

VANCOUVER, BC CANADA V6B 1A7
D 604 694 8680 F 604 683 6719
RELIANCEPROPERTIES.CA

E & O E: All information contained herein is from sources we deem reliable; however, no guarantee or responsibility is assumed thereof, and it shall not form any part of future contracts. Properties are submitted subject to errors and omissions and all information should be carefully verified. All measurements quoted herein are approximate.

From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]
Sent: Monday, December 16, 2019 12:34 PM
To: Juan Pereira
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

Hi Juan,

Thanks for providing the detailed summary below. I have read through all the documentation provided and we appreciate that Reliance has put something forward that will provide tenants with the option of a stable tenancy, rather than just a 2 year term.

If you are now able to communicate out these three options to the tenants who have indicated they wish to return to 1188 Bidwell, as you note below, it will be up to the individual tenants to determine how they wish to proceed. This should satisfy the intent of the City's TRP policy as far as right of first refusal. Tenants can make an informed choice as to which option they prefer.

As far as **s.22(1)** is not taking up the offer of right of first refusal, we will leave these agreements between yourselves and the tenant and trust that you are acting in good faith.

If you can provide us with copies of the letters that will communicate out the three options to these tenants, I believe we will have what we need.

It is only the final Tenant Relocation Report that will be required as a next step to clear the Occupancy Hold. I am happy to meet to discuss further if you would like, but am not sure it is necessary at this stage.

Andrea

Andrea Gillman MCIP, RPP
Senior Housing Planner
Affordable Housing Programs
City of Vancouver
T: 604-873-7437

From: Juan Pereira [mailto:juanp@relianceproperties.ca]
Sent: Thursday, December 12, 2019 2:17 PM
To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting
Importance: High

Andrea,

We confirm that we are working towards resolving this situation by providing options beyond our original approved TRP in light of finding a positive outcome; however, no matter what we do, this needs to be backed up as reasonable by the City of Vancouver and clearly communicated to the Tenants who unfortunately up to now feel we are finding a way around any stipulated obligation outlined in the TRP, far from our intention.

In this order of ideas we wanted to meet with you to clarify in fact actions and available options per Tenant.

As time is a sensitive matter here, please refer to below summary:

- ☐ Please note that **s.22(1)**, originally at **s.22(1)** from 1170 Bidwell signed **TRP** lease at market rent into a relocated suite provided/owned by Reliance Properties Ltd. where the offered limited TRP benefit of *accommodations as available at any of Reliance's portfolio nearby buildings, into an equivalent/similar unit as they were currently renting, for the same rent value during the term equivalent to the building construction* is being extended for two more years (commitment part of the project's TRP made available only if they were moving into the new building ☐ 1188 Bidwell St).

Refer to signed leased paperwork that includes previously shared second addendum to the lease where is clearly outlined the offered benefit ☐ limited for two years.

It is in fact rewarding finding out that a Tenant clearly understands our obligation outlined several times in letters and that we are still contributing beyond them to a positive outcome.

- ☐ Please refer to attached PDF (5 pages) with options being offered for each of the remaining Tenants. This shows by Tenant the following scenarios:
 - Approved TRP offer relocating into 1188 Bidwell St. Right of first refusal to move back into an equivalent/similar unit in the New Building, upon completion, for the same rent amount (subject to increases as per the RTA) during a two (2) years term.
 - This option requires signing a lease at market rent with a proposed monthly credit for 24 months under a second addendum to the contract as per attached.
 - Further consideration to as discussed in our conference call, we made the decision to make this available to the Tenants: Match TRP current policies where Tenants have the right of first refusal to move back into 1188 Bidwell with 20% discount off starting market rent.
 - This would be offered for the duration of the Tenancy to eligible Tenant, subject to increases as per RTA. Tenant won't be able to sublease the unit and benefits are exclusively to the eligible Tenant.
 - As offered to **s.22(1)**, we would allow Tenants to remain on current relocated suites provided/owned by Reliance Properties Ltd. where the offered limited TRP benefit of *accommodations as*

available at any of Reliance's portfolio nearby buildings, into an equivalent/similar unit as they were currently renting, for the same rent value during the term equivalent to the building construction is being extended for two more years.

This option requires signing a lease at market rent with a proposed monthly credit for 24 months with a second addendum to the contract similar to as signed by **S.22(1)**.

- ☐ Note options B and C are beyond as approved in our TRP.
- ☐ Note our approved TRP clearly denotes: *Current offered conditions are deemed to be better due to current rents being low and new building ones are to be significant higher.* Therefore it was disclosed at front the difference between current rent and anticipated market rents. We are facing the fact that Tenants had extremely low rent at the original building on suites offering limited benefits actually non comparable to what the new building offers responding to current market conditions, project budget and feasibility.
- ☐ We appreciate the fact that the City is looking into creating stable tenancies however it would be up to the Tenant to decide their needs; It is our believe that our original offer could be attractive for some Tenants as the needs change in time (e.g. a Tenant might wish to save for 24 months some money at front and be able to get a down payment to get into owning a suite).

None of the proposed options contemplate the fact that a Tenant desires to stay at current relocated suite with current agreement under current discounted rent in perpetuity. Even the RTA has been adjusted after our TRP was approved (restricting fixed lease terms) there is a strong case that our offer is limited to the time of construction of the new building and it is part of their current lease agreement. If Tenant decides to refuse to offered A, B or C options and remain in the suite without action, they will receive a Notice to vacate their current suite; There are not only obligations on the TRP assigned to the Developer and the limitations to the offer are clear since day one. We will understand this position as the Tenant trying to take advantage of the situation and the provided Good Faith action by the Developer on this process and will submit an application for a Dispute Resolution to the Residential Tenancy Branch and process any Tenant's claim through Arbitration. We are positive that we have a fully supported case and certainly would like to safe both parties to go through the tortuous process and achieve a negative outcome after all effort made in this TRP.

In addition, above action by Tenant provides a full disincentive on Developers offering relocation on owned buildings which also is contrary to TRP aspirations and sets a negative precedent for future projects.

As previously stated, it is not in our obligation to convince Tenants that our actions are consistent and go beyond the TRP, there is an important role to the City to provide the confidence to the Tenants on the fairness of the process. We trust City of Vancouver can do that in light of obtaining a successful TRP that is in all parties interest.

We appreciate your prompt feedback as we will be imminently communicating these

options to the Tenants and trust you can comment before we proceed.

Let me know if any questions or if you want to meet as it is ideally preferred,

Thanks,

[<image001.png>](#)

JUAN G. PEREIRA PROJECT MANAGER

305 - 111 WATER STREET
VANCOUVER, BC CANADA V6B 1A7
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From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]
Sent: Wednesday, December 11, 2019 3:00 PM
To: Juan Pereira
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong
Subject: RE: 1188 Bidwell - meeting

Thanks Juan,

I am just heading into meetings now, but appreciate you giving some further thought to what additional options you can provide to the tenants. Further to the 20% discount option, as per current City policy, I want to confirm that this would be offered in perpetuity for the duration of the tenancy, subject to increases as per the RTA. As you know from our conversation on Monday, creating stable tenancies is critical to fulfilling the offer of right of first refusal. Can you also give us an idea of what the current market rents are for the units being held for these folks?
Andrea

From: Juan Pereira [mailto:juanp@relianceproperties.ca]
Sent: Wednesday, December 11, 2019 2:34 PM
To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong
Subject: RE: 1188 Bidwell - meeting
Importance: High

Andrea,

Just left a VM to you.

We have the figures with market rents per Tenant in current building locations to compare with our TRP scenario.

From accepted TRP for this project and further to our conversation we will be providing two additional options to the Tenants:

- ☐ Extended benefit of 2 years discounted rent from Market rent at current locations where the Market rents are lower or equivalent to 1188 (with suites larger than 1188).
- ☐ Match TRP current policies where Tenants have the right of first refusal to move back into 1188 Bidwell with 20% discount off starting market rent.

We want to present these options on the case by case basis and the best would be to have a Face to Face.

Can you accommodate a meeting this afternoon around 4:00pm?

Please confirm,

Thanks,

[<image001.png>](#)

JUAN G. PEREIRA PROJECT MANAGER

From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]
Sent: Monday, December 9, 2019 3:35 PM
To: Juan Pereira
Cc: Jonathan Lim; Jon Stovell; Naundorf, Daniel; Lynn Luong;
queeniel@relianceproperties.ca; Bond, Abigail
Subject: Re: 1188 Bidwell conference call

Apologies we are dialing back in after we lost the call.
Andrea

Sent from my iPhone

On Dec 9, 2019, at 3:14 PM, Juan Pereira <juanp@relianceproperties.ca> wrote:

Andrea,
We are on the conference now waiting for you to join.

Thanks,

[<image002.jpg>](#)

JUAN G. PEREIRA PROJECT MANAGER

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On Dec 9, 2019, at 3:08 PM, Gillman, Andrea
<Andrea.Gillman@vancouver.ca> wrote:

As per my discussion with Queenie at 3 p.m. this afternoon, we will connect with you shortly.
Thanks.
Andrea

Dial **s.15(1)(l)** 2, Meeting ID **s.15(1)(l)** Andrea
(Host) enter PIN **s.15(1)(l)** Attendees enter Access
Code **s.15(1)(l)**

Please use the following conference call info for those who are not able to attend in person:

Dial: **s.15(1)(l)**

Enter Meeting ID: **s.15(1)(l)**

Andrea (Host) Enter PIN: **s.15(1)(l)**

Attendees Enter Access Code: **s.15(1)(l)**

If your Host has not joined the conference bridge, you will be place on hold until your Host arrives. Once the Host arrives you will be put into the conference.

*****To mute your phone use the Mute Button on your phone

<mime-attachment.ics>

From: "Juan Pereira" <juanp@relianceproperties.ca>
To: "Gillman, Andrea" <Andrea.Gillman@vancouver.ca>
"Naundorf, Daniel" <daniel.naundorf@vancouver.ca>
CC: jonathanl@relianceproperties.ca
Date: 12/20/2019 11:38:18 AM
Subject: Fwd: 1188 Bidwell: Tenant Relocation - Options
Attachments: 1188 Bidwell_TRP_RFR OPTIONS_**s.22(1)**.pdf

Andrea,

As discussed yesterday see below for your information/reference/record in regards to ultimate timeline extension to already distributed letters.

Similarly this has been circulated to eligible Tenants who have expressed interest on the first right of refusal.

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

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Begin forwarded message:

From: Jonathan Lim <JonathanL@relianceproperties.ca>
Date: December 20, 2019 at 11:11:36 AM PST
To: **s.22(1)**
Cc: Juan Pereira <juanp@relianceproperties.ca>
Subject: 1188 Bidwell: Tenant Relocation - Options

Hi **s.22(1)**

We hope this finds you well. As you may have already received the attached letter, we ask that you review, sign and return the letter shortly.

Additionally, Reliance understands that there have been some expressed concerns regarding the timeline in which you must reach and provide your decision as to which of the options you

select. After discussions with the City of Vancouver, we will be extending this deadline until 5:00 PM on January 13, 2020. If you are unable to respond to us with your decision by 5:00 PM on January 13, 2020, we will consider you to have declined the attached offers. Unfortunately, no further exceptions will be granted.

Please note the date in this correspondence takes precedence over those listed in the attached letter dated December 20, 2019.

If you have further questions or concerns, please reach out to myself and Juan.

Thank you,

JONATHAN LIM PROJECT COORDINATOR

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PRIVILEGED AND CONFIDENTIAL

To: s.22(1)
s.22(1)
Vancouver, BC V6B 1R4

From: Juan Pereira, Project Manager, Reliance Properties Ltd.

Date: December 20, 2019

RE: RIGHT OF FIRST REFUSAL – TENANT RELOCATION PLAN – OPTIONS

Dear s.22(1)

Reliance Properties has heard your comments and concerns, and consistent with our commitment to providing you assistance over and above our legal obligations in these difficult circumstances, we have decided to extend you two further options, Option B and C, set out below. We will also continue to honour the original offer, Option A, below.

We have attached a calculation of costs for each option to assist you in considering your options.

Option A: 1188 Bidwell at Your previous rent amount for a two-year term (As set out in Reliance's City-Approved TRP)

Eligible tenants can move back into an equivalent/similar unit in the New Building (1188 Bidwell Street), upon completion, for the same rent amount they were paying prior to the project (subject to increases as per the RTA) during a two (2) year term. This option requires signing a new lease at market rent with a monthly credit for 24 months.

Option B: 1188 Bidwell at 20% Discount

Reliance has decided to extend eligible tenants the opportunity to move into 1188 Bidwell at market rent less 20%, which is consistent to the newly updated TRP standards. While these new standards do not apply to this 1188 Bidwell TRP, we want to extend this option to you. This rent amount will continue for the duration of the Tenancy to the eligible tenant, subject to increases as per RTA. These benefits are exclusively for the eligible tenant, and this offer is conditional on the acknowledgment that subletting will not be permitted.

Option C: Remain at current relocated suites provided/owned by Reliance Properties, sign a new lease at market rent with monthly credit for 24 months

Reliance offers eligible tenants living in relocated suites a further two years in the suite at their current rent plus allowable rent increases pursuant to the RTA, which is an extension of these benefits by 24 months. This option requires signing a new lease at market rent with a monthly credit for 24 months.

Please provide your decision as to which of the above options you select by **5:00 pm on January 6, 2020**, at which time the offers will expire. You are also free to decline Reliance's offers, which will end Reliance's obligations with respect to your future accommodation. If you do not respond to us with your decision by 5:00 pm on January 6, 2020, we will consider you to have declined these offers. Please note that staying at current relocated suites at discounted rent in perpetuity is not an option available to tenants pursuant to your agreements with Reliance and Reliance's City of Vancouver-approved TRP.

If you would like to further discuss any of the above options before January 6, 2020, please direct your questions to Juan Pereira, Project Manager, at juanp@relianceproperties.ca or 604.694.8680.

Thank you,

A handwritten signature in black ink, appearing to read 'J. Pereira'.

Juan Pereira
Reliance Properties Ltd.

Enclosed: *Calculation of costs by Option; Option A&B* s.22(1) -1188 Bidwell layout

We hereby acknowledge receipt of this letter and sign and date and return a copy of this to the Owner/Developer's office (2 copies attached – 1 copy is for your records):

s.22(1)

Date

					Approved TRP 2016	Current TRP Standards 2019	Beyond approved TRP Current Address
Options					A	B	C
1170 Bidwell					1188 Bidwell	1188 Bidwell	1188 Bidwell
Suite							
Area	579sf				604sf + Balcony	604sf + Balcony	657sf
BASE RENT			\$	975.00	2 years	20%	2 years
Allowable Rent Increase 2017	3.70%	\$	36.08	\$ 1,011.08			\$ 975.00
Allowable Rent Increase 2018	4.00%	\$	40.44	\$ 1,051.52			\$ 975.00
Allowable Rent Increase 2019	2.50%	\$	26.29	\$ 1,077.81			\$ 1,014.00
Allowable Rent Increase 2020	2.60%	\$	28.02	\$ 1,105.83			\$ 1,039.00
							\$ 1,066.01
Market Rent 2020					\$ 2,390.00	\$ 2,390.00	\$ 2,100.00
Base Rent 2020					\$ 1,105.83	\$ 1,912.00	\$ 1,066.01
Proposed credit by month for 24 months					\$ 1,284.17	\$ -	\$ 1,033.99
Subsidy applied to Market Rent						\$ 478.00	

PRIVILEGED AND CONFIDENTIAL

s.22(1)

1 BEDROOM + FLEX

TOTAL LIVING 710 SQ.FT

INDOOR 600 SQ.FT

OUTDOOR 110 SQ.FT



s.22(1)

BIDWELL



DAVIE

From: "Juan Pereira" <juanp@relianceproperties.ca>
To: "Gillman, Andrea" <Andrea.Gillman@vancouver.ca>
"Naundorf, Daniel" <daniel.naundorf@vancouver.ca>
CC: jonathanl@relianceproperties.ca
Date: 12/20/2019 11:38:18 AM
Subject: Fwd: 1188 Bidwell: Tenant Relocation - Options
Attachments: 1188 Bidwell_TRP_RFR OPTIONS_**s.22(1)**.pdf
ATT00001.htm

Andrea,

As discussed yesterday see below for your information/reference/record in regards to ultimate timeline extension to already distributed letters.

Similarly this has been circulated to eligible Tenants who have expressed interest on the first right of refusal.

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

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Date: December 20, 2019 at 11:11:36 AM PST
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Cc: Juan Pereira <juanp@relianceproperties.ca>
Subject: 1188 Bidwell: Tenant Relocation - Options

Hi **s.22(1)**

We hope this finds you well. As you may have already received the attached letter, we ask that you review, sign and return the letter shortly.

Additionally, Reliance understands that there have been some expressed concerns regarding

the timeline in which you must reach and provide your decision as to which of the options you select. After discussions with the City of Vancouver, we will be extending this deadline until 5:00 PM on January 13, 2020. If you are unable to respond to us with your decision by 5:00 PM on January 13, 2020, we will consider you to have declined the attached offers. Unfortunately, no further exceptions will be granted.

Please note the date in this correspondence takes precedence over those listed in the attached letter dated December 20, 2019.

If you have further questions or concerns, please reach out to myself and Juan.

Thank you,

JONATHAN LIM PROJECT COORDINATOR

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PRIVILEGED AND CONFIDENTIAL

To: s.22(1)
s.22(1)
Vancouver, BC V6B 1R4

From: Juan Pereira, Project Manager, Reliance Properties Ltd.

Date: December 20, 2019

RE: RIGHT OF FIRST REFUSAL – TENANT RELOCATION PLAN – OPTIONS

Dear s.22(1)

Reliance Properties has heard your comments and concerns, and consistent with our commitment to providing you assistance over and above our legal obligations in these difficult circumstances, we have decided to extend you two further options, Option B and C, set out below. We will also continue to honour the original offer, Option A, below.

We have attached a calculation of costs for each option to assist you in considering your options.

Option A: 1188 Bidwell at Your previous rent amount for a two-year term (As set out in Reliance's City-Approved TRP)

Eligible tenants can move back into an equivalent/similar unit in the New Building (1188 Bidwell Street), upon completion, for the same rent amount they were paying prior to the project (subject to increases as per the RTA) during a two (2) year term. This option requires signing a new lease at market rent with a monthly credit for 24 months.

Option B: 1188 Bidwell at 20% Discount

Reliance has decided to extend eligible tenants the opportunity to move into 1188 Bidwell at market rent less 20%, which is consistent to the newly updated TRP standards. While these new standards do not apply to this 1188 Bidwell TRP, we want to extend this option to you. This rent amount will continue for the duration of the Tenancy to the eligible tenant, subject to increases as per RTA. These benefits are exclusively for the eligible tenant, and this offer is conditional on the acknowledgment that subletting will not be permitted.

Option C: Remain at current relocated suites provided/owned by Reliance Properties, sign a new lease at market rent with monthly credit for 24 months

Reliance offers eligible tenants living in relocated suites a further two years in the suite at their current rent plus allowable rent increases pursuant to the RTA, which is an extension of these benefits by 24 months. This option requires signing a new lease at market rent with a monthly credit for 24 months.

Please provide your decision as to which of the above options you select by **5:00 pm on January 6, 2020**, at which time the offers will expire. You are also free to decline Reliance's offers, which will end Reliance's obligations with respect to your future accommodation. If you do not respond to us with your decision by 5:00 pm on January 6, 2020, we will consider you to have declined these offers. Please note that staying at current relocated suites at discounted rent in perpetuity is not an option available to tenants pursuant to your agreements with Reliance and Reliance's City of Vancouver-approved TRP.

If you would like to further discuss any of the above options before January 6, 2020, please direct your questions to Juan Pereira, Project Manager, at juanp@relianceproperties.ca or 604.694.8680.

Thank you,

A handwritten signature in black ink, appearing to read 'J. Pereira'.

Juan Pereira
Reliance Properties Ltd.

Enclosed: *Calculation of costs by Option; Option A&B* s.22(1) -1188 Bidwell layout

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s.22(1)

Date

					Approved TRP 2016	Current TRP Standards 2019	Beyond approved TRP Current Address
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Subsidy applied to Market Rent						\$ 478.00	

PRIVILEGED AND CONFIDENTIAL

s.22(1)

1 BEDROOM + FLEX
TOTAL LIVING 710 SQ.FT
INDOOR 600 SQ.FT
OUTDOOR 110 SQ.FT



From: "Gillman, Andrea" <Andrea.Gillman@vancouver.ca>
To: "Naundorf, Daniel" <daniel.naundorf@vancouver.ca>
CC: "Singh, Sandra" <sandra.singh@vancouver.ca>
Date: 2/10/2020 3:59:46 PM
Subject: Fwd: Davie and Bidwell
Attachments: report-dpb-1188-bidwell-DE419087.pdf
ATT00001.htm

Hi Daniel,

Just want to make sure in terms of timing, we are all on the same page w/r/t Bidwell. See Sandra's note below, the minimum 20% was included in the DP report but the discounted rent for 2 year term was done via the Housing Agreement. Was the promise of the deeper discount discussed at DP Board?

Thanks!

Andrea

Sent from my iPhone

Begin forwarded message:

From: "Singh, Sandra" <Sandra.Singh@vancouver.ca>
To: "Gillman, Andrea" <Andrea.Gillman@vancouver.ca>
Subject: FW: Davie and Bidwell

Can you pls review and confirm.

What is outlined in 1.5 was the minimum guidelines of the 2015 TRP Policy, but a Housing Agreement with other provisions was negotiated in place of the basic requirements.

Sandra

-----Original Message-----

From: Jon Stovell [<mailto:jons@relianceproperties.ca>]

Sent: Monday, February 10, 2020 2:13 PM

To: Johnston, Sadhu; Singh, Sandra

Subject: Davie and Bidwell

Hi Sandra / Sadhu

See section 1.5 of the DP staff report.

We subsequently did better through the legal agreement. Offering the relocate discount and 2 year return discount.

But this demonstrates what the expectation of the decision makers was.

Kind regards.

Jon Stovell

<https://vancouver.ca/files/cov/committees/report-dpb-1188-bidwell-DE419087.pdf>

1188 BIDWELL STREET (COMPLETE APPLICATION)
DE419087 - ZONE C5-A

SDB/JMB/WL/LM

DEVELOPMENT PERMIT STAFF COMMITTEE MEMBERS

Present:

J. Greer (Chair), Development Services
M. Holm, Engineering Services
D. Naundorf, Housing Policy and Projects
M. Roddis, Park Board

Also Present:

S. Black, Urban Design & Development Planning
J. Bosnjak, Development Services
W. LeBreton, Development Services

APPLICANT:

Reliance Properties Ltd
Attention: Jon Stovell
305-111 Water Street
Vancouver, BC
V6B 1A7

PROPERTY OWNER:

Reliance Properties Ltd
Attention: Jon Stovell
305-111 Water Street
Vancouver, BC
V6B 1A7

EXECUTIVE SUMMARY

- **Proposal:** To develop the site with a 22-storey mixed use building comprised of 108 secured market rental dwelling units (2nd to 22nd floors), and three retail units on the first floor, all over 4 levels of underground parking, accessed off the lane; and also requesting an increase in the Floor Space Ratio using a Heritage Density Transfer from donor sites at 53 West Hastings Street and 55 Water Street (providing 5,236 sq ft).

See Appendix A Standard Conditions

Appendix B Standard Notes and Conditions of Development Permit

Appendix C Plans and Elevations, and Design Rationale

Appendix D Shadow Diagrams & View Impact Studies

● **Issues:**

1. Building Height
2. View and Light Impacts
3. Tenant Relocation
4. Heritage Density Transfer

- **Urban Design Panel: Support**

DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATION: APPROVE

THAT the Board APPROVE Development Application No. DE419087 submitted, the plans and information forming a part thereof, thereby permitting the development of a 22-storey mixed use building comprised of 108 secured market rental dwelling units (2nd to 22nd floors), and three retail units on the first floor, all over 4 levels of underground parking, accessed off the lane; and also requesting an increase in the Floor Space Ratio using a Heritage Density Transfer from donor sites at 53 West Hastings Street and 55 Water Street (providing 5,236 sq ft), subject to the following conditions:

1.0 Prior to the issuance of the development permit, revised drawings and information shall be submitted to the satisfaction of the Director of Planning, clearly indicating:

- 1.1 compliance with Section 4.3.2 - Height regulation in the C-5A District Schedule;

Note to Applicant: A reduction of 6.1 feet is required to meet the maximum height permitted in this area.

- 1.2 design development to reduce the extent of decorative elements that affect views and natural light in the area;

Note to Applicant: Intent is to reduce the effect of the building on sunlight, daylight, and private or public views created by exterior fins, projections, and similar elements. See also Condition 1.12, which is related.

- 1.3 design development to the commercial façade in response to the C-5A District Schedule;

Note to Applicant: Intent is to reflect the small-scale pattern of West End shops and add pedestrian interest. Section 4.2.1 requires that occupancies at grade be limited to no more than 25.3 ft. wide and Section 4.17.1 recommends specific measures to facilitate pedestrian interest. While staff accept the proposed retail dimensions inside the building in the interest of accommodating a wide range of tenants, the exterior expression on Davie Street should be adjusted. This can be accomplished by dividing the exterior treatment of the commercial frontage into 25 ft. increments using more substantial columns, recessed entryways, and pavement banding within the setback. See also Standard Condition A.1.1.

- 1.4 consideration to improving the visual prominence of the residential building entry within the streetscape;

Note to Applicant: This can be accomplished by more distinctive and notable canopy and doorway compared to the commercial weather protection.

- 1.5 arrangements to the satisfaction of the Chief Housing Officer and the Director of Legal Services to enter into a Housing Agreement and/or section 219 Covenant securing all 108 residential units as rental housing for 60 years or the life of the building, whichever is greater and subject to the following additional conditions in respect of those units:

- i. That such units may not be subdivided by deposit of a strata plan;
- ii. That none of such units may be separately sold;
- iii. That none of such units will be rented for less than one month at a time;
- iv. That at initial occupancy, returning Eligible Tenants will be entitled to rent with a discount of 20% off starting rents

- v. That discounted Starting Rents are applicable only to Eligible Tenants who exercise their right of first refusal and occupy a unit in the new development.

On other such terms and conditions as the Managing Director of Social Development and the Director of Legal Services may in their sole discretion require;

Note to Applicant: This condition will be secured by a Housing Agreement to be entered into by the City by by-law enactment pursuant to section 565.2 of the Vancouver Charter and/or a Section 219 Covenant.

As per Section 10.12.2 of the Zoning and Development Bylaw pertaining to developments resulting in the demolition of existing residential rental accommodation, the development permit is not issuable until all building permits for the new development and a building permit for the demolition are issuable. Please do not issue any Notices to End Tenancies until all permits described above are issuable.

- 1.6 provision of a Tenant Relocation Plan which includes two months free rent; reimbursement of receipted moving expenses; and the right of first refusal to move back into the development upon completion as per Section 2 of the Rate of Change Guidelines.

Note to Applicant: This Plan should also outline ways in which you can provide assistance to tenants in finding alternate accommodation. A final Tenant Relocation Plan to the satisfaction of the Chief Housing Officer must be submitted prior to permit issuance.

- 1.7 provision of a notarized declaration which demonstrates that each tenant has been given written notice of the intent to redevelop the property; that indicates the number of units occupied on the date of the notice; includes information on posting of notice regarding the intent to redevelop as per Section 3 of the Rate of Change Guidelines; and includes copies of a letter addressed to each tenant summarizing the Tenant Relocation Plan offer and signed as received by each tenant.

Note to Applicant: As noted in Section 8.1.11 of the West End Community Plan, a relocation plan is required in all cases where tenants will be displaced by demolitions.

- 1.8 provision of a final Tenant Relocation Report which outlines the names of tenants; indicates the outcome of their search for alternate accommodation; summarizes the total monetary value given to each tenant (moving costs, rent, any other compensation); and includes a summary of all communication provided to the tenants prior to issuance of occupancy permit, with an interim Relocation Report prior to issuance of Building Permit.

- 1.9 provision of a continuous and more generous weather protection along the Davie Street frontage;

Note to Applicant: Canopy should extend horizontally from ground floor wall for a distance that is at least 70% of the canopy's height above the sidewalk. For example, a canopy that is 10 ft. above grade should provide 7 ft. of cover from the elements.

- 1.10 design development to the northwest corner of the building to create a greener and more open transition from the commercial area into the residential neighbourhood;

Note to Applicant: This can be accomplished by relocating the service functions, mechanical ducts and exit stair box away from Bidwell Street; providing views through the amenity room with more glazing; and continuing the setback, planters and pavers from the building entry to the lane.

- 1.11 design development to relocate some family sized units (2 or 3 bedroom) to overlook the children's play area;

Note to Applicant: Intent is to better meet the High Density Housing Guidelines for Families with Children. This can be accomplished by exchanging the one-bedroom unit currently on the southeast corner with the two-bedroom unit on the southwest corner.

- 1.12 consideration to improve the sustainable design of the building envelope;

Note to Applicant: Intent is to reduce the energy required to heat and cool this building. This may be accomplished through the use of solar shading, triple glazing and the avoidance of thermal bridging at window frames and projecting concrete structures such as fins and balconies. Consider the use of thermally broken door and window frame, and either insulating the concrete projections or installing thermal breaks

- 2.0 That the conditions set out in Appendix A be met prior to the issuance of the Development Permit.
- 3.0 That the Notes to Applicant and Conditions of the Development Permit set out in Appendix B be approved by the Board.

• Technical Analysis:

	PERMITTED (MAXIMUM)	MINIMUM	PROPOSED
Site Size ¹	-	-	99.01 ft. x 130.99 ft.
Site Area ¹	-	-	12,970 sq.ft.
Height ²	209.97 ft. (Discretion by DPB) 60 ft. (Outright)		Top of Elevator/Stair/Mech. 218.31 ft. Top of Parapet 216.06 ft.
Floor Area ³	99,869 sq. ft. (H.D.T.) 90,790 sq. ft. (Section 5.2) 28,534 sq. ft. (Outright)	-	Commercial 5,030 sq.ft. Dwelling Units 90,996 sq.ft. Total 96,026 sq.ft.
FSR ³	7.70 - H.D.T. 7.00 - Section 5.1 2.20 - Outright	-	Commercial 0.39 Dwelling Units 7.01 Total 7.40
Balconies	11,523 sq.ft.		11,564 sq.ft.
Amenity	10,764 sq.ft.		2,436 sq.ft.
Rear Yard		14.94 ft. (Residential)	16.00 ft.
Frontage ⁴	25.3 ft.		Approx. 45.00 ft.
External Design ⁵		- specific design features as described in this regulation;	- see table on pages 9 and 10;
Parking ⁶	Commercial 4 Space	Commercial 3 Spaces Disability 0 Spaces Residential 60 Spaces Disability 4 Spaces	<u>Commercial</u> Standard 11 Small Car 5 Disability 3 Total 19 (6 of Commercial Parking spaces are for Visitors - Residential) <u>Residential</u> Stalls Incl. Bonus Standard 30 30 Small Car 12 12 Disability 4 8 Car Share 1 5 Total 47 55
Loading		2 Class B	2 Class B
Bicycle Parking ⁷		Class A Class B Total 135 6	Class A Class B Total 127 6
Use			- Retail Store - Dwelling Units in Conjunction

Unit Type			Secured Market Rental Housing Units:
			Studio 22
			One Bed 59
			Two Bed 23
			Three Bed 4
			Total: 108

¹ **Note of Site Size and Site Area:** The proposed site size and site area is based on the properties being consolidated. See Standard Condition A.2.1.

² **Note on Height:** The height of the building is above the maximum permitted in the C-5A District Schedule. Section 4.3.2 of the C-5A District Schedule allows the Development Permit Board to relax the regulation in Section 4.3.1. The Top of the parapet is considered to be the overall height of the building. The proposed height does not comply with the maximum permitted and Condition 1.1 seeks compliance (a reduction of 6.1 ft.). Section 10 exclusion of height does not apply to this proposal. There is no encroachment into View Cone 20.

³ **Note on Floor Area and FSR:** Section 5.2 of the C-5A District Schedule allows the Development Permit Board to relax the regulation in Section 4.7 allowing a greater Floor Area/FSR as long as (a) floor area is no greater than 7.0 FSR and (c) either a minimum of 20% of floor area is used for social housing or all dwelling units are secured market rental. The proposal does comply with Section 5.2 (a) and (c). Under Section 4.7.5 of the C-5A District Schedule, an additional 10 percent heritage density transfer [H.D.T] (maximum 7.7 FSR or 99,869.0 sq. ft.) may be considered by the DP Board.

⁴ **Note on Frontage:** The maximum frontage exceeds the maximum permitted in the C-5A district schedule, of the Zoning and Development Bylaw, which the Development Permit Board does not have authority to relax. The Director of Planning supports the frontage as proposed. See condition 1.3 and standard condition A.1.1.

⁵ **Note on External Design:** See External Design Table on Page 9;

⁶ **Note on Parking:** Standard Condition A.1.3 seeks compliance with Section 4.3.1 - Non-residential uses - Downtown and Section 4.3.6 - Residential uses - Downtown of the Parking By-Law.

⁷ **Note on Bicycle Parking:** Standard Condition A.1.4 seeks compliance with Section 6 of the Parking By-Law;

- **Legal Description**

Lot: 22 & W1/2 of Lot 23
Block: 61
District Lot: 185
Plan: 92

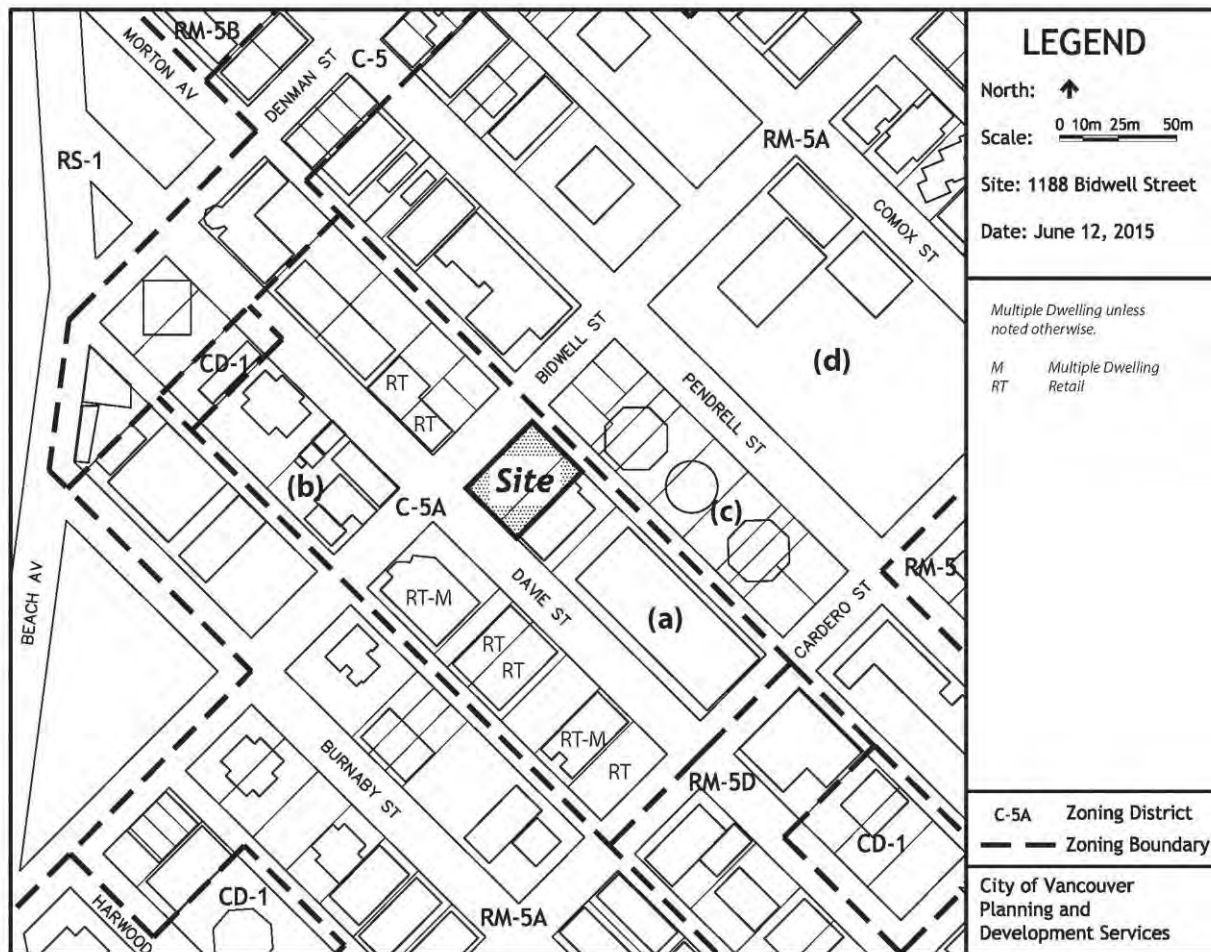
- **History of Application:**

05-05-15 Complete DE submitted
07-15-15 Urban Design Panel
08-12-15 Development Permit Staff Committee

- **Site:** The site is located at the northeast corner of Davie and Bidwell Streets, and is comprised of two lots totaling 99 ft. of frontage on Davie Street, extending 131 ft. north to the commercial lane. The site contains a one-storey commercial building and a two-storey mixed use building fronting onto Davie Street, and a three-storey apartment building on Bidwell Street.

- **Context:** Significant adjacent development includes:

- (a) 1641 Davie Street: Safeway - 1 storey retail building
- (b) 1221 Bidwell Street - 22 residential building with retail
- (c) 1616 Pendrell Street - two 19 storey residential buildings
- (d) 1100 Bidwell Street: Lord Roberts Elementary - 3 storey school building



- **Background:**

A development application was submitted on May 7th, 2015 following pre-application discussions with staff on potential forms of development on this small site under the provisions of the West End Community Plan and C-5A zoning. A public Open House was held on June 29th, 2015. The proposal was reviewed by the Urban Design Panel on July 15th, 2015 at which time it was supported.

The application is generally in line with the West End Community Plan, and all the residential units will be secured as market rentals.

- **Applicable By-laws and Guidelines:**

West End Community Plan

The West End Community Plan provides a framework to guide positive change, development and public benefits in the West End. The Plan identifies the need for an increase in the supply of affordable housing for all household types, and has policy to achieve a variety of housing choices and community facilities to attract and retain a vibrant workforce, including families with children. The Plan provides for new rental housing opportunities through additional density and rezoning applications in the areas noted as Corridors. The plan notes that Corridors are generally the newer areas of the community well-served by transit, services and amenities, where the majority of new housing and job space has been built over the past 40 years and which also provide additional opportunities to accommodate job space and housing that meet the needs of the community. For market housing the Plan requires that 25% of units in new multi-family developments have two and three bedroom units for families designed in accordance with the High Density Housing for Families with Children Guidelines, which should be located on the lower floors.

The Lower Davie Corridor extends between Denman Village and Davie Village and consists of two sub-areas. Area A, in which the application is located, runs between Denman and Cardero Streets and comprises two blocks of mixed use and commercial buildings. The permitted heights and densities in this area are described in the C-5A zoning. A set back of 7 ft. from Davie Street to improve pedestrian sidewalk space is also noted the Plan.

The West End Community Plan seeks to manage change within the rental stock and notes that in all cases where tenants will be displaced as a result of demolitions or renovations a tenant relocation plan as outlined in the City's Rate of Change Guidelines will be required.

C-5, C-5A and C-6 Districts Schedule (West End Commercial Districts)

The intent of this Schedule is to provide for retail and services uses and forms of development compatible with the primarily residential character of the West End and to provide for dwelling units in C-5A designed to be compatible with commercial uses. This schedule encourages external building design, the scale and function of which is oriented towards pedestrians. The C-5A district differs from the others in this schedule in that it provides density bonuses for social housing or secured market rental housing, unlike C-5; and has a lower density and scale than the C-6 district.

The Schedule supports the development of rental housing through Section 5.2, which allows the Development Permit Board to relax the floor space ratio (FSR) regulation in Section 4.7 up to 7.0 FSR for a project in which all dwelling units are secured as rental. Under Section 4.7.5 of the C-5A District Schedule, an additional 10 percent heritage density transfer may be also be considered by the Board, up to a total FSR of 7.7 or 99,869.0 sq. ft.

Section 4.3.2 of the C-5A District Schedule allows the Development Permit Board to relax the permitted height regulation in Section 4.3.1. to a maximum of 64 m (210 ft.).

Section 4.2.1 limits the frontage of any individual occupancy at grade to be no more than 25.3 ft. An evaluation of the regulations on external design, Section 4.17, is provided under the Response to Applicable By-laws and Guidelines section that follows.

High Density Housing Guidelines for Families with Children

The intent of the guidelines is to address the key issues of site, building and unit design which relate to residential livability for families with children. Although quantitative standards are given in some cases, these are provided to assist applicants in their design as well as City staff in their evaluation.

• Response to Applicable By-laws and Guidelines:

West End Community Plan

The application helps to fulfill a number of goals under the West End Community Plan, especially the delivery of new rental housing.

Density

The proposed increased density of 7.4 FSR is within the approvable ratio of 7.7 FSR that is intended to achieve rental housing on this site and to support heritage preservation on other sites. The application proposes that 27 of the 108 dwelling units are two bedrooms or more, which meets the requirement that 25% of the units have two and three bedrooms, which is suitable for families with children.

Tower and Podium Heights

The proposed 1-storey commercial podium height is acceptable under the West End Plan, which sets a maximum of 3 storeys. The height to the top of the proposed tower, which includes an amenity room that cannot be excluded from height calculations, exceeds the maximum height of 210 ft. that is noted in the West End Plan and in the C-5A regulations. Given the intent of the Plan to maintain established heights in this area of the West End and concerns expressed by residents, staff recommend reducing the building height to meet the zoning for this area (See Condition 1.1).

C-5, C-5A and C-6 Districts Schedule (West End Commercial Districts)

The application generally meets the intents and regulations of the C-5A zoning, except for height and the two areas noted below.

Frontage

The proposed commercial space occupied most of the 99 ft. wide frontage facing Davie Street, which exceeds the regulation. In the absence of an applicable relaxation provision in the zoning, the applicant may choose to appeal this requirement. Staff feel that the urban design intent of the regulation can be addressed by adjusting the exterior design slightly (see Condition 1.3).

External Design

4.17.1 All developments shall provide along all	Generally met. Some design development is
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abutting streets any one or a combination of display windows, individualized tenancy unit design, building articulation, pedestrian entrance definition via a recess or projecting canopy or any other architectural features which facilitate pedestrian interest to the satisfaction of the Director of Planning.	recommended in Conditions 1.4 and 1.3.
4.17.2 The first storey shall be built to the front and side property lines except as noted in sections 4.4.1 and 4.5.1 while the remaining storeys may terrace back from the property lines.	This regulation is met, except where the West End Plan recommends a 7 ft. setback from Davie Street to provide more pedestrian space as permitted in section 4.4.1.
4.17.3 Direct pedestrian access at the fronting street at or near grade level to each individual commercial occupancy which abuts the fronting street of a development site shall be provided.	This has been provided to the two CRUs abutting Davie Street via two doors onto Davie. An additional door is provided onto Bidwell for the corner CRU.
4.17.4 Continuous weather protection having a minimum depth of 1.5 m in the form of a retractable fabric awning, a canopy attached to the building face by bolts to facilitate easy removal, or other forms satisfactory to the Director of Planning and City Engineer shall be provided along the fronting street and flanking street where the adjoining site on the flanking street is in a C district.	A canopy meeting the minimum depth has been provided. Staff recommend providing a more generous dimension given the height of the proposed canopy above grade and the volume of pedestrian traffic in this area (see Condition 1.4).
4.17.5 That portion of building located at the intersection of a fronting and flanking street where the adjoining site on the flanking street is in a C district shall be rounded with a minimum radius of 1.8 m, indented or truncated with minimum dimensions of 1.8 m by 1.8 m, or architecturally treated by other means to facilitate pedestrian amenity to the satisfaction of the Director of Planning.	The adjoining site on the flanking street is an R district, and the regulation does not apply.
4.17.6 Building corners at the intersection of a fronting and flanking street where the adjoining site on the flanking street is in a C district shall be accentuated by variances of height, cupolas, domes, or other architectural appurtenances, or any proposals varying from the above, satisfactory to the Director of Planning.	The adjoining site on the flanking street is an R district, and the regulation does not apply.
4.17.7 A minimum of one pedestrian entrance to commercial uses shall be provided from the flanking street where the adjoining site on the flanking street is in a C district.	The adjoining site on the flanking street is an R district, and the regulation does not apply.
4.17.8 All garbage container storage areas shall be screened from view from nearby sidewalks and dwelling units.	Commercial garbage is inside a room; residential garbage is below grade.
4.17.9 Mechanical equipment shall be enclosed and set back so as not to be visible from street level or architecturally treated by other means satisfactory to the Director of Planning. Exposed duct work is not permitted.	Standard condition A.1.7 addresses this item.
4.17.10 Dwelling uses shall provide: (a) pedestrian access separate from access to other	Dwelling entries and bicycle storage have been addressed.

uses; (b) a minimum of one bicycle rack per four dwelling units in an enclosed storage room.	
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High Density Housing Guidelines for Families with Children

The application includes private open spaces for family units, as well as co-located internal and external amenity spaces for common access in fulfillment of the Guidelines. Relocation of some family units to overlook the common play space is recommended (see Condition 1.11).

• Conclusion:

This application has generally addressed the applicable policies, and will increase the stock of rental housing in the West End within a form of development anticipated by the new community plan. Staff support the application, subject to the conditions noted.

URBAN DESIGN PANEL

The Urban Design Panel reviewed this application on July 15, 2015, and provided the following comments:

EVALUATION: SUPPORT (9-0)

• Introduction:

Colin King, Development Planner, introduced the proposal for a new mixed-use building under the provisions of the C-5A zoning and the West End Plan on the Davie Corridor. Since this is a complete development permit application there are specific staff questions but any comments on more fine grained design elements including materials and detailing are welcomed.

The site currently hosts a one-storey commercial building at the corner, and a two-storey mixed use building, both facing Davie. Around the corner also on the site is a three-storey apartment with its entrance on Bidwell. To the north is Pendrell Place, with Lord Roberts Elementary beyond. Existing development along the north side of Davie is generally low scale, offering water views from viewpoints up the hill to the east. On the other side of Davie is a four-storey mixed use building with TD Trust at the corner. Diagonally across the intersection is the recent Alexandra tower developed after rezoning, which includes a JJ Bean coffee shop in the restored façade of the heritage Maxine's building at 1209 Bidwell. This corner has an outdoor patio for JJ Bean.

Davie St is identified in the plan as a "Corridor" which is generally where the Plan aims to provide job space and meet the housing needs of the community, while allowing minimum disruption to the neighbourhoods. The West End Plan established the potential for up to 7.0 FSR for new buildings providing secured market rental units. Policy intents coming out of the Plan for the Lower Davie corridor include increased densities to help deepen housing affordability while maintaining existing height limits. Residential floor plates should be set back above the podium and should not exceed 5,500 sf. to maximize views and sunlight on sidewalks. Building materials should include a variety of materials, rather than consist primarily of glass façade, and reflect the architectural character of surrounding buildings. This is particularly important for the lower podium floors, Sculpt built form to maximize sunlight on the sidewalks and minimize private view impacts.

Broader built form guidelines coming out of the Plan include ensuring that new development does not adversely impact shadowing on recognized public open space and Village areas as a performance measure to ensure that these spaces have solar access when citizens are typically more active. New development should be responsive to adjacent and nearby private views by shaping built form to optimize performance.

The C-5A district schedule allows for 7.0 FSR; density may be increased 10% by the Development Permit Board through transfer of heritage density. The DP Board may also increase height 60 ft. to a maximum of 210 ft.

The Proposed Development includes a 22-storey residential tower with commercial space at grade with an FSR of 7.4, or 95,756 square feet. It also includes retail podium with continuous commercial ceiling heights of 16.5ft fronting Davie Street, and turning the corner to provide a double height residential access lobby on Bidwell Street.

Materials move from the more glazed residential frontage to substantially solid expression at the residential entry, which seems appropriate and in line with the guidance. Coming onto the lane we have loading, car-share and disability, and parking access with a projection at the lane edge housing stair and gas meters screening this.

High rise portion of tower is set back 40 ft. from the interior property line, to accommodate similar development on the adjacent site and achieve the 80ft separation between towers required. Achieving the 80ft separation from the tower at Pendrell and Bidwell derives the tower location. Floor plates are typically 4,396 sq. ft. which is narrower than guidance allows. There is also additional area below 60ft giving floor space between the tower and the podium.

A Residential Provision states that the building include 100% secured market residential of 108 units. 25% of units are two bedrooms or better to accommodate more families staying in the West End, and units typically have around a 9ft ceiling height. Three outdoor common spaces for residents are provided at levels 3, 7, and 22.

Advice from the Panel on this application is sought on the following:

1. Can the Panel comment on the proposed element extending above 210 ft.?
2. Is the built form sculpted to maximize sunlight on the sidewalks?
3. Looking at all three pedestrian edges (lane, Bidwell, and Davie), would any specific elements benefit from further development?
4. Does the detailing of the building reflect the architectural character of surrounding buildings?
5. Does the Panel have any advice on the approach to sustainable design?

- **Applicant's Introductory Comments:**

The applicant team declined to give a presentation but took questions from the board and panel.

- **Panel's Consensus on Key Aspects Needing Improvement:**

- Explore creating porosity and activation at the corner of the lane
- Have the landscape extend around the corner to the lane to allow for lane activation
- Design development of the top piece to add to the skyline
- The solar shade seems tacked on and should be redesigned
- The entry should be more prominent
- The driveway could be a drop-off location, and could make the laneway more connected to the building
- Suite-by-suite HRV and thermal balconies should be considered.

- **Related Commentary:**

The panel commended the applicant on their application package, and agreed that the proposal is strong and has produced a very handsome building which embodies West-End characteristics. The height, massing and density are all supportable, but the applicants should consider relocating the stair on the corner of the lane as the pop-out in massing seems to be a bit foreign in that location. Suite-by-suite HRVs would increase space in the units and be more sustainable. Triple glazing, insulate balconies, or thermal glaze would also be great. Overall the panel appreciates the attention to detail embodied in the project. With its interesting character and reflection of the neighbourhood, the building is both unique and fits in well with its surroundings.

The street edges seem to be well-handled with tapered posts and plated sidewalks. Sunlight on the sidewalks also seems to be maximized. The entrance should be stronger as it currently does not seem prominent enough. Overall there is good access to outdoor space and amenity space within the building.

Detail on the building has good articulation and makes an effort to relate to historical context. Motifs seem to be in-line and consistent with the West-End.

Although the roofline seems to be a bit heavy the flat-aligned roof makes sense. The smaller floor-plate allows for daylight on the sidewalks.

More thought should be given to Crime Prevention Through Environmental Design (CPTED) to enhance personal security for building residents with eyes on the lane. Extra windows may help to solve this issue as well as allow extra light into the building.

Consideration should be given to flipping the core so the corridor could be naturally lit and look up Davie Street.

Amenity spaces are generous both indoors and outdoors which contribute greatly to livability and community resilience.

- **Applicant's Response:**

The applicant team thanked the panel for their time and comments.

ENGINEERING SERVICES

The recommendations of Engineering Services are contained in the prior-to conditions noted in Appendix A attached to this report.

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

Recommendations related to CPTED concerns are contained in the prior-to conditions noted in Appendix A, which is attached to this report.

LANDSCAPE

The recommendations of Landscape are contained in the prior-to conditions noted in Appendix A attached to this report.

HOUSING POLICY & PROJECTS / SOCIAL POLICY & PROJECTS / CULTURAL SERVICES

West End Community Plan (WECP)

This site is subject to section 8.1.6 of the WECP which states: "In Area '4' within Lower Davie and Lower Robson, additional density can be bonused up to 7 FSR for new developments that provide 20% of floor space as social housing or 100% secured market rental housing." This requirement is reflected in the C-5A District Schedule, which states that: "The Director of Planning or the Development Permit Board may relax the regulations in the C-5A and C-6 districts regarding permitted floor space ratio for dwelling units in conjunction with other permitted uses, if the Director of Planning or the Development Permit Board first considers the intent of this schedule, and all applicable Council policies and guidelines, and:

- the floor space ratio does not exceed 7.0 in the C-5A district and 8.75 in the C-6 district;
- the floor space ratio for non-residential uses in the C-6 district must be no less than 1.2; and
- either a minimum of 20% of the floor area included in the calculation of floor space ratio must be used for social housing, or all dwelling units must be secured market rental housing.

The existing 12 rental units on the site are proposed to be replaced and augmented with 108 market rental unit which is a net gain of 96 rental units on the site, and is therefore consistent with the West End Community Plan and District Schedule. The chart below provides a summary of the changes in rental and social housing units under the West End Community Plan, including this application.

DE Application	Status	Stream	Existing Rental	New Rental	New Social Housing	New Condo
DE418742 (1171 Jervis St)	Approved	Min 20% Social Housing	27	0	28	63
DE419087 (1188 Bidwell St)	Application in process	100% Secured Market Rental	12	108	0	0
Total			39	108	28	63
Net change in rental			+69			

The site is also subject to section 8.1.11 of the West End Community Plan which states: "In all cases where tenants will be displaced as a result of demolition or renovations, a tenant relocation plan as outlined in the Rate of Change Guidelines will be required."

Rate of Change Guidelines

The Rate of Change Guidelines are intended to protect and assist tenants and set out the terms of the required minimum tenant relocation plan. A minimum two months free rent, moving expenses and first right of refusal for the replacement housing are required as is assistance finding and relocating tenants to alternate accommodation affordable to them. The applicant has provided a tenant relocation plan to address the guidelines, however only the Rental Tenancy Act is referenced. Further refinement of the plan is required to meet the requirements of the Rate of Change Guidelines, as follows (see recommended conditions 1.5 through 1.8):

- Provision of a Tenant Relocation Plan which includes two months free rent; reimbursement of receipted moving expenses; and the right of first refusal to move back into the development upon completion as per Section 2 of the Rate of Change Guidelines;
- Provision of a letter stating the property address and legal description of the site, and providing the names and mailing addresses of all tenants;

- Provision of a notarized declaration which demonstrates that each tenant has been given written notice of the intent to redevelop the property; that indicates the number of units occupied on the date of the notice; includes information on posting of notice regarding the intent to redevelop as per Section 3 of the Rate of Change Guidelines; and includes copies of a letter addressed to each tenant summarizing the Tenant Relocation Plan offer and signed as received by each tenant;
- Provision of a final Tenant Relocation Report which outlines the names of tenants; indicates the outcome of their search for alternate accommodation; summarizes the total monetary value given to each tenant (moving costs, rent, any other compensation); and includes a summary of all communication provided to the tenants prior to issuance of occupancy permit, with an interim Relocation Report prior to issuance of Building Permit.
- Entering into a Housing Agreement and/or section 219 Covenant securing all 108 residential units as rental housing for 60 years or the life of the building, whichever is greater and subject to the following additional conditions in respect of those units:
 - i) That such units may not be subdivided by deposit of a strata plan;
 - ii) That none of such units may be separately sold;
 - iii) That none of such units will be rented for less than one month at a time;
 - iv) That at initial occupancy, returning Eligible Tenants will be entitled to rent with a discount of 20% off starting rents
 - v) That discounted Starting Rents are applicable only to Eligible Tenants who exercise their right of first refusal and occupy a unit in the new development.

High Density Housing for Families with Children

The proposed 22 storey multiple dwelling includes 23 two bedroom and 4 three bedroom units (a total of 27 units or 25% of the total number of units) which may be suitable for families with children. A majority of these are below the 6th floor. This generally meets the requirement of Section 8.2.3 of the WECP which states: In market housing require that 25% of units in new multi-family developments have two and three bedroom units for families designed in accordance with the High Density Housing for Families with Children Guidelines and located on the lower floors.

Consistent with the High Density Housing for Families with Children Guidelines, an indoor amenity room with accessible washroom is proposed adjacent to and with access to common outdoor amenity space on level 3. Design development is needed to add a kitchenette and storage closet and to confirm that the proposed washroom is wheelchair accessible and to add a baby change table to that washroom (see condition A.1.19).

Also consistent with the guidelines, an outdoor amenity area is proposed adjacent to the level 3 indoor amenity room with a children's play area, including play equipment and natural landscape elements, which provide a range of motor skills developing and creative play opportunities for children.

Also consistent with the guidelines, an additional multi-purpose indoor amenity room with kitchenette and storage is adjacent to and with access to common outdoor amenity space on level 22. Design development is needed to confirm that the proposed washroom is wheelchair accessible and to add a baby change table to that washroom (see condition A.1.20). Also consistent with the guidelines, the proposed level 22 outdoor amenity area includes an outdoor kitchen and dining amenity area for family or other social gatherings.

Urban Agriculture

The City of Vancouver Food Policy identifies environmental and social benefits associated with urban agriculture and seeks to encourage opportunities to grow food in the city. The "Urban Agriculture Guidelines for the Private Realm" encourage edible landscaping and shared gardening opportunities in new developments. Consistent with these guidelines the common outdoor area on level 7 includes

accessible garden plots which can support urban agriculture activity. Design development is needed to include a compost bins for yard waste and a hose bib location (see condition A.1.11).

PROCESSING CENTRE - BUILDING

This Development Application submission has not been fully reviewed for compliance with the Building By-law. The applicant is responsible for ensuring that the design of the building meets the Building By-law requirements. The options available to assure Building By-law compliance at an early stage of development should be considered by the applicant in consultation with Processing Centre-Building staff.

To ensure that the project does not conflict in any substantial manner with the Building By-law, the designer should know and take into account, at the Development Application stage, the Building By-law requirements which may affect the building design and internal layout. These would generally include: spatial separation, fire separation, exiting, access for physically disabled persons, type of construction materials used, fire fighting access and energy utilization requirements.

NOTIFICATION

Two site signs were placed at the site, one facing Bidwell and one facing Davie Street. On June 12, 2015, 1,149 notification postcards were sent to neighbouring property owners advising them of the application, and offering additional information on the city's website. The postcard and the development application materials were posted online at vancouver.ca/devapps. In addition, a public open house was advertised on the signs, postcard, and online. The Open House was held on the evening of Monday, June 29, 2015. 53 people attended the open house and 27 written comment forms were submitted that evening. The Development Permit Board date was also advertised in the summer edition of the West End Community Plan Implementation Newsletter.

In addition to the comment forms received from the open house, another 11 written responses were received via email. Of all of the responses, two requested additional information about the rental tenure; seven expressed support for the project; and 29 were either directly opposed or expressed significant concerns as outlined below.

Housing Affordability: There was concern that because the units will be secured as market rental units, the rents will not be affordable. Generally speaking, several comments related to the lack of affordable housing in the west end.

Staff Response: This development will increase the net supply of secured market rental housing in the west end by 96 units. A Housing Agreement will also secure rents, at initial occupancy, for returning Eligible Tenants to be rented with a discount of 20% off starting rents. Refer to comments from the Housing Policy and Projects group and to upfront conditions 1.5 through 1.8 for further information.

Construction Noise & Other Impacts: There were concerns about construction noise, disruption and traffic impacts of additional developments in the neighbourhood. Residents in the surrounding properties want to see construction activities carefully handled to minimize the impacts.

Staff Response: Construction on the site would be subject to Vancouver Noise Control By-Law #65555 which limits construction on private property between 7:30 and 8pm on any weekday that is not a holiday and between 10am to 8pm on any Saturday that is not a holiday. Use of City streets will be subject to and reviewed for impacts to the surrounding transportation network by Engineering Services prior to being granted permits for work on street.

Access to Light and Views: There were some concerns about how the proposed building would limit light and overshadow residents living in surrounding buildings.

Staff Response: Staff acknowledge the concern over this change, and note that this application is the first proposal under the West End Community Plan for Area A of the Lower Davie corridor. In addition, existing buildings on the north side of Davie Street Area in Area A are very low in scale. Staff also note that the general massing of occupied space has been shaped within the intended development capacity of the new West End Plan, and feel that the overall massing avoids view impacts in excess of the Plan. However, staff recommend reducing the height to meet the C-5A limit, and revising the exterior decorative and open air elements to reduce view and shadow impacts from these elements (see Conditions 1.1 and 1.2).

Parking: Comments ranged from there being inadequate parking provided to those who believed the project provided too many parking spaces and therefore is encouraging more cars to come into the already congested West End.

Staff Response: The proposal will need to meet condition A.1.3 to satisfy the requirements of the Parking By-law as they apply in the Downtown area, including the West End.

Street Trees on Bidwell: One respondent requested that the existing trees along the Bidwell frontage be retained.

Staff Response: The application includes protection of the street trees on both sides.

DEVELOPMENT PERMIT STAFF COMMITTEE COMMENTS:

The Staff Committee has considered the approval sought by this application and concluded that with respect to the Zoning and Development By-law it requires a decision by the Development Permit Board.

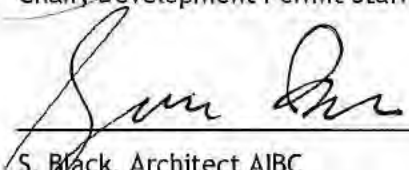
With respect to the decision by the Development Permit Board, the application requires the Development Permit Board to exercise discretionary authority as delegated to the Board by Council.

It also requires the Board to consider a By-law relaxation, per Section 5.2 of the C-5A District Schedule. The Staff Committee supports the relaxations proposed.


The Staff Committee supports this proposal subject to the conditions contained in this report



J. Greer
Chair, Development Permit Staff Committee



S. Black, Architect AIBC
Development Planner



J. Bosnjak
Project Coordinator

Project Facilitator: W. LeBreton

DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATIONS

The following is a list of conditions that must also be met prior to issuance of the Development Permit.

A.1 Standard Conditions

A.1.1 The applicant can and does obtain a relaxation from the Board of Variance to allow an occupancy with a frontage in excess of 7.7 m on a floor within 2 m of grade;

A.1.2 provision of Letter “B” which includes confirmation from the owner of the “donor” site that the agreement has been finalized, and confirming the new “balance” of transferable density remaining on the donor site;

A.1.3 compliance with Section 4.3.1 - Non-residential Uses - Downtown and 4.3.6 - Residential uses - Downtown, in accordance with the Parking By-law;

Note to Applicant: A maximum of four non-residential parking spaces is permitted for this proposal. Also a minimum of 60 parking spaces is required for the residential portion (current proposal shows 55 spaces with bonuses included);

A.1.4 compliance with Section 6 - Bicycle Parking of the Parking By-law;

Note to Applicant: A total of 135 Class A spaces are required.

A.1.5 written confirmation shall be submitted by the applicant that:

- i. the acoustical measures will be incorporated into the final design and construction, based on the consultant's recommendations;
- ii. adequate and effective acoustic separation will be provided between the commercial and residential portions of the building; and
- iii. mechanical (ventilators, generators, compactors and exhaust systems) will be designed and located to minimize the noise impact on the neighbourhood and to comply with Noise By-law #6555;

A.1.6 confirmation that trellis and rooftop mechanical is open or covered on roof area;

Note to Applicant: If the area is covered, the area will be counted in floor area.

A.1.7 provision of drawings showing Mechanical equipment shall be enclosed behind open topped screens and set back so as not to be visible from street level or architecturally treated by other means satisfactory to the Director of Planning;

Note to Applicant: Exposed duct work is not permitted.

A.1.8 update the Statistics drawing on Page A-001;

Note to Applicant: FSR numbers are to show a net FSR.

A.1.9 delete all references to the proposed signage, or notation on plans confirming that: “All signage is shown for reference only and is not approved under this Development Permit. Signage is regulated by the Sign By-law and requires separate approvals. The owner assumes

responsibility to achieve compliance with the Sign By-law and to obtain the required sign permits.”;

Note to Applicant: The Sign By-law Coordinator should be contacted at 604.871.6714 for further information.

Standard Landscape Conditions

A.1.10 provision of additional planters and shade trees, as follows;

- at level 3, provide enlarged planters of a sufficient size (4 foot square planter width) to accommodate shade trees at the four corners of the child play area;
- at level 3, provide an enlarged planter of a sufficient size (4 foot square planter width) to accommodate one tree at the north east corner of the private patio;
- at level 7, provide an enlarged planter of a sufficient size (4 foot square planter width) to accommodate one tree at the north east corner of the private patio.

A.1.11 provision of a compost bin for garden waste and hose bib to the level 7 amenity deck;

A.1.12 provision of enlarged architectural and landscape sections to clearly indicate and dimension the relationship between the slab, soil volumes, trees and planters on slab to verify that sufficient soil volumes are provided;

Note to Applicant: sections should be accurate, labeled and dimensioned including all common areas/ decks. Planting conditions should meet or exceed the latest BCLNA Landscape Standard.

A.1.13 provision of dimensions (inside and outside) of all planters and illustrated on the architectural and landscape plans;

A.1.14 provision of a partial irrigation plan with notations to indicate hose bib and irrigation connection locations;

Note to Applicant: See also condition A.1.11. Permanent high efficiency irrigation to be provided for all planted areas and individual hose bibs for all patios sized at 100 square feet or greater.

A.1.15 provision of large scale detailed elevations of exterior structures (playground, gates, privacy screens, railings, urban agriculture potting table/ storage, compost bin);

A.1.16 delete any notes regarding removal of street trees;

Note to Applicant: Per drawings, all trees on Bidwell Street and Davie Street are to be retained.

Crime Prevention Through Environmental Design (CPTED)

A.1.17 design development to respond to CPTED principles, having particular regards for:

- a) theft in the underground parking;
- b) break and enter;
- c) mail theft; and
- d) mischief and vandalism, such as graffiti.

Note to Applicant: Niches that may impede surveillance should be revised to be open to wide view, or avoided entirely. See Condition 1.6, which is related. Enclosures should be provided around service areas that face the lane. Lighting should be noted as full cutoff fixtures to provide glare-free safety illumination.

Housing Policy & Projects / Social Policy & Projects / Cultural Services

- A.1.18 provision of a letter stating the property address and legal description of the site, and providing the names and mailing addresses of all tenants.
- A.1.19 design development to the level 3 indoor amenity room to add a kitchenette and storage closet and to confirm the washroom is wheelchair accessible and to add a baby change table to the washroom.
- A.1.20 design development to the level 22 indoor amenity room to confirm the washroom is wheelchair accessible and to add a baby change.

A.2 Standard Engineering Conditions

- A.2.1 make arrangements to the satisfaction of the General Manager of Engineering Services and the Director of Legal Services for the consolidation of Lot 22 and the West ½ of Lot 23, Block 61, DL 185, Plan 92 to create a single parcel;
- A.2.2 arrangements to the satisfaction of the General Manager of Engineering Services and the Director of Legal Services is required for an SRW for expanded sidewalk use over the “7’ Hardscape setback” on Davie Street;

Note to Applicant: The SRW agreement must accommodate the underground parking under the SRW area.

- A.2.3 enter into a Shared Vehicle Agreement with the City to secure the provision, operation and maintenance of 1 Shared Vehicle and the provision and maintenance of 1 Shared Vehicle Parking Space for use exclusively by such Shared Vehicle, [with such parking spaces to be in addition to the minimum parking spaces required by the Parking Bylaw], on terms and conditions satisfactory to the General Manager of Engineering Services and the Director of Legal Services, including the following:
 - a) provide 1 Shared Vehicle(s) to the development for a minimum period of 3 years;
 - b) enter into an agreement with a Shared Vehicle Organization satisfactory to the General Manager of Engineering Services to secure the operation and maintenance of the Shared Vehicle;
 - c) provide and maintain the Shared Vehicle Parking Space for use exclusively by such shared vehicles;
 - d) make arrangements to allow members of the Shared Vehicle Organization access to the Shared Vehicle Parking Space;
 - e) provide security in the form of a Letter of Credit for \$50,000 per Shared Vehicle; and
 - f) registration of the Shared Vehicle Agreement against the title to the development, with such priority as the Director of Legal Services may require and including a covenant under section 219 of the Land Title Act of British Columbia, a statutory right of way, or other instrument satisfactory to the Director of Legal Services, securing these conditions.
 - g) provision of a letter of commitment from a car share company indicating their willingness to supply car share vehicles on the site at building occupancy.

Note to Applicant: Shared vehicle spaces are required to be a minimum width of 2.9m.

- A.2.4 clarification of garbage pick-up operations.

Note to Applicant: Confirmation that a waste hauler can access and pick up from the location shown is required. Pick up operations should not require the use of public property for storage, pick up or return of bins to the storage location;

- A.2.5 provision of a separate application to the General Manager of Engineering Services for street trees and or sidewalk improvements is required.

Note to Applicant: Please submit a copy of the landscape plan directly to Engineering for review;

- A.2.6 provision of benches along Bidwell generally as shown on the drawings complete with concrete foundations;

Note to Applicant: Final location of benches to be to the satisfaction of the General Manager of Engineering Services, determined through the landscape review process (see Condition A.2.5).

- A.2.7 a canopy application is required;

Note to Applicant: Canopies must be fully demountable and meet the requirements of the Building By-law;

- A.2.8 compliance with the Parking and Loading Design Supplement to the satisfaction of the General Manager of Engineering Services;

Note to Applicant: The following items are required to meet provisions of the Parking By-law and the Parking and Loading Design Supplement:

- a) provision of design elevations on both sides of the parking ramp at all breakpoints, both sides of the loading bay, surface parking and at all entrances.
- b) modification of the parking ramp design to improve visibility for two-way vehicle movement at turns (Section I.B & I.C).
- c) provision of measures to address conflicts between vehicles on the ramp. A parabolic mirror, signal system or view slot is recommended.
- d) consideration of providing corner cuts through the inside radius of all parking ramps where separation between the parking ramp and the adjacent space exists.
- e) modification of the design of the overhead gate to provide a minimum 20' drive aisle width through the gate.

Note to Applicant: The overhead gate has an opening width of 19'.

- f) provide separation of the visitor and residential parking by means of an overhead security gate.
- g) clarify and provide unobstructed access from the residential loading space to the residential lobby.

Note to Applicant: There appears to be a wall blocking access into the residential lobby from the main service corridor between the loading spaces and the CRU's.

- h) provide automatic door openers on the doors providing access to the bicycle room(s).
- i) clarify and note on submitted drawings the intended route to be used by residents from the Class A bicycle room to the building exterior.

Please contact Rob Waite of the Neighbourhood Parking and Transportation Branch at 604-873-7217 for more information or refer to the Parking and Loading Design Guidelines at the following link: (<http://former.vancouver.ca/engsvcs/parking/admin/developers.htm>):

A.2.9 the General Manager of Engineering Services will require all utility services to be underground for this “conditional” development. All electrical services to the site must be primary with all electrical plant, which include but not limited to System Vista, Vista switchgear, pad mounted transformers, LPT and kiosks (including non-BC Hydro kiosks) are to be located on private property with no reliance on public property for placement of these features. It is presumed with your consultation so far with B.C. Hydro that an area has been defined within the development footprint to accommodate such electrical plant. Please confirm that this space has been allocated and agreement between both parties has been met. At this time there seems to be no allocation of such plant shown on the detailed Site Plan A100. In addition, there will be no reliance on secondary voltage from the existing overhead electrical network on the street right-of-way. Any alterations to the existing overhead/underground utility network to accommodate this development will require approval by the Utilities Management Branch.

A.2.10 identification on the plans of the location of the Energy Transfer Station (ETS) room;

Note to Applicant: The ETS room should comply with the Neighbourhood Energy Connectivity Design Guidelines.

B.1 Standard Notes to Applicant

- B.1.1 The applicant is advised to note the comments of the Processing Centre-Building, Vancouver Coastal Health Authority and Fire and Rescue Services Departments contained in the Staff Committee Report dated August 12, 2015. Further, confirmation that these comments have been acknowledged and understood, is required to be submitted in writing as part of the "prior-to" response.
- B.1.2 It should be noted that if conditions 1.0 and 2.0 have not been complied with on or before **March 08, 2016** this Development Application shall be deemed to be refused, unless the date for compliance is first extended by the Director of Planning.
- B.1.3 This approval is subject to any change in the Official Development Plan and the Zoning and Development Bylaw or other regulations affecting the development that occurs before the permit is issuable. No permit that contravenes the bylaw or regulations can be issued.
- B.1.4 Revised drawings will not be accepted unless they fulfill all conditions noted above. Further, written explanation describing point-by-point how conditions have been met, must accompany revised drawings. An appointment should be made with the Project Facilitator when the revised drawings are ready for submission.
- B.1.5 A new development application will be required for any significant changes other than those required by the above-noted conditions.

B.2 Conditions of Development Permit:

- B.2.1 Detailed design of the building HVAC and mechanical heating and cooling system must be submitted to and approved by the General Manager of Engineering Services prior to issuance of building permit.
- B.2.2 Confirmation, prior to issuance of building permit, that all heating equipment for all buildings comprising the development shall be centralized within one common mechanical room at parkade level, and that a dedicated space not less than 225 ft² shall be allocated within the central mechanical room, or other dedicated space connected to the central mechanical room, to serve as the development's future Energy Transfer Station (ETS) connecting buildings to the Neighbourhood Energy System. The dedicated ETS space should be clearly labelled.
- B.2.3 Completion of the Confirmation of Neighbourhood Energy Connectivity Requirements letter of assurance by the design engineer of record, prior to issuance of building permit, certifying that the mechanical design of all buildings within the development adheres to the Neighbourhood Energy Connectivity Standards - Design Guidelines.
- B.2.4 All approved off-street vehicle parking, loading and unloading spaces, and bicycle parking spaces shall be provided in accordance with the relevant requirements of the Parking By-law prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.
- B.2.5 All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.

- B.2.6 Any phasing of the development, other than that specifically approved, that results in an interruption of continuous construction to completion of the development, will require application to amend the development to determine the interim treatment of the incomplete portions of the site to ensure that the phased development functions are as set out in the approved plans, all to the satisfaction of the Director of Planning.
- B.2.7 The issuance of this permit does not warrant compliance with the relevant provisions of the Provincial Health and Community Care and Assisted Living Acts. The owner is responsible for obtaining any approvals required under the Health Acts. For more information on required approvals and how to obtain these, please contact Vancouver Coastal Health at 604-675-3800 or visit their offices located on the 12th floor of 601 West Broadway. Should compliance with the health Acts necessitate changes to this permit and/or approved plans, the owner is responsible for obtaining approval for the changes prior to commencement of any work under this permit. Additional fees may be required to change the plans.
- B.2.8 This site is affected by a Development Cost Levy By-law and levies will be required to be paid prior to issuance of Building Permits.

PROJECT TEAM

Owner/Developer
Reliance Properties Ltd.
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IMDG Building Code
Consultants Ltd
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Acoustic Consultant
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2A2
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F: (604) 588-1457

Survey
Butler Sandvik, Professional Land
Surveyors
4-9089 94th Ave Surrey BC V4N 3S4
T: (604) 513-9611



DRAWING LIST

ARCHITECTURAL

- A000 Cover Sheet & Drawing List
- A001 Project Data
- A002 Design Rationale
- A003 Design Rationale
- A004 Design Rationale
- A101 Context Plan
- A102 Survey Plot
- A103 Shadow Analysis
- A104 Base Surface Plan/Roofing Height
- A105 Site Plan
- A106 Streetscape Elevations
- A107 Streetscape Elevations
- A108 View Studies
- A201 Level P4 Plan
- A202 Level P3 Plan
- A203 Level P2 Plan
- A204 Level P1 Plan
- A205 Level 01 Plan
- A206 Level 02 Plan
- A207 Level 03 Plan
- A208 Level 04-05 Plan
- A209 Level 06 Plan
- A210 Level 07-08 Plan
- A211 Level 10-20 Plan
- A212 Level 21 Plan
- A213 Level 22 Plan
- A214 Roof Plan

- A401 Building Sections
- A402 Building Sections
- A501 Elevations
- A502 Elevations

LANDSCAPE

- L0 01 Tree Management
- L0 02 Image Board
- L0 03 Illustrative Site Plan
- L1 00 Landscape Plan Ground Level
- L1 01 Landscape Plan L3
- L1 02 Landscape Plan L7
- L1 03 Landscape Plan L22
- L2 00 Planting Plan
- L3 00 Grading Plan

FSR COMPLIANCE DRAWINGS (BOUND SEPARATELY)

- FSR00 Area Summary
- FSR01 Level 01
- FSR02 Level 02
- FSR03 Level 03
- FSR04 Level 04-05
- FSR05 Level 06
- FSR06 Level 07-08
- FSR07 Level 10-20
- FSR08 Level 21
- FSR09 Level 22
- FSR10 Wall Types

DAVIE AND BIDWELL TOWER

1170 BIDWELL STREET + 1675 DAVIE STREET

ISSUED FOR DEVELOPMENT PERMIT APPLICATION

MAY 05, 2015

DIALOG



RELIANCE
PROPERTIES

ISSUED FOR

A 5/15 Development Permit Application

IMPERIAL

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ARCHITECT & PRIME CONSULTANT

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SEAL

Davie & Bidwell Tower

1170 Bidwell/1675 Davie

Cover Sheet &
Drawing List

DRAWN
PLOT DATE: 5/4/15

CHECKED:

A000

042730103

Area Summary

Site Area	12,570 SF	1,255.0m ²			
Permitted FSR	7.0	90,790 SF	18,434.7m ²		
+10% Vertical Density	0.7	9,079 SF	843.5m ²		
Floor Area Permitted	7.7	99,869 SF	19,278.1m ²		
Proposed Units	108				
Building Height: Max 210' (64m)	82.40m [270.34ft]	Parcels of Nonresidential Roof Above Base Surface			
Base Surface - 16.3' (5m) 4m	82.40m [270.34ft]	Parcels of Nonresidential Roof Above Base Surface			
Max Height - 89.7' (27.3m) [254.93']					
Number of Storeys	22				
		Exclusions	Storage	Attic/Store	
Level 01	8,259.23 SF	8.00 SF	0.00 SF	0.00 SF	
Level 02	8,259.23 SF	886.46 SF	1,278.32 SF	0.70 SF	
Level 03	8,498.15 SF	108.07 SF	451.17 SF	830.15 SF	
Level 04-05 (2 Floors)	2,500.07 SF	148.23 SF	0.00 SF	753.14 SF	
Level 06	5,500.03 SF	154.21 SF	0.00 SF	753.80 SF	
Level 07-08 (2 Floors)	8,464.76 SF	116.91 SF	0.00 SF	918.11 SF	
Level 09-20 (11 Floors)	8,395.74 SF	148.26 SF	0.00 SF	604.15 SF	
Level 21	8,395.74 SF	154.62 SF	0.00 SF	602.47 SF	
Level 22	2,292.03 SF	8.00 SF	774.82 SF	104.16 SF	
Total	102,872.21 SF [9,586.8m ²]	2,834.41 SF	2,433.62 SF	11,264.54 SF	
Total Exclusions	-7,121.19 SF [-666.2m ²]				
Total Area After Exclusions	95,751.02 SF [8,920.6m ²]				
Total GFA	102,872.21 SF [9,586.8m ²]				
Commercial GFA	9,039.15 SF [843.5m ²]				
Residential GFA	97,833.06 SF [9,094.3m ²]				
Blank Space	11.8%				
(Allowed 12% of Net GFA)					
Permitted Floor	7.0				
Heritage Density Proposed	8,968.03 SF [841.4m ²]				
Heritage Floor	0.4				

Proposed Unit Type Summary (Units)

Level	Studio	1 Bedroom	1 Bedroom + Den	1 Bedroom	2 Bedroom	Total Units
Level 01	0	0	0	0	0	0
Level 02	0	0	0	0	0	0
Level 03	0	1	0	3	1	5
Level 04-05 (2 Floors)	0	2	0	3	1	6
Level 06	0	2	0	0	1	3
Level 07-08 (2 Floors)	0	2	0	0	1	3
Level 09-20 (11 Floors)	2	4	0	0	0	6
Level 21	0	2	0	2	0	4
Level 22	0	0	0	0	0	0
Total	22	18	0	13	4	57
Percentage Mix	39%	32%	0%	23%	8%	100%

Unit Storage Requirements

Level	Below Grade Storage Space
Level 01	0
Level 02	0
Level 03	0
Level 04-05 (2 Floors)	0
Level 06	0
Level 07-08 (2 Floors)	0
Level 09-20 (11 Floors)	0
Level 21	0
Level 22	0
Total	0
Level	Below Grade Storage Space
Level P1	0
Level P2	0
Level P3	0
Level P4	0
Total	0
Total Required	0
Total Provided	0

Bylaw Parking Requirements

Bylaw 5.2.1 Residential	Area/Space	Scale Required
Level of 1 Space per 100m ² of GFA	9,093 m ²	91
On 1 Space per Unit	108	108
Disabled Stalls (4.5.4): 1 for first 7 units + 0.014/Additional Unit	0.08	4.2
Visitor (0.1/Unit) OPTIONAL	0.08	11
Bylaw 5.2.1 Nonresidential	4m ²	3-Daily
1 Space per 145m ² of GFA	467 m ²	3
Disabled Stalls (4.5.4): 1/500m ²	467 m ²	1
TOTAL STALLS REQUIRED		66
STALLS PROVIDED	Actual	With Multiples
Regular Stalls	41	41
Disabled Stalls (Count for 2)	7	14
Small Car (Max 2.5m)	17	17
Car Share (1:1 stalls)	1	1
TOTAL STALLS PROVIDED	66	73
EV Charging Stations (20% of stalls)		15.2
(20% of stalls provided)		
Loading Requirements		
Bylaw 5.2.1 Residential	Class A	# Spaces
Class A	Over 100 Loads	NA
Class B		1
Bylaw 5.2.1 Nonresidential	Class A	# Spaces
Class A	NA	1
Class B	>467m ²	1
TOTAL LOADING REQUIRED		2 Class B
TOTAL LOADING PROVIDED		2 Class B

Bylaw Bicycle Parking Requirements

Bylaw 6.2.1.2 Residential Class A	Min/Max	Provided
1:25 Stalls/Unit	135	135
Min 20% Horizontal Stalls	67.5	74
Max 10% Vertical Stalls	40.5	34
Min 20% Bike Lockers	171	27
Bylaw 6.2.1.2 Nonresidential Class A	Required	Provided
A minimum of 5 spaces for any development containing a minimum of 25 dwelling units.	5	6
Bylaw 6.2.1.2 Nonresidential Class A	Area	# Spaces
A minimum of 1 space for each 300 square metres of gross floor area.	15.6 m ²	0
Bylaw 6.2.1.2 Nonresidential Class B	Area	# Spaces
A minimum of 5 spaces for any development containing a minimum of 1,000 square metres of gross floor area.	467 m ²	0
TOTAL STALLS REQUIRED	Class A (135)	Class B (6)
TOTAL STALLS PROVIDED	135	6

Carbon and Lifecycle Storage Calculations

End-Use	Rate	Volume (Litres/Year)	Storage Type	Container Volume (L)	# of Containers	Footprint	Area Required	Area Provided
Number of Stalls	118							
Garbage	95 L	10700	Compost	5,190.3	1	0.63	8 m ²	
Newspaper	8.5 L	918	360 L cart	360	3	0.63	1.61	
Household Appliances	9 L	972	180 L cart	180	3	0.63	1.61	
Household Appliances (cardboard)	40 L	4320	3 Cubic Yard bin	2293.8	2	1.98	3.73	
Household Appliances (cardboard)	15 L	1620	3 Cubic Yard bin	2293.8	2	1.98	1.40	
Compost	14 L	1512	3 Cubic Yard bin	2293.8	2	1.98	1.31	
Manure Factor	2.25						423.6 SF	692.3 SF
End-Use	Rate	Volume (Litres/Year)	Storage Type	Container Volume (L)	# of Containers	Footprint	Area Required	Area Provided
Area (m ²)	467.8							
Garbage	2.25 L	1051.8	3 Cubic Yard bin	2293.8	1	2.52	2.52 m ²	
Newspaper	1.5 L	701.0	3 Cubic Yard bin	2293.8	1	1.98	1.98 m ²	
Household Appliances	0.85 L	352.8	360 L cart	360	1	0.63	0.63 m ²	
Household Appliances (cardboard)	2.3 L	1074.8	3 Cubic Yard bin	2293.8	1	1.98	1.98 m ²	
Compost	NA						7.11 m ²	
Manure Factor	2.25						172.19 SF	633.3 SF



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A 10/15 Development Permit Application

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SEAL

Davie & Bidwell Tower

1/10' Scale 1/15' Scale

Project Data

DRAWN
PLOT DATE 9/4/15

A001

0427/0100

ARCHITECTURAL EXPRESSION

CONFIGURATION AND MASSING

The building massing is placed to the northwest side of the site to maintain maximum distance from the neighbouring property to the east (on Dave Street) and the existing 19-story apartment building to the north across the lane. This massing allows a 40-foot covering between the edge of the tower and the southern property line and 90-feet to nearest town. The setback also allows the tower to offer a more open view corridor towards Dave Street.

As called for in the West End Community Plan (WECP 10.2.3), a new 7-foot landscape setback is introduced on Dave Street, along which a series of double-height commercial spaces are defined to connect the tower with a glass and steel corridor along the sidewalk. The architecture of the commercial space expressed clearly as a volume distinct from the residential parts of the building. The corner line of the commercial tower picks up the roofline of the two-door tower. This entrance to the residential lobby is located around the corner on Bidwell Street, set back from the property line slightly to help distinguish the entrance from the commercial tower.

Above the 20th or 21st floor, the tower's lower floors provide a view to the street from 1000 sq ft. - 1400 sq ft. per floor pattern, being the largest and containing the larger family suites. This tower form steps back from the front of the building on the southeast corner to provide a large outdoor terrace between the tower and the existing 19-story apartment building. This terrace is designed to serve the outdoor space. An inset band above the commercial storefronts provides a break between the storefronts and the tower massing and provides a space for mechanical ventilation screens.

Two more large commercial storefronts are located at the level 7 rooftop accommodation space for urban agriculture and a large rooftop terrace at level 22 with accompanying outdoor lounge area. This rooftop deck overlooks to the north and east to capture views of English Bay and the Northshore Mountains made visible to all residents.

The highest section of the tower from level 7-22 reduces further to support only 400 sq ft. floor area to maintain the visual impact of the tower on the adjacent site buildings, particularly the 18-story apartment tower to the east and the nearby commercial building to the south. The tower's stepped form creates a unique profile when viewed along Bidwell Street. The tower's massing is further articulated by dividing the south and north elevations into two sections, one capped by a pronounced roof form that has some affinity with the numerous diamond-form towers of the mid-century development boom of the area (such as the iconic Elektra building). This extension offers not element both homogeneity and verticality is intended to appropriately cap the building mass with a singular compositional element that unifies the disparate roof-line elements of elevator, stair, mechanical, room and lounge that otherwise have different heights. While the stepped 21st height will make the proposed building the tallest among surrounding structures, and there is no view down the cut, the view or the approach from the east, up on Dave Street, make this roof element particularly important.

ARCHITECTURAL CHARACTER AND MATERIALS

The building design achieves a grounded feel by "verticalizing" of elements: decorative mid-century modern-style vertical lines, in the West End often incorporate geometric patterns of elements: diamond, rounded, or angled forms. Combined with frequent use of horizontal ribbon windows and upper balcony edges. The proposed design uses concrete panels on the east side of the building as a pattern and building technique that is both elemental to the area of design but is also a contemporary and technically efficient product. This is achieved by using a system of the commercial storefront frames at the ground level and at the residential entrance. The window wall glazing of the tower is mixed with strong horizontal panels on the west side, allowing a geometric contrast to the surface that avoids competing horizontal side of the building.

Decorative elements between or off services are provided for all sides while also providing articulation on the south and west elevation of the building. The south elevation is more glass - preserving future views to neighbouring development - while the north elevation has more vision glass to circulation on west.

The materials of the building include what present insulated concrete panels, painted steel-clad concrete, aluminum panels and stainless steel and stainless glass systems along with some stone elements at the residential entrance. The color palette is kept neutral using the contrast of white materials against darker window frames and panels; the white color also creates a contrast with the single brown tones of the adjacent tower and grocery store and adjacent apartment towers, but is a common color scheme to many West End buildings.

While opportunities for future treatment is invited by the narrow frontage of the site and the need to accommodate residential and commercial use as well as public entrance and commercial and parking along the laneway to differentiate with concrete panels, and the stone wall treatment is extended to the secondary lobby entrance off the lane. The area is bordered by the level 2 entry space and a concrete entry is provided to facilitate movement directly to the elevator core.

COMMON AMENITIES

Shared amenity spaces include a wider range of features to encourage including large outdoor terrace areas, indoor lounge areas, a double height lobby, a work room, a large fitness room, bike repair and storage, laundry along with the required complement of outdoor bicycle parking and bike storage areas for each unit.

To understand the role of public space, the design team has considered how to maximize existing public spaces and create a new public neighborhood. Many nearby public amenities including community centre and library, aquatic centre, parks, beaches and public transit are all within a short distance to the building.

CONTEXTUALITY

The site is located in an urban corridor, and the design team has considered how to reduce vehicle flow by residents. Automobile parking is used to a minimum while providing electric vehicle charging stations and premium bicycle storage. A dedicated concrete parking area is provided on the laneway and the tower is well served by transit.

High-density development with a mix of housing types in this area is environmentally appropriate as it makes best use of existing infrastructure and resources.

In accordance with the WECP Green Building Policy on Neighborhood Energy, the building's heating system is designed to be easily connected to a neighborhood energy system. An energy transfer station is provided in the parking garage at level P2.

The building design incorporates various sustainable design elements such as appropriate solar orientation, daylight access and views, a novel and durable building envelope, efficient mechanical systems and water conservation features and landscaping. Robust, sustainable and undisturbed in situ material, and effect. Selection of sustainable building materials will be addressed in the design team and specification of the project.

WEST END PRECEDENTS



West End Tower (David Tower) at 1000 West End Avenue, Vancouver



West End Tower (David Tower) at 1000 West End Avenue, Vancouver



West End Tower (David Tower) at 1000 West End Avenue, Vancouver



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West End Tower (David Tower) at 1000 West End Avenue, Vancouver



West End Tower (David Tower) at 1000 West End Avenue, Vancouver

DIALOG

RELIANCE
PROPERTIES

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A. 5/15/15 Development Permit Application

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SEAL:

Davie & Bidwell Tower

1170 Davie + 1075 Davie

Design Rationale

DATE: 5/4/15

CH-000000

A003

D4278/0100

ARCHITECTURAL ELEMENTS

COMMON ROOF TERRACE AND LOUNGE AREA PROVIDING AMENITY AND VIEWS FOR ALL TENANTS

GREATER SOLARITY FACING EASTERN PROPERTY LINE REDUCES SOLAR HEAT GAIN AND IMPROVES PRIVACY TO AND FROM ADJACENT BUILDINGS

COMMON ROOF TERRACE WITH URBAN AGRICULTURE COMPONENT

COMMON ROOF TERRACE WITH CHILDREN'S PLAY SPACE OVERLOOKED BY FAMILY SUITES

COMMERCIAL FRONTAGE FRAMED BY CONCRETE PORTALS CREATING IDENTIFY FOR COMMERCIAL USE DISTINCT FROM RESIDENTIAL ABOVE

GREATER TRANSPARENCY FACING NORTHWEST VIEW

GENEROUS BALCONIES FOR ALL SUITES. FIRST GLASS MAINTAINS HORIZONTAL LOOK WHILE ALLOWING LIGHT TO SUITES

CONTAINER HOUSE WEATHER PROTECTION AT COMMERCIAL FRONTAGE

GLAZED DOUBLE HEIGHT COMMERCIAL FRONTAGE MEANS CORNER AND EXTENSIVE ACTIVE FRONTAGE DOWN BUILDING

MECHANICAL ROOM AND MECHANICAL TOWERS INTEGRATED INTO ROOF FORM

3-BEDROOM FAMILY SUITES LOCATED CLOSEST TO OUTDOOR PLAYSPACE

LOADING, GARAGE ACCESS, COMMERCIAL PARKING AND CARSHARE LOCATED ALONG LINEWAY

INSULATED PRECAST CONCRETE SPANDREL PANELS AND REBAR WINDOWS

DECORATIVE ROOF COMBINES MECHANICAL ELEVATOR AND LOUNGE SPACES WITH ONE UNIFIED TOWER TERMINATION. FINISHING WITH WELL-ENDED FORMS

INTEGRATED LIGHTING FEATURE TO HIGHLIGHT PANEL RELIEF

INSULATED PRECAST PANELS WITH REPRESENTATIVE 3-DIMENSIONAL DIAMOND RELIEF PATTERNING

EXTENSION WITH SUNSHADES

CORNER EYEBROW EXTENSION

PRECAST RELIEF PANELS USED TO FURTHER MARK JURISDICTIONAL ENTRANCE AND EXTEND LANGUAGE OF SOUTHEAST ELEVATION

RESIDENTIAL ENTRANCE INSET FROM PROPERTY LINE AND ACCENTED WITH STONE MATERIAL

DOUBLE HEIGHT RESIDENTIAL LOBBY WITH GALLERY GLAZING

DIALOG



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SEAL:

Davie & Bidwell Tower

1170 Davie + 1875 Davie

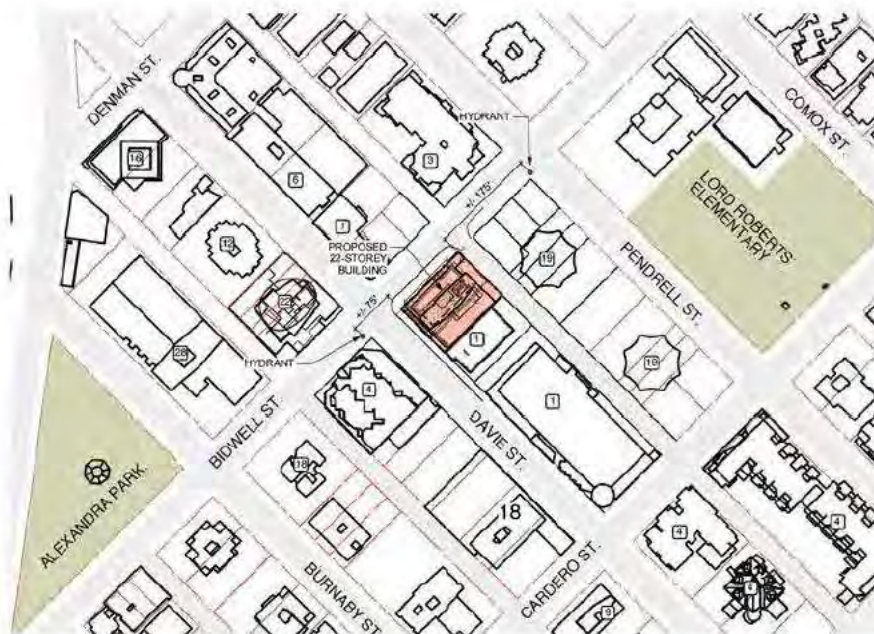
Design Rationale

DRAWN
PLOT DATE 5/4/15

CHECKED:

A004

042730100



CONTEXT PLAN
SCALE: 1"=100'

1



AERIAL PHOTO
SCALE: 1"=100'

2



AERIAL CONTEXT VIEW
SCALE: N.T.S.

3

DIALOG



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1170 Bowen + 1075 Davie

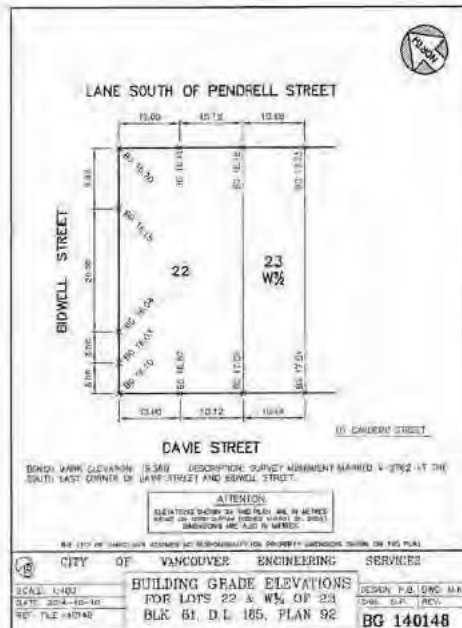
Context Plan

DRAWN: PLOT DATE: 5/4/15 CHECKED:

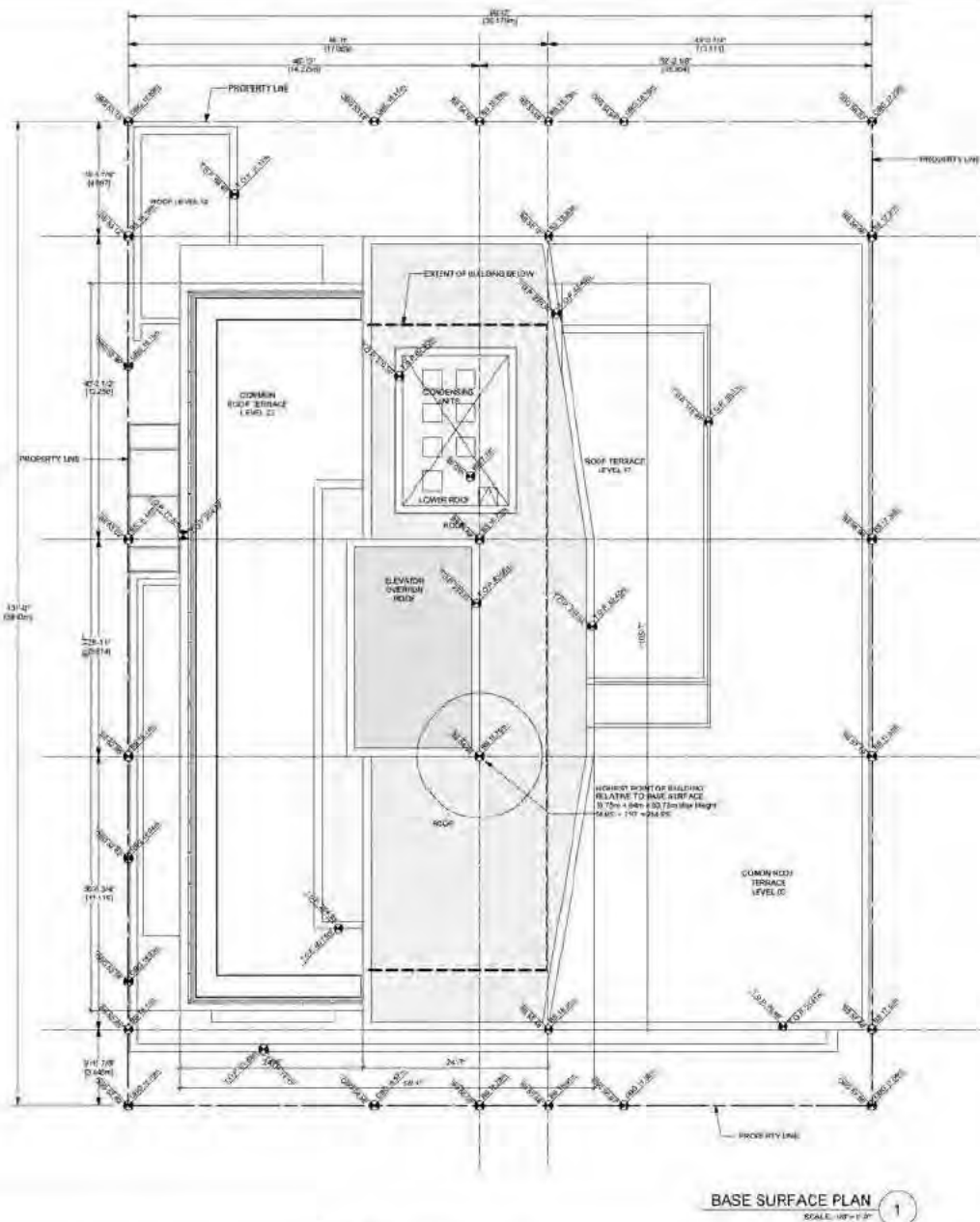
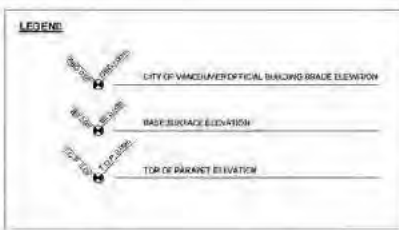
A101

04278-0100
K278-Plan-001





CITY OF VANCOUVER BUILDING GRADE ELEVATIONS
SCALE: MTS



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Davie & Bidwell Tower

1100 Bidwell • 1075 Davie

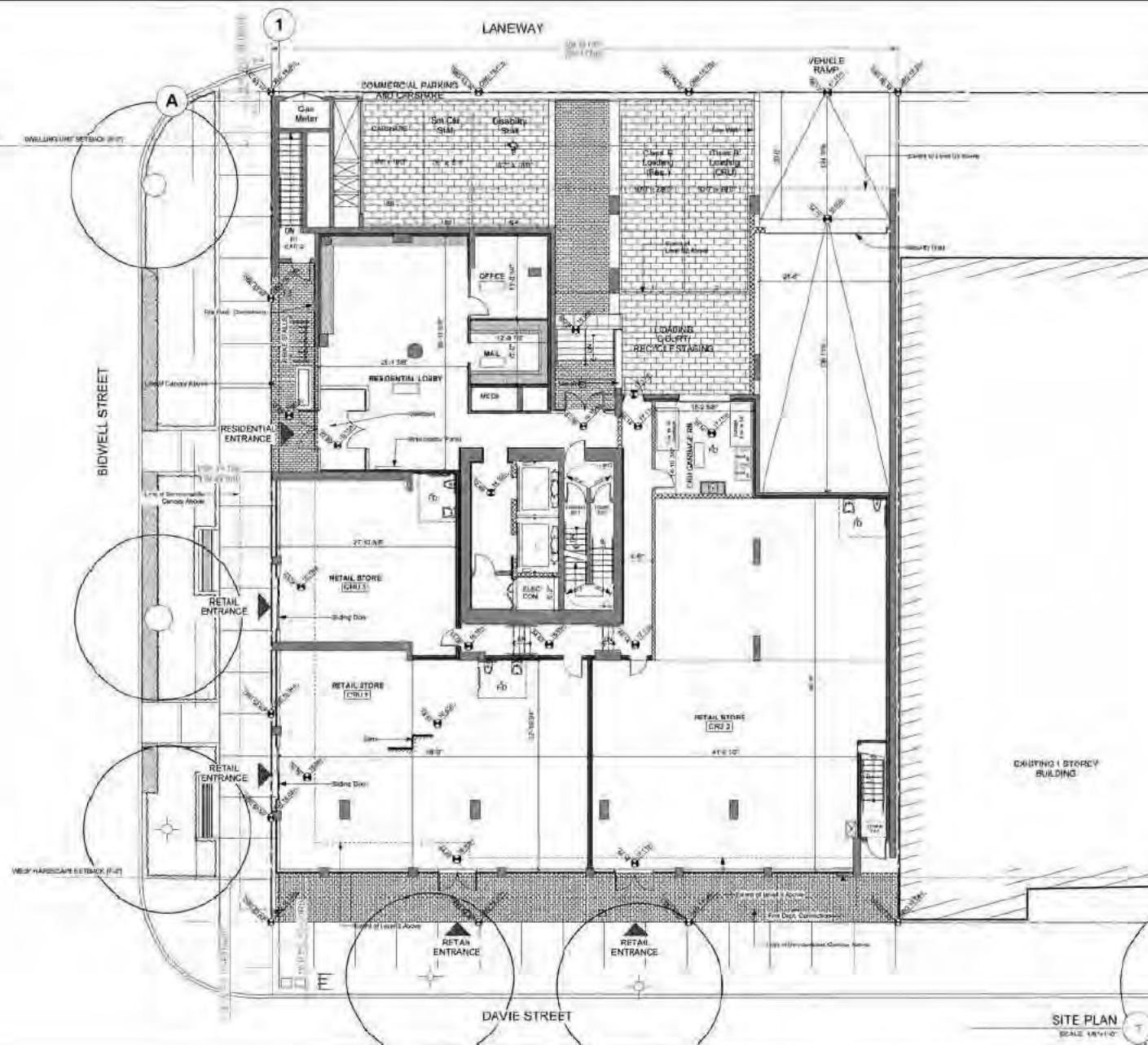
**Base Surface Plan/
Building Height**

DRAWN: PLOT DATE: 5/2/15 CHECKED:

A104

04278/0101
A104 Plan

ADDRESS
1110 BIDWELL ST. &
1815 DAVIE ST. VANCOUVER B.C.
LEGAL DESCRIPTION
LOT 22 AND WEST HALF OF LOT 23
BOTH OF BLOCK 61 DISTRICT LOT 186
PLAN 92



NOTE
FOR DETAILED LANDSCAPE DESIGN
REFER TO LANDSCAPE DRAWINGS

SITE PLAN
SCALE: 1/8"=1'-0"

DIALOG

RELANCE
NOTED 11.15.20

ISSUED FOR
A: M115 Development Permit Application

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SEAL

Davie & Bidwell Tower

1100 Bidwell + 1815 Davie
Site Plan

DATE: 04/15
PLOT DATE: 04/15

A105

042740101
A111 (1/15/20)

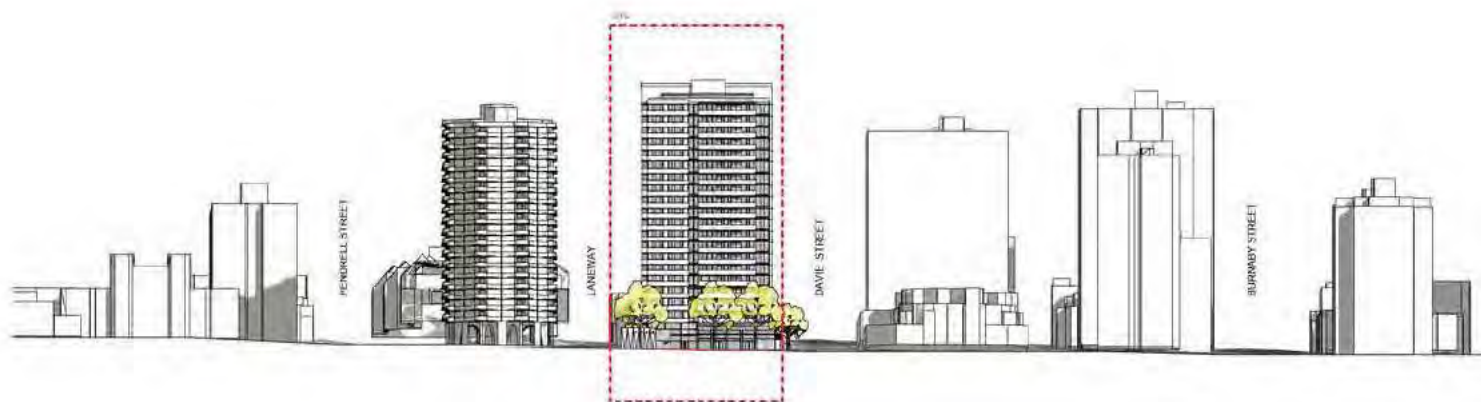


CORNER OF LANEWAY AND BIDWELL, LOOKING SOUTHEAST



BIDWELL STREET

1



BIDWELL STREET ELEVATION

SCALE: 1"=60'

2

DIALOG



RELIANCE
PROPERTIES

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A 09/15 Development Permit Application

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SEAL

Davie & Bidwell Tower

1170 Bidwell + 1075 Davie

**Streetscape
Elevations**

DRAWN
PLOT DATE: 02/15

CHECKED:

A106

04275/0100



CORNER OF DAVIE AND BIDWELL LOOKING NORTHEAST



DAVIE STREET

1



DAVIE STREET ELEVATION

SCALE: 1"=50'

1

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A 9915 Development Permit Application

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SEAL

Davie & Bidwell Tower

1170 Bidwell + 1075 Davie

Streetscape

DRAWN:
PLOT DATE: 5/2/15

CHECKED:

A107

04275/0100

ISSUED FOR:
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SEAL:

Davie & Bidwell Tower

1170 Bowen + 1075 Davie

View Studies

DRAWN:
PLOT DATE: 5/21/15

CHECKED:

A108

04278/0100

4/27/2015



VIEW IMPACT STUDY 1

SCALE: 1:1500

1616 PENDRELL STREET
TOWER 1

VIEW SHED: 120°
VIEW HEIGHT: 199m STOREY (Top Floor)
INCREMENTAL VIEW IMPACT: 15%, 16%

LEGEND

- VIEW SHED/TARGET
- INCREMENTAL VIEW IMPACT
- EXISTING VIEW OBSTACLE
- PROPOSED BUILDING FLOORPLATE

VIEW IMPACT STUDY 2

SCALE: 1:1500

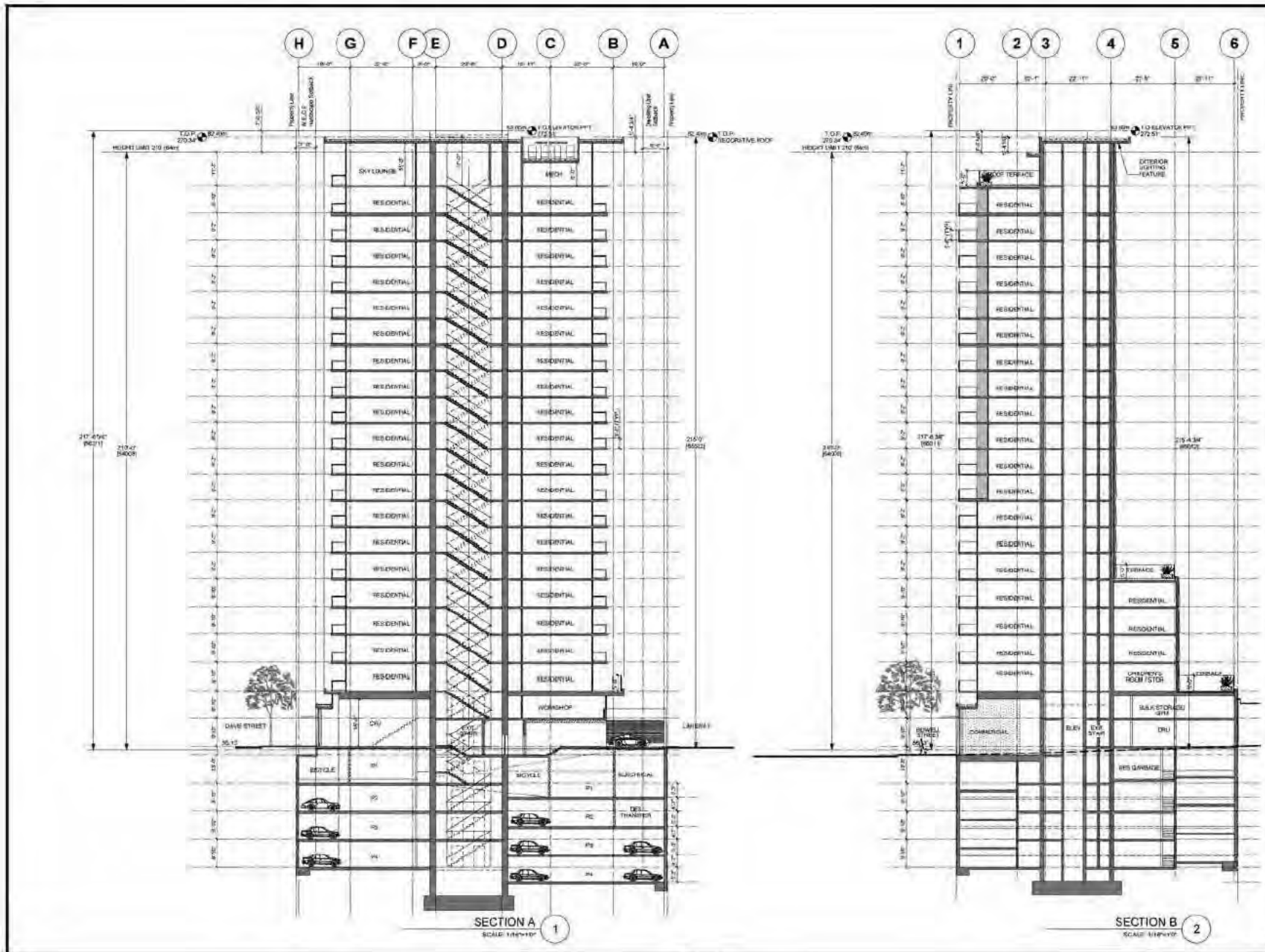
1616 PENDRELL STREET
TOWER 2

VIEW SHED: 120°
VIEW HEIGHT: 199m STOREY (Top Floor)
INCREMENTAL VIEW IMPACT: 14%, 12%

LEGEND

- VIEW SHED/TARGET
- INCREMENTAL VIEW IMPACT
- EXISTING VIEW OBSTACLE
- PROPOSED BUILDING FLOORPLATE





DIALOG



RELIANCE
PROPERTIES

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A 4/2/15 Development Permit Application

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SEAL

Davie & Bidwell Tower

1/17/2015 (REVISED) 10/15/2015

Building Sections

DRAWN: PLOT DATE: 5/2/15

CHECKED:

A401

042278/0100

DIALOG



RELIANCE
PROJECTS

ISSUED FOR
A 5/15 Development Permit Application

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SEAL

Davie & Bidwell Tower

1170 Davie Street, 1575 Davie

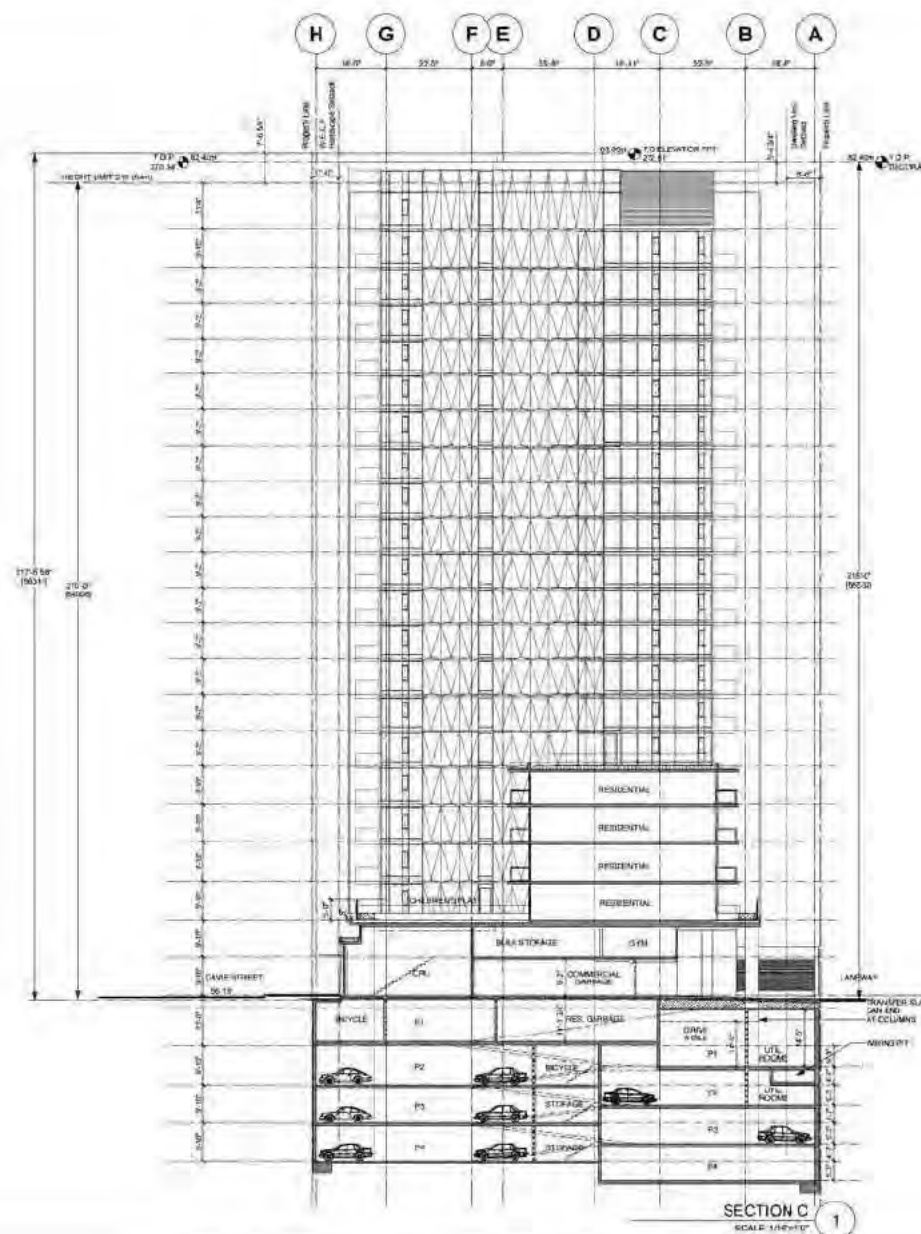
Building Sections

DRAWN
PLOT DATE 5/2/15

CHECKED

A402

D427840100



SECTION C

SCALE 1/8"=1'-0"

1

SECTION C Page 15 of 25



RELIANCE PROPERTIES

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A 5515 Development Permit Application

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REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.
OCCUPANCY FROM THE CONTRACT DOCUMENTS WITHIN 10% WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.
ARCHITECT & PRIME CONSULTANT
DIALOG BC ARCHITECTURE ENGINEERING
1101 WEST 10TH AVENUE, SUITE 100
VANCOUVER, BC, CANADA
TEL: 604.255.1155 • FAX: 604.255.1156
info@dialogbc.ca

SEAL

Davie & Bidwell Tower

1170 Bloor St W, 10th Floor

Elevations

DATE: 5/2/15

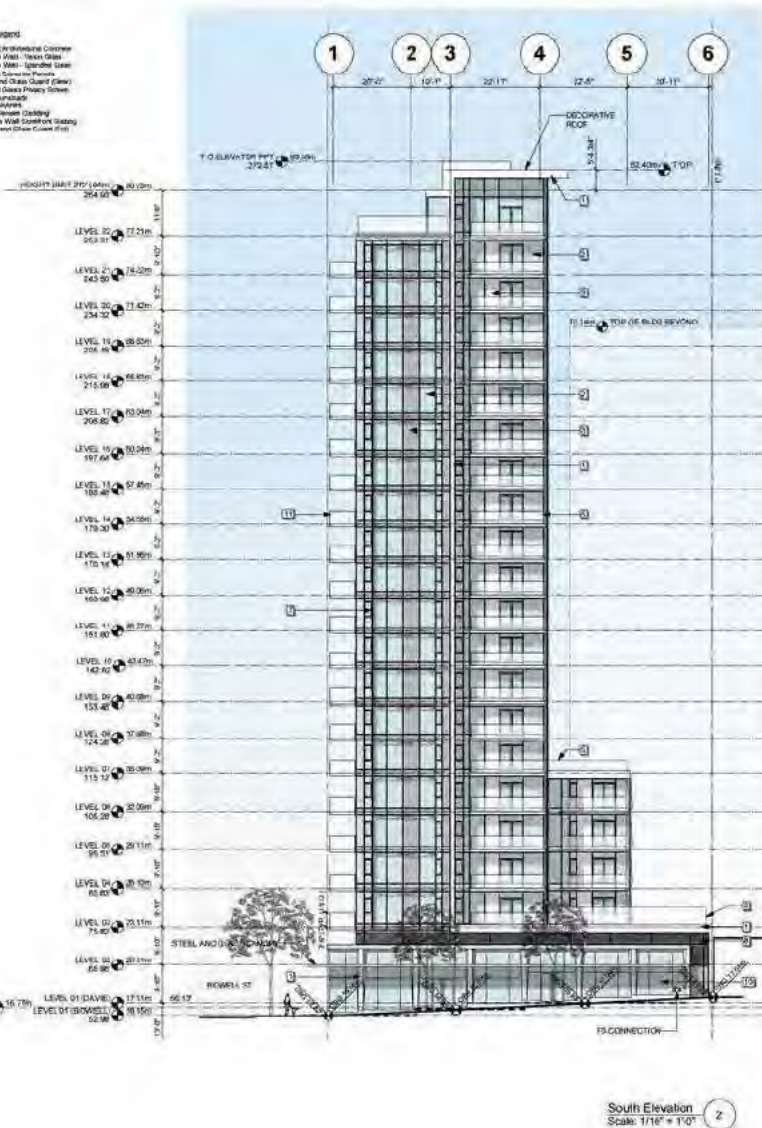
CHECKED:

A501

04278/0100



- Material Legend**
- 1. Painted Architectural Concrete
 - 2. Window Wall - Tinted Glass
 - 3. Window Wall - Spandrel Glass
 - 4. Window Wall - Tinted Glass
 - 5. Window Wall - Tinted Glass
 - 6. Window Wall - Tinted Glass
 - 7. Window Wall - Tinted Glass
 - 8. Window Wall - Tinted Glass
 - 9. Window Wall - Tinted Glass
 - 10. Window Wall - Tinted Glass
 - 11. Window Wall - Tinted Glass
 - 12. Window Wall - Tinted Glass
 - 13. Window Wall - Tinted Glass
 - 14. Window Wall - Tinted Glass
 - 15. Window Wall - Tinted Glass
 - 16. Window Wall - Tinted Glass
 - 17. Window Wall - Tinted Glass





RELIANCE
PROPERTIES

ISSUED FOR:
A 3/5/15 Development Permit Application

IMPERIAL
THIS DRAWING IS FOR INFORMATION ONLY AND MUST NOT BE USED, REPRODUCED OR REUSED WITHOUT WRITTEN PERMISSION. ALL DIMENSIONS ARE IN FEET AND INCHES (FEET) OR MILLIMETERS (MM).
VERIFY CONDITIONS
DO NOT SCALE THIS DRAWING.
REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.
OBTAINING FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

ARCHITECT & PRIME CONSULTANT
DIALOG BC ARCHITECTURE ENGINEERING
411 ALVARD ST. #100
VANCOUVER, BC V6A 1S1
TEL: 604.255.1111 FAX: 604.255.1110
info@dialogbc.ca

SEAL

Davie & Bidwell Tower

1170 Bloor St W, 1175 Bloor

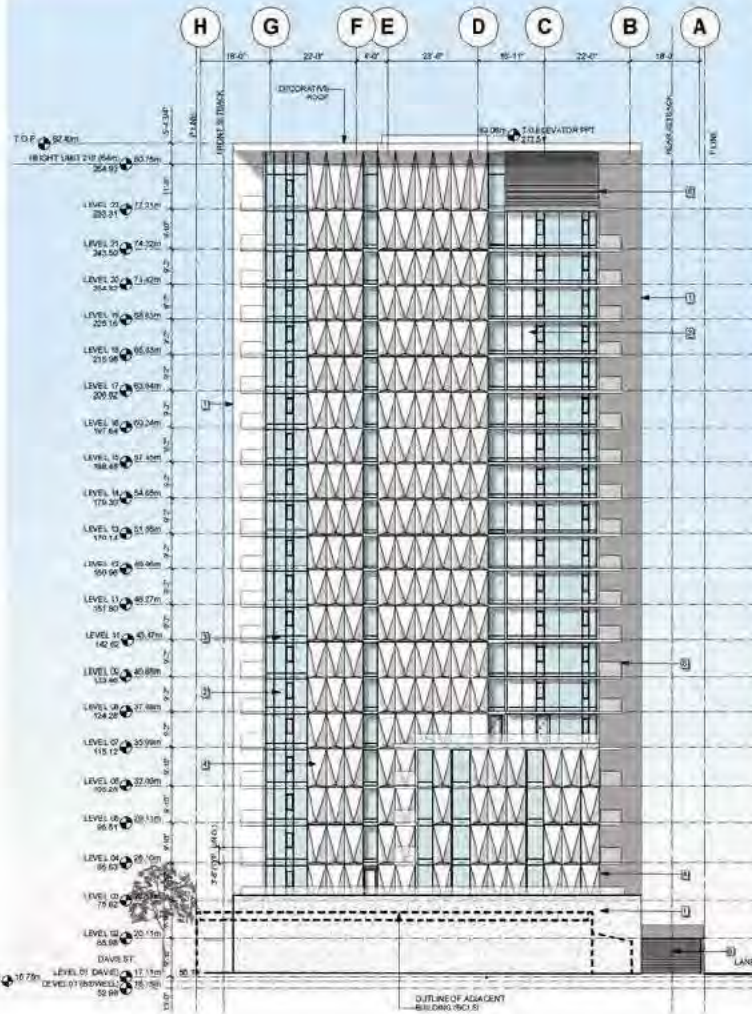
Elevations

BRNVA
PLOT DATE: 5/2/15

CHECKED:

A502

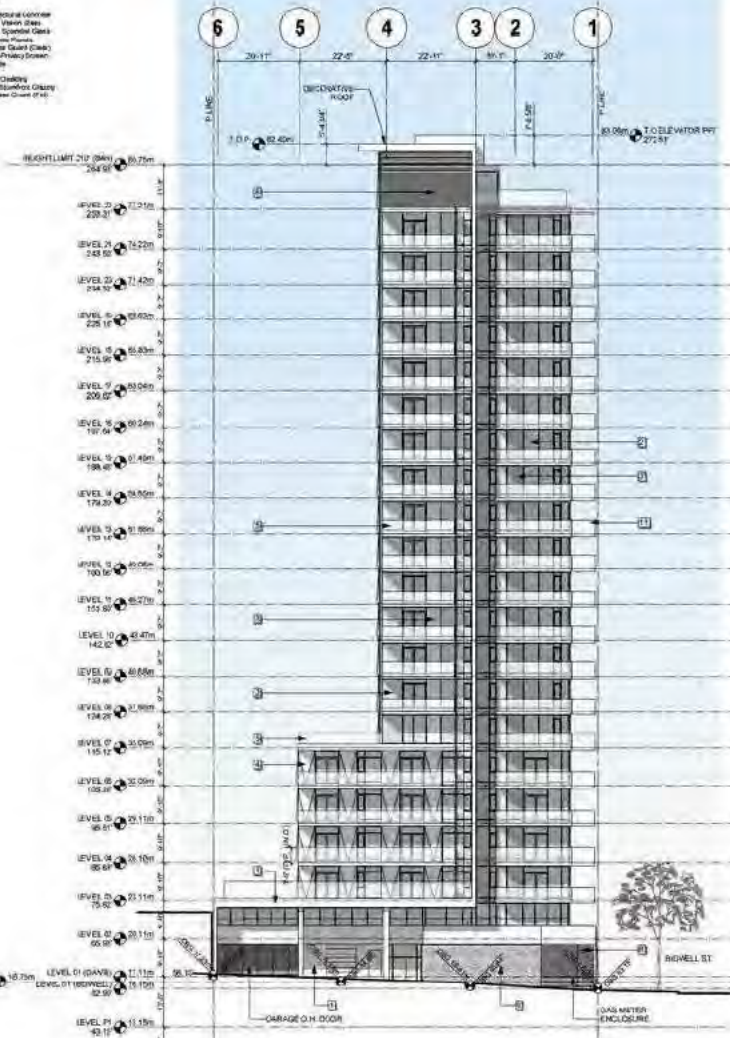
042278/0100



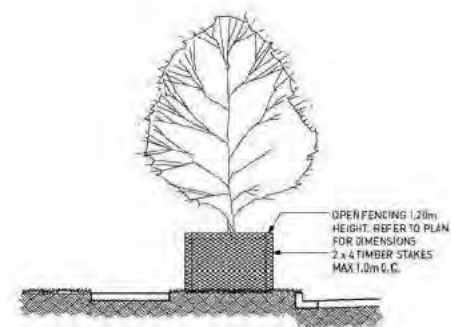
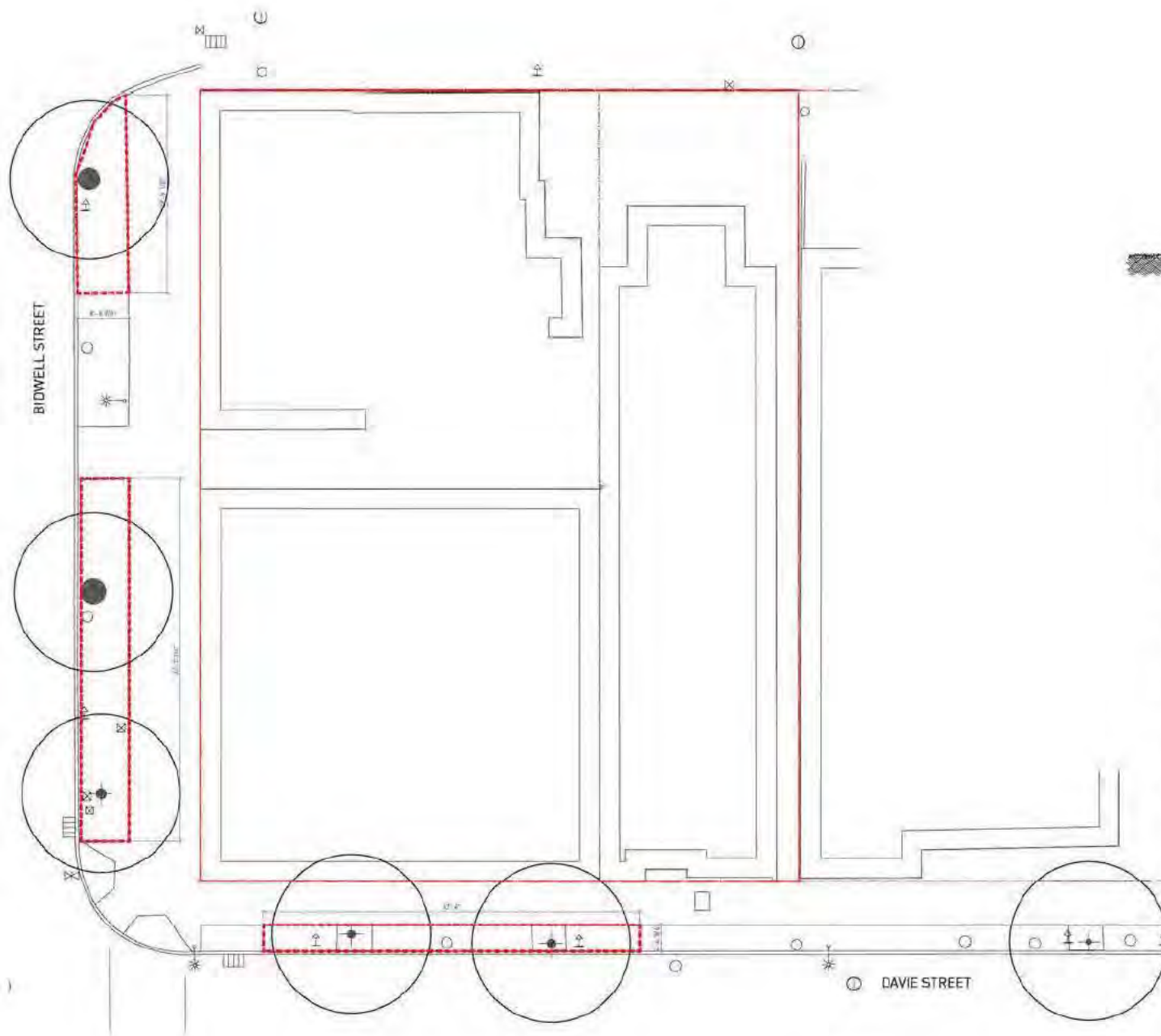
East Elevation
Scale: 1/16" = 1'-0" 1

NOTES:
All signage is shown for reference only and is not required under this development permit. Signage is regulated by the Signage Law and requires separate approval. The owner is responsible for obtaining all necessary permits for signage. The Signage Law requires signage to be placed in accordance with the Signage Law and requires signage to be placed in accordance with the Signage Law.

- NOTES:**
1. Painted Architectural Cornice
 2. Window Sills: Varnish Glass
 3. Window Sills: Spigot Glass
 4. Window Sills: Spigot Glass
 5. Window Sills: Spigot Glass
 6. Window Sills: Spigot Glass
 7. Window Sills: Spigot Glass
 8. Window Sills: Spigot Glass
 9. Window Sills: Spigot Glass
 10. Window Sills: Spigot Glass
 11. Window Sills: Spigot Glass
 12. Window Sills: Spigot Glass
 13. Window Sills: Spigot Glass
 14. Window Sills: Spigot Glass
 15. Window Sills: Spigot Glass
 16. Window Sills: Spigot Glass
 17. Window Sills: Spigot Glass
 18. Window Sills: Spigot Glass
 19. Window Sills: Spigot Glass
 20. Window Sills: Spigot Glass



North Elevation
Scale: 1/16" = 1'-0" 2



1 TREE PROTECTION BARRIER TO DETAIL

TREE MANAGEMENT LEGEND:

--- TREE PROTECTION BARRIER FENCE
REFER TO TREE PROTECTION GENERAL NOTES FOR REQUIREMENTS



EXISTING TREE TO BE RETAINED

TREE PROTECTION GENERAL NOTES

A. EXCAVATION AROUND TREES

1. EXCAVATION WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
2. DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
3. TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED AS PER DETAIL #1 PENDING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.

B. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES

1. HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
2. USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS.
3. RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.

C. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES

1. TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING.
2. DO NOT CUT MAIN LATERAL ROOTS.
3. CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS.
4. ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 150mm (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS.

D. PROTECTION OF EXPOSED ROOTS

1. DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
A. PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
B. PACK WITH WET PEAT MOSS. MAINTAIN MOISTURE.
C. BACK WITH FOUR LAYERS OF WET UNFERTILIZED BURLAP. MAINTAIN MOISTURE.
2. TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH GROUNDWATER.
3. WATER PUZZLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS.

E. REMOVAL OF STREET TREES

1. REMOVAL OF STREET TREES TO THE SATISFACTION OF THE GENERAL MANAGER OF ENGINEERING SERVICES.

1170 Bidwell and
1675 Davie Street

TREE MANAGEMENT PLAN

Scale: 1:100

PROJECT NO.	1170
DATE	01/10/18
FILE NO.	1170-2 PHL/ML
REVISION	10-3-4
DATE	11
REVISION	10

L0.01

INSPIRATION - British Columbia Natural Landscape



MATERIALS - Catenary Light



COMMUNITY - Urban Agriculture



COMMUNITY - Planted Boulevards



COMMUNITY - Community Table



COMMUNITY - Natural Playground



DESIGN NARRATIVE - British Columbia Natural Landscape

The inspiration for the private realm design is the local Pacific Northwest beach culture and island landscapes. The open spaces reference the sand and rock beaches with natural worn driftwood and views to distant islands across the water typical of the Pacific Northwest. The design also draws upon the incredible sense of community and the residential character that the existing neighbourhood has. By creating communal outdoor spaces for gathering and eating, the energy of the neighbourhood can be brought into the building's own community.

The rooftop includes a PNW 'zen garden' with the use of gravel set around an archetypal 'island' from the Strait, complete with natural stone and native planting. Benches around the perimeter will allow this area to become more engaged than a typical zen garden. A large deck/patio includes a long community harvest table adjacent to the BBQ area. To create a sense of cover over this area the design includes a catenary lighting system. Without losing the views to the sky above residents will have a comfortable lit space to spend time outside or enjoy a meal. The south portion of the deck/patio in front of the Sky Lounge is the exterior lounge area to complement the interior space. A small gas outdoor fireplace with seating around it and smaller seating areas to the perimeter on the south side extend the use to the outdoors. A perimeter planting provides a sense of enclosure to the rooftop without impeding views.

Raised urban agriculture plots are proposed on the accessible seventh floor roof area. This allows the less manicured looking beds to be located away from the high quality roof deck areas and avoid resident complaints. This area also offers the best solar aspect of the project area for better growing conditions. Some exterior storage areas and a pitting table are proposed to support the activities of this area.

The children's play area and outdoor amenity space on the third level echoes the classic deck at a beach with a verge of grass at the upper edge where the sand gives way to the riparian vegetation. The play features will reference the types of casual structures one finds built on the beach through the use of driftwood, stone and natural wood play structures. A fall surface that references the local sandy beaches will be included. A portion of artificial turf with resilient falls surfacing below is the interface from the 'beach' to the patio. A second community table, this time with a flexible sun screen above, provides opportunities for family time outside. A composite wood deck is proposed as the outdoor space next to the amenity room creating a warm underfoot surfacing and suggesting a residential character.

The street level design intends to draw the robust planted boulevard character of the surrounding neighbourhood to the north down to Davie Street. Along Bidwell a lush landscape at the base of the mature trees is proposed to create an inviting place for people to enter the residential lobby, sit outside the retail spaces and leave the bustle of Davie Street behind. Due to the location on the north side of the building and the increased shade cast by the new building, a planted boulevard is proposed. Turf grass will not stand up to the pressures of foot traffic, dog waste and the depth of shade. In response to the specific request from Planning to provide a 'green boulevard developed along Bidwell' we feel that this landscape treatment meets the intent of Policy 5.1.5 in the West End Commercial Area Policy by improving the attractiveness and pedestrian orientation, and part of 'landscaping in boulevard areas where it would not conflict with on-street parking or traffic safety'. We feel that this matches well with the intent described in the Discussion portion of 5.1.5 'Public realm improvements... should be undertaken to achieve a strong, attractive physical identity and to match the standards expected of private development.'

Further to point 5.1.5, c, the sidewalk along Bidwell has been widened to 8' (6.5m) and located at the property line/building face to eliminate the typical on all verge of grass that would not grow in this area. The sidewalk size and location also promote accessibility to the retail units matching the typical condition along Davie.

The Davie Street frontage continues with the standard exposed aggregate shoulder at the back of curb and cast in place concrete sidewalk. Site furniture elements such as bike racks, recycling and waste would remain in the shoulder area. The setback from the property line on Davie is proposed to be unit pavers to create a colour and textural contrast with the concrete paving in the sidewalk, suggesting people should slow down and look in the windows of the shops. The same material is indicated at the front door to the residential lobby for a harmonized ground plane. Along both street frontages the mature trees will be retained and protected.

In summary we feel that the public and private realm design will provide a beautiful and functional series of outdoor spaces that fit well into the neighbourhood, are reflective of their regional context, and respond to the West End Community Plan.

INSPIRATION - Beach and drift wood



MATERIALS - Composite Wood Deck



NO.	DATE	DESCRIPTION
1.	10/14/2020	Issued for Review and CIP
2.	01/05/2021	Development Permit Application

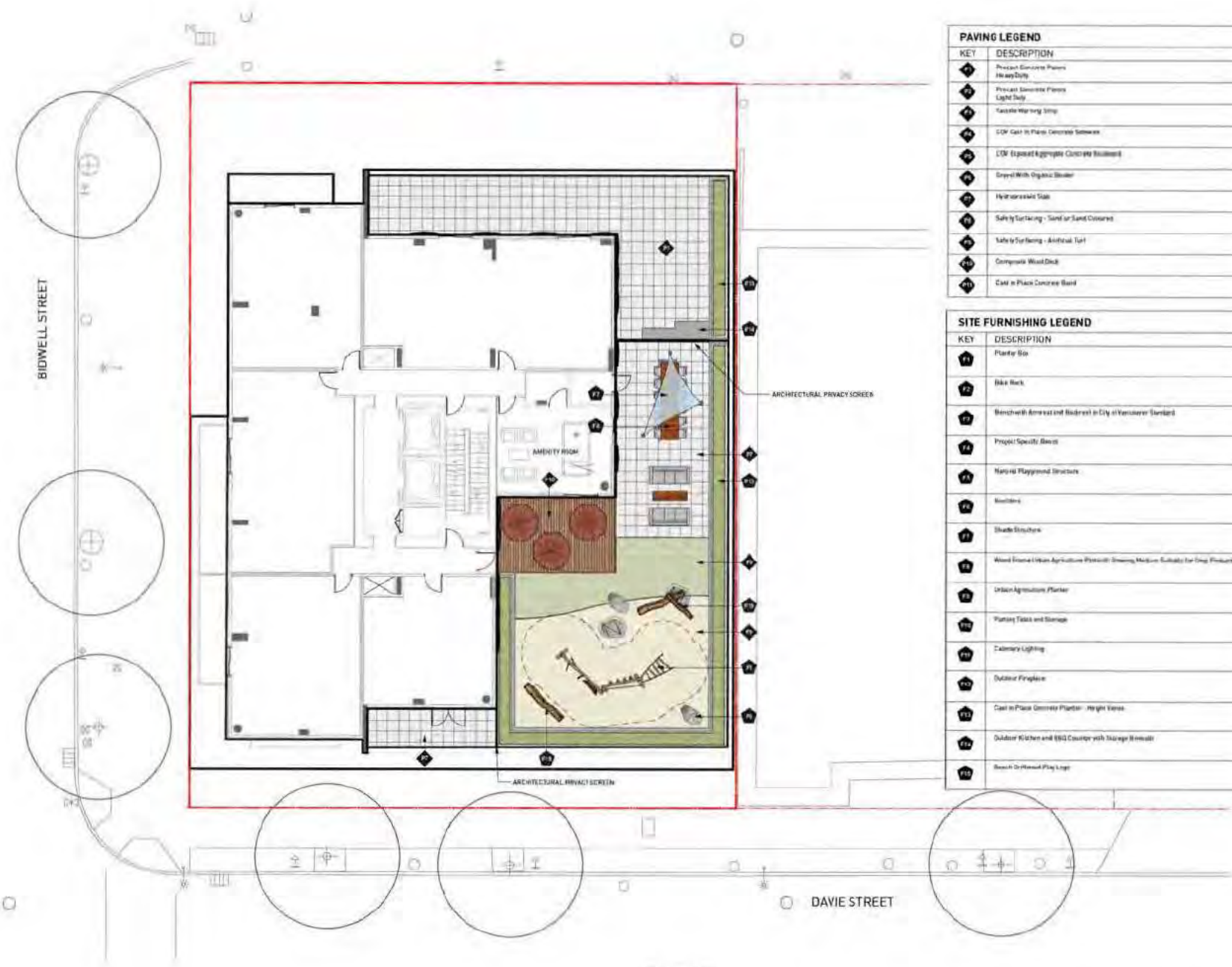
PROJECT
1170 Bidwell and
1675 Davie Street

Image Board

PROJECT NO.	11023
DATE	24/03/21
TITLE	11023 PLANS
DESIGNED BY	10-0-0
SCALE	1:100
DATE	18
DESIGNED BY	100

L0.02





PAVING LEGEND	
KEY	DESCRIPTION
	Precast Concrete Pavers Heavy Duty
	Precast Concrete Pavers Light Duty
	Concrete Wearing Strip
	Cast in Place Concrete Sidewalk
	Cast in Place Concrete Sidewalk
	Gravel With Organic Sluiter
	Hydraulic Seal
	Safety Surfacing - Sand or Sand Covered
	Safety Surfacing - Artificial Turf
	Composite Wood Deck
	Cast in Place Concrete Board

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
	Planter Box
	Bike Rack
	Bench with Armrest and Backrest in City of Vancouver Standard
	Project Specific Bench
	Native Playground Structure
	Sculpture
	Shade Structure
	Wood Frame Urban Agriculture Planter with Growing Medium Suitable for Drug Production
	Urban Agriculture Planter
	Planting Table and Storage
	Columnar Lighting
	Outdoor Fireplace
	Cast in Place Concrete Planter - Height Varies
	Outdoor Kitchen and BBQ Countertops Storage Bench with
	Bench in Place of Play Log



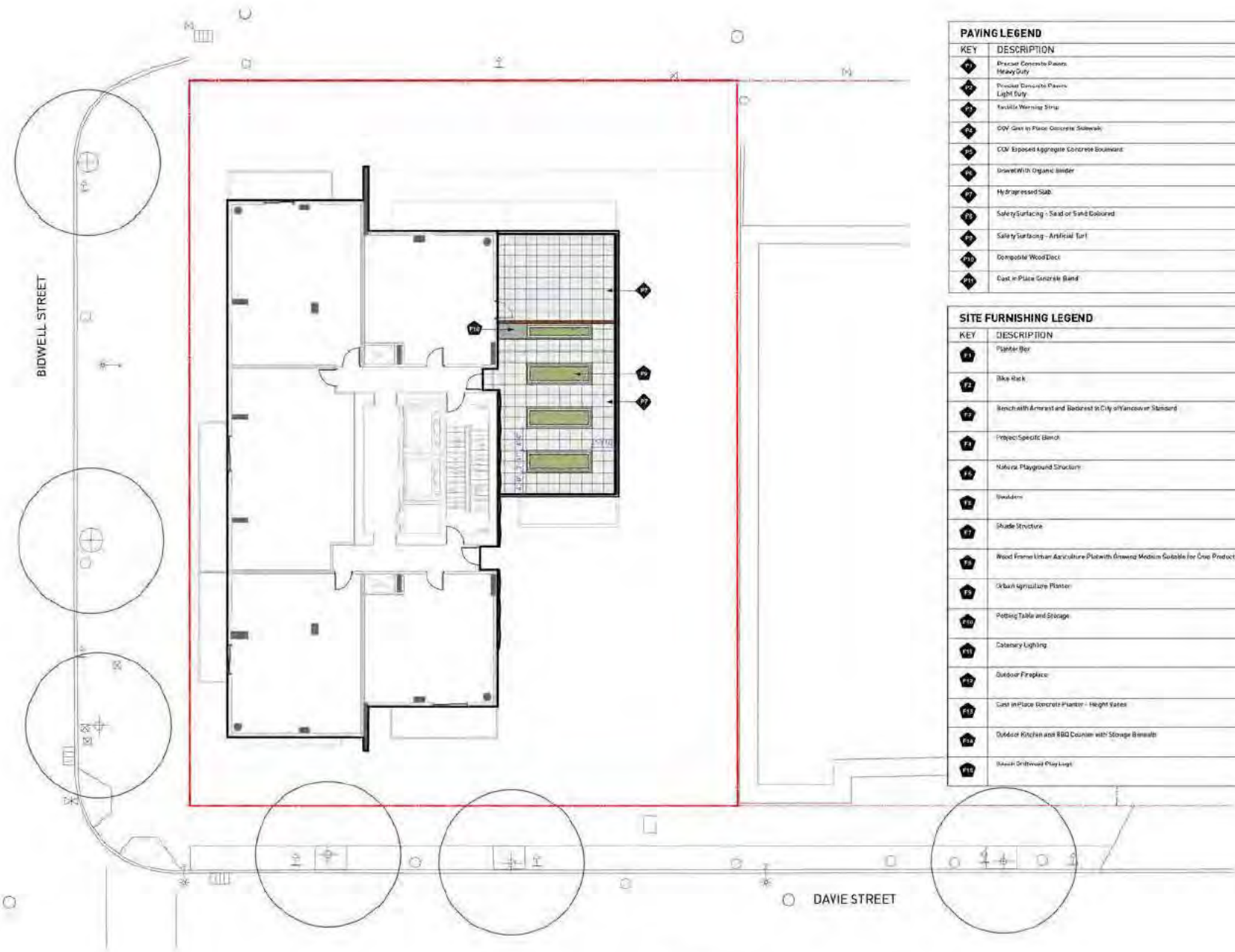
NO.	DATE	DESCRIPTION
1.	20160510	Initial Site Assessment
2.	20160510	Revised Site Assessment

1170 Bidwell and
1675 Davie Street

LANDSCAPE PLAN
LEVEL - 03

PROJECT NO.	11023
DATE	20160511
DESIGNER	15422.2 Planning
NOTES	15-0-4
SCALE	1:100
DESIGNER	15422.2 Planning

L1.01



PAVING LEGEND	
KEY	DESCRIPTION
P1	Precast Concrete Pavers Heavy Duty
P2	Precast Concrete Pavers Light Duty
P3	Textile Warning Strip
P4	GGV Grit to Place Concrete Sidewalk
P5	CCM Exposed Aggregate Concrete Sidewalk
P6	Gravel With Organic Binder
P7	Hydroseeded Sub
P8	Safety Surfacing - Seal or Sand Coloured
P9	Safety Surfacing - Artificial Turf
P10	Composite Wood Deck
P11	Cast in Place Concrete Band

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
F1	Planter Box
F2	Bike Rack
F3	Bench with Armrest and Backrest in City of Vancouver Standard
F4	Project Specific Bench
F5	Natural Playground Structure
F6	Shedding
F7	Shade Structure
F8	Wood Frame Urban Agriculture Plot with Growing Medium Suitable for Crop Production
F9	Urban Agriculture Planter
F10	Petting Table and Storage
F11	Catenary Lighting
F12	Outdoor Fireplace
F13	Cast in Place Concrete Planter - Height Varies
F14	Outdoor Kitchen and BBQ Counter with Storage Beneath
F15	Stacked Driftwood Play Log



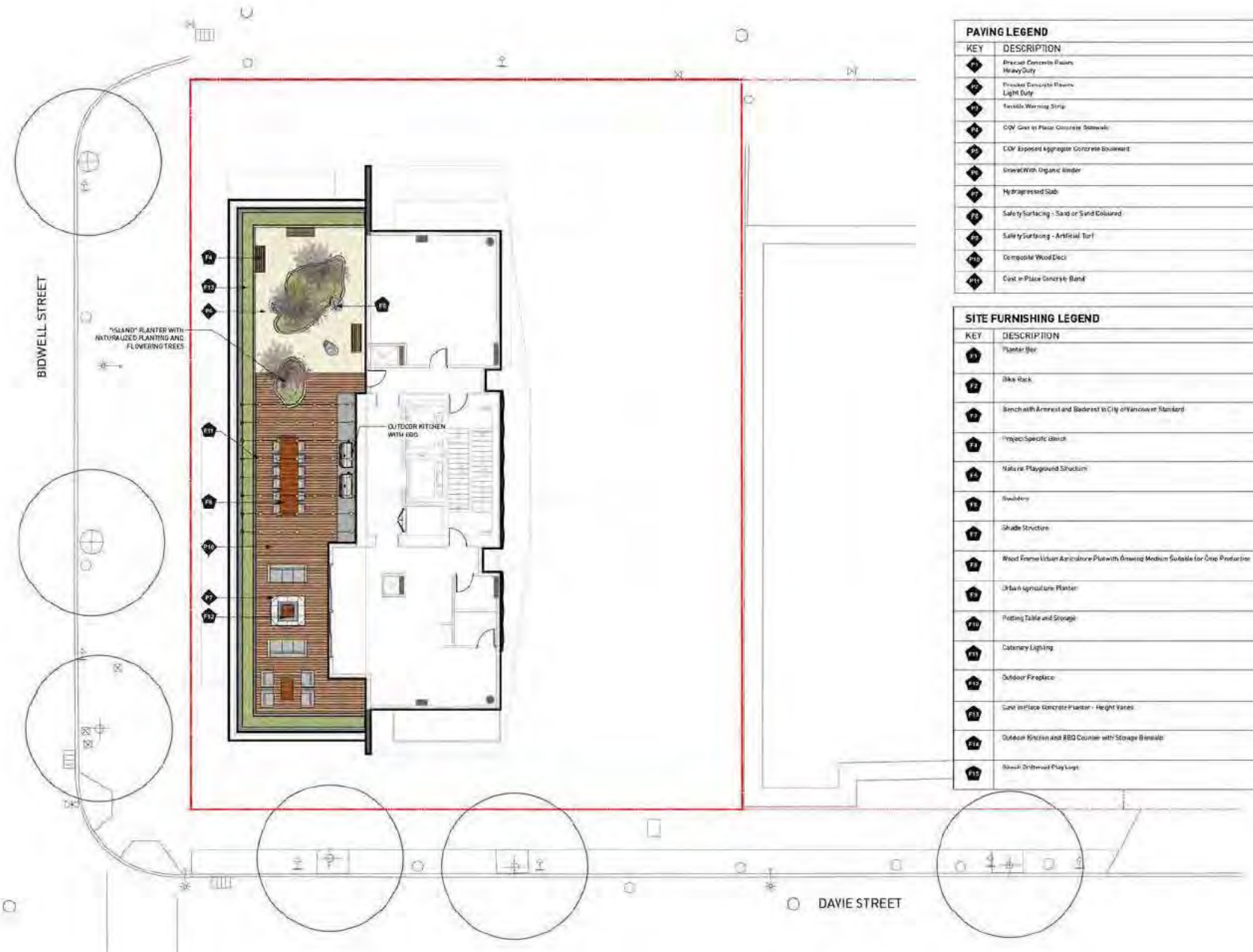
REVISION AND DATE	
NO.	DATE
1	2019/03/11
2	2019/03/20

1170 Bidwell and
1675 Davie Street

LANDSCAPE PLAN
Level -07

Scale: 1:100	North Arrow
PROJECT NO: L1023	DATE: 2019/03/11
DRAWN BY: 10023 PLANS	CHECKED BY: 11-0-4
DESIGNED BY: LS	REVIEWED BY: JMS

L1.02



PAVING LEGEND	
KEY	DESCRIPTION
P1	Precast Concrete Pavers Heavy Duty
P2	Precast Concrete Pavers Light Duty
P3	Taxiway Warning Strip
P4	COV Cast in Place Concrete Sawed
P5	COV Exposed Aggregate Concrete Sawed
P6	Gravel With Organic Binder
P7	Hydroseeded Sub
P8	Safety Surfacing - Sand or Sand Coloured
P9	Safety Surfacing - Artificial Turf
P10	Composite Wood Deck
P11	Cast in Place Concrete Band

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
F1	Planter Box
F2	Bike Rack
F3	Bench with Armrest and Backrest to City of Vancouver Standard
F4	Project Specific Object
F5	Natural Playground Structure
F6	Benches
F7	Shade Structure
F8	Wood Frame Urban Agriculture Plot with Growing Medium Suitable for Deep Production
F9	Urban Signature Planter
F10	Potting Table and Storage
F11	Catenary Lighting
F12	Outdoor Fireplace
F13	Cast in Place Concrete Planter - Height Varies
F14	Outdoor Kitchen and BBQ Counter with Storage Benches
F15	Swing Driftwood Play Log



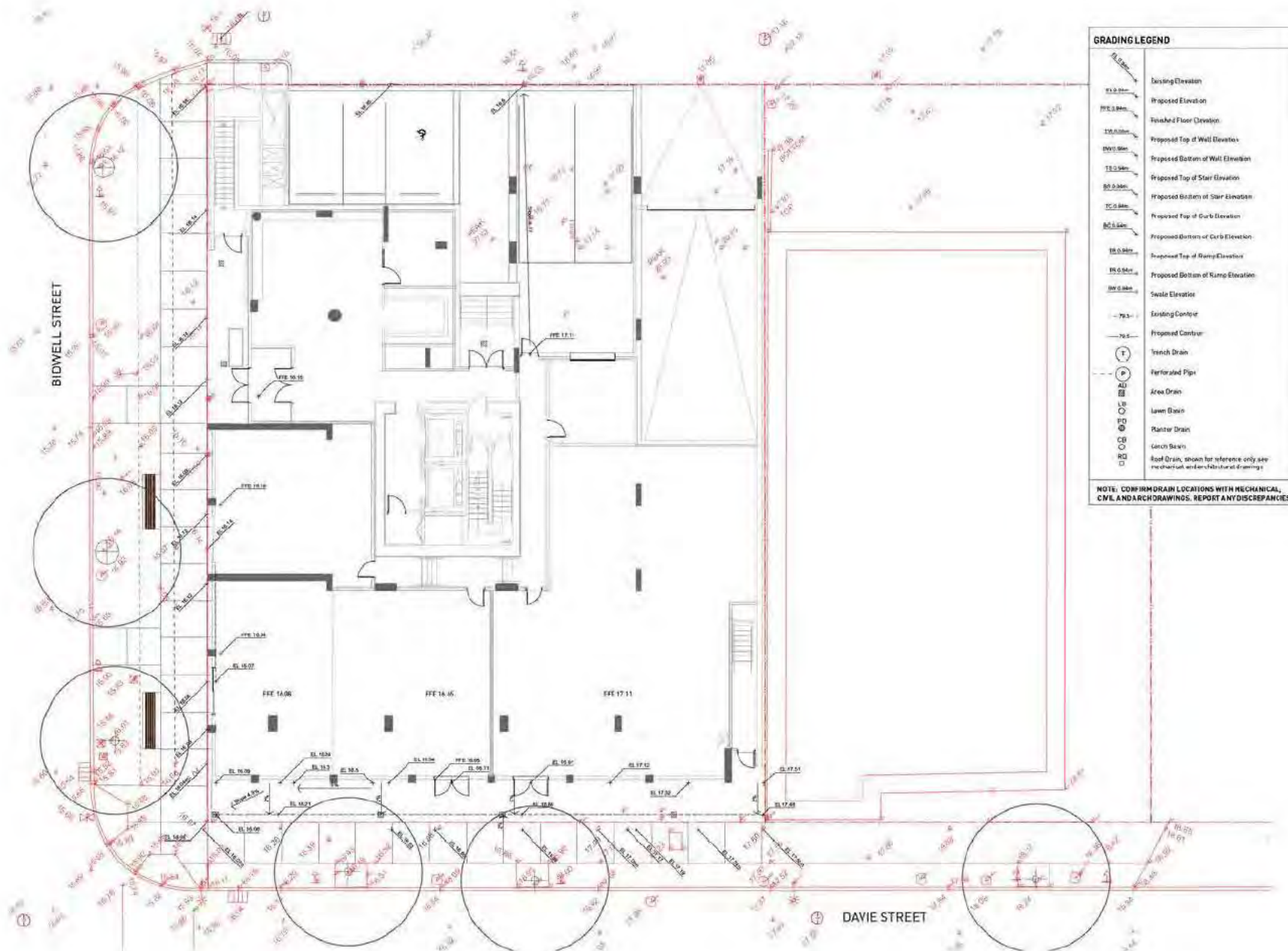
REVISIONS AND DATES		
NO.	DATE	REVISION
1	20190305	Revised for Review with City
2	20190305	Designation of Design Approval

1170 Bidwell and
1675 Davie Street

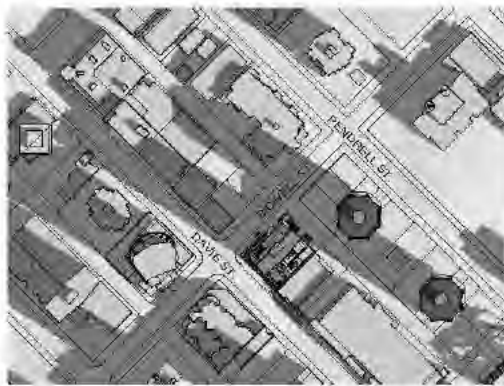
LANDSCAPE PLAN
Level -22

Scale	1:100
PROJECT NO.	11002
DATE	20190305
TITLE BLOCK	19022 PAVEMENT
PROJECT	11-0-0
DESIGNER	LS
REVISION	001

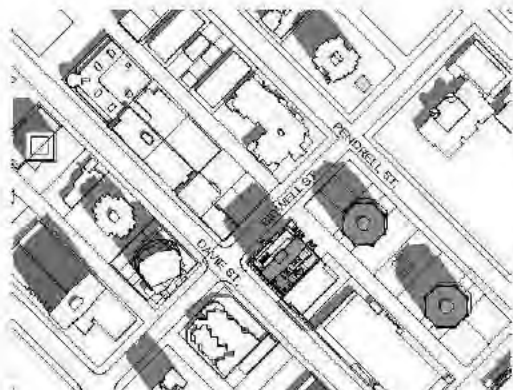
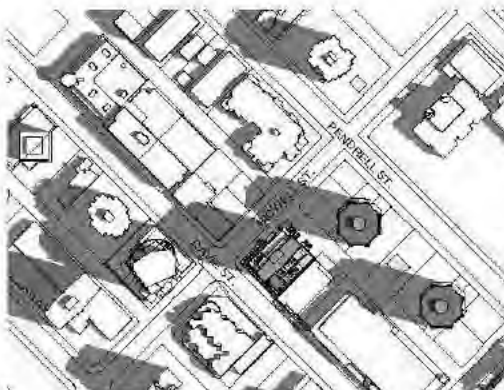
L1.03



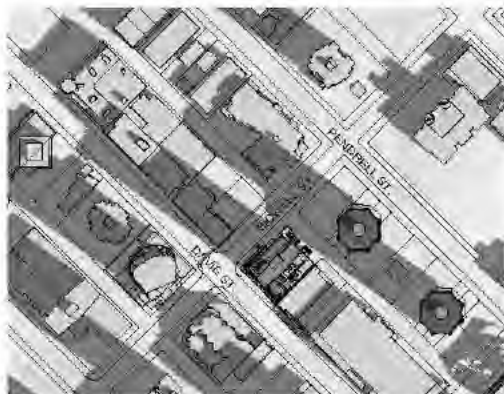
MARCH



JUNE



SEPT

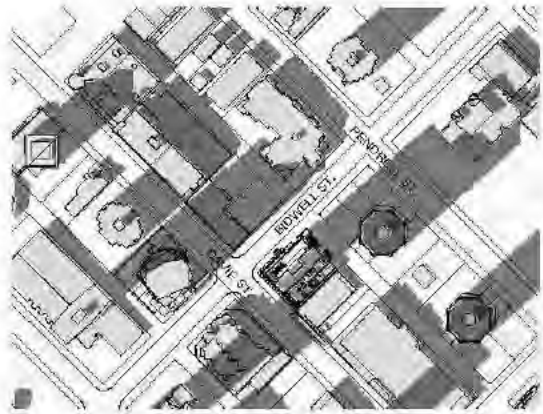
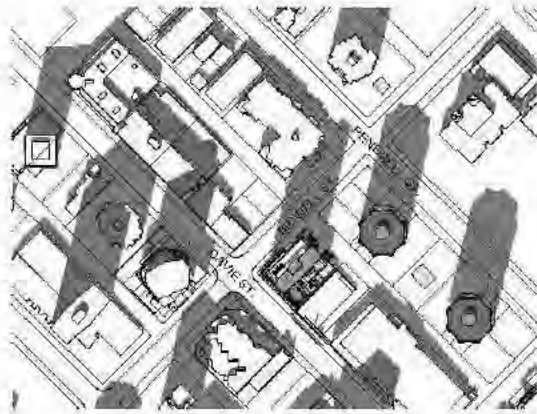


10 AM

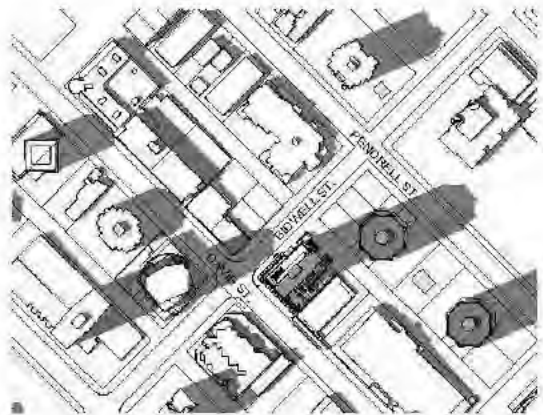
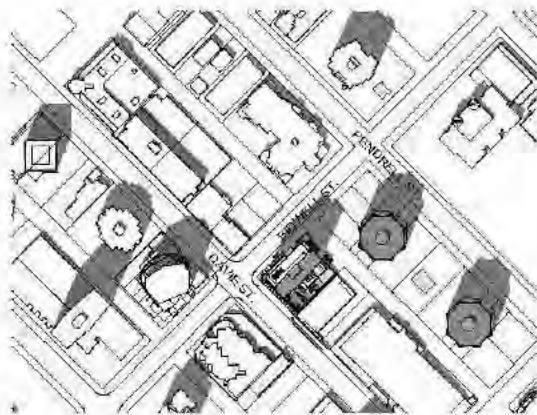
12 PM

Figure 1: Shadow Study

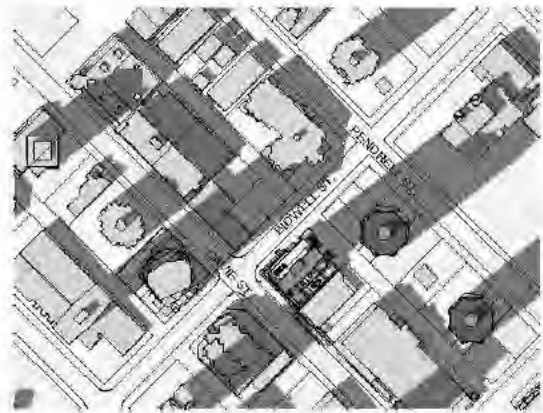
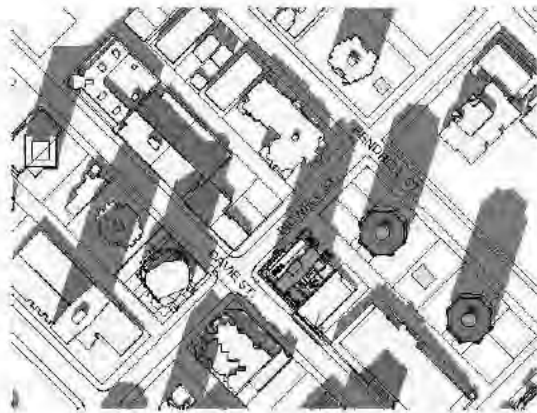
MARCH



JUNE



SEPT



2 PM

4 PM



VIEW IMPACT STUDY 1

1616 PENDRELL STREET
TOWER 1

VIEW SHED: 120°
VIEW HEIGHT: 19th STOREY (Top Floor)
INCREMENTAL VIEW IMPACT: 18°, 16%





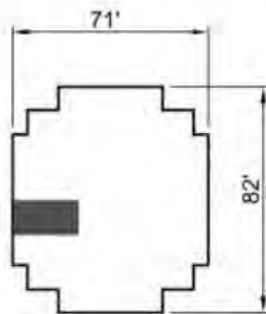
VIEW IMPACT STUDY 2

1616 PENDRELL STREET
TOWER 2

VIEW SHED: 120°
VIEW HEIGHT: 19th STOREY (Top Floor)
INCREMENTAL VIEW IMPACT: 14°, 12%



View Angles from Tower at 1175 Broughton Street (Millennium Tower)



- View Blockage
- Existing View Blockage
- View Shed
- Proposed Building

Floor Plate Area*: 474 m² (5100ft²)

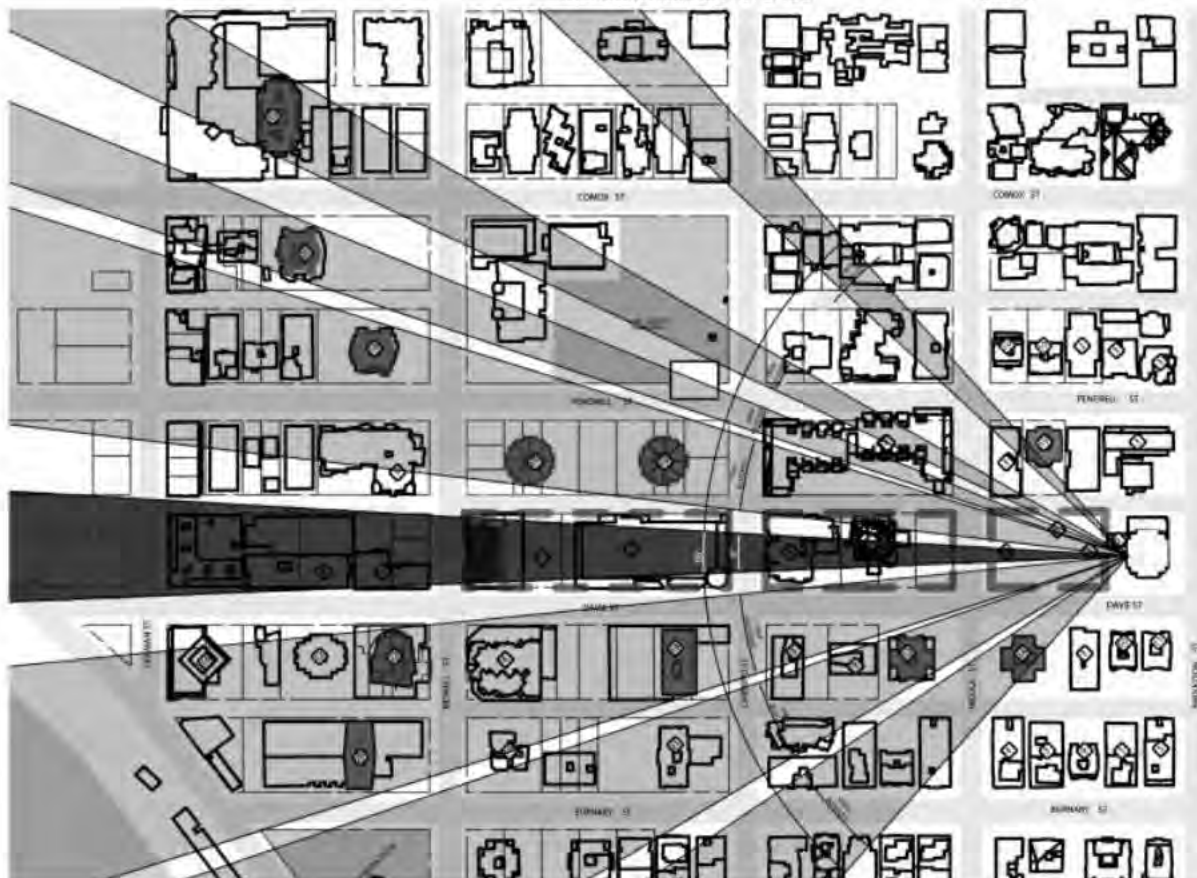
*May include extensions not indicated in drawings

Stories: 9

VIEW BLOCKAGE

Observation height:	8 Storey
Current view	96 degrees
Current View blockage	65.6%
Proposed view blockage:	<u>71.9%</u>

Incremental difference 6.3 %



Sent from my iPhone

From: "Singh, Sandra" <Sandra.Singh@vancouver.ca>
To: "Jon Stovell" <jons@relianceproperties.ca>
"Gillman, Andrea" <Andrea.Gillman@vancouver.ca>
Date: 2/14/2020 1:37:26 PM
Subject: RE: [EXTERNAL] Davie and Bidwell - Tenants s.22(1) Only -
All other Tenants settled.

Hi Jon,

I have some follow-up questions. Can you pls give me a call? s.15(1)(l)

Thanks,

Sandra

From: Jon Stovell [mailto:jons@relianceproperties.ca]
Sent: Friday, February 14, 2020 12:28 PM
To: Singh, Sandra; Gillman, Andrea
Subject: [EXTERNAL] Davie and Bidwell - Tenants s.22(1) Only - All other Tenants settled.

Hi Sandra

Subject to written acceptance of the below and attached from the City we will be offering to the above Tenants on a confidential non disclosure basis the choices set out on the attached spreadsheets.

We will keep the suites at 1847 Barclay and Bidwell available until Monday February 24th. on a first come first serve basis.

We make this offer to the Tenants on the following conditions for the City of Vancouver:

(a) Staff will immediately report to Council that this offer has occurred and that staff takes the position that the spirit of the

TRP and Housing Agreement has now been met. This will be the case even if the tenants do not accept the offer and the City will make no further request for the offer to change.

(b) Staff will now inform the Tenants of our pending offer and advise the Tenants that that in the opinion of staff the spirit of the TRP and Housing Agreement has now been met and that this has been reported to Council.

(c) Staff will write us a letter as a follow up to the previous letter thanking us for responding to the concerns of the Tenants and the City and that the spirit of the Housing Agreement has now been met and that this has been reported to Council.

(d) If requested by Reliance the City will issue a press statement confirming the above.

(e) The city will not request of us to make any further accommodation to any other past Tenants of 1170 Bidwell. Nor will the City assert to any party that the spirit of the TRP and Housing Agreement is not met with respect to any other previous Tenants of 1170 Bidwell.

Pease note in two of the three cases our offer is below the CMHC average for the each of the options.

In the case of **s.22(1)** the 1188 Bidwell option is more than the CMHC average for a Studio as we do not have studios at 1188 Bidwell.

If the Tenants wish to go to the West end but can not afford the rent at 1188 Bidwell they can move to 1847 Barclay at the same rent they are currently paying at **s.22(1)** pursuant to the above deadlines.

We will also be requiring that the Tenants agree to not sublet their premises. This is permitted by the Residential Tenancy Act for a non fixed term Tenancy.

Kind regards.

--


JON STOVELL PRESIDENT

305 - 111 WATER STREET
VANCOUVER, BC CANADA V6B 1A7
D [604 694 8896](tel:6046948896) F [604 683 6719](tel:6046836719)
RELIANCEPROPERTIES.CA

--

Error! Filename not specified.

JON STOVELL PRESIDENT

305 - 111 WATER STREET
VANCOUVER, BC CANADA V6B 1A7
D [604 694 8896](tel:6046948896) F [604 683 6719](tel:6046836719)
RELIANCEPROPERTIES.CA

--

JON STOVELL PRESIDENT

305 - 111 WATER STREET
VANCOUVER, BC CANADA V6B 1A7
D [604 694 8896](tel:6046948896) F [604 683 6719](tel:6046836719)
RELIANCEPROPERTIES.CA

From: "Gillman, Andrea" <Andrea.Gillman@vancouver.ca>
To: "Juan Pereira" <juanp@relianceproperties.ca>
"Jon Stovell" <jons@relianceproperties.ca>
"Naundorf, Daniel" <daniel.naundorf@vancouver.ca>
CC: "Jonathan Lim" <jonathanl@relianceproperties.ca>
"Queenie Larson" <queeniel@relianceproperties.ca>
Date: 1/13/2020 4:21:39 PM
Subject: RE: [EXTERNAL] Fwd: 1188 Bidwell: Tenant Relocation Broken Faith

Please let me know when you are available. I've just left you a voice mail now on your direct line.
Andrea

From: Juan Pereira [mailto:juanp@relianceproperties.ca]
Sent: Monday, January 13, 2020 4:20 PM
To: Gillman, Andrea; Jon Stovell; Naundorf, Daniel
Cc: Jonathan Lim; Queenie Larson
Subject: RE: [EXTERNAL] Fwd: 1188 Bidwell: Tenant Relocation Broken Faith

When?



JUAN G. PEREIRA PROJECT MANAGER

From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]
Sent: Monday, January 13, 2020 4:07 PM
To: Jon Stovell; Naundorf, Daniel
Cc: Juan Pereira; Jonathan Lim; Queenie Larson
Subject: RE: [EXTERNAL] Fwd: 1188 Bidwell: Tenant Relocation Broken Faith

Hi Jon,

Thanks for your note, and glad you were able to connect with Sandra and Sadhu on this urgent issue.

Both **s.22(1)** and **s.22(1)** have reached out directly to Sandra. I'll connect with Juan to get the updates on the 2 tenants you've referenced below.

Andrea

From: Jon Stovell [mailto:jons@relianceproperties.ca]
Sent: Monday, January 13, 2020 3:52 PM
To: Gillman, Andrea; Naundorf, Daniel
Cc: Juan Pereira; Jonathan Lim; Queenie Larson

Subject: [EXTERNAL] Fwd: 1188 Bidwell: Tenant Relocation Broken Faith

City of Vancouver Cybersecurity WARNING: This is an external email. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Andrea / Daniel

RE 1188 Bidwell.

FYI below.

I just spoke to Sadhu and Sandra on this.

Can you provide the names of the other Tenants that wrote in yesterday so we can convey the same message.

One Tenant agreed on Friday and we are in the process with finalizing with another.

Kind regards.

Jon Stovell

----- Forwarded message -----

From: **Jon Stovell** <jons@relianceproperties.ca>

Date: Mon, Jan 13, 2020 at 3:14 PM

Subject: Re: 1188 Bidwell: Tenant Relocation Broken Faith

To: **s.22(1)**

Cc: Jonathan Lim <JonathanL@relianceproperties.ca>, Juan Pereira <juanp@relianceproperties.ca>

Hi

s.22(1)

Thanks for your email.

We appreciate you making your position clear.

It was never our intention to provide you with discounted rents indefinitely as you seem to be proposing.

Together with what you have already received by way of discounts at s.22(1) and the value of your potential discount for the next two years at either s.22(1) of 1188 Bidwell, you have received and available compensation of close to \$60,000.00 or five years rent at your current rate.

You agreed in writing to move out of s.22(1) at the end of construction of 1188 Bidwell.

The TRP for 1188 Bidwell said that you could move back to 1188 Bidwell at the same (old) rent for two years.

For now, however, we suggest we agree to disagree on the meaning and intent of the documents we issued and the documents you signed.

In order to reduce your immediate concerns we can commit at this time to taking no action with respect to your Tenancy at s.22(1) for a period to the end of February during which time we will conduct further review of the situation and come back to you with a proposed way to resolve the situation.

Kind regards.

Jon Stovell
President
Reliance Properties

On Mon, Jan 13, 2020 at 2:41 PM s.22(1) wrote:

Hello Jonathan and Juan of Reliance Properties,

s.22(1)

s.22(1)

Sincerely,

s.22(1)

--
Error! Filename not specified.

JON STOVELL PRESIDENT

305 - 111 WATER STREET
VANCOUVER, BC CANADA V6B 1A7
D [604 694 8896](tel:6046948896) F [604 683 6719](tel:6046836719)
RELIANCEPROPERTIES.CA



JON STOVELL PRESIDENT

305 - 111 WATER STREET
VANCOUVER, BC CANADA V6B 1A7

D 604 694 8896 F 604 683 6719
RELIANCEPROPERTIES.CA

From: ["Ellis, Sarah" <Sarah.Ellis@vancouver.ca>](mailto:Sarah.Ellis@vancouver.ca)
To: ["Renter Office" <RenterOffice@vancouver.ca>](mailto:RenterOffice@vancouver.ca)
["Naundorf, Daniel" <daniel.naundorf@vancouver.ca>](mailto:daniel.naundorf@vancouver.ca)
CC: ["Gillman, Andrea" <Andrea.Gillman@vancouver.ca>](mailto:Andrea.Gillman@vancouver.ca)
Date: 11/14/2019 6:17:34 PM
Subject: RE: 1188 Bidwell - DE419087

Hi David - I am probably not the right person for this particular case; I recall I was involved with the TRP at the end when the situation with the final 2 tenants escalated and required additional support and involvement from Abi and Andrea, but I didn't work on the TRP for the other tenants. That said I am happy to help with creating responses to any policy issues. Copying Andrea so she is in the loop.

Sarah

From: Renter Office
Sent: Thursday, November 14, 2019 5:24 PM
To: Naundorf, Daniel
Cc: Ellis, Sarah
Subject: RE: 1188 Bidwell - DE419087

Hi Daniel,

Thanks for pulling together all of that information.

Hi Sarah,

Would you be able to comment on this case and/or reach out to the tenants to advise them of next steps? I feel as if you could speak to it better than I could in case they have additional questions.

Thanks,

David

From: Naundorf, Daniel
Sent: Thursday, November 14, 2019 2:45 PM
To: Renter Office
Cc: Ellis, Sarah
Subject: FW: 1188 Bidwell - DE419087
Importance: High

Found the TRP
Filed in VanDocs under their DE number...

From page 6 of the TRP

Right of first refusal to
move back into an
equivalent/similar unit in
the New Building, upon

completion, for the same rent amount during a two (2) years term as stated on communication to tenants dated April 28th, 2016.

Current offered conditions are deemed to be better due to current rents being low and new building ones are to be significant higher.

This does NOT mean that the landlord can increase the rent beyond the allowable RTA % allowable year over year increase following 2 years ~~the~~ discount remains, plus allowable RTA increases AFTER 2 years.

From: LeBreton, Wendy
Sent: Monday, September 19, 2016 11:55 AM
To: Naundorf, Daniel
Subject: RE: 1188 Bidwell - DE419087
Importance: High

Hi Daniel,

Regarding Juan's email. I've saved that big file into Vandocs and attached the link here for you.

Regarding TIMING:

They submitted their prior-to response INCOMPLETE back in February. At this time I told them it was incomplete (without the TRP materials that you require) and would not be circulating. 4 weeks later, I agreed to circulate the drawings as a courtesy. I have done that and received comments back from staff.

The typical turnaround time for prior-to response reviews is 2 weeks.

s.13(1)

Call if you'd like to discuss,

Cheers!
Wendy

Wendy LeBreton MES | Project Facilitator II | City of Vancouver
t | 604.871.6796 e | wendy.lebreton @ vancouver.ca

From: Juan Pereira [mailto:juanp@relianceproperties.ca]
Sent: Friday, September 16, 2016 6:15 PM

To: LeBreton, Wendy
Cc: Black, Sainen; Jon Stovell; Lynn Luong; Naundorf, Daniel; Adrian Politano; Charlotte Li
Subject: RE: 1188 Bidwell - DE419087
Importance: High

Wendy,

Please discard previously distributed file.

I had missed to include first notification to Tenants dated June 10th, 2015 and I rather have them included in the package.

Please let me know your feedback,
Thanks,



JUAN G. PEREIRA PROJECT MANAGER

From: Juan Pereira [mailto:juanp@relianceproperties.ca]
Sent: Friday, September 16, 2016 6:00 PM
To: 'LeBreton, Wendy'
Cc: 'Black, Sainen'; Jon Stovell; Lynn Luong; 'Naundorf, Daniel'; 'Adrian Politano (APolitano@dialogdesign.ca)'
Subject: RE: 1188 Bidwell - DE419087
Importance: High

Wendy,

Please find attached PDF file compiling Tenant Relocation Plan information.

We have included in the package:

- ☐ Tenant Relocation Form (revised from previously submitted along with original application) (1.6).
- ☐ Explanation of Eligible ☐non Eligible Tenants (supporting rent roll information) (1.6 & A1.18).
- ☐ Statutory Declaration demonstrating provided notification to eligible Tenants (1.7).
- ☐ Notification to Tenants outlining proposed Tenant Relocation Plan (1.8).
- ☐ Previous notification to Tenants (1.8).
- ☐ Letter with summary of current Eligible Tenants.(A1.18).

Please review as appropriate and confirm need of hardcopy submission (if applicable ☐outline original documents requirement).

Thanks,



JUAN G. PEREIRA PROJECT MANAGER

From: LeBreton, Wendy [<mailto:Wendy.Lebreton@vancouver.ca>]
Sent: Tuesday, September 6, 2016 10:47 AM
To: 'Juan G. Pereira'
Cc: Black, Sailen; 'Jon Stovell'; 'Lynn Luong'; Naundorf, Daniel; Adrian Politano (APolitano@dialogdesign.ca)
Subject: RE: 1188 Bidwell - DE419087

Juan,

You mentioned below that you have all the materials required for conditions 1.6,7,8,18. Can you please email to me asap? I will respond with staff comments on the prior-to drawings.

Cheers,
Wendy

Wendy LeBreton MES | Project Facilitator II | City of Vancouver
t | 604.871.6796 e | [wendy.lebreton @ vancouver.ca](mailto:wendy.lebreton@vancouver.ca)

From: LeBreton, Wendy
Sent: Monday, August 15, 2016 12:11 PM
To: 'Juan G. Pereira'
Cc: Black, Sailen; Jon Stovell; Lynn Luong; Naundorf, Daniel
Subject: RE: 1188 Bidwell - DE419087

Hi Juan,

Once you have submitted your outstanding prior-to response materials, I will circulate to the appropriate staff. These items will not be cleared until I receive confirmation from staff.

Similarly, I have collected comments and outstanding conditions from staff on the drawings that you submitted back in February (including communication w/ Sailen). Once I receive the outstanding prior-to response materials noted above, I will send you staff comments on the drawings.

To answer your question: yes, City Law dept has received instructions to draft legal agreements.

Heritage requirement is the same as all other prior-to conditions: this must be cleared before the DP can be issued.

Cheers,
Wendy

Wendy LeBreton MES | Project Facilitator II | City of Vancouver
t | 604.871.6796 e | [wendy.lebreton @ vancouver.ca](mailto:wendy.lebreton@vancouver.ca)

From: Juan G. Pereira [<mailto:juanp@relianceproperties.ca>]
Sent: Thursday, August 11, 2016 10:17 AM
To: LeBreton, Wendy
Cc: Black, Sailen; Jon Stovell; Lynn Luong

Subject: 1188 Bidwell - DE419087

Hi Wendy,

We are currently getting to clear all additional requirements from Prior to letter apart from already submitted Plan package.

Status/Comments and questions as follows:

- 1.5, A2.1, A2.2, A2.3:

Has Law Dept. received confirmation from Engineering and Planning to finalize agreements with our Solicitor? Are you aware of current status?

- 1.6, 1.7, 1.8, A1.18:

Complete. Let me know how you want this information to be submitted. I can PDF all info and send it in advance and originals to follow.

- A1.1:

Complete. Let me know if this information has come to you or you need anything from our end. We followed this process up with Sailen at that time.

- A1.2:

In progress. We are finalizing remainder of Heritage Density acquisition. Let me know how critical this is compared to other outlined requirements and if it could follow to the end.

- A2.7:

Please confirm if this has been addressed. If not, please provide us with necessary form and requirements.

Please let me know if you see any other outstanding items non included on above list.

We appreciate you had advanced the review process. Sailen has confirmed no outstanding concerns are in place and all responses have addressed requirement intent.


I appreciate your input to resume and make the last push to get this finalized.

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

From: "Gillman, Andrea" <Andrea.Gillman@vancouver.ca>
To: "Juan Pereira" <juanp@relianceproperties.ca>
CC: "Jonathan Lim" <jonathanl@relianceproperties.ca>
"Naundorf, Daniel" <daniel.naundorf@vancouver.ca>
"Lynn Luong" <lynnl@relianceproperties.ca>
"Jon Stovell" <jons@relianceproperties.ca>
"Mauboules, Celine" <celine.mauboules@vancouver.ca>
"Singh, Sandra" <Sandra.Singh@vancouver.ca>
Date: 2/3/2020 1:13:18 PM
Subject: RE: 1188 Bidwell - update

Hi Juan,

Thank you for submitting the final Tenant Relocation Report along with the detailed correspondence that was included. We have now completed our review of the documents and are able to clear our hold related to the final Tenant Relocation Report. I understand from the Occupancy Clerk, that there are still outstanding holds/requirements to work through prior to permit issuance. As none of the original tenants will be returning to 1188 Bidwell as per the documentation provided, I do hope that you will be able to work out an amicable solution with them regarding their tenancies at **s.22(1)** .

In addition I have reviewed the Insurance requirements outlined in your Housing Agreement and the documents you submitted on January 23rd, and can confirm these are all in order.
Andrea

Andrea Gillman MCIP, RPP
Senior Housing Planner
Affordable Housing Programs
City of Vancouver
T: 604-873-7437

From: Juan Pereira [mailto:juanp@relianceproperties.ca]
Sent: Tuesday, January 14, 2020 7:23 PM
To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - update
Importance: High

Andrea,

As discussed yesterday please find attached final TRP report for 1188 Bidwell St, accounting for all updates received from Tenants (shared already with you under separate covers) in relation to our deadline of January 13th, 2020 on Right of First Refusal for moving into 1188 Bidwell St and other given options to the Tenants.

Please confirm to us this suffices your requirement to clear OP as briefly outlined yesterday by you

over the phone.

We trust this closes our TRP obligations while we continue proactively to resolve unforeseen conditions that led creating false expectations far beyond our extended TRP offers and options available to Tenants under this Market Rental Project.

Let me know if you have further questions and do not hesitate to call me if any further clarification.

Thanks,



JUAN G. PEREIRA PROJECT MANAGER

305 - 111 WATER STREET
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From: "Gillman, Andrea" <Andrea.Gillman@vancouver.ca>
To: "Juan Pereira" <juanp@relianceproperties.ca>
Date: 1/29/2020 4:33:33 PM
Subject: RE: 1188 Bidwell - update

Hi Juan,

One additional question I had intended to add into the email below is with respect to the tenancies at s.22(1). Has Reliance yet determined what they intend to put forward to the tenants in an effort to resolve the situation?

Thanks.

Andrea

From: Gillman, Andrea
Sent: Wednesday, January 29, 2020 3:59 PM
To: 'Juan Pereira'
Subject: RE: 1188 Bidwell - update

Hi Juan,

I have a quick clarifying questions on the TRP report. Under unit s.22(1), it looks like his rent was \$1,091, but under the Tenant Relocation summary, he was given \$1998 which is not quite a full 2 months' rent.

Are you able to comment on why the minor discrepancy?

Thanks.

Andrea

From: Juan Pereira [mailto:juanp@relianceproperties.ca]
Sent: Tuesday, January 14, 2020 7:23 PM
To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - update
Importance: High

Andrea,

As discussed yesterday please find attached final TRP report for 1188 Bidwell St, accounting for all updates received from Tenants (shared already with you under separate covers) in relation to our deadline of January 13th, 2020 on Right of First Refusal for moving into 1188 Bidwell St and other given options to the Tenants.

Please confirm to us this suffices your requirement to clear OP as briefly outlined yesterday by you over the phone.

We trust this closes our TRP obligations while we continue proactively to resolve unforeseen conditions that led creating false expectations far beyond our extended TRP offers and options available to Tenants under this Market Rental Project.

Let me know if you have further questions and do not hesitate to call me if any further clarification.

Thanks,



JUAN G. PEREIRA PROJECT MANAGER

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From: Juan Pereira [mailto:juanp@relianceproperties.ca]
Sent: Friday, January 10, 2020 6:29 PM
To: 'Gillman, Andrea'
Cc: 'Jonathan Lim'; 'Naundorf, Daniel'; 'Lynn Luong'; 'Jon Stovell'; 'Bond, Abigail'
Subject: RE: 1188 Bidwell - update
Importance: High

Andrea,

Week is gone and was positively expecting to hear from you.

As an update, one Tenant in one of our buildings **s.22(1)** went for option C with signed agreement in place.

Option C: Remain at current units owned by Reliance Properties at old rent-rate for two additional years. Summarized as follows:

- Sign a new tenancy agreement at market rent
- Like Option A, tenants are obligated to pay the new rate, however for two years, Reliance will pay the difference between the old rate and new rate in the form of a monthly cheque sent to each tenant.
- Rates are subject to annual increases allowed under the Residential Tenancy Act

For the other Tenants, a reminder was sent today outlining as follows:

This correspondence serves as a reminder that Reliance requires your decision as to which of the below options you will select by 5:00PM on Monday, January 13, 2020; at which time the offers will expire. You are also free to decline Reliance's offers, which will end Reliance's obligations with respect to your future accommodation. Please kindly note that staying at current relocated suites at discounted rent in perpetuity is not an option available to tenants.

Once again and in light of any further clarification required we summarize options as follows:

Option A: Move into the newly built 1188 Bidwell at old rent-rate for two years

- Tenants sign a new agreement at current market rates. By signing a new agreement at market rent, tenants are protected if that rate jumps after two years.
- Tenants are obligated to pay the new rate, however for two years, Reliance will pay the difference between the old rate and new rate in the form of post-dated monthly cheques sent in advance to each tenant.
- Rates are subject to annual increases allowed under the Residential Tenancy Act

Option B: Move into newly built 1188 Bidwell at a 20% discount for the life of the tenancy

- Outside the approved Tenant Relocation Plan, Reliance has extended to eligible tenants the opportunity to move into 1188 Bidwell at 20% below market rent for the life of the tenancy.
- Subletting will not be permitted under this offer.
- Rates are subject to annual increases allowed under the Residential Tenancy Act

Option C: Remain at current units owned by Reliance Properties at old rent-rate for two additional years. This is like Option A but at different building(s)

- Sign a new tenancy agreement at market rent
- Like Option A, tenants are obligated to pay the new rate, however for two years, Reliance will pay the difference between the old rate and new rate in the form of a monthly cheque sent to each tenant.
- Rates are subject to annual increases allowed under the Residential Tenancy Act

If we don't formally hear from you as individual Tenant we will consider you to have declined these offers.

We look forward to hearing from you.

Once again we expect to receive your feedback in terms of the draft report which will be sent as final on Tuesday January 14th, 2020. Will remain communicating back and forth with Tenants as needed

Thanks,



RELIANCE
PROPERTIES

JUAN G. PEREIRA PROJECT MANAGER

305 - 111 WATER STREET
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From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]

Sent: Wednesday, January 8, 2020 3:57 PM

To: 'Gillman, Andrea'

Cc: 'Jonathan Lim'; 'Naundorf, Daniel'; 'Lynn Luong'; 'Jon Stovell'; 'Bond, Abigail'

Subject: RE: 1188 Bidwell - meeting

Hi Andrea,

Following up on this and whether you had the chance to review draft report.

Also, we would like to understand if any further back and forth has taken place with Tenants as to confirm from your end our actions are consistent with TRP aspirations and how far we have gone in terms of original approved TRP. We strive the importance on having the City to clarify our obligations and compliance with TRP.

Please advise,

Thanks,



JUAN G. PEREIRA PROJECT MANAGER

305 - 111 WATER STREET
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From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]

Sent: Monday, January 6, 2020 5:55 PM

To: 'Gillman, Andrea'

Cc: Jonathan Lim; 'Naundorf, Daniel'; Lynn Luong; Jon Stovell; 'Bond, Abigail'

Subject: RE: 1188 Bidwell - meeting

Importance: High

Hi Andrea,

Best in 2020!

As per our conversation back in December 19th, 2019 and as outlined in our summary, please find attached our Draft of the Tenant Relocation Report as of now for your review and comments.

At this point we haven't heard back any final direction from our offer and options to Tenants circulated via hardcopy and email (with extended timeline up to January 13th, 2020 at 5:00pm) apart

from a back and forth with **s.22(1)** at 1170 Bidwell St.) expressing concerns on the timeline, attached for your reference.

We are available to provide any further information and also to respond to Tenant enquiries as they come within this week.

Please let us know your feedback on the draft and we look forward to submitting final document once we received related confirmation.

Thanks,



JUAN G. PEREIRA PROJECT MANAGER

305 - 111 WATER STREET
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From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]

Sent: Thursday, December 19, 2019 6:18 PM

To: Gillman, Andrea

Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail

Subject: Re: 1188 Bidwell - meeting

Andrea,

Thanks,

To add to your last note not included in my summary:

- 4/5 TRP Tenants have units that are below the building average. These units are listed to them for under \$4/SF, while average rent per SF in the building is \$4.60/SF

- . Competing buildings such as Westbank's Pendrell and Larco's English Bay Residence is renting for higher rates. These buildings have higher rents per SF than what is being offered here and this info can be shared as needed.

- Also our rental chart shows the lower rents being offered to each relocated tenant (with exception of first rented suite that in our Market campaign was discounted).

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

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On Dec 19, 2019, at 5:59 PM, Gillman, Andrea <Andrea.Gillman@vancouver.ca> wrote:

Hi Juan,

Thanks for the summary below that is an accurate description of our conversation this afternoon. Again I am sure tenants will appreciate the extended timeline given how busy things can be at this time of the year. I just want to be clear we will be able to release the Housing hold upon review and acceptance of the final TRP report but there is potential that other holds will remain.

I will also note that as discussed tenants have commented to us that the full rent offered to them at Bidwell in some instances appears to be higher than like units. You have offered to share a rent sheet with tenants should they raise this issue with you.

Andrea

From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]

Sent: Thursday, December 19, 2019 5:26 PM

To: Gillman, Andrea

Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail

Subject: RE: 1188 Bidwell - meeting

Andrea,

As discussed in our conversation:

- ☐ Hardcopies of the letters for RFR have been already distributed to Tenants with deadline January 6th, 2020
- ☐ We will distribute tomorrow via email digital copies of the letters and outline and additional extension up to January 13th, 2020 5:00pm.
- ☐ We will distribute back to you the Draft of the Tenant Relocation Report with any pending information (confirmation by Tenants on their RFR) on January 6th, 2020 for your review/comments.
- ☐ Meantime during that week City will provide us with any comments on this draft report and we will submit final on January 13th or day after once we have full

feedback from Tenants.

- The City should then provide imminent release of the TRP for this project as to clear occupancy path.
- You have confirmed that no additional information will be required besides the report sheet as we have already provided wide range of information backing up this process for your Department as a record.

Please confirm,

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]
Sent: Thursday, December 19, 2019 4:26 PM
To: Juan Pereira
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

Thanks for your thoughts on this Juan,
I'll give you a call to discuss further, as I've received your voice mail and have a few follow up questions based on the repeated questions coming in from the tenants, beyond the extension of the deadline as previously noted by Daniel. I believe we have now heard from most of the potential returning tenants either by phone or email at this point, so they would all be aware of the City's position and the City's desire to see a stable tenancy option provided.

Andrea

From: Juan Pereira [mailto:juanp@relianceproperties.ca]
Sent: Thursday, December 19, 2019 4:32 PM
To: 'Naundorf, Daniel'; 'Gillman, Andrea'
Cc: Jonathan Lim; Lynn Luong; Jon Stovell; 'Bond, Abigail'
Subject: RE: 1188 Bidwell - meeting
Importance: High

Daniel,

On the other hand we are getting concerned about clearing our permit for occupancy, so looking at the big picture here if no holds are set from Housing Department based on our outlined advanced action we could relax another week up to Monday January 13th, 2020. Hardcopy Letters were already circulated, we could provide an extension via email distribution.

Going back in time we have been setting deadlines after deadlines and we trust had advanced efficient actions while waiting indefinitely for others to respond.

For the record October 18th sets our formal distribution for First Right of Refusal previously outlined as an intent communication letter circulated in September 1st, 2019.

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

From: Naundorf, Daniel [<mailto:daniel.naundorf@vancouver.ca>]
Sent: Thursday, December 19, 2019 3:10 PM
To: Juan Pereira; Gillman, Andrea
Cc: Jonathan Lim; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

We are getting calls from tenants who are very concerned about the limited time they have to consider/ evaluate the additional offer, given the timing of the holidays between now and January 6

The tenants are concerned that Jan 6 is insufficient time for them to evaluate the offer being made at this busy time of year.

Extending this deadline would be helpful to them.

From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]
Sent: Thursday, December 19, 2019 12:23 PM
To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting
Importance: High

Andrea,

We are circulating letters to Tenants now.

Certainly as expressed on our conference call, we feel this whole process requires proper notification from CoV to Tenants.

Constantly obligations/requirements by the Developer are outlined, however this is a City's initiative and having Tenants properly informed is part of the Public commitment (e.g. City's hosted Open Houses to clearly outline City's policies around a project). Instead of a passive/reactive position, Tenants should be outlined of the Developer's obligations at front by the City and we are positive this will be a lot more efficient and successful for all parties.

While City's position is ambiguous and non-consistent with accepted and legally bound TRP via Housing Agreement, there is this figure around of the "evil Developer" trying to take advantage of the situation; it is certainly frustrating when within our company's vision we are far beyond responding, offering options and superseding obligations; the response comes back in opposite direction having Tenants (City's ultimate objective)

frustrated, anxious and certainly armed trying to take advantage of the situation.

All of this without prejudice feeling there is room for improvement as to ensure efficient and successful processes that ultimate are in line of creating more housing options, mutual interest of all parties.

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

305 - 111 WATER STREET
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From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]
Sent: Wednesday, December 18, 2019 5:14 PM
To: Juan Pereira
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

Hi Juan,

We heard from a few of the tenants several weeks ago when they were concerned with the offer put forward to them and questioned if this met the Right of First Refusal as they understood it. Several tenants reached out to Daniel directly at this time.

The City will continue to communicate with tenants as they reach out to us, but do not intend to send a blanket letter to the tenants. I do believe this now gives the tenants a range of options and am confident they will reach out to us with any questions or concerns on their part after receiving the letter. We can reiterate to tenants at this time that this additional offer was the result of discussions between the City and Reliance to fulfil the terms of the TRP.

Thanks.

Andrea

From: Juan Pereira [mailto:juanp@relianceproperties.ca]
Sent: Wednesday, December 18, 2019 3:54 PM
To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

Andrea,

Appreciate your prompt feedback.

Just wondering if CoV is providing further clarification to the Tenants. As discussed there is no point on us trying to convince Tenants of something that is agreeable by the City if it doesn't come directly from the City. We had outlined in our conference call and in further correspondence this need and conscious of our committed actions and beyond approved TRP offers, the City has important role and action to guarantee success of the process. Please clarify/confirm what your position is and what further/completed actions informing Tenants are in place.

Meantime we will complete the report and distribute once we hear back from Tenants on their final right of first refusal actions along with correspondence as outlined on your form.

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

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From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]
Sent: Wednesday, December 18, 2019 3:37 PM
To: Juan Pereira
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

Thanks Juan,
This looks to be in alignment with what we've discussed. As for the final Tenant Relocation Report we will need you to complete the form found here.
<https://vancouver.ca/files/cov/tenant-relocation-report-2016.dot>

I believe we have the binder related to the initial tenant relocation which provides a detailed account of all communication between Reliance staff and tenants during the time.

Andrea

From: Juan Pereira [mailto:juanp@relianceproperties.ca]
Sent: Wednesday, December 18, 2019 2:31 PM
To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail

Subject: RE: 1188 Bidwell - meeting
Importance: High

Andrea,

Thanks for your provided feedback.

Attached a zip file with related letters for Tenants that have expressed intent to take the right of first refusal.

We intent to circulate these promptly and we are requesting response by January 6th, 2020 at 5:00pm.

Let us know if you have any further questions/comments.

I trust you can advance any related process in order to clear the final Tenant Relocation Plan for this project; let me know what you expect to see in the report apart from as circulated and we can compile and submit to you.

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

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From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]
Sent: Monday, December 16, 2019 12:34 PM
To: Juan Pereira
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

Hi Juan,

Thanks for providing the detailed summary below. I have read through all the documentation provided and we appreciate that Reliance has put something forward that will provide tenants with the option of a stable tenancy, rather than just a 2 year term.

If you are now able to communicate out these three options to the tenants who have indicated they wish to return to 1188 Bidwell, as you note below, it will be up to the individual tenants to determine how they wish to proceed. This should satisfy the intent

of the City's TRP policy as far as right of first refusal. Tenants can make an informed choice as to which option they prefer.

As far as s.22(1) is not taking up the offer of right of first refusal, we will leave these agreements between yourselves and the tenant and trust that you are acting in good faith.

If you can provide us with copies of the letters that will communicate out the three options to these tenants, I believe we will have what we need.
It is only the final Tenant Relocation Report that will be required as a next step to clear the Occupancy Hold. I am happy to meet to discuss further if you would like, but am not sure it is necessary at this stage.
Andrea

Andrea Gillman MCIP, RPP
Senior Housing Planner
Affordable Housing Programs
City of Vancouver
T: 604-873-7437

From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]
Sent: Thursday, December 12, 2019 2:17 PM
To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting
Importance: High

Andrea,

We confirm that we are working towards resolving this situation by providing options beyond our original approved TRP in light of finding a positive outcome; however, no matter what we do, this needs to be backed up as reasonable by the City of Vancouver and clearly communicated to the Tenants who unfortunately up to now feel we are finding a way around any stipulated obligation outlined in the TRP, far from our intention.

In this order of ideas we wanted to meet with you to clarify in fact actions and available options per Tenant.

As time is a sensitive matter here, please refer to below summary:

- ☐ Please note that s.22(1), originally at s.22(1) from 1170 Bidwell signed s.22(1) lease at market rent into a relocated suite provided/owned by Reliance Properties Ltd. where the offered limited TRP benefit of *accommodations as available at any of Reliance's portfolio nearby buildings, into an equivalent /similar unit as they were currently renting, for the same rent value during the term equivalent to the building construction* is being extended for two more years (commitment part of the project's TRP made available only if they were

moving into the new building – 1188 Bidwell St).

Refer to signed leased paperwork that includes previously shared second addendum to the lease where is clearly outlined the offered benefit – limited for two years.

It is in fact rewarding finding out that a Tenant clearly understands our obligation outlined several times in letters and that we are still contributing beyond them to a positive outcome.

- ☐ Please refer to attached PDF (5 pages) with options being offered for each of the remaining Tenants. This shows by Tenant the following scenarios:

Approved TRP offer relocating into 1188 Bidwell St. Right of first refusal to move back into an equivalent/similar unit in the New Building, upon completion, for the same rent amount (subject to increases as per the RTA) during a two (2) years term.

This option requires signing a lease at market rent with a proposed monthly credit for 24 months under a second addendum to the contract as per attached.

Further consideration to as discussed in our conference call, we made the decision to make this available to the Tenants: Match TRP current policies where Tenants have the right of first refusal to move back into 1188 Bidwell with 20% discount off starting market rent. This would be offered for the duration of the Tenancy to eligible Tenant, subject to increases as per RTA. Tenant won't be able to sublease the unit and benefits are exclusively to the eligible Tenant.

As offered to **s.22(1)**, we would allow Tenants to remain on current relocated suites provided/owned by Reliance Properties Ltd. where the offered limited TRP benefit of accommodations as available at any of Reliance's portfolio nearby buildings, into an equivalent /similar unit as they were currently renting, for the same rent value during the term equivalent to the building construction is being extended for two more years.

This option requires signing a lease at market rent with a proposed monthly credit for 24 months with a second addendum to the contract similar to as signed by **s.22(1)**

- ☐ Note options B and C are beyond as approved in our TRP.
- ☐ Note our approved TRP clearly denotes: *Current offered conditions are deemed to be better due to current rents being low and new building ones are to be significant higher.* Therefore it was disclosed at front the difference between current rent and anticipated market rents. We are facing the fact that Tenants had extremely low rent at the original building on suites offering limited benefits actually non comparable to what the new building offers responding to current market conditions, project budget and feasibility.
- ☐ We appreciate the fact that the City is looking into creating stable tenancies however it would be up to the Tenant to decide their needs; It is our believe that our original offer could be attractive for some Tenants as the needs change in time (e.g. a Tenant might wish to save for 24 months some money at front and

be able to get a down payment to get into owning a suite).

None of the proposed options contemplate the fact that a Tenant desires to stay at current relocated suite with current agreement under current discounted rent in perpetuity. Even the RTA has been adjusted after our TRP was approved (restricting fixed lease terms) there is a strong case that our offer is limited to the time of construction of the new building and it is part of their current lease agreement. If Tenant decides to refuse to offered A, B or C options and remain in the suite without action, they will receive a Notice to vacate their current suite; There are not only obligations on the TRP assigned to the Developer and the limitations to the offer are clear since day one. We will understand this position as the Tenant trying to take advantage of the situation and the provided Good Faith action by the Developer on this process and will submit an application for a Dispute Resolution to the Residential Tenancy Branch and process any Tenant's claim through Arbitration. We are positive that we have a fully supported case and certainly would like to safe both parties to go through the tortuous process and achieve a negative outcome after all effort made in this TRP. In addition, above action by Tenant provides a full disincentive on Developers offering relocation on owned buildings which also is contrary to TRP aspirations and sets a negative precedent for future projects.

As previously stated, it is not in our obligation to convince Tenants that our actions are consistent and go beyond the TRP, there is an important role to the City to provide the confidence to the Tenants on the fairness of the process. We trust City of Vancouver can do that in light of obtaining a successful TRP that is in all parties interest.

We appreciate your prompt feedback as we will be imminently communicating these options to the Tenants and trust you can comment before we proceed.

Let me know if any questions or if you want to meet as it is ideally preferred,

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

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From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]
Sent: Wednesday, December 11, 2019 3:00 PM
To: Juan Pereira
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong

Subject: RE: 1188 Bidwell - meeting

Thanks Juan,

I am just heading into meetings now, but appreciate you giving some further thought to what additional options you can provide to the tenants. Further to the 20% discount option, as per current City policy, I want to confirm that this would be offered in perpetuity for the duration of the tenancy, subject to increases as per the RTA. As you know from our conversation on Monday, creating stable tenancies is critical to fulfilling the offer of right of first refusal. Can you also give us an idea of what the current market rents are for the units being held for these folks?

Andrea

From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]

Sent: Wednesday, December 11, 2019 2:34 PM

To: Gillman, Andrea

Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong

Subject: RE: 1188 Bidwell - meeting

Importance: High

Andrea,

Just left a VM to you.

We have the figures with market rents per Tenant in current building locations to compare with our TRP scenario.

From accepted TRP for this project and further to our conversation we will be providing two additional options to the Tenants:

- Extended benefit of 2 years discounted rent from Market rent at current locations where the Market rents are lower or equivalent to 1188 (with suites larger than 1188).
- Match TRP current policies where Tenants have the right of first refusal to move back into 1188 Bidwell with 20% discount off starting market rent.

We want to present these options on the case by case basis and the best would be to have a Face to Face.

Can you accommodate a meeting this afternoon around 4:00pm?

Please confirm,

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]
Sent: Monday, December 9, 2019 3:35 PM
To: Juan Pereira
Cc: Jonathan Lim; Jon Stovell; Naundorf, Daniel; Lynn Luong;
queeniel@relianceproperties.ca; Bond, Abigail
Subject: Re: 1188 Bidwell conference call

Apologies we are dialing back in after we lost the call.
Andrea

Sent from my iPhone

On Dec 9, 2019, at 3:14 PM, Juan Pereira <juanp@relianceproperties.ca> wrote:

Andrea,
We are on the conference now waiting for you to join.

Thanks,

|

JUAN G. PEREIRA PROJECT MANAGER

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On Dec 9, 2019, at 3:08 PM, Gillman, Andrea
<Andrea.Gillman@vancouver.ca> wrote:

As per my discussion with Queenie at 3 p.m. this
afternoon, we will connect with you shortly.
Thanks.
Andrea

Dial **s.15(1)(l)** Meeting ID **s.15(1)(l)** Andrea
(Host) enter PIN **s.15(1)(l)** Attendees enter Access
Code **s.15(1)(l)**

Please use the following conference call info for those
who are not able to attend in person:

Dial: s.15(1)(l)

Enter Meeting ID: s.15(1)(l)

Andrea (Host) Enter PIN: s.15(1)(l)

Attendees Enter Access Code: s.15(1)(l)

If your Host has not joined the conference bridge, you will be place on hold until your Host arrives. Once the Host arrives you will be put into the conference.

*****To mute your phone use the Mute Button on your phone

From: "Juan Pereira" <juanp@relianceproperties.ca>
To: "Gillman, Andrea" <Andrea.Gillman@vancouver.ca>
CC: "Jonathan Lim" <jonathanl@relianceproperties.ca>
"Naundorf, Daniel" <daniel.naundorf@vancouver.ca>
"Lynn Luong" <lynnl@relianceproperties.ca>
"Jon Stovell" <jons@relianceproperties.ca>
"Bond, Abigail" <Abigail.Bond@vancouver.ca>
Date: 1/14/2020 7:22:39 PM
Subject: RE: 1188 Bidwell - update
Attachments: 2020.01.14_DE419087_Tenant relocation report_final_s.pdf

Andrea,

As discussed yesterday please find attached final TRP report for 1188 Bidwell St, accounting for all updates received from Tenants (shared already with you under separate covers) in relation to our deadline of January 13th, 2020 on Right of First Refusal for moving into 1188 Bidwell St and other given options to the Tenants.

Please confirm to us this suffices your requirement to clear OP as briefly outlined yesterday by you over the phone.

We trust this closes our TRP obligations while we continue proactively to resolve unforeseen conditions that led creating false expectations far beyond our extended TRP offers and options available to Tenants under this Market Rental Project.

Let me know if you have further questions and do not hesitate to call me if any further clarification.

Thanks,



JUAN G. PEREIRA PROJECT MANAGER

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From: Juan Pereira [mailto:juanp@relianceproperties.ca]
Sent: Friday, January 10, 2020 6:29 PM
To: 'Gillman, Andrea'
Cc: 'Jonathan Lim'; 'Naundorf, Daniel'; 'Lynn Luong'; 'Jon Stovell'; 'Bond, Abigail'
Subject: RE: 1188 Bidwell - update

Importance: High

Andrea,

Week is gone and was positively expecting to hear from you.

As an update, one Tenant in one of our buildings **s.22(1)** went for option C with signed agreement in place.

Option C: Remain at current units owned by Reliance Properties at old rent-rate for two additional years. Summarized as follows:

- Sign a new tenancy agreement at market rent
- Like Option A, tenants are obligated to pay the new rate, however for two years, Reliance will pay the difference between the old rate and new rate in the form of a monthly cheque sent to each tenant.
- Rates are subject to annual increases allowed under the Residential Tenancy Act

For the other Tenants, a reminder was sent today outlining as follows:

*This correspondence serves as a reminder that Reliance requires your decision as to which of the below options you will select by **5:00PM on Monday, January 13, 2020**; at which time the offers will expire. You are also free to decline Reliance's offers, which will end Reliance's obligations with respect to your future accommodation. Please kindly note that staying at current relocated suites at discounted rent in perpetuity is not an option available to tenants.*

Once again and in light of any further clarification required we summarize options as follows:

Option A: Move into the newly built 1188 Bidwell at old rent-rate for two years

- Tenants sign a new agreement at current market rates. By signing a new agreement at market rent, tenants are protected if that rate jumps after two years.
- Tenants are obligated to pay the new rate, however for two years, Reliance will pay the difference between the old rate and new rate in the form of post-dated monthly cheques sent in advance to each tenant.
- Rates are subject to annual increases allowed under the Residential Tenancy Act

Option B: Move into newly built 1188 Bidwell at a 20% discount for the life of the tenancy

- Outside the approved Tenant Relocation Plan, Reliance has extended to eligible tenants the opportunity to move into 1188 Bidwell at 20% below market rent for the life of the tenancy.
- Subletting will not be permitted under this offer.
- Rates are subject to annual increases allowed under the Residential Tenancy Act

Option C: Remain at current units owned by Reliance Properties at old rent-rate for two additional years. This is like Option A but at different building(s)

- Sign a new tenancy agreement at market rent
- Like Option A, tenants are obligated to pay the new rate, however for two years, Reliance will pay the difference between the old rate and new rate in the form of a monthly cheque sent to each tenant.
- Rates are subject to annual increases allowed under the Residential Tenancy Act

If we don't formally hear from you as individual Tenant we will consider you to have declined these offers.

We look forward to hearing from you.

Once again we expect to receive your feedback in terms of the draft report which will be sent as final on Tuesday January 14th, 2020. Will remain communicating back and forth with Tenants as needed

Thanks,



JUAN G. PEREIRA PROJECT MANAGER

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From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]
Sent: Wednesday, January 8, 2020 3:57 PM
To: 'Gillman, Andrea'
Cc: 'Jonathan Lim'; 'Naundorf, Daniel'; 'Lynn Luong'; 'Jon Stovell'; 'Bond, Abigail'
Subject: RE: 1188 Bidwell - meeting

Hi Andrea,

Following up on this and whether you had the chance to review draft report.

Also, we would like to understand if any further back and forth has taken place with Tenants as to confirm from your end our actions are consistent with TRP aspirations and how far we have gone in terms of original approved TRP. We strive the importance on having the City to clarify our obligations and compliance with TRP.

Please advise,

Thanks,



JUAN G. PEREIRA PROJECT MANAGER

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From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]
Sent: Monday, January 6, 2020 5:55 PM
To: 'Gillman, Andrea'
Cc: Jonathan Lim; 'Naundorf, Daniel'; Lynn Luong; Jon Stovell; 'Bond, Abigail'
Subject: RE: 1188 Bidwell - meeting
Importance: High

Hi Andrea,

Best in 2020!

As per our conversation back in December 19th, 2019 and as outlined in our summary, please find attached our Draft of the Tenant Relocation Report as of now for your review and comments.

At this point we haven't heard back any final direction from our offer and options to Tenants circulated via hardcopy and email (with extended timeline up to January 13th, 2020 at 5:00pm) apart from a back and forth with **s.22(1)** at 1170 Bidwell St.) expressing concerns on the timeline, attached for your reference.

We are available to provide any further information and also to respond to Tenant enquiries as they come within this week.

Please let us know your feedback on the draft and we look forward to submitting final document once we received related confirmation.

Thanks,



JUAN G. PEREIRA PROJECT MANAGER

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From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]
Sent: Thursday, December 19, 2019 6:18 PM
To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail

Subject: Re: 1188 Bidwell - meeting

Andrea,

Thanks,

To add to your last note not included in my summary:

- 4/5 TRP Tenants have units that are below the building average. These units are listed to them for under \$4/SF, while average rent per SF in the building is \$4.60/SF

- Competing buildings such as Westbank's Pendrell and Larco's English Bay Residence is renting for higher rates. These buildings have higher rents per SF than what is being offered here and this info can be shared as needed.

- Also our rental chart shows the lower rents being offered to each relocated tenant (with exception of first rented suite that in our Market campaign was discounted).

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

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On Dec 19, 2019, at 5:59 PM, Gillman, Andrea <Andrea.Gillman@vancouver.ca> wrote:

Hi Juan,

Thanks for the summary below that is an accurate description of our conversation this afternoon. Again I am sure tenants will appreciate the extended timeline given how busy things can be at this time of the year. I just want to be clear we will be able to release the Housing hold upon review and acceptance of the final TRP report but there is potential that other holds will remain.

I will also note that as discussed tenants have commented to us that the full rent offered to them at Bidwell in some instances appears to be higher than like units. You have offered to share a rent sheet with tenants should they raise this issue with you.

Andrea

From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]

Sent: Thursday, December 19, 2019 5:26 PM

To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

Andrea,

As discussed in our conversation:

- Hardcopies of the letters for RFR have been already distributed to Tenants with deadline January 6th, 2020
- We will distribute tomorrow via email digital copies of the letters and outline and additional extension up to January 13th, 2020 5:00pm.
- We will distribute back to you the Draft of the Tenant Relocation Report with any pending information (confirmation by Tenants on their RFR) on January 6th, 2020 for your review/comments.
- Meantime during that week City will provide us with any comments on this draft report and we will submit final on January 13th or day after once we have full feedback from Tenants.
- The City should then provide imminent release of the TRP for this project as to clear occupancy path.
- You have confirmed that no additional information will be required besides the report sheet as we have already provided wide range of information backing up this process for your Department as a record.

Please confirm,

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]
Sent: Thursday, December 19, 2019 4:26 PM
To: Juan Pereira
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

Thanks for your thoughts on this Juan,

I ll give you a call to discuss further, as I ve received your voice mail and have a few follow up questions based on the repeated questions coming in from the tenants, beyond the extension of the deadline as previously noted by Daniel. I believe we have now heard from most of the potential returning tenants either by phone or email at this point, so they would all be aware of the City s position and the City s desire to see a stable tenancy option provided.

Andrea

From: Juan Pereira [mailto:juanp@relianceproperties.ca]
Sent: Thursday, December 19, 2019 4:32 PM
To: 'Naundorf, Daniel'; 'Gillman, Andrea'
Cc: Jonathan Lim; Lynn Luong; Jon Stovell; 'Bond, Abigail'

Subject: RE: 1188 Bidwell - meeting
Importance: High

Daniel,

On the other hand we are getting concerned about clearing our permit for occupancy, so looking at the big picture here if no holds are set from Housing Department based on our outlined advanced action we could relax another week up to Monday January 13th, 2020. Hardcopy Letters were already circulated, we could provide an extension via email distribution.

Going back in time we have been setting deadlines after deadlines and we trust had advanced efficient actions while waiting indefinitely for others to respond.

For the record October 18th sets our formal distribution for First Right of Refusal previously outlined as an intent communication letter circulated in September 1st, 2019.

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

From: Naundorf, Daniel [<mailto:daniel.naundorf@vancouver.ca>]
Sent: Thursday, December 19, 2019 3:10 PM
To: Juan Pereira; Gillman, Andrea
Cc: Jonathan Lim; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

We are getting calls from tenants who are very concerned about the limited time they have to consider/ evaluate the additional offer, given the timing of the holidays between now and January 6

The tenants are concerned that Jan 6 is insufficient time for them to evaluate the offer being made at this busy time of year.

Extending this deadline would be helpful to them.

From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]
Sent: Thursday, December 19, 2019 12:23 PM
To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting
Importance: High

Andrea,

We are circulating letters to Tenants now.

Certainly as expressed on our conference call, we feel this whole process requires proper notification from CoV to Tenants.

Constantly obligations/requirements by the Developer are outlined, however this is a

City's initiative and having Tenants properly informed is part of the Public commitment (e.g. City's hosted Open Houses to clearly outline City's policies around a project). Instead of a passive/reactive position, Tenants should be outlined of the Developer's obligations at front by the City and we are positive this will be a lot more efficient and successful for all parties.

While City's position is ambiguous and non-consistent with accepted and legally bound TRP via Housing Agreement, there is this figure around of the 'evil Developer' trying to take advantage of the situation; it is certainly frustrating when within our company's vision we are far beyond responding, offering options and superseding obligations; the response comes back in opposite direction having Tenants (City's ultimate objective) frustrated, anxious and certainly armed trying to take advantage of the situation.

All of this without prejudice feeling there is room for improvement as to ensure efficient and successful processes that ultimate are in line of creating more housing options, mutual interest of all parties.

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

305 - 111 WATER STREET
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From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]
Sent: Wednesday, December 18, 2019 5:14 PM
To: Juan Pereira
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

Hi Juan,

We heard from a few of the tenants several weeks ago when they were concerned with the offer put forward to them and questioned if this met the Right of First Refusal as they understood it. Several tenants reached out to Daniel directly at this time.

The City will continue to communicate with tenants as they reach out to us, but do not intend to send a blanket letter to the tenants. I do believe this now gives the tenants a range of options and am confident they will reach out to us with any questions or concerns on their part after receiving the letter. We can reiterate to tenants at this time that this additional offer was the result of discussions between the City and Reliance to fulfil the terms of the TRP.

Thanks.
Andrea

From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]
Sent: Wednesday, December 18, 2019 3:54 PM
To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

Andrea,

Appreciate your prompt feedback.

Just wondering if CoV is providing further clarification to the Tenants. As discussed there is no point on us trying to convince Tenants of something that is agreeable by the City if it doesn't come directly from the City. We had outlined in our conference call and in further correspondence this need and conscious of our committed actions and beyond approved TRP offers, the City has important role and action to guarantee success of the process. Please clarify/confirm what your position is and what further/completed actions informing Tenants are in place.

Meantime we will complete the report and distribute once we hear back from Tenants on their final right of first refusal actions along with correspondence as outlined on your form.

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

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From: Gillman, Andrea [<mailto:Andrea.Gillman@vancouver.ca>]
Sent: Wednesday, December 18, 2019 3:37 PM
To: Juan Pereira
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

Thanks Juan,

This looks to be in alignment with what we've discussed. As for the final Tenant Relocation Report we will need you to complete the form found here.
<https://vancouver.ca/files/cov/tenant-relocation-report-2016.dot>

I believe we have the binder related to the initial tenant relocation which provides a detailed account of all communication between Reliance staff and tenants during the time.

Andrea

From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]
Sent: Wednesday, December 18, 2019 2:31 PM
To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting
Importance: High

Andrea,

Thanks for your provided feedback.

Attached a zip file with related letters for Tenants that have expressed intent to take the right of first refusal.

We intent to circulate these promptly and we are requesting response by January 6th, 2020 at 5:00pm.

Let us know if you have any further questions/comments.

I trust you can advance any related process in order to clear the final Tenant Relocation Plan for this project; let me know what you expect to see in the report apart from as circulated and we can compile and submit to you.

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

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From: Gillman, Andrea [<mailto:Andrea.Gillman@vancouver.ca>]
Sent: Monday, December 16, 2019 12:34 PM
To: Juan Pereira
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting

Hi Juan,

Thanks for providing the detailed summary below. I have read through all the documentation provided and we appreciate that Reliance has put something forward that will provide tenants with the option of a stable tenancy, rather than just a 2 year term.

If you are now able to communicate out these three options to the tenants who have

indicated they wish to return to 1188 Bidwell, as you note below, it will be up to the individual tenants to determine how they wish to proceed. This should satisfy the intent of the City's TRP policy as far as right of first refusal. Tenants can make an informed choice as to which option they prefer.

As far as s.22(1) is not taking up the offer of right of first refusal, we will leave these agreements between yourselves and the tenant and trust that you are acting in good faith.

If you can provide us with copies of the letters that will communicate out the three options to these tenants, I believe we will have what we need.

It is only the final Tenant Relocation Report that will be required as a next step to clear the Occupancy Hold. I am happy to meet to discuss further if you would like, but am not sure it is necessary at this stage.

Andrea

Andrea Gillman MCIP, RPP
Senior Housing Planner
Affordable Housing Programs
City of Vancouver
T: 604-873-7437

From: Juan Pereira [<mailto:juamp@relianceproperties.ca>]
Sent: Thursday, December 12, 2019 2:17 PM
To: Gillman, Andrea
Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong; Jon Stovell; Bond, Abigail
Subject: RE: 1188 Bidwell - meeting
Importance: High

Andrea,

We confirm that we are working towards resolving this situation by providing options beyond our original approved TRP in light of finding a positive outcome; however, no matter what we do, this needs to be backed up as reasonable by the City of Vancouver and clearly communicated to the Tenants who unfortunately up to now feel we are finding a way around any stipulated obligation outlined in the TRP, far from our intention.

In this order of ideas we wanted to meet with you to clarify in fact actions and available options per Tenant.

As time is a sensitive matter here, please refer to below summary:

- ☐ Please note that s.22(1) originally at s.22(1) from 1170 Bidwell signed lease at market rent into a relocated suite provided/owned by Reliance Properties Ltd. where the offered limited TRP benefit of *accommodations as available at any of Reliance's portfolio nearby buildings, into an equivalent/similar unit as they were currently renting, for the same rent value during the term equivalent to the building construction* is being extended for two more years (commitment part of the project's TRP made available only if they were moving into the new building □ 1188 Bidwell St).

Refer to signed leased paperwork that includes previously shared second addendum to the lease where is clearly outlined the offered benefit limited for two years.

It is in fact rewarding finding out that a Tenant clearly understands our obligation outlined several times in letters and that we are still contributing beyond them to a positive outcome.

- ☐ Please refer to attached PDF (5 pages) with options being offered for each of the remaining Tenants. This shows by Tenant the following scenarios:
 - Approved TRP offer relocating into 1188 Bidwell St. Right of first refusal to move back into an equivalent/similar unit in the New Building, upon completion, for the same rent amount (subject to increases as per the RTA) during a two (2) years term.
 - This option requires signing a lease at market rent with a proposed monthly credit for 24 months under a second addendum to the contract as per attached.
 - Further consideration to as discussed in our conference call, we made the decision to make this available to the Tenants: Match TRP current policies where Tenants have the right of first refusal to move back into 1188 Bidwell with 20% discount off starting market rent. This would be offered for the duration of the Tenancy to eligible Tenant, subject to increases as per RTA. Tenant won't be able to sublease the unit and benefits are exclusively to the eligible Tenant.
 - As offered to **s.22(1)**, we would allow Tenants to remain on current relocated suites provided/owned by Reliance Properties Ltd. where the offered limited TRP benefit of *accommodations as available at any of Reliance's portfolio nearby buildings, into an equivalent /similar unit as they were currently renting, for the same rent value during the term equivalent to the building construction* is being extended for two more years.
 - This option requires signing a lease at market rent with a proposed monthly credit for 24 months with a second addendum to the contract similar to as signed by **s.22(1)**.
- ☐ Note options B and C are beyond as approved in our TRP.
- ☐ Note our approved TRP clearly denotes: *Current offered conditions are deemed to be better due to current rents being low and new building ones are to be significant higher*. Therefore it was disclosed at front the difference between current rent and anticipated market rents. We are facing the fact that Tenants had extremely low rent at the original building on suites offering limited benefits actually non comparable to what the new building offers responding to current market conditions, project budget and feasibility.
- ☐ We appreciate the fact that the City is looking into creating stable tenancies however it would be up to the Tenant to decide their needs; It is our believe that our original offer could be attractive for some Tenants as the needs change in time (e.g. a Tenant might wish to save for 24 months some money at front and be able to get a down payment to get into owning a suite).

None of the proposed options contemplate the fact that a Tenant desires to stay at current relocated suite with current agreement under current discounted rent in perpetuity. Even

the RTA has been adjusted after our TRP was approved (restricting fixed lease terms) there is a strong case that our offer is limited to the time of construction of the new building and it is part of their current lease agreement. If Tenant decides to refuse to offered A, B or C options and remain in the suite without action, they will receive a Notice to vacate their current suite; There are not only obligations on the TRP assigned to the Developer and the limitations to the offer are clear since day one. We will understand this position as the Tenant trying to take advantage of the situation and the provided Good Faith action by the Developer on this process and will submit an application for a Dispute Resolution to the Residential Tenancy Branch and process any Tenant s claim through Arbitration. We are positive that we have a fully supported case and certainly would like to safe both parties to go through the tortuous process and achieve a negative outcome after all effort made in this TRP.

In addition, above action by Tenant provides a full disincentive on Developers offering relocation on owned buildings which also is contrary to TRP aspirations and sets a negative precedent for future projects.

As previously stated, it is not in our obligation to convince Tenants that our actions are consistent and go beyond the TRP, there is an important role to the City to provide the confidence to the Tenants on the fairness of the process. We trust City of Vancouver can do that in light of obtaining a successful TRP that is in all parties interest.

We appreciate your prompt feedback as we will be imminently communicating these options to the Tenants and trust you can comment before we proceed.

Let me know if any questions or if you want to meet as it is ideally preferred,

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

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From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]

Sent: Wednesday, December 11, 2019 3:00 PM

To: Juan Pereira

Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong

Subject: RE: 1188 Bidwell - meeting

Thanks Juan,

I am just heading into meetings now, but appreciate you giving some further thought to what additional options you can provide to the tenants. Further to the 20% discount option, as per current City policy, I want to confirm that this would be offered in

perpetuity for the duration of the tenancy, subject to increases as per the RTA. As you know from our conversation on Monday, creating stable tenancies is critical to fulfilling the offer of right of first refusal. Can you also give us an idea of what the current market rents are for the units being held for these folks?

Andrea

From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]

Sent: Wednesday, December 11, 2019 2:34 PM

To: Gillman, Andrea

Cc: Jonathan Lim; Naundorf, Daniel; Lynn Luong

Subject: RE: 1188 Bidwell - meeting

Importance: High

Andrea,

Just left a VM to you.

We have the figures with market rents per Tenant in current building locations to compare with our TRP scenario.

From accepted TRP for this project and further to our conversation we will be providing two additional options to the Tenants:

- Extended benefit of 2 years discounted rent from Market rent at current locations where the Market rents are lower or equivalent to 1188 (with suites larger than 1188).
- Match TRP current policies where Tenants have the right of first refusal to move back into 1188 Bidwell with 20% discount off starting market rent.

We want to present these options on the case by case basis and the best would be to have a Face to Face.

Can you accommodate a meeting this afternoon around 4:00pm?

Please confirm,

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

From: Gillman, Andrea [<mailto:Andrea.Gillman@vancouver.ca>]

Sent: Monday, December 9, 2019 3:35 PM

To: Juan Pereira

Cc: Jonathan Lim; Jon Stovell; Naundorf, Daniel; Lynn Luong; queeniel@relianceproperties.ca; Bond, Abigail

Subject: Re: 1188 Bidwell conference call

Apologies we are dialing back in after we lost the call.

Andrea

Sent from my iPhone

On Dec 9, 2019, at 3:14 PM, Juan Pereira <juanp@relianceproperties.ca> wrote:

Andrea,
We are on the conference now waiting for you to join.

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

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On Dec 9, 2019, at 3:08 PM, Gillman, Andrea
<Andrea.Gillman@vancouver.ca> wrote:

As per my discussion with Queenie at 3 p.m. this afternoon, we
will connect with you shortly.
Thanks.
Andrea

Dial **s.15(1)(l)** Meeting ID **s.15(1)(l)** Andrea (Host)
enter PIN **s.15(1)(l)** Attendees enter Access Code
s.15(1)(l)

Please use the following conference call info for those
who are not able to attend in person:

Dial: **s.15(1)(l)**
Enter Meeting ID **s.15(1)(l)**
Andrea (Host) Enter PIN: **s.15(1)(l)**
Attendees Enter Access Code: **s.15(1)(l)**

If your Host has not joined the conference bridge, you
will be place on hold until your Host arrives. Once the
Host arrives you will be put into the conference.

*****To mute your phone use the Mute Button on your

phone

TENANT RELOCATION REPORT

Date: January 14, 2020

☐ Development Permit # DE419087

Address: 1188 Bidwell Street, Vancouver, BC V6G 2K6

Owner: Reliance Properties Ltd.

Signature: Juan Pereira – Project Manager

1. Eligible Tenant Relocation Summary														
Unit #	Tenant Name	Move In Date	Monthly Rent	Tenant Relocation Plan Outcome				Total Compensation Paid to Tenant (\$)	Move out Date	Did the Tenant require help finding alternate accommodation? If yes, please summarize efforts including options provided and area tenant relocated to with the starting rent of their new unit.	Did the Tenant require additional support and/or compensation due to special circumstances? If yes, summarize compensation including assistance in identifying alternate accommodation within 10% of current rent if requested.	*Returning Tenants Applies in Right of First Refusal cases		
				Months Rent (\$)	Moving Expense (\$)	Other (\$)	Right of First Refusal* (Y/N)					Unit #	Unit Type	Starting Rent (\$) (include any discount)
s.22(1)		April 15, 2012	\$1,120	\$2,240	\$800	21,023.52	N		s.22(1)	Y: s.22(1)	Y: s.22(1)			SEE ATTACHED
s.22(1)		August 7, 2013	\$1,073	\$2,146	\$750		N		s.22(1)	Y: s.22(1)	Y: s.22(1)			SEE ATTACHED

										s.22(1)	Landlord to evaluate options and allow Tenant to stay under current conditions up to the end of February 2020 while advancing further assessment.			
s.22(1)	June 1, 2001	\$1,091	\$1,998	\$665			Y			s.22(1)	Y: Assistance in finding alternate accommodation at Landlord's Building s.22(1) into a larger suite (772sf) for a negotiated rent of \$1,275 understood as an agreed upgrade amount to current rental rate of \$1,091 based on the 579sf during the term equivalent to the building construction.	Note: s.22(1)		SEE ATTACHED
s.22(1)	November 15, 2012	\$1,099	\$2,198	\$843.46	\$19,560		N			s.22(1)	Y: s.22(1)	FYI: s.22(1)		
s.22(1)	November 1, 2014	\$1,250	\$2,500	\$756.57	\$12,750		N			s.22(1)	Y: s.22(1) January. 2020 (39 months).	Note: s.22(1)		SEE ATTACHED

TENANT RELOCATION REPORT

											s.22(1)			
s.22(1)	May 1, 2014	\$1,014	\$2,028	\$733.07	\$7,909.20	N			s.22(1)	Y: s.22(1)	Y: s.22(1)			
s.22(1)	November 1, 2014	\$ 975	\$1,950	\$800		Y			s.22(1)	Y: s.22(1)	Note: s.22(1)			SEE ATTACHED
s.22(1)	November 1, 2012	\$2,150	\$4,300	\$500	\$10,320	N			s.22(1)	Y: s.22(1)	Landlord to evaluate options and allow Tenant to stay under current conditions up to the end of February 2020 while advancing further assessment.			

[illegible]

2. Confirmation of Average Rents in New or Renovated Building

* Outliers found in 2 bedroom units as they are the Penthouse Units [First number without outliers // Second number all 2 bedroom units]

Option B: 1188 Bidwell at 20% discount off market rents

* Note: Returning Tenants column applies to tenants that have taken up the Right of First Refusal and moved (or intend to move) into a replacement unit.

From: ["Jonathan Lim" <JonathanL@relianceproperties.ca>](mailto:JonathanL@relianceproperties.ca)
To: ["Gillman, Andrea" <Andrea.Gillman@vancouver.ca>](mailto:Andrea.Gillman@vancouver.ca)
CC: ["Naundorf, Daniel" <daniel.naundorf@vancouver.ca>](mailto:daniel.naundorf@vancouver.ca)
["Lynn Luong" <lynnl@relianceproperties.ca>](mailto:lynnl@relianceproperties.ca)
["Juan Pereira" <juanp@relianceproperties.ca>](mailto:juanp@relianceproperties.ca)
["Jon Stovell" <jons@relianceproperties.ca>](mailto:jons@relianceproperties.ca)
Date: 12/9/2019 12:52:37 PM
Subject: RE: 1188 Bidwell Street - First Right of Refusal for former tenants

Hi Andrea,

We can definitely accommodate a call – I will get back to you with some timeslots shortly. Prior to that, can you please outline why you don't believe our intentions align with your understanding of the approved TRP with respect to the right of first refusal?

Thank you,

JONATHAN LIM PROJECT COORDINATOR

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From: Gillman, Andrea <Andrea.Gillman@vancouver.ca>
Sent: December 9, 2019 12:23 PM
To: Jonathan Lim <JonathanL@relianceproperties.ca>
Cc: Naundorf, Daniel <daniel.naundorf@vancouver.ca>; Lynn Luong <lynnl@relianceproperties.ca>; Juan Pereira <juanp@relianceproperties.ca>; Jon Stovell <jons@relianceproperties.ca>
Subject: RE: 1188 Bidwell Street - First Right of Refusal for former tenants

Hi Jonathan,

Thank you for sharing all the documentation. I was away from the office on Friday but will review this afternoon. I'm wondering if you may have time for a call later today or tomorrow as it might be best to walk through your intentions here as I don't believe they align with our understanding of the approved TRP with respect to right of first refusal.

Andrea

From: Jonathan Lim [<mailto:JonathanL@relianceproperties.ca>]

Sent: Friday, December 06, 2019 12:20 PM
To: Gillman, Andrea; Juan Pereira; Jon Stovell
Cc: Naundorf, Daniel; Lynn Luong
Subject: RE: 1188 Bidwell Street – First Right of Refusal for former tenants

Hi Andrea,

As we have not heard back from you, we would like to provide you with our expected next steps regarding our Tenant Relocation Plan at 1188 Bidwell Street.

As previously mentioned, s.22(1), has been living in another building owned by Reliance s.22(1)

We will be providing s.22(1) with an Addendum which outlines that the TRP does not require the Landlord to enter into this Second Addendum to provide a Rent Rebate, but that the Landlord has agreed to do so to provide the Tenant with the benefits as set out in the TRP. *I have attached both her Lease Agreement and her Second Addendum.*

For the remaining tenants, we have outlined several options that will be presented to the tenants early next week.

1. Tenants can choose to stay at s.22(1) given they sign a new lease at market rent and signs the Addendum outlining their Rent Rebate. Please note that the TRP does not require Reliance to provide tenants with a Rent Rebate if they are not moving back into 1188 Bidwell, but we will do so out of Good Will. *(Attached – Second Addendum to RTA [Other Buildings])*
2. Tenants can choose to relocate to 1188 Bidwell given they sign a new lease at market rent and signs the Addendum outlining their Rent Rebate. *(Attached – Second Addendum to RTA re TRP Tenants)*
3. Tenants who choose to stay at s.22(1) and not sign a new lease will trigger an application for a Dispute Resolution with the RTB. While Reliance is happy to accommodate tenants at s.22(1), the intention of the TRP was to allow tenants to move to s.22(1) until the completion of 1188 Bidwell. They would then be given the Right of First Refusal, which was provided to tenants October 18, 2019. Additionally, the lease agreement at the time of signatory was meant to be a Term Lease (we understand this is no longer in effect) related to the completion of the new building at 1188 Bidwell Street.

Please advise if you have any questions or concerns.

Thank you,

JONATHAN LIM PROJECT COORDINATOR

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From: Gillman, Andrea <Andrea.Gillman@vancouver.ca>
Sent: December 2, 2019 4:48 PM
To: Juan Pereira <juanp@relianceproperties.ca>; Jon Stovell <jons@relianceproperties.ca>
Cc: Naundorf, Daniel <daniel.naundorf@vancouver.ca>; Lynn Luong <lynnl@relianceproperties.ca>;
Jonathan Lim <jonathanl@relianceproperties.ca>
Subject: RE: 1188 Bidwell Street - First Right of Refusal for former tenants

Hi Juan and Jon,
Thank you both for your voicemails. I was out of the office on Thursday when you called Jon.
We are just seeking some advice internally and I will try my best to get back to you in the next day or two. Many of us are up at Council with the budget up at Council tomorrow, so I appreciate your patience.
Andrea

From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]
Sent: Wednesday, November 27, 2019 12:30 PM
To: Gillman, Andrea; Jonathan Lim
Cc: Naundorf, Daniel; Jon Stovell; Lynn Luong
Subject: RE: 1188 Bidwell Street - First Right of Refusal for former tenants
Importance: High

Hi Andrea,
Just left a VM for you.
We wonder if you had the chance to go over submitted information and if you have any feedback on this TRP and the way it is being advanced.
Please kindly advise,
Thanks,



JUAN G. PEREIRA PROJECT MANAGER

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From: Gillman, Andrea [mailto:Andrea.Gillman@vancouver.ca]
Sent: Thursday, November 21, 2019 5:50 PM
To: Jonathan Lim; Juan Pereira
Cc: Naundorf, Daniel; Jon Stovell; Lynn Luong
Subject: RE: 1188 Bidwell Street - First Right of Refusal for former tenants

Thanks Jonathan,
I appreciate the summary, that's helpful to see.
Andrea

From: Jonathan Lim [mailto:JonathanL@relianceproperties.ca]
Sent: Thursday, November 21, 2019 12:37 PM
To: Juan Pereira; Gillman, Andrea
Cc: Naundorf, Daniel; Jon Stovell; Lynn Luong
Subject: RE: 1188 Bidwell Street - First Right of Refusal for former tenants

Hi Andrea:

Please find detailed summary below:

Tenant Info:	Interest to Move Back:
1. s.22(1)	Not interested; s.22(1)
2. s.22(1)	Interested; s.22(1)
3. s.22(1)	Not interested; s.22(1)
4. s.22(1)	Interested; s.22(1)
5. s.22(1)	Interested; s.22(1)
6. s.22(1)	Interested; s.22(1)
7. s.22(1)	Interested; s.22(1)

Thank you,

JONATHAN LIM PROJECT COORDINATOR

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From: Juan Pereira <juanp@relianceproperties.ca>
Sent: November 21, 2019 12:10 PM
To: Gillman, Andrea <Andrea.Gillman@vancouver.ca>
Cc: Naundorf, Daniel <daniel.naundorf@vancouver.ca>; Jon Stovell <jons@relianceproperties.ca>; Jonathan Lim <Jonathanl@relianceproperties.ca>; Lynn Luong <lynnl@relianceproperties.ca>
Subject: Re: 1188 Bidwell Street - First Right of Refusal for former tenants

Andrea,
Thanks for your note.
Requested summary as follows:

- 5 Tenants has confirmed their desire to move back but haven't agreed to the lease terms. (4 currently living in building property of us - 1 in another property of their choice and currently receiving monthly subsidy from us until Building completion).
- 1 Tenant has proposed to stay in a relocated building property of us and has agreed to the terms of signing a new contract at market value with our offered discount for two years at front (24 postdated cheques).
- 1 Tenant is not coming back s.22(1) and has confirmed this in writing.

I appreciate your understanding of our timelines and your required assistance providing clarification to the Tenants as applicable.

Thanks,

JUAN G. PEREIRA PROJECT MANAGER

305 - 111 WATER STREET
VANCOUVER, BC CANADA V6B 1A7
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E & O E: All information contained herein is from sources we deem reliable; however, no guarantee or responsibility is assumed thereof, and it shall not form any part of future contracts. Properties are submitted subject to errors and omissions and all information should be carefully verified. All measurements quoted herein are approximate.

On Nov 21, 2019, at 11:45 AM, Gillman, Andrea <Andrea.Gillman@vancouver.ca> wrote:

Hi Juan,

Thanks for your note. We are just in the process of discussing this internally and reviewing the info you have shared. We'll try to get back to you as quickly as we can, and recognize how important this is.

In the meantime, can you confirm for me how many tenants are interested in returning and how many have officially declined the offer, and if you can please continue to hold the required number of units for those interested until this matter is sorted out.

Much appreciated,
Andrea

From: Juan Pereira [<mailto:juanp@relianceproperties.ca>]
Sent: Wednesday, November 20, 2019 10:33 AM
To: Gillman, Andrea
Cc: Naundorf, Daniel; Jon Stovell; Jonathan Lim; Lynn Luong
Subject: Re: 1188 Bidwell Street - First Right of Refusal for former tenants

Hi Andrea,

Just left you with a VM.

Following up to see if we can touch base and get a plan to achieve mutual understanding on our TRP actions and provide a comprehensive clarification to the Tenants as to be able to move forward.

As mentioned there are timelines and conditions associated to RTA that somehow conflict with TRP and it is in our interest to cover all sides here so commitment and full understanding of the Tenants is critical.

We could tentatively meet late afternoon if this is convenient to you.

Please advise,

Thanks,
<~WRD000.jpg>

JUAN G. PEREIRA PROJECT MANAGER

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On Nov 19, 2019, at 9:26 AM, Juan Pereira <juanp@relianceproperties.ca> wrote:

Andrea,

No issues, glad you got my communication and let you go through it.

Please get back to me with any questions,

Thanks,
<~WRD000.jpg>

JUAN G. PEREIRA PROJECT MANAGER

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On Nov 19, 2019, at 9:05 AM, Gillman, Andrea
<Andrea.Gillman@vancouver.ca> wrote:

Hi Juan,
Thanks for your note. I probably sent my email about 5:30 and didn't realize until this morning that there was a delay in the email being sent. I was having connectivity issues working off site at the time, but thought it went out. In any case we will read through your note and the documents you provided and be in touch.
Andrea

Sent from my iPhone

On Nov 18, 2019, at 6:51 PM, Juan Pereira
<juanp@relianceproperties.ca> wrote:

Andrea,
Acknowledge receiving your note below... just double checking if you received my email from 5:49pm with all requested backup which clarifies most of your points below?

Please confirm,

Thanks,

[<image001.png>](#)

JUAN G. PEREIRA PROJECT MANAGER

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From: Gillman, Andrea
[mailto:Andrea.Gillman@vancouver.ca]
Sent: Monday, November 18, 2019 6:21 PM
To: juanp@relianceproperties.ca
Cc: Naundorf, Daniel
Subject: RE: 1188 Bidwell Street - First Right of Refusal for former tenants

Hi Juan,
Thanks for taking our call this afternoon and providing us with an update on the status of the Right of First Refusal Offer for your tenants. As you know we have heard from a number of former tenants at 1188 Bidwell this week.

Some tenants believe the discounted rent promised is not being reflected in the offer of Right of First Refusal, as they have scouted the other units in the building and the asking rents on these units are not 20% above what is being offered to them. We note that the Tenant Relocation Plan and Housing Agreement secured an offer off the market rents for a period of 2 years (after which allowable RTA increases apply).

We have also heard that tenants face rent increases in the interim Reliance owned units they are renting that far exceed those allowable under the RTA annual increase. We want to

ensure you are aware of recent changes to the RTA, including the prohibition on fixed-term tenancies and the allowable annual increases, as the increases described to us would not be legal under the Act.

We understand from our call that former tenants have had 30 days to review the offer, and that they were given a deadline of 5pm today to respond. As we have not yet seen a copy of the offer letter, we would ask you to kindly extend the offer another few days or a week to give the tenants a bit more breathing room, and communicate out to the tenants that you are in discussion with the City to review the terms of the offer.

Please note that an Occupancy Hold for the entire building is in place as per the Housing Agreement Registered on title and requires the General Manager of Arts, Culture, and Community Services to be satisfied with the Tenant Relocation Plan.

We look forward to reviewing a copy of the offer letter as discussed and hope that this aligns with the right of first refusal outlined in the Registered Housing Agreement, the Tenant Relocation Plan and with the Rental Tenancy Act.

Please don't hesitate to reach out to Daniel or I with any questions.

Thanks!

Andrea

Andrea Gillman MCIP, RPP
Senior Housing Planner
Affordable Housing Programs
City of Vancouver
T: 604-873-7437

From: ["Singh, Sandra" <Sandra.Singh@vancouver.ca>](mailto:Sandra.Singh@vancouver.ca)
To: ["Jon Stovell" <jons@relianceproperties.ca>](mailto:jons@relianceproperties.ca)
CC: ["Gillman, Andrea" <Andrea.Gillman@vancouver.ca>](mailto:Andrea.Gillman@vancouver.ca)
["Lynn Luong" <lynnl@relianceproperties.ca>](mailto:lynnl@relianceproperties.ca)
Date: 2/14/2020 6:20:03 PM
Subject: RE: Re: Final agreement draft

Thank you Jon,

We will log this as our agreement with you and start the roll out of the communications.

Sandra

From: Jon Stovell [mailto:jons@relianceproperties.ca]
Sent: Friday, February 14, 2020 6:18 PM
To: Singh, Sandra
Cc: Gillman, Andrea; Lynn Luong
Subject: [EXTERNAL] Re: Final agreement draft

Hi Sandra

We find the wording acceptable.

We will prepare written offers for Tuesday.

We will do our best to get any Tenants wishing to see 1847 Barclay as soon as possible.

They can email me and I will push it on to the team.

Lynn please advise the Bidwell leasing team that these tenants may show up at the Sales Suite for tours.

Thank you.

Jon Stovell

On Fri, Feb 14, 2020 at 6:10 PM Singh, Sandra <Sandra.Singh@vancouver.ca> wrote:

For review` pls note the changes in red below

CORRECTED AS NOTED

Confidential: 1188 Bidwell: Revised Options for Remaining Tenants

These are offered to the three remaining tenants **s.22(1)** in recognition of their unique circumstances. In all cases below, the base rent is the rent and there is no rebate structure to be implemented:

- ☐ Reliance will issue a formal offer based on the information below on Tuesday, February 18, 2020.
- ☐ Tenants must notify Reliance by February 25, 2020 of their intended Option.
- ☐ Tenants will be offered an opportunity to view suites offered at Barclay by Feb 24 at the latest. Bidwell units are not available to view by any tenants, but Reliance will provide information about the units and tenants are encouraged to see the sales unit suite at 1188 Bidwell, open Tues to Sat. To arrange a viewing of a Barclay suite, tenants should email jons@relianceproperties.ca.

Options

1. **s.22(1)**: Tenants stay at **s.22(1)** under current rents, subject to allowable increases under the RTA.

- ☐ This option enables tenant to stay at **s.22(1)** at their current rent, subject to allowable increases under the RTA.
- ☐ This option provides stability to any tenants who wish to remain at **s.22(1)**, and removes any doubt around their current tenancy and any need for the tenants to take to the RTB for a ruling as has been suggested as a possible course of action by the tenants.
- ☐ Rent includes heat and hot water

2. 1188 Bidwell: 33% discount off of **market unit rent, subject to allowable increases under the RTA (all 1 bedroom; no studios in building)**

☐ Units available within Bidwell vary in terms of base rent, but the three lowest rent units will be held for consideration:

i. Unit 405: **market** \$2230 – this offer: \$1494

ii. Unit 505: **market** \$2280 – this offer: \$1528

iii. Unit 805: **market** \$2330 – this offer: \$1561

☐ Units are available on a first come basis.

☐ Rents do not include heat and hot water.

3. 1847 Barclay (West End): Same type of unit at current **s.22(1) rents, subject to allowable increases under the RTA.**

☐ This option creates an opportunity for tenants who wish to move back into the West End but if Bidwell is not feasible

☐ There are currently 2 units available; units are available on a first come basis.

☐ If there is no available unit at Barclay at time of offer – and the tenant selects this option – Reliance will offer the same arrangement for a unit at Barclay at next unit turnover, subject to allowable RTA increases.

☐ Tenants may remain at **s.22(1)** under conditions of Option 1 until another Barclay unit comes up under this Option.

☐ Tenants would be able to move into a Barclay unit at the same rent they are paying at **s.22(1)** at the time of the offer, subject to allowable increases under the RTA.

☐ Rent includes heat and hot water.

CITY AGREEMENT

☐ Staff will update Council that this offer will occur and that staff takes the position that the offer is a reasonable resolution to the disagreement related to TRP implementation and spirit of the TRP and Housing Agreement has now been met.

- This position will be the case even if the tenants do not accept the offer and the City will make no further request for the offer to change.

☐ Staff will inform the Tenants of the pending offer and advise the Tenants that that it is the opinion of staff that the spirit of the TRP and Housing Agreement has now been met.

☐ Staff will send a formal letter to Reliance as a follow up to the previous letter thanking Reliance for responding to the concerns of the Tenants and the City and that the spirit of the Housing Agreement has now been met. This letter will be cc:ed to Mayor and Council.

☐ If requested by Reliance, the City will issue a public statement confirming the above.

☐ The City acknowledges that this is a response to the unique situation of these three tenants and the City will not request of Reliance to make any further accommodation to any other past Tenants of 1170 (1188) Bidwell. Nor will the City assert to any party that the spirit of the TRP and Housing Agreement is not met with respect to any other previous Tenants of 1170 (1188) Bidwell.

Sandra



JON STOVELL PRESIDENT

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