

File No.: 04-1000-20-2020-355

November 6, 2020

s.22(1)

Dear s.22(1)

RE: Request for Access to Records under the Freedom of Information and Protection of Privacy Act (the "Act")

I am writing regarding your request of June 23, 2020 under the *Freedom of Information and Protection of Privacy Act* for:

1. **Records of inspections of 439 Powell Street, between January 1, 2011 and March 31, 2015, including annual SRO inspections, and inspections related to enforcement actions or structural integrity;**
2. **Records of inspections 451 Powell Street, between January 1, 2011 and July 31, 2013, including annual SRO inspections, and inspections related to demolition or enforcement actions and permit-related inspections;**
3. **Records of or associated with any 311 or equivalent complaint/call relating to 439 Powell Street or 451 Powell Street, between March 1, 2013 and July 31, 2013;**
4. **Any invoices issued by or on behalf of the City to the Ming Sun Benevolent Society or its directors or to the owners of 439 Powell Street, from July 24, 2013 to June 15, 2015, related to the following:**
 - **the demolition of 451 Powell and associated acts such as temporary disconnection of power or water and removal of debris,**
 - **the process of vacating 439 Powell (which had commercial and residential tenants),**
 - **the relocation and rehousing of 439 Powell's commercial and residential tenants,**
 - **expenses for security, fencing, or the like relating to the vacating of 439 Powell,**
 - **work performed by or on behalf of the City in relation to the structural integrity of 439 Powell or in relation to public safety from 439 Powell.**

All responsive records are attached. Some information in the records has been severed, (blacked out), under s.21(1) and s.22(1) of the Act. You can read or download this section here: http://www.bclaws.ca/EPLibraries/bclaws_new/document/ID/freeside/96165_00

Under section 52 of the Act, and within 30 business days of receipt of this letter, you may ask the Information & Privacy Commissioner to review any matter related to the City's response to your FOI request by writing to: Office of the Information & Privacy Commissioner, info@oipc.bc.ca or by phoning 250-387-5629.

If you request a review, please provide the Commissioner's office with: 1) the request number (#04-1000-20-2020-355); 2) a copy of this letter; 3) a copy of your original request; and 4) detailed reasons why you are seeking the review.

Yours truly,

[Signature on file]

Barbara J. Van Fraassen, BA
Director, Access to Information & Privacy

Barbara.vanfraassen@vancouver.ca
453 W. 12th Avenue Vancouver BC V5Y 1V4

*If you have any questions, please email us at foi@vancouver.ca and we will respond to you as soon as possible. Or you can call the FOI Case Manager at 604.871.6584.

Encl.

:ma

Building Inspection Complaint - Case ref: 101000460199**Building Inspection, Construction and Permit Complaints:**

use this case for building inspection and construction work complaints on private property.

1. Type of Complaint *	Other
2. If Other selected, provide details:	Walls about to collapse
3. If Work Without a Permit selected is there visible and active work being done?	<input type="radio"/> Yes <input type="radio"/> No <input type="radio"/> Unknown
4. Describe complaint in detail (building type i.e. single family or multi-family dwelling, high-rise, commercial building; location of work, type of work) *:	Business at 437 Powell Street had a brick wall collapse approx 1 week ago. Today, citizen noticed that at his business at 451 Powell St, the wall is caving in and he believes the 2nd floor is about to collapse. I have advised him to call 911 right away also. Tom Chow can be reached at 778.885.5599, he is currently next door at another business.

* indicates a required field.

Common Case Details

Preferred Contact Method:	Either
Phone:	7788855599
Email:	doublehappiness@telus.net

Incident Date :	<input type="text"/>
Incident Time :	<input type="text"/>

Additional Details :	<input type="text"/>
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[Word Print](#)**Case 101000460199 Details**

Building Inspection Complaint
CaseID : 101000460199
Rep Name : Deena Stromgren
Date Created : 07/24/2013
Time Created : 11:26

Contact Information

Contact Name / Organization:	Double Happiness Foods (2007) Ltd
Caller Type	Oth

Alternate Contact:	<input type="text"/>
Street Number and Name:	429 POWELL ST
Street Address 2:	<input type="text"/>

City:	Vancouver
Province:	BC
Postal Code:	V6A 1G7
Email:	doublehappiness@telus.net
Phone Number on File:	7788855599
Alternate Phone Number:	7788855599

Contact Comments:	Tom Chow
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Incident Location Information

Location Name :	<input type="text"/>
Street Number :	451
Street Name :	POWELL ST
Street Address 2 :	<input type="text"/>
City :	Vancouver
Province :	BC
Postal Code :	V6A 1G7

Location Comments:	<input type="text"/>
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Below are the geographical locations X and Y co-ordinates for this Case.

X co-ordinate:	49.283337
Y co-ordinate:	-123.094185
Location:	<input type="text"/>
Locate on Map	Press the 'Locate on Map' button to launch the GIS map system to refine the Location.

[Word Print](#)

(printable version)

Case Details

Case Ref 101000460199

Classification DBL - Inspections >> Building >> Building Inspection Complaint Case

Associated with [451 POWELL ST, Vancouver, BC, V6A 1G7](#)

Title Building Inspection Complaint

Description -

Status Closed

Closed Date Jul 24, 2013 12:22:33 PM (Over 6 years ago)

Created Date Jul 24, 2013 11:26:46 AM (Over 6 years ago)

Created by Deena Stromgren

Raised by [Double Happiness Foods \(2007\) Ltd \(Phone\)](#)

Priority Very High

Severity Very High

Internal Only

eForms [Z - CSG Inspections Building Complaints](#)

History: All [eForms](#) [Events](#) [Interactions](#) [Notes](#)

<u>Type</u>	<u>Description</u>	<u>Raised by</u>	<u>Created by</u>	<u>Created</u>
Initial Contact	Phone - 101040638714/I	Double Happiness Foods (2007) Ltd	Deena Stromgren	Jul 24 2013 11:16
Event	Agent Created Case	(No Interaction)	Deena Stromgren	Jul 24 2013 11:26
eForm	Z - CSG_Inspections_Building_Complaints	(No Interaction)	Deena Stromgren	Jul 24 2013 11:29
Event	Agent Updated Case Details - Reallocated to queue: CSG - Inspections Reception General	(No Interaction)	Lorna Kao	Jul 24 2013 11:31
Event	Agent Finished - Case Closed Assigned Mike McDiarmid 8-7073	(No Interaction)	Marisa Lee	Jul 24 2013 12:22

5 items found.



Assertive Excavating and Demolition Ltd.

#264 19567 Fraser Hwy

Surrey B.C. V3S 9A4

Phone: (604) 888-6055

Fax: (604) 888-3222

www.AssertiveExcavating.com

Invoice # 13429

August 21, 13

City Of Vancouver

Phone: 604-873-7883

Fax: 604-873-7100

Email: AP.central@vancouver.ca

Attention: Harley Manchielse

Re : Clean Up Of Debris At 451 Powel Street

Supply short swing excavator to remove building debris. Supply lined bins and disposal of asbestos waste.
Supply labour for clean up and water spraying.

Supply hazardous material survey	\$1500.00
Aug 1 move excavator to site	\$300.00
Excavator 9 hours @ \$145 per hour (rented equipment rate)	\$1305.00
1 labourer 4 hours @ \$30 per hour	\$120.00
Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
Aug 2 Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
1 labourer 7 hours @ \$30 per hour	\$210.00
Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
Remove 2 bins of asbestos waste @ \$3500 per bin	\$7000.00
Aug 6 Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
1 labourer 7 hours @ \$30 per hour	\$210.00
Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
Remove 2 bins of asbestos waste @ \$3500 per bin	\$7000.00
Aug 7 Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
1 labourer 7 hours @ \$30 per hour	\$210.00
Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
Remove 2 bins of asbestos waste @ \$3500 per bin	\$7000.00
Remove 1 40 yard bin of clean drywall (inc disposal)	\$1060.00
Aug 8 Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
1 labourer 8 hours @ \$30 per hour	\$240.00
Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
Remove 3 bins of asbestos waste @ \$3500 per bin	\$10500.00
Aug 9 Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00

	1 labourer 5 hours @ \$30 per hour	\$150.00
	Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
Aug 12	Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
	1 labourer 8 hours @ \$30 per hour	\$240.00
	Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
	Remove 3 bins of asbestos waste @ \$3500 per bin	\$10500.00
Aug 13	Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
	1 labourer 8 hours @ \$30 per hour	\$240.00
	Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
	Remove 3 bins of asbestos waste @ \$3500 per bin	\$10500.00
Aug 14	Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
	1 labourer 8 hours @ \$30 per hour	\$240.00
	Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
	Remove 2 bins of asbestos waste @ \$3500 per bin	\$7000.00
Aug 15	Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
	1 labourer 6 hours @ \$30 per hour	\$180.00
	Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
	Supply dump truck with pony to remove 4 boxes concrete	
	Dump truck with pony 5 hours @ \$120 per hour	\$600.00
	Disposal 4 boxes @ \$85 per box	\$340.00
Aug 16	Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
	1 labourer 6 hours @ \$30 per hour	\$180.00
	Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
	40 yard tri-axle end dump to remove 2 loads concrete	
	6 hours @ \$125 per hour	\$750.00
	Disposal fee 2 loads @ \$165 per load	\$330.00
	Remove excavator from site	<u>\$300.00</u>

Subtotal:	\$80905.00
GST:	<u>\$ 4045.25</u>
Total:	\$84950.25

GST# 895864601



Building Inspection Complaint - Other - 101000460199

Case Created: 7/24/2013 11:26:00 AM

Address of Premises Involved:

Address: 451 POWELL ST

Complainant:

Contact: Double Happiness Foods (2007) Ltd
Address: 429 POWELL ST, Vancouver
Phone number: 7788855599, 7788855599
Email: doublehappiness@telus.net
Preferred contact: Either
Contact Comments: Tom Chow

Request Details:

1. Type of Complaint *	Other
2. If Other selected, provide details:	Walls about to collapse
3. If Work Without a Permit selected is there visible and active work being done?	
4. Describe complaint in detail (building type i.e. single family or multi-family dwelling, high-rise, commercial building; location of work, type of work) *:	Business at 437 Powell Street had a brick wall collapse approx 1 week ago. Today, citizen noticed that at his business at 451 Powell St, the wall is caving in and he believes the 2nd floor is about to collapse. I have advised him to call 911 right away also. Tom Chow can be reached at 778.885.5599, he is currently next door at another business.

Additional Details:

EN
FYA to: Mike McDiarmid 8-7073
FYI to:

Double Happiness Foods

RE: 451 POWELL ST.

E-MAIL ABOUT DAMAGED BUILDING

From: "EMANUAL SAYO" s.22(1)
To: <doublehappinessfoods@telus.net>
Sent: July 23, 2013 4:37 AM
Subject: message for Tom
Hi Tom.

Cecilia

Hope all is well with you. Cora had told me about your recent visit inside the the building. I will get in tou with you as soon as I get more info regarding the insurance.

Regards,

Cecilia

031
* City Eng.
HALL
- 911 -
Collapse July 13/13

TERRY.R@CIMTEX INDUSTRIES

Katigbak, Veronica

From: Mark, Michael
Sent: Monday, July 29, 2013 11:38 AM
To: Machielse, Harley
Cc: DOMINO (CTYVAN)
Subject: FW: WorkSafeBC Inspection Report: IR2013157560185
Attachments: IR2013157560185.pdf; cuFG3.tiff

Harley,

Here is a copy of the inspection report given by Worksafe. Seeing the document now, it is an inspection report not a Worksafe order. Mike from Assertive was going to arrange to have it posted on site,

Michael Mark
Supervisor of Inspections

From: Mike Holloway [<mailto:Mike@AssertiveExcavating.com>]
Sent: Monday, July 29, 2013 10:22 AM
To: Mark, Michael
Subject: Fwd: WorkSafeBC Inspection Report: IR2013157560185

Begin forwarded message:

From: "Benoit, Mark" <Mark.Benoit@worksafebc.com>
Subject: WorkSafeBC Inspection Report: IR2013157560185
Date: 29 July, 2013 6:41:16 AM PDT
To: "Mike@AssertiveExcavating.com" <Mike@AssertiveExcavating.com>
Cc: "Nadeau, Alanna" <Alanna.Nadeau@worksafebc.com>

Hi Mike.

Attached is WorkSafeBC Inspection Report: IR2012157560185. An official copy will also be mailed to your address of record.

The Occupational Health & Safety Regulation requires that one copy of the attached inspection report remain posted in a conspicuous place at or near the operation inspected for at least seven days, or until compliance has been achieved, whichever is the longer period.

Please confirm receipt of this email by return email.

Regards,
Mark Benoit,
WorkSafeBC

Follow us on Twitter, YouTube, or one of our many social networks: http://www.worksafebc.com/news_room/SocialNetworks/default.asp

CONFIDENTIALITY DISCLAIMER

The information contained in this transmission may contain privileged and confidential information of WorkSafeBC - the Workers' Compensation Board. It is intended for review only by the person(s) named above. Dissemination, distribution or duplication of this communication is strictly prohibited by all recipients unless expressly authorized otherwise. If you are not the intended recipient, please contact the sender by reply email and destroy all copies of the original message. Thank you.

Mike Holloway

Assertive Excavating And Demolition Ltd.

264 - 19567 Fraser Highway
Surrey, BC V3S 9A4
Cell: 778-552-1237
fax: 604-888-3222
email: mike@assertiveexcavating.com





An employer who fails to comply with the Occupational Health & Safety Regulation or Board orders or directions is subject to sanctions as prescribed in the Workers Compensation Act.

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Date of Issue	Number	Number of Orders
2013/07/25	2013157560185	0

Employer	Location	Classification Unit Number	Activity Time Recorded*	Travel Time Recorded*
696962	001	721031	10.00	2.00

*The Time Recorded reflects only that time which has been charged to this inspection up until the document was printed for delivery. Subsequent time may be added for additional activity related to this inspection.

Number of Workers	Project Number	Site Visit Date	Lab Samples Taken	Direct Readings	Results Presented	Sampling Inspection(s)
2 - 10		2013/07/24	N	N	N	

Head Office	Job Site
ASSERTIVE EXCAVATING AND DEMOLITION LTD. UNIT 264 19567 FRASER HWY SURREY BC V3S9A4	Philippine Women Center of B.C 451 Powell St. Vancouver BC

Portion Inspected	Demolition
Violations	NO ORDERS WRITTEN

Employer Representative Name	Accompanied by Employer Representative
Mike Holloway	s.21(1)
Employer Representative Position	Accompanied by Worker Representative
Owner	Wayne Brooker / Operator
Phone Number	Organization
(778) 562-1237	
Signature	Officer of the Board / Signature Benoit, Mark

For Internal Use Only

Delivery Method: Email
 Mike@AssertiveExcavating.com

Regulation(s) Referenced in Inspection Text

OHS 20.112, OHS 6.7.(2), OHS 8.39.(2), OHS 20.111.(1), OHS 20.111.(2)

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Date of Issue	Number	Number of Orders	Employer	Location	Classification Unit Number	Activity Time Recorded*	Travel Time Recorded*
2013/07/25	2013157580185	0	695962	001	721031	10.00	2.00

Inspection Text

This document serves as a record of an inspection at this building site scheduled for emergency demolition by order of the City of Vancouver enacting sentence 1A.6.2.2. (1) of Div. C of the Building Bylaw.

The bylaw is in reference to the city's authority to act on the property owners behalf in the case of an emergency situation.

The vacant wood framed building at 451 Powell Street in Vancouver B.C. was deemed unstable and in danger of complete collapse by the City of Vancouver Licences and Inspections division. The owner of the building was notified that the building was going to be removed immediately by a third party.

Upon arrival to the site:

- The demolition contractor representative was on site awaiting the excavator
- Power had been disconnected to the 451 Powell St. and later to 439 Powell as well.
- Transit lines were de-energized due to other construction along Powell St.
- There was a concern that the neighbouring building to the west (439 Powell) could collapse in a dominos effect during demolition.
- The neighbouring residences at 439 Powell St. had been evacuated by the city officials.
- Fortis B.C. was called in to disconnect the gas to 451
- Cable and telephone lines remained attached and were later severed.
- This demolition contractor's operator was planning to start demolition from the back of the building (in the alley) due to transit lines in the front.
- A structural engineer was on route to develop safe work procedures.
- A hazardous materials survey was not available due to the emergency

Employer Representative	Officer of the Board
Mike Holloway	Benoit, Mark

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Date of Issue	Number	Number of Orders
2013/07/25	2013157560185	0

Employer	Location	Classification Unit Number	Activity Time Recorded*	Travel Time Recorded*
695962	001	721031	10.00	2.00

nature of the situation.

- This officer requested a letter from an engineer confirming the imminent hazard exists or the requirements of OHS Regulation 20.112 would prevail.

- Such a letter was provided and is digitally attached to this report but will not show on the printed version.

- The operator was advised he required a respirator, coveralls, and would need to be clean shaven prior to starting demolition. He made arrangements for such.

- It was confirmed that the excavator was equipped with FOPS protection, and a secondary escape hatch.

- The fire department was on hand to provide water spray on the building to mitigate asbestos concerns amongst other duties.

- The structural engineer arrived and performed a preliminary assessment of the buildings 451 & 439 Powell St. He determined that the building(451) had to be demolished from the front due to the structural instability of the front portion of the west wall. s.21(1)

s.21(1)

- The s.21(1) expressed his concerns about the transit lines and a tree interfering with his access.

- The owner of this demolition company was asked to come to the site to expedite a written safe work procedure for the demolition prior to starting.

- They agreed to start from the front and requested the transit lines and tree be removed.

- Coast Mountain Bus Company and the Vancouver Parks Department accommodated the above.

- Certified demo plans were provided to Worksafe B.C. for review.

- The demolition plan (paraphrased) required that the building be demolished from the top down, working from the front. A clause stating

Employer Representative	Officer of the Board
Mike Holloway	Benoit, Mark

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Date of Issue	Number	Number of Orders	Employer	Location	Classification Unit Number	Activity Time Recorded*	Travel Time Recorded*
2013/07/25	2013157560185	0	695862	001	721031	10.00	2.00

that if there are signs of shifting towards the west , the job shall be stopped and shoring at main floor may be required at the west side.

- The above clause was deemed unacceptable by this officer, since the building was deemed unstable and in danger of imminent collapse. Shoring was not an acceptable option especially after it is made even more unstable.
- The demolition contractor opted to have the engineer stay at the site for the duration of the work so he could be available to make decisions and direct the work as it progressed rather than amend the document to reflect an unknown condition.
- The work was allowed to proceed.
- Water was applied to the site as required to mitigate demolition dust.
- The city's building inspector representative was advised by Worksafe B.C. that the pile of debris was likely asbestos containing, and in the absence of workers at the site we have no jurisdiction regarding the potential hazards associated with the pile of rubble such as security and/or blowing debris.
- The owner of the property will be issued a similar order from the city to clean up the site
- The property was fenced following completion of the demolition.

Regulations Referenced:

- (OHS 20.112) Before work begins on the demolition or salvage of machinery, equipment, buildings or structures, the employer or owner must
 - (a) ensure that a qualified person inspects the site to identify any asbestos-containing materials, lead or other heavy metal or toxic, flammable or explosive materials that may be handled, disturbed or removed,
 - (b) have the inspection results available at the worksite, including any drawings, plans or specifications, as appropriate, to show the locations of any hazardous substances,
 - (c) ensure that any hazardous materials found are safely contained or removed, and

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Mike Holloway	Benoit, Mark

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Employer	Location	Classification Unit Number	Activity Time Recorded*	Travel Time Recorded*
695962	001	721031	10.00	2.00

(d) if hazardous materials are discovered during demolition work that were not identified in the inspection required by paragraph (a), ensure that all work ceases until such materials are contained or removed.

* (OHS 20.111.(1)) If a structure is to be demolished in whole or in part, the structure and any adjoining structures, the integrity of which could be compromised by the demolition, must be supported to the extent and in a manner prescribed by a professional engineer.

(OHS 20.111.(2)) Design of the support system described in Subsection 20.111(1) must include a schedule, based on the stages of demolition, for installation of the components of the support system, and a copy of the support system plan must be available at the demolition site.

* (OHS 6.7.(2)) The employer must not allow any work that would disturb asbestos-containing material unless necessary precautions have been taken to protect workers.

* (OHS 8.39.(2)) A worker required to wear a respirator which requires an effective seal with the face for proper functioning must be clean shaven where the respirator seals with the face.

* For an up to date copy of the Occupational Health and Safety Regulation refer to www.WorkSafeBC.com

Employer Representative	Officer of the Board
Mike Holloway	Benoit, Mark

Katigbak, Veronica

From: Machielse, Harley
Sent: Friday, November 15, 2013 7:58 AM
To: DOMINO (CITYVAN)
Subject: FW: 439 and 451 Powell Street - Nov 4 2013 Structural Report by Rockingham Engineering (13-143)
Attachments: Nov 4 2013 Structural Report.pdf

From: Derek Smith [<mailto:derek@rockingham.ca>]
Sent: Tuesday, November 05, 2013 11:44 AM
To: Machielse, Harley
Cc: Mark, Michael; Tom Chow (doublehappinessfoods@telus.net)
Subject: 439 and 451 Powell Street - Nov 4 2013 Structural Report by Rockingham Engineering (13-143)

Hi Harley,

Please find attached my sealed structural report dated November 4th, 2013 addressed to my client, Mr. Tom Chow.

I revisited the site on November 1st, 2013 with a plumb-bob to obtain more accurate measurements of the out-of-plumb dimensions of the brick veneer on the west elevation of the building located at 439 Powell Street and these are summarized in my report.

Please contact me after you have reviewed my report.

Thanks and best regards,

Derek

Derek L. Smith, M.Eng., P.Eng.
B.A.Sc. (Civil), Master of Engineering (Aerospace)
Principal
Rockingham Engineering Limited
Consulting Structural Engineers
220-1555 Marine Drive
West Vancouver BC V7V 1H9

604-250-1544 Cell
derek@rockingham.ca



220-1555 Marine Drive
West Vancouver BC V7V 1H9
604-250-1544
info@rockingham.ca

November 4, 2013

Project Number: 13-143

Double Happiness Foods
429 Powell Street
Vancouver, BC
V6A 1G7
Attention: Mr. Tom Chow

Re: 439 and 451 Powell Street, Vancouver, BC

Dear Mr. Chow:

You have retained me to draw upon my structural engineering expertise pertaining to the buildings located at 439 and 451 Powell Street, Vancouver. In particular, you have asked for my opinion regarding:

1. what caused the brick veneer on the east elevation of the building located at 439 Powell Street to separate and fall into the building located at 451 Powell Street on or around July 24th, 2013; and,
2. what is the condition of the brick veneer and wood frame exterior wall on the west elevation of 439 Powell Street.

For purposes of this report I relied on the following:

1. photographs of the collapsed brick veneer on the west elevation of 439 Powell Street supplied by yourself;
2. video of the demolition of the building located at 451 Powell Street supplied by yourself;
3. October 3rd, 2013 site visit where I gathered photographic and video evidence of the existing building located at 439 Powell Street and the now vacant lot at 451 Powell Street;
4. October 8th, 2013 site visit where I gathered photographic evidence of the condition of the brick veneer on the west elevation of the building located at 439 Powell Street; and,
5. November 1st, 2013 site visit where I gathered photographic evidence of the condition of the brick veneer on the west elevation of the building located at 439 Powell Street.

I have organized my report into seven (7) parts and they are as follows:

1. Building Description – 439 Powell Street;
2. Building Description – 451 Powell Street;
3. Building Damage – 439 Powell Street;
4. Building Damage – 451 Powell Street;
5. Failure of Brick Veneer on East Elevation of 439 Powell Street;
6. Condition of Brick Veneer and Wood Frame Wall on West Elevation of 439 Powell Street; and,
7. Conclusions.

Part 1: Building Description – 439 Powell Street

The existing building located at 439 Powell Street is actually comprised of two buildings (see Figures 1, 2 and 3). The south or front building that faces Powell Street appears to be the original building erected on the site and is a two-story wood frame structure supported on stone and mortar foundation walls. The main floor level is constructed from 2x10 floor joists at 16 inches on center over a crawlspace. The exterior walls are constructed from 2x4 wall studs at 16 inches on center and the walls are sheathed with horizontal 1x10 wood siding.

The east elevation of the south building was originally faced with one layer of *approximately* 4 inch thick brick veneer which was the brick veneer that collapsed into the adjacent building located at 451 Powell Street. It appears that at some time in the past approximately 3 to 4 feet of brick veneer at the top of the building was removed and re-anchored to the building with galvanized corrugated metal brick ties nailed to the wood siding (see Figure 6). It appears that the rest of the brick veneer was anchored to the building with nails that were driven into the wood siding and cast into the mortar joints between the brick veneer during the original construction of the building (see Figure 7).

A 4 inch thick brick veneer is still intact on the west elevation of the south building.

A brick veneer may have been installed on the south elevation of the south building as part of the original construction but at the time of my site visit, the south elevation was stripped of all building finishes down to the horizontal 1x10 wood siding on 2x4 wall studs (see Figure 2).

A newer two-story plus possible basement building was constructed immediately to the north of the south building and a brick veneer was noted on the north elevation of the south building. I did not have access to the interior of the north building but in my opinion it is a wood frame structure supported on concrete foundations (see Figure 3).

Part 2: Building Description – 451 Powell Street

My description of the building located at 451 Powell Street is based entirely on photographs supplied by yourself because the building had been completely demolished and removed at the time of my site visit on October 3rd, 2013 (see Figures 1, 4 and 5).

The building was actually comprised of two buildings and in my opinion the south building facing Powell Street was the original building erected on the site. The south building appears to have been a two-story plus attic and crawl space wood frame structure that was constructed immediately adjacent to the south building located at 439 Powell Street. The west wall of the south building was constructed from 2x4 wall studs at 16 inches on center that were placed next to the brick veneer on the east elevation of the south building located at 439 Powell Street.

The north building appears to have been a two-story plus attic wood frame building and was constructed immediately to the north of the south building.

Part 3: Building Damage – 439 Powell Street

In my opinion, the east wood frame wall of the south building located at 439 Powell Street has sustained significant structural damage over a long period of time from wood rot that has been caused by water ingress. It appears that water has penetrated the brick veneer on the east elevation of the south building from either wind-driven rain through the brick veneer or by failure of the cap flashing at the top of the wall. Water has been running down the wall studs and horizontal siding behind the brick veneer and stopping at the bottom wall plate below the main floor level. At this point, the water has been rotting the bottom plate, the wood floor joists and the wall studs.

It appears that at some point in the past, the bottom section of the rotten wall studs of the south building had been replaced with new stud sections 'sistered' onto the existing studs and new main floor joists had been installed adjacent to the existing rotten floor joists (see Figure 8). The existing main floor wood joists had dropped as much as 1.5 inches relative to the wall plate due to the wood rot (see Figure 9). The wall bottom plate appeared to be a 3x6 wood plate and a car key was easily pushed horizontally the full depth into the wood at several locations over the entire length of the wood plate (see Figure 10). It was also clear to the naked eye that the rotten wood bottom plate had been compressed by the load applied by the wall studs.

It appears that 6x6 wood posts supported on precast concrete pads were installed in the crawl space when the new 2x10 main floor joists were installed in order to provide additional support for the main floor

structure (see Figure 9). At one location, a 6x6 post could easily be moved by the end of my tape measure which was an indication that the precast concrete pad had settled over time.

Part 4: Building Damage – 451 Powell Street

It appears from photographs that when the brick veneer on the east elevation of the south building located at 439 Powell Street collapsed into the south building located at 451 Powell Street, the force of the brick veneer completely destroyed the 2x4 wood framed wall of the south building located at 451 Powell Street. Normally, I would assume that this wall was load bearing and supporting floor joists at the second floor level and therefore the floor should have collapsed at the same time. My only explanation why the second floor did not collapse is because the floor joists must have been installed in the north-south direction and therefore the west wall of the south building located at 451 Powell Street was not a load-bearing wall.

Part 5: Failure of Brick Veneer on East Elevation of 439 Powell Street

In my opinion, the failure of the brick veneer failure on the east elevation of the south building located at 439 Powell Street was caused by wood rot of the wood frame wall behind the brick veneer. The brick veneer was supported on the stone and mortar foundation wall and attached with nails and brick ties to the wood frame wall behind. As has been shown, the wall studs, main floor joists and wood bottom plate below the main floor level have been rotting for some time and the main floor structure had dropped as much as 1.5 inches.

I believe that as the wood frame wall dropped due to wood rot, the wall transferred this downward movement and resulting force to the brick veneer through the nails and bricks ties fastened to the wood siding. The brick veneer resisted the downward movement and resultant force from the wood frame wall because the brick veneer was supported on the stone and mortar foundation wall.

The more recently installed metal brick ties at the top of the wall are a significantly stronger brick veneer connection detail compared to the remainder of the brick veneer which was connected to the wall with nails from the wood siding cast into the brick veneer mortar joints. At some point, the nails supporting the brick veneer were pulled out of the mortar joints and the brick veneer became unsupported over a certain height. The shear weight of the section of brick veneer above this unsupported height of brick veneer caused the unsupported brick veneer to buckle outward and towards the south building located at 451 Powell Street. Once the brick veneer buckled outward, there was no support for the brick veneer above so the veneer collapsed into the south building located at 451 Powell Street.

Photographs showed that after the south building was demolished, the top portion of brick veneer that was re-attached to the wood frame wall with brick ties was still intact which confirms the strength of this brick veneer connection (see Figure 11).

Part 6: Condition of Brick Veneer and Wood Frame Wall on West Elevation of 439 Powell Street

During my site visit on October 3rd, 2013, I reviewed the brick veneer on the west elevation of the south building located at 439 Powell Street from the Powell Street sidewalk and it appeared that the top portion of the brick veneer was bowing outward.

When I re-visited the site on October 8th, 2013 I gained access to the roof of the building located at 429 Powell Street in order to take a closer look at the brick veneer on the west elevation of the south building located at 439 Powell Street. The space between the two buildings was approximately 2 feet so by using my tape measure as a plumb-bob, I was able to determine that the top section of brick veneer was bowing outward as much as 2 inches over 10 feet. In my opinion this is an indication of damage to the west wood frame wall from wood rot caused by water ingress similar to what was seen on the east wood frame wall.

I revisited the site again on November 1st, 2013 with a plumb-bob to review the condition of the brick veneer on the west elevation of the south building located at 439 Powell Street. By using the plumb-bob I was able to determine that the brick chimney on the west elevation was out of plumb by approximately 3 inches over 7 feet (see Figure 12) and I confirmed that sections of the brick veneer on the west elevation were out of plumb by as much as 2 inches over 10 feet (see Figure 13). In my opinion, the original brick veneer would have been constructed in a plumb or near plumb condition and that these out of plumb measurements are significant and are a strong indication of damage to the west wood frame wall from wood rot.

During my site visits on October 8th, 2013 and November 1st, 2013, I noted the following problems with the brick veneer on the west elevation of the south building located at 439 Powell Street that could be leading to water ingress and damage to the west wood frame wall from wood rot:

1. an approximately 10 foot long section of metal cap flashing was missing from the top of the wall on the west elevation at the north end of the building (see Figure 14);
2. pieces of brick veneer were entirely missing at several locations on the west elevation (see Figures 15 and 16);
3. mortar in the brick veneer on the west and north elevations at the north-west corner of the building was in very poor condition and in need of re-pointing (see Figure 16);

Based on my review of the exposed east wood frame wall of the south building located at 439 Powell Street and the problems noted with the brick veneer on the west elevation of the south building located at 439 Powell Street, it is my opinion that the west wood frame wall is likely suffering from significant wood rot due to water ingress. It is my opinion that the west wood frame wall of the south building located at 439 Powell Street has been dropping over time due to wood rot which has exerted stresses on the nails attaching the brick veneer to the wood sheathing.

Based on the information I have gathered to date regarding the failure and collapse of the brick veneer on the east elevation of the south building located at 439 Powell Street, it is my opinion that the brick veneer on the west elevation could fail at any time as a result of damage to the wood frame wall from wood rot caused by water ingress and that this failure will occur with no warning, similar to the brick veneer failure on the east elevation.

Based on the damage caused to the west wall of the south building located at 451 Powell Street by the failure and collapse of the brick veneer on the east elevation of the south building located at 439 Powell Street, it is my opinion that a failure and collapse of the entire brick veneer on the west elevation of the south building located at 439 Powell Street could cause damage or partial collapse of portions of the concrete block wall on the east elevation of the building located at 429 Powell Street.

In order to mitigate the risk of a failure and collapse at any time of the entire brick veneer on the west elevation of the south building located at 439 Powell Street, it is my opinion that the entire brick veneer should be removed piece by piece starting from the top of the wall by a competent general contractor under the supervision of a structural engineer familiar with the demolition of this type of brick veneer construction. Once the brick veneer has been removed, the condition of the west wood frame load bearing wall can be assessed. It is my opinion that based on the damage from wood rot that I was able to see in the east wood frame load bearing wall of the south building located at 439 Powell Street, the damage from wood rot to the west wood frame load bearing wall of the building will be the same or worse than the damage noted in the east wall of the building. Due to the difficulty of repairing the east and west wood frame load bearing walls and foundations of the south building located at 439 Powell Street to satisfy the current Vancouver Building By-law, the best course of action may be to demolish the entire building.

Part 7: Conclusions

1. the top 3 to 4 feet of brick veneer on the east elevation of the south building located at 439 Powell Street was removed and re-anchored in the past to the wood frame wall with galvanized corrugated metal brick ties;

2. the remaining brick veneer on the east elevation of the south building located at 439 Powell Street was anchored to the wood frame wall with nails driven into the wood siding during the original construction of the building;
3. the east wood frame wall of the south building located at 439 Powell Street has sustained significant structural damage from wood rot caused by water ingress;
4. the east wood frame wall of the south building located at 439 Powell Street has dropped as much as 1.5 inches due to wood rot;
5. new wood stud sections and new main floor joists have been installed at the east elevation of the south building located at 439 Powell Street at some point in the past;
6. the failure and collapse of the brick veneer on the east elevation of the south building located at 439 Powell Street into the south building located at 451 Powell Street was caused by wood rot in the east wood frame wall of 439 Powell Street;
7. the galvanized corrugated metal brick ties on the east elevation of the south building located at 439 Powell Street are a significantly stronger brick veneer connection detail than the nails from the wood siding cast into the brick veneer mortar joints;
8. the dropping of the east wood frame wall of the south building located at 439 Powell Street from wood rot caused the nails supporting the brick veneer to pull out of the mortar joints and this caused the brick veneer to buckle outward and collapse into the south building located at 451 Powell Street;
9. sections of the brick veneer at the top of the west elevation of the south building of 439 Powell Street are bowing outward as much as 2" over 10 feet which is significant and a strong indication of damage to the west wood frame wall from wood rot caused by water ingress;
10. the brick veneer on the west elevation of the south building located at 439 Powell Street is in poor condition which has likely led to water ingress and damage to the west wood frame wall from wood rot;
11. the west wood frame wall of the south building located at 439 Powell Street has likely been dropping over time due to wood rot and this has exerted stresses on the nails attaching the brick veneer to the wood sheathing;
12. the brick veneer on the west elevation of the south building located at 439 Powell Street could fail at any time as a result of damage to the wood frame wall from wood rot caused by water ingress;
13. a failure of the brick veneer on the west elevation of the south building located at 439 Powell Street will occur with no warning, similar to the brick veneer failure on the east elevation;
14. based on the damage caused to the building located at 451 Powell Street by the brick veneer failure on the east elevation of the south building located at 439 Powell Street, a failure and collapse of the entire brick veneer on the west elevation of the south building located at 439 Powell Street could cause damage or partial collapse of portions of the concrete block wall on the east elevation of the building located at 429 Powell Street;
15. to mitigate the risk of a failure and collapse at any time of the entire brick veneer on the west elevation of the south building located at 439 Powell Street, the entire brick veneer should be completely

- removed piece by piece starting from the top of the wall by a competent general contractor under the supervision of a structural engineer familiar with the demolition of this type of brick veneer construction;
16. based on the damage from wood rot that was seen in the east wood frame load bearing wall of the south building located at 439 Powell Street, the damage from wood rot in the west wood frame load bearing wall of the building will be the same or worse than the damage noted in the east wall of the building; and,
 17. due to the difficulty of repairing the east and west wood frame load bearing walls and foundations of the south building located at 439 Powell Street to satisfy the current Vancouver Building By-law, the best course of action may be to demolish the entire building.

If you have any questions, please contact the undersigned directly at 604-250-1544.

Yours truly,

ROCKINGHAM ENGINEERING LIMITED


Derek L. Smith, M.Eng., P.Eng.
Principal
DLS/dls



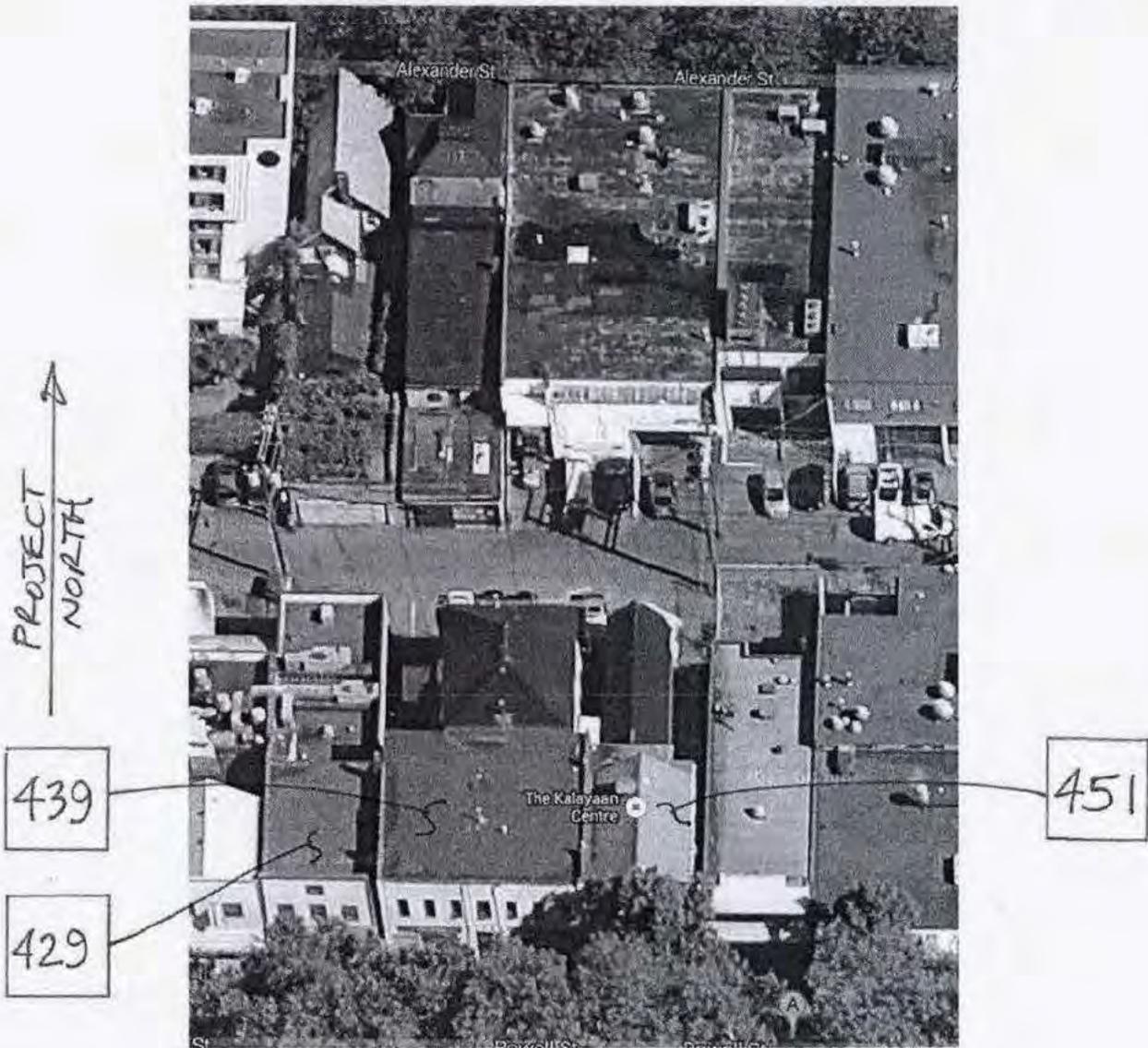


Figure 1: Aerial View of 429, 439 and 451 Powell Street, Vancouver



Figure 2: South Elevation of 439 Powell Street, Vancouver



Figure 3: North Elevation of 439 Powell Street, Vancouver



Figure 4: South Elevation of 451 Powell Street, Vancouver



Figure 5: North Elevation of 451 Powell Street, Vancouver

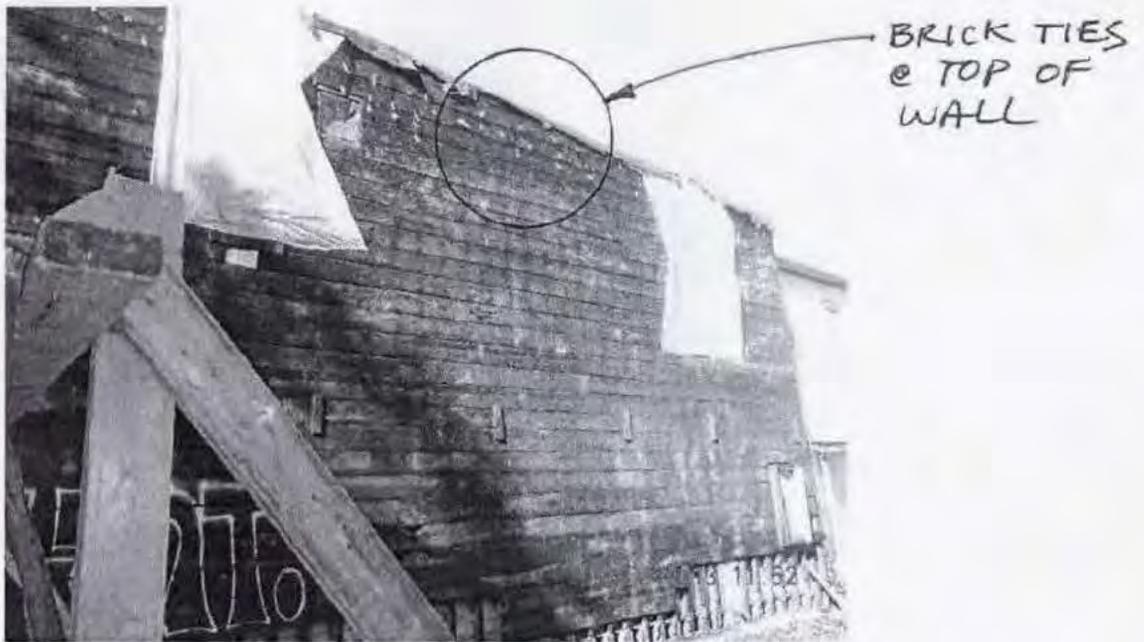


Figure 6: Brick Ties for Anchoring Brick Veneer to East Wall of 439 Powell Street, Vancouver

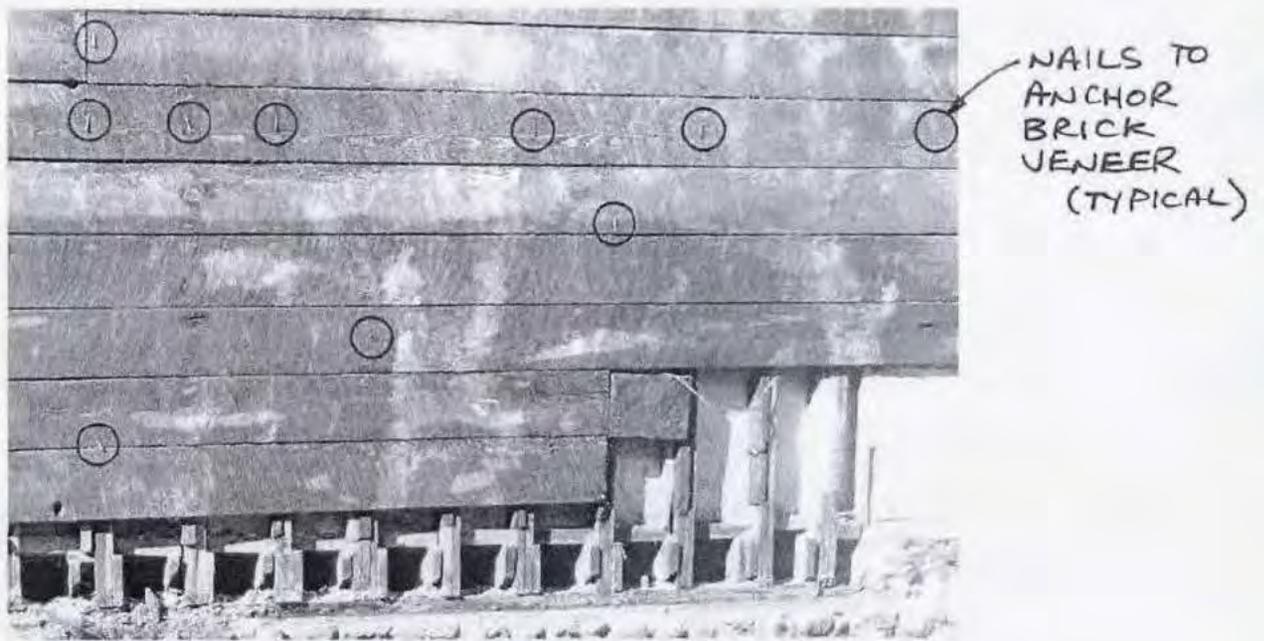


Figure 7: Nails for Anchoring Brick Veneer to East Wall of 439 Powell Street, Vancouver



Figure 8: Base of East Wall of 439 Powell Street, Vancouver

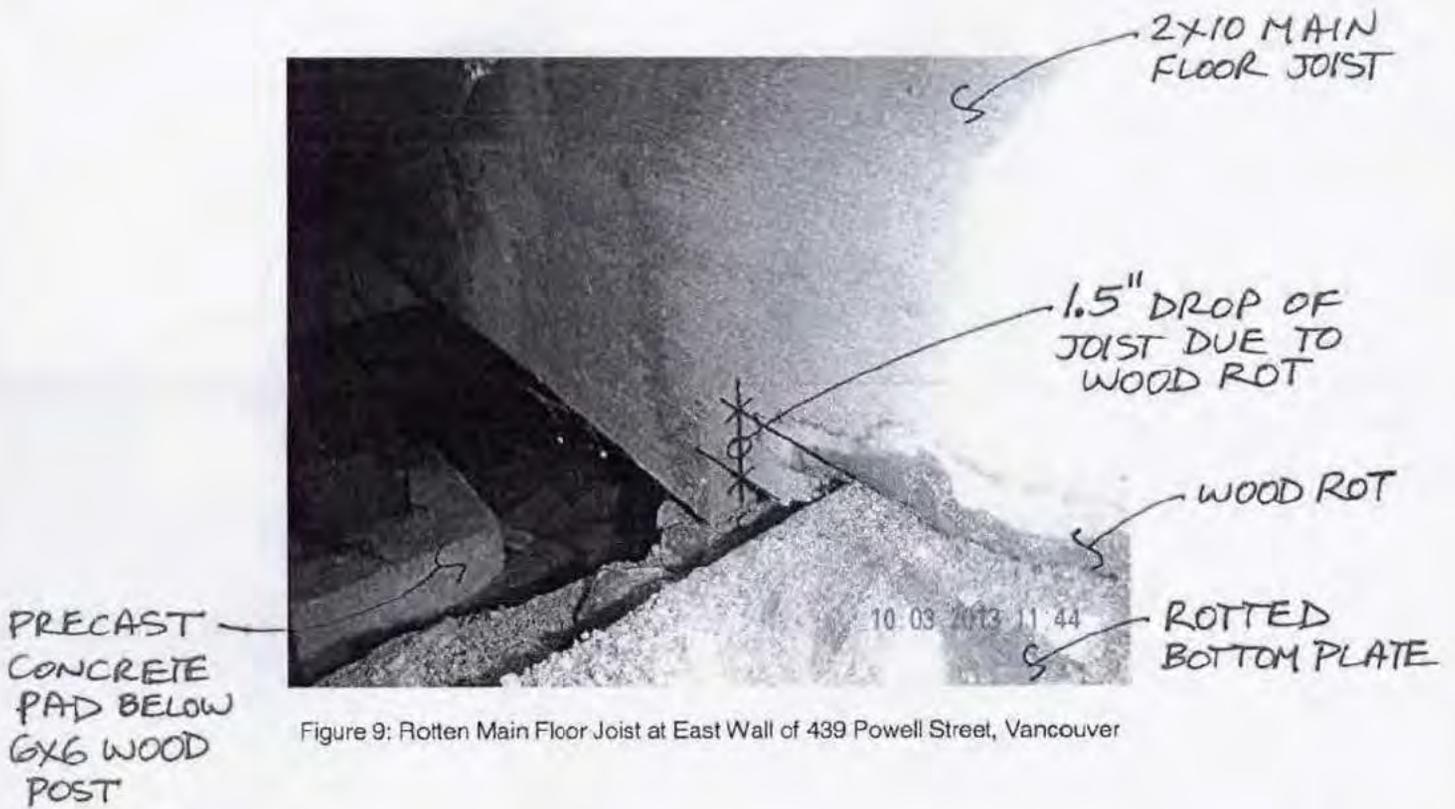


Figure 9: Rotten Main Floor Joist at East Wall of 439 Powell Street, Vancouver

ROTTED
BOTTOM
PLATE



Figure 10: Key Fully Inserted into Wood Plate of East Wall of 439 Powell Street, Vancouver

BRICK VENEER
ATTACHED WITH
METAL TIES



Figure 11: Brick Veneer Intact on East Elevation of 439 Powell Street, Vancouver

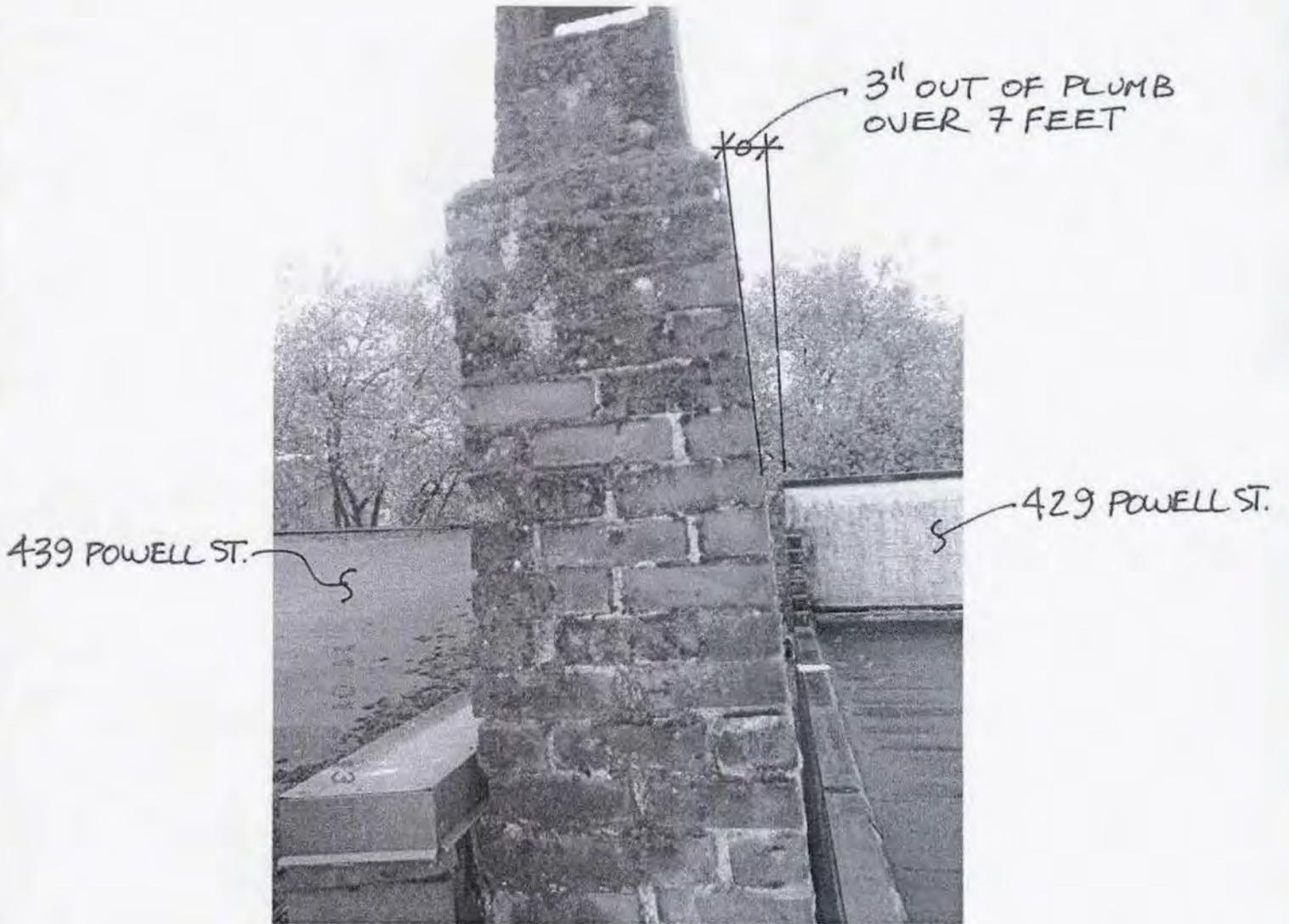


Figure 12: Chimney Out of Plumb on West Elevation of 439 Powell Street, Vancouver



429 POWELL ST. S

439 POWELL ST.

Figure 13: Brick Veneer Out of Plumb on West Elevation of 439 Powell Street, Vancouver

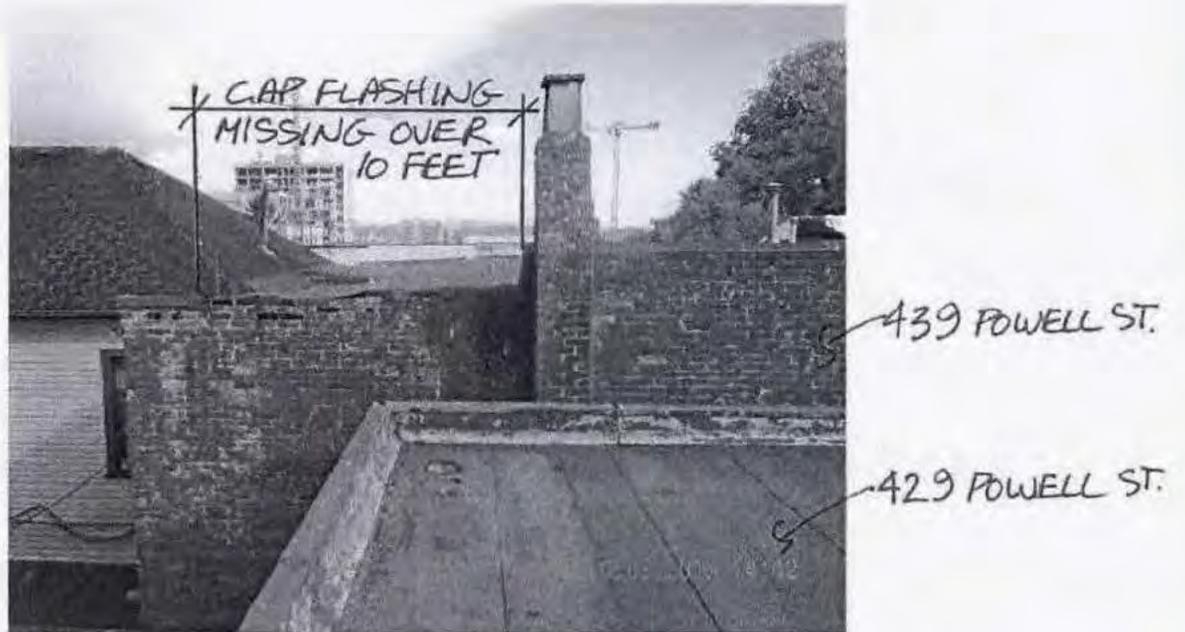


Figure 14: Cap Flashing Missing on West Elevation of 439 Powell Street, Vancouver

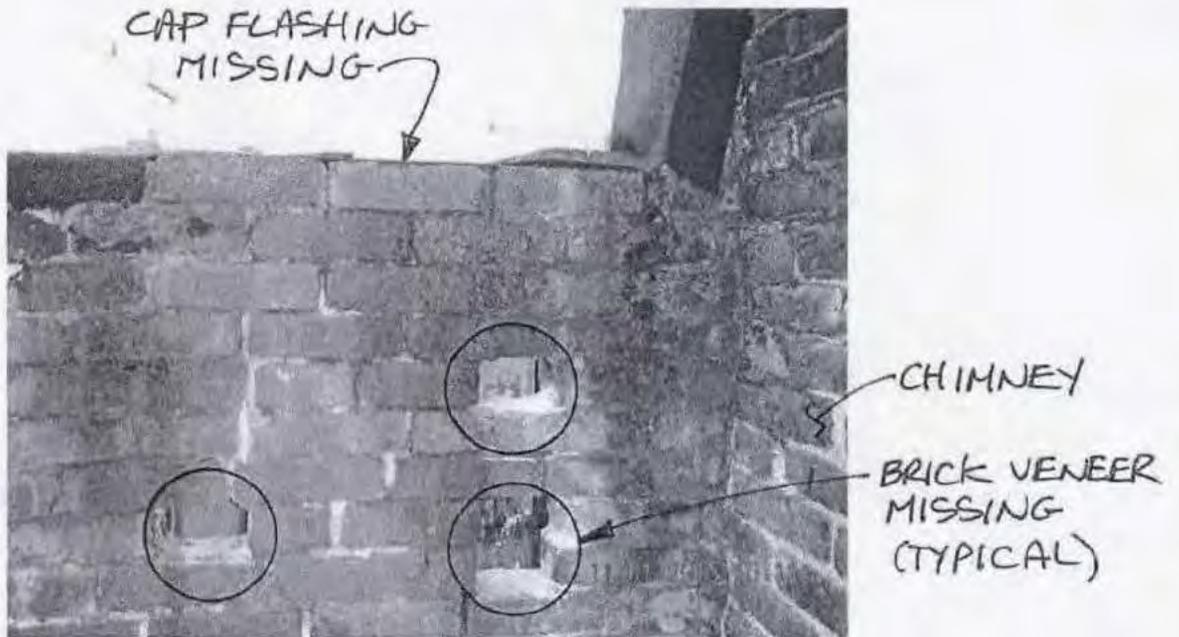


Figure 15: Pieces of Brick Veneer Missing on West Elevation of 439 Powell Street, Vancouver



Figure 16: Mortar in Poor Shape at N-W Corner of 439 Powell Street, Vancouver

Katigbak, Veronica

From: Wong, Catherine
Sent: Wednesday, September 11, 2013 12:07 PM
To: DOMINO (CITYVAN)
Subject: FW: 451 Powell
Attachments: Scan001.pdf

To file.

From: Wong, Catherine
Sent: Wednesday, September 11, 2013 12:06 PM
To: 'steven@slazyklaw.com'
Subject: 451 Powell

Hi Steven,

FYI, the attached letter and invoices were mailed out to you and your client (Philippine Women Centre of B.C.) this morning.

Regards,

Catherine Wong

Manager, By-law Administration
Licences & Inspections Department
City of Vancouver
Tel: 604.873.7535
catherine.wong@vancouver.ca

From: Machielse, Harley
Sent: Wednesday, September 11, 2013 11:53 AM
To: Wong, Catherine
Subject: FW: 451 Powell St

From: Steven R. Slazyk [<mailto:steven@slazyklaw.com>]
Sent: Thursday, August 15, 2013 1:26 PM
To: Machielse, Harley
Subject: RE: 451 Powell St

Harley, please see my contact information below:

Steven

Steven R. Slazyk*
Barrister & Solicitor
550 – 1130 West Pender Street, Vancouver, BC V6E 4A4
Tel.604.566.9181 Fax.604.566.9182 steven@slazyklaw.com

*denotes Law Corporation

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decisions made based on it, are the responsibility of such person. We accept no responsibility for any loss or damages suffered by any person other than the addressee as a result of decisions made or actions taken based on this communication or otherwise. If you received this in error, please contact the sender and destroy all copies of this e-mail.

From: Machielse, Harley [<mailto:Harley.Machielse@vancouver.ca>]
Sent: August-01-13 2:14 PM
To: steven@slazyklaw.com
Subject: 451 Powell St

Hi Steven,

I confirmed that once we receive the invoices, Finance will prepare a bill and send it to the owners. The bill will state that payment must be made within 30 days or the amount will be charged to the tax roll.

Let me know if you have any other questions.

Regards,

Harley Machielse, P.Eng.
Manager, Building Inspections Branch
City of Vancouver
Tel: 604.873.7174
Email: Harley.Machielse@vancouver.ca
Vancouver.ca/inspections

No virus found in this message.

Checked by AVG - www.avg.com

Version: 2013.0.2904 / Virus Database: 3209/6543 - Release Date: 08/01/13

PLEASE REFER TO:
Mrs. C. Edwards,
Assistant Director
Inspections Services Division
at 604.873.7533

September 10, 2013

Phillipine Women Centre of BC
1011 East 59th Avenue
Vancouver, BC V5X 1Y8

Steven R. Slazyk
Barrister & Solicitor
550 - 1130 West Pender Street
Vancouver, BC V6E 4A4

Dear Sir/Madam:

Re: 451 Powell Street

This is further to our order dated July 24, 2013, which was sent to the owners of the property after the partial collapse and subsequent emergency demolition of the building. A requirement of that order was the removal of all demolition debris from the above location. However, the debris was not removed. Therefore, pursuant to Sentence 1A.6.2.1.(1) of Division C of the Building By-law, the City removed the debris on your behalf and at your expense.

Please see the attached invoices for the removal of the demolition debris and installation of fencing at 451 Powell Street. As the owner of the property, you are responsible for these charges and if they are not paid, the City may place the amount owing on the tax roll.

NOTE: The City will be removing the fence on September 30, 2013 and subsequently sending you another invoice shortly after. To retain the fence beyond September 30th will require you to make other arrangements with Super Save Fence Rentals Inc. or another contractor. **As registered owners of the property, it is your responsibility to secure the site and maintain it in a safe condition.**

Yours truly,



C. K. Edwards, P.Eng.
Deputy Chief Building Official &
Assistant Director, Licences & Inspections

CW/jh

Enclosures

cc: Wan Yao (Tom) Chow, 429 Powell Street, Vancouver, BC V6A 1G7
Alvin Hui Law Corp., 1606 Hornby Street, Vancouver, BC V6Z 2T4



INVOICE

MAIL CHEQUE OR MONEY ORDER TO:
City of Vancouver, Revenue Services Division
PO Box 7747, VANCOUVER BC V6B 8R1
Telephone 604.873.7202

INVOICE NO: 0018138413

DATE: 2013/09/10

TO: PHILLIPINE WOMEN CENTRE OF BC
1011 E 59TH AVENUE
VANCOUVER BC V5X 1Y8
CANADA

STEVEN R. SLAZYK,
BARRISTER & SOLICITOR
550 - 1130 W PENDER ST
VANCOUVER, B.C.
V6E 4A4

YOUR REFERENCE:

OUR REFERENCE: P&L#423298/424997

DETAILS

RE: 451 POWELL STREET
LOT 23, BLOCK 41, DISTRICT LOT 196, PLAN 196
EN088753

AMOUNT
\$ 715.35

THE COST OF SECURING THE ABOVE PROPERTY WITH FENCING FROM JULY 24, 2013 TO AUGUST 31, 2013 SUBSEQUENT TO THE EMERGENCY DEMOLITION OF THE BUILDING AND REQUIRED REMOVAL OF THE DEMOLITION DEBRIS, UNDER ARTICLE 1A.6.2.2 OF DIVISION C OF THE BUILDING BY-LAW. (THIS RELATES TO OUR ORDER DATED JULY 24, 2013).

NOTE: IF THIS INVOICE REMAINS UNPAID AFTER OCTOBER 9, 2013, THE AMOUNT OWING MAY BE PLACED ON THE TAX ROLL AND A 5% PENALTY WILL BE CHARGED BY THE PROPERTY TAX OFFICE.

FOR QUESTIONS, PLEASE CONTACT CATHERINE WONG @ 604.873.7535

P.S.T.	\$	0.00
*G.S.T.	\$	0.00
Translink Parking Tax	\$	0.00
H.S.T.	\$	0.00
Total Amount Payable	\$	715.35

Payment of this invoice is NOW DUE

G.S.T. NUMBER R121361042

THE CITY OF VANCOUVER CHARGES A \$35 ADMINISTRATIVE FEE FOR ANY DISHONoured CHEQUE

REMITTANCE STUB

CITY OF VANCOUVER

City of Vancouver, Revenue Services Division
PO Box 7747, VANCOUVER BC V6B 8R1
Telephone 604.873.7202

INVOICE NO: 0018138413

DATE: 2013/09/10

TOTAL PAYABLE: \$715.35

PHILLIPINE WOMEN CENTRE OF BC

* PLEASE WRITE THIS INVOICE NUMBER ON YOUR CHEQUE OR MONEY ORDER

* INCLUDE THIS STUB WITH YOUR PAYMENT



INVOICE

MAIL CHEQUE OR MONEY ORDER TO:
City of Vancouver, Revenue Services Division
PO Box 7747, VANCOUVER BC V6B 8R1
Telephone 604.873.7202

INVOICE NO: 0018138423

DATE: 2013/09/10

TO: PHILIPPINE WOMEN CENTRE OF BC
1011 E 59TH AVENUE
VANCOUVER BC V5X 1Y8
CANADA

STEVEN R. SLAZYK,
BARRISTER & SOLICITOR
550 - 1130 W PENDER ST
VANCOUVER, B.C.
V6E 4A4

YOUR REFERENCE:

OUR REFERENCE: P&L#13430

DETAILS

RE: 451 POWELL STREET
LOT 23, BLOCK 41, DISTRICT LOT 196, PLAN 196
EN088753

AMOUNT
\$ 87,905.00

THE COST OF REMOVING DEMOLITION DEBRIS FROM THE ABOVE PREMISES FROM AUGUST 1 TO AUGUST 16, 2013, UNDER ARTICILE 1A.6.2.2 OF DIVISION C OF THE BUILDING BY-LAW. (THIS RELATES TO OUR ORDER DATED JULY 24, 2013).

NOTE: IF THIS INVOICE REMAINS UNPAID AFTER OCTOBER 9, 2013, THE AMOUNT OWING MAY BE PLACED ON THE TAX ROLL AND A 5% PENALTY WILL BE CHARGED BY THE PROPERTY TAX OFFICE.

FOR QUESTIONS, PLEASE CONTACT CATHERINE WONG @ 604.873.7535

P.S.T.	\$	0.00
*G.S.T.	\$	0.00
Translink Parking Tax	\$	0.00
H.S.T.	\$	0.00
Total Amount Payable	\$	87,905.00

Payment of this invoice is NOW DUE

G.S.T. NUMBER R121361042

THE CITY OF VANCOUVER CHARGES A \$35 ADMINISTRATIVE FEE FOR ANY DISHONoured CHEQUE

REMITTANCE STUB

CITY OF VANCOUVER
City of Vancouver, Revenue Services Division
PO Box 7747, VANCOUVER BC V6B 8R1
Telephone 604.873.7202

INVOICE NO: 0018138423

DATE: 2013/09/10

TOTAL PAYABLE: \$87,905.00

PHILIPPINE WOMEN CENTRE OF BC

* PLEASE WRITE THIS INVOICE NUMBER ON YOUR CHEQUE OR MONEY ORDER

* INCLUDE THIS STUB WITH YOUR PAYMENT



Property Use Inspection Report

IR Number	UI 52997	EN Number	EN 098744	Date of Inspection (yyyy/mm/dd)	2014/07/15
Main Address	451 POWELL ST			Specifics and/or Suite #	
Secondary Address					
Tenant				Number of Storeys	
Owner	DOUBLE HAPPINESS HOLDINGS (2007) LTD 429 POWELL ST, VANCOUVER BC V6A 1G7			Permit Number	DE405045
Agent				Approved Use of Building/Land	1FD / SOCIAL SERVICE CENTRE
District Zone	DEOD			Present Use of Building/Land	VACANT LOT
Business License	NONE				

Reason for Inspection Complaint: Vacant Lot - Untidy Premises 7/14/14

Narrative/Observations

Today's inspection revealed there is a pile of discarded items piled adjacent to the building at 437 Powell St, which consists of but is not limited to: wood palettes, a mattress, City barrier, used electronics, cardboard, etc.

Note: This property is a vacant lot. Research showed that there are no permits to demolish the previously existing building with heritage value. However an order dated July 24/13 ordered the building to be demolished as it was in an unsafe condition.

Requirements

Violation of the Untidy Premises By-law, section 3.

Recommendations

Send 14-day U/T order to R/O.

Photos Taken? Yes No

Date Report Made: July 17, 2014

Darren Mitchell
Inspector's Name

For Manager or Supervisor Use Only

File: Approval / Use Enforcement Project / Permit

FYA to: Arlene Tio for UT order;

FYI to:

Sy Jung
Manager / Supervisor

IR Number UI 52997 EN Number EN 098744 Date of Inspection (yyyy/mm/dd) 2014/07/15

Photo	Description
	<p>Discarded items piled in the southwest portion of this property.</p>



IR Number	BI 41273	EN Number	EN 088753	Date of Inspection (yyyy/mm/dd)	2013/07/24
Main Address	451 Powell St and 437 Powell St			Specifics and/or Suite #	Entire Building
Secondary Address					
Tenant	Vacant			Number of Storeys	3
Owner	Philippine Women Centre of BC			Permit Number	
Contractor				Approved Use of Building/Land	
Contractor's Business License Account				Present Use of Building/Land	

Reason for Inspection Call from Vancouver Fire and Rescue Services (VFRS) that building at 451 had been severely damaged and may be in danger of collapse.

Narrative/Observations

At approximately 11:30, I received a message through our Inspection Clerks that Vancouver Fire and Rescue Services(VFRS) were requesting Building Inspection attendance to an incident in the 400 Block of Powell St. I was also notified by the Inspection Clerks that they had just notified Michael McDiarmid who was going to attend the site. At the same time, the clerk gave me a copy of a 311 case received at 11:26 which stated that a building located at 437 Powell St had a brick wall collapse approximately one week ago. The 311 case said that the wall was caving in at 451 Powell St and the caller believes the 2nd floor is about to collapse. Called Inspector McDiarmid who was enroute to scene and met with Assistant Director Carli Edwards to discuss.

I attended the site. VFRS and VPD were already on the scene. Emergency Services had closed down the entire 400 Block Powell St with barricades and emergency vehicles as well as the lane to the North. I met Inspector McDiarmid on site and checked in with Incident Commander which was being handled by VFRS. VFRS had a potential 'drop zone' established in the street with fire line tape. VFRS reported that the building at 451 was vacant and they had conducted an emergency evacuation of the building at 437-441 Powell. 437-441 building is a two storey, wood frame, mixed use commercial / residential (single room occupancy) building. 451 Powell is a three storey (two plus developed attic) wood frame building reportedly used by a Philippine women center but is currently vacant. Observed that the small gap between the two buildings on the Powell St side was uneven over the height of the building. Buildings were in contact with one another at the street level, separated by some distance at the second storey floor level, and in contact again with each other at the roof level. This created the appearance that the second floor plate of the building at 451 Powell had moved laterally some distance to the East. A small amount of vinyl siding corner trim had been partially dislodged from the building at 437-441 Powell. Also observed that the double door frame on the building at 451 Powell was substantially wracked at the top to the right when compared with the door leaves. Column on right side of building (451 Powell) substantially out of plumb. Front door (451 Powell) was open and Inspector McDiarmid and I went up to look in the open door. It appeared that the East side brick wall of the building located at 437-441 Powell had collapsed onto the floor of the building at 451 Powell taking the side balloon framed wood bearing wall with it. None of the bearing wall for the front area of the building was left intact. Floor joists presumed to bear on this wall as would the gable roof structure. Building deemed by Inspections unsafe to enter to conduct any additional interior inspection. VFRS also had advised not to enter. I concluded with Inspector McDiarmid that the building (at 451 Powell) was in imminent danger of collapse and a significant hazard to public safety. Advised incident commander on this conclusion and that we would be making the necessary arrangements to have the building demolished. Contacted the Assistant Director, Carli Edwards to report in on the situation.

IR Number BI 41273 EN Number EN 088753 Date of Inspection (yyyy/mm/dd) 2013/07/24

Inspector McDiarmid was relieved from the scene to conduct other scheduled inspections while I stayed behind to assist on scene. Met with 311 / 911 caller / adjacent business owner Tom W. Chow (604-253-4424 / cell 778-885-5599) Double Happiness Foods (2007) Ltd. Mr Chow reported that he had a pending purchase on the property (451 Powell) which was due to close on September 5, 2013. Mr Chow gave the contact information for the Bank who was handling the sale of the property - Ben Choy - VanCity Hastings and Howe Branch 604 709-5912. Mr Chow stated that he had been checking in on the building regularly and found the wall had fallen at some point on his Monday check of the building. He said that he had notified the registered owners representative for the building 'Cora' and provided a copy of an e-mail response from a Cecilia responding on behalf of the Philippine Women's Center (attached). Mr Chow reported that he had also notified the owners of the adjacent building at 437-441 Powell St out of concern for the tenant's safety. Mr Chow stated that he had originally called 311 to report the situation on Wednesday when he was concerned about the apparent lack of appropriate action by these other parties to protect the safety of everyone. I called the bank contact to advise them on the situation. Mr Chow also advised later that the brick wall on the other side of the building at 437-441 has bulges and is out of plumb. Observed that he is correct.

Building at 437-441 is not in imminent danger of collapse. However, due to the deflection of the brick façade on the west side, collapse of the brick façade on the east side and decay of the wood framing, this building does present a potentially unsafe condition thereby compromising the safety of the tenants and the surrounding public. This building should therefore remain vacant until the severity of the observed deficiencies can be evaluated by a structural engineer.

Posted 437-441 Powell with a 'Do not Occupy' notice next to front door. Emergency Social Services arrived on site and began arranging alternative housing for residents of 437-441 Powell St. Residents of the residential portion of 437-441 Powell were granted very limited access to remove very important personal belongings such as medications from their units at various times through the day with police and fire escort and helmets provided by VFRS. Hydro cut power from the rear lane to both buildings. Gas was first shut off to both buildings and then dug up and disconnected from the building to 451 Powell by Terasan in preparation for the pending demolition. An insurance Adjuster Jed Muir (604-831-1594) arrived and met with the Incident Commander and me. He requested access to the building (451 Powell) but was denied access by VFRS even into the drop zone for safety reasons. I advised that the city had deemed the building in imminent danger of collapse and that a demolition contractor had been contacted by the city to demolish the building immediately. Demolition contractor's, (Assertive Excavating and Demolition Ltd.) employee arrived on site in a pickup truck to conduct a preliminary assessment for the pending demolition. Employee briefed on situation by VFRS and me before his assessment. I advised the employee that the city required them to have their engineer out to the site to supervise the demolition which he began to arrange immediately with his office. Worksafe BC arrived represented by Mark Bendott. Worksafe began directing the demolition contractor and the city on Worksafe's requirements for this demolition. Worksafe demanded a copy of the city's order to demolish stating that the building was not safe to enter and insisted the order be signed by an engineer. He stated this was a requirement to waive the required hazardous materials survey. Advised the report would be signed by a professional engineer either the Director or the Assistant Director. Worksafe also demanded a written engineered demolition plan and that the operator be clean shaven for the fit of the respirator. The excavator and Demolition Contractor's Engineer (Vitus Lau, P. Eng. of VPL Engineering Ltd. 604-644-6969) arrived on the site. Mr Lau began assessing the buildings from the outside of both buildings, through the front door of 451 and the interior of 437-441 Powell. Fire provided access through a gate covering the door and by breaking the glass to the adjacent commercial space at 441 Powell. The owner of the demolition company arrived on site (Mike Holloway ph 604-888-6055 or cell 778-552-1237.)

The demolition Engineer was insistent on conducting the demolition from the front of the building even though the contractor said that he preferred to start from the rear. This Engineers rationale was that the building was

IR Number BI 41273 EN Number EN 088753 Date of Inspection (yyyy/mm/dd) 2013/07/24

already destabilized so substantially at the front that he wanted to start with what appeared to be the least stable part of the building to avoid potential damage to the other buildings. Westcoast Bus Company was contacted to remove trolley lines from the street which were in close proximity to the front of the building. Demolition contractor reported that the demolition could not be safely conducted with a street tree that was in very close proximity to the front of the building. When asked, he reported that he could not work around it because, if the already unstable building started to shift unexpectedly during the demolition, he would not be able to move the machine quickly enough to reposition and it could potentially fall on one of the adjacent buildings. I contacted Parks for an emergency call out to have the tree removed. I attended city hall at approximately 4:30 to retrieve a copy of the city's order that Worksafe was demanding.

Returned to the site. Posted a copy of the city's order dated July 24, 2013 at the rear of the building (at 451 Powell) which was deemed to be the safest location to approach the building. Handed a copy of the order to Worksafe BC officer. Westcoast Bus Company arrived and began removing the electric bus lines. Parks arrived during this work and queued up to remove the tree once the Bus Company was finished. Fire and VPD then cleared the building (451 Powell) to ensure no occupants with a specially trained unit. Parks removed the tree. Demolition began with the owner of the demolition company operating the excavator. Demolition conducted very slowly and methodically consistent with the Engineers plan. Engineer stopped the Demolition on a couple of occasions to reassess the progress and method of demolition with the excavator operator. Demolition concluded sometime around 1:30 am and the site was fenced with construction site fencing by a combination of Super Save Fence Rentals and the demolition contractors forces. Portion at the rear of the building where the order was posted remained intact. VFRS and demolition contractor pulled out. VPD removed barricades and fire tape from street - reopening Powell to traffic. Engineering boarded up the front door where fire had to force access into the commercial unit at 441 Powell. Building (437-441 Powell) left secure. Last 3 VPD officers left scene with me at approximately 2:00 am.

Requirements

451 Powell - As per COV order dated 2013 July 24. Remove demolition debris and level the site before July 29, 2013.

437-441 Powell - As per Order dated 2013 July 25. Provide assessment from a Professional Engineer as to the structural integrity of the building and make recommendations for works to be done in order to re-occupy building.

Recommendations

Recheck site for compliance.

Photos Taken? Yes No Notice Posted? Yes No Type of Notice? Order

Date Report Made: July 26, 2013

Michael Mark, Building Inspection Supervisor
Inspector's Name

IR Number BI 41273 EN Number EN 088753 Date of Inspection (yyyy/mm/dd) 2013/07/24

For Manager or Assistant Manager Use Only

File: Approval / Use Enforcement Project / Permit

FYA to:

FYI to: Harley Machielse - Manager of Building Inspections ; Carli Edwards - Assistant Director of Inspection Services

Carli Edwards

Manager / Supervisor



Property Use Complaint - Vacant Building/Site - 101000523981

Case Created: 12/17/2013 1:41:00 PM

Address of Premises Involved:

Address: 451 POWELL ST

Complainant:

Contact: s.22(1)
Address: s.22(1) Vancouver
Phone number: s.22(1)
Preferred contact: Phone

Request Details:

1. What is the nature of the concern?	Vacant Building/Site
2. If Other selected or there are Multiple Issues, provide details:	This site was demolished in the summer and has been vacant since than. There is a porto potty on the vacant lot which has been tipped over for about a week. The caller did not know when the porto potty first appeared.
3. If Business Licence selected, provide Business Name:	
4. If Home-based Business selected, provide details (i.e. business type, hours of operation, are customers coming on site):	
5. If Pesticides selected, who applied it:	
5a. Provide pesticide used and when applied:	
6. If Problem Premise selected, provide details (i.e. illegal activity details, was VPD contacted):	
7. If a Rental Unit issue selected, has the landlord been advised of the issue?	
8. If Yes selected, what was the outcome?	
9. If Signs selected, provide sign wording or identifying details:	
10. Caller's Daytime Phone Number:	s.22(1)
11. (Don't ask, just record - did caller indicate they want a call back?)	Yes

Additional Details:

The caller mentioned this property is owned by the owner of the Double Happiness Foods Ltd. I pulled up the incident location via vanmap as the owner is Double Happiness Holdings.

EN 092871

FYA to: Angelo Marrocco

FYI to:

Assertive Excavating and Demolition Ltd.

#264 19567 Fraser Hwy
Surrey B.C. V3S 9A4
Phone: (604) 888-6055
Fax: (604) 888-3222
www.AssertiveExcavating.com

Invoice # 13429

August 21, 13

City Of Vancouver

Phone: 604-873-7883
Fax: 604-873-7100
Email: AP.central@vancouver.ca

Attention: Harley Manchielse

Re : Emergency Demolition For 451 Powel Street

Supply Hitachi 230 Excavator to assist fire crews to take down collapsing building.

Hitachi 230 11 hours @ \$185 per hour (after hours rate)	\$2035.00
Supply truck with lowbed 11 hours @ \$145 per hour	\$1595.00
Supervisor (Mike Holloway) 9.5 hours @ \$75 per hour	\$712.50
Supply professional engineer (VPL Engineering)	<u>\$1200.00</u>

Subtotal:	\$5542.50
HST:	<u>\$ 277.13</u>

Total:	\$5819.63
--------	-----------

HST# 895864601

REGISTERED AND REGULAR MAIL

PLEASE REFER TO:
Mrs. C. Edwards,
Assistant Director
Inspections Services Division
at 604.873.7533
EN #088753

ORDER

July 24, 2013

Philippine Women Centre of B.C.
1011 East 59th Avenue
Vancouver, BC
V5X 1Y8

Philippine Women Centre of B.C.
451 Powell Street
Vancouver, BC
V6A 1G7

Dear Sir/Madam:

RE: 451 Powell Street
Lot 23, Block 41, District Lot 196, Plan 196

Dissey? No Yes
To: M. Mark
Date: July 30/13 Init: CE

On July 24, 2013, City inspectors attended the above site in response to a potentially unsafe situation.

Upon inspection, it appears that a portion of the wood frame exterior wall of your building has collapsed. As a result, the remaining structure at 451 Powell Street has become unstable and in danger of a complete collapse.

The above building and site is therefore certified to be in an unsafe condition and a hazard to public safety. As a result, the building is unsafe to occupy or enter and must be demolished immediately.

Therefore, under the provisions of Sentence 1A.6.2.2.(1) of Division C of the Building By-law, the City is taking immediate measures to retain the services of a licensed contractor to demolish the remaining structure and to provide fencing around the perimeter of the site. In accordance with the By-law, all expenses incurred in performing this work will be charged against yourself as owner of the above property.

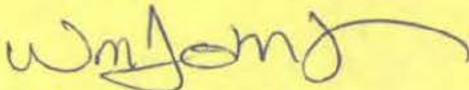
Pursuant to Article 1A.6.1.2 of Division C of the Building By-law, you are ordered to:

1. Remove all demolition debris and level the site to prevent the accumulation of water

BY JULY 29, 2013.

In the event of non-compliance with this order, the City is empowered by Sentence 1A.6.2.1.(1) of Division C of the Building By-law to arrange for the work to be done by a private contractor at your expense. If the costs incurred are not paid, the City can collect them by adding them to your property taxes.

Yours truly,

A handwritten signature in dark ink, appearing to read 'W. M. Johnston', with a long, sweeping flourish extending to the right.

W. M. Johnston, P. Eng.
Director, Licences & Inspections, and
Chief Building Official

/CW

cc - posted on building



雙喜食品廠

Double Happiness Foods (2007) Ltd.

429 Powell Street, Vancouver, BC Canada V6A 1G7

Tel: 604-253-4424 Fax: 604-253-1353

Email: doublehappiness@telus.net

Http://www.doublehappinessfoods.com

D. Mitchell
District Property Use Inspector
Property Use Branch, City Hall
453 West 12th Avenue
Vancouver, BC V5Y 1V4



Dear Sirs/Mesdames:

**Re: 451 Powell Street
Lot 23 Block 41 Plan VAP196 District Lot 196 New Westminster**

In response to your Order of July 22, 2014, we would like to make some comments about the state of the property.

We have been cleaning the property out on an on-going basis. Every day there is new rubbish being thrown onto our property. We had hoped that being so close to the police stations that people might abstain from breaking untold amounts of laws to trash our property. However, that fact seems to be irrelevant because our property is still being littered on and vandalized.

We believe that our properties have had so many problems with trash and graffiti because of the lack of police involvement and enforcement. How can you catch the capers if you are not around to do so? I understand there is a limitation to how many policemen there are and how vital their job is to protect the safety of our city, but we business owners are not being protected and instead receive Orders in which we are threatened with a fine for cleaning up a mess that we did not make, including the graffiti removal and the Order for trash removal from our property.

We have taken other measures as well such as asking for someone to come for an estimate for creating a gated fence around the area. In respect, I hope that the wonderful policeman in our city can take a couple more patrols closer to our area as we have had many problems with breaking and entering of our vehicles, graffiti, vandalism, theft and other petty crimes in our area. We hope that the policemen can pass by more often while making their rounds to ensure our safety as well as the rest of the people in the city. It is their job to protect **ALL** of the people in this city, not the select few.

Thank you for your time and attention. We will try to have all the rubbish removed by the date set in the letter. However, we cannot guarantee other people will not add to the ongoing garbage pile so please allow us time to have the fence made around the property. We have someone checking the property daily to deal with the garbage as well.

Sincerely,

Vanessa Chow



Super Save Fence Rentals Inc.

The Blue Fence Company®

19395 Langley Bypass
Surrey, B.C. V3S 6K1
Tel : (604) 533-4423
Fax : (604) 534-5867
Toll Free : (800) 665-2800

Invoice

Bill To

CITY OF VANCOUVER
Emergency Management
PO Box 7757
Vancouver, BC
V6B 0L5

Customer Number 000717-2
Invoice Number 423298
Invoice Date July 24, 2013

Service	8 - CITY OF VANCOUVER
Location	451 POWELL STREET Vancouver

Line #	Date	Description	Price	GST/HST	RST	Amount
1	07/24/13	Delivery/Removal Charge - 100ft @ 0.50/ft	50.00	2.50		52.50
2	07/24/13	Setup/Teardown Charge - 100ft @ 0.50/ft	50.00	2.50	3.50	56.00
3	07/31/13	Fence Rental (13/07/24 to 13/07/31) 100ft (10 X 6) @ 0.35/ft	9.03	0.45	0.63	10.11
4	07/24/13	Emergency Call Out Fee	500.00	25.00	35.00	560.00
5	07/24/13	Fuel Surcharge for Delivery	28.25	1.41		29.66
6	07/24/13	Carbon Tax Cost Recovery (\$.0639 /litre)	1.49	0.07		1.56
			638.77	31.93	39.13	709.83

We hope you all enjoy this Canada Day and partake in the local festivities. As a 100% Canadian owned and operated company, Super Save is excited to be a part of numerous celebrations around the country supplying fence and toilet rentals, disposal & recycling service and propane supply to these very special events. Have a special event you need help with? Call our In-Sales department today!

Payment due upon receipt.

Interest charge of 24% per annum applied to overdue invoices.

TOTAL DUE 709.83

GST Registration # R878262914



Super Save Fence Rentals Inc.

The Blue Fence Company®

19395 Langley Bypass
Surrey, B.C. V3S 6K1
Tel : (604) 533-4423
Fax : (604) 534-5867
Toll Free : (800) 665-2800

Customer Number 000717-2 CITY OF VANCOUVER
Invoice Number 423298
Invoice Date July 24, 2013
Transaction Number 704160

709.83



Super Save Fence Rentals Inc.

The Blue Fence Company[®]

19395 Langley Bypass
Surrey, B.C. V3S 6K1
Tel : (604) 533-4423
Fax : (604) 534-5867
Toll Free : (800) 665-2800

Invoice

Bill To

CITY OF VANCOUVER
Emergency Management
PO Box 7757
Vancouver, BC
V6B 0L5

Customer Number 000717-2
Invoice Number 424997
Invoice Date August 01, 2013

Service	8 - CITY OF VANCOUVER
Location	451 POWELL STREET Vancouver

Line #	Date	Description	Price	GST/HST	PST	Amount
1	08/31/13	Fence Rental (13/08/01 to 13/08/31) 100ft (10 X 6) @ 0.35/ft	35.00	1.75	2.45	39.20
			35.00	1.75	2.45	39.20

Summer's in full swing and it's the perfect time for BBQ's, outdoor weddings or family reunions. Super Save Toilet Rentals provides Portable Toilets for hundreds of events like these every season so call us today and speak to an Inside Sales Representative about your requirements.

Payment due upon receipt.

Interest charge of 24% per annum applied to overdue invoices.

TOTAL DUE 39.20

GST Registration # R878262914

REPRINT



Super Save Fence Rentals Inc.

The Blue Fence Company[®]

19395 Langley Bypass
Surrey, B.C. V3S 6K1
Tel : (604) 533-4423
Fax : (604) 534-5867
Toll Free : (800) 665-2800

Customer Number 000717-2 CITY OF VANCOUVER
Invoice Number 424997
Invoice Date August 01, 2013
Transaction Number 707084

39.20

Please detach and return this portion with your payment



DIGITAL PHOTOS

TO DOMINO

Main address: 451 Powell Street

Secondary address (if applicable): _____

Specifics: _____

Reason for inspection: Unsafe Site

Name of inspector: Michael Mark

Inspection Discipline: Building

Date photo(s) taken: July 24, 2013

Related Inspection Report (IR) number: BI41273

Related Enforcement (EN) number: 088753

Location of digital photo(s) on "Q" drive: Building /

Scan Index / 451 Powell Street

Date the directory was created July 31, 2013

Comments re photos:

Photo # 1 to 27

Photo # _____

continued on next page Yes _____ No

Photos submitted to Domino by: Rishana McCarthy

Domino to send FYA notification to: " "



Filename: 01.jpg \\ © City of Vancouver \\



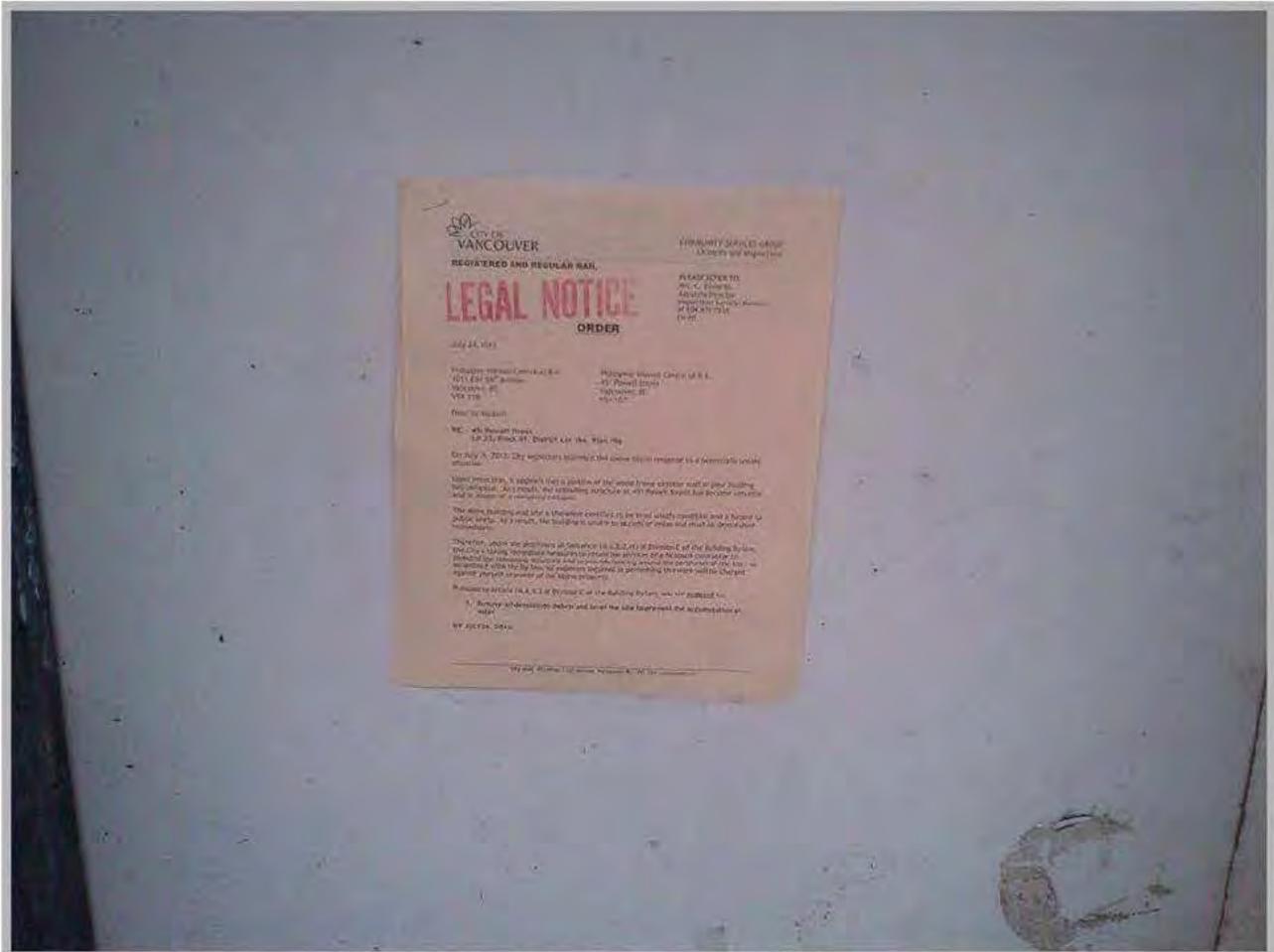
Filename: 02.jpg \\ © City of Vancouver \\



Filename: 03.jpg \\ © City of Vancouver \\



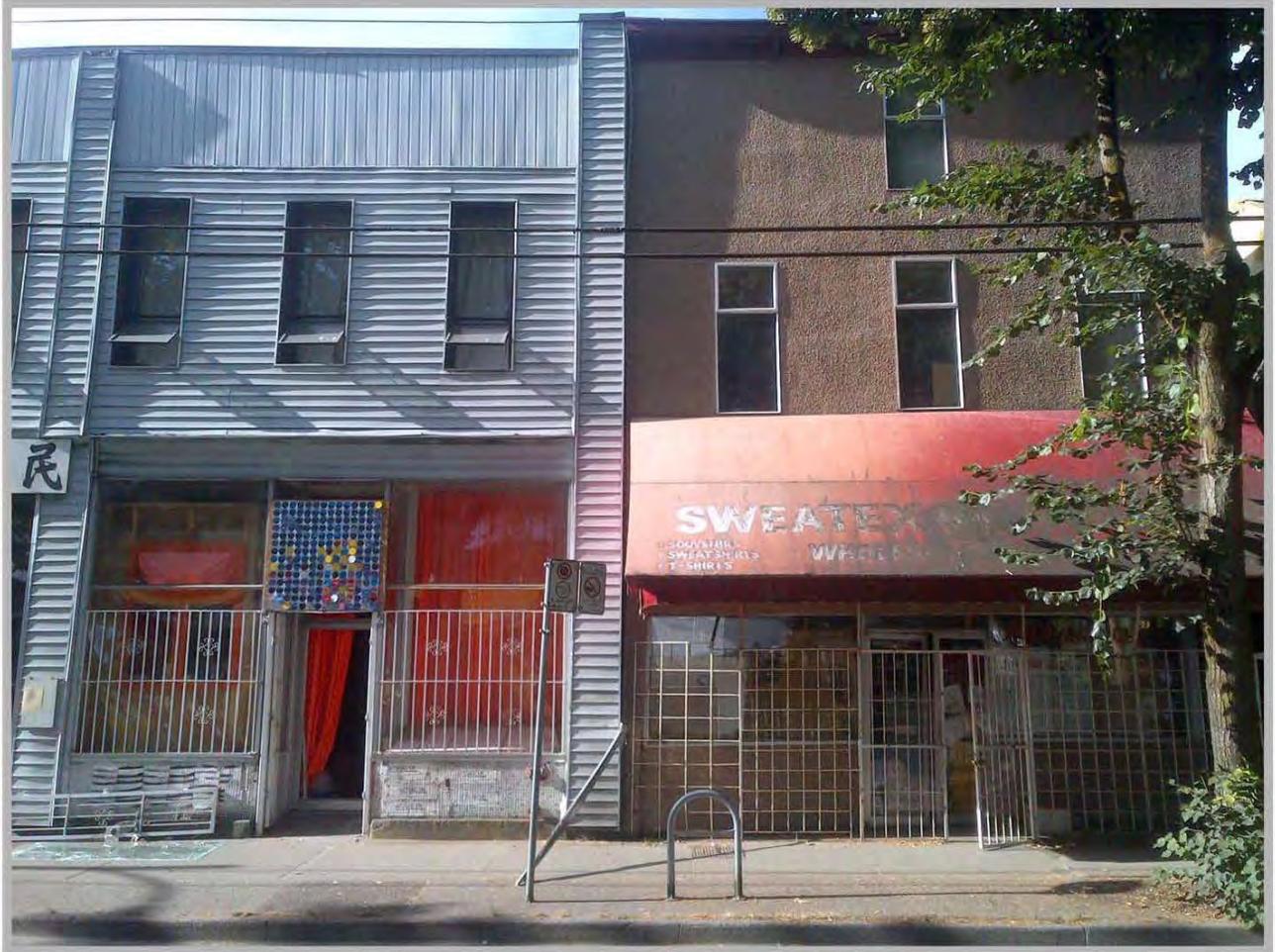
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Filename: 05.jpg \ \ © City of Vancouver \ \



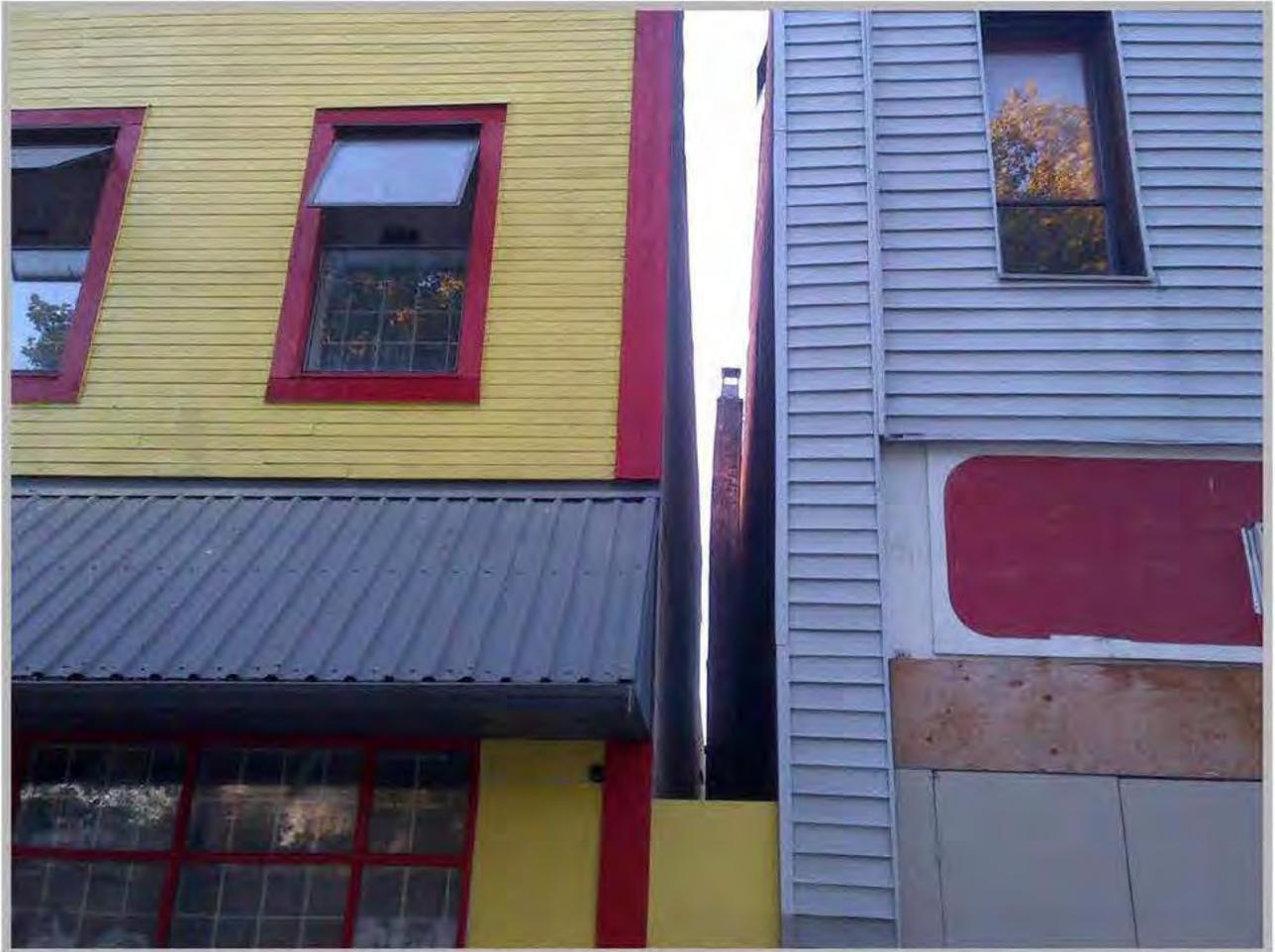
Filename: 06.jpg \\ © City of Vancouver \\



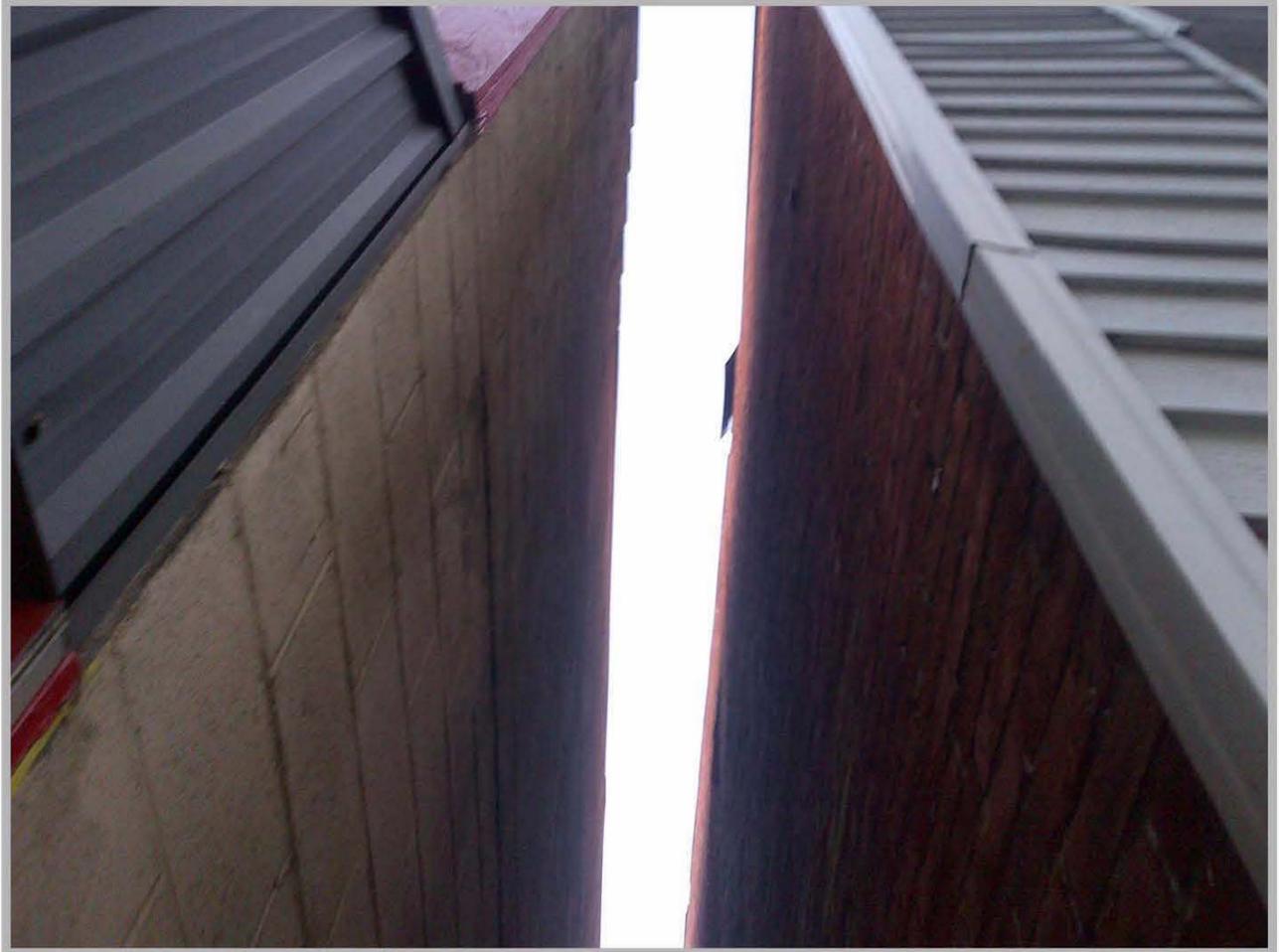
Filename: 07.jpg \\ © City of Vancouver \\



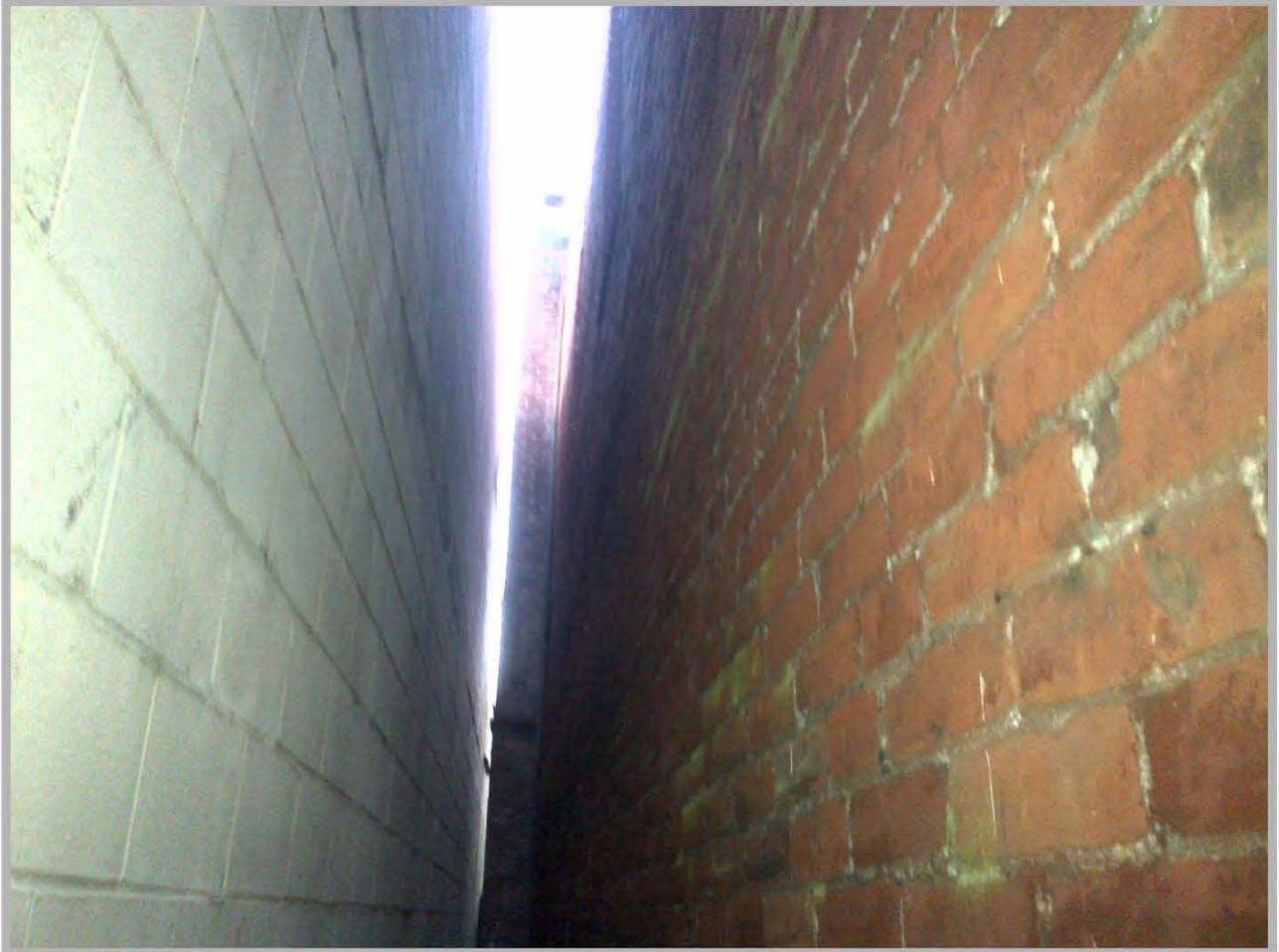
Filename: 08.jpg \\ © City of Vancouver \\



Filename: 09.jpg \ \ © City of Vancouver \ \



Filename: 10.jpg \\ © City of Vancouver \\



Filename: 11.jpg \\ © City of Vancouver \\

TO: <i>Respective Team</i> <i>22 Mike</i> <i>116 55 1137</i> <i>@ 151 Powell St</i> <i>Vanc.</i>		FROM: VPL ENGINEERING LTD. <small>FORMWORK DESIGN & INSPECTION</small> 130 - 1181 Westminster Hwy, Richmond, BC, V6X 1A7 Tel: 604-644-6963 Fax: 604-275-1238	
JOB NO: <i>A 220</i>	DATE: <i>July 22 / 2015</i>	TIME: <i>10:45</i>	INSPECTED & APPROVED BY: <i>[Signature]</i>
FORMWORK INSPECTION THIS IS TO CERTIFY THAT THE FOLLOWING FORMWORK AND RESHORES HAVE BEEN INSPECTED IN ACCORDANCE WITH O.H. & S. REG. 20.28 / REG. 1344H(1). ALL WORK ARE CONSIDERED SUBSTANTIALLY IN ACCORDANCE WITH THE LATEST APPROVED ERECTION DRAWINGS AND SUPPLEMENTARY INFORMATION. WHEN CONCRETE PLACEMENT IS POSTPONED BEYOND THE SCHEDULED DATE, THIS CERTIFICATION MUST BE RE-VALIDATED BY THE APPROVING ENGINEER.			
LATEST FORMWORK DRAWING <i>301A 2nd Flr Slab</i>		LATEST RESHORE DRAWING <i>035 x 70' 15" x 2</i>	
REMARKS: <i>The west wall feet slab (230 to 40) is finished and by the brick - you see 20' of the neighbor's brick (#437). Most of the building was framed a few weeks ago. I saw in corners, #4 rebar's are in place to be backfilled but missing the brick spacers only.</i> <i>I am recommending the down of the building to be - type - do you want a sign for the top down.</i> <i>When signs of building towards foot, walls about 10' high & may be over 10' high, there should be will need to be in ballast.</i>			

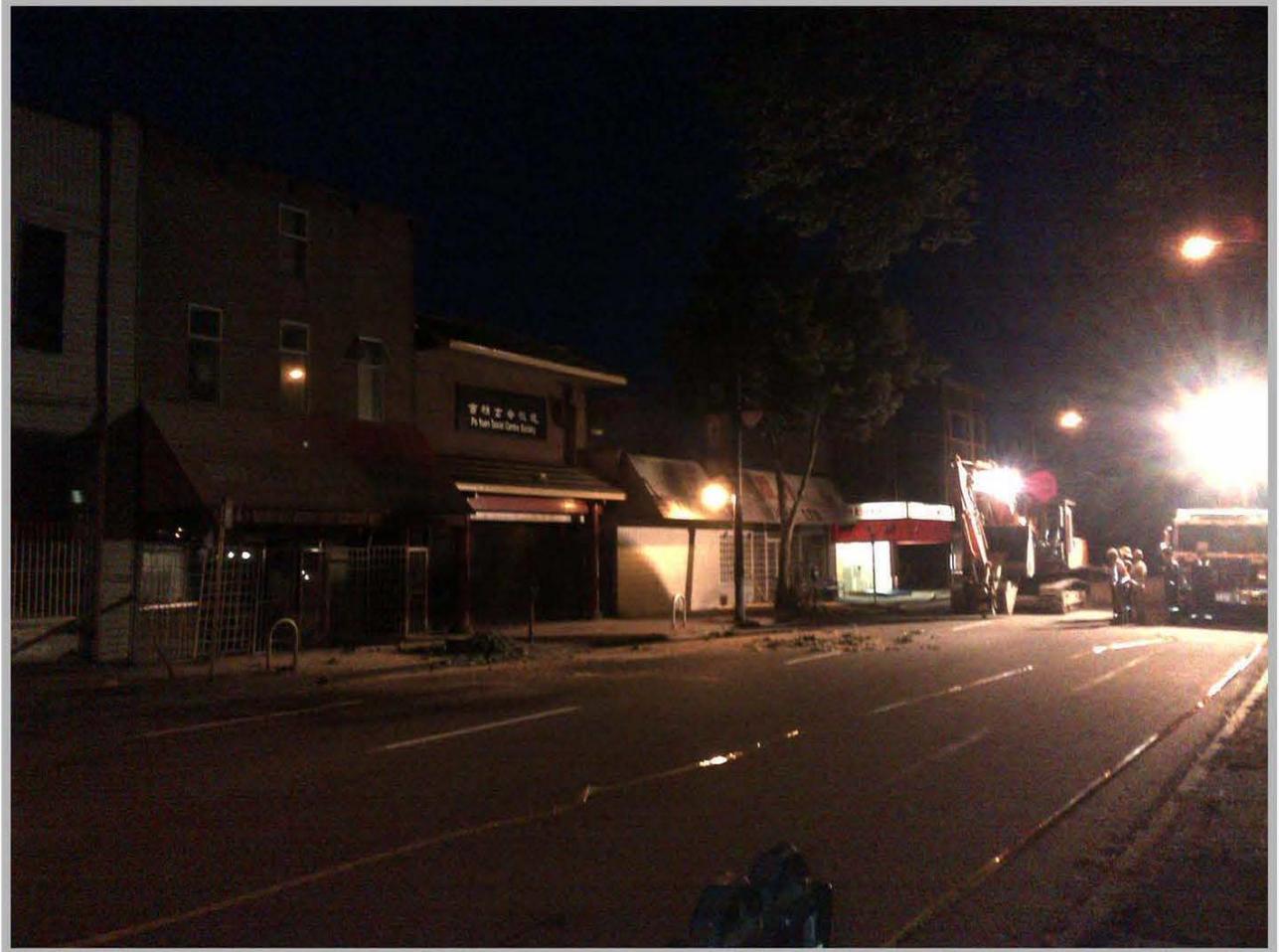
Filename: 12.jpg \ \ © City of Vancouver \ \



Filename: 13.jpg \\ © City of Vancouver \\



Filename: 14.jpg \\ © City of Vancouver \\



Filename: 15.jpg \\ © City of Vancouver \\



Filename: 16.jpg \\ © City of Vancouver \\



Filename: 17.jpg \\ © City of Vancouver \\



Filename: 18.jpg \\ © City of Vancouver \\



Filename: 19.jpg \\ © City of Vancouver \\



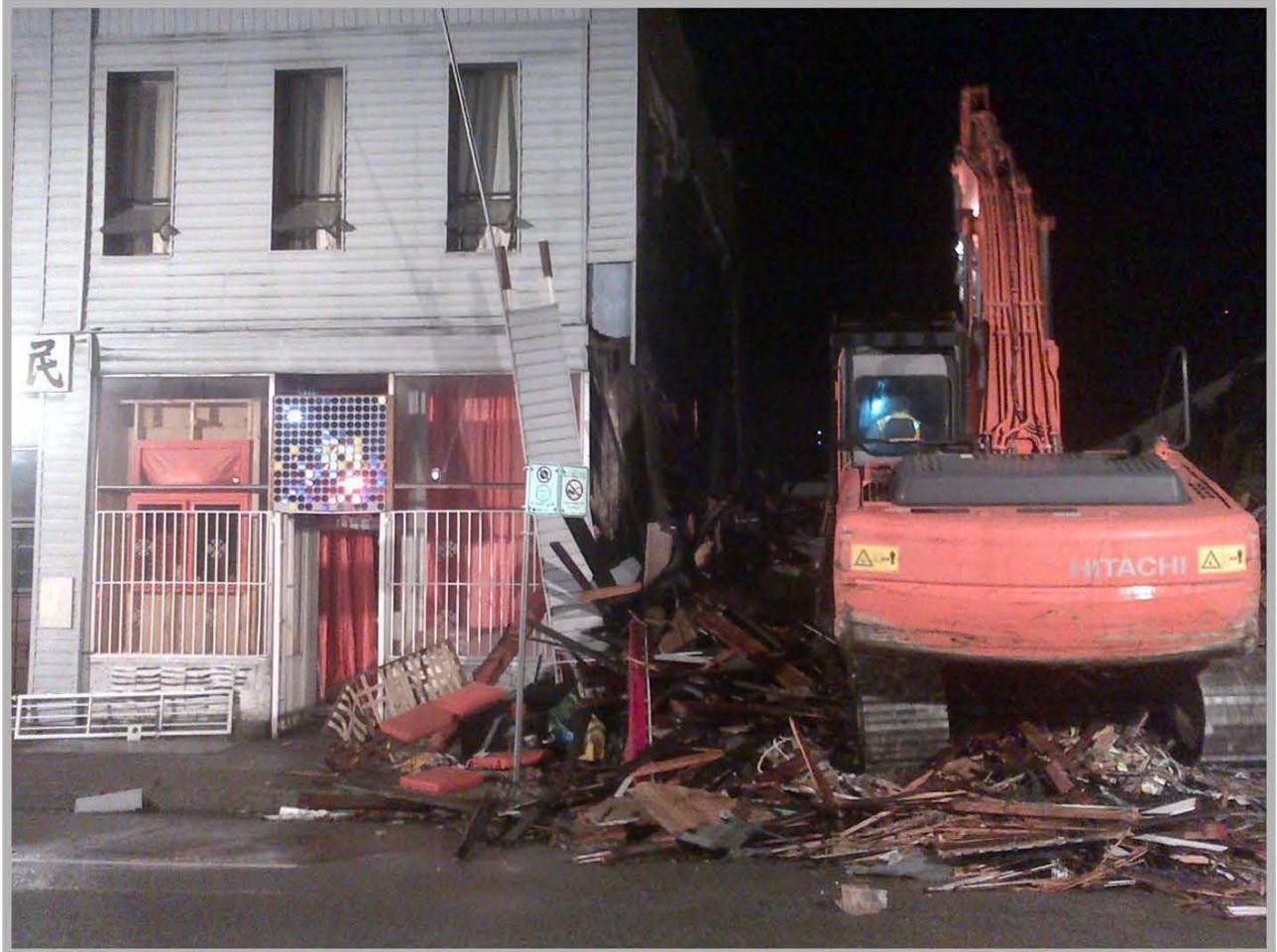
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Filename: 21.jpg \\ © City of Vancouver \\



Filename: 22.jpg \\ © City of Vancouver \\



Filename: 23.jpg \\ © City of Vancouver \\



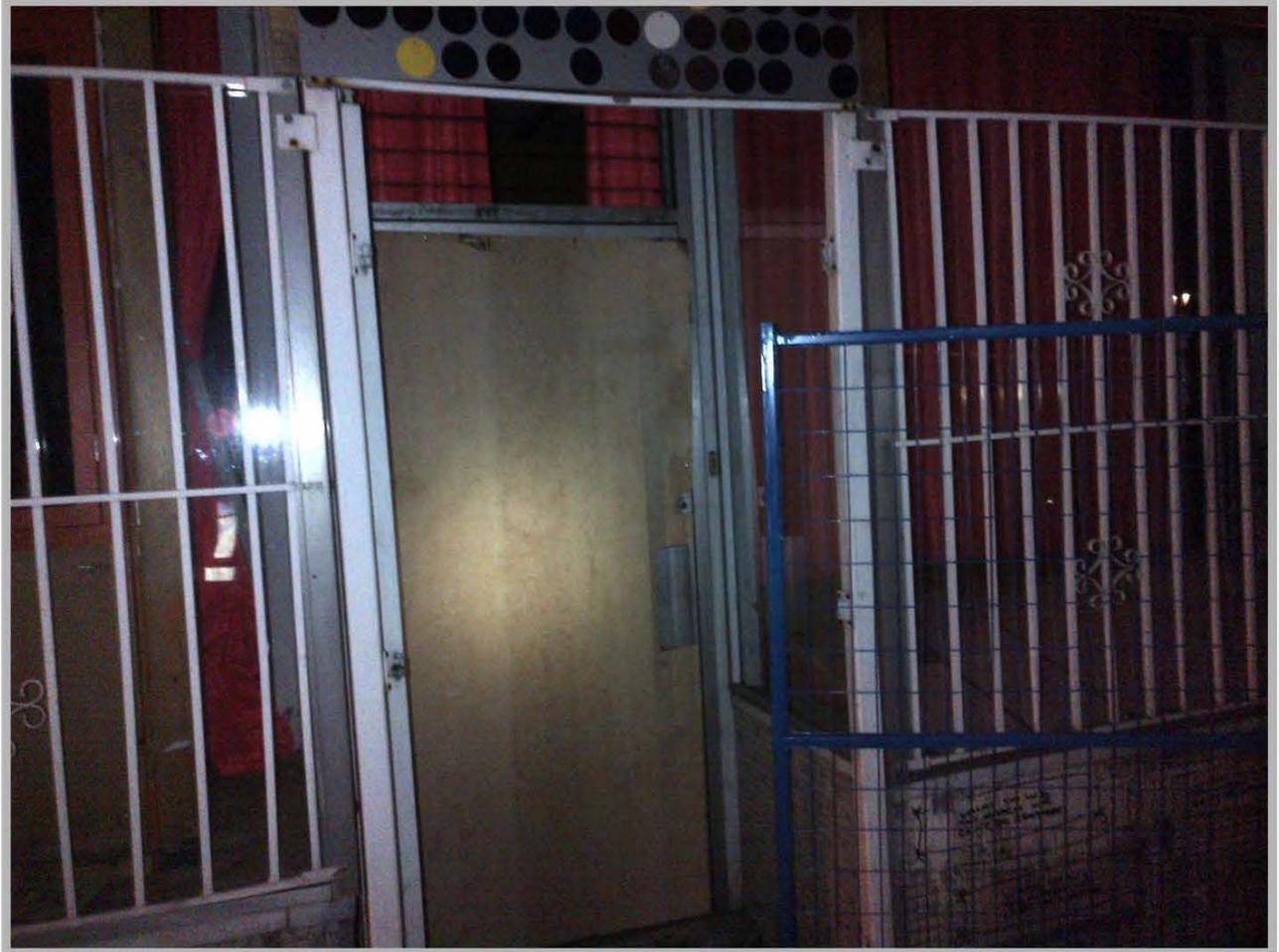
Filename: 24.jpg \\ © City of Vancouver \\



Filename: 25.jpg \\ © City of Vancouver \\



Filename: 26.jpg \\ © City of Vancouver \\



Filename: 27.jpg \\ © City of Vancouver \\

Assertive Excavating and Demolition Ltd.

#264 19567 Fraser Hwy

Surrey B.C. V3S 9A4

Phone: (604) 888-6055

Fax: (604) 888-3222

www.AssertiveExcavating.com

Invoice # 13430

August 21, 13

City Of Vancouver

Phone: 604-873-7883

Fax: 604-873-7100

Email: AP.central@vancouver.ca

Attention: Harley Manchielse

Re : Clean Up Of Debris At 451 Powel Street

Supply short swing excavator to remove building debris. Supply lined bins and disposal of asbestos waste.
Supply labour for clean up and water spraying.

Supply hazardous material survey	\$1500.00
Aug 1 move excavator to site	\$300.00
Excavator 9 hours @ \$145 per hour (rented equipment rate)	\$1305.00
1 labourer 4 hours @ \$30 per hour	\$120.00
Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
Aug 2 Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
1 labourer 7 hours @ \$30 per hour	\$210.00
Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
Remove 3 bins of asbestos waste @ \$3500 per bin	\$10500.00
Aug 6 Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
1 labourer 7 hours @ \$30 per hour	\$210.00
Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
Remove 3 bins of asbestos waste @ \$3500 per bin	\$10500.00
Aug 7 Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
1 labourer 7 hours @ \$30 per hour	\$210.00
Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
Remove 2 bins of asbestos waste @ \$3500 per bin	\$7000.00
Remove 1 40 yard bin of clean drywall (inc disposal)	\$1060.00
Aug 8 Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
1 labourer 8 hours @ \$30 per hour	\$240.00
Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
Remove 3 bins of asbestos waste @ \$3500 per bin	\$10500.00
Aug 9 Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00

	1 labourer 5 hours @ \$30 per hour	\$150.00
	Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
Aug 12	Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
	1 labourer 8 hours @ \$30 per hour	\$240.00
	Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
	Remove 3 bins of asbestos waste @ \$3500 per bin	\$10500.00
Aug 13	Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
	1 labourer 8 hours @ \$30 per hour	\$240.00
	Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
	Remove 3 bins of asbestos waste @ \$3500 per bin	\$10500.00
Aug 14	Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
	1 labourer 8 hours @ \$30 per hour	\$240.00
	Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
	Remove 2 bins of asbestos waste @ \$3500 per bin	\$7000.00
Aug 15	Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
	1 labourer 6 hours @ \$30 per hour	\$180.00
	Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
	Supply dump truck with pony to remove 4 boxes concrete	
	Dump truck with pony 5 hours @ \$120 per hour	\$600.00
	Disposal 4 boxes @ \$85 per box	\$340.00
Aug 16	Excavator 8 hours @ \$145 per hour (rented equipment rate)	\$1160.00
	1 labourer 6 hours @ \$30 per hour	\$180.00
	Rental of 6 rolls of fire hose and hydrant adapter per day	\$100.00
	40 yard tri-axle end dump to remove 2 loads concrete	
	6 hours @ \$125 per hour	\$750.00
	Disposal fee 2 loads @ \$165 per load	\$330.00
	Remove excavator from site	<u>\$300.00</u>

Subtotal:	\$87905.00
GST:	<u>\$ 4395.25</u>
Total:	\$92300.25

GST# 895864601

Mortensen, Glenn

From: Mark, Michael
Sent: Wednesday, August 21, 2013 3:13 PM
To: Tsangarakis, Mary; Mortensen, Glenn
Subject: FW: Invoice for emergency work at 451 Powel
Attachments: Invoice-City Of Vancouver Aug21 13429.doc

Please accept this message as Building's approval to pay this invoice and bill to 451 Powell St.

Michael Mark
Supervisor of Building Inspections

From: Machielse, Harley
Sent: Wednesday, August 21, 2013 11:57 AM
To: Edwards, Carli; Mark, Michael
Cc: Mortensen, Glenn
Subject: Fw: Invoice for emergency work at 451 Powel

Can you guys review and let Mary and Glenn know if the invoice can be paid and billed to 451 powell. Need to make sure the bricks removed from 437 powell were invoiced separately.

Harley

From: Mike Holloway [<mailto:mike@assertiveexcavating.com>]
Sent: Wednesday, August 21, 2013 11:35 AM
To: Machielse, Harley; AP Central
Subject: Invoice for emergency work at 451 Powel

Mike Holloway

Assertive Excavating And Demolition Ltd.

264 - 19567 Fraser Highway
Surrey, BC V3S 9A4
Cell: 778-552-1237

fax:
604-888-3222
email: mike@assertiveexcavating.com

REGISTERED AND REGULAR MAIL

PLEASE REFER TO:
Mrs. C. Edwards,
Assistant Director
Inspections Services Division
at 604.873.7533
EN #088753

ORDER

July 24, 2013

→ Regular mail returned
as "Moved"

→ Mail returned (Demand)

Philippine Women Centre of B.C.
1011 East 59th Avenue
Vancouver, BC
V5X 1Y8

Philippine Women Centre of B.C.
451 Powell Street
Vancouver, BC
V6A 1G7

Dear Sir/Madam:

RE: 451 Powell Street
Lot 23, Block 41, District Lot 196, Plan 196

Dispy? No Yes
To: H. Mark
Date: July 30/13 Info: CR

On July 24, 2013, City inspectors attended the above site in response to a potentially unsafe situation.

Upon inspection, it appears that a portion of the wood frame exterior wall of your building has collapsed. As a result, the remaining structure at 451 Powell Street has become unstable and in danger of a complete collapse.

The above building and site is therefore certified to be in an unsafe condition and a hazard to public safety. As a result, the building is unsafe to occupy or enter and must be demolished immediately.

Therefore, under the provisions of Sentence 1A.6.2.2.(1) of Division C of the Building By-law, the City is taking immediate measures to retain the services of a licensed contractor to demolish the remaining structure and to provide fencing around the perimeter of the site. In accordance with the By-law, all expenses incurred in performing this work will be charged against yourself as owner of the above property.

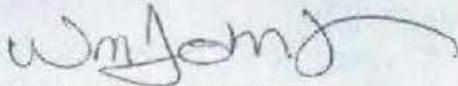
Pursuant to Article 1A.6.1.2 of Division C of the Building By-law, you are ordered to:

1. Remove all demolition debris and level the site to prevent the accumulation of water

BY JULY 29, 2013.

In the event of non-compliance with this order, the City is empowered by Sentence 1A.6.2.1.(1) of Division C of the Building By-law to arrange for the work to be done by a private contractor at your expense. If the costs incurred are not paid, the City can collect them by adding them to your property taxes.

Yours truly,



W. M. Johnston, P. Eng.
Director, Licences & Inspections, and
Chief Building Official

/CW

cc - posted on building

REGISTERED AND REGULAR MAIL

PLEASE REFER TO:
D. Mitchell
District Property Use Inspector
Property Use Branch
at 604.871. 6432
I.R. No. UI 52997/EN 098744

ORDER

July 22, 2014

Double Happiness Holdings (2007) Ltd.
429 Powell Street
Vancouver, BC V6A 1G7

*Impact
Co. Search*

Diary? No Yes ✓
To: Darren Mitchell
Date: Aug 6 Init: AT

Dear Sir/Madam:

RE: 451 Powell Street
Lot 23 Block 41 Plan VAP196 District Lot 196 New Westminster

On July 15, 2014, our inspection services reported that your property at the above location contained considerable amounts of rubbish and discarded materials resulting in the site being in an untidy condition which is in contravention of the Untidy Premises By-law, as follows:

Adjacent to 437 Powell Street

- Wood palettes;
- Mattress;
- City barrier;
- Used electronics; and
- Cardboard, etc.

Under Section 6 of the Untidy Premises By-law, as owner of the property, you are **ORDERED TO** remove this accumulation of rubbish and discarded materials on or before **AUGUST 5, 2014** and to thereafter maintain the site in a tidy condition.

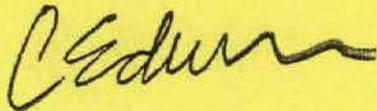
IF YOU DO NOT COMPLY WITH THIS ORDER, THE CITY WILL HIRE A CONTRACTOR TO DO THE WORK AS AUTHORIZED UNDER SECTION 6(2) OF THE UNTIDY PREMISES BY-LAW.

For your information, the average cost for this type of work is currently up to \$3,000.00.

Please be advised that City Inspectors and crews are authorized to enter onto a site for the purpose of enforcing the by-laws. Gates and/or entry ways that are locked are subject to having the lock cut off and removed to permit access.

Furthermore, if any materials are found during the clean-up and require special handling or disposal methods, (e.g. solvents, asbestos, grease, etc.), the cost of the clean-up will likely increase and you will be responsible for the added costs. If the costs incurred are not paid, the City can collect them by adding them to your property taxes.

Yours truly,

A handwritten signature in black ink, appearing to read 'C. Edwards', with a stylized flourish at the end.

C. K. Edwards, P. Eng
Deputy Chief Building Official &
Assistant Director, Licences & Inspections

DM/at

Copy: Posted on Site



COMMUNITY SERVICES GROUP
Licences and Inspections
By-law Administration

PLEASE REFER TO:
Mrs. C. Edwards,
Assistant Director
Inspections Services Division
at 604.873.7533

July 25, 2013

Vancouver City Savings Credit Union
188 East Pender Street
Vancouver, BC
V6A 1T3

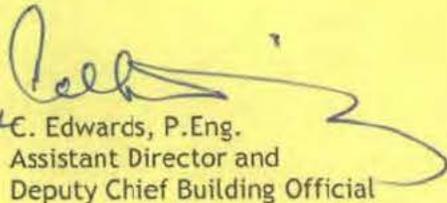
Dear Sirs:

Re: 451 Powell Street

Our records indicate that you are the mortgage holder of the above-noted property and as such would have an interest in the status of the building.

Please see the attached order dated July 24, 2013, which was sent to the owners of the property after the partial collapse and subsequent emergency demolition of the building.

Yours truly,


C. Edwards, P.Eng.
Assistant Director and
Deputy Chief Building Official

CW/JH

Enclosure

Diary? Yes No
To:.....
Date:..... Init: *ALT*
EN #:.....

IR Number B1 41352

EN Number

Date of Inspection (yyyy/mm/dd) 2013/09/09

For Manager or Assistant Manager Use Only

File: Approval / Use Enforcement Project / Permit

FYA to: Catherine Wong

FYI to: _____

Harley Machielse

Manager / Supervisor

IR Number PI 13684

EN Number

Date of Inspection (yyyy/mm/dd) 2013/07/25

For Manager or Supervisor Use Only

File: Approval / Use Enforcement Project / Permit

FYA to: file

FYI to: _____

L.Urekar

Manager / Supervisor

10 AM

Property Address: 439 POWELL ST	Name of Building: READING ROOMS	Inspection Date: JUNE 26 2012
BL No. 12-130083-NH(155)	Operator:	No. Storeys: 2 (1R)
No. of Units: Vacant: 8 HKU Wkly/Nightly:	Security/Video:	SRA - (TRF) Register:
Owner Info: MING SUNG BENEVOLENT SOCIETY	Manager: KEN WONG 253-3813	Inspectors Attending: ANGELO MARROCCO

Standards of Maintenance
EXTERIOR AND COMMON AREAS By-law No. 5462

JULY 5/10
7 - NEW STAIRS?

- REMOVE STAIRS FROM HALLWAY.

BUDG MAINTAINED IN A SATISFACTORY CONDITION

HAND DELIVERED TO: KEN

Recommendations:

- FIVE

Standards of Maintenance		By-law No. 5462	
Room No. 1	<input type="checkbox"/> Carpets/flooring baseboards Repair/Replace/Clean <input type="checkbox"/> Walls, ceiling & floors Repair/Replace/Clean <input type="checkbox"/> Electrical outlets/fixtures Repair or Replace all missing/broken	<input checked="" type="checkbox"/> Smoke alarm <u>Repair/Replace</u> <input type="checkbox"/> Radiator/Electric baseboard covers - Repair/Replace <input type="checkbox"/> Door/door knobs/locks/handset/hinges - Repair/Replace <input type="checkbox"/> Sink/plumbing taps/shut offs <input type="checkbox"/> Window pane/frame/trim & hardware <input type="checkbox"/> Pests	OK
Room No. 2	<input type="checkbox"/> Carpets/flooring baseboards Repair/Replace/Clean <input checked="" type="checkbox"/> Walls, ceiling & floors <u>Pipe DPC IN CEILING</u> Repair/Replace/Clean <input type="checkbox"/> Electrical outlets/fixtures Repair or Replace all missing/broken	<input type="checkbox"/> Smoke alarm - Repair/Replace <input type="checkbox"/> Radiator/Electric baseboard covers - Repair/Replace <input type="checkbox"/> Door/door knobs/locks/handset/hinges - Repair/Replace <input type="checkbox"/> Sink/plumbing taps/shut offs <input type="checkbox"/> Window pane/frame/trim & hardware <input type="checkbox"/> Pests	
Room No. 3	<input type="checkbox"/> Carpets/flooring baseboards Repair/Replace/Clean <input type="checkbox"/> Walls, ceiling & floors Repair/Replace/Clean <input type="checkbox"/> Electrical outlets/fixtures Repair or Replace all missing/broken	<input type="checkbox"/> Smoke alarm - Repair/Replace <input type="checkbox"/> Radiator/Electric baseboard covers - Repair/Replace <input type="checkbox"/> Door/door knobs/locks/handset/hinges - Repair/Replace <input type="checkbox"/> Sink/plumbing taps/shut offs <input type="checkbox"/> Window pane/frame/trim & hardware <input type="checkbox"/> Pests	OK
Room No. 10	<input type="checkbox"/> Carpets/flooring baseboards Repair/Replace/Clean <input type="checkbox"/> Walls, ceiling & floors Repair/Replace/Clean <input type="checkbox"/> Electrical outlets/fixtures Repair or Replace all missing/broken	<input type="checkbox"/> Smoke alarm - Repair/Replace <input type="checkbox"/> Radiator/Electric baseboard covers - Repair/Replace <input type="checkbox"/> Door/door knobs/locks/handset/hinges - Repair/Replace <input type="checkbox"/> Sink/plumbing taps/shut offs <input type="checkbox"/> Window pane/frame/trim & hardware <input type="checkbox"/> Pests	(A) 10 <u>rooms bath no door</u>
Room No. 5	<input type="checkbox"/> Carpets/flooring baseboards Repair/Replace/Clean <input type="checkbox"/> Walls, ceiling & floors Repair/Replace/Clean <input type="checkbox"/> Electrical outlets/fixtures Repair or Replace all missing/broken	<input type="checkbox"/> Smoke alarm - Repair/Replace <input type="checkbox"/> Radiator/Electric baseboard covers - Repair/Replace <input type="checkbox"/> Door/door knobs/locks/handset/hinges - Repair/Replace <input type="checkbox"/> Sink/plumbing taps/shut offs <input type="checkbox"/> Window pane/frame/trim & hardware <input type="checkbox"/> Pests	OK
Room No. 8	<input type="checkbox"/> Carpets/flooring baseboards Repair/Replace/Clean <input type="checkbox"/> Walls, ceiling & floors Repair/Replace/Clean <input type="checkbox"/> Electrical outlets/fixtures Repair or Replace all missing/broken	<input type="checkbox"/> Smoke alarm - Repair/Replace <input type="checkbox"/> Radiator/Electric baseboard covers - Repair/Replace <input type="checkbox"/> Door/door knobs/locks/handset/hinges - Repair/Replace <input type="checkbox"/> Sink/plumbing taps/shut offs <input type="checkbox"/> Window pane/frame/trim & hardware <input type="checkbox"/> Pests	OK
Room No. 6	<input type="checkbox"/> Carpets/flooring baseboards Repair/Replace/Clean <input checked="" type="checkbox"/> Walls, ceiling & floors <u>CORNER</u> Repair/Replace/Clean <input type="checkbox"/> Electrical outlets/fixtures Repair or Replace all missing/broken	<input type="checkbox"/> Smoke alarm - Repair/Replace <input type="checkbox"/> Radiator/Electric baseboard covers - Repair/Replace <input type="checkbox"/> Door/door knobs/locks/handset/hinges - Repair/Replace <input type="checkbox"/> Sink/plumbing taps/shut offs <input type="checkbox"/> Window pane/frame/trim & hardware <input type="checkbox"/> Pests	OK
Other Deficiencies:			

IR Number B1 41270

EN Number

Date of Inspection (yyyy/mm/dd) 2013/07/26

For Manager or Assistant Manager Use Only

File: Approval / Use Enforcement Project / Permit

FYA to: Catherine Wong

FYI to: _____

Harley Machielse
Manager / Supervisor

Digital Photos Cover Sheet

Main address: 437 Powell St

Secondary address (if applicable): _____

Specifics: _____

Reason for inspection: Unsafe condition

Name of inspector: Mike Collister

Inspection Discipline: Building

Date photo(s) taken: September 9, 2013

Related Inspection Report (IR) number: IR#41352

Related Enforcement (EN) number: EN089890

For Clerk's Use Only	
Location of digital photo(s) on "H" drive:	_____
Date the directory was created:	_____
Photos submitted to DOMINO by:	_____
DOMINO to send FYA notification to:	<u>SAME Sheri Amundt</u>

Comments regarding photos:

(NOTE: Need extra space for more photos: Press Tab right after filling in information for the last one.)

Photo #1 Bulging brick façade

Photo #2 Rotting built up post at the SE corner of building at ground level

Photo #3 Buckling header over ground floor commercial store front windows.

Photo #4 _____

Photo #5 _____

Photo #6 _____

Photo #7 _____

Photo #8 _____

Photo #9 _____

Photo #10 _____

Photo #11 _____

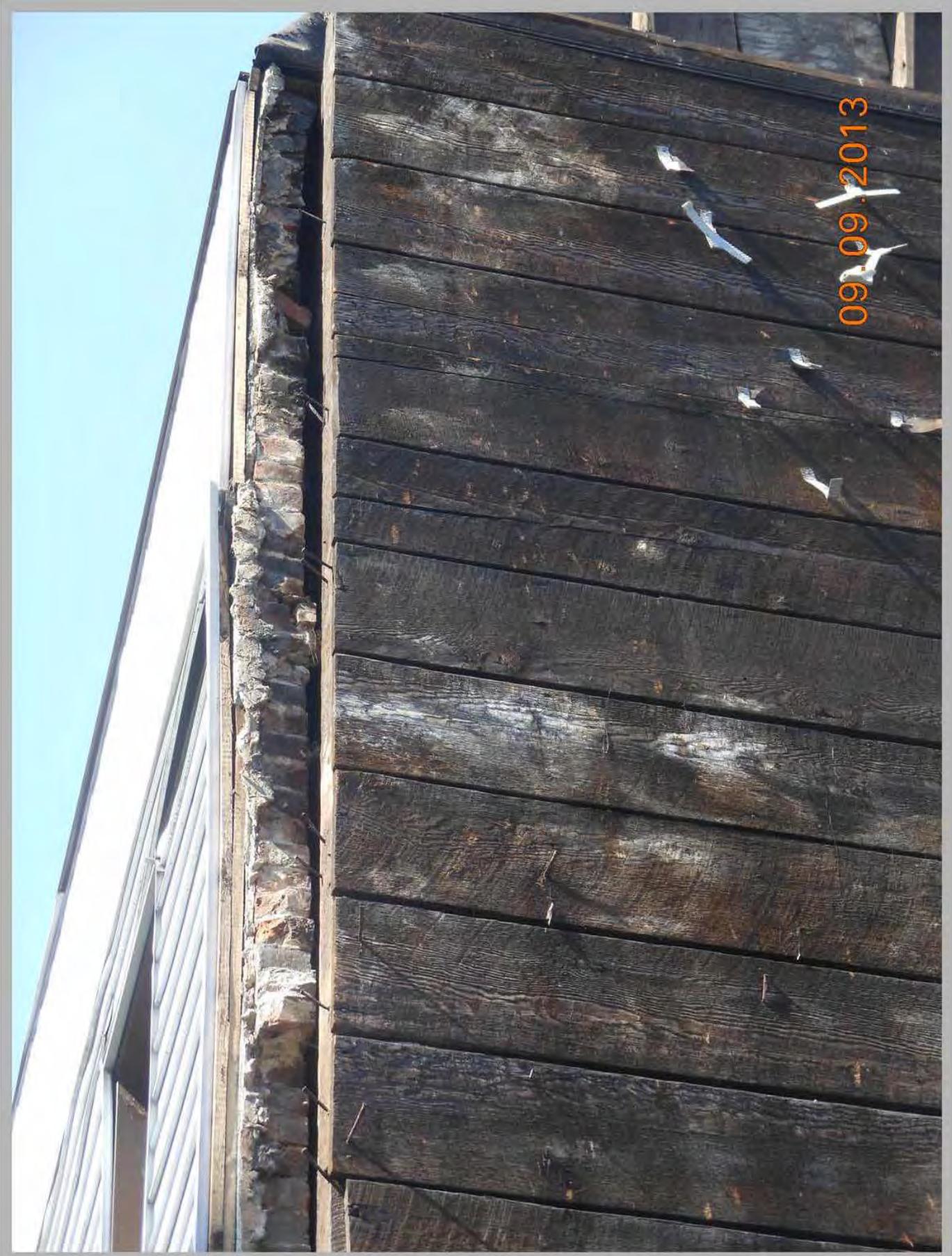
Photo #12 _____

Photo #13 _____

Photo #14 _____

Photo #15 _____

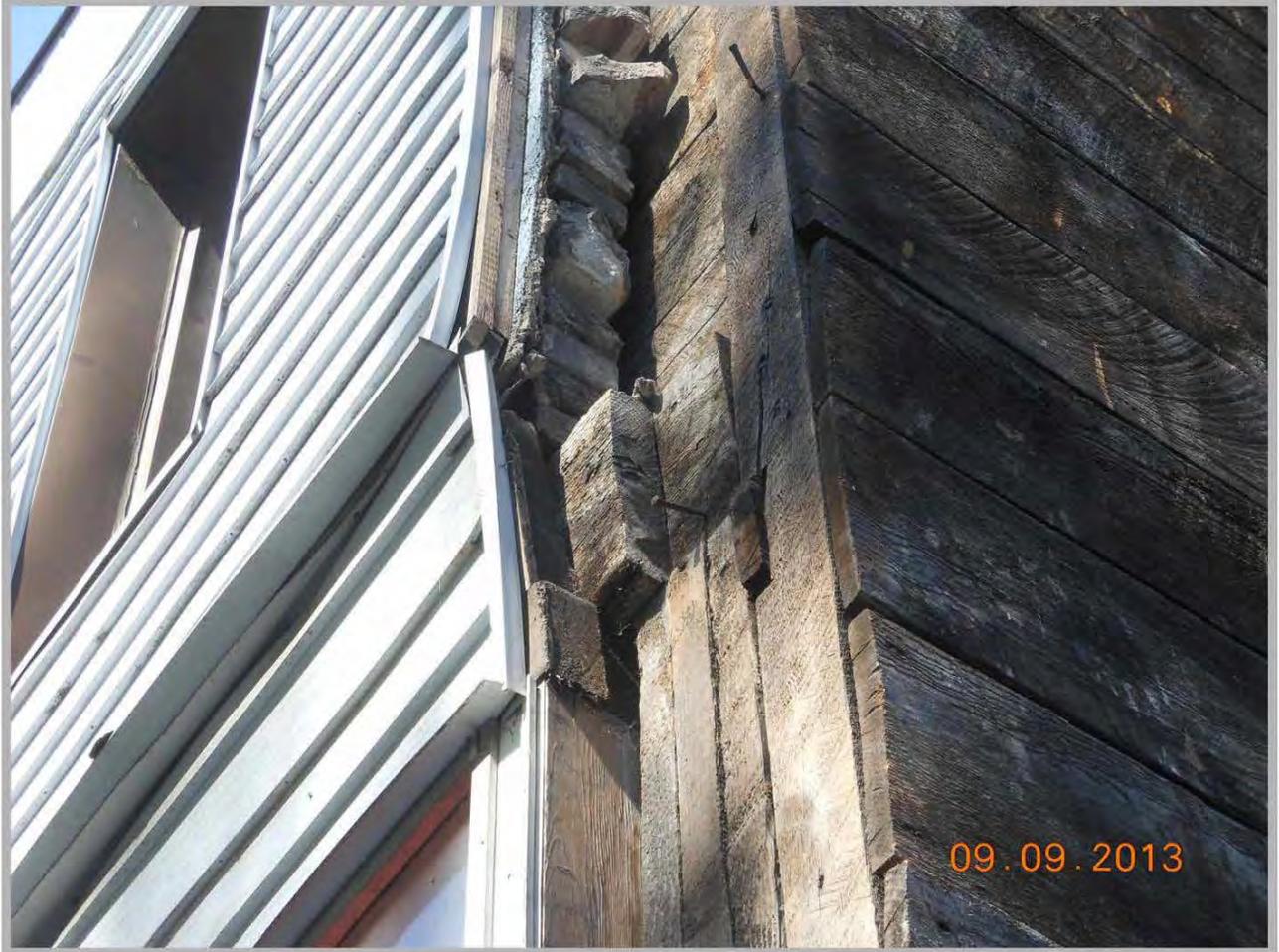
Photo #16 _____



Filename: 01.jpg \\ © City of Vancouver \\



Filename: 02.jpg \ \ © City of Vancouver \ \



Filename: 03.jpg \\ © City of Vancouver \\



IR Number	CP 10194	EN Number		Date of Inspection (yyyy/mm/dd)	2013/07/26
Main Address	437 Powell St			Specifics and/or Suite #	
Secondary Address	439, 441 Powell St.				
Tenant				Number of Storeys	2
Owner	Ming Sun Benevolent Society #9 - 439 Powell St. Vancouver, BC V6A 1G7			Permit Number	
Contractor				Approved Use of Building/Land	SRA / Commercial Retail
Contractor's Business License Account				Present Use of Building/Land	SRA / Commercial Retail

Reason for Inspection

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Enforcement | <input type="checkbox"/> Final Inspection | <input type="checkbox"/> Special Inspection |
| <input type="checkbox"/> Community Care | <input type="checkbox"/> Strata Titling | <input type="checkbox"/> Other |

Inspection Carried Out With:

Building	Jamie Steen	Fire	Chris Short
Plbg/Gas	Lloyd Cheung	Police	
Electrical	Jason Rowley	Health	
Environmental Protection		Prop. Use	

Narrative/Observations

11:30am:

- Attended site as a translator to the owners with Carli Edwards, Michael Mark, VFD - Rob Renning & Rick Cheung, and Will Johnston.
- I waited at the front of this building for the owners to arrive while the others were assessing this building.

12:30pm:

- Owners: Mr. Ken Wong and Mr. Bing Wong arrive on-site.
- Carli Edwards ordered an immediate Coordinated Inspection to be done to this building.

1:30pm:

- I phoned Lynn Urekar to phone Fortis BC to disconnect the gas service to this building because building debris from the neighboring building to the east had pushed against the gas meter assembly causing this assembly to be dislodged from the building.

2:00pm:

- Coordinated Inspection with myself, Jamie Steen (Building), Jason Rowley (Electrical), and Chris Short (VFD).
- Owners: Mr. Ken Wong and Mr. Bing Wong, residents, and tenants of retail unit were waiting outside on the city sidewalk.

2:30pm:

- Fortis BC arrived on-site and confirmed the gas service to this building is turned-off and confirmed the gas is left in a safe condition.

Building Layout:

IR Number CP 10194

EN Number

Date of Inspection (yyyy/mm/dd) 2013/07/26

- This is an older fully sprinklered building with 8 approved - SRA residences on the 2nd floor and commercial retail unit on the main floor.
- The fire sprinkler system is pressurized; but, the sprinkler monitor system is not working because electrical power to the building is not on.
- 2nd Floor: 8 - SRA residences each with 1 - kitchen sink and 1 - gas stove. 4 - washrooms with 1- sink and 1- toilet, and 2 - showers.
- Main Floor: The front section is 2 - commercial retail units with a common washroom in the hallway with 1 - sink and 1 - toilet. The rear section is a communal hall with a washroom with 1 - sink and 1 - toilet; and the gas furnace and gas hot water heater which services the whole building is located in a mechanical room which is part of this area.

Violations and Remedy

Plumbing & Gas

1. Violation: The fire sprinkler system is not being monitored because of electrical power being disconnected.
Remedy: Obtain a sprinkler permit to re-verify the fire sprinkler system is in safe normal working condition.
2. Violation: I ordered the gas service to be turned off because of un-safe condition, building debris from the neighboring building has pushed the gas meter and causing it to be dislodged from the building; and Fortis BC crew came to turn-off the gas service to the lot.
Remedy: Obtain a gas permit to turn-on and re-verify the gas system is operating in a safe and normal matter.
3. Violation: We did not gain access into all of the SRA units; but not all of the gas stoves in the SRA residences that we've inspected have a hood fan above these stoves. Because of the age and condition of these stoves, a hood fan should be installed above these stoves.
Remedy: All 8 - gas stoves in the SRA residences must have hood fans above these stoves.

Number of violations outstanding: 3

Once gas is restored to the building and the meter issue addressed there are no current conditions that would prevent re-occupancy of the building
An engineers assessment is being done to address possible structural issues. Gas issues will not be addressed

Requirements

Above

Recommendations

File for info

Photos Taken? Yes No

Notice Posted? Yes No Type of Notice?

Date Report Made: July 26, 2013

Lloyd Cheung
Inspector's Name

IR Number CP 10194

EN Number

Date of Inspection (yyyy/mm/dd) 2013/07/26

For Manager or Supervisor Use Only

File: Approval / Use Enforcement Project / Permit

FYA to: File for info only at this time

FYI to: _____

L.Urekar

Manager / Supervisor

Wong, Catherine

From: Wong, Catherine
Sent: Tuesday, October 29, 2013 8:44 AM
To: Machielse, Harley; Tsangarakis, Mary
Subject: RE: READ JONES CHRISTOFFERSEN - INV # 144155 - \$726.60 (439 POWELL)

MAIN ADDR: 437 POWELL

And Order Number 40019145. Thanks, Catherine

-----Original Message-----

From: Machielse, Harley
Sent: Tuesday, October 29, 2013 8:28 AM
To: Tsangarakis, Mary
Cc: Wong, Catherine
Subject: RE: READ JONES CHRISTOFFERSEN - INV # 144155 - \$726.60 (439 POWELL)

Hi Mary,

We can't charge back for this invoice. Please use G/L Account 531020.

Thank you,
Harley

-----Original Message-----

From: Tsangarakis, Mary
Sent: Thursday, October 24, 2013 10:17 AM
To: Machielse, Harley
Subject: READ JONES CHRISTOFFERSEN - INV # 144155 - \$726.60 (439 POWELL)

Central A/P forwarded attached doc to me as per your request but am unsure if this is to be charged to collectable account.

Thanks
Mary



Read Jones Christoffersen
Consulting Engineers

3rd Floor
1285 West Broadway
Vancouver, BC V6H 3X8
Canada

604 738-0048
Fax 604 738-1107
www.rjc.ca

Invoice Date: August 30, 2013

City of Vancouver
453 West 12th Avenue
Vancouver, BC V5Y 1V4
Canada

Invoice Number: 144155
PO Number
Client Code: CITY127
RJC Job No.: VAN.109538.0002

Attention: Jamie Steen

Page 1 of 1

<i>Project: 439 Powell Street</i>			Amount
<i>Structural Assessment</i>			
FEE: At time rates to: 08/16/2013			
	<u>Employee</u>	<u>Hours</u>	<u>Rate</u>
	Chichao Yao	3.00	220.00
	Debra Lara Wescott	0.40	80.00
	Subtotal		692.00
	Less Amount Previously Invoiced		0.00
			692.00
DISBURSEMENTS:			
SUBTOTAL			692.00
GST PAYABLE (#10442 9493 RT) at 5%			34.60
TOTAL THIS INVOICE			726.60

Reviewed By: Chichao Yao, P. Eng.

e. & oe.

Terms: Net 30 Days
Interest @ 1-1/2% per month (18% per year) will be charged on overdue accounts
Remit to: **Read Jones Christoffersen Ltd.**

NON-RECOVERABLE - CHARGE TO ORDER # 40019145 / GL # 531020

Oct 28 2013



INVOICE

MAIL CHEQUE OR MONEY ORDER TO:
City of Vancouver, Revenue Services Division
PO Box 7747, VANCOUVER BC V6B 8R1
Telephone 604.873.7202

INVOICE NO: 0018143194

YOUR REFERENCE:

DATE: 2014/01/20

OUR REFERENCE: P&L CLEANUP#1450

TO: MING SUN BENEVOLENT SOCIETY
439 POWELL STREET
VANCOUVER BC V6A 1G7
CANADA

MING SUNG BENOVOLENT SOCIETY
#9 - 439 POWELL STREET
VANCOUVER, BC. V6A 1G7

DETAILS

AMOUNT

RE: 437 - 441 POWELL STREET
LOTS 24 & 25, BLOCK 41, DISTRICT LOT 196, PLAN 196
EN088755

\$ 26,410.00

THE COST OF REMOVING BRICKS FROM THE WEST ELEVATION OF THIS STRUCTURALLY UNSAFE BUILDING, REMOVING THE CHIMNEY, BOARDING UP WINDOWS FOR SECURITY, AND RELATEDWORK, FROM DECEMBER 10 TO DECEMBER 23, 2013, UNDER ARTICLE 1A.6.2.2 OF DIVISION C OF THE BUILDING BY-LAW. THIS RELATES TO OUR PREVIOUS CORRESPONDENCE (DATED DECEMBER 5 AND DECEMBER 24, 2013).

NOTE: IF THIS INVOICE REMAINS UNPAID AFTER FEBRUARY 21, 2014, THE AMOUNT OWING MAY BE PLACED ON THE TAX ROLL AND A 5% PENALTY WILL BE CHARGED BY THE PROPERTY TAX OFFICE.

FOR QUESTIONS, PLEASE CONTACT CATHERINE WONG @ 604.873.7535

P.S.T.	\$	0.00
*G.S.T.	\$	0.00
Translink Parking Tax	\$	0.00
H.S.T.	\$	0.00
Total Amount Payable	\$	26,410.00

Payment of this invoice is NOW DUE

G.S.T. NUMBER R121361042

THE CITY OF VANCOUVER CHARGES A \$35 ADMINISTRATIVE FEE FOR ANY DISHONOURED CHEQUE

REMITTANCE STUB

CITY OF VANCOUVER

City of Vancouver, Revenue Services Division
PO Box 7747, VANCOUVER BC V6B 8R1
Telephone 604.873.7202

INVOICE NO: 0018143194

DATE: 2014/01/20

TOTAL PAYABLE: \$26,410.00

MING SUN BENEVOLENT SOCIETY

* PLEASE WRITE THIS INVOICE NUMBER ON YOUR CHEQUE OR MONEY ORDER

* INCLUDE THIS STUB WITH YOUR PAYMENT

DOMINO

City of Vancouver

INVOICE REQUEST

Subject Address	437 - 441 POWELL STREET	Date	January 20, 2014
-----------------	-------------------------	------	------------------

Customer Name	MING SUN BENEVOLENT SOCIETY	Customer Number	301
Attention		Your Reference	
Address	439 POWELL STREET	Contractor Invoice	14503
City	VANCOUVER		
Province	BC		
Postal Code	V6A 1G7		
Country	CANADA		

GL Code (Cost Element)	Amount	Tax Code	Tax Jurisdiction	Cost Centre	Order Number or WBS	Business Area
490200	\$26,410.00	IG	GFPN		40007462	9200
TEXT	RE: L & I REMOVING BRICKS AND BOARDING UP BUILDING AT 437 - 441 POWELL STREET					

GL Code (Cost Element)	Amount	Tax Code	Tax Jurisdiction	Cost Centre	Order Number or WBS	Business Area
490200		IB	GFPN		40007462	9200
TEXT	RE: L & I MISC ITEMS/SUPPLIES REQUIRED					

DETAILS or COMMENTS TO PUT ON INVOICE	AMOUNT
<p>RE: 437 - 441 POWELL STREET LOTS 24 & 25, BLOCK 41, DISTRICT LOT 196, PLAN 196 EN088755</p> <p>THE COST OF REMOVING BRICKS FROM THE WEST ELEVATION OF THIS STRUCTURALLY UNSAFE BUILDING, REMOVING THE CHIMNEY, BOARDING UP WINDOWS FOR SECURITY, AND RELATED WORK, FROM DECEMBER 10 TO DECEMBER 23, 2013 UNDER ARTICILE 1A.6.2.2 OF DIVISION C OF THE BUILDING BY-LAW. THIS RELATES TO OUR PREVIOUS CORRESPONDENCE (DATED DECEMBER 5 AND DECEMBER 24, 2013).</p> <p>NOTE: IF THIS INVOICE REMAINS UNPAID AFTER FEBRUARY 21, 2014, THE AMOUNT OWING MAY BE PLACED ON THE TAX ROLL AND A 5% PENALTY WILL BE CHARGED BY THE PROPERTY TAX OFFICE.</p>	<p>\$ 26,410.00</p> <p>\$ -</p>

Contact Person:	Catherine Wong	Phone Number:	604.873.7535
GST Registration No. R121361042		Sub-Total Payable	26,410.00
		GST Amt Payable	
		PST Amt Payable	
The City of Vancouver charges a \$35 administrative fee for any dishonored cheque.		Total Amount Payable	\$ 26,410.00

Accounting Use Only Invoice Number & Date	Requested by:	CATHERINE WONG	CHECK APPLICABLE <input type="checkbox"/> Statement Request <input type="checkbox"/> Return Original Invoice <input checked="" type="checkbox"/> Copy of Invoice to Requester
	Phone Number:	604.873.7535	
	Department:	BY-LAW ADMINISTRATION	
	Special Instructions:	ACCOUNTS RECEIVABLE: BILL OWNER FOR AMOUNT PAYABLE (EXCLUDING GST-NOT RECOVERABLE). SEND DUPLICATE TO MING SUN BENEVOLENT SOCIETY #9 - 439 POWELL STREET VANCOUVER, BC V6A 1G7	

DOMINO

Assertive Excavating and Demolition Ltd.

#264 19567 Fraser Hwy
Surrey B.C. V3S 9A4
Phone: (604) 888-6055
Fax: (604) 888-3222
www.AssertiveExcavating.com

Invoice # 14503 *Revised*

January 13, 14

City Of Vancouver

Phone: 604-873-7883
Fax: 604-873-7100
Email: AP.central@vancouver.ca

Attention: Harley Machielse

Re: Demolition Work At 439 Powel Street *December 10-23, 2013*

Supply men, equipment, scaffolding, bins, disposal and lumber for removal of brick façade and chimney and boarding of windows for security.

Set up scaffold and remove bricks on West wall as per quotation	\$15300.00
Clean up around trailer to provide access for scaffold	\$180.00
Supply labour and materials to board windows for security	\$750.00
Moduloc rental fence	\$355.00
Remove chimney including labour, extra scaffolding, hoarding, chipping hammers, and generator	\$5085.00
Supply 3 - 40 yard bins including cartage and disposal of bricks	\$2100.00
Supply professional engineer (VPL Engineering) for supervision and engineering	<u>\$2640.00</u>
	Subtotal: \$26410.00
	GST: <u>\$ 1320.50</u>
	Total: \$27730.50

HST# 895864601



IR Number **BI 41521** EN Number Date of Inspection (yyyy/mm/dd) **2013/12/10**

Main Address **437 Powell St** Specifics and/or Suite #

Secondary Address

Tenant Number of Storeys **2**

Owner **Ming Sun Benevolent Society** Permit Number

Contractor Approved Use of Building/Land **commercial/
residential**

Contractor's Business License Account Present Use of Building/Land **vacant**

Reason for Inspection **Call out from Vancouver Fire and Rescue Services (VFRS) - Flood in building**

Narrative/Observations

Received a call from Assistant Director, Carli Edwards at approximately 6:30 pm. VFRS had received a call about a flood in this vacant building. VFRS was now onsite and was reporting that the sprinkler system had failed causing a flood in the building with approximately 6" of water on the floors. Requesting Building Inspector to attend.

Building is the subject of ongoing enforcement action from the city for structural instability and was ordered vacated some months ago.

Attended site with Carli Edwards. VFRS had gained entry to the building and shut off the water to the sprinkler system. Walked through the building with VFRS personnel. Water was pouring through the ceiling of the lower floor and observed that the sprinkler system piping was dislocated in various locations on the upper floor at fitting locations. Fittings observed to be broken. VFRS also turned off domestic water supply during walk through.

Well below freezing temperatures had occurred recently for a week or so and temperatures had just risen above freezing in the last couple of days.

Requested city crew to board up building as VFRS had breached entry. Also, it appeared and had been reported that the building was being looted. City crew chained, screwed shut, and boarded doors and gates at front and rear of the building.

Requirements

Ongoing enforcement action already in process.

Recommendations

Charge cost of board-up from city crew to the owners of the building.

Photos Taken? Yes No Notice Posted? Yes No Type of Notice?

Date Report Made: January 3, 2014 Michael Mark
Inspector's Name

IR Number B1 41521

EN Number

Date of Inspection (yyyy/mm/dd) 2013/12/10

For Manager or Assistant Manager Use Only

File: Approval / Use Enforcement Project / Permit

FYA to: Elke Hoffmann

FYI to: _____

Michael Mark

Manager / Supervisor



IR Number	CB 10923	EN Number	Date of Inspection (yyyy/mm/dd)	2013/07/26
Main Address	437 Powell St		Specifics and/or Suite #	
Secondary Address				
Tenant			Number of Storeys	2
Owner	Ming Sun Benevolent Society #9-439 Powell St. Vancouver, BC V6A 1G7		Permit Number	
Contractor			Approved Use of Building/Land	SRA/Commercial Retail
Contractor's Business License Account			Present Use of Building/Land	SRA/Commercial Retail

Reason for Inspection

<input checked="" type="checkbox"/> Enforcement	<input type="checkbox"/> Final Inspection	<input type="checkbox"/> Special Inspection
<input type="checkbox"/> Community Care	<input type="checkbox"/> Strata Titling	<input type="checkbox"/> Other

Inspection Carried Out With:

Building	Jamie Steen	Fire	Chris Short
Plbg/Gas	Lloyd Cheung	Police	
Electrical	Jason Rowley	Health	
Environmental Protection		Prop. Use	

Narrative/Observations

The neighbouring building to the east was in the process of being demolished when part of the east façade of this building was beginning to come down as well. Structural concerns led to the evacuating of the building. Power was cut and tenants temporarily re-located.

Owners were ordered to bring an engineer to determine the state of the building but failed to do so. The City hired an independent contractor and I met with C.C. Yao from RJC Engineers on site. We did a walkthrough of the building but he was unable to make a full assessment due to demolition rubble on the adjacent site (he needs to view the east façade from the exterior). He advised he would not be able to carry out a structural assessment until the demo was completed next door. Additionally, there are loose bricks hanging from the east elevation that will need to be removed prior to him re-visiting the site.

The engineer did give the go ahead for restricted access to the building in order to allow the residents to obtain more of their belongings. Many of the residents were present and access was given at this time. The owners declined boarding up of the building and said they would ensure the building was secure and that the residents would not have free access.

This is 2 storey, sprinklered building. Gas and electrical services have been cut

Carli Edwards requested an immediate Coordinated Inspection and inspection found the following:

- Main floor:**
- There are 2 units on the main floor approved as retail.
 - The floor assembly requirement between the main floor and the 2nd floor does not comply due to the fire-separation being removed. The required floor assemblies shall be fire-separations with a fire-

IR Number CB 10923 EN Number

Date of Inspection (yyyy/mm/dd) 2013/07/26

resistance rating not less than 2 h.

- The unit on the east side is used for an artist studio R/O Jinhan Ko 604-779-0008.
- The unit on the west side is used as storage for the east side artist studio and a small bike repair shop.

Violation- change of use without permits, compromised fire separation

Remedy- apply for permits for change of use and to restore fire separation

Note- tenants storing variety of combustibles (gas cans and propane tanks) and were ordered by fire to remove

2nd Floor:

Approved SRA, containing 8 individual units, including 4 washrooms. We did not access all of the units.

Violation

- Units # 1, 6 & 8 have gas cooking appliances but do not have the required kitchen hood fans. Remedy: install as per sec 9.32.3.7.

Overall

- The existing exit doors are not fire rated and do not have the required release hardware. Remedy: Upgrade the exits to meet the requirements of Section 3.4. and obtain a building permit

Until the structural assessment is complete the building is to remain vacant and secure. Withstanding the engineers report none of the above items would prevent re-occupancy of the building. Priority would be to restore the fire separation between the commercial and residential units. If the main floor were to remain vacant the fire separation would not be a priority item.

Requirements

Recommendations

File for info pending engineers findings

Photos Taken? Yes No Notice Posted? Yes No Type of Notice?

Date Report Made: July 29, 2013

Jamie Steen
Inspector's Name

For Manager or Assistant Manager Use Only

File: Approval / Use Enforcement Project / Permit

FYA to: File for info only at this time

FYI to:

L.Urekar

Manager / Supervisor



Co-ordinated Inspection Report (Electrical)

IR Number CE 10760 EN Number EN 0 Date of Inspection (yyyy/mm/dd) 2013/07/26

Main Address 437 Powell ST Specifics and/or Suite #

Secondary Address

Tenant Number of Storeys

Owner Ming Sun Benevolent Society Permit Number 2

Contractor Approved Use of Building/Land Comm and resid

Contractor's Business License Account Present Use of Building/Land

Reason for Inspection

- Enforcement
- Final Inspection
- Special Inspection
- Community Care
- Strata Titling
- Other

Inspection Carried Out With:

Building	Jamie Steen	Fire	Chris Short
Plbg/Gas	Lloyd Cheung	Police	
Electrical	Jason Rowley	Health	
Environmental Protection		Prop. Use	

Narrative/Observations

Power has been disconnected to the building.

SRO portion of the building appears to be maintained
Could not verify operational status of exits/EM/FA system

Main floor

Artist tenant space (east tenant)

- Multiple uses of extension cords and incorrect wiring methods

West tenant

- Non-code compliant panel boards/lighting/branch circuits

Washroom on main floor has wire entering into elec. box incorrectly

Electrical contractor to obtain a permit for service hook-up and must do a complete safety check of entire building and correct all non-compliant issues.

None of the above issues would prevent re-occupancy of the building once it is energized

Requirements

Recommendations

File for info

IR Number CE 10760 EN Number EN 0 Date of Inspection (yyyy/mm/dd) 2013/07/26

Photos Taken? Yes No

Notice Posted? Yes No Type of Notice?

Date Report Made: July 29, 2013

Jason Rowley
Inspector's Name

For Manager or Assistant Manager Use Only

File: Approval / Use Enforcement Project / Permit

FYA to: File for info only at this time

FYI to:

L.Urekar
Manager / Supervisor

Property Address: 439 Powell St	Name of Building: Ming Sun Reading Room	Inspection Date: July 7/11
BL No. 11/141472	Operator:	No. Storeys: 2 (1R)
No. of Units: Vacant: Wkly/Nightly: 8	Security/Video: No	SRA - (TRF) Register:
Owner Info: Ming Sun Benevolent Society	Manager: Ken Wong	Inspectors Attending: J Chadwick/Brett Cooke
Standards of Maintenance EXTERIOR AND COMMON AREAS		By-law No 5462

Bldg being maintained in satisfactory condition

Fire Safety Equipment requires testing, Landing and Stairway cluttered with debris, New Locking Mechanism required on Rear Gate for proper Exiting.

Fire Prevention Officer To Follow Up.

Recommendations:

JC / File

Address to

Address Activities

Review/Inspection activity group	District	Department/branch responsible	Current status	Date open	Date complete
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14 Oct 2009	D BUCHANNON	009 - REVIEW COMPLETE	-	-
25 Jul 2013	C WONG	080 - REOPEN GROUP	-	-
25 Jul 2013	C WONG	846 - MONITOR LTR/ORDER	BUUS - UNSAFE SITE - BLDG	EN - 088753
25 Jul 2013	C WONG	873 - ADD EN VIOLATION#S	- 1	EN - 088753
21 Jul 2014	A TIO	849 - PUI ENFORCMNT	A51 - PUI UNTIDY PREMISE	EN - 098744
21 Jul 2014	A TIO	835 - X-REFERENCE IR	- EN EN 098744	IR - UI52997
21 Jul 2014	A TIO	873 - ADD EN VIOLATION#S	- 1	EN - 098744
24 Jul 2014	D BUCHANNON	859 - CLEAR PUI ENFORCMT	A51 - PUI UNTIDY PREMISE	EN - 098744
24 Jul 2014	D BUCHANNON	874 - SUB EN VIOLATION#S	- 1	EN - 098744



48 - BY-LAW ADMIN REV

BY-LAW ADMIN

01 - OPEN

23 Sep 1996

Action Details

Date	Action by	Action	Action specifics	Reference
23 Sep 1996	A CHAMBERS	000 - OPEN GROUP		

25 Feb 2010	G MORTENSEN.	090 - SEND LETTER	DE405045 EXPIRING	
25 Jul 2013	C WONG	095 - SEND ORDER	- UNSAFE BLDG	EN - 088753
21 Aug 2013	G MORTENSEN.	093 - SEND MEMO	- INV OWNER-INV13429	EN - 088753
10 Sep 2013	G MORTENSEN.	093 - SEND MEMO	- INV OWNER-FENCING	EN - 088753
10 Sep 2013	G MORTENSEN.	991 - NOTE	- INV #423298/424997	-
10 Sep 2013	G MORTENSEN.	093 - SEND MEMO	- INV OWNER-DEMO	EN - 088753
10 Sep 2013	G MORTENSEN.	991 - NOTE	- DEBRIS-INV #13430	EN - 088753
21 Jul 2014	A TIO	095 - SEND ORDER	- 14D U/T	IR - UI52997



60 - BUILDING INSPECT N

BI03

BUILDING INSP

01 - OPEN

24 Feb 2000

Action Details

Date	Action by	Action	Action specifics	Reference
24 Feb 2000	T. MCCLURE	000 OPEN GROUP		

24 Jul 2013	M LEE.	810 - RECEIVE COMPLAINT	060 - SITE COMPLAINT	-
24 Jul 2013	M LEE.	800 - SCHEDULE INSPECTN	- SITE SAFETY ISSUE	DT23 130724



63 - PROP USE INSPECTN

PU23

PROPERTY USE INSP

01 - OPEN

23 Feb 2000

Action Details

City of Vancouver - FOI 2020-355 - Page 122 of 123

Date	Action by	Action	Action specifics	Reference

20 Dec 2013	T HAMILTON.	840 - COMPLAINT	A51 - PUI UNTIDY PREMISE	EN - 092871
20 Dec 2013	T HAMILTON.	R71 - REFERRED	- ANGELO MARROCCO	-
23 Dec 2013	A MARROCCO	A51 - UNTIDY PREMISES	05 - RE-CHECK	EN - 092871
23 Dec 2013	A MARROCCO	R61 - INFORMATION GIVEN	- DBL HAPPINESS FDS	TE - 2534424
23 Dec 2013	A MARROCCO	R62 - INFORMATION RECVD	- MSG LFT, EMAIL SNT	-
23 Dec 2013	A MARROCCO	850 - CLEAR COMPLAINT	A51 - PUI UNTIDY PREMISE	EN - 092871
14 Jul 2014	D MITCHELL	840 - COMPLAINT	A51 - PUI UNTIDY PREMISE	EN - 098744
14 Jul 2014	W JAO.,	R71 - REFERRED	- D MITCHELL	CF - 5016083
15 Jul 2014	D MITCHELL..	A51 - UNTIDY PREMISES	02 - COMPLAINT	EN - 098744
15 Jul 2014	D MITCHELL..	R31 - PHOTOGRAPHS TAKEN	-	-
15 Jul 2014	D MITCHELL..	R26 - LETTER/ORDER REQD	- 14D ORDER TO R/O	IR - UI52997
24 Jul 2014	D MITCHELL..	A51 - UNTIDY PREMISES	15 - DELIVER/POST ORDER	EN - 098744
24 Jul 2014	D MITCHELL..	R63 - INFRACTION CLEAR	- SEE DOMINO	DT - 140722
24 Jul 2014	D MITCHELL..	991 - NOTE	- ORDER NOT POSTED	123 of 123
24 Jul 2014	D MITCHELL..	850 - CLEAR COMPLAINT	A51 - PUI UNTIDY PREMISE	EN - 098744