

File No.: 04-1000-20-2019-609

November 1, 2019

s.22(1)

Dears.22(1)

Re: Request for Access to Records under the Freedom of Information and Protection of Privacy Act (the "Act")

I am responding to your request of September 30, 2019 for:

Geotech report and inspection reports in regards to 558 East 20th Avenue, from January 1, 2017 to October 1, 2019.

All responsive records are attached. Some information in the records has been severed, (blacked out), under s.22(1) of the Act. You can read or download this section here: http://www.bclaws.ca/EPLibraries/bclaws new/document/ID/freeside/96165_00.

Under section 52 of the Act you may ask the Information & Privacy Commissioner to review any matter related to the City's response to your request. The Act allows you 30 business days from the date you receive this notice to request a review by writing to: Office of the Information & Privacy Commissioner, info@oipc.bc.ca or by phoning 250-387-5629.

If you request a review, please provide the Commissioner's office with: 1) the request number assigned to your request (#04-1000-20-2019-609); 2) a copy of this letter; 3) a copy of your original request for information sent to the City of Vancouver; and 4) detailed reasons or grounds on which you are seeking the review.

Please do not hesitate to contact the Freedom of Information Office at <u>foi@vancouver.ca</u> if you have any questions.

Yours truly,

Barbara J. Van Fraassen, BA Director, Access to Information & Privacy

<u>Barbara.vanfraassen@vancouver.ca</u> 453 W. 12th Avenue Vancouver BC V5Y 1V4

*If you have any questions, please email us at <u>foi@vancouver.ca</u> and we will respond to you as soon as possible. Or you can call the FOI Case Manager at 604.871.6584.

Encl.

:kt

DB-2017-06676

March 10, 2017

Our File: 1253

Phillips Engineering Ltd.

3641 Blenheim Street, Vancouver, BC, V6L 2Y1 Phone (604) 716-8881 / Fax (604) 739-6782 info@phillipsengineering.ca

s.22(1)

c/o Diamond Architectural Group Inc. 410 - 119 West Pender Street Vancouver, BC V6B 185

DEC 21 2017

Attention: Craig Mercs,

Re: Proposal for Geotechnical Engineering Services for Proposed New Single Family Dwelling Located at 550 East 20th Avenue, Vancouver, BC

1.0 INTRODUCTION

We understand that it is proposed to re-develop the property located at 550 East 20th Avenue in Vancouver. It is proposed to construct a residential building on this lot which we understand will be up to two or three levels of wood framed construction founded near existing grades.

This report describes the general subsurface conditions at the time of our investigation and makes recommendations for the design and construction of the proposed development. This report was prepared exclusively for s.22(1) and for the use of others on their design and construction team, although it remains the property of Phillips Engineering Ltd.

2.0 SITE DESCRIPTION

The site is located on the south side of East 20th Avenue in Vancouver, BC. The site is bounded by private property to the west, east and south.

At the time of our investigation a house existed on the site.

The property is rectangular in shape and of maximum dimensions of 49 feet in the east-west direction and 122 feet in the north-south direction. The site is essentially level.

3.0 INVESTIGATION

Phillips Engineering Ltd. was present on site February 9, 2017 to conduct a drill-based site investigation using the subcontracted services of Uniwide Drilling Co. Ltd. of Burnaby, BC. At that time one solid stem auger test hole was drilled to depths of up to 50 feet and one Dynamic Cone Penetration Test (DPCT) near the proposed building were conducted on areas of the property that were accessible for the truck mounted drill rig. The DCPTs were terminated at depths of up to 41 feet below existing grades. An engineer from our office logged the soils and collected samples for further laboratory analysis. All test holes were backfilled and compacted with excavated soil upon completion of logging. The test hole locations are shown

page 1

on our drawing number Sketch-1 located following the text of this report and the detailed test hole logs are attached in Appendix A.

4.0 DISCUSSION

4.1 Soil Conditions

The published geological information of the region under investigation is described as SAb = bog, swamp and shallow lake deposits, lowland peat up to 8 m thick overlaying Fb, c, according to the Geological Survey of Canada map 1484A. Please refer to the individual test hole logs in Appendix A for specific soil descriptions. A general description of the soils encountered at the test hole locations is given below:

FILL

Up to 6 inches of asphalt on fill below grades has been identified near the ground surface at all of our test hole location.

PEAT

Very soft, amorphous, peat with high moisture content, was identified from near the ground surface at all of our test hole locations down to about 29 feet below current grades. It is expected to underlie the entire property.

SILT

Silt to organic silt was identified underlying the peat. The silt is more plastic near the top and becomes less plastic with depth and with moderate moisture contents and very soft to soft consistency. The silt extends to depths between 29 feet to 37 feet below existing site grades. The silt is considered compressible under any new area loading.

GLACIAL Till Deposit (Sand and Silt)

The materials described above were noted to be underlain by dense glacial till, comprised of mostly fine sand, some silt, and trace sub-angular gravel. The glacial till was identified at depths ranging from 37 feet below existing site grades and was found to extend to depths beyond those of our investigation.

4.2 Groundwater Conditions

The water table was encountered at around 6 feet below existing site grades at our test hole locations at the time of our investigation. We expect that groundwater level may fluctuate at different times of the year and possibly following periods of heavy rainfall. Excavations below the static groundwater table are expected to encounter significant groundwater.

5.0 GENERAL DISCUSSION

We have not been provided with any design drawings yet however we expect that construction on these lots

will be limited to three levels of wood framed construction founded near existing site grades

The site was noted to be underlain by up to 17 feet of peat over about 12 feet of very soft to soft silt at our test hole location and therefore we do not recommend founding the proposed structures at grade as large and differential settlements would be likely. We recommend supporting the house and any accessory buildings on helical piles set within the compact to medium dense sand identified at a depth of about 40 feet below existing site grades.

The concrete grade beams and floor slabs will be poured using the ground surface as the base form. We note that peat soils are identified at or near the existing ground surface and that any pressure applied to the peat will likely result in compressive settlements. For example, under an 8 inch concrete slab we would expect settlements in the range of 1 to 2 inches. These settlements may result in weakening and/or bowing of the concrete while it is curing lending to possible cracking. Therefore we recommend a small pre-load equivalent in weight to the expected foundation and floor slab concretes be placed over the building areas.

6.0 DESIGN RECOMMENDATIONS

6.1 Site Preparation

6.1.1 Stripping Recommendations

Prior to construction the existing structures and infrastructure should be decommissioned, demolished and all debris removed.

6.1.2 Pre-Loading Recommendations

As discussed above, the peat is expected to be subject to compressive settlements under the weight of the concrete grade beams and floor slabs lending to bowing and/or weakening of the concrete while it is curing. We expect that a 1 metre (3.3 foot) pre-load placed over the building areas and extending at least 0.6 metres (2 feet) outside of the building envelopes would be sufficient to reduce these potential settlements and to not impact the concrete pours. We expect that sufficient compressive settlement under the pre-loads will be complete after about 3 weeks.

6.2 Foundation Recommendations

6.2.1 Piled Foundation

We understand that an alternative option would be to have the proposed structure founded on piles set in the dense glacial till material located below depths of 38 feet below existing site grades. The site is underlain by soft soils and the existing homes to the north and south are located relatively close to the property line. To limit vibration and potential damage to the adjacent structures we suggest the use of drilled (helical) piles for the site.

One potential drilled pile would be TerraCana helical micropiles. TerraCana helical micropiles, equipped with a triple (250 mm/300 mm/350 mm diameter) helix lead with a steel pipe, six inch diameter column, can be expected to achieve the working compressive capacities required at a depth. Under lateral loading the TerraCana helical micro-pile would undergo significant movements. The use of the TerraCana helical micro-

page 3

pile will require the incorporation of a grade beam system around the foundations to support the lateral loads from earthquakes or other sources rather than the piles.

Allowable pile capacities of about 20 kips to 40 kips can be anticipated provided pile lengths are about 42 feet, allowing for sufficient embedment of at least 5 feet within the dense glacial till material at depth.

Pile foundations require continuous inspection during installation.

6.2.2 Seismic Design of Foundations

The subsurface soils are not considered prone to ground liquefaction or other forms of ground softening caused by earthquake induced ground motions.

Review of our available geotechnical data indicates that the proposed development site qualifies as <u>Site Class</u> <u>E</u> as defined in Table 4.1.8.4.A of the BCBC₂₀₁₂. We recommend that the structural designer utilize the Class E design spectrum.

All other aspects of construction should meet the requirements of the Vancouver Building By-law 2014 and the details in our report are still relevant.

6.3 Grade Supported Beams, Pile Caps and/or Structural Slabs

Following the recommended site preparation, including pre-loading, specified in Section 6.2 of this report we expect that all concrete beams, pile caps and structural slabs will be structurally designed and poured using the improved ground surface as the base form

7.0 UNDERGROUND SERVICES AND BUILDING TO GROUND TRANSITIONS

The ground around and beneath and around the pile supported building will settle after construction. The amount of settlement depends long term settlement characteristics of the silts. However, a flexible connection system allowing for about 300 mm of settlement should be made for all services connecting to the fixed building from the surrounding ground.

Any pipes or ducts entering the building crawlspace should enter beneath the building foundations or a block out in the foundation should be sufficiently large to allow for the ground settlement. Connections to the building should be flexible or telescopic to allow for settlement.

Building steps, porches and patios should be connected to the building or pile supported. Where the steps meet the ground there should be a transition slab connected to the fixed stairs or building and resting on the ground so that should settlement occur there will be a smooth transition from the ground to the base of the stairs.

Provided that the building floors are above the surrounding grade and constructed in accordance with the recommendations presented above, then perimeter drains should not be necessary.

8.0 SERVICES

Site servicing will consist of the installation of storm, water and sanitary services along with gas and likely

underground electrical. All of these services are likely to be relatively shallow and therefore within the peat. As discussed above, long term settlement of the underlying soils will occur. Services should be designed to account for potential changes of grade of up to 300 mm.

Normal pipe bedding and backfilling procedures should be used for all services.

9.0 NATURAL GAS GENERATION

The native soil at this site consists of peat. Decomposition of organic soil in anaerobic conditions results in the production of natural gases such as methane. Methane is a light gas and tends to rise and will normally dissipate into the atmosphere without harm. Where the natural gas is able to accumulate beneath buildings, there is a potential hazard.

Ventilation can normally be accomplished by the installation of perforated pipe at about 10 foot spacing which vents through the perimeter wall and up to the atmosphere. Since natural gas is lighter than air, passive ventilation normally occurs. However, we understand that the current building code requires active ventilation to the roof of the building.

The placement of a vapour barrier above the ventilation system and beneath the floor will also serve to prevent discharge of gas into the building. Care must be taken during construction to prevent the tearing of the vapour barrier.

10.0 FIELD REVIEWS

As required for Municipal "Letters of Assurance", Phillips Engineering Ltd. will carry out sufficient field reviews during construction to ensure that the Geotechnical Design recommendations contained within this report have been adequately communicated to the design team and to the contractors implementing the design. These field reviews are not carried out for the benefit of the contractors and therefore do not in any way effect the contractors obligations to perform under the terms of his/her contract.

It is the contractors' responsibility to advise Phillips Engineering Ltd. (a minimum of 24 hours in advance) that a field review is required. Geotechnical field reviews are normally required at the time of the following:

1. Stripping	
2. Pre-Load	- Review of subgrade and placement of pre-load
3. Deep foundations	- Review of pile installation

It is critical that these reviews are carried out to ensure that our intentions have been adequately communicated. It is also critical that contractors working on the site view this document in advance of any work being carried out so that they become familiarised with the sensitive aspects of the works proposed. It is the responsibility of the developer to notify Phillips Engineering Ltd. when conditions or situations not outlined within this document are encountered.

11.0 CLOSURE

This report is prepared solely for used by our client's Design Team for this project as described to the general standards of similar work for similar projects in this area and no other warranty of any kind is expressed or implied. Phillips Engineering Ltd. accepts no responsibility for any other use of this report.

We are pleased to be of assistance to you on this project and we trust that our comments and recommendations are both helpful and sufficient for your current purposes. If you would like further details or would like clarification of any of the above, please do not hesitate to call.

For: Phillips Engineering Ltd.

HILLIPS Ward Phillips, ng. Principal

File:1253 - Proposed Residential Development, 550 East 22nd Avenue, Vancouver, BC

page 6



File: Project: Client:	12: s.22 s.22	53 2(1) 2(1)	TH-3 Residence t 20th Avenue, Vancouver, BC	3641 B	lenheim ver, BC	V6L 2Y1	
Depth	Symbol	Sample	Soil Description	Sample #	Water Cont.	DCPT (blows per foot) 102030405060708	Remarks
ft m -112 40-1-13 -13 45-1-14 -15			Hard Sandy Silt and Silt Commences at about 37.5 ft Below Grade			•12 •21 •23	 130 DCPT met refusal @ 50 ft below grade
50 			End of Test Hole @ 50'				
65-1-21 70-1-22 70-1-22							
Equip Sampling Me Hammer	thod: L	ump San	unted Drill Rig Datum nple Surface Elevation Water Depth		PLAN elow Gra	Drilling Date: ade Dwg No.:	February 2017 TH-1 2 of 2





VA	-	Lice	nmunity Services Group enses and Inspections	Certificat Inspection Number: Inspection Date:	BP-2017-06677-01 25 Jul 2018
Inspector:	Name: Office Hours:	Ed Loney, District Building I 8:30AM - 9:30AM	Inspector Address:	550 E 20TH AVENUE Vancouver, BC V5V 1M	8
	Phone:	(604) 873-7074	Contractor:		
Inspection I		Need Resolution			

have contacted GC re noise.

/	ITY OF		Community Se Licenses and			Certificat	e of Inspe	ection
Building		JVEK P) Inspection D 10 assessment	emo - Tree		-	ection Number: ection Date:	BP-2017-0667 10 Sep 2018	7-02
Inspector:		Ed Loney, District Buil : 8:30AM - 9:30AM	ding Inspector	Address:		20TH AVENUE uver, BC V5V 1M	8	
	Phone:	(604) 873-7074		Contractor:				
Inspection I	Result: Appro	oved	1 4 To 4 10 - 14					······································
Comments:				•				
Inspection	n Checklist	Details						
• D. Prede	molition Asso	essment		Sta	atus:	Pass		
Deficier Code Se	-	•				Resolution Dat	e:	
Comme	nts:					• •		
• C. Comp	liance with A	pproved Plan		Sta	itus:	Pass		
Deficier Code Se Comme	ection:	• •				Resolution Dat	e:	
• B. Safety	· · ·			Sta	itus:	N/A		
Deficier Code Se Comme	ection:					Resolution Dat	e:	
• A. Inspec	tion General	•		Sta	itus:	Pass		
Deficier Code Se Comme	ction:			•		Resolution Dat	e:	

•

	CITY OF		munity Services Group enses and Inspections			
	Permit (UVER BP) Inspection		Inspection Number: Inspection Date:	BP-2017-06677-03 15 Oct 2018	
Inspector:	Name: Office Hou	Ed Loney, District Building li irs: 8:30AM - 9:30AM	nspector Address:	550 E 20TH AVENUE Vancouver, BC V5V 1M	8	
	Phone:	(604) 873-7074				
			Contractor:	Wecan Excavating & De	emolition Ltd	
•				15031 94 Avenue		
				Surrey, BC V3R 7L9		
				Office: (778) 241-9295		

Inspection Result: Passed

Comments: attempted to contact complainant several times, no response

			Community Se Licenses and			Certificat	e of Inspection
Building	NCOL Permit (B tification	JVEK P) Inspection D)emo -		-	ection Number: ection Date:	BP-2017-06677-04 16 Oct 2018
Inspector:	Name: Office Hours Phone:	Ed Loney, District Bui : 8:30AM - 9:30AM (604) 873-7074	lding Inspector	Address: Contractor:	Vancou Wecan 15031 Surrey,	20TH AVENUE iver, BC V5V 1M Excavating & De 94 Avenue BC V3R 7L9	
. <u> </u>		、 			Office:	(778) 241-9295	
Inspection F Comments:	Result: Failed	l done w/ notification		. 1			
Inspection	n Checklist	Details					
		emolition Contractor I	Declaration	Sta	atus:	N/A	
Deficier	-					Resolution Dat	e:
Code Se Comme						•	
• B. Safety	,	• •		Sta	itus:	N/A	
Deficier Code Se Comme	ection:					Resolution Dat	e:
• A. Inspec	ction General			Sta	itus:	N/A	
Deficier Code Se Comme	ection:	•				Resolution Dat	e:
							· • •

Ý VA	ITY OF NCOL		Community Se Licenses and		Inen		e of Inspecti BP-2017-06677-05	
	tification	P) Inspection D	emo -		-	ection Date:	18 Oct 2018	,
Inspector:		Ed Loney, District Buil : 8:30AM - 9:30AM	ding Inspector	Address:		20TH AVENUE uver, BC V5V 1M	8	
	Phone:	(604) 873-7074		Contractor	15031 Surrey	Excavating & De 94 Avenue , BC V3R 7L9 (778) 241-9295	molition Ltd	
Inspection	Result: Passe	ed	·			· · · · · · · · · · · · · · · · · · ·	,	
Comments								
Inspection	n Checklist	Details		<u> </u>		· · · ·		
		emolition Contractor I	Declaration	Sta	atus:	N/A		
Deficie Code Se	-	N.,				Resolution Dat	e:	
Comme	ents:							
• B. Safety	1 .			Sta	atus:	N/A		
Deficie Code Se Comme	ection:		•			Resolution Dat	e:	
• A. Inspec	ction General			Sta	atus:	N/A		
Deficie Code Se Comme	ection:					Resolution Date	e:	
	· .							

	LITY OF NCOL	IV/FR	Community Ser Licenses and			Certificat	te of Inspection
		P) Inspection De	emo -		-	ection Number: ection Date:	BP-2017-06677-06 18 Oct 2018
Inspector:	Name: Office Hours Phone:	Ed Loney, District Build s: 8:30AM - 9:30AM (604) 873-7074	ling Inspector	Address:	Vancou	20TH AVENUE iver, BC V5V 1M	
				Contractor:	15031 Surrey,	Excavating & De 94 Avenue BC V3R 7L9 (778) 241-9295	emolition Ltd
Inspection i Comments		Inspection Performed			•		
Inspectio	n Checklist	t Details	- Kanton			· .	
	lition Comple			Sta	atus:	N/A	
Deficie	ncy:			·.		Resolution Dat	e:
Code Se				· .		· ·	
Comme	ents:			•			•
• B. Safety	ľ.			Sta	itus:	N/A	
Deficie	ncy:					Resolution Dat	e:
Code Se	-						
Comme	nts:						
● A. Inspec	ction General	l ·		Sta	itus:	N/A	
Deficie Code Se		• •				Resolution Dat	e:
Comme		• •	· ·				
							• •
		· ·					

/	ITY OF	Licer	nunity Services Group nses and Inspections	Certificat	te of Inspection
	_	JYLN ion Underground		Inspection Number: Inspection Date:	PP-2019-01509-01 12 Apr 2019
Inspector:	Name: Office Hour	Ed Baumann, Plumbing/Gas s:	and Sprin Address:	558 E 20TH AVENUE Vancouver, BC V5V 1N	18
	Phone:	(604) 318-7309			
			Contractor:	Christopher K Alexander 11550 236B Maple Ridge, BC V4R 2 Office: (604) 307-5711	

Inspection Result: Passed

Comments: Un

Underground drainage waste venting excepted slab protected by pump all Supported by rods and hangers to rebar structural slab bog area

Inspection Checklist Details

• Other	Status: N/A
Deficiency:	Resolution Date:
Code Section:	
Comments:	
Permit	Status: N/A
Deficiency:	Resolution Date:
Code Section:	
Comments:	
·	
Drainage	Status: Pass
-	
Deficiency:	Resolution Date:
Code Section:	
Comments:	
Sumps/Interceptors	Status: N/A
Deficiency:	Resolution Date:
Code Section:	ŕ
Comments:	· ·

Water

Deficiency: Code Section: Comments:

Waterservice

Deficiency: Code Section: Comments: Status: N/A

Resolution Date:

Status: N/A

Resolution Date:

City of Vancouver - FOI 2019-609 - Page 18 of 52

			Community Ser Licenses and I			Certificat	te of Inspection
	NCOL I Inspectio	JVEK n Underground			-	ection Number: ection Date:	EP-2018-04452-01 24 Apr 2019
Inspector:	Name: Office Hours:		ict Electrical Ins	Address:		20TH AVENUE Iver, BC V5V 1M	8
	Phone:	(604) 873-7843		Contractor:	5220 K West V	nergy Solutions eith Rd ancouver, BC V (604) 970-9717	
Inspection I	Result: Passe	d	<u></u>				
Comments:		-					
Inspection	n Checklist	Details					
	gy Complianc			Sta	itus:	N/A	
Deficier	ncy:	•				Resolution Dat	e:
Code Se	ection:						
Comme	nts:						
· .							
• 05. Race	ways, Boxes			Sta	itus:	Pass	
Deficier	ncy:					Resolution Dat	e:
Code Se	-						
Comme	nts:						
• 06. Fixtu	res, Fittings, I	Equip		Sta	tus:	N/A	
Deficier						Resolution Dat	e:
Code Se							
Comme	nts:						
o 07 Min 6	New Xfeen Con			<u>Sta</u>	4 1101	N1/A	
• 07. Mtr, G	Ben, Xfmr, Ca			318	tus:	N/A	
Deficier	ncy:					Resolution Dat	e:
Code Se	ection:						
Comme	nts:						

• 09. Life Safety Systems

Deficiency: Code Section:

Comments:

• 08. Heating

Deficiency: Code Section: Comments:

• 04. Br Ccts, Cndtrs, Cables, Cords Cable in house foundation

Deficiency: Code Section: Comments:

• 03. Grounding & Bonding

Deficiency: Code Section: Comments:

• 01. Service

Deficiency: Code Section: Comments:

• 02. Dist, Protect'n, Control

Deficiency: Code Section: Comments:

13. Other

Resolution Date:

Status:

N/A

Resolution Date:

Status:

Pass

Resolution Date:

Status: N/A

Resolution Date:

Status:

N/A

Resolution Date:

Status:

N/A

Resolution Date:

Status: N/A City of Vancouver - FOI 2019-609 - Page 20 of 52 Deficiency: Code Section: Comments:

• 10. Class 1/Class 2/Comm

Deficiency: Code Section: Comments:

• 11. EV, PV, Renewable

Deficiency: Code Section: Comments: Status: N/A

Resolution Date:

Status: N/A

Resolution Date:

City of Vancouver - FOI 2019-609 - Page 21 of 52

		Community Services Group Licenses and Inspections	Cer	tificate of Inspecti
Develop	NCOUVER ment and Building Permit on 1 and 2 FD - Slab	(DB)	Inspection N Inspection D	umber: DB-2017-06676-02 ate: 03 May 2019
Inspector:	Office Hours:	ict Building Inspecto Address:	558 E 20TH AV Vancouver, BC	
	Phone: (604) 123-4567	Contractor	Rain City Renov 4515 GOTHAR Vancouver, BC Office: (778) 89	D ST V5R 3K8
Inspection	Result: Passed			
Comments:	Vapour barrier/ insulation is	s installed and matches plan. accepted for slab reinforcement	•	
Inspection	n Checklist Details			
• A. Inspec	ction General	St	atus: N	I/A
Deficier Code Se	-		Resolu	ition Date:
Comme				
• B. Safety	· .	St	atus: N	I/A
Deficie	ncy:		Resolu	ition Date:
Code Se Comme				
• C. Comp	liance with Approved Plans	St	atus: N	I/A
Deficie	ncy:		Resolu	ition Date:
Code Se Comme				
• D. Struct	ural Aspects	St	atus: N	I/A
Deficie Code Se	· .		Resolu	tion Date:
Comme	nts:	Cit	y of Vancouver - FOI	l 2019-609 - Page 22 of 52

·

• E. Environmental Separation

Deficiency: Code Section: Comments:

• F. In-floor Hydronic Heating

Deficiency: Code Section: Comments:

Status: N/A **Resolution Date:**

Status: N/A

Resolution Date:

		Licens	unity Services Group es and Inspections	Certificat	te of Inspection
Develop		JVER Building Permit (DB) 2 FD - Forms/Foundati	on	Inspection Number: Inspection Date:	DB-2017-06676-01 03 May 2019
Inspector:	Name: Office Hours Phone:	Richard Allen, District Building : (604) 123-4567	, ,	58 E 20TH AVENUE /ancouver, BC V5V 1M	
			4 V	Rain City Renovations L 515 GOTHARD ST /ancouver, BC V5R 3k Office: (778) 896-7887	
Inspection I	Result: Failed		· ·		
Comments:	P. Eng Formv	e cleanup tree barrier. g letter received and accepted f vork matches plan Geotech required. recall before		ural reinforcement	
Inspectio	n Checklist	Details			
• A. Inspec	ction General		Statu	us: N/A [.]	
Deficier Code Se Comme	ection:	. * . A	ť	Resolution Dat	:e:
			T		
• B. Safety	1		Statu	is: N/A	
Deficier Code Se Comme	ection:			Resolution Dat	e:
• C. Excav	ation		Statu	is: N/A	
Deficier Code Se				Resolution Dat	e:
Comme	ents:	· · · ·			
• D. Footin	ngs		Statu	ıs: N/A	
Deficier	ncy:			Resolution Dat	e:
Code Se	-		City of	Vancouver - FOI 2019-609	- Page 24 of 52

Comments:

• E. Foundation Walls

Deficiency: Code Section: Comments:

• F. Concrete Stairs

Deficiency: Code Section: Comments: Status: N/A Resolution Date:

Status: N/A

Resolution Date:

	ITY OF NCOL		Community Ser Licenses and				te of Inspe	,
		Building Permit (2 FD - Forms/Fo			-	ction Number: ction Date:	DB-2017-0667 08 May 2019	6-03
Inspector:	Name: Office Hours Phone:	Richard Allen, District : (604) 829-9768	Building Inspecto		Vancou Rain Ci 4515 G Vancou	20TH AVENUE Iver, BC V5V 1M ty Renovations L OTHARD ST ver, BC V5R 3k	Ltd	
			· · · · · · · · · · · · · · · · · · ·		Office:	(778) 896-7887	•	
Inspection F	Result: Passe							
Comments:	Geote	ech WCB letter received ech methane system let pour footings and slab	ter received and a	accepted				
Inspectior	n Checklist	Details					······	·
	tion General			Sta	atus:	N/A		
Deficien	ncy:					Resolution Dat	e:	
Code Se	-							
Commer	nts:			•				
• B. Safety			,	Sta	atus:	N/A		
Deficien	ıcy:		•			Resolution Dat	e:	
Code Se		• •						
Commer	nts:							
						,		1. S. S. S. S.
• C. Excava	ation			Sta	itus:	N/A		
Deficien)cV'					Resolution Dat	e•	
Code Se	-	<i>,</i>				Resolution suc	с .	
Commer								
	•							
				_				
• D. Footin	gs			Sta	itus:	N/A		
Deficien	-					Resolution Dat	e:	
Code Se								
Commer	nts:			City	of Vanco	uver - FOI 2019-609	- Page 26 of 52	

.

• E. Foundation Walls

Deficiency: Code Section: Comments:

• F. Concrete Stairs

Deficiency: Code Section: Comments: Status: N/A

Resolution Date:

Status: N/A

Resolution Date:

City of Vancouver - FOI 2019-609 - Page 27 of 52

			Community S Licenses and	ervices Group I Inspections		Certificat	e of Inspection
Developi	ment an	UVER d Building Permit (nd 2 FD - Forms/Fe				ection Number: ection Date:	DB-2017-06676-04 28 May 2019
Inspector:	Name: Office Ho Phone:	Eli Zienty, District Bu urs: 8:30-9:30 AM (604) 673-8469	ilding Inspector	Address: Contractor:	Vanco Rain C	20TH AVENUE uver, BC V5V 1M City Renovations L	
					Vanco	GOTHARD ST uver, BC V5R 3K (778) 896-7887	8
Inspection	Result: Pa	ssed					
Comments	So	pection for foundation wa me planters and wells to l ang letter for reinforcing re	be filled in later				_
Inspectio	n Checkl	ist Details				· · · · · · · · · · · · · · · · · · ·	
• A. Inspec	ction Gene	ral		Sta	atus:	Pass	
Deficie	001					Resolution Dat	A •
Code Se						Resolution Dat	c.
Comme							
• B. Safety	,			Sta	atus:	N/A	
Deficie	ncy:					Resolution Dat	e:
Code Se							
Comme	ents:						
• C. Excav	vation			Sta	atus:	N/A	
Deficie	ncy:		× ,			Resolution Dat	e:
Code Se							
Comme	ents:			,			
• D. Footir	ngs			Sta	atus:	N/A	
Deficie	ncy:			`		Resolution Dat	e:
Code Se	ection:						
Comme	ents:			City	of Vanco	ouver - FOI 2019-609	- Page 28 of 52

• E. Foundation Walls

Deficiency: Code Section: Comments:

• F. Concrete Stairs

Deficiency: Code Section: Comments: Status: N/A

Resolution Date:

Status: N/A

Resolution Date:

City of Vancouver - FOI 2019-609 - Page 29 of 52

СП		L	Community Services Group icenses and Inspections	Certificat	e of Inspection
	ent an	UVER d Building Permit (DE intile	3)	Inspection Number: Inspection Date:	DB-2017-06676-05 04 Jun 2019
Inspector: N		Anthony Leung urs: gav79	Address:	558 E 20TH AVENUE Vancouver, BC V5V 1M	8
F	hone:	(604) 506-4119	Contractor	Rain City Renovations L 4515 GOTHARD ST Vancouver, BC V5R 3k Office: (778) 896-7887	
Inspection Re	sult: Pa	ssed			
Comments:	As Dra	mp proofing inspection. phalt liquid Emulsion damp pr aintile and RWL piping to see. ssed.			

	ITY OF	· · · · ·	Community Se Licenses and			Certificat	e of Insp	ection
Developn		JVER Building Permit (I ncroachment/Pla			-	ection Number: ection Date:	DB-2017-066 07 Jun 2019	76-06
Inspector:	Name: Office Hours Phone:	Eli Zienty, District Build : 8:30-9:30 AM (604) 673-8469	ling Inspector	Address:	Vanco	20TH AVENUE uver, BC V5V 1M ity Renovations L		
	in			Contractor	4515 (Vanco	GOTHARD ST uver, BC V5R 3K (778) 896-7887		
Inspection F	Result: Passe	ed						
Comments:	TOC ⁄	57.2 northeast corner	. 1					
Inspectior	n Checklist	Details	· · · · · · · · · · · · · · · · · · · ·					
 A. Inspec 	tion General			St	atus:	Pass	•	
Deficier Code Se	-					Resolution Dat	e:	
Comme	nts:							
 B. Safety 				St	atus:	N/A		
Deficier Code Se Commer	ction:					Resolution Dat	e:	
• C. Compa	are NEC			St	atus:	N/A		
Deficier						Resolution Dat	e:	
Code Se Comme						· ·		
• D. Field F	Plan Check			Sta	atus:	N/A		
Deficien	ncy:					Resolution Dat	e:	
Code Se Commer				· .				

	ITY OF	Lic	ommunity Ser censes and I		Certificat	te of Inspection
	Permit (BF	P) Inspection			Inspection Number: Inspection Date:	BP-2017-06677-01 25 Jul 2018
Inspector:		Ed Loney, District Building 8:30AM - 9:30AM	Inspector	Address:	550 E 20TH AVENUE Vancouver, BC V5V 1M	18
	Phone:	(604) 873-7074		Contractor:		,
Inspection I	Result: Issues	s Need Resolution				
Comments:	GC Jo	hn 778.896.7887				
	have c	ontacted GC re noise.				• •

			Community Se Licenses and			Certificat	e of Inspectio	
VANCOUVER Development and Building Permit Inspection 1 and 2 FD - Sheathir		lding Permit (I			Inspection Number: Inspection Date:		DB-2017-06676-11 10 Sep 2019	
Inspector:	Office Hours: 8:3		ding Inspector	Address:		20TH AVENUE uver, BC V5V 1M	8	
	Phone: (60)4) 873-7074		Contractor:	4515 (Vanco	ity Renovations L SOTHARD ST Jver, BC V5R 3K (778) 896-7887		
nspection	Result: Passed	LE 2011 1 1	d 100	· · · · · · · · · · · · · · · · · · ·			<u> </u>	
Comments:		er, D-1 in place. ridg	e survey req'd					
nspectio	n Checklist De	tails	· · · ·					
	ction General		<u></u>	Sta	itus:	N/A		
Deficie	ncy:					Resolution Dat	e:	
Code Se	ection:							
Comme	nts:							
B. Safety				Sta	tus:	N/A		
Deficie						Resolution Dat	•	
Code Se	-					Resolution Dat	с.	
Comme								
		•						
	·							
C. Sheat	hing Installation			Sta	tus:	N/A		
5 4 1								
Deficier Code Se	-					Resolution Dat	e:	
Code Se		· .						
conine	1123							
_								
D. Wall P	enetrations			Sta	tus:	· N/A		
		· .						
Deficier	ncy:					Resolution Dat	e:	
Code Se	ection:							
Comme	nts:							

Deficiency: Code Section: Comments:

• F. Flashings

Deficiency: Code Section: Comments:

G. Roof

Deficiency: Code Section: Comments:

• H. Windows, Doors, and Skylights

Deficiency: Code Section: Comments:

• I. Compliance with Approved Plans

Deficiency: Code Section: Comments:

• J. Paths

Deficiency: Code Section: Comments: Status: N/A

Resolution Date:

Status:

N/A

Resolution Date:

Status:

N/A

Resolution Date:

Status:

N/A

Resolution Date:

Status: N/A

Resolution Date:

Status:

N/A^r

Resolution Date:

City of Vancouver - FOI 2019-609 - Page 34 of 52
	ITY OF	UVER	Community Services Group Licenses and Inspections	Certificat	te of Inspection
		ion Rough In		Inspection Number: Inspection Date:	PP-2019-01509-03 20 Sep 2019
Inspector:	Name: Office Hou		bing/Gas and Spri Address:	558 E 20TH AVENUE Vancouver, BC V5V 1M	8
	Phone:	(604) 418-0926	Contractor:	Christopher K Alexande 11550 236B Maple Ridge, BC V4R Office: (604) 307-5711	
Inspection F	Result: Pas	sed	1999		
Comments:		ing accepted erpipe to see			
Inspection	n Checklis	st Details			
 Other Vent tern 	ninations to	see	Sta	atus: Pass	
Deficier Code Se		er		Resolution Dat	t e: Sep 20, 2019
Comme	nts: Vent	terminations to see			

				ĩ	
EA	ITY OF		Community Services Group Licenses and Inspections	Certifica	te of Inspection
	NCOL	JVER n Underground		Inspection Number: Inspection Date:	EP-2018-04452-02 17 Jun 2019
Inspector:	Name: Office Hours: Phone:		t Electrical Inspe Address:	558 E 20TH AVENUE Vancouver, BC V5V 1M	18
	r none.	(004) 87 5-7 647	Contractor:	Clear Energy Solutions 5220 Keith Rd West Vancouver, BC V Office: (604) 970-9717	
Inspection I	Result: Passe	d			
Comments:	Ok to a	cover cable and conduit			
			· · · · · · · · · · · · · · · · · · ·		
Other	n Checklist	Details		atus: N/A	
• Other			50	alus: N/A	
Deficie	-			Resolution Da	te:
Code Se Comme		•			
					· · · ·
		•			· ·
		• • •			
· .					
		•			
			· ,		
			1	•	
				:	,

CITY OF VANCOUVER Development and Building Permit (D Inspection Enforcement		Building Permit (DB)	Certificate of Inspection Inspection Number: DB-2017-06676-10 Inspection Date: 21 Jun 2019	
Inspector:	Name: Office Hours	Siobhan O'Toole, District Building Inspe Address:	558 E 20TH AVENUE Vancouver, BC V5V 1M	18
	Phone:	(604) 873-7691		
		Contractor	: Rain City Renovations I	_td
			4515 GOTHARD ST Vancouver, BC V5R 3ł Office: (778) 896-7887	<8

Comments:

Spoke to John @ 778-896-7887 He denies it is his crew as they are aware of the By-Laws and do not start working until 7:30am

/				Services Group nd Inspections	Certifica	te of Inspection
		-	on Followup		Inspection Number: Inspection Date:	EP-2018-04398-02 12 Jul 2019
Inspector:	Name: Office Hours:		ey, Technical Trainin	g In Address:	558 E 20TH AVENUE Vancouver, BC V5V 1M	18
	Phone:	(604) 873-7843		Contractor:	Clear Energy Solutions 5220 Keith Rd West Vancouver, BC V Office: (604) 970-9717	
Inspection I	Result: No Ac	tion Required				
Comments:		Service to be rea	dy by July 20th			1
Increation	n Checklist	Dotaile	Savagerone o			· · · · · · · · · · · · · · · · · · ·
• Other	I CHECKIIST	Details		Sta	itus: N/A	
Deficier	ncy:				Resolution Da	te:
Code Se	ection:					
Comme	nts:					
				· .		
				,		
			ŧ			
			• •			

En c	ITY OF	· 1	Community Services Group Licenses and Inspections	Certificat	te of Inspection
		UVER ion Rough In		Inspection Number: Inspection Date:	PP-2019-01807-02 28 Aug 2019
Inspector:	Name: Office Hou	· •	Gas and Sprin Address:	558 E 20TH AVENUE Vancouver, BC V5V 1M	8
•	Phone:	(604) 318-7309			
			Contractor:	Nathan Pulice	
		,		3522 HURST PLACE	
,				Vancouver, BC V5S 4C	28
				Office: (778) 227-8219	
Inspection I	Result: Pas	sed			
Comments:	Add	deck drains to permit, deck	drains and tests OK		
Inspectio	n Checklis	st Details			
• Other			Sta	atus: N/A	

Deficiency: Code Section: Comments:

City of Vancouver - FOI 2019-609 - Page 39 of 52

Resolution Date:

		Certificat	te of Inspection
		-	PP-2019-01807-03 28 Aug 2019
			18
	352 Van	2 HURST PLACE couver, BC V5S 40	28
s to permit			
S		· . · ·	
	Status:	Fail	
		Resolution Dat	te:
ns to permit		· · · · · ·	
	Licenses and In Rough In mann, Plumbing/Gas and Sprin 18-7309	bugh In In In mann, Plumbing/Gas and Sprin Address: 558 Var 18-7309 Contractor: Nat 352 Var Offi is to permit S	Licenses and Inspections R Inspection Number: Inspection Date: mann, Plumbing/Gas and Sprin Address: 558 E 20TH AVENUE Vancouver, BC V5V 1M 18-7309 Contractor: Nathan Pulice 3522 HURST PLACE Vancouver, BC V5S 4C Office: (778) 227-8219 is to permit Status: Fail Resolution Date

Community Services Group Licenses and Inspections CITY OF **ANCOUVER** Plumbing Inspection | Rough In Inspection Number: PP-2019-01509-02 Inspection Date: Inspector: Name: Ed Baumann, P

Certificate of Inspection

		Inspection Date:	09 Sep 2019
lumbing/Gas and Sprin Ad	dress:	558 E 20TH AVENUE Vancouver, BC V5V 1	
Con	tractor:	Christopher K Alexand 11550 236B Maple Ridge, BC V4F	
		Office: (604) 307-5712	

Inspection Result: Not Ready

Comments: Partial drainage waste venting excepted vent terminations to see test excepted Reebok

Inspection Checklist Details

Office Hours: Phone:

(604) 318-7309

• Other Vent terminations to see	Status: Fail
Deficiency: Other Code Section:	Resolution Date:
Comments: Vent terminations to see	

/	TTY OF	Community Services Grou Licenses and Inspection	μ	te of Inspection
Develop		Building Permit (DB)	Inspection Number: Inspection Date:	DB-2017-06676-08 11 Jun 2019
Inspector:	Name: Office Hours	Ed Baumann, Plumbing/Gas and Sprin Address	558 E 20TH AVENUE Vancouver, BC V5V 1M	18
	Phone:	(604) 318-7309		
		Contract	or: Rain City Renovations 4515 GOTHARD ST Vancouver, BC V5R 3ł Office: (778) 896-7887	
Inspection	Result: Passe	d		

Comments:

Dt rwl ok support to foundations ok to sumps to see

CITY OF VANCOUVER Development and Building Permit (I Inspection Draintile		Licenses and IVER Building Permit (DB)	ervices Group I Inspections			
Inspector:	Name: Office Hours:	Ed Baumann, Plumbing/Gas and Spr	in Address:	558 E 20TH AVENUE Vancouver, BC V5V 1M8		
	Phone:	(604) 318-7309				
			Contractor:	Rain City Renovations Ltd		
			۰.	4515 GOTHARD ST		
				Vancouver, BC V5R 3K8		
				Office: (778) 896-7887		

Inspection Result: Passed

Comments: Drain tile rain water litre supported to Concrete foundation excepted connections to Sumter to see

	ITY OF		Community Ser Licenses and			Certificat	e of Inspect	tion
	NCOL g Inspection	JVER on Sumps			-	tion Number: tion Date:	PP-2019-01807-0 14 Jun 2019)1
Inspector:	Name: Office Hours Phone:	Ed Baumann, Plumb :: (604) 318-7309	ing/Gas and Sprin	Address:		OTH AVENUE er, BC V5V 1M	8	
				Contractor:	Nathan F	Pulice		
						RST PLACE		
						er, BC V5S 40	8	
			•			78) 227-8219		
Inspection I	Result: Passe	ed	· · · · · · · · · · · · · · · · · · ·					
Comments:		s sewers ok to pl capp	ed subject to dept	h and locatio	n	•		
Inspection	n Checklist	Details		<u></u>				
 Other 				Sta	atus:	N/A		·
Deficier						Resolution Dat		
Deficier	-					Resolution Dat	e;	
Code Se	ection:							
Comme	nts:							
							·	
						×		
		4						

VA Developm	ITY OF NCOL nent and E on Draint	Building Permit (DB))	DB-2017-06676-09 14 Jun 2019
Inspector:	Name: Office Hours:	Ed Baumann, Plumbing/Gas and Sprin Address:	558 E 20TH AVENUE Vancouver, BC V5V 1M	8
	Phone:	(604) 318-7309		4 1
		Contracto	r: Rain City Renovations L 4515 GOTHARD ST Vancouver, BC V5R 3k Office: (778) 896-7887	

Comments: Dt. Nd rwl to sumps okay

CITY OF	Community Services Gro Licenses and Inspectio		Certificate of Inspection			
VANCOUVER Electrical Inspection Service			ection Number: ection Date:	EP-2018-04398-01 04 Jun 2018		
nspector: Name: Victor Lippucci Office Hours: 2:30-3:30 Phone: (604) 673-8342	Addres	Vanco tor: Clear	20TH AVENUE uver, BC V1V 1V Energy Solutions Keith Rd			
		West V	/ancouver, BC V (604) 970-9717	7W 2N1		
spection Result: Passed						
comments: 100 A 120/240V 1phase 3W	/ ok to cover.					
apportion Chooklist Dataila						
1spection Checklist Details		Status:	N/A			
		otatus.				
			. De se faction De f			
Deficiency:			Resolution Dat	:e:		
Code Section: Comments:						
comments.						
11. EV, PV, Renewable		Status:	N/A			
Deficiency:			Resolution Dat	e:		
Code Section:						
Comments:						
	x					
10. Class 1/Class 2/Comm		Status:	N/A			
	· ·	otatus.	N/A			
Deficiency:			Resolution Dat	e:		
Code Section:						
Comments:						
09. Life Safety Systems		Status:	N/A			
Deficiency:			Resolution Dat	e:		
Code Section:						

• 08. Heating

Deficiency: Code Section: Comments:

07. Mtr, Gen, Xfmr, Captr
 Deficiency:

Code Section: Comments:

• 06. Fixtures, Fittings, Equip

Deficiency: Code Section:

Comments:

• 01. Service

Deficiency: Code Section: Comments:

• 05. Raceways, Boxes

Deficiency: Code Section: Comments:

• 04. Br Ccts, Cndtrs, Cables, Cords

Deficiency: Code Section: Comments:

• 03. Grounding & Bonding

Status: N/A

Resolution Date:

Status: N/A

Resolution Date:

Status: N/A Resolution Date:

Status: N/A

Resolution Date:

Status: Pass

Resolution Date:

Status: Pass Resolution Date:

Status: Pass City of Vancouver - FOI 2019-609 - Page 47 of 52 Deficiency: Code Section: Comments:

• 02. Dist, Protect'n, Control

Deficiency: Code Section:

Comments:

• 12. Energy Compliance

Deficiency: Code Section: Comments: Status:

Pass

Resolution Date:

Status: N/A

.

Resolution Date:

DB-Zert-Cooti	
PERMIT NUMBER	
DATE 19 YY OGNMM 14 DD	



G 1505976

PLANNING & DEVELOPMENT Licences and Inspections

CERTIFICATE OF INSPECTION Pursuant to the City of Vancouver Gas Fitting By-Law and the BC Safety Standards Act: the Piping, Venting and Appliances in these

INTRAC	TOR / OWNER				558€ZO	
	_/			SPECIFI		-
	s permit	YES	NO		TOR ED BRUMAN	r
tem		1/	-	INSPEC	TOR CLOVOR MI	
1	ROUGH -IN COMPLETE OK TO COVER	1		OFFICE	HOURS: 8:30 - 9:30 am / 3	09
2	CERTIFICATE OF COMPLETION RECEIVED	X		PHONE	#: 100+873- 38-73	9
3	PERMIT CLEARED FOR OCCUPANCY		-	EMAIL:		
4	OTHER			INSPEC	TOR 95	
5	FINAL ACCEPTED				SIGNATUR	- 1 12
TEM		ACC	REJ	ITEM		ACC
6	GAS PIPING			16	ROUGH IN ONLY	
7	AIR TEST			17	UNVENTED HEATER	/
-	GAS VENTING		1	18	FAN ASSISTED DRAFT	
8	AIR SUPPLY SIZE COMBUSTION			19	SG TAG	
9	VENTILATION	-		20	GAS REGUALTOB	
10	WATER/HEATER	-	-	21	DIRECT VENT	
11		-		22	VENT FIRESTOPPING	
12	FUBNACE	_	-	23	VENTILATION AIR	
13	BOILER		-	91258	SPECIAL GAS VENTING	
14/	FIREPLACE		-	24	1	
45	APPLIANCES			25/		
he	following deficiencies shall be	e corre	ected	d and	be left accessible for	inspection
OTHE	R INSPECTOR'S PRESENT:					
ITEM	# DEFICIENCIES / REMARKS					CODE / REG. #
			-			
-	SAN/SAM PO	Pa	,	1	APPED +	
	Silings DO C	14 M	-	0	IR DES D	
_	SUMS AS C DEPTH + LOCA	na a	1.	~	05/501 10	
	Derth + LOCA	non		_		
1						
				-		
		-			City of Vancouver - FOI 2019-609 -	

WHITE COPY . TO FILE



G 1505940

PLANNING & DEVELOPMENT Licences and Inspections

DATE 19 108 MM2 8 DD

CERTIFICATE OF CAR INSPECTION

Pursuant to the City of Vancouver Gas Fitting By-Law and the BC Safety Standards Act: the Piping, Venting and Appliances in these Premises have been inspected as Noted Hereunder.

				ADDRE	550 Eau.		-
Same a	s permit 🔲	1	-	SPECIF	105		
NELLAND-		YES	NO	INSPEC	TOR D BALMAN	N	
1	ROUGH -IN COMPLETE OK TO COVER		/	1.	HOURS: 8:30 - 9:30 am / 3:00-		-
2	CERTIFICATE OF COMPLETION RECEIVED	1/			#: 604-873 318-7309	nee pin	
3	PERMIT CLEARED FOR OCCUPANCY	X		EMAIL:			
4	OTHER			INSPEC	TOR 903 4		
5	FINAL ACCEPTED				SIGNATURE)	<u> </u>
ITEM		ACC	REJ	ITEM		ACC	REJ
6	GAS PIPING			16	ROUGH IN ONLY		1
7	AIR TEST			17	UNVENTED HEATER		
8	GAS VENTING			18	FAN ASSISTED DRAFT		
9	AIR SUPPLY SIZE COMBUSTION			19	SG TAG		
10	VENTILATION			20	GAS REGUALTOR		
11	WATER HEATER			21	DIRECT VENT		
12	FURNACE			22	VENT FIRESTOPPING		
13	BOILER			23	VENTILATION AIR		
14	FIREPLACE			24	SPECIAL GAS VENTING		
15	APPLIANCES			25	BARBECUE		
OTHER	Ollowing deficiencies shall be INSPECTOR'S PRESENT:	corre	cted	and			
ITEM #	DEFICIENCIES / REMARKS	-		-	CC	DE / REG.	#
	DECK DNAIN	y	+		TESIS OKAY		
	DBF 70	Ing	Spe	Cry	MIT.		
	ADA D/D	T	2	Pæ	MIT.		
WHITE	COPY - TO FILE YELLOW	SAFETY O	FFICER		PINK - SITE COPY		

DO NOT REMOVE OR DESTORY THIS CERTIMON Ancouver - FOI 2019-609 - Page 50 of 52



G 1505360

PLANNING & DEVELOPMENT Licences and Inspections

PERMIT NUMBER 2019-0150 DATE

CERTIFICATE OF INSPECTION

Pursuant to the City of Vancouver Gas Fitting By-Law and the BC Safety Standards Act: the Piping, Venting and Appliances in these Premises have been inspected as Noted Hereunder.

CONTR	ACTOR / OWNER			ADDRE	55 558 EZO.	1
	X			SPECIF		
Same a Item	s permit	YES	NO		TOR B BAUMAN	N
1	ROUGH IN COMPLETE OK TO COVER		/	OFFICE	HOURS: 8:30 - 9:30 am / 3:00 - 4	.00 pm
2	CERTIFICATE OF COMPLETION RECEIVED	/		PHONE	#: 004873-318-730	9
3	PERMIT CLEARED FOR OCCUPANCY	X		EMAIL:		
4	OTHER			INSPEC	TOR GET	and the second
5	FINAL ACCEPTED				SIGNATURE	I se las
ITEM		ACC	REJ	ITEM		ACC RE.
6	GAS PIPING			16	ROUGH IN ONLY	
7	AIR TEST			17	UNVENTED HEATER	
8	GAS VENTING			18	FAN ASSISTED DRAFT	
9	AIR SUPPLY SIZE COMBUSTION			19	SG TAG	
10	VENTILATION			20	GAS REGUALTOR	
11	WATER HEATER			21	DIRECT VENT	
12	FURNACE			22	VENT FIRESTOPPING	
13	BOILER			23	VENTILATION AIR	
14	FIREPLACE			24	SPECIAL GAS VENTING	
15	APPLIANCES			25	BARBECUE	
The	following deficiencies shall be	e corre	ected	and	be left accessible for inspe	ection
-	R INSPECTOR'S PRESENT:			/		
ITEM	# DEFICIENCIES / REMARKS				CODE	/ REG. #
			in the second		and the second	
	PARTIAL	Du	N	~	VENT	
	TERMIN ATTON	15	TO	>	552	
	TET OKA	h				
		/				
	RECOLE	19-22				Contraction of the
-				1	and the second s	
-					1	
				-		A.C. A.M.

File:

Referred:

Referred:______ DO NOT REMOVE OR DESTORY THIS CERTIFICATE City of Vancouver - FOI 2019-609 - Page 51 of 52 Lic & Insp - COS (Revised Warch 4, 2015)

CITY OF VANCOUVER PLUMBING COMMUNITY SERVICES GROUP Licences and Inspections

	4	0	0	-	-	A	7
G		2		h	5	4	1
U	-	-	~	~	~	-	

DATE 1944 09 MM 12' DD

CERTIFICATE OF CON INSPECTION INSPECTION SCHEDULE PHONE LINES 604.873.7601 OR 604.873.7061 (24 hr)

PURSUANT TO THE CITY OF VANCOUVER GAS FITTING BY-LAW AND THE BC SAFETY STANDARDS ACT THE PIPING, VENTING AND APPLIANCES IN THESE PREMISES HAVE BEEN INSPECTED AS NOTED HEREUNDER.

CONTRACTOR/OWNER	ADDRESS 558 E20
	SPECIFICS SFD /SUITS.
ITEM ACE RE	GAS SAFETY OFFICER: Ed Baumann
ITEM ACC RE 1. GAS PIPING	OFFICE HOURS: 8:30-9:15 AM 7 1:00-1:45 PM
2. AIR TEST	PHONE #: 604-873-7100
3. GAS APPLIANCE VENTING & FIRESTOPPING	GAS SAFETY OFFICER: 43
4. AIR SUPPLY Size Combustion Ventilation	SIGNATURE
5. WATER HEATER	ITEM Y N
6. FURNACE	11. Rough-in complete OK to COVER
7. BOILER	12. Certificate of Completion received
8. FIREPLACE	13. Permit Cleared For Occupancy
9. OTHER APPLIANCE?	14. FINAL ACCEPTED
10. TOTAL BTU LOAD	15.

THE FOLLOWING DEFICIENCIES SHALL BE CORRECTED AND BE LEFT ACCESSIBLE FOR REINSPECTION.

ITEM # / DATE	DEFICIENCIES / REMARKS	
		CODE / REG. #
	UND/GND DW +TSE OK	
	SLAB PROTECTED BY PUMP.	
	PIPING SUPPORTED BY DIGOG	
	+ HUMGERS TO STRUCTURE. REBAR. (BOG) MOG.	
	REBAR BOG MAR	
	(Doc) MOA.	
WHITE COPY - TO FI	IE	
rile:	YELLOW - GAS SAFETY OFFICERS COPY	
	Referred:	
	Acterred:	PINK - SITE COPY
	DO NOT REMOVE OR DESA	609 - Page 52 of 52

OR DESTROY THIS CERTIFICATE