

File No.: 04-1000-20-2019-604

October 24, 2019

s.22(1)

Dear s.22(1)

Re: **Request for Access to Records under the Freedom of Information and Protection of Privacy Act (the "Act")**

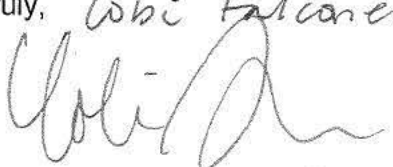
I am responding to your request of September 29, 2019 for:

**Neighbourhood notification results (support and opposition letters and emails) for Development Application DP-2019-00459, 5701 Granville Street, from September 1 to September 29, 2019.**

All responsive records are attached. Some information in the records has been severed, (blacked out), under s.22(1) of the Act. You can read or download this section here: [http://www.bclaws.ca/EPLibraries/bclaws\\_new/document/ID/freeside/96165\\_00](http://www.bclaws.ca/EPLibraries/bclaws_new/document/ID/freeside/96165_00)

Under section 52 of the Act, and within 30 business days of receipt of this letter, you may ask the Information & Privacy Commissioner to review any matter related to the City's response to your FOI request by writing to: Office of the Information & Privacy Commissioner, [info@oipc.bc.ca](mailto:info@oipc.bc.ca) or by phoning 250-387-5629.

If you request a review, please provide the Commissioner's office with: 1) the request number (#04-1000-20-2019-604); 2) a copy of this letter; 3) a copy of your original request; and 4) detailed reasons why you are seeking the review.

Yours truly, *Obi Falconer, FOI Case Manager, for*  


**Barbara J. Van Fraassen, BA**  
**Director, Access to Information & Privacy**

[Barbara.vanfraassen@vancouver.ca](mailto:Barbara.vanfraassen@vancouver.ca)  
453 W. 12th Avenue Vancouver BC V5Y 1V4

\*If you have any questions, please email us at [foi@vancouver.ca](mailto:foi@vancouver.ca) and we will respond to you as soon as possible. Or you can call the FOI Case Manager at 604.871.6584.

Encl.

:pm

**From:** s.22(1)  
**To:** "Arcangel, Dallas" <dallas.arcangel@vancouver.ca>  
**Date:** 9/24/2019 9:10:43 PM  
**Subject:** 5701 Granville st - DP 2019-00459 - resident feedback

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Hi Dallas,

I am writing to OBJECT to the notice of development application for a liquor store.

As a resident of the neighborhood of many years, I believe that the area's crime rate will increase due to the liquor store. We have seen multiple break-ins in the plaza, and personal belongings have been stolen on the houses of our block.

Furthermore, we have liquor stores in close proximity located in Kerrisdale and Oakridge. Building a liquor store here, in such close proximity, is unnecessary.

My neighbours (many of Chinese background with limited language skills), also object to the liquor store. If need be, I can call a meeting (as we have had before with realtors wanting to rezone our block). We may file a petition if this application is forcefully passed, and may demonstrate on our block.

For more details about my letter of objection, please feel free to contact me.

s.22(1)

**From:** s.22(1)

**To:** "Arcangel, Dallas" <dallas.arcangel@vancouver.ca>

**Date:** 9/25/2019 7:41:17 PM

**Subject:** 5701 Granville Street DP-2019-00459

**Attachments:** 5701 Granville St - Petition.pdf

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Hi Dallas,

Please see attached petition of support that was conducted door to door in the neighborhood surrounding 5701 Granville Street.

Best regards,

s.22(1)



# Letter of Support

We, the immediate neighbours of the commercial area at Granville Street and West 41<sup>st</sup> Avenue in Vancouver, are in support of a specialty beer and wine store to operate at this location. We support the Development Permit application at #104/105 – 5701 Granville Street Vancouver.

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[illegible]



**From:** s.22(1)  
**To:** "Arcangel, Dallas" <dallas.arcangel@vancouver.ca>  
**Date:** 9/20/2019 10:01:59 AM  
**Subject:** Development 5701 Granville Street, DP-2019-00459

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Dear Mr Arcangel

s.22(1) to the 41st & Granville corner where the development is proposed.

This is a mature quiet neighbourhood with a major intersection running through it. The current gas stations and offices and a bank provide services on this corner compatible with a major road running through this area.

For the developer to suggest that a party liquor store is warranted because there isn't one in the neighbourhood is not an indication of demand and I would challenge them to prove there is demand for this in our area.

I cannot see that a drive by party store is favourable addition and strongly oppose this.

Sincerely

s.22(1)

**From:** s.22(1)  
**To:** "Arcangel, Dallas" <dallas.arcangel@vancouver.ca>  
**Date:** 9/11/2019 12:28:41 PM  
**Subject:** DP-2019-00459 - 5701 Granville st - Notification comments

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Dear Dallas Arcangel,

s.22(1) and received notice that there is a development permit to have a liquor store at 5701 Granville Street.

I would like to protest against this as there are currently 2 liquor stores within a 1.5 kilometre radius. One on 2058 W. 41st and the main one on 5555 Cambie.

And 2 more within 2.5 kilometre. How many more do we need in our neighbourhood?  
The intersection of W.41st and Granville is already congested enough and a liquor store will just add to it.

Please reconsider granting the approval of this permit.

Kind regards,

s.22(1)

**From:** s.22(1)

**To:** "Arcangel, Dallas" <dallas.arcangel@vancouver.ca>

**Date:** 9/12/2019 10:57:22 AM

**Subject:** DP-2019-00459 at 5701 Granville Street

**Attachments:** 20190912 - letter to COV objecting to liquore application @ 5701G - s.22(1) signed.pdf

Dear Ms. Arcangel,

I received the Notice of Development Application to change of use from Office to Liquor Store. Please see my letter opposing this application to allow liquor sale at the noted premises.

Thank you for your attention and considerations of my concern. Please feel free to contact me if you have any questions.

s.22(1)

s.22(1)

VANCOUVER, B.C. V6M 3H3

September 12, 2019

City of Vancouver  
453 West 12<sup>th</sup> Avenue  
Vancouver, B.C. V5Y 1V4

**Attention: Dallas Arcangel, Project Coordinator**

Dear Ms. Arcangel,

**Re: Development Application DP-2019-00459, 5701 Granville Street**

As an owner and resident in the immediate neighborhood to the above noted application, I am writing to oppose the permission for retail of liquor in the said premises.

Thank you for your attention.

Yours truly,

s.22(1)