

June 27, 2018

Tom Pappajohn
Jameson Development Corporation
670-1665 W Broadway
Vancouver, BC, V6J 1X1

Dear Mr. Pappajohn:

RE: Rezoning Enquiry – 1805 Larch Street

Thank you for your letter of enquiry for 1805 Larch Street, which the City received in full on April 13, 2018. Staff have reviewed the proposal and have the following commentary and advice.

Proposal

The enquiry proposes to rezone 1805 Larch Street from RT-8 to CD-1 to construct a six-storey residential building with 77 secured rental units under the *Moderate Income Rental Housing Pilot Program* (MIRHPP). The site is a three-lot assembly on the corner of West 2nd Avenue and Larch Street with a site area of 17,656 sq. ft. (190,048 sq m), currently developed with a church. The proposal includes a total gross floor area of 4,976.8 sq. m (53,570 sq. ft.), a density of 3.0 FSR, and an approximate height of 20 m (66 ft.). 46 vehicle parking spaces and 131 bicycle spaces are proposed over two levels of underground parking accessed from the rear lane.

Applicable Policy and Guidelines

Staff reviewed the enquiry based on the following policies:

- *Moderate Income Rental Housing Pilot Program (MIRHPP)* (2017)
- *Housing Vancouver Strategy* (2017)
- *Rental Incentive Guidelines* (2013, last amended 2018)
- *High-Density Housing for Families with Children Guidelines* (1992)
- *Family Room: Housing Mix Policy for Rezoning Projects* (2016)
- *Community Amenity Contributions – Through Rezoning* (1999, last amended 2017)
- *Green Buildings Policy for Rezoning* (2010, last amended 2017)
- *Urban Forest Strategy* (2014)
- *Kitsilano Neighbourhood Plan* (1977)
- *Vancouver Development Cost Levy By-Law* (2008, last amended 2017)

Staff Advice

The *Moderate Income Rental Housing Pilot Program* (MIRHPP) allows for consideration of mid-rise forms up to six storeys at this location, subject to urban design performance and a demonstration of a degree of community support. Projects must provide a secured and enhanced level of affordability, noting that applicants will be expected to demonstrate their ability to maximize the level of affordability in the project.

The proposal is generally consistent with the MIRHPP's policy and eligible for consideration. Staff are supportive in principle of the enquiry, pending a successful resolution of the following advice noted below. Staff recommend that the enquiry be revised to respond to the following comments and resubmitted for review. A design meeting with staff should occur prior to proceeding with the changes. Staff acknowledge that revisions may result in a commensurate reduction in density and unit count.

Form of Development & Heritage

- Building height, massing and density should be reduced to be more closely in line with the neighbouring context and with the RM-4 zoned apartments in the surrounding area. This may be achieved through: decreasing the overall height, increasing the set-backs (particularly along Larch Street and the lane), stepping the building substantially at the upper floors as the form of development transitions to the RT-8 developments on the east and south.
- Lower the building envelope so that the P1 level is located entirely below grade and the south parkade wall is not substantially exposed. Portions of the parkade walls that are exposed/above grade should be substantially landscaped.
- Delete dwelling units on Level P1.
- Relocate visitor parking stalls into the parkade.
- Car share parking stalls can remain at grade. Provide permeable pavers for these stalls to improve their performance and appearance.
- Provide private open space (such as balconies) for all units and integrate them into the architectural expression of the building.
- Provide adequate natural light for all outboard bedrooms.
- Private outdoor space for ground-orientated units should be enhanced. Design units with individual entrances to activate the street where possible given the grading.

Landscape

- Retention of all trees recommended to be retained in the arborist report.
- Retention of the trees along the north façade (as per the arborist report) will affect the form of development as currently proposed.

Engineering

- Lot consolidation will be required to create a single parcel.
- Applicant to make arrangements for release of Easement & Indemnity Agreement 347150M (commercial crossing) and Easement & Indemnity Agreement BX315528, Statutory Right of Way BX315529 and Equitable Charge BX315530 (all pertaining to a Kindergarten play area encroaching onto street) prior to building occupancy.

- Provide vehicle parking, bicycle parking and loading, as per bylaw requirements. Refer to the following links for additional design guidance:
 - Bicycle Parking; <http://vancouver.ca/files/cov/parking-bicycles-design-supplement.pdf>
 - Parking Space Guidelines: <http://vancouver.ca/files/cov/parking-loading-design-guidelines-stall-appendix-A.pdf>
 - Parking and Loading Guidelines: <http://vancouver.ca/files/cov/parking-loading-design-guidelines-supplement.PDF>
 - Shared Vehicles: <http://bylaws.vancouver.ca/bulletin/S008.pdf>
 - Note: The parking by-law is currently under review with changes expected Summer 2018. Depending on timing, this application may be subject to new requirements for vehicle parking, bicycle parking, pick-up-drop-off spaces and transportation demand management.
- Provide the following improvements:
 - Concrete curb and gutter and asphalt repaving on Larch Street.
 - Public realm improvements along the site frontages such as, but not necessarily limited to: sidewalks, lighting, curb ramps, lane crossings, and street trees.
- There are no Public Bike Share requirements for this site.
- City building grades will be required at the time of submission, however, due to wait times, it is advised that the applicant apply for them now.
- Sewer and water upgrades may be required to accommodate the proposed development. At this time, an assessment of servicing requirements for the subject site has not been completed. Submission of an application will allow for a detailed review and confirmation of any required upgrades.

Housing

- Applicant will be required to register a Housing Agreement to secure:
 - 100% of the residential floor area as rental housing in perpetuity; and
 - 20% of the residential floor area to be made available to moderate income households earning between \$30,000 and \$80,000/year, meaning that starting rents must fall within the ranges noted in “Section 2a: Affordability in the Moderate Income Rental Units” of the “[Moderate Income Rental Housing Pilot Program: Application Process, Project Requirements And Available Incentives: Admin Bulletin](#)” and capped at the Residential Tenancy Act annual allowable increase, regardless of turnover
- Staff encourage rental proposals to achieve the DCL waiver by meeting the criteria within the *Rental Incentives Guidelines*. See <http://vancouver.ca/files/cov/rental-incentive-guidelines.pdf>). If the waiver is sought:
 - Unit rental rates would need to comply with maximum rents set out in policy .
 - Unit sizes should be provided and comply with the maximum average size by unit type.
 - Provide information on residential construction costs per sq. m. These should not exceed \$3,391 per sq. m.
- Building should be designed in accordance with *High-Density Housing for Families with Children Guidelines* (<http://guidelines.vancouver.ca/H004.pdf>), including common outdoor and indoor amenity areas.

Sustainability

The *Green Buildings Policy for Rezoning* (amended in 2017) requires that rezoning applications satisfy either the near-zero emissions buildings or low emissions green buildings conditions within the policy. The requirements are mandatory for all rezoning applications received on or after May 1, 2017. The amended *Green Buildings Policy for Rezoning* can be found here at <http://guidelines.vancouver.ca/G015.pdf> and submission requirements can be found at http://bylaws.vancouver.ca/Bulletin/G002_2017April28.pdf. For submission requirements for near-zero emissions buildings, refer to page 4. For submission requirements for low emission green buildings, refer to page 17. More information and resources on this policy may be found at: <http://vancouver.ca/home-property-development/zero-emissions-buildings.aspx>.

Acoustic Requirements

The City is in the process of reviewing its acoustic requirement in the Zoning and Development By-law. This review is expected to be finalized in the second quarter of 2018.

Public Consultation

Following resolution of the above-noted recommendations in a revised enquiry, a pre-application open house is required.

Rezoning Application Fees

The 2018 rezoning application fee to create a new CD-1 District on a site of this size at this location is \$71,450 per Schedule 2, Section 3(b) of the Zoning and Development Fee By-law.

Development Cost Levy (DCL) and Community Amenity Contributions (CAC) Implications

DCLs can be waived on construction of for-profit, secured, affordable rental housing, subject to meeting the DCL By-law definition and requirements of for-profit affordable rental housing. Please refer to the *Rental Incentive Guidelines* (2012, last updated 2018) for information on current rent level, unit sizes, and construction cost requirements. Note that the DCL By-law was recently amended to include both full and partial DCL waiver options for three-bedroom units.

Staff strongly recommend that the applicant seeks the DCL waiver as a means to increase the affordability of the project. <http://vancouver.ca/files/cov/rental-incentive-guidelines.pdf>

Note that a new Citywide Utility DCL is being proposed to address the need for upgraded water, sewer, and drainage infrastructure as the city continues to grow. The proposed Citywide Utility DCL will apply to new developments on a square foot basis and will be in addition to the Citywide DCL. If approved by Council on July 11, 2018, the proposed new rates could become effective on September 30, 2018. The Vancouver Charter provides protection to in-stream applications (building permit, development permit and rezoning applications) that result in building permit issuance within one year of bylaw adoption. More information can be found at <http://vancouver.ca/home-property-development/proposed-utility-dcl.aspx>

It is anticipated that this site, as a MIRHPP proposal, will provide secure and enhanced affordability and therefore will not be required to undergo a negotiated CAC process. At the time of formal application, submission of a proforma will be required in order for staff to better

understand the financial feasibility of these pilot projects. These submissions will not be used as part of the formal rezoning evaluation process.

Next Steps

In summary, staff are supportive in principle of a MIRHPP proposal for secured rental housing at this location. However, taking into account the advice provided in this letter, it is recommended that a design meeting with staff take place prior to proceeding with further design development and pursuing a rezoning application.

Please note that City policies are subject to change over time. This letter does not guarantee that the advice contained within will not change. Please contact me at your earliest convenience for a meeting time. We look forward to working with you on this project.

Sincerely,

A handwritten signature in black ink, appearing to be 'T. Rougeau', with a stylized flourish.

Tiffany Rougeau
Planner
604-871-6421
tiffany.rougeau@vancouver.ca

cc: Karen Hoese, Assistant Director, Rezoning Centre

Jameson Larch & 2ND Avenue LP
670 – 1665 West Broadway Vancouver BC V6J 1X1

Join us for a Pre-Application Open House

Date & Time: Wednesday September 12, 2018 6:00PM to 8:00PM

Place: Kitsilano Yacht Club - 2401 Point Grey Road Vancouver, BC V6K 1A1

Jameson is pleased to invite you to a Pre-Application Open House. The intent of the open house is to introduce the preliminary proposal to the community and to seek early community input, prior to submitting a formal rezoning application. We are proposing to rezone the site at 1805 Larch Street from RT-8 to CD-1 to allow for development of a residential rental building. The development is proposed under the Moderate Income Rental Housing Pilot Program (MIRHPP). All units are to be secured as market rentals and twenty percent (20%) of the residential units are earmarked to households earning \$30,000 to \$80,000 per annum.

Context Map



Contact Information

Doug Purdy: Telephone - 604-736-5546 or Email: doug@cpadevelopment.ca

This is not a City of Vancouver event. If a rezoning application is subsequently submitted to the City, there will be an official City-led public consultation process including a City-hosted open house with a detailed description of the application complete with a scale model.

MINI TRANSPORTATION REVIEW
RESIDENTIAL APARTMENT DEVELOPMENT 1805 LARCH STREET
VANCOUVER BC

Prepared by

BWW CONSULTING

North Vancouver BC

October 2018

MINI TRANSPORTATION REVIEW

RESIDENTIAL APARTMENT DEVELOPMENT

1805 Larch Street, Vancouver BC

INTRODUCTION

A redevelopment of the property at 1805 Larch Street in the City of Vancouver is being planned. The developer has commissioned BWW Consulting to do a “mini transportation review” of the project. This review is summarized below.

PROJECT LOCATION

The project is located on the south west corner of Larch Street and 2nd Avenue in the Kitsilano neighbourhood of the City of Vancouver. See Figure 1.

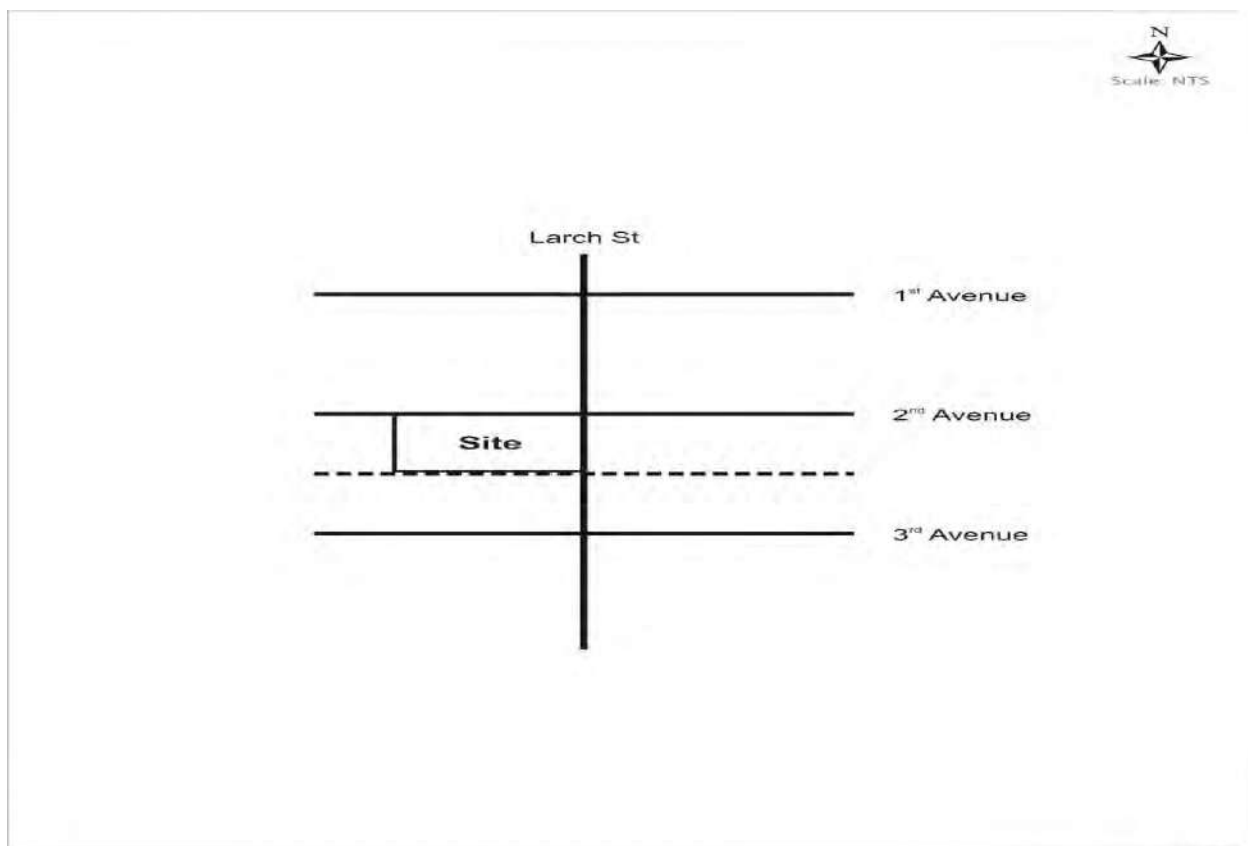


Figure 1
Project Location

September 2018

EXISTING DEVELOPMENT

The site is currently occupied by a church – TenthChurch. This building has limited on-site parking (24 +- stalls) that is accessed via the lane on the south side of the property.

DEVELOPMENT PROPOSAL

The project is located in a residential area on a site with frontage on two local streets (Larch, 2nd). The project is secured market rental housing with 67 units – 22 studios, 21 one bedroom, 20 two bedroom and four 3 bedroom. Parking (52 stalls) is provided underground with access from the lane on the south side of the property. The project also includes 131 class A bicycle stalls.

EXISTING CONDITIONS

Traffic

Both Larch and 2nd would be classified as local residential streets. The Larch/2nd intersection has stop signs on the 2nd approaches. The existing p.m. peak hour traffic volumes (peak 60 minutes between 3:30 p.m. and 6:00 p.m.) are shown on Figure 2. Note that p.m. traffic is busier (by 10 to 15%) than a.m. traffic so the p.m. period is the normal analysis period. The volumes shown on Figure 2 are commensurate with the type of streets and adjacent development.

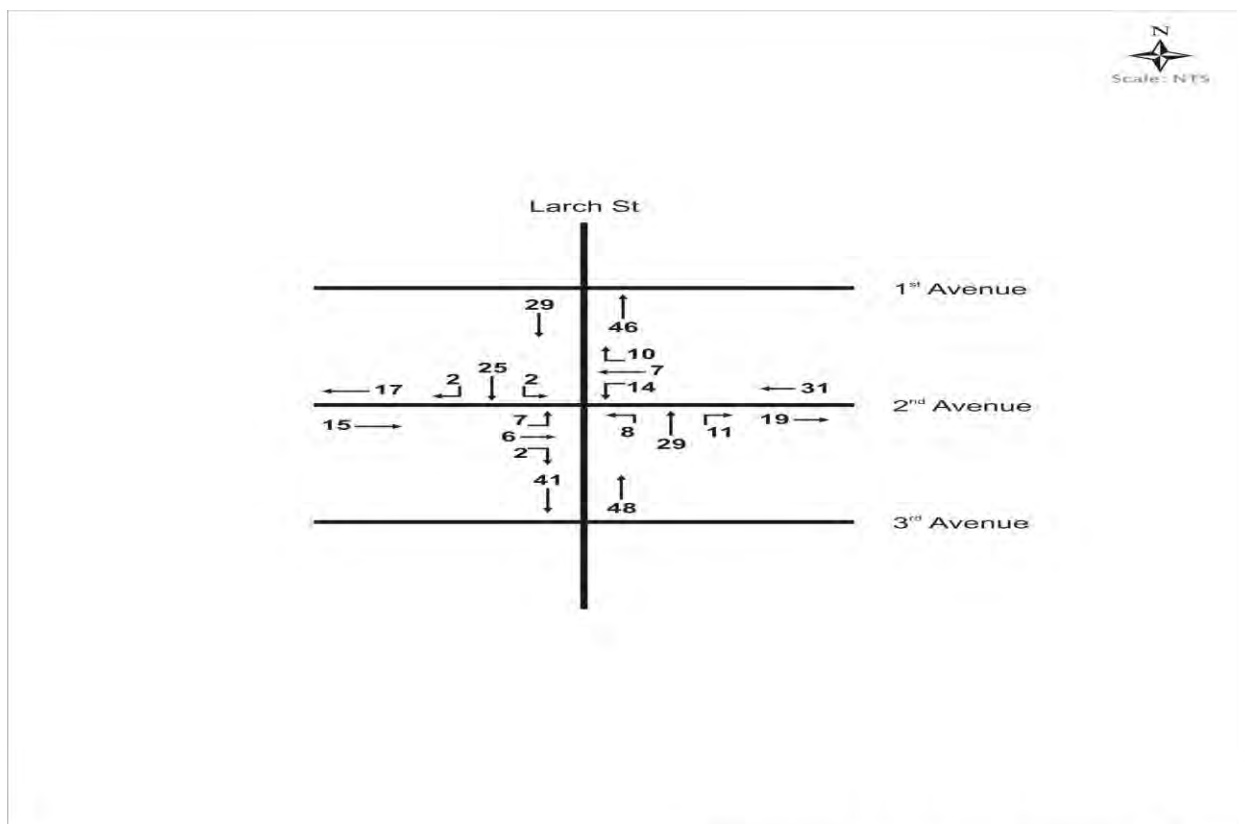


Figure 2
Existing PM Peak Hour Traffic

September 2018

Churches have different traffic activity patterns compared to residential or commercial development. Most churches have high activity levels on Sunday mornings with much lesser activity on weekdays and evenings. Church traffic is not a significant component of the traditional a.m. and p.m. peak period traffic.

The TenthChurch's busiest period is on Sunday from 9 a.m. to 2 p.m. centered on the 10:15 service. Attendees range up to 250. This attendance generates 60 to 80 vehicles that park in the neighbourhood. (The church location does generate a significant number of attendees that do not come by car.)

The other activities are daytime and evening with attendees ranging from 10 to 30. Other than Sunday morning the church generates very little traffic.

Parking

The existing on street parking conditions for a weekday evening are summarized below. Figure 3 shows the block faces surveyed near the project for the early evening (time of greatest demand). The table following shows the parking capacity and number of empty stalls.

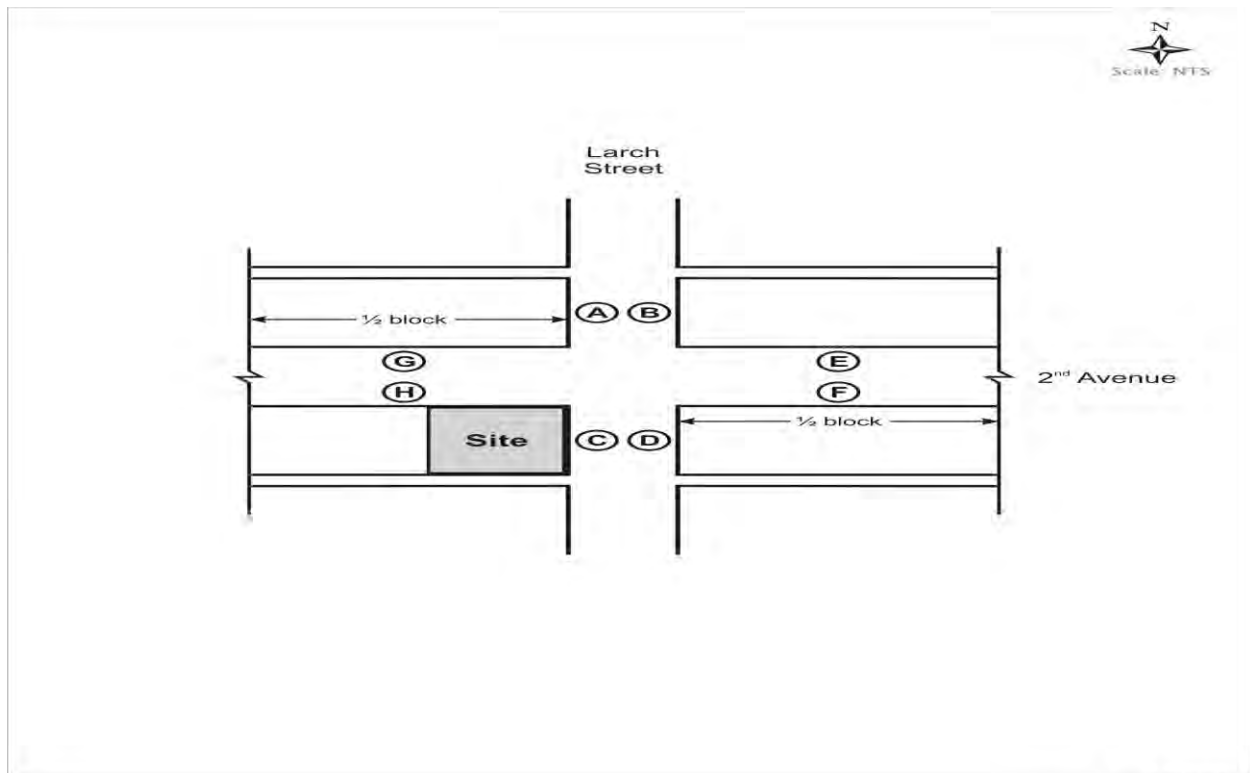


Figure 3
Parking
September 2018

| | Number of Stalls | Vacant at 6 p.m. | Vacant at 6:45 p.m. |
|--------------|------------------|------------------|---------------------|
| Block Face A | 5 | 1 | 1 |
| Block Face B | 5 | 1 | 1 |
| Block Face C | 5 | 1 | 1 |
| Block Face D | 5 | 1 | 0 |
| Block Face E | 10 | 2 | 2 |
| Block Face F | 4 | 0 | 0 |
| Block Face G | 10 | 5 | 3 |
| Block Face H | No parking | n/a | n/a |

There are very few stalls available on-street in the early evening.

DEVELOPMENT TRAFFIC & PARKING

Traffic

Project-generated traffic has been calculated for the a.m. and p.m. peak hours. The vehicle activity is shown in Figure 4. These vehicle trips have been calculated based on standard trip generation rates; however, these are likely high because of the potential for transit, walk and bicycle trips in this area.

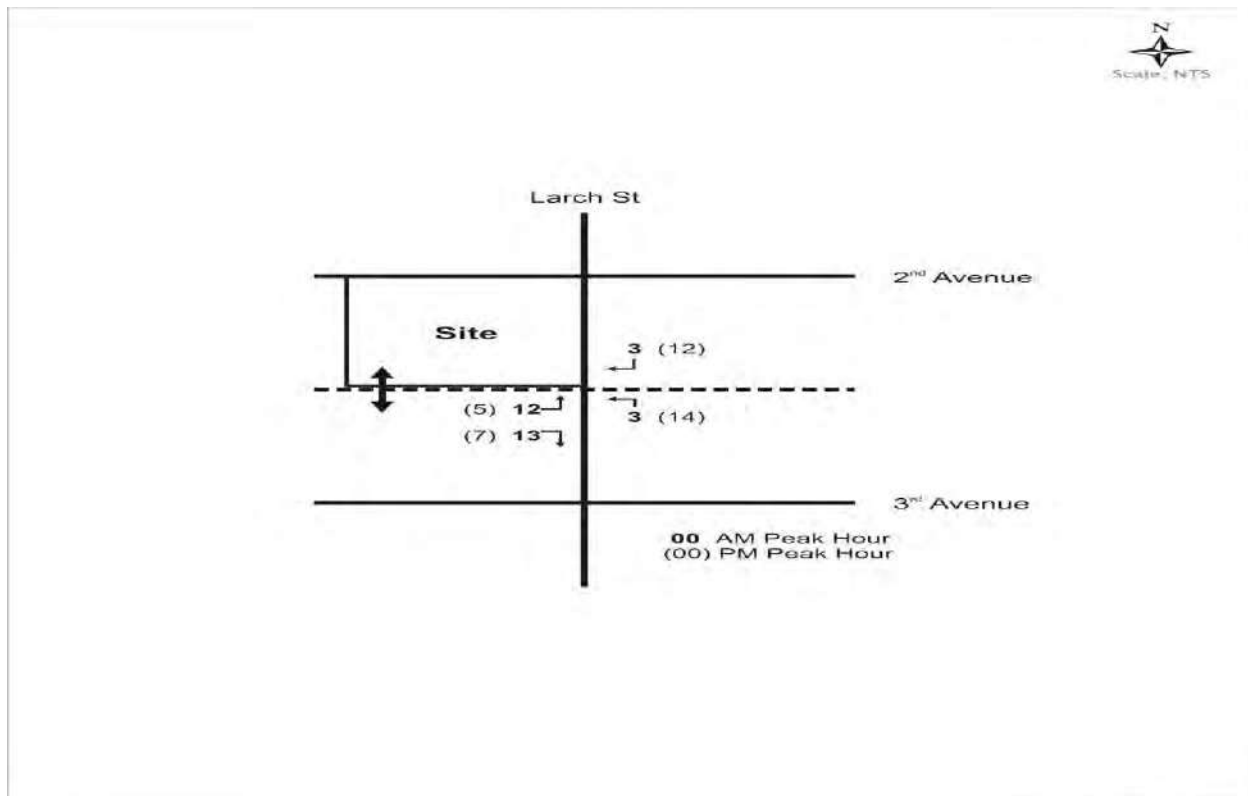


Figure 4
Project Traffic
September 2018

These low volumes will have no impact on the operation of the streets.

Parking

One of the elements of urban Transportation Demand Management is the amount of parking provided. In recent years the required parking rates for residential development have been decreasing commensurate with decreasing car ownership and the increasing use of alternative modes.

Key findings from the Metro Vancouver Apartment Parking Study done in 2012 are summarized below:

“Vehicle holdings and parking demand for apartment renters are much lower than for owners. This is consistent with prior research.” The demand rates for tenant parking ranged from 0.58 to 0.72 stalls per unit depending on proximity to transit services and retail/employment opportunities. Municipalities require a parking supply ranging from 1.1 to 2.0 stalls per unit.

“Visitor parking may be oversupplied.” Observed visitor parking demand rates were below 0.1 stalls per apartment unit and ranged from 0.0 to 0.06 visitor vehicles per apartment unit.

Based on the above rates the total parking demand (tenant + visitor) for this 67 unit project could range from $(0.58 \times 67) = 39$ to $(0.78 \times 67) = 53$ stalls.

The project is proposing a parking supply of 46 tenant stalls and 6 visitor stalls for a total of 52 stalls. The Architect has calculated the required number of stalls to be 33. The provision of 19 additional stalls (58% increase) means there will be little or no pressure on the very limited on-street parking.

SUMMARY

A 67 unit secured market rental housing building is planned to replace the church on the south west corner of 2nd and Larch in Kitsilano.

- Project will generate low traffic volumes: approximately 1 vehicle every 2 minutes in the a.m. and p.m. peak periods
- These low volumes added to existing traffic will have no impact on the operation of the street system
- Church-related traffic and parking demands will be eliminated – this will be particularly beneficial to the immediate neighbourhood on Sundays
- Parking supply (for tenants and visitors) proposed is 58% higher than the calculated requirement
- The proposed parking supply will eliminate pressure on on-street parking.

BWW CONSULTING

October 2018

1805 LARCH STREET



DRAWING LIST

| | |
|------|------------------------------------|
| A001 | COVER |
| A002 | STATS |
| A003 | FSR AREA OVERLAYS + CALCULATIONS |
| A004 | STREET PHOTOS |
| A005 | CONTEXT |
| A006 | SURVEY PLAN |
| A007 | SHADOW |
| A008 | SHADOW VIEWS |
| A010 | SITE PLAN |
| A097 | PLAN - PARKING LEVEL P3 |
| A098 | PLAN - PARKING LEVEL P2 |
| A099 | PLAN - PARKING LEVEL P1 |
| A101 | PLAN - LEVEL 1 |
| A102 | PLAN - LEVEL 2 & 3 |
| A104 | PLAN - LEVEL 4 |
| A105 | PLAN - LEVEL 5 |
| A110 | PLAN - ROOF LEVEL |
| A201 | SECTION - LONG E/W |
| A202 | SECTION - CROSS N/S |
| A301 | ELEVATION - NORTH (FRONT, 2ND AVE) |
| A302 | ELEVATION - EAST (LARCH) |
| A303 | ELEVATION - WEST (INTERNAL) |
| A304 | ELEVATION - SOUTH (BACK, LANE) |

Grand total: 23

PROJECT

Larch Street
Vancouver, BC, Canada

DRAWING

COVER

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.

This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the work the contractor shall verify all dimensions, datum and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full contract documents, and, bring these items to the attention of the Architect for clarification.

| | |
|-------|----------|
| DRAWN | DATE |
| | 04/23/18 |

| | |
|-------|----------|
| SCALE | REVIEWED |
| | |

| | |
|------------|------|
| PROJECT NO | 1805 |
|------------|------|

A001

Page 472 of 494

LEGAL DESCRIPTION:

Lots 8, 9, and 10 Block 220A
Except the SOUTH 2 FEET NOW LANE
District Lot 526 Group 1
New Westminster District Plan 1058

CIVIC ADDRESS:

1805 LARCH STREET

ZONING:

currently RT-8 with RM-4 across Larch St.

SITE AREA:

150' x 118' = 17,700 SF

SITE COVERAGE:

maximum: N/A
proposed:0.6 (11,120 SF)

FSR:

current: N/A
proposed:± 2.498 (44,225 SF)

PROPOSED DEVELOPMENT:

67 Residential Units

| | | |
|----|--------|--------------------------------|
| 22 | STUDIO | (32.8 %) |
| 21 | 1 BED | (31.3 %) |
| 20 | 2 BED | (29.8 %) |
| 4 | 3 BED | (5.9 %) = 35.7% Family Units |

OPEN RESIDENTIAL BALCONY AREA:

Maximum : 8% of FSR
Allowed : 4,250 sf
Proposed: 1,720 sf (3.2 %)

BUILDING HEIGHT:

| | | | |
|-------------------|------|--------|---------|
| Current | RT-8 | 10.7m | 35'-0" |
| Adjoining | RM-4 | 10.7m | 35'-0" |
| Adjoining similar | RM-3 | 36.0 m | 120'-0" |
| Proposed: | CD-1 | 20.0 m | 66'-0" |

BUILDING SETBACKS:

| | Required | Proposed |
|------------------------------|-------------------|----------------|
| Front Yard: (Larch St) | avg.5.2m (17'-0") | 3.35m (11'-0") |
| Exterior Side Yard:(2nd Ave) | 1.5m (5'-0") | 7.30m (24'-0") |
| Interior Side Yard: (Lane) | 1.5m (5'-0") | 0.90m (3'-0") |
| Rear Yard: (West P.L.) | N / A | 3.85m (12'-8") |

BULK STORAGE:

Above grade:
none

Below grade:
67 storage lockers with min 200 m3.

CAR PARKING:

4.5.B1 Secured Market Rental Housing
1 space / 125 sm gross floor area
(if two blocks intersection of two bus routes than 20% reduction)
1 space/125 sm (44,225 sf = 4,110 sm)
= 4,110 / 125 = 33 spaces

Visitor Spaces:
7.5% of total units
67 units x .075 = 5 spaces

Maximum spaces
= min spaces + 0.5 space / unit
= 40 + (67 x .05) = 74 spaces max.

Total required: 33 spaces (without 20% reduction)
Total provided: 46 stalls (or 61 COV count)

| Car stalls provided | Required | Provided |
|---------------------|----------|-----------------------|
| regular | 22 | = 33 (incl 6 visitor) |
| small | 8 | = 16 (25% =13) |
| accessible | 3 | = 3 |
| total | 33 | = 52 (55 COV count) |

Accessible stall counts for 2 spaces
Car share counts for 5 spaces

Accessible Stall:
1 for first 7 units
+ 0.034 / additional units
1 + (67 x 0.034) = 3.278
3 accessible stall provided

BICYCLE PARKING:

Class A
1.25 per unit
up to 80 units = 100 bicycle stalls

| | Required | Provided |
|------------|----------|----------|
| horizontal | 50 | 67 |
| vertical | 30 | 44 |
| locker | 20 | 20 |
| | 100 | 131 |

Class B
6 bicycle stalls for minimum 20 units

LOADING:
No requirement

AREA SUMMARY

| | Gross | Excl | FSR | Units |
|-------|-----------|--------|-----------|-------|
| P1 | 1,980 sf | 700 sf | 1,280 sf | 2 |
| L1 | 9,069 sf | - sf | 9,069 sf | 14 |
| L2 | 9,329 sf | - sf | 9,329 sf | 15 |
| L3 | 9,329 sf | - sf | 9,329 sf | 15 |
| L4 | 9,329 sf | - sf | 9,329 sf | 14 |
| L5 | 5,889 sf | - sf | 5,889 sf | 7 |
| Total | 44,925 sf | 700 sf | 44,225 sf | 67 |

SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
STATS

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.

This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the work the contractor shall verify all dimensions, datums and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for clarification.

| | |
|-------|----------|
| DRAWN | DATE |
| | 07/17/18 |
| SCALE | REVIEWED |
| | |

| | |
|------------|------|
| PROJECT NO | 1805 |
|------------|------|

| RENTABLE UNITS | | |
|----------------|------|------|
| Number | Name | Area |

| | | |
|-------------|----|---------|
| LEVEL P1 | | |
| LW1A | LW | 559 SF |
| LW1B | LW | 520 SF |
| LEVEL P1: 2 | | 1079 SF |

| | | |
|-------------|----|---------|
| LEVEL 1 | | |
| 101 | ST | 373 SF |
| 102 | ST | 373 SF |
| 103 | ST | 373 SF |
| 104 | ST | 391 SF |
| 105 | 3B | 848 SF |
| 106 | 2B | 612 SF |
| 107 | ST | 334 SF |
| 108 | 1B | 465 SF |
| 109 | 1B | 463 SF |
| 110 | 1B | 463 SF |
| 111 | 2B | 616 SF |
| 112 | 1B | 484 SF |
| 113 | 1B | 523 SF |
| 114 | 2B | 639 SF |
| LEVEL 1: 14 | | 6955 SF |

| | | |
|-------------|----|---------|
| LEVEL 2 | | |
| 201 | ST | 372 SF |
| 202 | ST | 371 SF |
| 203 | ST | 371 SF |
| 204 | ST | 389 SF |
| 205 | 3B | 841 SF |
| 206 | 2B | 624 SF |
| 207 | ST | 344 SF |
| 208 | 1B | 497 SF |
| 209 | 1B | 494 SF |
| 210 | 1B | 494 SF |
| 211 | 2B | 652 SF |
| 212 | 1B | 486 SF |
| 213 | ST | 344 SF |
| 214 | 1B | 527 SF |
| 215 | 2B | 640 SF |
| LEVEL 2: 15 | | 7447 SF |

| | | |
|-------------|----|---------|
| LEVEL 3 | | |
| 301 | ST | 372 SF |
| 302 | ST | 371 SF |
| 303 | ST | 371 SF |
| 304 | ST | 389 SF |
| 305 | 3B | 841 SF |
| 306 | 2B | 624 SF |
| 307 | ST | 344 SF |
| 308 | 1B | 497 SF |
| 309 | 1B | 494 SF |
| 310 | 1B | 494 SF |
| 311 | 2B | 652 SF |
| 312 | 1B | 486 SF |
| 313 | ST | 344 SF |
| 314 | 1B | 527 SF |
| 315 | 2B | 640 SF |
| LEVEL 3: 15 | | 7447 SF |

| | | |
|-------------|----|---------|
| LEVEL 4 | | |
| 401 | ST | 372 SF |
| 402 | ST | 371 SF |
| 403 | ST | 371 SF |
| 404 | ST | 389 SF |
| 405 | 3B | 841 SF |
| 406 | 2B | 624 SF |
| 407 | 2B | 787 SF |
| 408 | 1B | 494 SF |
| 409 | 1B | 494 SF |
| 410 | 2B | 652 SF |
| 411 | 1B | 486 SF |
| 412 | ST | 344 SF |
| 413 | 1B | 527 SF |
| 414 | 2B | 640 SF |
| LEVEL 4: 14 | | 7392 SF |

| | | |
|-----------------|----|----------|
| LEVEL 5 | | |
| 501 | 2B | 630 SF |
| 502 | 2B | 626 SF |
| 503 | 2B | 656 SF |
| 504 | 2B | 657 SF |
| 505 | 2B | 656 SF |
| 506 | 2B | 624 SF |
| 507 | 2B | 639 SF |
| LEVEL 5: 7 | | 4488 SF |
| Grand total: 67 | | 34808 SF |

SEAL

ISSUED

2018 08 07 CLIENT

REVISION

2018 08 13 ISSUED TO CLIENT

PROJECT

Larch Street
Vancouver, BC, Canada

DRAWING

FSR AREA OVERLAYS +
CALCULATIONS

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.

This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the work the contractor shall verify all dimensions, datum and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for clarification.

DRAWN

DATE

07/18/18

SCALE

REVIEWED

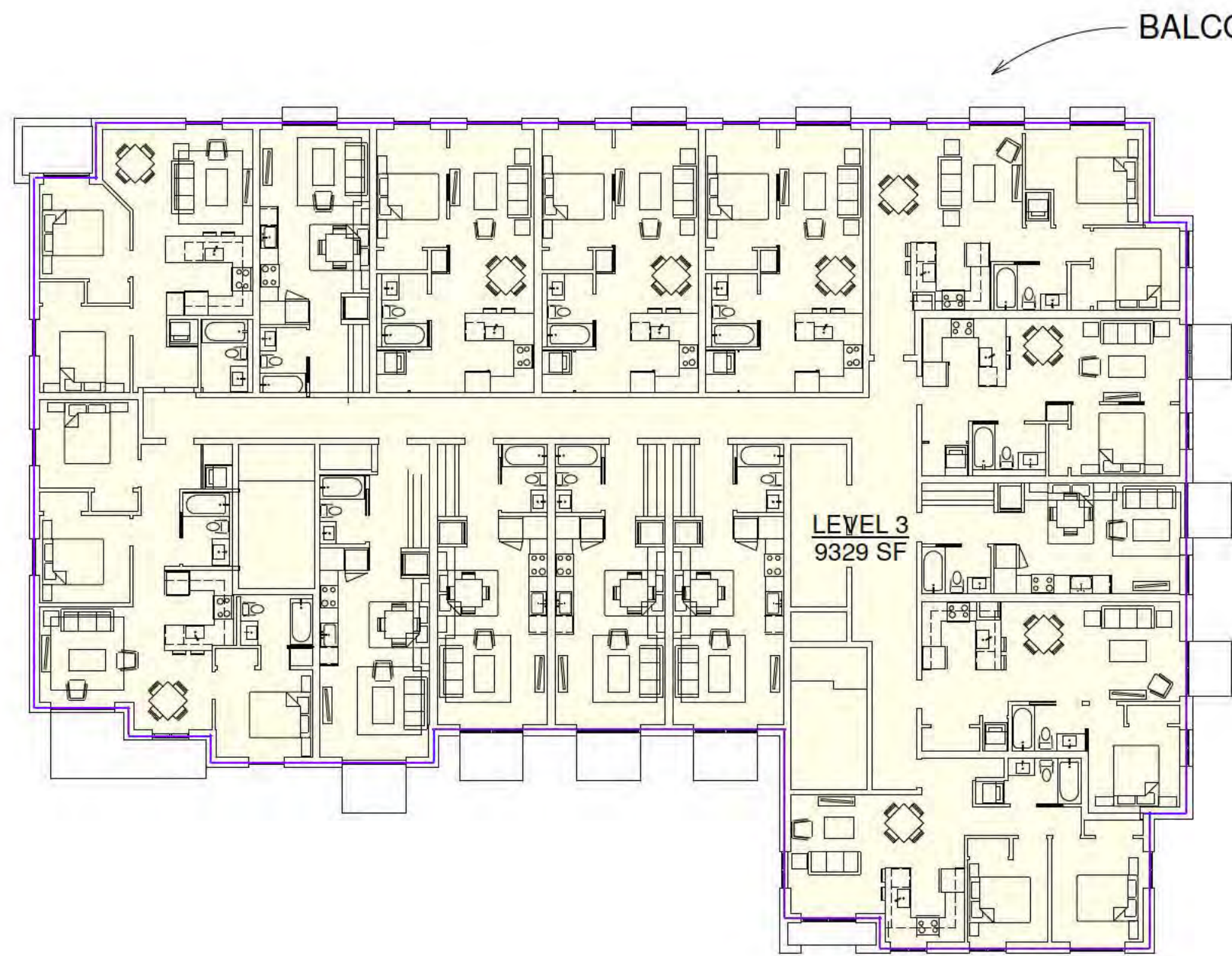
1/16" = 1'-0"

PROJECT NO

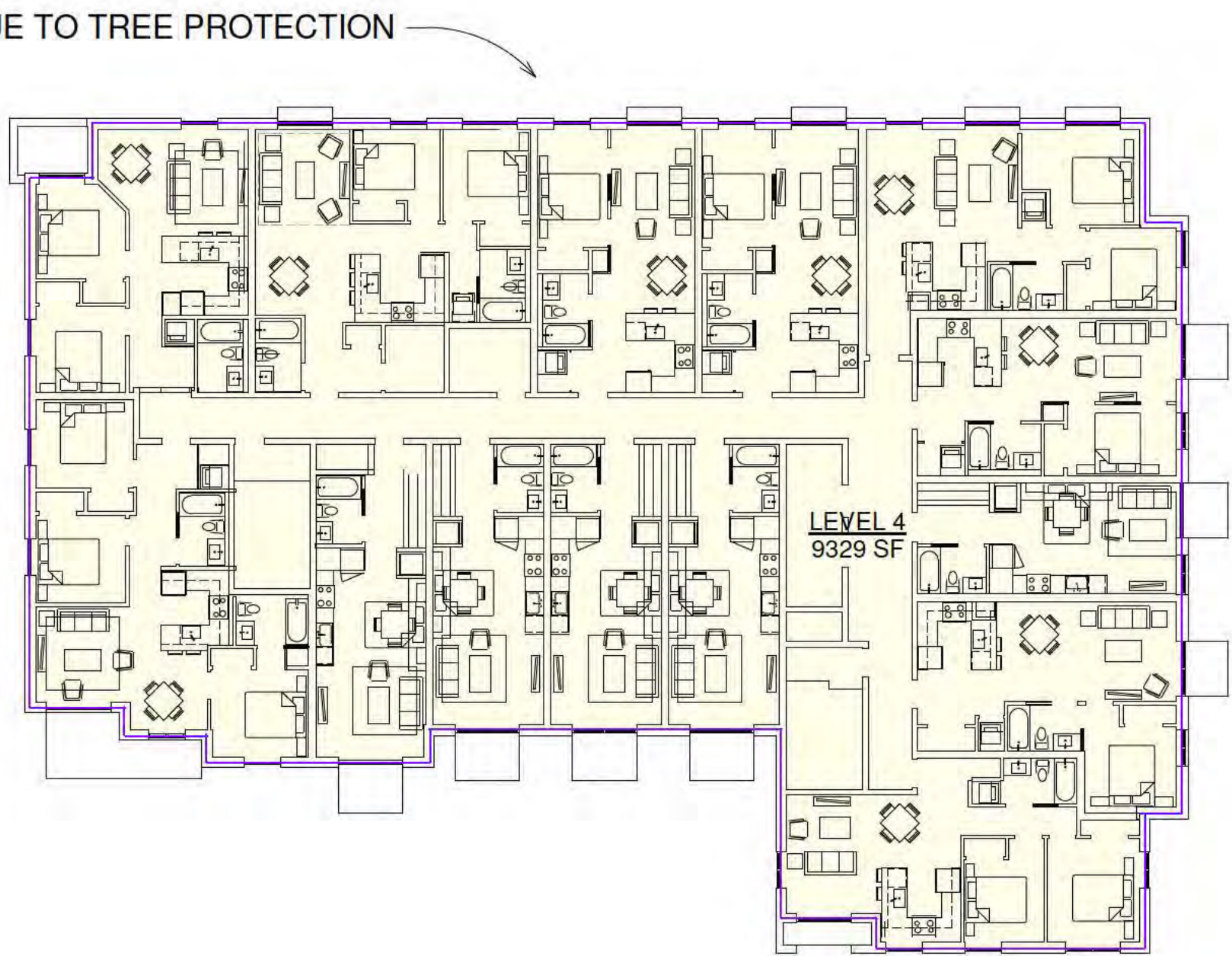
1805

A003

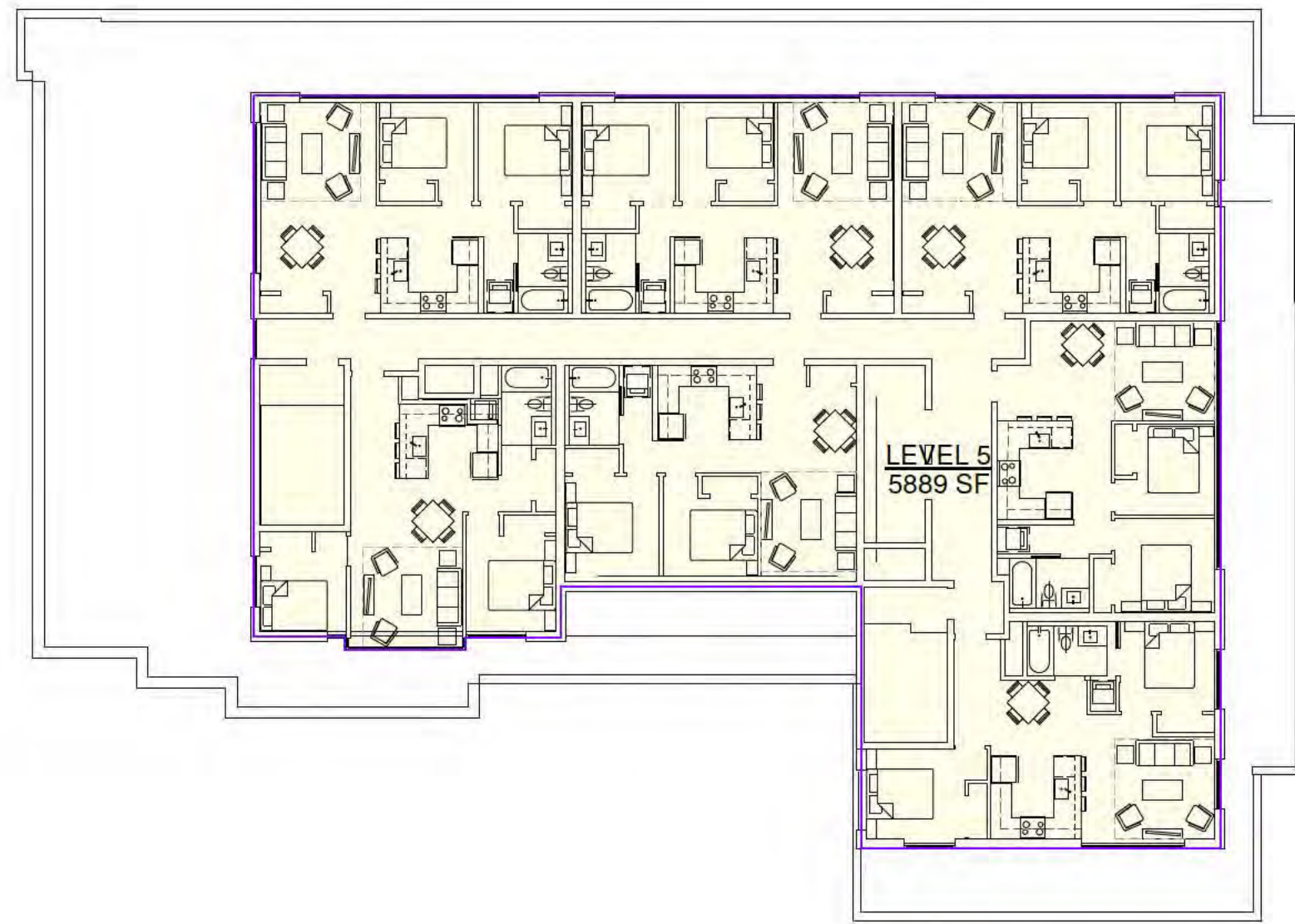
Page 474 of 494



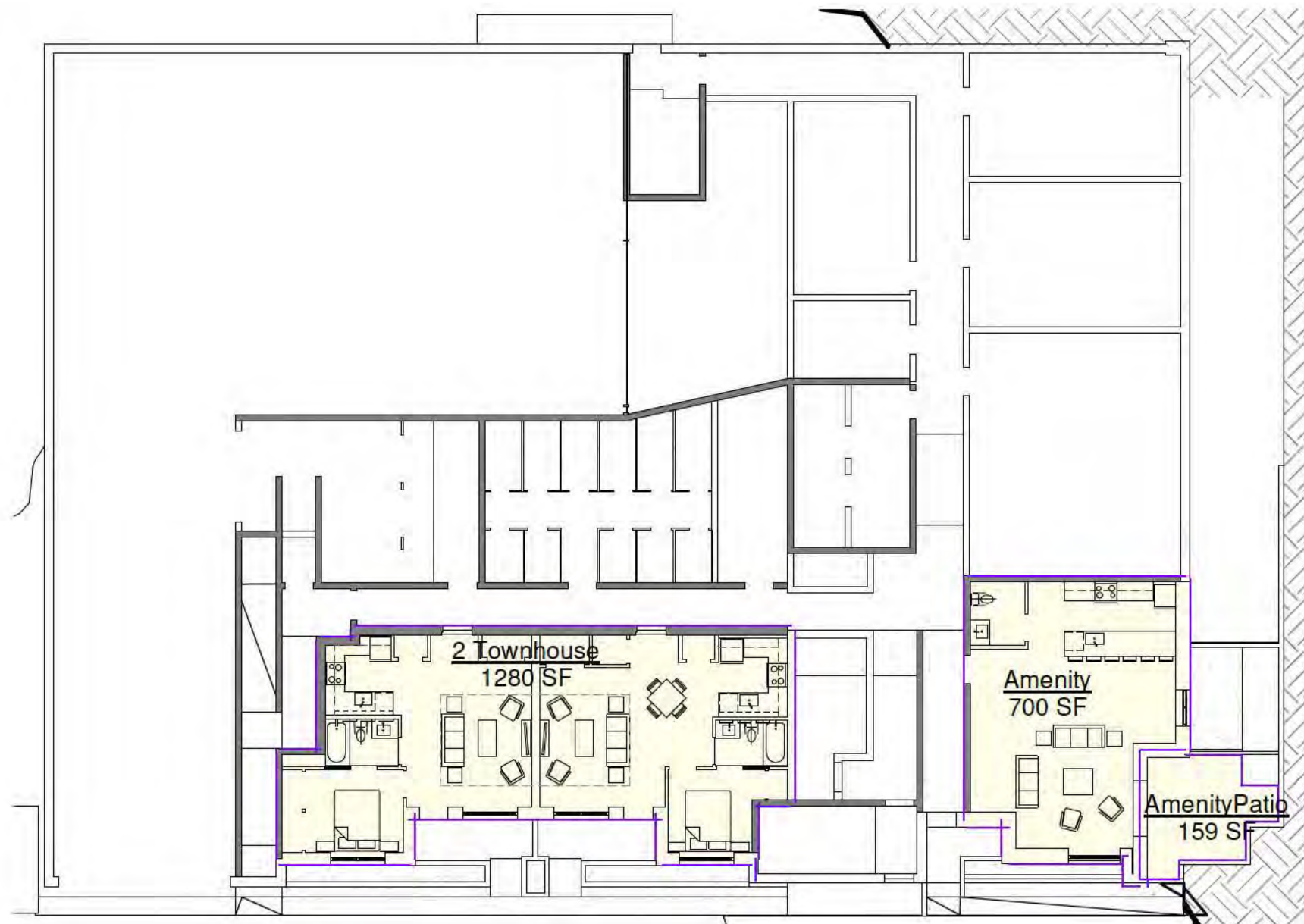
3 LEVEL 3
A201 SCALE: 1/16" = 1'-0"



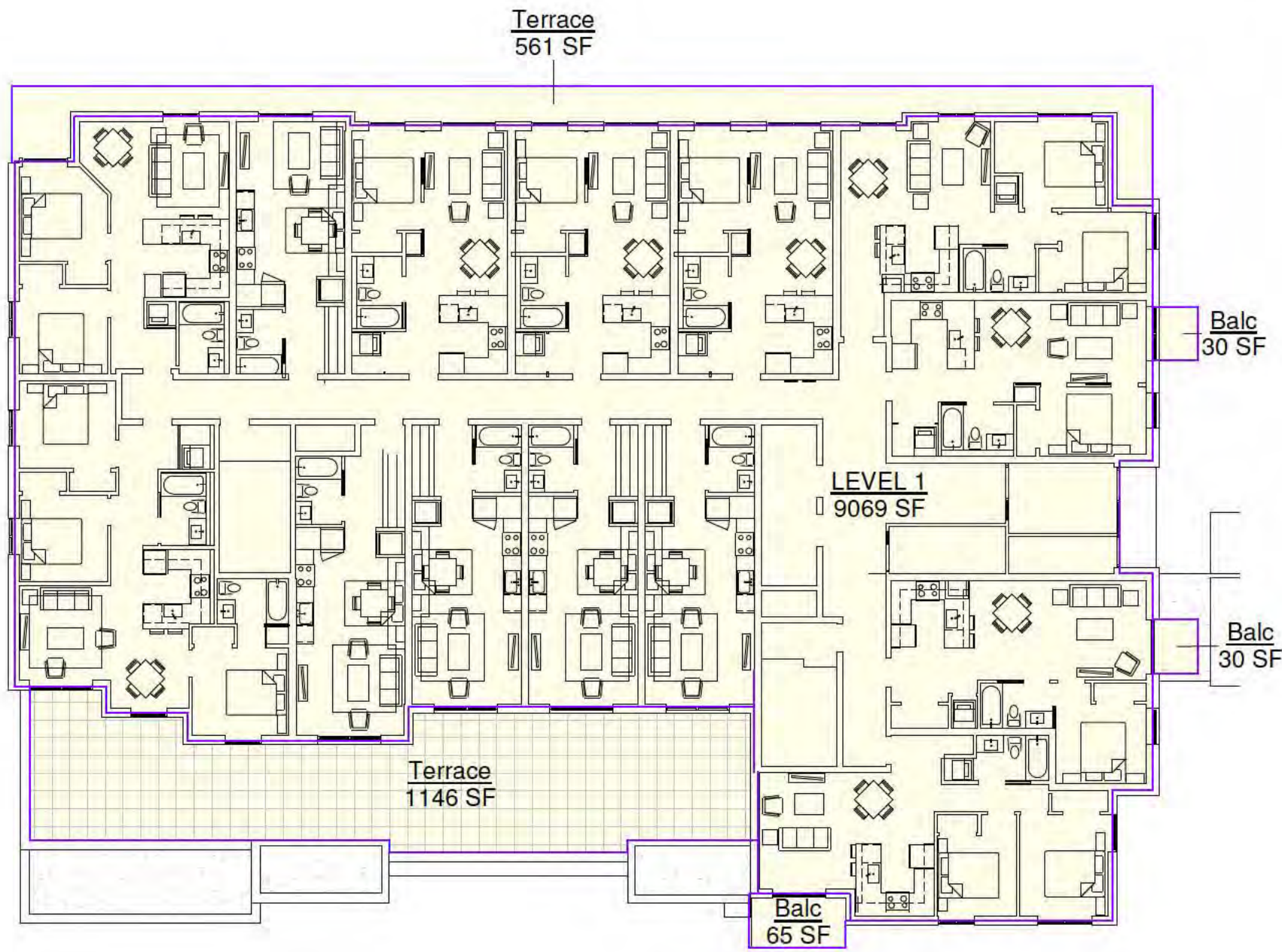
4 LEVEL 4
A201 SCALE: 1/16" = 1'-0"



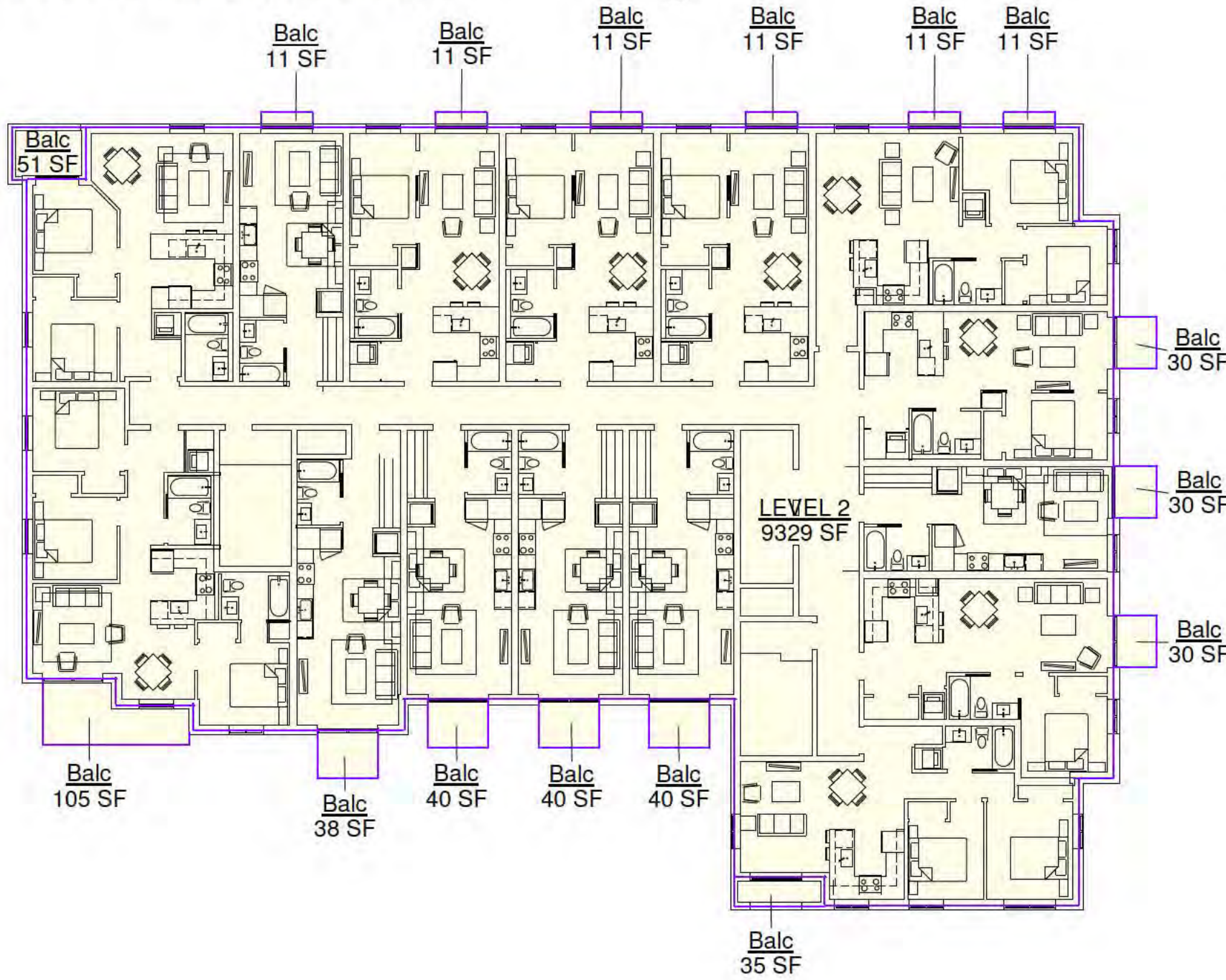
5 LEVEL 5
A201 SCALE: 1/16" = 1'-0"



P1 LANEWAY / P1 LEVEL
A202 SCALE: 1/16" = 1'-0"



1 LEVEL 1
A201 SCALE: 1/16" = 1'-0"



2 LEVEL 2
A201 SCALE: 1/16" = 1'-0"

NOTE: FSR AREA BOUNDARY
MEASURED TO WALL SHEATHING

| FSR | |
|-------|------|
| Level | Area |

| | |
|----------------|----------|
| LANEWAY | 1280 SF |
| LEVEL 1 | 9069 SF |
| LEVEL 2 | 9329 SF |
| LEVEL 3 | 9329 SF |
| LEVEL 4 | 9329 SF |
| LEVEL 5 | 5889 SF |
| Grand total: 6 | 44225 SF |

NOTE: total does not include amenity area

UNIT MIX

| | | |
|----|----|-------|
| ST | 22 | 32.8% |
| 1B | 21 | 31.3% |
| 2B | 20 | 29.8% |
| 3B | 4 | 5.9% |
| 67 | | |

FAMILY UNITS
(2B + 3B) = 35.7%



VIEW 1 - FROM CORNER LARCH & WEST 2ND AVE LOOKING WEST



VIEW 2 - FROM CORNER LARCH & WEST 2ND AVE LOOKING SW



EXISTING ARIAL VIEW FROM NW



VIEW 3 - FROM LARCH & WEST 3RD AVE LOOKING NORTH

SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
STREET PHOTOS

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.

This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the work the contractor shall verify all dimensions, datum and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for clarification.

| | |
|-------|----------|
| DRAWN | DATE |
| SCALE | REVIEWED |

| | |
|------------|------|
| PROJECT NO | 1805 |
|------------|------|

SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
CONTEXT

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.

This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencing of the work the contractor shall verify all dimensions, distances and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full contract documents, and bring these items to the attention of the Architect for clarification.

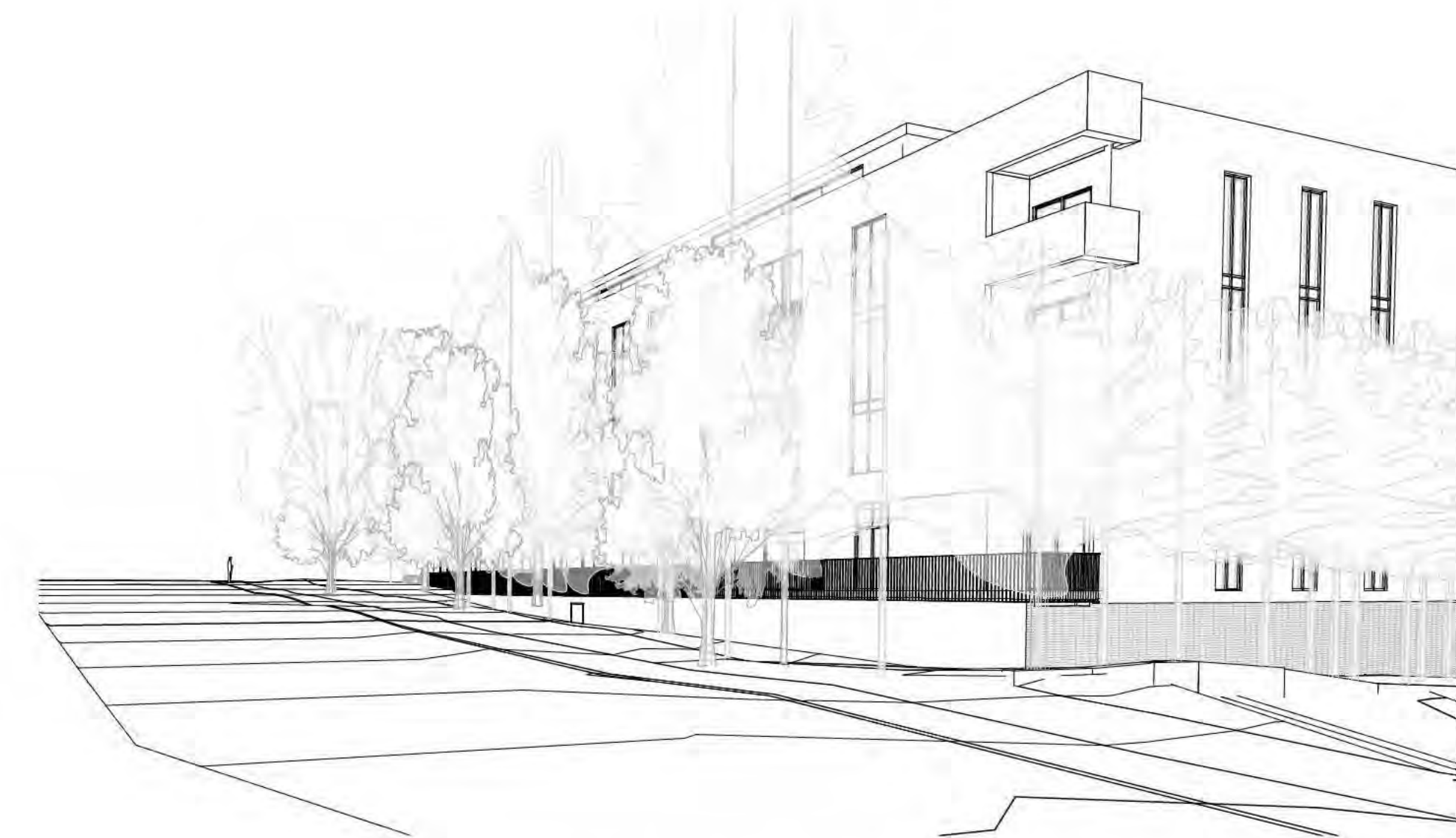
| | |
|---------------|----------|
| DRAWN | DATE |
| 1/32" = 1'-0" | 07/17/18 |
| PROJECT NO | REVIEWED |
| 1805 | |



PERSPECTIVE VIEW FROM CORNER LARCH & WEST 2ND AVE



PERSPECTIVE VIEW FROM LANE LOOKING NE



PERSPECTIVE VIEW FROM WEST 2 AVE LOOKING SE



AL

VISION

18 08 13 ISSUED TO CLIENT

OBJECT

Arch Street
Vancouver, BC, Canada

AWING

SURVEY PLAN

right reserved. This design and drawing is the exclusive property of ETRIC and cannot be used for any purpose without the written consent of the Architect.

to commencement of the work the contractor shall: verify all dimensions, distances and levels to identify any errors and omissions; report any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for correction.

AWN DATE

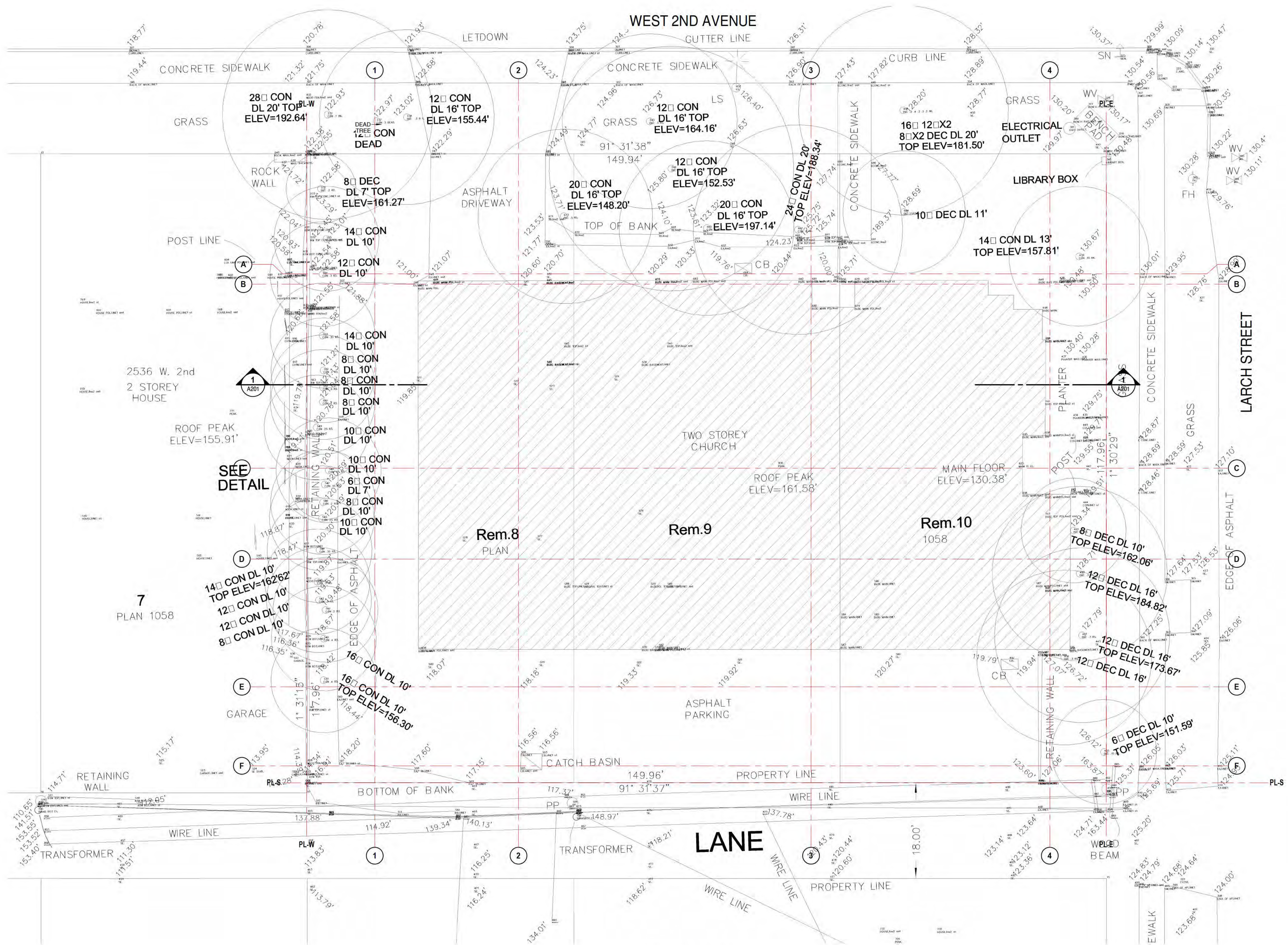
07/17/18

1" = 1'-0"

| | |
|------------|------|
| PROJECT NO | 1805 |
|------------|------|

A006

Page 477 of 494



SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
SHADOW

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.
This drawing is not to be used for construction until issued for that purpose by the Architect.
Prior to commencement of the work the contractor shall verify all dimensions, datum and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for clarification.

| | |
|------------|----------|
| DRAWN | DATE |
| SCALE | REVIEWED |
| PROJECT NO | 1805 |

A007

Page 478 of 494



MARCH 21 @ 10 AM

NO SHADOW TO REAR YARD
OF 2536 W2ND AVE.



MARCH 21 @ 12 PM



MARCH 21 @ 2 PM



MARCH 21 @ 4 PM



SEPTEMBER 21 @ 10 AM

NO SHADOW TO REAR YARD
OF 2536 W2ND AVE.



SEPTEMBER 21 @ 12 PM



SEPTEMBER 21 @ 2 PM



SEPTEMBER 21 @ 4 PM

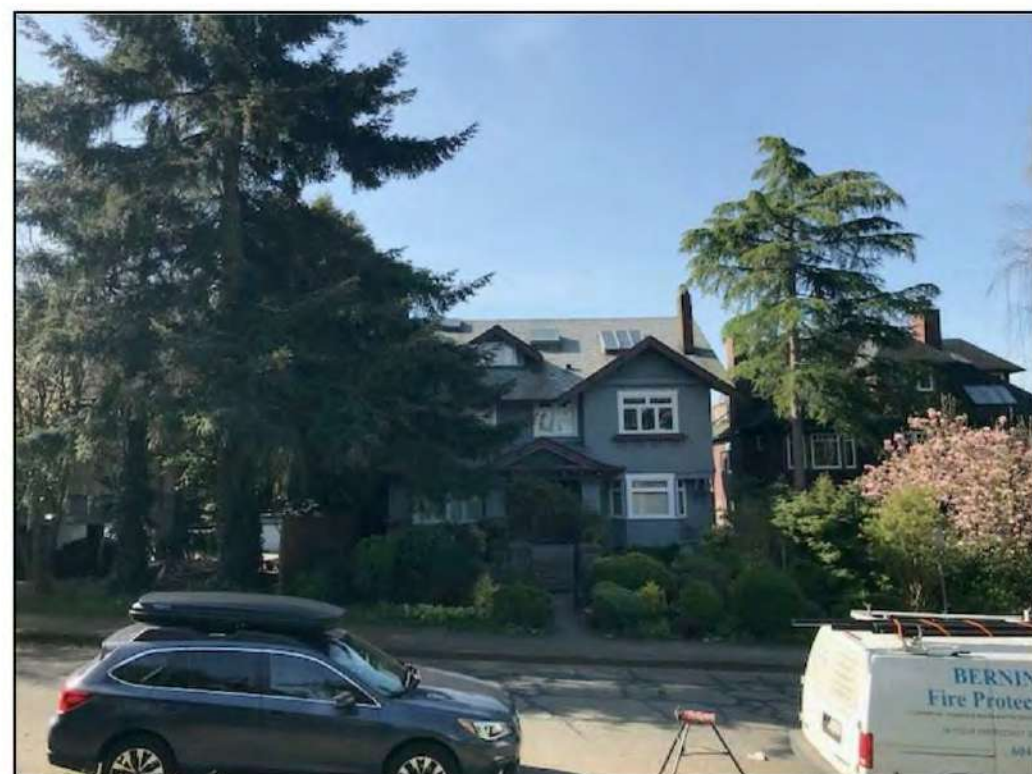


PHOTO 1

EXISTING CONDITION
Photo taken on April 24 @ 9:34 am
approximates
MARCH 21 and SEPT 21 @ 10 AM

FRONT YARD
MOSTLY IN SHADOW
FROM TALL FIR AND
CEDAR HEDGE

2536 W2ND AVE

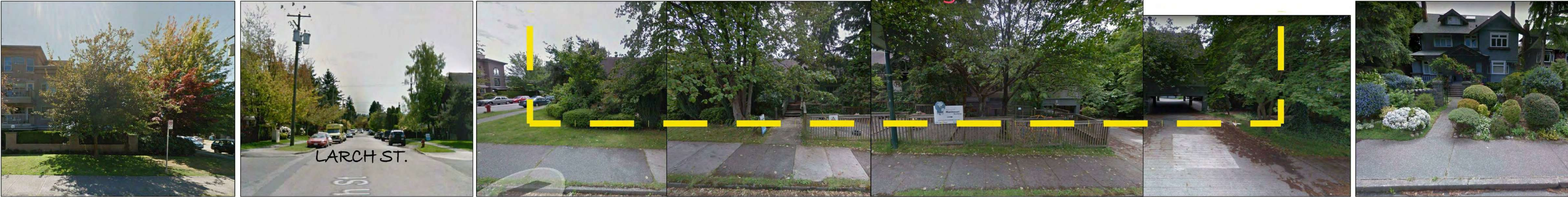


PHOTO 2

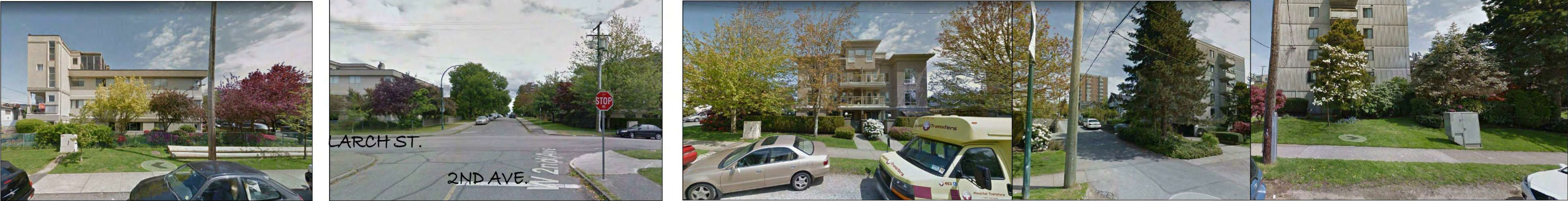
EXISTING CONDITION
Photo taken on April 23 @ 3:30 pm
approximates
MARCH 21 and SEPT 21 @ 4 pm

FRONT YARD
MOSTLY IN SHADOW
FROM TREES AND
BUILDING

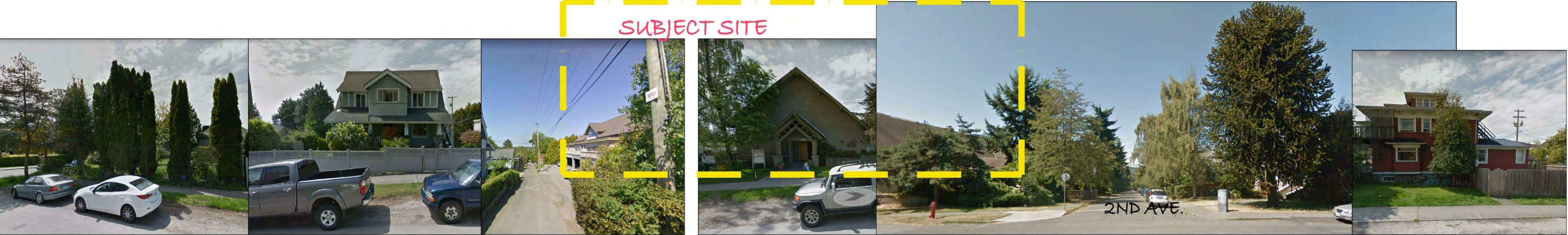
2490 W2ND AVE



2ND AVENUE STREETSCAPE : LOOKING SOUTH



LARCH STREET STREETSCAPE : LOOKING EAST



LARCH STREET STREETSCAPE : LOOKING WEST



2ND AVENUE STREETSCAPE : LOOKING NORTH

METRIC

ARCHITECTURE

1645 West 5th Ave
Vancouver, BC
Canada V6J 1N5
T 604.376.7095 / 604.786.2868
E info@metricarchitects.com

JAMESON
DEVELOPMENT
CORP

SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
SHADOW VIEWS

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.
This drawing is not to be used for construction until issued for that purpose by the Architect.
Prior to commencement of the work the contractor shall verify all dimensions, datum and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for clarification.

| | |
|------------|----------|
| DRAWN | DATE |
| SCALE | REVIEWED |
| PROJECT NO | 1805 |

A008
Page 479 of 494



SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
SITE PLAN

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.
This drawing is not to be used for construction until issued for that purpose by the Architect.
Prior to commencement of the work the contractor shall verify all dimensions, datum and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full contract documents, and, bring these items to the attention of the Architect for clarification.

| | |
|--------------|----------|
| DRAWN | DATE |
| 1/8" = 1'-0" | 07/17/18 |
| PROJECT NO | REVIEWED |
| 1805 | |

SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
PLAN - PARKING LEVEL P3

Copyright reserved. This design and drawing is the exclusive property of METRIC, and cannot be used for any purpose without the written consent of the Architect.

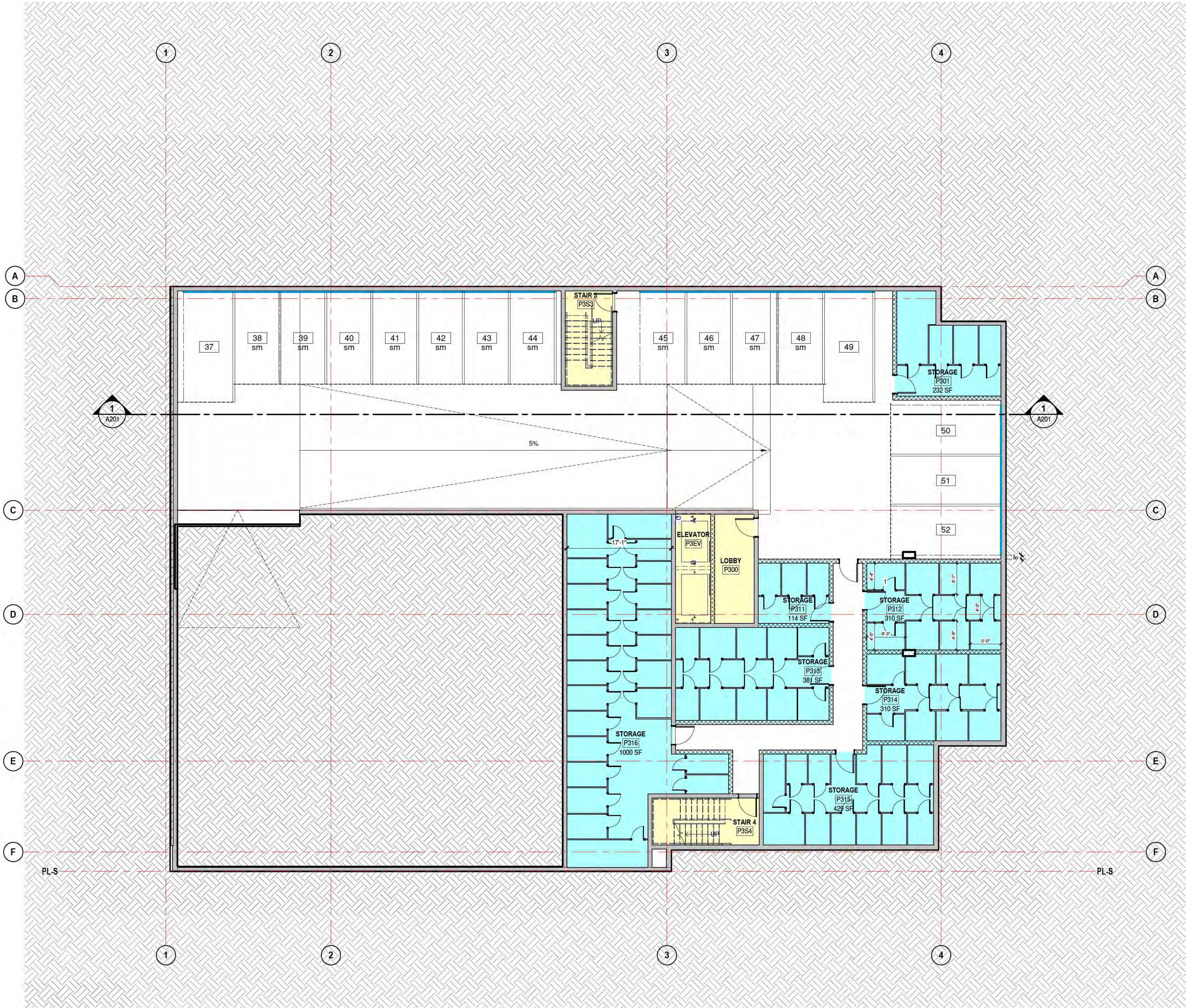
This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the work the contractor shall verify all dimensions, details and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full contract documents, and bring these items to the attention of the Architect for clarification.

| | |
|--------------|----------|
| DRAWN | DATE |
| | 08/13/18 |
| SCALE | REVIEWED |
| 1/8" = 1'-0" | |
| PROJECT NO | 1805 |

A097

Page 481 of 494





AL



Schema 1 Legend

- | | |
|---------------|--|
| AMENITY | |
| BIKES | |
| BULK STORAGE | |
| CIRC | |
| ELEC | |
| ELEVATOR | |
| LOBBY | |
| LW | |
| MECH | |
| STAIR 1 | |
| STAIR 2 | |
| STAIR 3 | |
| STAIR 4 | |
| WASTE RECYCLE | |

VISION

18 08 13 ISSUED TO CLIENT

OBJECT

Arch Street
Vancouver, BC, Canada

AWING

PLAN - PARKING LEVEL P1

drawing is not to be used for construction until issued for that use by the Architect.

drawing is not to be used for construction until issued for that use by the Architect

to commencement of the work the contractor shall: verify all dimensions, distances and levels to identify any errors and omissions; retain any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for clarification.

AWN DATE

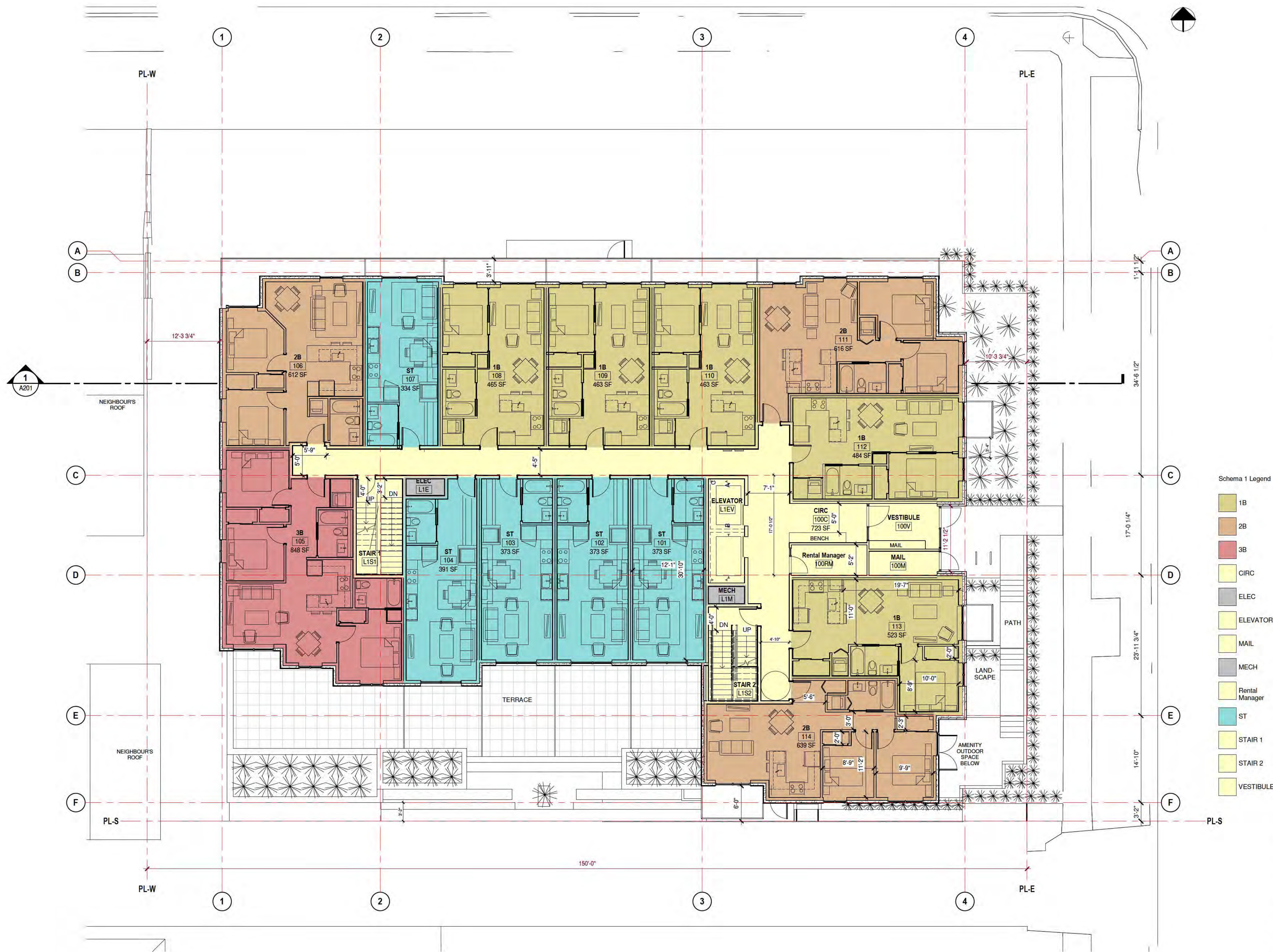
| | |
|------|----------|
| DATE | 07/17/18 |
| FILE | REVIEWED |

1" = 1'-0"

PROJECT NO 1805

A099

Page 483 of 494



- Schema 1 Legend
- 1B
 - 2B
 - 3B
 - CIRC
 - ELEC
 - ELEVATOR
 - MAIL
 - MECH
 - Rental Manager
 - ST
 - STAIR 1
 - STAIR 2
 - VESTIBULE

SEAL

ISSUED
2018 08 07 CLIENT

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
PLAN - LEVEL 1

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.
This drawing is not to be used for construction until issued for that purpose by the Architect.
Prior to commencement of the work the contractor shall verify all dimensions, details and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for clarification.

DRAWN
DATE
07/17/18

SCALE
1/8" = 1'-0"

PROJECT NO
1805

REVIEWED

AL

SUED

18 08 07 CLIENT

VISION

18 08 13 ISSUED TO CLIENT

OBJECT

Arch Street
Vancouver, BC, Canada

AWING

PLAN - LEVEL 2 & 3

right reserved. This design and drawing is the exclusive property of ETRC and cannot be used for any purpose without the written consent of the Architect.

drawing is not to be used for construction until issued for that use by the Architect

to commencement of the work the contractor shall: verify all relations, datums and levels to identify any errors and omissions; obtain any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for clarification.

AWN DATE

07/17/18

| | |
|------------|----------|
| DATE | REVIEWED |
| 11-11-2011 | |

| QUEST NO | 1895 |
|----------|------|
|----------|------|

A102

Page 485 of 494





SEAL

ISSUED

2018 08 07 CLIENT

REVISION

2018 08 13 ISSUED TO CLIENT

PROJECT

Larch Street
Vancouver, BC, Canada

DRAWING

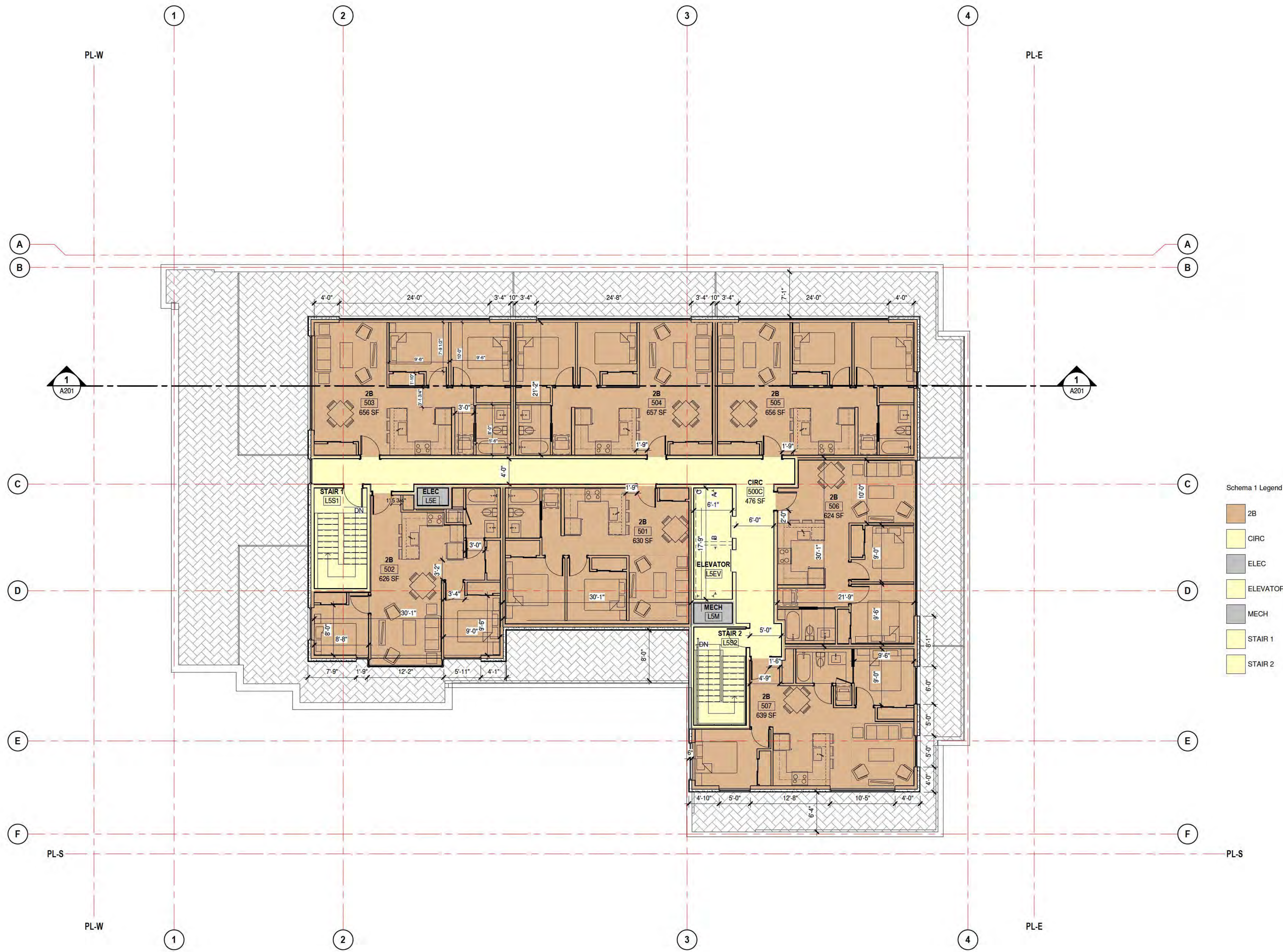
PLAN - LEVEL 4

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.
This drawing is not to be used for construction until issued for that purpose by the Architect.
Prior to commencement of the work the contractor shall verify all dimensions, datums and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full contract documents, and, bring these items to the attention of the Architect for clarification.

| | |
|--------------|----------|
| DRAWN | DATE |
| 08/03/18 | |
| SCALE | REVIEWED |
| 1/8" = 1'-0" | |
| PROJECT NO | 1805 |

A104

Page 486 of 494



- Schema 1 Legend
- 2B
 - CIRC
 - ELEC
 - ELEVATOR
 - MECH
 - STAIR 1
 - STAIR 2

SEAL

ISSUED

2018 08 07 CLIENT

REVISION

2018 08 13 ISSUED TO CLIENT

PROJECT

Larch Street
Vancouver, BC, Canada

DRAWING

PLAN - LEVEL 5

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.

This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the work the contractor shall verify all dimensions, datum and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full contract documents, and, bring these items to the attention of the Architect for clarification.

| | |
|--------------|----------|
| DRAWN | DATE |
| | 07/17/18 |
| SCALE | REVIEWED |
| 1/8" = 1'-0" | |
| PROJECT NO | 1805 |

A105

Page 487 of 494

SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

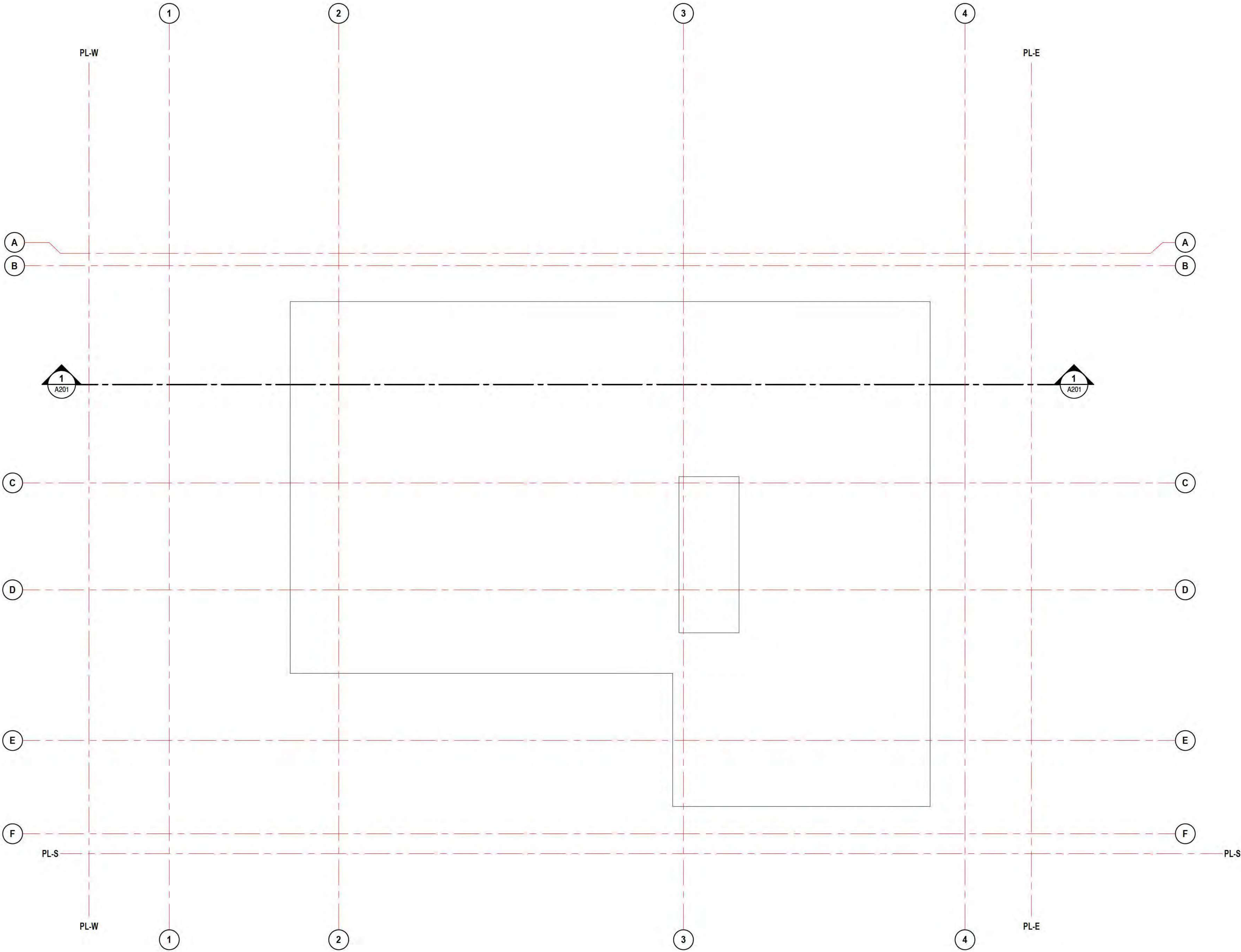
PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
PLAN - ROOF LEVEL

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.
This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the work the contractor shall verify all dimensions, datum and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for clarification.

| | |
|--------------|----------|
| DRAWN | DATE |
| 07/17/18 | |
| SCALE | REVIEWED |
| 1/8" = 1'-0" | |
| PROJECT NO | 1805 |





SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

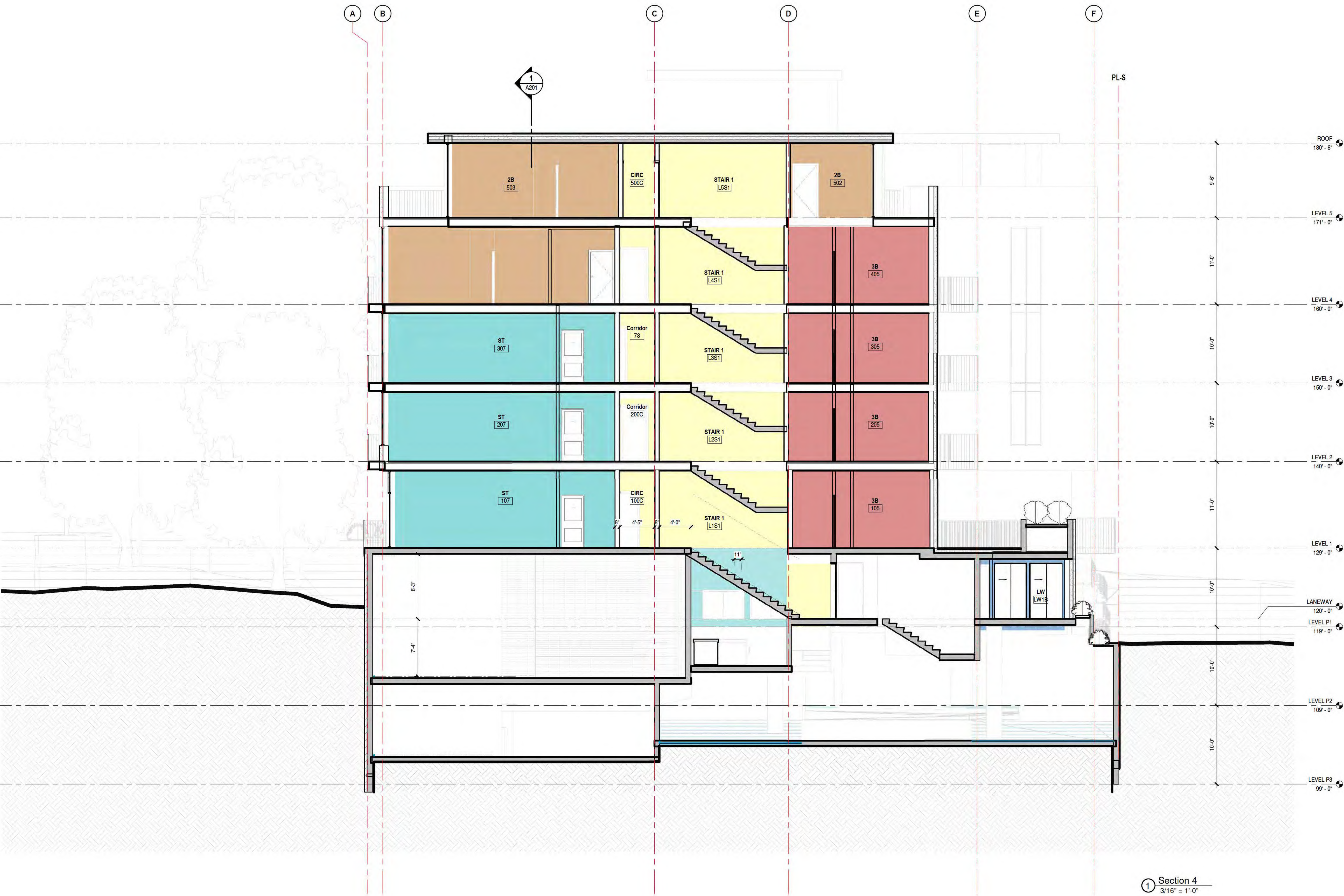
DRAWING
SECTION - LONG E/W

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.

This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the work the contractor shall verify all dimensions, datums and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for clarification.

DRAWN
07/17/18
SCALE
3/16" = 1'-0"
PROJECT NO
1805



SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
SECTION - CROSS N/S

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.
This drawing is not to be used for construction until issued for that purpose by the Architect.
Prior to commencement of the work the contractor shall verify all dimensions, dates and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for clarification.

DRAWN DATE
07/30/18
SCALE REVIEWED
3/16" = 1'-0"
PROJECT NO 1805

① Section 4
3/16" = 1'-0"



METRIC

ARCHITECTURE
1645 West 5th Ave
Vancouver, BC
Canada V6J 1N5
T 604.376.7095 / 604.786.2868
E info@metricarchitects.com

JAMESON
DEVELOPMENT
CORP

SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
**ELEVATION - NORTH
(FRONT, 2ND AVE)**

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.

This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the work the contractor shall verify all dimensions, dates and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for clarification.

| | |
|---------------|----------|
| DRAWN | DATE |
| 07/17/18 | |
| SCALE | REVIEWED |
| 3/16" = 1'-0" | |
| PROJECT NO | 1805 |

A301
Page 491 of 494

SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
ELEVATION - EAST (LARCH)

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.
This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the work the contractor shall verify all dimensions, datums and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full contract documents, and, bring these items to the attention of the Architect for clarification.

| | |
|---------------|----------|
| DRAWN | DATE |
| 07/17/18 | |
| SCALE | REVIEWED |
| 3/16" = 1'-0" | |
| PROJECT NO | 1805 |

A302
Page 492 of 494





SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
**ELEVATION - WEST
(INTERNAL)**

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.
This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the work the contractor shall verify all dimensions, datum and levels to identify any errors and omissions; ascertain any discrepancies between this drawing and the full contract documents; and, bring these items to the attention of the Architect for clarification.

| | |
|---------------|----------|
| DRAWN | DATE |
| 07/17/18 | |
| SCALE | REVIEWED |
| 3/16" = 1'-0" | |
| PROJECT NO | 1805 |

SEAL

REVISION
2018 08 13 ISSUED TO CLIENT

PROJECT
Larch Street
Vancouver, BC, Canada

DRAWING
**ELEVATION - SOUTH
(BACK, LANE)**

Copyright reserved. This design and drawing is the exclusive property of METRIC and cannot be used for any purpose without the written consent of the Architect.

This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the work the contractor shall verify all dimensions, dates and levels to identify any errors and omissions, ascertain any discrepancies between this drawing and the full contract documents, and, bring these items to the attention of the Architect for clarification.

| | |
|---------------|----------|
| DRAWN | DATE |
| 3/16" | 07/17/18 |
| SCALE | REVIEWED |
| 3/16" = 1'-0" | |
| PROJECT NO | 1805 |