

File No.: 04-1000-20-2019-609

November 1, 2019

s.22(1)

Dear s.22(1)

**Re: Request for Access to Records under the Freedom of Information and Protection of Privacy Act (the "Act")**

I am responding to your request of September 30, 2019 for:

**Geotech report and inspection reports in regards to 558 East 20th Avenue, from January 1, 2017 to October 1, 2019.**


All responsive records are attached. Some information in the records has been severed, (blacked out), under s.22(1) of the Act. You can read or download this section here: [http://www.bclaws.ca/EPLibraries/bclaws\\_new/document/ID/freeside/96165\\_00](http://www.bclaws.ca/EPLibraries/bclaws_new/document/ID/freeside/96165_00).

Under section 52 of the Act you may ask the Information & Privacy Commissioner to review any matter related to the City's response to your request. The Act allows you 30 business days from the date you receive this notice to request a review by writing to: Office of the Information & Privacy Commissioner, [info@oipc.bc.ca](mailto:info@oipc.bc.ca) or by phoning 250-387-5629.

If you request a review, please provide the Commissioner's office with: 1) the request number assigned to your request (#04-1000-20-2019-609); 2) a copy of this letter; 3) a copy of your original request for information sent to the City of Vancouver; and 4) detailed reasons or grounds on which you are seeking the review.

Please do not hesitate to contact the Freedom of Information Office at [foi@vancouver.ca](mailto:foi@vancouver.ca) if you have any questions.

Yours truly,



**Barbara J. Van Fraassen, BA**  
**Director, Access to Information & Privacy**  
[Barbara.vanfraassen@vancouver.ca](mailto:Barbara.vanfraassen@vancouver.ca)  
453 W. 12th Avenue Vancouver BC V5Y 1V4

\*If you have any questions, please email us at [foi@vancouver.ca](mailto:foi@vancouver.ca) and we will respond to you as soon as possible. Or you can call the FOI Case Manager at 604.871.6584.

Encl.

:kt

DB-2017-06676



# Phillips Engineering Ltd.

3641 Blenheim Street, Vancouver, BC, V6L 2Y1  
Phone (604) 716-8881 / Fax (604) 739-6782  
info@phillipsengineering.ca

s.22(1)

c/o Diamond Architectural Group Inc.  
410 - 119 West Pender Street  
Vancouver, BC V6B 1S5

Attention: Craig Mercs,

March 10, 2017

Our File: 1253



**Re: Proposal for Geotechnical Engineering Services for Proposed New Single Family Dwelling  
Located at 550 East 20<sup>th</sup> Avenue, Vancouver, BC**

## 1.0 INTRODUCTION

We understand that it is proposed to re-develop the property located at 550 East 20<sup>th</sup> Avenue in Vancouver. It is proposed to construct a residential building on this lot which we understand will be up to two or three levels of wood framed construction founded near existing grades.

This report describes the general subsurface conditions at the time of our investigation and makes recommendations for the design and construction of the proposed development. This report was prepared exclusively for s.22(1) and for the use of others on their design and construction team, although it remains the property of Phillips Engineering Ltd.

## 2.0 SITE DESCRIPTION

The site is located on the south side of East 20<sup>th</sup> Avenue in Vancouver, BC. The site is bounded by private property to the west, east and south.

At the time of our investigation a house existed on the site.

The property is rectangular in shape and of maximum dimensions of 49 feet in the east-west direction and 122 feet in the north-south direction. The site is essentially level.

## 3.0 INVESTIGATION

Phillips Engineering Ltd. was present on site February 9, 2017 to conduct a drill-based site investigation using the subcontracted services of Uniwide Drilling Co. Ltd. of Burnaby, BC. At that time one solid stem auger test hole was drilled to depths of up to 50 feet and one Dynamic Cone Penetration Test (DPCT) near the proposed building were conducted on areas of the property that were accessible for the truck mounted drill rig. The DPCTs were terminated at depths of up to 41 feet below existing grades. An engineer from our office logged the soils and collected samples for further laboratory analysis. All test holes were backfilled and compacted with excavated soil upon completion of logging. The test hole locations are shown



on our drawing number Sketch-1 located following the text of this report and the detailed test hole logs are attached in Appendix A.

## **4.0 DISCUSSION**

### **4.1 Soil Conditions**

The published geological information of the region under investigation is described as SAb = bog, swamp and shallow lake deposits, lowland peat up to 8 m thick overlaying Fb, c, according to the Geological Survey of Canada map 1484A. Please refer to the individual test hole logs in Appendix A for specific soil descriptions. A general description of the soils encountered at the test hole locations is given below:

#### **FILL**

Up to 6 inches of asphalt on fill below grades has been identified near the ground surface at all of our test hole location.

#### **PEAT**

Very soft, amorphous, peat with high moisture content, was identified from near the ground surface at all of our test hole locations down to about 29 feet below current grades. It is expected to underlie the entire property.

#### **SILT**

Silt to organic silt was identified underlying the peat. The silt is more plastic near the top and becomes less plastic with depth and with moderate moisture contents and very soft to soft consistency. The silt extends to depths between 29 feet to 37 feet below existing site grades. The silt is considered compressible under any new area loading.

#### **GLACIAL Till Deposit (Sand and Silt)**

The materials described above were noted to be underlain by dense glacial till, comprised of mostly fine sand, some silt, and trace sub-angular gravel. The glacial till was identified at depths ranging from 37 feet below existing site grades and was found to extend to depths beyond those of our investigation.

### **4.2 Groundwater Conditions**

The water table was encountered at around 6 feet below existing site grades at our test hole locations at the time of our investigation. We expect that groundwater level may fluctuate at different times of the year and possibly following periods of heavy rainfall. Excavations below the static groundwater table are expected to encounter significant groundwater.

## **5.0 GENERAL DISCUSSION**

We have not been provided with any design drawings yet however we expect that construction on these lots



will be limited to three levels of wood framed construction founded near existing site grades

The site was noted to be underlain by up to 17 feet of peat over about 12 feet of very soft to soft silt at our test hole location and therefore we do not recommend founding the proposed structures at grade as large and differential settlements would be likely. We recommend supporting the house and any accessory buildings on helical piles set within the compact to medium dense sand identified at a depth of about 40 feet below existing site grades.

The concrete grade beams and floor slabs will be poured using the ground surface as the base form. We note that peat soils are identified at or near the existing ground surface and that any pressure applied to the peat will likely result in compressive settlements. For example, under an 8 inch concrete slab we would expect settlements in the range of 1 to 2 inches. These settlements may result in weakening and/or bowing of the concrete while it is curing leading to possible cracking. Therefore we recommend a small pre-load equivalent in weight to the expected foundation and floor slab concretes be placed over the building areas.

## **6.0 DESIGN RECOMMENDATIONS**

### **6.1 Site Preparation**

#### **6.1.1 Stripping Recommendations**

Prior to construction the existing structures and infrastructure should be decommissioned, demolished and all debris removed.

#### **6.1.2 Pre-Loading Recommendations**

As discussed above, the peat is expected to be subject to compressive settlements under the weight of the concrete grade beams and floor slabs leading to bowing and/or weakening of the concrete while it is curing. We expect that a 1 metre (3.3 foot) pre-load placed over the building areas and extending at least 0.6 metres (2 feet) outside of the building envelopes would be sufficient to reduce these potential settlements and to not impact the concrete pours. We expect that sufficient compressive settlement under the pre-loads will be complete after about 3 weeks.

### **6.2 Foundation Recommendations**

#### **6.2.1 Piled Foundation**

We understand that an alternative option would be to have the proposed structure founded on piles set in the dense glacial till material located below depths of 38 feet below existing site grades. The site is underlain by soft soils and the existing homes to the north and south are located relatively close to the property line. To limit vibration and potential damage to the adjacent structures we suggest the use of drilled (helical) piles for the site.

One potential drilled pile would be TerraCana helical micropiles. TerraCana helical micropiles, equipped with a triple (250 mm/300 mm/350 mm diameter) helix lead with a steel pipe, six inch diameter column, can be expected to achieve the working compressive capacities required at a depth. Under lateral loading the TerraCana helical micro-pile would undergo significant movements. The use of the TerraCana helical micro-



pile will require the incorporation of a grade beam system around the foundations to support the lateral loads from earthquakes or other sources rather than the piles.

Allowable pile capacities of about 20 kips to 40 kips can be anticipated provided pile lengths are about 42 feet, allowing for sufficient embedment of at least 5 feet within the dense glacial till material at depth.

Pile foundations require continuous inspection during installation.

### **6.2.2 Seismic Design of Foundations**

The subsurface soils are not considered prone to ground liquefaction or other forms of ground softening caused by earthquake induced ground motions.

Review of our available geotechnical data indicates that the proposed development site qualifies as Site Class E as defined in Table 4.1.8.4.A of the BCBC<sub>2012</sub>. We recommend that the structural designer utilize the Class E design spectrum.

All other aspects of construction should meet the requirements of the Vancouver Building By-law 2014 and the details in our report are still relevant.

### **6.3 Grade Supported Beams, Pile Caps and/or Structural Slabs**

Following the recommended site preparation, including pre-loading, specified in Section 6.2 of this report we expect that all concrete beams, pile caps and structural slabs will be structurally designed and poured using the improved ground surface as the base form

## **7.0 UNDERGROUND SERVICES AND BUILDING TO GROUND TRANSITIONS**

The ground around and beneath and around the pile supported building will settle after construction. The amount of settlement depends long term settlement characteristics of the silts. However, a flexible connection system allowing for about 300 mm of settlement should be made for all services connecting to the fixed building from the surrounding ground.

Any pipes or ducts entering the building crawlspace should enter beneath the building foundations or a block out in the foundation should be sufficiently large to allow for the ground settlement. Connections to the building should be flexible or telescopic to allow for settlement.

Building steps, porches and patios should be connected to the building or pile supported. Where the steps meet the ground there should be a transition slab connected to the fixed stairs or building and resting on the ground so that should settlement occur there will be a smooth transition from the ground to the base of the stairs.

Provided that the building floors are above the surrounding grade and constructed in accordance with the recommendations presented above, then perimeter drains should not be necessary.

## **8.0 SERVICES**

Site servicing will consist of the installation of storm, water and sanitary services along with gas and likely







We are pleased to be of assistance to you on this project and we trust that our comments and recommendations are both helpful and sufficient for your current purposes. If you would like further details or would like clarification of any of the above, please do not hesitate to call.

For:

**Phillips Engineering Ltd.**



Ward Phillips, P.Eng.  
Principal

The stamp is circular with a double-lined border. The outer ring contains the text "PROFESSIONAL" at the top and "BRITISH COLUMBIA" at the bottom. The inner circle contains the text "PROVINCE OF" at the top, "W. D. PHILLIPS" in the center, and "# 40003" below it. The word "ENGINEER" is written in a semi-circle at the bottom of the inner circle.

# Test Hole Log: TH-1

PHILLIPS ENGINEERING LTD.

File: 1253

Project: s.22(1) Residence

Client: s.22(1)

Location: 550 East 20th Avenue, Vancouver, BC

3641 Blenheim Street  
Vancouver, BC V6L 2Y1  
Tel: 604 716-8881

Fax: 604 739-6782

Depth ft m	Symbol	Sample	Soil Description	Sample #	Water Cont.	DCPT (blows per foot)	Remarks
						10 20 30 40 50 60 70 80	
0			Asphalt on 6 inches of poor fill overlying PEAT			4	Water Table @ about 6 ft Below Grade
						P	
						P	
						P	
						P	
						P	
						P	
						P	
						P	
						P	
						P	
						P	
						P	
						P	
						P	
5			Very Soft clayey Silt			P	Fine sand sloughed off auger stem.
						P	
						P	
						P	
						P	
						P	
						P	
						P	
						P	
						P	
10			changing from very soft to soft to firm gray clayey silt/silty clay			1	
						1	
						1	
						5	
15			Sandy Silt compact/firm, moist, grey, trace of gravel				
						17	
						8	
						13	
						12	
						12	
20							
25							
30							
35							

Equipment: Truck Mounted Drill Rig  
Sampling Method: Lump Sample  
Hammer Type: DCPT

Datum: Existing Grade  
Surface Elevation: SEE PLAN  
Water Depth: 6 ft Below Grade

Logged By: WP  
Drilling Date: February, 2017  
Dwg No.: TH-1  
Page: 1 of 2

# Test Hole Log: TH-3

PHILLIPS ENGINEERING LTD.

File: 1253  
Project: S.22(1) Residence  
Client: S.22(1)

Location: 550 East 20th Avenue, Vancouver, BC

3641 Blenheim Street  
Vancouver, BC V6L 2Y1  
Tel: 604 716-8881

Fax: 604 739-6782

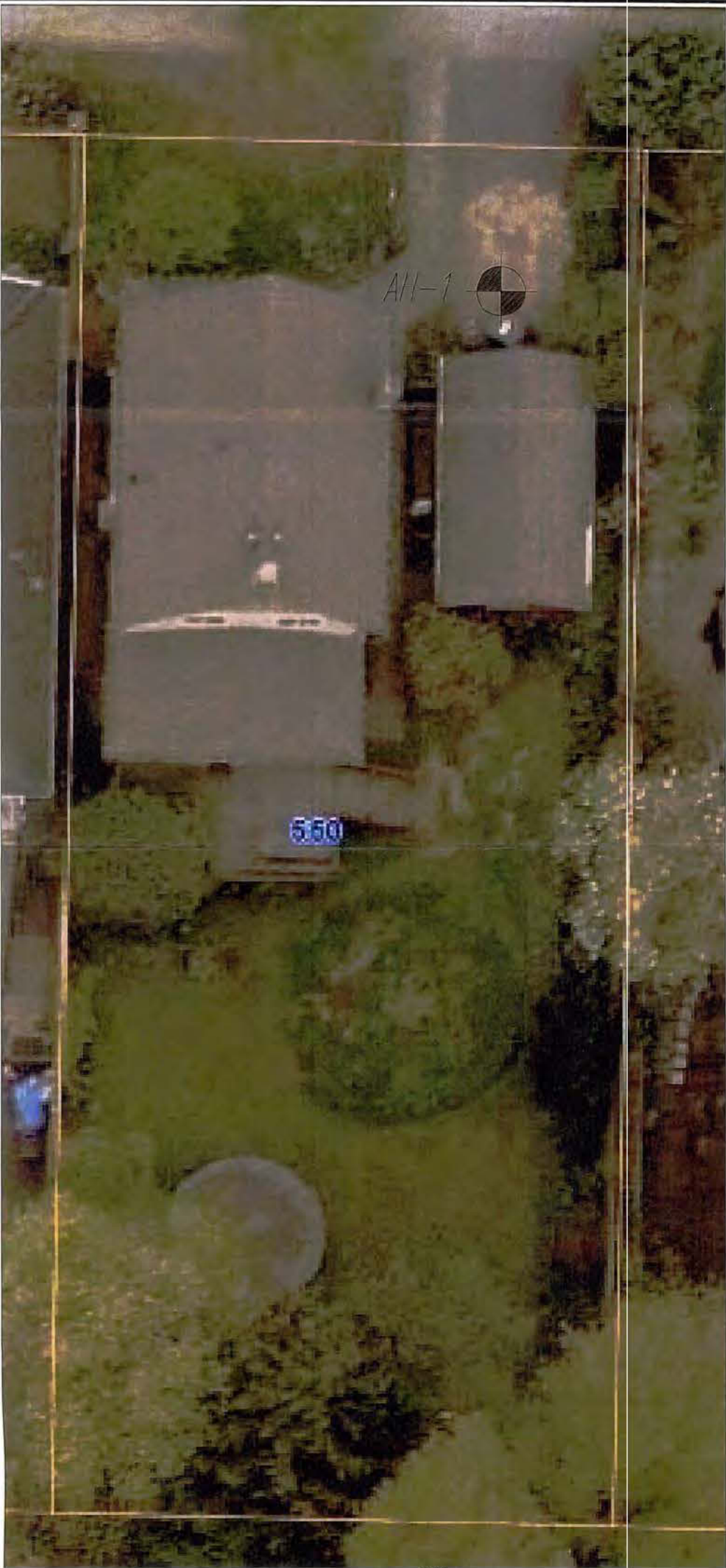
Depth	Symbol	Sample	Soil Description	Sample #	Water Cont.	DCPT (blows per foot)	Remarks
						10 20 30 40 50 60 70 80	
ft m							
12			Hard Sandy Silt and Silt Commences at about 37.5 ft Below Grade			● 2	
40						● 12	
						● 21	
						● 23	
13							● 130
							DCPT met refusal @ 50 ft below grade
14			End of Test Hole @ 50'				
45							
15							
50							
16							
55							
17							
18							
60							
19							
20							
65							
21							
70							
22							

Equipment: Truck Mounted Drill Rig  
Sampling Method: Lump Sample  
Hammer Type: DCPT

Datum: Existing Grade  
Surface Elevation: SEE PLAN  
Water Depth: 6 ft Below Grade

Logged By: WP  
Drilling Date: February 2017  
Dwg No.: TH-1  
Page: 2 of 2





AH-2  -AUGER DRILL HOLE (AH)

PLAN  
NOT TO SCALE

REVISIONS:	
A.	
B.	
C.	
FILE NO:	1253
DATE:	SKETCH-1

REFERENCE:

ARCHITECTS  
PROJ. NO.:  
DATE:

PHILLIPS ENGINEERING LTD.

3541 BLENHEIM STREET  
VANCOUVER, B.C. V6S 1Z6

Ph. (604) 716-8881  
Fax (604) 719-6782

DATE: MARCH 6, 2017

DRN. BY: WP APP'D:

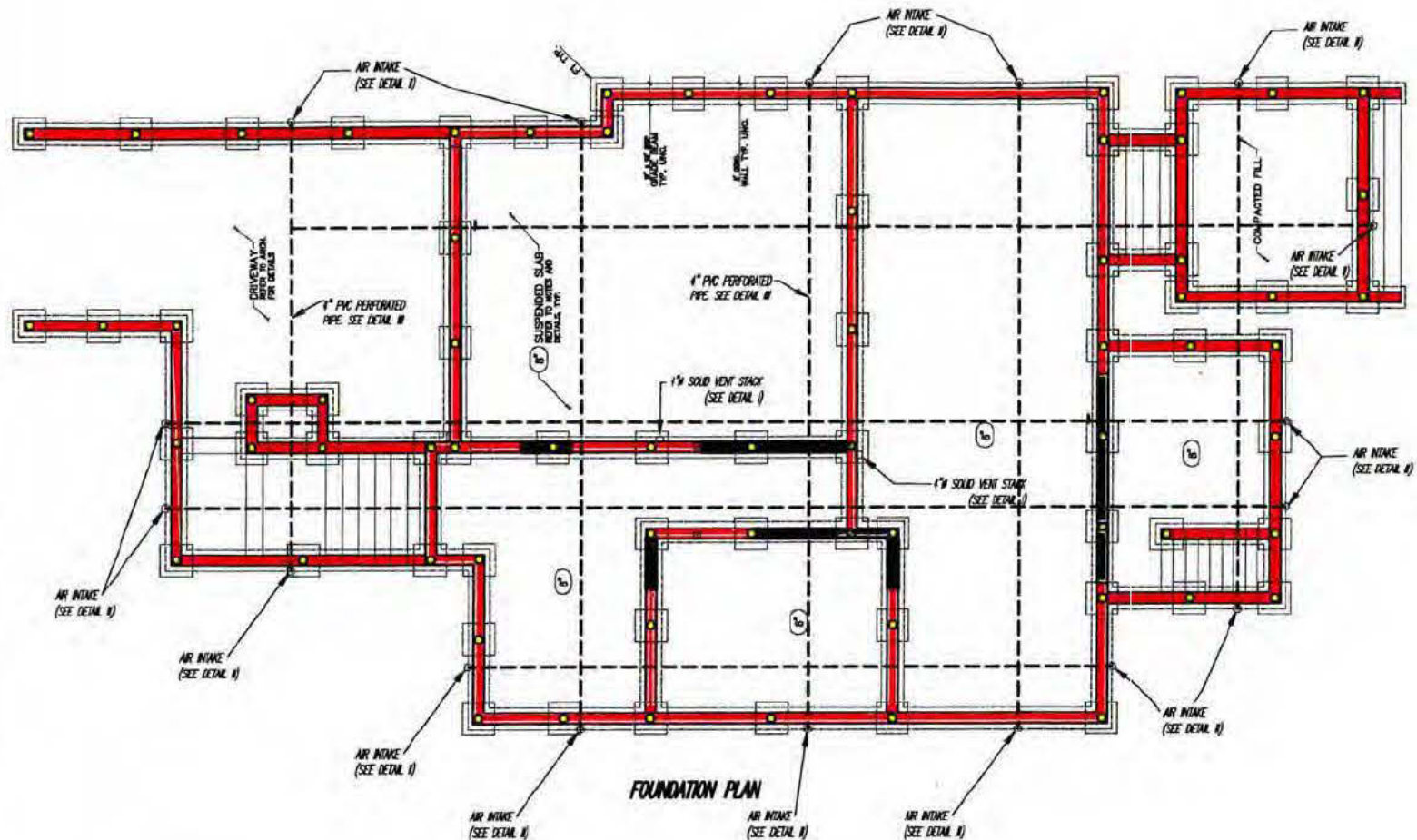
SCALE: AS SHOWN

PROPOSED RESIDENTIAL DEVELOPMENT

City of Vancouver, For 2019-609 - Page 9 of 52

AUGER HOLE LOCATION PLAN





**MAIN LEVEL/SITE PLAN**  
SCALE 1"=40'

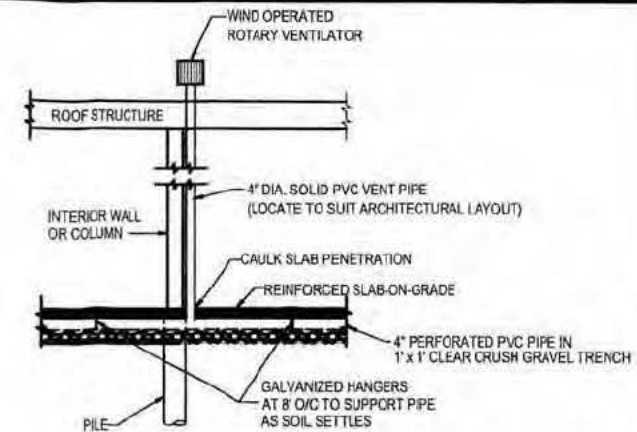
**TERMINATION OF VENT RISER:**

- 10' min. AWAY FROM ANY ELECTRICAL DEVICES
- PLACE PLACARD SIGN AT VENT LOCATIONS ON THE ROOF.

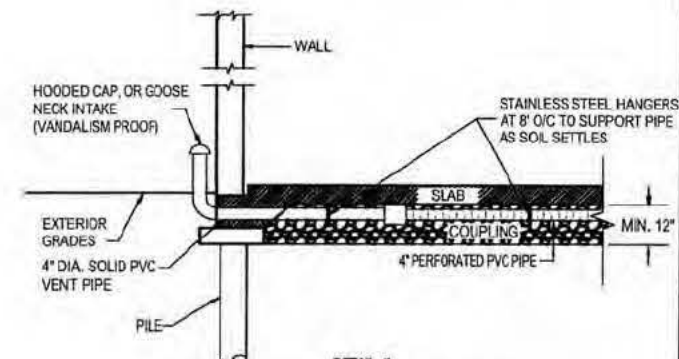
PLACARD SIGN TO READ:

CAUTION  
METHANE GAS  
IN PIPE

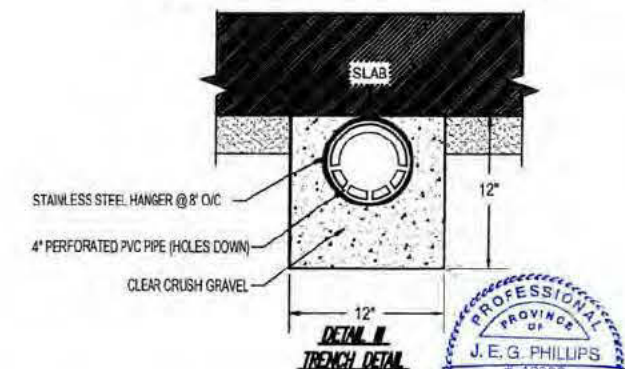
-ARCHITECT AND MECHANICAL ENGINEER TO REVIEW METHANE VENTILATION SYSTEM TO ENSURE THAT ALL APPLICABLE CODES AND PERMIT REQUIREMENTS ARE MET.



**DETAIL I**  
**UNDERSLAB PERFORATED PIPE & RISER TO ROOF DETAIL**



**DETAIL II**  
**EXTERIOR FRESH AIR INTAKE VENT DETAIL - OPTION 1**



**DETAIL III**  
**TRENCH DETAIL**



**REFERENCE:**

3641 Blenheim Street  
Vancouver, B.C.  
Canada V5L 2Y1  
Ph: (604) 715-8881  
Fax: (604) 738-6782

**PHILLIPS & ASSOCIATES**

DATE: SEPTEMBER 10, 2017

DRN. BY: W.P. APP'D.

SCALE: AS SHOWN

**PROPOSED s.22(1) RESIDENCE**  
550 EAST 20TH AVENUE, VANCOUVER, B.C.  
**METHANE VENTILATION SYSTEM PLAN**

FILE NO: 1253

DWG NO: G-M1

**REVISIONS:**

A. OCTOBER 16, 2017

B.

C.



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Building Permit (BP) Inspection | Enforcement

Inspection Number: BP-2017-06677-01

Inspection Date: 25 Jul 2018

Inspector: Name: Ed Loney, District Building Inspector  
Office Hours: 8:30AM - 9:30AM  
Phone: (604) 873-7074

Address: 550 E 20TH AVENUE  
Vancouver, BC V5V 1M8

Contractor:

---

#### Inspection Result: Issues Need Resolution

Comments: GC John 778.896.7887  
have contacted GC re noise.

---





Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Building Permit (BP) Inspection | Demo - Tree barrier and or demo assessment

Inspection Number: BP-2017-06677-02

Inspection Date: 10 Sep 2018

Inspector: Name: Ed Loney, District Building Inspector  
Office Hours: 8:30AM - 9:30AM  
Phone: (604) 873-7074

Address: 550 E 20TH AVENUE  
Vancouver, BC V5V 1M8

Contractor:

Inspection Result: Approved

Comments:

### Inspection Checklist Details

● D. Predemolition Assessment

Status: Pass

Deficiency:

Resolution Date:

Code Section:

Comments:

● C. Compliance with Approved Plan

Status: Pass

Deficiency:

Resolution Date:

Code Section:

Comments:

● B. Safety

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● A. Inspection General

Status: Pass

Deficiency:

Resolution Date:

Code Section:

Comments:



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Building Permit (BP) Inspection | Enforcement

Inspection Number: BP-2017-06677-03

Inspection Date: 15 Oct 2018

**Inspector:** Name: Ed Loney, District Building Inspector  
Office Hours: 8:30AM - 9:30AM  
Phone: (604) 873-7074

**Address:** 550 E 20TH AVENUE  
Vancouver, BC V5V 1M8

**Contractor:** Wecan Excavating & Demolition Ltd.  
15031 94 Avenue  
Surrey, BC V3R 7L9  
Office: (778) 241-9295

**Inspection Result:** Passed

**Comments:** attempted to contact complainant several times, no response



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Building Permit (BP) Inspection | Demo - Demo notification

Inspection Number: BP-2017-06677-04

Inspection Date: 16 Oct 2018

**Inspector:** Name: Ed Loney, District Building Inspector  
Office Hours: 8:30AM - 9:30AM  
Phone: (604) 873-7074

**Address:** 550 E 20TH AVENUE  
Vancouver, BC V5V 1M8

**Contractor:** Wecan Excavating & Demolition Ltd  
15031 94 Avenue  
Surrey, BC V3R 7L9  
Office: (778) 241-9295

**Inspection Result:** Failed

**Comments:** demo done w/ notification

### Inspection Checklist Details

- C. Compliance with Demolition Contractor Declaration

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

- B. Safety

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

- A. Inspection General

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:





Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Building Permit (BP) Inspection | Demo - Demo notification

Inspection Number: BP-2017-06677-05

Inspection Date: 18 Oct 2018

**Inspector:** Name: Ed Loney, District Building Inspector  
Office Hours: 8:30AM - 9:30AM  
Phone: (604) 873-7074

**Address:** 550 E 20TH AVENUE  
Vancouver, BC V5V 1M8

**Contractor:** Wecan Excavating & Demolition Ltd  
15031 94 Avenue  
Surrey, BC V3R 7L9  
Office: (778) 241-9295

Inspection Result: Passed

Comments:

### Inspection Checklist Details

● C. Compliance with Demolition Contractor Declaration

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● B. Safety

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● A. Inspection General

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Building Permit (BP) Inspection | Demo - Final

Inspection Number: BP-2017-06677-06

Inspection Date: 18 Oct 2018

**Inspector:** Name: Ed Loney, District Building Inspector  
Office Hours: 8:30AM - 9:30AM  
Phone: (604) 873-7074

**Address:** 550 E 20TH AVENUE  
Vancouver, BC V5V 1M8

**Contractor:** Wecan Excavating & Demolition Ltd  
15031 94 Avenue  
Surrey, BC V3R 7L9  
Office: (778) 241-9295

Inspection Result: Final Inspection Performed

Comments:

### Inspection Checklist Details

● C. Demolition Complete

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● B. Safety

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● A. Inspection General

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Plumbing Inspection | Underground

Inspection Number: PP-2019-01509-01

Inspection Date: 12 Apr 2019

**Inspector:** Name: Ed Baumann, Plumbing/Gas and Sprin  
Office Hours:  
Phone: (604) 318-7309

**Address:** 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8

**Contractor:** Christopher K Alexander  
11550 236B  
Maple Ridge, BC V4R 2C5  
Office: (604) 307-5711

### Inspection Result: Passed

**Comments:** Underground drainage waste venting excepted slab protected by pump all Supported by rods and hangers to rebar structural slab bog area

### Inspection Checklist Details

#### ● Other

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

#### ● Permit

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

#### ● Drainage

**Status:** Pass

Deficiency:

Resolution Date:

Code Section:

Comments:

#### ● Sumps/Interceptors

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

- Water

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

- Waterservice

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:





Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Electrical Inspection | Underground

Inspection Number: EP-2018-04452-01

Inspection Date: 24 Apr 2019

Inspector: Name: Andrew Thornley, District Electrical Ins  
Office Hours:  
Phone: (604) 873-7843

Address: 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8

Contractor: Clear Energy Solutions Inc  
5220 Keith Rd  
West Vancouver, BC V7W 2N1  
Office: (604) 970-9717

Inspection Result: Passed

Comments:

### Inspection Checklist Details

● 12. Energy Compliance

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 05. Raceways, Boxes

Status: Pass

Deficiency:

Resolution Date:

Code Section:

Comments:

● 06. Fixtures, Fittings, Equip

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 07. Mtr, Gen, Xfmr, Captr

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 09. Life Safety Systems

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 08. Heating

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 04. Br Ccts, Cndtrs, Cables, Cords

Status: Pass

Cable in house foundation

Deficiency:

Resolution Date:

Code Section:

Comments:

● 03. Grounding & Bonding

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 01. Service

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 02. Dist, Protect'n, Control

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 13. Other

Status: N/A

Deficiency:  
Code Section:  
Comments:

Resolution Date:

● 10. Class 1/Class 2/Comm

Status: N/A

Deficiency:  
Code Section:  
Comments:

Resolution Date:

● 11. EV,PV, Renewable

Status: N/A

Deficiency:  
Code Section:  
Comments:

Resolution Date:



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Development and Building Permit (DB) Inspection | 1 and 2 FD - Slab

Inspection Number: DB-2017-06676-02

Inspection Date: 03 May 2019

Inspector: Name: Richard Allen, District Building Inspector  
Office Hours:  
Phone: (604) 123-4567

Address: 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8  
  
Contractor: Rain City Renovations Ltd  
4515 GOTHARD ST  
Vancouver, BC V5R 3K8  
Office: (778) 896-7887

#### Inspection Result: Passed

Comments: Vapour barrier/ insulation is installed and matches plan.  
P. Eng letter received and accepted for slab reinforcement.  
Ok to pour.

#### Inspection Checklist Details

##### ● A. Inspection General

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● B. Safety

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● C. Compliance with Approved Plans

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● D. Structural Aspects

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:



- E. Environmental Separation

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

- F. In-floor Hydronic Heating

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Development and Building Permit (DB) Inspection | 1 and 2 FD - Forms/Foundation

Inspection Number: DB-2017-06676-01

Inspection Date: 03 May 2019

Inspector: Name: Richard Allen, District Building Inspector Address: 558 E 20TH AVENUE  
Office Hours: Vancouver, BC V5V 1M8  
Phone: (604) 123-4567

Contractor: Rain City Renovations Ltd.  
4515 GOTHARD ST  
Vancouver, BC V5R 3K8  
Office: (778) 896-7887

#### Inspection Result: Failed

Comments: Please cleanup tree barrier.  
P. Eng letter received and accepted for formwork/slab/structural reinforcement  
Formwork matches plan  
WCB Geotech required. recall before pour.

#### Inspection Checklist Details

##### ● A. Inspection General

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● B. Safety

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● C. Excavation

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● D. Footings

Status: N/A

Deficiency:

Resolution Date:

Code Section:

**Comments:**

● **E. Foundation Walls**

**Status:** N/A

**Deficiency:**

**Resolution Date:**

**Code Section:**

**Comments:**

● **F. Concrete Stairs**

**Status:** N/A

**Deficiency:**

**Resolution Date:**

**Code Section:**

**Comments:**



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Development and Building Permit (DB) Inspection | 1 and 2 FD - Forms/Foundation

Inspection Number: DB-2017-06676-03

Inspection Date: 08 May 2019

**Inspector:** Name: Richard Allen, District Building Inspector  
Office Hours:  
Phone: (604) 829-9768  
**Address:** 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8  
**Contractor:** Rain City Renovations Ltd  
4515 GOTHARD ST  
Vancouver, BC V5R 3K8  
Office: (778) 896-7887

#### Inspection Result: Passed

**Comments:** Geotech WCB letter received and accepted valid until June 6, 2019  
Geotech methane system letter received and accepted  
OK to pour footings and slab call for inspection for wall forms

#### Inspection Checklist Details

##### ● A. Inspection General

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● B. Safety

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● C. Excavation

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● D. Footings

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:



- E. Foundation Walls

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

- F. Concrete Stairs

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Development and Building Permit (DB) Inspection | 1 and 2 FD - Forms/Foundation

Inspection Number: DB-2017-06676-04

Inspection Date: 28 May 2019

Inspector: Name: Eli Zienty, District Building Inspector  
Office Hours: 8:30-9:30 AM  
Phone: (604) 673-8469

Address: 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8

Contractor: Rain City Renovations Ltd  
4515 GOTHARD ST  
Vancouver, BC V5R 3K8  
Office: (778) 896-7887

#### Inspection Result: Passed

Comments: Inspection for foundation walls  
Some planters and wells to be filled in later  
P eng letter for reinforcing received

#### Inspection Checklist Details

##### ● A. Inspection General

Status: Pass

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● B. Safety

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● C. Excavation

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● D. Footings

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

- **E. Foundation Walls**

**Status:** N/A

**Deficiency:**

**Resolution Date:**

**Code Section:**

**Comments:**

- **F. Concrete Stairs**

**Status:** N/A

**Deficiency:**

**Resolution Date:**

**Code Section:**

**Comments:**





Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Development and Building Permit (DB) Inspection | Draintile

Inspection Number: DB-2017-06676-05

Inspection Date: 04 Jun 2019

**Inspector:** Name: Anthony Leung  
Office Hours: gav79  
Phone: (604) 506-4119

**Address:** 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8

**Contractor:** Rain City Renovations Ltd  
4515 GOTHARD ST  
Vancouver, BC V5R 3K8  
Office: (778) 896-7887

### Inspection Result: Passed

**Comments:** Damp proofing inspection.  
Asphalt liquid Emulsion damp proofing ok.  
Draintile and RWL piping to see.  
Passed.



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Development and Building Permit (DB) Inspection | Non-encroachment/Plan Check

Inspection Number: DB-2017-06676-06

Inspection Date: 07 Jun 2019

**Inspector:** Name: Eli Zienty, District Building Inspector  
Office Hours: 8:30-9:30 AM  
Phone: (604) 673-8469

**Address:** 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8

**Contractor:** Rain City Renovations Ltd  
4515 GOTHARD ST  
Vancouver, BC V5R 3K8  
Office: (778) 896-7887

#### Inspection Result: Passed

**Comments:** TOC 157.2 northeast corner

#### Inspection Checklist Details

##### ● A. Inspection General

**Status:** Pass

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● B. Safety

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● C. Compare NEC

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

##### ● D. Field Plan Check

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Building Permit (BP) Inspection | Enforcement

Inspection Number: BP-2017-06677-01

Inspection Date: 25 Jul 2018

Inspector: Name: Ed Loney, District Building Inspector  
Office Hours: 8:30AM - 9:30AM  
Phone: (604) 873-7074

Address: 550 E 20TH AVENUE  
Vancouver, BC V5V 1M8

Contractor:

---

#### Inspection Result: Issues Need Resolution

Comments: GC John 778.896.7887  
have contacted GC re noise.

---



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Development and Building Permit (DB) Inspection | 1 and 2 FD - Sheathing

Inspection Number: DB-2017-06676-11

Inspection Date: 10 Sep 2019

Inspector: Name: Ed Loney, District Building Inspector  
Office Hours: 8:30AM - 9:30AM  
Phone: (604) 873-7074

Address: 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8

Contractor: Rain City Renovations Ltd  
4515 GOTHARD ST  
Vancouver, BC V5R 3K8  
Office: (778) 896-7887

Inspection Result: Passed

Comments: ok to paper, D-1 in place. ridge survey req'd

### Inspection Checklist Details

#### ● A. Inspection General

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

#### ● B. Safety

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

#### ● C. Sheathing Installation

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

#### ● D. Wall Penetrations

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

- **E. Window Mock-up**

**Status:** N/A

Deficiency:

**Resolution Date:**

Code Section:

Comments:

- **F. Flashings**

**Status:** N/A

Deficiency:

**Resolution Date:**

Code Section:

Comments:

- **G. Roof**

**Status:** N/A

Deficiency:

**Resolution Date:**

Code Section:

Comments:

- **H. Windows, Doors, and Skylights**

**Status:** N/A

Deficiency:

**Resolution Date:**

Code Section:

Comments:

- **I. Compliance with Approved Plans**

**Status:** N/A

Deficiency:

**Resolution Date:**

Code Section:

Comments:

- **J. Paths**

**Status:** N/A

Deficiency:

**Resolution Date:**

Code Section:

Comments:



## Plumbing Inspection | Rough In

Community Services Group  
Licenses and Inspections

## Certificate of Inspection

Inspection Number: PP-2019-01509-03

Inspection Date: 20 Sep 2019

**Inspector:** Name: Steve Donnery, Plumbing/Gas and Spr  
Office Hours:  
Phone: (604) 418-0926

**Address:** 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8

**Contractor:** Christopher K Alexander  
11550 236B  
Maple Ridge, BC V4R 2C5  
Office: (604) 307-5711

### Inspection Result: Passed

**Comments:** Venting accepted  
Waterpipe to see

### Inspection Checklist Details

- Other

Vent terminations to see

**Status:** Pass

**Deficiency:** Other

**Resolution Date:** Sep 20, 2019

**Code Section:**

**Comments:** Vent terminations to see





Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Electrical Inspection | Underground

Inspection Number: EP-2018-04452-02

Inspection Date: 17 Jun 2019

Inspector: Name: Ronald Macneil, District Electrical Inspe  
Office Hours:  
Phone: (604) 873-7847

Address: 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8  
  
Contractor: Clear Energy Solutions Inc  
5220 Keith Rd  
West Vancouver, BC V7W 2N1  
Office: (604) 970-9717

Inspection Result: Passed

Comments: Ok to cover cable and conduit

### Inspection Checklist Details

• Other

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Development and Building Permit (DB) Inspection | Enforcement

Inspection Number: DB-2017-06676-10

Inspection Date: 21 Jun 2019

---

<b>Inspector:</b>	<b>Name:</b> Siobhan O'Toole, District Building Inspe	<b>Address:</b> 558 E 20TH AVENUE
	<b>Office Hours:</b>	Vancouver, BC V5V 1M8
	<b>Phone:</b> (604) 873-7691	
	<b>Contractor:</b> Rain City Renovations Ltd	
	4515 GOTHARD ST	
	Vancouver, BC V5R 3K8	
	Office: (778) 896-7887	

---

#### Inspection Result: Passed

**Comments:** Spoke to John @ 778-896-7887  
He denies it is his crew as they are aware of the By-Laws and do not start working until 7:30am

---



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Electrical Inspection | Expiration Followup Inspection

Inspection Number: EP-2018-04398-02

Inspection Date: 12 Jul 2019

Inspector: Name: Andrew Thornley, Technical Training In Address: 558 E 20TH AVENUE  
Office Hours: Vancouver, BC V5V 1M8  
Phone: (604) 873-7843

Contractor: Clear Energy Solutions Inc  
5220 Keith Rd  
West Vancouver, BC V7W 2N1  
Office: (604) 970-9717

Inspection Result: No Action Required

Comments: Main Service to be ready by July 20th

### Inspection Checklist Details

• Other

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:



**Plumbing Inspection | Rough In**

Community Services Group  
Licenses and Inspections

**Certificate of Inspection**

**Inspection Number:** PP-2019-01807-02

**Inspection Date:** 28 Aug 2019

**Inspector:** Name: Ed Baumann, Plumbing/Gas and Sprin  
Office Hours:  
Phone: (604) 318-7309

**Address:** 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8

**Contractor:** Nathan Pulice  
3522 HURST PLACE  
Vancouver, BC V5S 4C8  
Office: (778) 227-8219

**Inspection Result:** Passed

**Comments:** Add deck drains to permit, deck drains and tests OK

**Inspection Checklist Details**

● Other

**Status:** N/A

**Deficiency:**

**Resolution Date:**

**Code Section:**

**Comments:**



**Plumbing Inspection | Rough In**

Community Services Group  
Licenses and Inspections

**Certificate of Inspection**

**Inspection Number:** PP-2019-01807-03

**Inspection Date:** 28 Aug 2019

**Inspector:** Name: Ed Baumann, Plumbing/Gas and Sprin  
Office Hours:  
Phone: (604) 318-7309

**Address:** 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8

**Contractor:** Nathan Pulice  
3522 HURST PLACE  
Vancouver, BC V5S 4C8  
Office: (778) 227-8219

**Inspection Result:** Failed

**Comments:** Add deck drains to permit

**Inspection Checklist Details**

● **Other**

Add deck drains to permit

**Status:** Fail

**Deficiency:** Other

**Resolution Date:**

**Code Section:**

**Comments:** Add deck drains to permit



**Plumbing Inspection | Rough In**

Community Services Group  
Licenses and Inspections

**Certificate of Inspection**

**Inspection Number:** PP-2019-01509-02

**Inspection Date:** 09 Sep 2019

---

**Inspector:** Name: Ed Baumann, Plumbing/Gas and Sprin  
Office Hours:  
Phone: (604) 318-7309

**Address:** 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8

**Contractor:** Christopher K Alexander  
11550 236B  
Maple Ridge, BC V4R 2C5  
Office: (604) 307-5711

---

**Inspection Result:** Not Ready

**Comments:** Partial drainage waste venting excepted vent terminations to see test excepted Reebok

---

**Inspection Checklist Details**

---

● Other	<b>Status:</b>	Fail
Vent terminations to see		
<b>Deficiency:</b> Other	<b>Resolution Date:</b>	
<b>Code Section:</b>		
<b>Comments:</b> Vent terminations to see		





Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Development and Building Permit (DB) Inspection | Drainile

Inspection Number: DB-2017-06676-08

Inspection Date: 11 Jun 2019

Inspector: Name: Ed Baumann, Plumbing/Gas and Sprin  
Office Hours:  
Phone: (604) 318-7309

Address: 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8

Contractor: Rain City Renovations Ltd  
4515 GOTHARD ST  
Vancouver, BC V5R 3K8  
Office: (778) 896-7887

Inspection Result: Passed

Comments: Dt rwl ok support to foundations ok to sumps to see



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Development and Building Permit (DB) Inspection | Draintile

Inspection Number: DB-2017-06676-07

Inspection Date: 11 Jun 2019

---

<b>Inspector:</b>	<b>Name:</b> Ed Baumann, Plumbing/Gas and Sprin	<b>Address:</b> 558 E 20TH AVENUE
	<b>Office Hours:</b>	Vancouver, BC V5V 1M8
	<b>Phone:</b> (604) 318-7309	
	<b>Contractor:</b> Rain City Renovations Ltd	
		4515 GOTHARD ST
		Vancouver, BC V5R 3K8
		Office: (778) 896-7887

---

### Inspection Result: Passed

**Comments:** Drain tile rain water litre supported to Concrete foundation excepted connections to Sumter to see

---

**Inspection Number:** PP-2019-01807-01

**Inspection Date:** 14 Jun 2019

---

**Inspector:** Name: Ed Baumann, Plumbing/Gas and Sprin  
Office Hours:  
Phone: (604) 318-7309

**Address:** 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8

**Contractor:** Nathan Pulice  
3522 HURST PLACE  
Vancouver, BC V5S 4C8  
Office: (778) 227-8219

---

**Inspection Result:** Passed

**Comments:** Sumps sewers ok to pl capped subject to depth and location

---

**Inspection Checklist Details**

● Other

**Status:** N/A

**Deficiency:**

**Resolution Date:**

**Code Section:**

**Comments:**



Community Services Group  
Licenses and Inspections

## Certificate of Inspection

### Development and Building Permit (DB) Inspection | Drain tile

Inspection Number: DB-2017-06676-09

Inspection Date: 14 Jun 2019

**Inspector:** Name: Ed Baumann, Plumbing/Gas and Sprin  
Office Hours:  
Phone: (604) 318-7309

**Address:** 558 E 20TH AVENUE  
Vancouver, BC V5V 1M8

**Contractor:** Rain City Renovations Ltd  
4515 GOTHARD ST  
Vancouver, BC V5R 3K8  
Office: (778) 896-7887

### Inspection Result: Passed

**Comments:** Dt. Nd rwl to sumps okay

Inspection Number: EP-2018-04398-01

Inspection Date: 04 Jun 2018

**Inspector:** Name: Victor Lippucci  
Office Hours: 2:30-3:30  
Phone: (604) 673-8342

**Address:** 558 E 20TH AVENUE  
Vancouver, BC V1V 1V1

**Contractor:** Clear Energy Solutions Inc  
5220 Keith Rd  
West Vancouver, BC V7W 2N1  
Office: (604) 970-9717

**Inspection Result:** Passed

**Comments:** 100 A 120/240V 1phase 3W ok to cover.

**Inspection Checklist Details**

● 13. Other

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 11. EV, PV, Renewable

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 10. Class 1/Class 2/Comm

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 09. Life Safety Systems

**Status:** N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 08. Heating

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 07. Mtr, Gen, Xfmr, Captr

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 06. Fixtures, Fittings, Equip

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 01. Service

Status: N/A

Deficiency:

Resolution Date:

Code Section:

Comments:

● 05. Raceways, Boxes

Status: Pass

Deficiency:

Resolution Date:

Code Section:

Comments:

● 04. Br Ccts, Cndtrs, Cables, Cords

Status: Pass

Deficiency:

Resolution Date:

Code Section:

Comments:

● 03. Grounding & Bonding

Status: Pass



Deficiency:  
Code Section:  
Comments:

Resolution Date:

● 02. Dist, Protect'n, Control

Status: Pass

Deficiency:  
Code Section:  
Comments:

Resolution Date:

● 12. Energy Compliance

Status: N/A

Deficiency:  
Code Section:  
Comments:

Resolution Date:



PLUMBING

## CERTIFICATE OF ~~INSPECTION~~ INSPECTION

Pursuant to the City of Vancouver Gas Fitting By-Law and the BC Safety Standards Act: the Piping, Venting and Appliances in these Premises have been inspected as Noted Hereunder.

CONTRACTOR / OWNER				ADDRESS <b>558 E20.</b>			
Same as permit <input type="checkbox"/>				SPECIFICS			
Item		YES	NO	INSPECTOR <b>BAUMANN</b>			
1	ROUGH -IN COMPLETE OK TO COVER			OFFICE HOURS: <b>8:30 - 9:30 am / 3:00 - 4:00 pm</b>			
2	CERTIFICATE OF COMPLETION RECEIVED			PHONE #: <b>604-673-318-7309</b>			
3	PERMIT CLEARED FOR OCCUPANCY			EMAIL:			
4	OTHER			INSPECTOR <b>913</b> SIGNATURE			
5	<b>FINAL ACCEPTED</b>						
ITEM		ACC	REJ	ITEM		ACC	REJ
6	GAS PIPING			16	ROUGH IN ONLY		
7	AIR TEST			17	UNVENTED HEATER		
8	GAS VENTING			18	FAN ASSISTED DRAFT		
9	AIR SUPPLY SIZE COMBUSTION			19	SG TAG		
10	VENTILATION			20	GAS REGULATOR		
11	WATER HEATER			21	DIRECT VENT		
12	FURNACE			22	VENT FIRESTOPPING		
13	BOILER			23	VENTILATION AIR		
14	FIREPLACE			24	SPECIAL GAS VENTING		
15	APPLIANCES			25	BARBECUE		


The following deficiencies shall be corrected and be left accessible for inspection

OTHER INSPECTOR'S PRESENT:		
ITEM #	DEFICIENCIES / REMARKS	CODE / REG. #
	<b>DECK DRAINAGE + TESTS OKAY</b>	
	<b>DBF TO INSPECTOR SCUPPERS</b>	
	<b>ADD D/D TO PERMIT.</b>	



# CERTIFICATE OF INSPECTION

Pursuant to the City of Vancouver Gas Fitting By-Law and the BC Safety Standards Act: the Piping, Venting and Appliances in these Premises have been inspected as Noted Hereunder.

CONTRACTOR / OWNER				ADDRESS 558 E 20			
Same as permit <input checked="" type="checkbox"/>				SPECIFICS			
Item	YES	NO	INSPECTOR ED BRAUMANN				
1			OFFICE HOURS: 8:30 - 9:30 am / 3:00 - 4:00 pm				
2			PHONE #: 604-873-318-7309				
3			EMAIL:				
4			INSPECTOR 				
5			SIGNATURE				
ITEM	ACC	REJ	ITEM	ACC	REJ		
6			16			ROUGH IN ONLY	
7			17			UNVENTED HEATER	
8			18			FAN ASSISTED DRAFT	
9			19			SG TAG	
10			20			GAS REGULATOR	
11			21			DIRECT VENT	
12			22			VENT FIRESTOPPING	
13			23			VENTILATION AIR	
14			24			SPECIAL GAS VENTING	
15			25			BARBECUE	

The following deficiencies shall be corrected and be left accessible for inspection

OTHER INSPECTOR'S PRESENT:

ITEM #	DEFICIENCIES / REMARKS	CODE / REG. #
	PARTIAL DW - VENT TERMINATIONS TO SEE	
	TEST OKAY	
	REBOOK	

WHITE COPY - TO FILE

YELLOW - SAFETY OFFICER

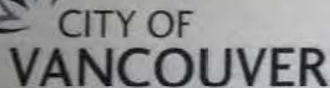
PINK - SITE COPY

File:

Referred:

Supervisor:

DO NOT REMOVE OR DESTROY THIS CERTIFICATE



COMMUNITY SERVICES GROUP  
Licences and Inspections

Permit Number  
PP 2019-01509

DATE  
19<sup>th</sup> 04<sup>th</sup> 12<sup>th</sup> DD

Plumb, R.

INSPECTION SCHEDULE PHONE LINES 604.873.7601 OR 604.873.7061 (24 hr)

CONTRACTOR/OWNER

ADDRESS

## SPECIFICS

**GAS SAFETY OFFICER:**

Ed Baumann

OFFICE HOURS: 8:30-9:15 AM / ~~1:00-1:45 PM~~

PHONE #: ~~604-873~~

FAX: 604-873-7100

**GAS SAFETY OFFICER:**

SIGNATURE

ITEM		ACC	REJ
1.	GAS PIPING		
2.	AIR TEST		
3.	GAS APPLIANCE VENTING & FIRESTOPPING		
4.	AIR SUPPLY Size Combustion _____ Ventilation _____		
5.	WATER HEATER		
6.	FURNACE		
7.	BOILER		
8.	FIREPLACE		
9.	OTHER APPLIANCE?		
10.	TOTAL BTU LOAD _____		

GAS SAFETY OFFICER: Ed Baumann

OFFICE HOURS: 8:30-9:15 AM / ~~1:00-1:45 PM~~

PHONE #: ~~604-873-3187~~ 318-7309 FAX: 604-873-7100

GAS SAFETY OFFICER: [Signature]

SIGNATURE

ITEM		Y	N
11.	Rough-in complete OK to COVER		
12.	Certificate of Completion received		
13.	Permit Cleared For Occupancy		
14.	FINAL ACCEPTED		
15.			

OTHER GAS SAFETY OFFICERS PRESENT:

ITEM # / DATE	DEFICIENCIES / REMARKS	CODE / REG. #
	UND / GND DW + TEST OK SLAB PROTECTED BY PUMP.	
	PIPING SUPPORTED BY RODS + HANGERS (TO STRUCTURAL REBAR. (BOG) MOD.	

WHITE COPY - TO FILE

File:

YELLOW - GAS SAFETY OFFICER'S COPIES

WHITE COPY - TO FILE

file:

YELLOW - GAS SAFETY OFFICERS COPY

Referred:

PINK - SITE COPY

Supervisor:

City of Vancouver - FOI 2019-609 - Page 52 of 52

DO NOT REMOVE OR DESTROY THIS CERTIFICATE