 2007

Schedule B-2 - Continued

DB446666
Building Permit No.

Address of Project (Print) 6289 CARNARVON STREET, VANCOUVER

Registered Professional's Name (Print) DR. ZHANCHAO ZHAO P.Eng.

PLUMBING

- 4.1 Roof drainage systems
- 4.2 Site and foundation drainage systems
- 4.3 Plumbing systems and devices
- 4.4 Continuity of fire separations at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for plumbing systems
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings

FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of occupancy
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Functional testing of fire suppression systems and devices

ELECTRICAL

- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of fire separations at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from buildings of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings

GEOTECHNICAL — Temporary

- 7.1 Excavation
- 7.2 Shoring
- 7.3 Underpinning
- 7.4 Temporary construction dewatering

GEOTECHNICAL — Permanent

- 8.1 Bearing capacity of the soil
- 8.2 Geotechnical aspects of deep foundations
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of soil, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning



(Professional's Seal and Signature)

02/24/2015

Date

CRP's Initials

* For Building Official's use only

DATE ISSUED FEBRUARY 25, 2015		PERMIT TYPE DEVELOPMENT AND BUILDING PERMIT				PERMIT NUMBER P DB 446666	
LEGAL DESCRIPTION LOT S BLOCKS N AND O DISTRICT LOT 321 PLAN LMP42692					ADDRESS 6289 CARNARVON ST		
ADDITIONAL ADDRESS INFORMATION					SPECIFICS		
APPLICATION DATE JUN 24, 2014	PURPOSE CONSTRUCT	PROJECT VALUE \$1,810,355	ASSESSED VALUE	PLANS 2	METRIC NO	PLACE NAME	
TEMPORARY BUILDING DATES		TEMPORARY USE DATES		SUBTYPE			
APPLICANT DESIGN PROF ROBERT BILLARD ROBERT@BILLARDARCHITECTURE.CA 2009 9TH AVE NEW WESTMINSTER BC V3M 3G6					CONTACT 2 PROPERTY OWNER SHENG YUN DON 6289 CARNARVON ST VANCOUVER BC V6N 1K2		
CONTACT 3 CONTRACTOR PRO DESIGN CO LTD 4411 WESTMENSTER HWY RICHMOND BC V7C 1B6					CO-ORDINATE 056-758-59-0000		
TEL 604-618-0529 FAX	BUS. LICENSE CERTIFICATE	TEL 604-655-8283 FAX	BUS. LICENSE CERTIFICATE	TEL 604-723-8582 FAX	BUS. LICENSE 645022 CERTIFICATE		
FRONT YARD 50.13 FT		SIDE 1 YARD 8.04 FT N REDUCED		SIDE 2 YARD 11.17 FT SOUTH		REAR YARD 71.81 FT	

THIS BUILDING AND DEVELOPMENT PERMIT WHICH INCLUDES THE PLANS MARKED AS FORMING PART THEREOF IS FOR THE FOLLOWING ONLY:

To construct a 2 storey + cellar one-family dwelling (\$1,810,355) with cellar floor & indoor pool & 2 attached garages, 1 being on the cellar floor having 1 parking space and the other being on the main floor having 2 parking spaces, both having vehicular access from Carnarvon St.

Note: This is a 2 storey building pursuant to the Zoning and Development By-Law

- 1- Bar sink proposed in the cellar lounge/rec room
- 2- No A/C unit proposed
- 3- B1/B2. M. Chen P.Eng (604.871.1245) Architectural (Building Envelope)
- 4- B1/B2. R.G. Billard Reg. Architect (604.619.0529) Architectural
- 4- B1/B2. H. Jian P.Eng (604.882.8475) Geotechnical (Pool)
- 5- B1/B2. Dr. Z. Zhao (604.582.1305) Structural & Geotechnical (Pool & guardrails)
- 6- HPO : Residential Builder: Pro Design Co. Ltd (34389)

*****THIS PERMIT HAS BEEN ISSUED UNDER THE REQUIREMENTS OF VBBL 2007 AND THE GREEN HOMES PROGRAM*****

AND IS SUBJECT TO THE FOLLOWING CONDITIONS AND NOTES:

- 601 Paved surfaces must be constructed to catch all storm water and direct it to the storm water sump as required in the Part 7 of Division 8 of the Vancouver Building By-law No.9419.
- 602 All approved off-street parking spaces shall be provided in accordance with the approved plans prior to occupancy of the proposed development and thereafter permanently maintained in good condition.
All landscaping (including any tree replacements, shrub planting, grass areas and paved areas) shall be completed in accordance with the approved drawings prior to occupancy of the proposed development.
The Building shall be maintained and occupied as a one-family dwelling only.
The site shall be maintained in a neat and tidy condition.
No contaminated water or waste water shall be discharged to a storm sewer pursuant to the Sewer and Watercourse Bylaw #8093.
Work under this permit may not proceed beyond the excavation and construction of foundation forms until the permit has been marked "plans accepted" and countersigned by the City Building Inspector on the "Building Permit Inspection Approval Record". It is the applicant's responsibility to contact the Inspector.
One set of approved up-to-date drawings being available for viewing at the jobsite.
Building to be sprinklered to NFPA 13D requirements.
Drain tile shall be inspected prior to backfilling.
All finished grades, including top of concrete for sidewalks and patios, to be 150 mm minimum below wall finishes.
Doors when open and/or eaves or other appendages shall not project beyond any property line.
Mechanical equipment (ventilators, air conditioners, generators, compactors and exhaust systems) shall be designed and located to minimize the noise impact on the neighbourhood and to comply with Noise By-Law #6555.

(CONTINUED)

AS OWNER OR OWNERS' AGENT, I HAVE VERIFIED THAT THE INFORMATION CONTAINED WITHIN THIS DOCUMENT AND ASSOCIATED DOCUMENTS AND PLANS IS CORRECT, AND DESCRIBES A USE, A BUILDING OR A WORK WHICH COMPLIES WITH ALL RELEVANT BY-LAWS AND STATUTES. I ACKNOWLEDGE THAT RESPONSIBILITY FOR BY-LAW COMPLIANCE RESTS WITH THE OWNER AND THE OWNER'S EMPLOYEES, AGENTS AND CONTRACTORS. I WILL INDEMNIFY AND SAVE HARMLESS THE CITY OF VANCOUVER, ITS OFFICIALS, EMPLOYEES AND AGENTS AGAINST ALL CLAIMS, LIABILITIES AND EXPENSES OF EVERY KIND, IN RESPECT OF ANYTHING DONE OR NOT DONE PURSUANT TO THIS APPLICATION OR FACT SHEET OR ENSUING PERMIT, INCLUDING NEGLIGENCE AND/OR THE FAILURE TO OBSERVE ALL BY-LAWS, ACTS OR REGULATIONS.

FEE		AMOUNT		FEE		AMOUNT		SIGNED BY		ROBERT BILLARD	
190 DEV. SCHED 8		269.00						DATE		SEE APPLICATION	
300 BUILDING FEE		7,616.55						ISSUED BY		K HSIEH	
304 DRAIN TILE 1-2 FAM		199.00						FOR THE		DIRECTOR OF PLANNING & DEV CHIEF BUILDING OFFICIAL	
INVOICE: 775691				TOTAL		\$8,084.55					

DATE ISSUED FEBRUARY 25, 2015		PERMIT TYPE DEVELOPMENT AND BUILDING PERMIT				PERMIT NUMBER P DB 446666	
LEGAL DESCRIPTION LOT S BLOCKS N AND O DISTRICT LOT 321 PLAN LMP42692					ADDRESS 6289 CARNARVON ST		
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TEMPORARY BUILDING DATES		TEMPORARY USE DATES		SUBTYPE			
					CO-ORDINATE 056-758-59-0000		
APPLICANT DESIGN PROF ROBERT BILLARD ROBERT@BILLARDARCHITECTURE.CA 2009 9TH AVE NEW WESTMINSTER BC V3M 3G6		CONTACT 2 PROPERTY OWNER SHENG YUN DON 6289 CARNARVON ST VANCOUVER BC V6N 1K2		CONTACT 3 CONTRACTOR PRO DESIGN CO LTD 4411 WESTMENSTER HWY RICHMOND BC V7C 1B6			
TEL 604-618-0529	BUS LICENSE CERTIFICATE	TEL 604-655-8283	BUS LICENSE CERTIFICATE	TEL 604-723-8582	BUS LICENSE 645022 CERTIFICATE		

AND IS SUBJECT TO THE FOLLOWING CONDITIONS AND NOTES: (CONT'D)

910 Construction must be carried out in compliance with the provisions of Noise Control By-law No. 6555

PERMITTED USE	SPECIFICS/LOCATION	AREA (SF)	OCC	PERMITTED USE	SPECIFICS/LOCATION	AREA (SF)	OCC
D30 ONE-FAM DWELLING		9612.6	C				
ITEM	SPECIFICS/REFERENCE	QTY/AMT		ITEM	SPECIFICS/REFERENCE	QTY/AMT	
0036 LOT TYPE	01 INSIDE/LANE			0126 FLOOR AREA	ABOVE GRADE	5239.8	SF
0037 LOT WIDTH	IRR 63.28/	79.60	FT	0126 FLOOR AREA	CELLAR	4372.8	SF
0038 LOT DEPTH	IRR 102.01/	203.24	FT	0126 FLOOR AREA	FIRST FLOOR	2932.3	SF
0040 PROCESSED THROUGH	34 PROC CTR -PC1 OUT			0126 FLOOR AREA	SECOND FLOOR	2307.5	SF
0041 BY-LAW PROVISION	0 OUTRIGHT			0132 IMPERMEABLE	14387.4/7018.7	29.0	%
0080 ZONE	Z009 RS-5			0145 BLDG DEPTH		81.29	FT
0113 STOREYS 2&D BYLAW	2+ CELLAR	2	ST	0148 BLDG WIDTH		58.58	FT
0115 HEIGHT	< THAN 7/12	29.86	FT	0160 TOTAL PARKING		3	SP
0122 TOTAL FSR		0.40	FSR	0370 HPO REQUIREMENTS	01 RESBLD/FORMSUBIT		
0125 TOTAL FLOOR AREA		9612.6	SF				

RELATED PERMITS: DB446670 DEMOLISH 6289 CARNARVON ST DT421817 CONSTRUCT 6289 CARNARVON ST
TR429731 TREE DEVEL 6289 CARNARVON ST

PERMITS REQD IN ADDITION TO THIS PERMIT INCLUDE : ELECTRICAL
GAS FITTING
PLUMBING
SPRINKLER

APPROVALS REQD BEFORE PERMIT IS COMPLETED INCLUDE : B110 BUILDING INSPECTN SAUL SCHWEBS 604-873-7040

CONTACT 4 : INVOICE REFERENCE MR. CHUN ZHAO VANCOUVER BC TEL: FAX: BUSLIC: CER:

PROCESSED BY: PCI REVIEW BY K HSIEH

ADDITIONAL NOTES:

540 Please be advised that further development on this block may necessitate a change of address to your building at a future date.

915 To book an inspection call 3-1-1 from within Vancouver or 604-873-7000 from outside Vancouver. The 3-1-1 Centre is open 7 days a week from 7AM to 10PM, 365 days a year. Also, our 24 hour Building Inspections booking request message line is 604-873-7058. For information on how to use it, please contact the 3-1-1 Centre.

AS OWNER OR OWNERS' AGENT, I HAVE VERIFIED THAT THE INFORMATION CONTAINED WITHIN THIS DOCUMENT AND ASSOCIATED DOCUMENTS AND PLANS IS CORRECT, AND DESCRIBES A USE, A BUILDING OR A WORK WHICH COMPLIES WITH ALL RELEVANT BY-LAWS AND STATUTES. I ACKNOWLEDGE THAT RESPONSIBILITY FOR BY-LAW COMPLIANCE RESTS WITH THE OWNER AND THE OWNER'S EMPLOYEES, AGENTS AND CONTRACTORS. I WILL INDEMNIFY AND SAVE HARMLESS THE CITY OF VANCOUVER, ITS OFFICIALS, EMPLOYEES AND AGENTS AGAINST ALL CLAIMS, LIABILITIES AND EXPENSES OF EVERY KIND, IN RESPECT OF ANYTHING DONE OR NOT DONE PURSUANT TO THIS APPLICATION OR FACT SHEET OR ENSUING PERMIT, INCLUDING NEGLIGENCE AND/OR THE FAILURE TO OBSERVE ALL BY-LAWS, ACTS OR REGULATIONS.

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190 DEV SCHED 8	269.00			DATE	SEE APPLICATION
300 BUILDING FEE	7,616.55			ISSUED BY	K HSIEH
304 DRAIN TILE 1-2 FAM	199.00			FOR THE	DIRECTOR OF PLANNING & DEV CHIEF BUILDING OFFICIAL
INVOICE: 775691		TOTAL		\$8,084.55	

revised
arborist report

October 8, 2014

TREE ASSESSMENT AND RETENTION REPORT

Residence at;
6289 Carnarvon St.
Vancouver, B.C.

This report documents and describes trees growing on the above referenced property that are proposed for retention (15) and removal (7) during the redevelopment of the site. The trees were originally described in a preliminary report written for planning purposes dated February 9, 2014. Trees have been bundled into retained and removal groups and re-numbered. Trees were measured and assessed for health, defects and structural stability. Also included are comments and recommendations for the preservation and protection of retained trees. Tree locations are indicated on an attached diagram. Diagram tree numbers correspond to text tree numbers. Protection fence locations for retained site trees and relevant neighbour's trees are shown. Examination date was February 4, 2014.

Tree Descriptions

Trees proposed for retention;

1. Western Red Cedar (*Thuja plicata*)

- DBH (diameter at breast height – measured at 1.4 m) is 84 cm.
- height is 32 m.
- several panels of dead bark at base. Visible rot under portions.
- health is good, vigour is fair to good, form is good.

2. WR Cedar

- DBH is 103 cm.
- height is 32 m.
- no visible defects.
- health is good, vigour is fair to good, form is good.

3. WR Cedar

- DBH is 99 cm.
- height is 31 m.
- 30 cm diameter candelabra branches at 5 and 6 m forming small secondary tops.
- trunk with light ivy cover to 2 m.
- health is good, vigour is fair to good, form is good.

4. Grand Fir (*Abies grandis*)

- DBH is 108 cm.
- height is 33 m.

- old topping at +/- 20 m.
- 6+ new +/- 30 cm diameter tops to full height with 0.5 to 3 m displacements.
- fence nailed to trunk.
- health and vigour are good, form is fair.

5. Atlas Cedar (*Cedrus atlantica*)

- DBH is 61 cm.
- height is 23 m.
- several 10 cm diameter open branch removal scars in lower trunk.
- no other visible defects.
- health and vigour are good, form is good.

6. Tulip Magnolia (*Magnolia x soulangiana*)

- forked at 0.4 m; DBH's are 20 and 21 cm.
- height is 8m.
- growing between houses; very linear crown east-west. Touches neighbour's house to north and overhangs existing site house.
- some pruning stubs and water shoots (minor).
- health and vigour are good, form is unusual but good.

7. Sawara False Cypress (*Chamaecyparis pisifera*)

- DBH is 48 cm.
- height is 22 m.
- forked at 7 and 11 m.
- thin crown with several dead branches in lower portion.
- health and vigour are fair, form is fair.

8. English Holly (*Ilex aquifolium*)

- DBH is 29 cm.
- height is 12 m.
- forked at 8 m.
- minor scar at base.
- lower crown is thin from fungal infection.
- health is fair to good, vigour is good, form is fair to good.

9. WR Cedar

- DBH is 27 cm.
- height is 12 m.
- forked at 1.5 and 4 m.
- 40 cms of included bark in lower fork.
- health and vigour are good, form is fair.

10. WR Cedar

- DBH is 26 cm.
- height is 14 m.
- neighbour's shrubs are tied to the trunk with nylon rope.
- no visible defects
- health and vigour are good, form is good.

11. Thread-leaf Sawara Cypress (*Chamaecyparis pisifera* 'Filifera')

- DBH is 40 cm.
- height is 16 m.
- forked at 2, 2.5 and 4 m. Fork at 2 m has been removed.
- root flare is distorted by a large rock.
- thin crown.
- trunk has moderate ivy cover to 4 m.
- health is good, vigour is fair, form is fair to good.

12. WR Cedar

- DBH is 89 cm.
- height is 30 m.
- natural forking mid-crown and top 5 m.
- health and vigour are good, form is good.

13. E Holly

- forked at base; DBH's are 18, 22 and 24 cm.
- height is 12 m.
- additional forking at 8 m.
- 2 x 5 cm diameter removed stem stubs at base.
- health and vigour are good, form is fair.

14. E Holly

- forked at base; DBH's are 15 and 17 cm.
- height is 7 m.
- 5 cm diameter dead fork at base.
- scar at base.
- health and vigour are fair, form is fair.

15. WR Cedar

- DBH is 43 cm.
- height is 16 m.
- no visible defects.
- health and vigour are good, form is good.

Trees proposed for removal;

16. WR Cedar

- DBH is 87 cm.
- height is 32 m.
- crown is somewhat thin with several dead branches mid and upper.
- trunk with moderate ivy cover to 5 m.
- inside proposed building footprint.
- health is fair to good, vigour is fair, form is good.

17. Flowering Cherry (*Prunus* spp.)

- DBH is 52 cm.
- height is 7 m.
- main graft/crotch area at 2 m; 2 of 6 main tops are dead and removed, 40 cm and 1 m stubs.
- open scar with visible rot and extensive insect boring evident; base to crotch.
- extensive dead material throughout crown.
- numerous 2 to 5 cm diameter pruning stubs.
- in decline, very imbalanced crown, crotch stability very suspect.
- health and vigour are fair, form is poor.

18. Flowering Cherry

- DBH is 50 cm.
- height is 7 m.
- main graft/crotch area at 1.75 m.
- numerous burl-type deformities, many with dead and shedding bark and visible rot, on main trunk.
- heavily and badly pruned down in height. Numerous 5 to 10 cm diameter stubs.
- in decline and a very poor landscape specimen.
- health and vigour are fair to poor, form is poor.

19. Silver Maple (*Acer saccharinum*)

- DBH is 85 cm.
- height is 24 m.
- 20 degree lean north; partially influenced by a large Big-Leaf Maple to the south and partially a result of root instability.
- one of three main tops has been cut back by 2/3 and has very rotten 10 to 20 cm secondary branch stubs. A remaining 10 cm diameter branch has a 1 m long open longitudinal split.
- other two tops have numerous smaller rotten stubs.
- extensive dieback throughout crown.
- middle stem has numerous small conks mid-crown.
- in decline, crown and whole-tree stability are suspect.
- health and vigour are fair to poor, form is poor.

20. Flowering Plum (*Prunus cerasifera* 'Pissardii')

- forked at base; DBH's are 27, 36 and 37 cm.
- height is 10 m.
- extensive old scarring, rot and cavities in all stems from base and into crown.
- fungal conks on some branches.
- 15 degree lean south west over neighbour's garden.
- in rapid decline, crown and whole-tree instability.
- health and vigour are poor, form is poor.

21. WR Cedar

- DBH is 56 cm.
- height is 15 m.
- 15 by 30 cm scars at base and 2 m.
- top broken off at 7 m height and 25 cm diameter; rot visible. New top has formed with candelabra branches. One has partially failed and has a 20 degree lean over the neighbour's garden. One scarred and broken 10 cm diameter limb hanging in crown.
- unstable top, poor landscape specimen.
- health and vigour are fair, form is poor.

22. Flowering Plum

- forked at base; DBH's are 50 and 52 cm.
- height is 10 m.
- 1 m of included bark between tops.
- extensive scarring and rot throughout crown. One stem with longitudinal separation crack and cavity.
- fungal conks at base.
- extensive dead material throughout crown.
- in rapid decline, crown and whole-tree instability.
- health and vigour are poor, form is poor.

Tree Preservation

Demolition/construction phase;

Protection barrier fence locations seen on the attached diagram are based on Schedule A of the City of Vancouver's "Protection of Trees By-law (No. 9958)". Distances are reduced west of trees 1 to 3 where an existing underground garage is to be removed and partially filled. Reduced distances are also shown for tree #s 5 and 6 where the foundations of the existing house are close to the bases of these trees.

Retained trees 7 through 15 are all located on a portion of the property north west of the main

part of the site occupied by the existing house. The two sections are connected by a narrow (15 foot) opening. The smaller portion functions as a garden for the larger. No development is currently anticipated in this area so protection fences shown for other trees will restrict construction activities from the area. If future development is to be done individual fences will be required.

If removal of concrete walkways and patios is to be done in any of the protection areas of retained trees it should be done by hand where practical or by machine reaching from off these areas. Concrete should be cracked off and pulled up and away and not dragged across ground to minimize disturbance of root areas beneath. Any roots damaged should be pruned cleanly with sharp instruments. Exposed root areas should be mulched immediately after with 10 to 15 cm of appropriate material (bark mulch, wood chips, organic soil) to protect from compaction and moisture loss. Any excavation edges close to protection areas should be monitored for erosion to prevent encroachment and root exposure. If the subsoil is unstable edge protection and early back-filling should be done.

It may be necessary to carefully reduce the crown of tree # 6 Magnolia to prior to demolition of the existing house to prevent damage during this process as the crown extends well out over it.

Landscape phase:

In general there should be no grade changes and minimal ground disturbance when clearing unwanted garden materials in root areas of retained trees. Clearing work, soil additions and planting should be done without machines and with as little foot traffic as possible to minimize compaction. Flagstone or paver installation *should be done with little or no existing soil disturbance and with sand and soil addition*. Soil additions should be a maximum of 15 cm over the majority of garden areas with no additions against tree trunks. Increased depth in some areas may be needed for planting or depression filling purposes.

Tree treatment recommendations:

- ivy removal from tree #s 3 and 11.
- reduction of secondary tops on candelabra branches on tree #3 to prevent future failures.
- the crown of #4 Grand Fir should be examined by a qualified climber to determine the condition of the old topping point crotch and if remedial work is necessary to stabilize it (unstable wood removal, cabling etc.). The fence attachment should be removed.
- remove rope from the trunk of tree #10.

Assessments of trees were based on visual examination of above ground parts for structural defects, lean and general health. There was no coring or climbing involved. As much as is reasonable was considered to ensure that trees not recommended for immediate removal were not unstable in the conditions at the time of inspection but there can be no guarantee that failure will not occur at any

time. There are too many unknowns including weather, soil structure and hidden defects for that to be possible. Also while the protection fence location and preservation recommendations are designed to minimize the effects of the proposed development activities on retained trees there can be no guarantee that no adverse reactions will occur. Again there are too many unknown factors involved.

Prepared by;

David Walsh, Cert. Arborist (ISA), TRAQ
903 Hummingbird Lane, Bowen Island, B.C., V0N 1G1
604 947-2789



Heat loss calculation work sheet

Address: 6289 Carnarvon

Permit #: DB 446666

Proposed FSR:

14387 sq.ft.

BTU/hr used	
Allowed	Proposed

Proposed R-
Value

Total Wall Area Concrete (min R12)

12 5152 sq.ft.

Total Wall Area stud (min R22)

22 1425 sq.ft.

Total Wall BTU (Deduct Glazing)

Total Roof Area (Attic min R-40):

40 0 sq.ft.

<u>11505.3</u>	<u>11505.3</u>
<u>0</u>	<u>0</u>

Total Roof Area (Vaulted min R-28):

40 3455 sq.ft.

<u>6910</u>	<u>4837</u>
-------------	-------------

Proposed Glazing from concrete wall:

LowE 3 3367.2 sq.ft.

<u>65997</u>	<u>47141</u>
--------------	--------------

Proposed Glazing from stud wall:

LowE 3 177.2 sq.ft.

<u>3473</u>	<u>2481</u>
-------------	-------------

Proposed glazing area:

25% 3544 sq.ft.

49622

Permitted glazing area:

15% 2158 sq.ft.

42299

Max. Permitted BTU:

130184 BTU/hr

Total Proposed BTU:

115585 BTU/hr

Proposed is less therefore **Approved**

SIGNATURE: _____

Note: Ref: VBBL 2007 9.25.2.6

Calculations required for compliance to Energy requirements of VBBL 2007 for: residential buildings of 3 storeys or less in building height, having a building area not exceeding 600m² and, all one and two family dwelling units regardless of area. (April 8 2009)

HAZARDOUS MATERIALS REPORT FORM

DEMOLITION PERMIT #: DB 446670

BUILDING PERMIT #: DB 446660

DATE ISSUED: _____

ADDRESS: 6289 Carnarvon St.

BUILDING TYPE: SINGLE FAMILY ☒ MULTIPLE FAMILY ☐ COMMERCIAL ☐
INSTITUTIONAL ☐ INDUSTRIAL ☐

DATE OF DEMOLITION/DECONSTRUCTION: _____

APPLICANT Robert Billard
NAME: Billard Architecture
ADDRESS: 2009 - 9th AVE NEW WESTMINSTER, B.C. Canada V3M 3G6
TEL: (604) 619 0529 FAX: _____ BUSINESS LICENSE #: _____

CONTRACTOR or DEMOLITION CONTRACTOR
NAME: Yong Feng Enterprises Inc.
ADDRESS: #120 1400 River Road, Richmond
TEL: 778-817 2222 FAX: 778-297 5501 BUSINESS LICENSE #: 14 00244

HAZARDOUS MATERIALS

	PRESENT	NOT PRESENT	REMOVED	TYPE AND LOCATION
ASBESTOS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
DRYWALL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
UNDERGROUND STORAGE TANKS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
PCBs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<u>Fluorescent light fixture</u>
ABANDONED CHEMICALS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<u>Lead in roof Mercury in new bulb. Mold</u>
OTHERS (see other side for examples)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Smoke/Heat Detector. Batteries.</u>

CONDITIONS

1. A Hazardous Materials Survey completed by a qualified person, as defined in WorkSafeBC Guideline 6.6-3, MUST be submitted with this form.
2. All hazardous materials identified above and/or in the attached survey shall be handled and disposed of in accordance with all applicable rules and regulations. (See other side for contacts.) In the event that hazardous materials are found during the demolition process, work must cease until they are removed.
3. Documentation from the survey, removal and disposal of hazardous materials (i.e. receipts, inspection reports, clearance letters, WorkSafeBC Notice of Projects, sampling reports, waste manifests, etc.) must be kept for a 6-month period and produced upon request for inspection purposes.

CERTIFICATION

To be completed by the licensed contractor, demolition contractor or environmental consultant.

I, Bob Wang, certify that the information provided on this form is consistent with the findings of the attached Hazardous Materials Survey, and that all hazardous materials identified here or found during demolition will be removed in accordance with all applicable regulations.

Signature _____

Date 24th Jun 2014

Company Yong Feng Enterprises Inc.

Position 1

Katigbak, Veronica

From: Westerman, Denise
Sent: Wednesday, August 10, 2016 10:05 AM
To: Chen, Tony
Cc: Schwebs, Saul; Lam, Matthew; Ryan, Pat (PDS); DOMINO (CITYVAN)
Subject: 6289 Carnarvon St - spatial re-check please - letter # 2

Hi Tony & Saul,

CBO has indicated that we are not taking any immediate action / notification with the project Architect.

But the City should still figure out if spatial separation is conforming to VBBL or not, Saul confirmed that he will follow up on the spatial compliance confirmation.

I was unable to locate any AL on PRISM nor POSSE on spatial issue.

I have printed the yellow check sheet from DOMINO, and hi-lited a few areas (stairs, headroom, ventilation) that needed re-confirmation for Saul's audit.

Maybe the architect just labelled the elevation orientation incorrectly on the permit drawings.

It is a good idea to talk to Katrina in case a spatial solution was proposed that was not documented.

Thanks for following up [s. 22\(1\)](#), see you on Aug 22.

Denise

From: Chen, Tony
Sent: Wednesday, August 10, 2016 8:56 AM
To: Westerman, Denise
Cc: Schwebs, Saul; Lam, Matthew
Subject: RE: 6289 Carnarvon St - spatial re-check please

Saul and I took a quick look at the plans yesterday as well, and we nearly had a heart attack. UPO's are about 70% and the LD is not anywhere close to what is needed.

It is definitely not compliant. We can do a more details spatial if you want.

Tony Chen
Housing Review Branch
Planning and Development Services
CITY OF VANCOUVER
604 873-7783
tony.chen@vancouver.ca

From: Westerman, Denise
Sent: Wednesday, August 10, 2016 8:53 AM
To: Chen, Tony
Cc: Schwebs, Saul; Lam, Matthew
Subject: 6289 Carnarvon St - spatial re-check please

Good Morning Tony,

[s.13\(1\)](#)

I wouldn't ask Saul to do anything extra without checking with CBO & Matthew first.

It would be great if we can confirm if spatial was okay since it was done under the previous management at 1 & 2 FD group when staff were not receiving adequate VBBL training.

Spatial info was not on the yellow check sheet on DOMINO.

s.13(1)

Thanks again Saul.

Denise

From: Chen, Tony
Sent: Tuesday, August 09, 2016 3:52 PM
To: Westerman, Denise; Schwebs, Saul
Cc: Lam, Matthew; Ryan, Pat (PDS); DOMINO (CITYVAN)
Subject: RE: 6289 Carnarvon St - spatial re-check please

Hi Denise, PCs have been instructed to do spatial on all three sides and even the lane side if they find too many UPOs on that side too. This project was done in 2015 and was before my time when I started asking for it. But all the PCs now know to calculate it.

It will be up to Pat Ryan on how he wants to deal with this issue as the CBO. We can pull the drawings to confirm.

Tony Chen
Housing Review Branch
Planning and Development Services
CITY OF VANCOUVER
604 873-7783
tony.chen@vancouver.ca

From: Westerman, Denise
Sent: Tuesday, August 09, 2016 2:56 PM
To: Schwebs, Saul; Chen, Tony
Cc: Lam, Matthew; Ryan, Pat (PDS); DOMINO (CITYVAN)
Subject: 6289 Carnarvon St - spatial re-check please

Hi Saul,

Please have one of your PC to check over spatial (both side yards) for this DB permit, the spatial allowed for approx. 3.5 M Limiting Distance is about 25 to 30% UPO in a sprinklered building.

Spatial Separation calculation check box was NOT filled in on the yellow permit check sheet on DOMINO.

I believe we saw more than 50 % UPO on the permit drawings.....

Please follow up with Pat on this issue s. 22(1) . We may have to notify the registered Architect if there is problem with his drawings.

Thanks for following up !

Denise



Demolition Contractor Declaration for
Demolition of One Family Dwellings

The Chief Building Official
City of Vancouver
453 West 12th Avenue
V5Y 1V4

02 / 21 / 2015
Date (Month Day Year)

Dear Sir:

RE: Property Address 6289 Carnarvon Street. Vancouver
Building Permit Application No. QB 446670

In consideration of the City accepting and processing the above application for a building permit, and as required by the Vancouver Building By-law No. 9419, the following representations, warranties and indemnities are given to the City by the Demolition Contractor.

I, PAUL HAYER of HAYER DEMOLITION LTD.
(Print Full Name of Authorized Signatory) (Print Company Name of Demolition Contractor)

Agree as follows:

I have read and understand my obligations as a demolition contractor to comply with Part 8 of the Vancouver Building By-law No. 9419 and all requirements related to demolition as required by Work Safe BC,

Developed a construction safety plan as required by Work Safe BC and it will be available for inspection on the site at all times,

I hereby agree to:

Protect the adjacent properties from any damage or unreasonable impact from demolition activities,

Ensure that no debris, dust or other material shall be deposited on adjacent neighbour's property, and have water available on the site for wetting down the demolition site at regular intervals to minimize dust,

Comply with the Noise Control By-law No. 6555 for hours of construction noise on Private Property, and understand that no construction noise (demolition) is permitted on Sundays and holidays,

Backfill immediately any excavation caused by the removal of an existing basement and retaining walls or retain the services of a geotechnical engineer to review temporary shoring requirements when necessary or if directed to do so by City Building Inspector,

Demolition Contractor Declaration
For One and Two Family Dwellings (continued)

Permit # DB 4466 70

Conduct no work until the Hazardous Materials Report Form has been completed and accepted by the Environmental Protection Branch,

Have all hazardous materials, identified on the Hazardous Materials Report Form and in the Hazardous Materials survey, removed prior to demolition, once the demolition permit has been issued, by qualified contractors as outlined by Work Safe BC, who are licensed to work in the City of Vancouver.

Provide, and make available upon request, documentation showing the materials have been removed and disposed of according to all applicable rules and regulations,

Obtain a Fire Permit for the removal of any known underground storage tanks on the property, and drain and remove prior to demolition,

Stop work, contact the Fire Prevention office, and obtain a fire permit if any underground storage tanks are found during demolition,

Contact the Environmental Protection Branch if there is suspected soil contamination,

Disconnect the water line inside the property line prior to demolition to prevent damage to the main City water line (Contact the Waterworks Branch between 7:30 - 3:30 Monday to Friday for shut-off procedures.),

Install tree protection barriers to comply with COV Engineering Guidelines, have them inspected by the City Building Inspector, maintain the barriers continuously in place before, during and after the demolition, unless given permission by the City Building Inspector to remove them,

Ensure all truck operators operate their vehicles in a safe and courteous manner adhering to City of Vancouver By-laws regulating truck use, including truck route, engine brake noise, weight and load securement (tarping) provisions,

Meet regional waste diversion targets, to recycle construction materials which are currently banned or prohibited from disposal, such as asphalt, cardboard, cement and concrete, clean fill and soil, gypsum/drywall, and green waste, and use salvaging options to reduce, reuse and recycle old construction materials where reasonable,

I will notify the adjacent property owners of the demolition. I will notify them a minimum of 24 hours prior to demolition. I will provide them with my contact information including my full name, company name and contact telephone number,

Provide to Work Safe BC in writing or by fax, a notice of project (NOP) at least 24 hours before starting a construction project (demolition) as required by section 20.2 of the Workers' Compensation Act. Links to the Workers' Compensation Act:

http://www.bclaws.ca/EPLibraries/bclaws_new/document/ID/freeside/96492_00

http://www.worksafebc.com/insurance/managing_your_account/notice_of_project/default.asp

.../ over

Demolition Contractor Declaration
For One and Two Family Dwellings (continued)

Permit # DB446670

Notify all applicable utilities, such as BC Hydro, Fortis BC, Telus and local cable companies, well in advance regarding disconnection of services and/or demolition work,

I agree to:

Notify the City of Vancouver Building Inspection Branch and Engineering Development Services of the date demolition is to start by calling 3-1-1 (or 604-873-7000 from outside Vancouver city limits) before 2:00 pm at least one construction day prior to the commencement of demolition/deconstruction;

[The 3-1-1 Contact Centre is available from 7 a.m. to 10 p.m., 365 days per year; construction activity may not be performed in the City of Vancouver on Sundays or Holidays without an exemption from the Noise By-law.]

Call 3-1-1 after demolition is complete to schedule a final site inspection;

Indemnify and save harmless the City of Vancouver and its employees from all claims, liability, judgments, costs and expenses of every kind which may result from negligence from the failure to comply fully with all by-laws, statutes and regulations relating to any work or undertaking in respect of which this application is made, or from failure to comply with the undertakings given in this Demolition Contractor Declaration.

This Contractor Declaration for Demolition is executed by the demolition contractor this

21 day of Feb, 2015
(Day) (Month) (Year)

Demolition Contractor Company Name HAYER DEMOLITION LTD

Authorized Signatory Signature P. Hayer

Authorized Signatory Name PAUL HAYER 604-614 3318
(PRINT)

Owner or Owner's Representative Signature [Signature]

Owner or Owner's Representative Name ZICHUN ZHAO
(PRINT)

Note: Upon issuance of the demolition permit this declaration becomes part of the specifications and conditions of the demolition permit. Failure to comply with the provisions of this declaration may result in a Stop Work Order, additional fees, a request for charges under the applicable by-laws, or a review of your business licence.

Print form



Community Services Group
Licenses and Inspections

Certificate of Inspection

Electrical Inspection – Service

Inspection Number: EP-2015-04513-02

Inspection Date: 04 Jun 2015

Inspector Name: Stan Kovacic
 Office Hours: 3:00 - 4:00PM
 Phone: (604) 873-7704

Address 6289 CARNARVON STREET
 Vancouver, BC V6N 1K2

Contractor Fortune Link Electrical Ltd
 10360 167th St
 Surrey, BC V4N 1Z2
 Office: (604) 589-1329

Inspection Result: Passed

Comments:

Service	Status: N/A
Conductors	Status: Pass
Temporary	Status: Pass
Equipment	Status: Pass
Bonding	Status: Pass
General	Status: Pass
Grounding	Status: Pass
Other	Status: Pass
Deficiency: Other	
Code Section: OTH - 005	
Comment: Observed deficiency	
Wiring methods	Status: Pass



Community Services Group
Licenses and Inspections

Certificate of Inspection

Electrical Inspection – Expiration Followup Inspection

Inspection Number: EP-2015-04513-03

Inspection Date: 03 Dec 2015

Inspector: Name: Stan Kovacic
Office Hours: 3:00 - 4:00PM
Phone: (604) 873-7704

Address: 6289 CARNARVON STREET
Vancouver, BC V6N 1K2

Contractor: Fortune Link Electrical Ltd
10360 167th St
Surrey, BC V4N 1Z2
Office: (604) 589-1329

Inspection Result: No Action Required

Comments:
