

File No.: 04-1000-20-2018-537

October 31, 2018

s.22(1)

Dear s.22(1)

Re: **Request for Access to Records under the Freedom of Information and Protection of Privacy Act (the "Act")**

I am responding to your request of October 9, 2018 for:

1. **Definition from the City of Vancouver Planning department of what constitutes "city-wide" in planning as the term is not legally defined in any City documents; and**
2. **Records of all ads that were placed in newspapers, including Chinese language newspapers, to notify citizens of proposed "city-wide RS zoning changes" information meetings held in September 2018.**

Date Range: July 1, 2018 to September 30, 2018.

The Planning, Urban Design & Sustainability Department has provided the following response for Point 1: "City-wide" refers to an approach that would create a common decision-making framework for change that would include all similar low density neighbourhoods.

All responsive records for Point 2 are attached.

Under section 52 of the Act, and within 30 business days of receipt of this letter, you may ask the Information & Privacy Commissioner to review any matter related to the City's response to your FOI request by writing to: Office of the Information & Privacy Commissioner, info@oipc.bc.ca or by phoning 250-387-5629.

If you request a review, please provide the Commissioner's office with: 1) the request number (#04-1000-20-2018-537); 2) a copy of this letter; 3) a copy of your original request; and 4) detailed reasons why you are seeking the review.

Yours truly,



Barbara J. Van Fraassen, BA
Director, Access to Information & Privacy

Barbara.vanfraassen@vancouver.ca
453 W. 12th Avenue Vancouver BC V5Y 1V4

*If you have any questions, please email us at foi@vancouver.ca and we will respond to you as soon as possible. Or you can call the FOI Case Manager at 604.871.6584.

Encl.

:ag



Development Permit Board Meeting: September 4



The Development Permit Board and Advisory Panel will meet: Tuesday, September 4, 2018 at 3 pm Vancouver City Hall, 453 West 12th Avenue Ground Floor, Town Hall Meeting Room to consider the following development permit applications: 1551 Quebec Street: To develop the site with a 17-storey, residential building, over three levels of underground parking with access off of Switchmen Street. 349 West Georgia Street (Post Office): To develop the site with two office towers (21 and 22 storey) with the retention of the post office façade and structure containing commercial and parking uses. The proposal includes a Heritage Density Transfer. TO SPEAK ON AN ITEM: 604-873-7770 or kathy.cermeno@vancouver.ca

Information Meeting: Proposal to Allow Duplexes in Most RS (One-Family) Zones



CITY OF VANCOUVER | HOUSING VANCOUVER

The City of Vancouver is considering zoning changes that would allow duplexes in most RS (one-family) zoned areas across the city. Secondary suites and laneway houses already exist as housing options in these neighbourhoods. Duplexes would add a new option for property owners and increase housing choice in low-density neighbourhoods. Please join us at one of our information meetings to learn more about the proposed changes and to ask questions to staff, in advance of the public hearing.

Saturday, September 8, 2018, 11 am - 2 pm Killarney Community Centre 6260 Killarney Street Seniors Centre Grand Hall Tuesday, September 11, 2018, 5 - 8 pm Hastings Community Centre 3096 East Hastings Street, Auditorium Wednesday, September 12, 2018, 5 - 8 pm Dunbar Community Centre 4747 Dunbar Street, Room 006 Thursday, September 13, 2018, 5 - 8 pm Peretz Centre, 6184 Ash Street, Auditorium FOR MORE INFORMATION: vancouver.ca/makingroom makingroom@vancouver.ca

Public Hearing: September 18, 2018

Tuesday, September 18, 2018, at 3 pm City Hall, 453 West 12th Avenue Third Floor, Council Chamber

Vancouver City Council will hold a Public Hearing to consider zoning for these locations:



1. 349 West Georgia Street (Former Main Post Office)

To designate as protected heritage property the exterior, and selected interior elements, of the existing building at 349 West Georgia Street (Former Main Post Office), which is listed on the Vancouver Heritage Register in the 'A' evaluation category.

2. 1170 Barclay Street (The Florida)

To add the existing heritage building at 1170 Barclay Street (The Florida) to the Vancouver Heritage Register in the 'B' evaluation category, to designate the exterior and the structure of the heritage building as protected heritage property, to enter into a Heritage Revitalization Agreement to secure the rehabilitation and long-term preservation of the heritage building, and to permit an addition to the building.

3. East Fraser Lands Official Development Plan 10-year Review Planning Program: Progress Update and By-law Amendments for a new Community Centre Site and Affordable Housing

To amend the East Fraser Lands (EFL) Official Development Plan (ODP) and various CD-1 By-laws to allow for redistribution of existing floor area from the proposed community centre site to adjacent market sites and to increase the maximum floor area to add 5,129 square metres (55,208 square feet) of affordable housing in Area 1 and Area 2; including other minor amendments to remove EFL-specific parking maximums to align with citywide regulations in the Parking By-law and to increase the time limit from three to five years for interim uses in EFL.

Also to amend the Zoning and Development By-law to remove the requirement for landscaped setbacks along stretches of Boundary Road, Kerr Street and Kinross Street.

4. 1444 Alberni Street and 740 Nicola Street

To rezone 1444 Alberni Street and 740 Nicola Street from DD (Downtown District) to CD-1 (Comprehensive Development) District to permit the development of two residential towers containing 314 market strata units, 129 market rental units and a 56-space childcare centre. A maximum height of 135.2 metres (443.5 feet) and a floor space ratio (FSR) of 14.48 are proposed.

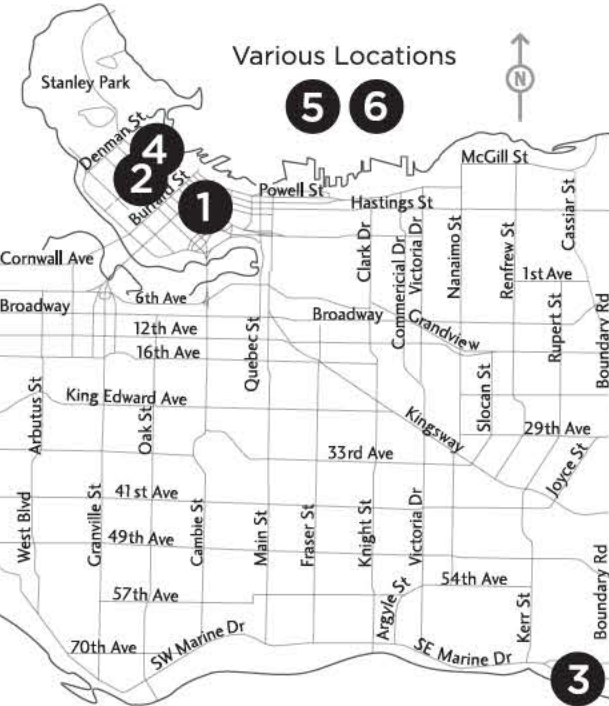
5. Amendments to the Zoning and Development By-law for Most RS Zones to Allow Two-Family Dwellings (Duplexes) to Increase Housing Choice

To make amendments to the RS-1, RS-1A, RS-1B and RS-6 District Schedules to increase housing choice in those areas by introducing Two-Family Dwelling (duplex) use; to provide more flexibility in the regulations for currently-permitted Two-Family Dwelling use within the RS-2 and RS-7 District Schedules; and to introduce Two-Family Dwelling with secondary suite or lock-off unit as permitted dwelling uses to each RS District Schedule being amended.

6. Amendments to the Zoning and Development By-law for RT-7 and RT-8 Zones (Kitsilano) and RT-10 and RT-10N Zones (Kensington-Cedar Cottage) to Increase Housing Choice

To rezone the RT-7 and RT-8 districts in Kitsilano to RT-5, applicable in Mount Pleasant and Grandview-Woodland, to improve incentives for character house retention and infill, and to increase housing choices to include laneway houses and secondary suites within two-family dwellings; and to rezone RT-10 in Kensington-Cedar Cottage to RT-11, applicable in Norquay Village, to equalize the permitted density for the characteristic "small house/duplex" developments permitted in both neighbourhoods, to improve incentives for character house retention and infill, and to include the additional housing choices of laneway houses and secondary suites within two-family dwellings.

FOR MORE INFORMATION ON THESE APPLICATIONS INCLUDING LEGAL DESCRIPTIONS OF THE SUBJECT PROPERTIES: vancouver.ca/rezapps or 604-873-7038



Anyone who considers themselves affected by the proposed by-law amendments may speak at the Public Hearing. Please register individually beginning at 8:30 am on September 7, 2018 until 2 pm on the day of the Public Hearing by emailing publichearing@vancouver.ca or by phoning 604-829-4238. You may also register in person at the door between 2:30 and 3 pm on the day of the Public Hearing. You may submit your comments by email to publichearing@vancouver.ca, or by mail to: City of Vancouver, City Clerk's Office, 453 West 12th Avenue, Third Floor, Vancouver, BC, V5Y 1V4. All submitted comments will be distributed to Council and posted on the City's website. Please visit vancouver.ca/publichearings for important details.

Copies of the draft by-laws will be available for viewing starting September 7 at the City Clerk's Office in City Hall, 453 West 12th Avenue, Third Floor, Monday to Friday from 8:30 am to 4:30 pm. All meetings of Council are webcast live at vancouver.ca/councilvideo, and minutes of Public Hearings are available at vancouver.ca/councilmeetings (posted approximately two business days after a meeting).

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Visit: vancouver.ca Phone: 3-1-1 TTY: 7-1-1

A18-056 Vancouver Matters #396 Insertion Date: Thursday, August 30, 2018

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Ad Designer: EA For Invoice Approval: Baksho Johal Today's Date: August 27, 2018

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Third Floor, Council Chamber

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4. 1444 Alberni Street and 740 Nicola Street

To rezone 1444 Alberni Street and 740 Nicola Street from DD (Downtown District) to CD-1 (Comprehensive Development) District to permit the development of two residential towers containing 314 market strata units, 129 market rental units and a 56-space childcare centre. A maximum height of 135.2 metres (443.5 feet) and a floor space ratio (FSR) of 14.48 are proposed.

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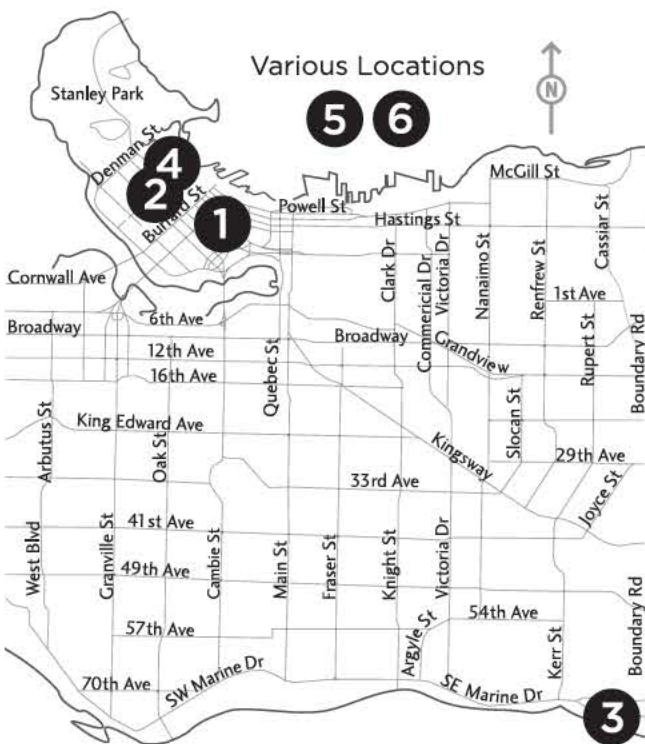
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Foyer and Lounge

FOR MORE INFORMATION:
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Baksho Johal
Today's Date:
August 31, 2018

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