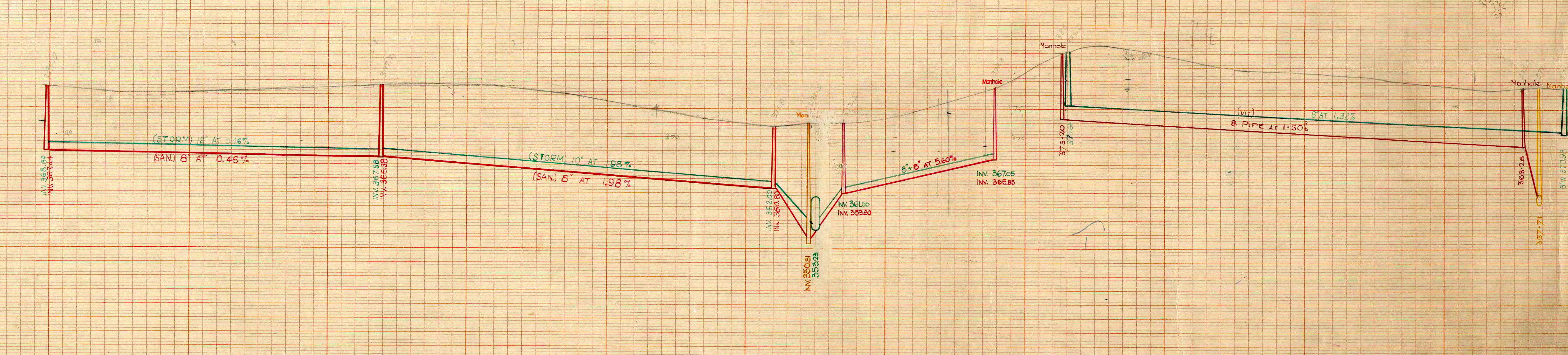
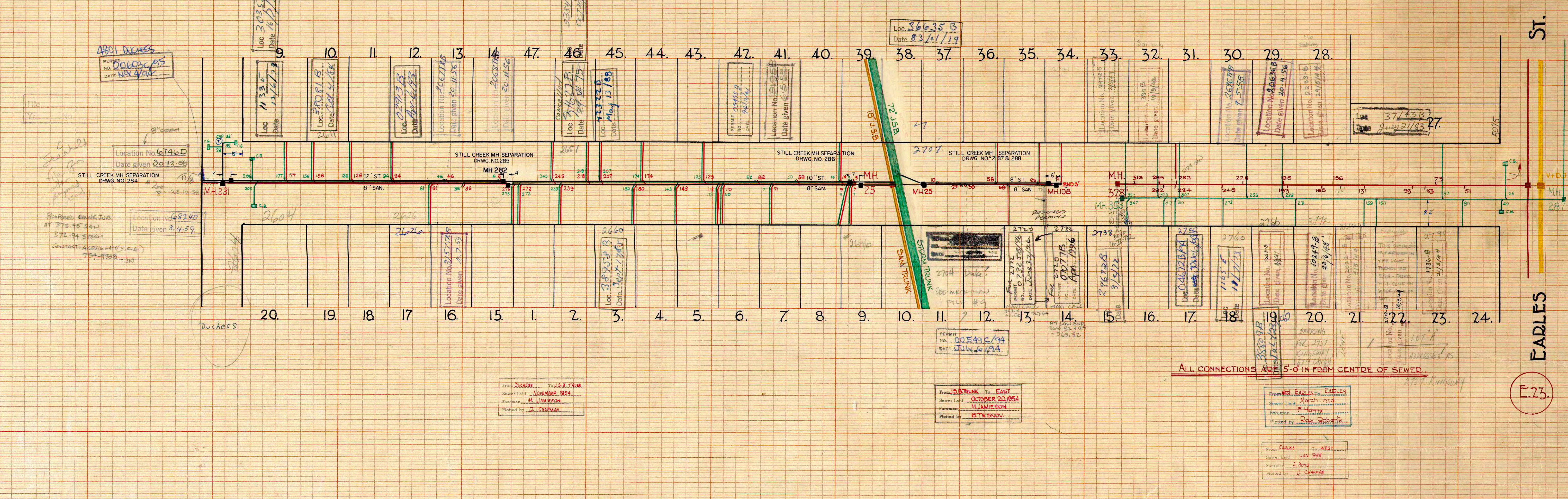


DUIKE STREET



From: ["Quigley, Tyler" <Tyler.Quigley@vancouver.ca>](mailto:Tyler.Quigley@vancouver.ca)
To: ["Pikker, David" <david.pikker@vancouver.ca>](mailto:david.pikker@vancouver.ca)
Date: 2/2/2021 8:39:51 AM
Subject: FW: 1005-21 | 8 Unit Stacked TH | Sewer information - DP-2020-00781
Attachments: Letter.pdf

Hey Dave,

If you would kindly get these guys started with their application it'd be greatly appreciated.

Cheers,

T

From: Sewer & Water Connection Permits <eng.swpermits@vancouver.ca>
Sent: Tuesday, February 02, 2021 8:33 AM
To: Quigley, Tyler <Tyler.Quigley@vancouver.ca>
Subject: FW: 1005-21 | 8 Unit Stacked TH | Sewer information - DP-2020-00781

From: Dhawal Leuva <dleuva@eproconsultants.ca>
Sent: Monday, February 1, 2021 12:03 PM
To: Sewer & Water Connection Permits <eng.swpermits@vancouver.ca>
Subject: [EXT] 1005-21 | 8 Unit Stacked TH | Sewer information - DP-2020-00781

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Hello,

I am the mechanical engineer retained by the developer to provide requested information in the attached letter. The project location is 2720 Ward St, Vancouver, BC.

Based on the available information, we have determined that a 6"Ø sanitary line will be required to serve the building load.

Can you send me the sanitary line size, location and invert for the property mentioned above. We need this info to prepare the drawings as requested in the attached letter.

Regards,
Dhawal Leuva,
M.Sc, P.Eng, LEED Green Associate
VP, Mechanical Lead

T: 403-966-5587

W: www.eproconsultants.ca [eproconsultants.ca]

British Columbia: Unit #206, 32625 South Fraser Way, Abbotsford, BC, V2T1X8

Alberta: #1800, 330 5th Ave SW, Calgary, AB, T2P0L4



Mechanical, Electrical & Energy Model Consultants

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December 22, 2020

To: Mo Maani
15 E 3rd Ave
Vancouver, BC
V5T 1C5

Re: 2720 Ward St

Development Permit Application: DP-2020-00781

Dear Mo Maani,

We have determined that a Natural Watercourse Covenant must be registered on the title of the property before your development permit can be issued. For more information, please contact Dan Walker (dan.walker@vancouver.ca) and Jim Burnett (jim.burnett@vancouver.ca).

After review of your development application, we have determined that a City sewer is available for the above noted property. **Please have your mechanical designer apply for a Commercial Sewer Permit.** To begin the permitting process, please have your mechanical designer contact the Sewer Design Branch as outlined in the following page.

It is the owner/applicant's responsibility to ensure mechanical plans have been submitted to the Engineering Department prior to picking up your Building Permit. **As the Sewer Permit is a condition of the Building permit, failure to submit Mechanical Plans will result in delays of the issuance of your Building Permit. The sewer permit will not be issued without Mechanical Plan review.**

Please forward the attached design information package to your mechanical designer to help with your mechanical plan submission. If you have any questions, please contact Sewer Design at eng.swpermits@vancouver.ca.

Regards,

Mike Komiya

Sewer Design Branch | Engineering Services
eng.swpermits@vancouver.ca

TO: **OWNER / AGENT/ MECHANICAL DESIGNER**

To speed up your application for development, see the following list to help you through your application for Public Sewer Connection:

- Step 1) Pass this information sheet on to your Mechanical Designer
- Step 2) Have your Mechanical Consultant contact Sewer Design at eng.swpermits@vancouver.ca to acquire possible locations and depths for your project prior to starting their design
- Step 3) Prepare the following so your application can be processed:
1. Proposed sizes of new sanitary and storm connections
 2. Proposed offset from nearest property line (e.g. 1 m west of east PL)
 3. OPTIONAL – Proposed invert elevation (geodetic datum) of both storm and sanitary at property line
- Step 4) Send your completed Mechanical Design to the Sewer Design Branch for review and fees

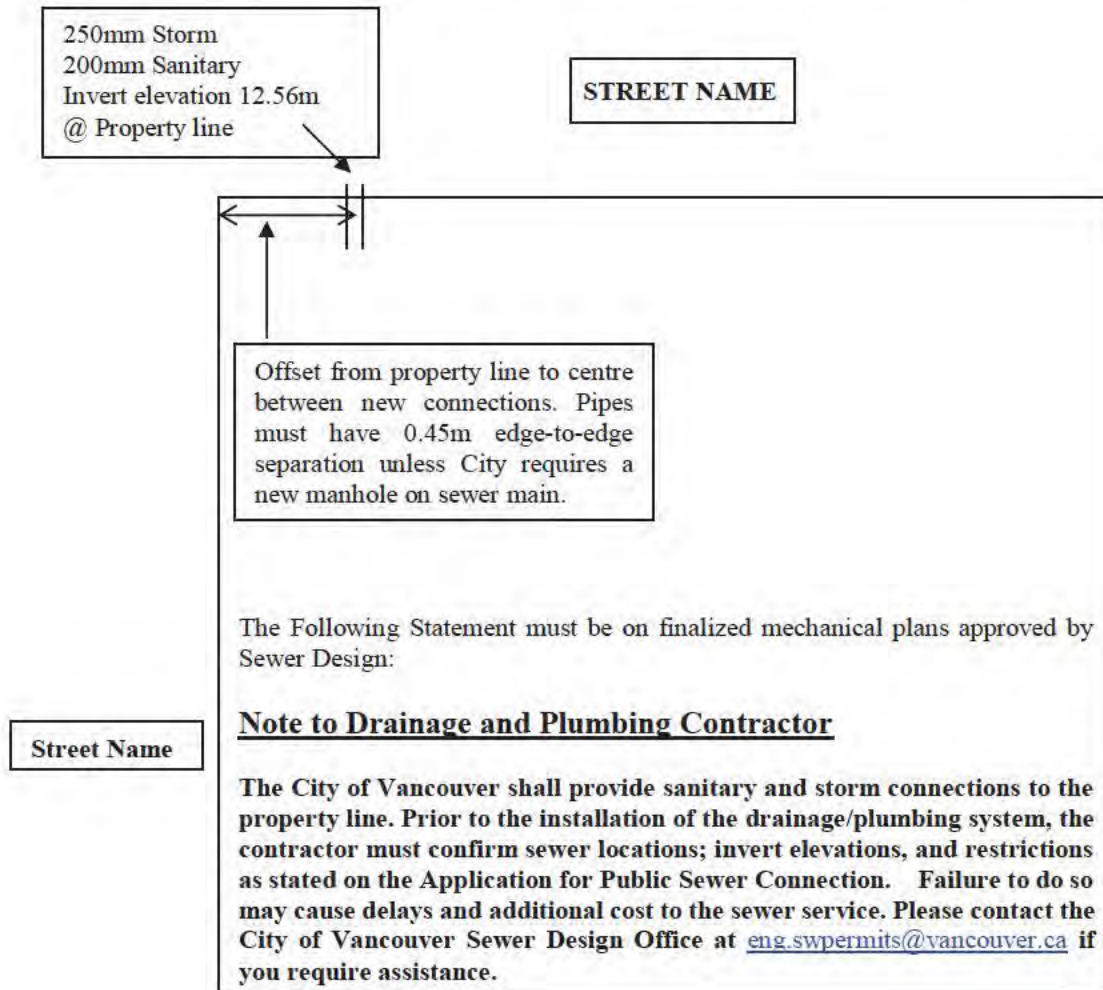
GENERAL NOTES FOR MECHANICAL DESIGNER

Mechanical plans must state:

The City of Vancouver shall provide sanitary and storm connections to the property line. Prior to the installation of the drainage/plumbing system, the contractor must confirm sewer locations, invert elevations, and restrictions as stated on the Application for Public Sewer Connection. Failure to do so may cause delays and additional cost to the sewer service. Please contact the City of Vancouver Sewer Design Office at eng.swpermits@vancouver.ca if you require assistance.

- Invert elevations for both storm and sanitary must be the same
- Typical orientation of pipes are sanitary left of storm when looking from the City sewer main
- Design connection as high as possible to avoid extra permit costs
- Designs can be in metric or imperial
- Pipes should be spaced 0.45m edge-to-edge unless the City requires a new manhole on the sewer main
- Changes to your propose pipe location and depth may be required due to actual field conditions
- **All non-City services must be installed a minimal of 1.52 meters from City Sewer services**

**Example of information that must be on Mechanical Plans for review by the
City of Vancouver Sewer Design Branch**



Notice to Mechanical Designer:

Before making revisions in your plumbing design that would affect locations, depths or pipe sizes, please contact Sewer Design to ensure the City can accommodate. Failure to do so could result in delays and additional cost for which the owner/applicant is responsible.



Commercial Sewer Mark-Out Sheet

February 5, 2021

Permit #: **SW-2020-01541**

Site Address: **2720 WARD STREET, Vancouver, BC V5R 4S6**

(2720 & 2726 Ward St – Lots 12 & 13)

LOT 12, EXCEPT THE SOUTH 10 FEET NOW LANE, OF LOT B BLOCKS 1 TO 4 DISTRICT LOT 37 PLAN 2421

LOT 13 EXCEPT THE SOUTH 10 FEET, NOW LANE OF LOT B BLOCKS 1 TO 4 DISTRICT LOT 37 PLAN 2421

Work Description

To develop a 3-storey stacked townhouse containing 8 units and 2 lock-off units providing 4 surface parking spaces.

Type of Work: Commercial Sewer - New

Maxi at Field: N

Construction Water Required?

TV Inspection Required? N

Lowest Slab Elevation (m):

Back of Walk Elevation (m):

Sewer Connections

Sewer Connection	Description:	NEW 150MM SANITARY AND 150MM STORM SERVICES	
	SAN Size (mm):	150	STM Size (mm): 150
	Re-Use:		
	SAN Length (m):	9.2	STM Length (m): 10
	Use Existing Wye:	N	Wye Distance: 23.4
	Pipe Burst:	No	
	New Fitting Required:	Twin	
	Offset Location:	1m East of the West PL, to WARD STREET	
	Comments:	SEWER SERVICES WILL CROSS 42MM GAS MAIN AND AN ABANDONED 60MM GAS MAIN. PROPOSED SEWER SERVICE WILL BE VERY CLOSE TO THE ABANDONED SEWER SERVICES FOR THE PROPERTY ACROSS THE STREET (2719 WARD ST) AT THE SEWER MAINS. GAS SERVICE FOR PROPERTY ACROSS THE STREET (2719 WARD ST) APPEARS TO BE ON THE EAST SIDE OF THE PROPERTY AND WILL NOT CONFLICT WITH PROPOSED SEWER SERVICE LOCATION.	

Service Discontinuations

Service	Size:
Discontinuation	Location:

Survey Comments:

Please note that this proposed development will consolidate properties 2720 Ward St and 2726 Ward St. Proposed sewer service location to be measured from west PL of 2720 Ward St (Lot 12). Please indicate the horizontal distance between the

proposed service location and the U/S storm MH.

From: ["Pikker, David" <david.pikker@vancouver.ca>](mailto:david.pikker@vancouver.ca)
To: ["Dhawal Leuva" <dleuva@eproconsultants.ca>](mailto:dleuva@eproconsultants.ca)
CC: ["Gurjot Brar" <gbrar@eproconsultants.ca>](mailto:gbrar@eproconsultants.ca)
PERDIP@moorehomesinc.com
Eric@victoreric.com
Date: 2/11/2021 8:56:23 AM
Subject: RE: 1005-21 | 8 Unit Stacked TH | Sewer information - DP-2020-00781 - 2720 Ward St
Attachments: 2720 Ward St.pdf
M1005-21 8 Unit Stacked TH - DP - 21-02-03.pdf

Greetings Dhawal,

The proposed off-site sewer servicing information is attached. Please submit (email me directly) a sealed drawing for sewer permitting reflecting the attached information. The proposed service location and invert elevation at the property line on your drawing will require some slight adjustments.

Please also include the following required drawing note on your sealed drawing:

Note to Drainage and Plumbing Contractor

The City of Vancouver shall provide sanitary and storm connections to the property line. Prior to the installation of the drainage/plumbing system, the contractor must confirm sewer locations, invert elevations, and restrictions as stated on the Commercial Sewer Permit. Failure to do so may cause delays and additional cost to the sewer service. Please call the City of Vancouver Sewer Design Office at 604-873-7463 if you require assistance.

Regards,

David Pikker
Sewer and Drainage Design Branch
City of Vancouver
1100-450 SW Marine Drive
ph. (604) 873-7463
david.pikker@vancouver.ca

From: Pikker, David
Sent: Friday, February 05, 2021 8:31 AM
To: 'Dhawal Leuva' <dleuva@eproconsultants.ca>

Cc: Quigley, Tyler <Tyler.Quigley@vancouver.ca>; Gurjot Brar <gbrar@eproconsultants.ca>;
PERDIP@moorehomesinc.com; Eric@victoreric.com
Subject: RE: 1005-21 | 8 Unit Stacked TH | Sewer information - DP-2020-00781 - 2720 Ward St

Greeting Dhawal,

Unfortunately, I do not know what proposed off-site sewer servicing information you require for your DP application as the Sewer Permit is a condition to the Building Permit, not the Development Permit. Once you have received the proposed sewer servicing information document from our branch, the proposed sewer servicing information will be confirmed. Please note that we will require a minimum of 1.52m of horizontal service separation between third party utility services (off-site gas service) and if you require an off-site water service size greater than 50mm, we will require 3.05m of horizontal service separation. Please contact our Water Design Branch at watercommercialpermits@vancouver.ca for the proposed water servicing information.

Unfortunately, I cannot provide you with a time frame for our fieldwork due to pandemic restrictions and limited staffing. I will forward you the detailed sewer servicing information as soon as it is available.

Regards,

David Pikker
Sewer and Drainage Design Branch
City of Vancouver
1100-450 SW Marine Drive
ph. (604) 873-7463
david.pikker@vancouver.ca

From: Dhawal Leuva <dleuva@eproconsultants.ca>
Sent: Friday, February 05, 2021 8:18 AM
To: Pikker, David <david.pikker@vancouver.ca>
Cc: Quigley, Tyler <Tyler.Quigley@vancouver.ca>; Gurjot Brar <gbrar@eproconsultants.ca>;
PERDIP@moorehomesinc.com; Eric@victoreric.com
Subject: [EXT] RE: 1005-21 | 8 Unit Stacked TH | Sewer information - DP-2020-00781 - 2720 Ward St

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Good morning David,

Thank you for your response. We have prepared drawing showing sanitary lines on the west property line towards Ward St. Can you check if the drawing has all the required information

for DP then we can submit these?

Can you give us time frame when the survey information will be available?

Regards,

Dhawal Leuva,

M.Sc, P.Eng, LEED Green Associate

VP, Mechanical Lead

T: 403-966-5587

W: www.eproconsultants.ca [eproconsultants.ca]

British Columbia: Unit #206, 32625 South Fraser Way, Abbotsford, BC, V2T1X8

Alberta: #1800, 330 5th Ave SW, Calgary, AB, T2P0L4



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From: Pikker, David <david.pikker@vancouver.ca>

Sent: February 5, 2021 9:11 AM

To: Dhawal Leuva <dleuva@eproconsultants.ca>

Cc: Quigley, Tyler <Tyler.Quigley@vancouver.ca>

Subject: 1005-21 | 8 Unit Stacked TH | Sewer information - DP-2020-00781 - 2720 Ward St

Greetings Dhawal,

I will be your Sewer Permit contact for this proposed development as Mike Komiya is no longer with our branch.

Due to the limited length of sewer mains available under Ward St for this proposed development, we will dispatch our surveyor to the site to complete our off-site sewer service design fieldwork shortly and once our fieldwork is complete, we will forward you detailed sewer servicing information to apply to your sealed drawing for sewer permitting. At this time, we are proposing the off-site sanitary and storm services to be installed under Ward St near the west property line.

Regards,

David Pikker
Sewer and Drainage Design Branch
City of Vancouver
1100-450 SW Marine Drive
ph. (604) 873-7463
david.pikker@vancouver.ca

From: Dhawal Leuva <dleuva@eproconsultants.ca>
Sent: Monday, February 1, 2021 12:03 PM
To: Sewer & Water Connection Permits <eng.swpermits@vancouver.ca>
Subject: [EXT] 1005-21 | 8 Unit Stacked TH | Sewer information - DP-2020-00781

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

Hello,

I am the mechanical engineer retained by the developer to provide requested information in the attached letter. The project location is 2720 Ward St, Vancouver, BC.

Based on the available information, we have determined that a 6"Ø sanitary line will be required to serve the building load.

Can you send me the sanitary line size, location and invert for the property mentioned above. We need this info to prepare the drawings as requested in the attached letter.

Regards,

Dhawal Leuva,

M.Sc, P.Eng, LEED Green Associate

VP, Mechanical Lead

T: 403-966-5587

W: www.euproconsultants.ca [eproconsultants.ca]

British Columbia: Unit #206, 32625 South Fraser Way, Abbotsford, BC, V2T1X8

Alberta: #1800, 330 5th Ave SW, Calgary, AB, T2P0L4



Mechanical, Electrical & Energy Model Consultants

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DATE: February 11, 2021

TO: Dhawal Leuva

FROM: David Pikker

SUBJECT/MESSAGE: **2720 Ward St. – Sewer Servicing Information**

Dear Dhawal,

Here is the sewer servicing information for 2720 Ward St. Please submit a sealed drawing that reflects the following information.

150mm Sanitary/150mm Storm Location = 1.00 meter east of the west property line to Ward St. This service location offset is to the middle of both pipes.

Please show 0.457 meters separation between the pipes at the property line (inside edge of pipe to inside edge of pipe).

The off-site sanitary and storm services will terminate at right angles at the property line.

The sanitary pipe will be to the left of the storm pipe when facing the property from the sewer mains.

Minimum Depth (invert elevation at the property line) = 85.96 meters.

Maximum Depth (invert elevation at the property line) = 85.09 meters.

The invert elevation of the sanitary and storm services must be the same at the property line.

Sanitary and Storm Fixture Restriction = 87.48 meters.

Please contact the Plumbing and Gas Inspection Branch through our 311 Contact Centre for details pertaining to the new Sanitary and Storm Fixture Restriction guidelines.

Please contact the Water Design Branch at watercommercialpermits@vancouver.ca for water servicing information.

Thank You,

A handwritten signature in black ink, appearing to be "DP" followed by a horizontal line.

David Pikker

RM-7 STACKED TOWNHOUSE

ISSUED FOR DEVELOPMENT PERMIT
2720, 2726 WARD ST, VANCOUVER, BC



Unit #206, 32625 South Fraser
Way, Abbotsford BC, V2T 1X8
Email: info@eproconsultants.ca
PH: 778-242-8111

BUILDING SANITARY LOAD SUMMARY

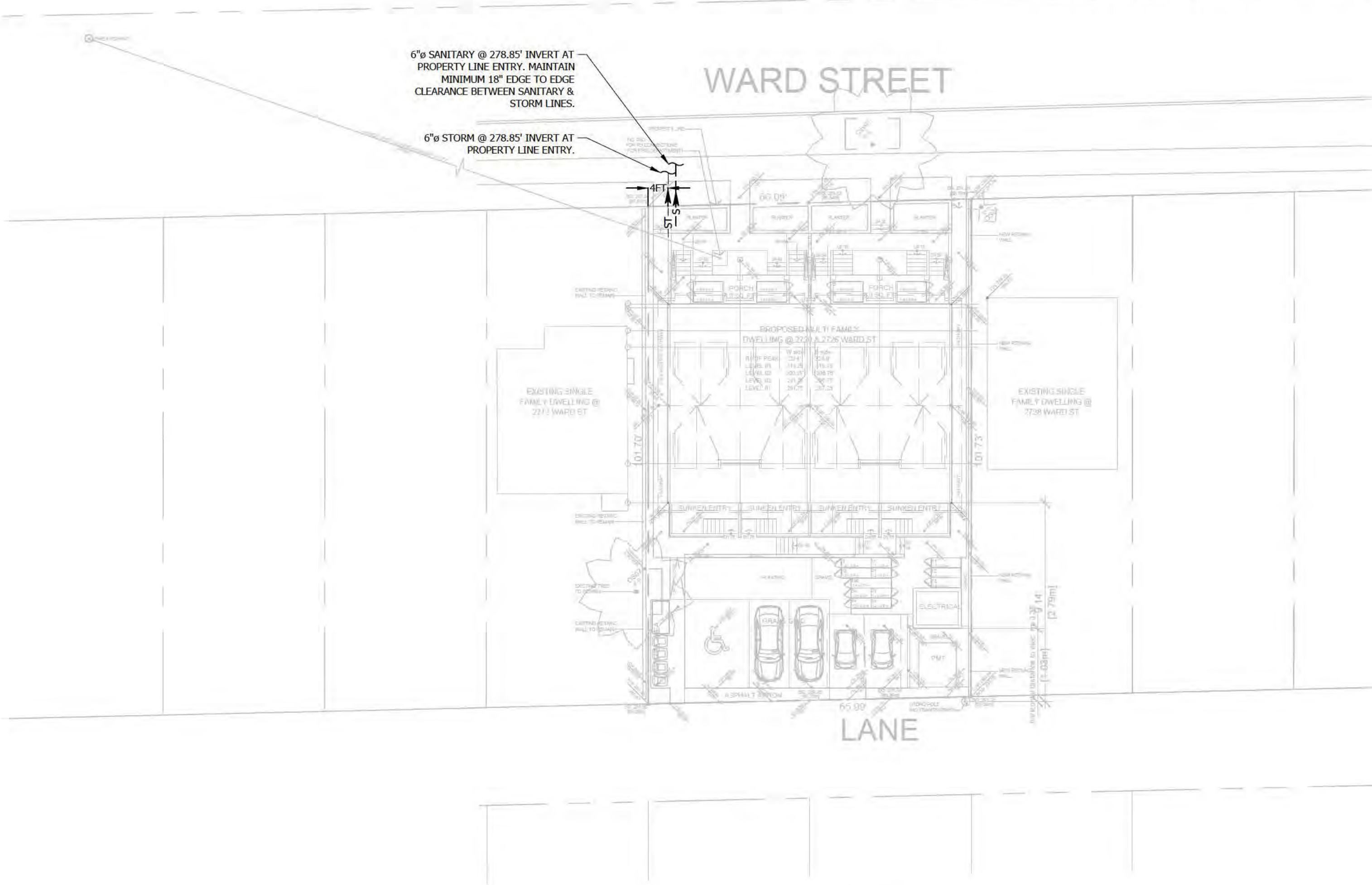
DESCRIPTION	SIZE (LOAD)
BUILDING SANITARY LOAD	6"Ø @ 1% SLOPE (194 FU)

PLUMBING SYMBOL SCHEDULE

---	DOMESTIC COLD WATER (DCW)
---	DOMESTIC HOT WATER (DHW)
---	DOMESTIC HOT WATER RECIRC. (DHW/R)
-S-	SANITARY PIPING ABOVE FLOOR
-S-	SANITARY PIPING BELOW FLOOR
-GS-	GREASE SANITARY PIPING BELOW FLOOR
-CD-	CONDENSATE DRAIN
-ST-	STORM PIPING ABOVE FLOOR
-ST-	STORM PIPING BELOW FLOOR
-V-	SANITARY VENTING
-X-X-	PERIMETER DRAIN TILE
FM	FIRE PROTECTION / SPRINKLER MAIN PIPING
FB	FIRE PROTECTION / SPRINKLER BRANCH LINE PIPING
G	GAS PIPING - LOW PRESSURE (5 PSI OR LESS)
G	GAS PIPING - HIGH PRESSURE (10 PSI OR MORE)
CA	COMPRESSED AIR PIPING
Δ	DOMESTIC COLD WATER C/W STOPS
Δ	DOMESTIC HOT WATER C/W STOPS
GM	GAS METER
WM	WATER METER
DRIP	PIPING DROP / RISE
T	STRAINER
+	BALANCING VALVE
+	CIRCUIT BALANCE VALVE
+	UNION
+	GATE VALVE
+	BALL VALVE
+	GLOBE VALVE
+	2 WAY CONTROL VALVE
+	3 WAY CONTROL VALVE
+	CHECK VALVE
+	PRESSURE REDUCING VALVE
+	THERMOSTATIC STEAM TRAP
+	FLEXIBLE CONNECTOR
+	APPROVED REDUCED PRESSURE BACKFLOW PREVENTER
+	PRESSURE RELIEF VALVE PIPED TO DRAIN
+	GAS PLUG VALVE
+	FIRE DEPT. SIAMESE CONNECTION
+	GAS PRV VENTED TO ATMOSPHERE
+	FLOW SWITCH
+	TEMPERATURE GAUGE
+	PRESSURE GAUGE C/W GAUGE COCK
+	PRESSURE SWITCH
+	AIR VENT
+	AUTOMATIC AIR VENT, PIPED TO FLOOR DRAIN OR P-TRAP
+	SANITARY & STORM PIPE CLEAN-OUT FLUSH TO FLOOR SLAB
+	SANITARY & STORM PIPE CLEAN-OUT AT END OF PIPE
+	FLOOR DRAIN
+	HUB DRAIN
+	FUNNEL FLOOR DRAIN
+	AREA DRAIN
+	ROOF DRAIN
+	PLANTER DRAIN
+	DRAIN TRAP
+	P-TRAP
+	LAUNDRY BOX
+	HOSE BIBB
+	EXISTING
+	VENT THROUGH ROOF
+	SINK
+	LAVATORY
+	WATER CLOSET
+	URINAL
+	FLOOR DRAIN OR FIRE DAMPER
+	TRENCH DRAIN
+	SHOWER
+	BATH TUB

MECHANICAL DRAWING LIST

SHEET NUMBER	SHEET NAME
M-0.0	MECHANICAL COVER SHEET
M-0.1	FOUNDATION PLAN - DRAINAGE LAYOUT
M-1.1	LEVEL 1 FLOOR PLAN - DRAINAGE LAYOUT
M-1.2	LEVEL 2 FLOOR PLAN - DRAINAGE LAYOUT
M-1.3	LEVEL 3 FLOOR PLAN - DRAINAGE LAYOUT
M-1.4	LEVEL 4 FLOOR PLAN - DRAINAGE LAYOUT
M-2.1	LEVEL 1 FLOOR PLAN - PLUMBING LAYOUT
M-2.2	LEVEL 2 FLOOR PLAN - PLUMBING LAYOUT
M-2.3	LEVEL 3 FLOOR PLAN - PLUMBING LAYOUT
M-2.4	LEVEL 4 FLOOR PLAN - PLUMBING LAYOUT
M-3.1	LEVEL 1 FLOOR PLAN - HVAC LAYOUT
M-3.2	LEVEL 2 FLOOR PLAN - HVAC LAYOUT
M-3.3	LEVEL 3 FLOOR PLAN - HVAC LAYOUT
M-3.4	LEVEL 4 FLOOR PLAN - HVAC LAYOUT
M-4.1	MECHANICAL DETAILS
M-5.1	MECHANICAL SCHEDULES
M-6.1	MECHANICAL SPECIFICATIONS



KEY PLAN
SCALE: NTS

1 02/03/2021 ISSUED FOR DP

NO: DATE: (m/d/y) DESCRIPTION:

ISSUES & REVISIONS:

SEAL:

PROJECT NAME:
RM-7 STACKED TOWNHOUSE

PROJECT #: M1005-21

PROJECT ADDRESS:
2720, 2726 WARD ST,
VANCOUVER, BC

DATE: FEB-01-2021

DSN: DL CHK: GB

SCALE: AS NOTED

DRAWING TITLE:
MECHANICAL COVER PAGE

DRAWING #: M-0.0

THIS DRAWING IS PROPERTY OF CONSULTING
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KEY NOTES:

- 1 APPROXIMATE LOCATION OF INCOMING 6" SANITARY SERVICE FOR THE BUILDING @ 278.85' INVERT. CONFIRM EXACT SIZE, LOCATION & INVERT OF SANITARY ON SITE.
- 2 EXTEND NEW 6" SANITARY TO SERVE BUILDING C/W CLEANOUT AT SERVICE ENTRY IN THE BUILDING.
- 3 3" DRAINAGE STACK FROM ABOVE THROUGH FLOOR SLAB.
- 4 APPROXIMATE LOCATION OF 6" STORM CONNECTION @ 278.85' INVERT. CONFIRM INVERT AND SIZE OF STORM LINE ON SITE. STORM WATER FROM ROOF TO BE DIRECTED TO STORM LINE BELOW GROUND BY EXTERIOR RAIN WATER LEADER (RWL). COORDINATE WITH ARCHITECT FOR EXACT NUMBER AND LOCATION OF RWLS.

PLUMBING NOTES:

ALL PIPING MATERIAL SHALL CONFORM TO B.C.P.C.-2018.

CONTRACTOR TO ENGAGE STRUCTURAL ENGINEER FOR ALL SEISMIC RESTRAINT REQUIREMENTS. STRUCTURAL ENGINEER IS REQUIRED TO SUBMIT SCHEDULES S-B & S-C TO MECHANICAL ENGINEER.

VERIFY ALL EXISTING PLUMBING SERVICE PIPING LOCATIONS, SIZES & INVERTS ON SITE PRIOR TO TENDER CLOSE.

PRIOR TO COMMENCING ANY PIPING INSTALLATIONS WITHIN THE BUILDING, THE MECHANICAL CONTRACTOR MUST CHECK THE SIZES, LOCATION AND INVERT ELEVATIONS OF ALL CAPPED SERVICES.

PROVIDE 1/4-TURN METAL BALL VALVE SHUT-OFFS AT ALL FIXTURES ON DOM. HOT AND COLD PIPING.

ALL DOM. WATER & STORM PIPING ABOVE GRADE TO BE FULLY INSULATED.

ALL DOM. WATER DISTRIBUTION PIPING TO BE 1/2" O U.N.O.

PROVIDE 1/2" DCW / DHW FOR INDIVIDUAL SINKS AND LAVS.

PROVIDE 1/2" DCW AND MINIMUM 3" SAN FOR FLUSH-TANK TOILETS.

PROVIDE 1/2" DCW / DHW, 3" SAN & 1-1/2" VENT FOR JANITOR SINK. RPBA DEVICES ON DCW/DHW INLETS REQUIRED WHERE SOAP/ CHEMICAL STATIONS ARE CONNECTED TO SINK FAUCET.

PROVIDE CLEAN-OUTS THROUGH-OUT TO PLUMBING CODE REQUIREMENTS.

SLOPE ALL SANITARY PIPING 4" AND LARGER AT 1%. SLOPE 3" AND SMALLER AT 2%.

ALL SANITARY VENTING TO BE MIN. 2", GATHERED & EXTENDED TO NEW 2" SANITARY VENT THROUGH ROOF WHERE SHOWN U.N.O. EXPAND TO 3" MIN. 2" BELOW ROOF DECK. INDIVIDUAL FIXTURE VENTS CAN BE 1-1/2" U.N.O.

PROVIDE 1-1/2" TRAP FOR SINKS AND 1-1/4" TRAP FOR LAVS, WITH 2" SANITARY DRAINAGE TO UNDER SLAB.

ALL SANITARY DRAINAGE PIPING TO BE 4" @ 1% U.N.O.

FLOOR DRAINS TO BE 3" WITH TRAP PRIMER U.N.O.

CONNECT ALL UNDERSLAB SANITARY VENTING TO CROWN OF SANITARY PIPE AND SLOPE UP AT MIN. 2% TO NEAREST WALL. VENT TO BE MIN. 1-1/2" U.N.O.

PROVIDE SHUT-OFF VALVES IN CEILING AT EACH WASHROOM OR ANY ROOM W/ PLUMBING FIXTURES.

PROVIDE S.S. WATER HAMMER ARRESTOR ON ALL EQUIPMENT WITH SOLENOID VALVE-ACTIVATED WATER SUPPLIES.

PROVIDE PRE-FORMED, PVC COVERED INSULATED P-TRAP COVERS ON ALL P-TRAPS IN PARKADE.

ALL PIPING (SANITARY & DOMESTIC WATER) SHOWN AGAINST EXTERIOR AND DEMISING WALLS TO BE FURRED IN AND INSTALLED ON WARM SIDE OF INSULATION AND VAPOR BARRIER. WHERE FURRING IS NOT PRESENT, PROVIDE CAVITY WITHIN BATT-INSULATED WALL FORMED FROM R20 RIGID FOAM INSULATION AND SEAL AIRTIGHT AROUND INSULATED PIPE.

WHERE PIPING OF PLASTIC OR METAL CONSTRUCTION IS SUSCEPTIBLE TO EXPANSION OR ABRASION FROM MOVEMENT, PROVIDE CUSHIONED-STYLE VERTICAL RISER CLAMPS.

TRAP PRIMERS ON FLOOR DRAINS ARE TO BE INSTALLED IN ACCESSIBLE LOCATION. WHERE INSTALLED IN-WALL, PROVIDE STAINLESS STEEL COVER PLATE WITH LABEL INDICATING TRAP PRIMER IS BEHIND. PEX TUBING ACCEPTABLE FOR TRAP PRIMER PIPING.

PROVIDE 1-3/4" OVERFLOW DRAIN, DRAIN PAN, AND SEISMIC RESTRAINTS FOR ELEC. HOT WATER TANKS. CONNECT OVERFLOW DRAIN TO NEAREST SINK P-TRAP. SEE DETAIL.

ALL ABOVE-SLAB DRAINAGE PIPING IS TO BE NON-COMBUSTIBLE CAN/ULC S102.2 LISTED (CAST IRON, DWV COPPER OR SYSTEM XFR PVC). ABOVE-SLAB DOMESTIC WATER TO BE NON-COMBUSTIBLE CAN/ULC S102.2 LISTED (DUCTILE IRON, TYPE L COPPER, CROSS-LINKED POLYETHYLENE OR CPVC 'AQUARISE'). NON-XFR SYSTEM 15 PVC PIPING MAY BE USED IN APPLICATIONS WITHOUT CEILING RETURN AIR PLENUMS ONLY, SUCH AS SHOW AREAS AND SINK/LAV P-TRAPS AND TAILPIECES. FORCE-MAINS TO BE PRESSURE RATED, NON-COMBUSTIBLE PIPING SUCH AS CPVC (AQUARISE OR SCH.80 CORZAN) W/ SOLVENT-WELD FITTINGS.

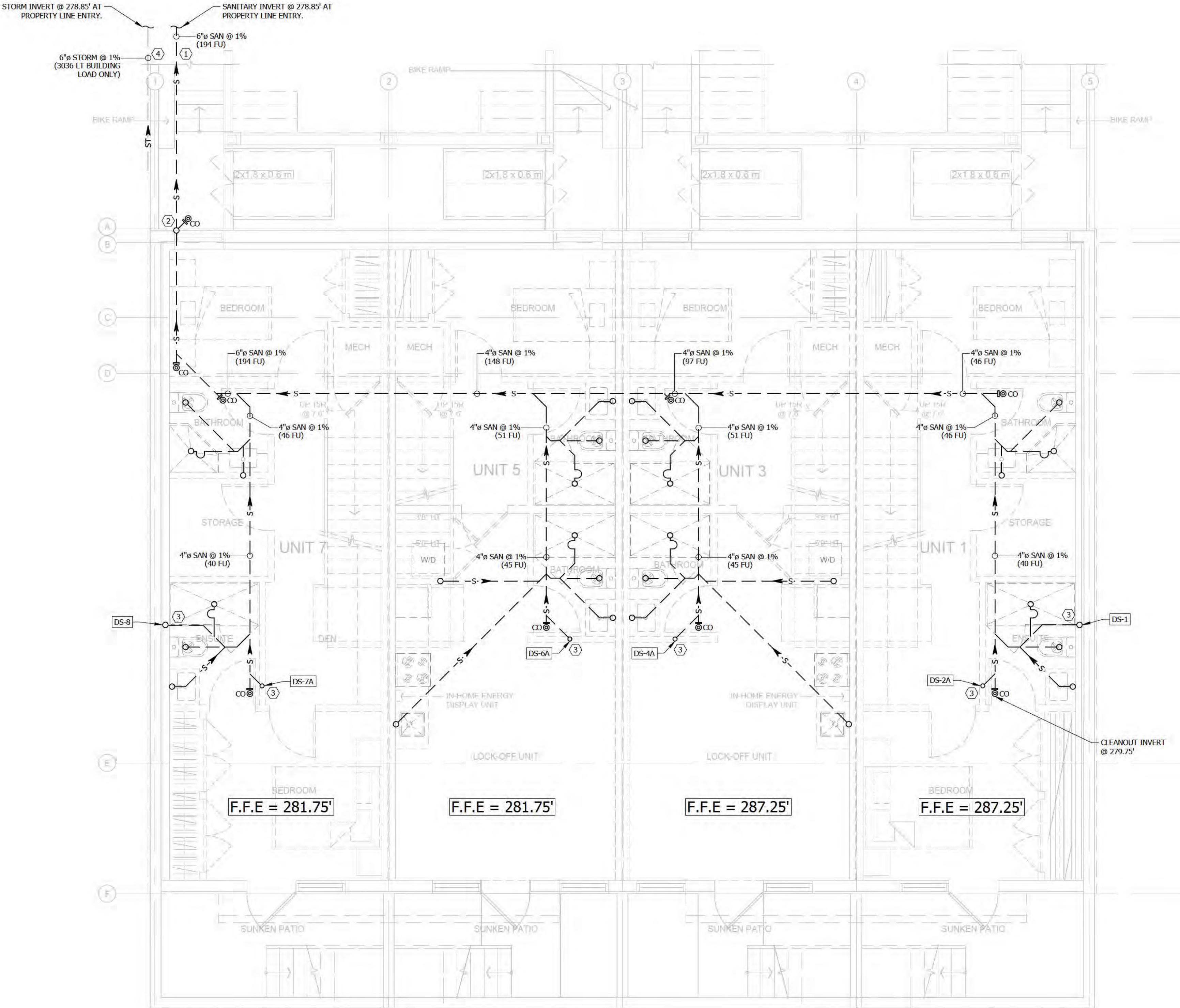
ALL NATURAL GAS DISTRIBUTION PIPING TO BE BLACK IRON PIPE WITH YELLOW BANDING U.N.O. PROVIDE 3/4" BRANCH PIPING TO EACH PIECE OF EQUIPMENT C/W REGULATOR AND SHUT-OFF.

PROVIDE GAS LINE REDUCERS AS REQUIRED FOR FINAL CONNECTION TO EQUIPMENT.

PROVIDE FIRESTOPPING AT ALL DUCT AND PIPING PENETRATIONS THROUGH RATED FLOORS/WALLS AND SHAFTS. ALL PIPING PENETRATIONS BETWEEN THE PARKING GARAGE AND THE 1ST FLOOR AND AT ALL PENETRATIONS OF THE 2 HOUR FIREWALL SHALL HAVE A ULC LISTED FIRE STOP SYSTEM WITH A 2-HOUR RATING.

GC SHALL ENSURE NO COMBUSTIBLE MATERIALS ARE EXPOSED WITHIN CEILING SPACES USED AS AN AIR PLENUM. NO MATERIALS MAY HAVE A SMOKE DEVELOPED CLASSIFICATION MORE THAN 50 OR A FLAME SPREAD RATING MORE THAN 25. GC SHALL ENSURE ALL COMBUSTIBLE MATERIALS ARE REMOVED OR ENTIRELY COVERED WITH METAL, GWB OR MATERIAL APPROVED BY THE AUTHORITY HAVING JURISDICTION.

FOR RENOVATION JOBS (T1s) GC/PLUMBING CONTRACTOR SHALL ENSURE THAT MAX. DCW PIPE SIZE ON PLUMBING DRAWING IS EQUAL TO OR LARGER THAN EXISTING WATER MAIN ON SITE. IF EXIST. WATER MAIN IS SMALLER THAN SPECIFIED MAX. WATER LINE SIZE IN DWG. IT IS GC/PLUMBING CONTRACTOR'S RESPONSIBILITY TO NOTIFY ENGINEER AND CLIENT. WATER MAIN UPGRADE MAY BE REQUIRED AT OWNER'S COST.



FOUNDATION PLAN - DRAINAGE LAYOUT
SCALE: 1/4" = 1'-0"

1 02/03/2021 ISSUED FOR DP

NO. DATE: (m/d/y) DESCRIPTION:

ISSUES & REVISIONS:

SEAL:

PROJECT NAME:
RM-7 STACKED TOWNHOUSE

PROJECT #: M1005-21

PROJECT ADDRESS:
2720, 2726 WARD ST,
VANCOUVER, BC

DATE: FEB-01-2021

DSN: DL CHK: GB

SCALE: AS NOTED

DRAWING TITLE:
FOUNDATION PLAN - DRAINAGE
LAYOUT

DRAWING #: M-0.1

From: "Komiya, Mike" <mike.komiya@vancouver.ca>
To: s.22(1)
Date: 12/22/2020 3:05:21 PM
Subject: Sewer requirement at 2720 Ward St (DP-2020-00781)
Attachments: Letter.pdf

Hi Mo,

A permit for a new sewer connection is required for the proposed development noted above as

- A new building will be constructed on site
- The existing connections (installed in 1953) are too old to be reused

As per attached letter, please have your mechanical designer forward a site plan for review to eng.swpermits@vancouver.ca.

Thanks,

Mike Komiya
Sewer & Drainage Design
City of Vancouver
mike.komiya@vancouver.ca

December 22, 2020

To: Mo Maani
15 E 3rd Ave
Vancouver, BC
V5T 1C5

Re: 2720 Ward St

Development Permit Application: DP-2020-00781

Dear Mo Maani,

We have determined that a Natural Watercourse Covenant must be registered on the title of the property before your development permit can be issued. For more information, please contact Dan Walker (dan.walker@vancouver.ca) and Jim Burnett (jim.burnett@vancouver.ca).

After review of your development application, we have determined that a City sewer is available for the above noted property. **Please have your mechanical designer apply for a Commercial Sewer Permit.** To begin the permitting process, please have your mechanical designer contact the Sewer Design Branch as outlined in the following page.

It is the owner/applicant's responsibility to ensure mechanical plans have been submitted to the Engineering Department prior to picking up your Building Permit. **As the Sewer Permit is a condition of the Building permit, failure to submit Mechanical Plans will result in delays of the issuance of your Building Permit. The sewer permit will not be issued without Mechanical Plan review.**

Please forward the attached design information package to your mechanical designer to help with your mechanical plan submission. If you have any questions, please contact Sewer Design at eng.swpermits@vancouver.ca.

Regards,

Mike Komiya

Sewer Design Branch | Engineering Services
eng.swpermits@vancouver.ca

TO: **OWNER / AGENT/ MECHANICAL DESIGNER**

To speed up your application for development, see the following list to help you through your application for Public Sewer Connection:

- Step 1) Pass this information sheet on to your Mechanical Designer
- Step 2) Have your Mechanical Consultant contact Sewer Design at eng.swpermits@vancouver.ca to acquire possible locations and depths for your project prior to starting their design
- Step 3) Prepare the following so your application can be processed:
1. Proposed sizes of new sanitary and storm connections
 2. Proposed offset from nearest property line (e.g. 1 m west of east PL)
 3. OPTIONAL – Proposed invert elevation (geodetic datum) of both storm and sanitary at property line
- Step 4) Send your completed Mechanical Design to the Sewer Design Branch for review and fees

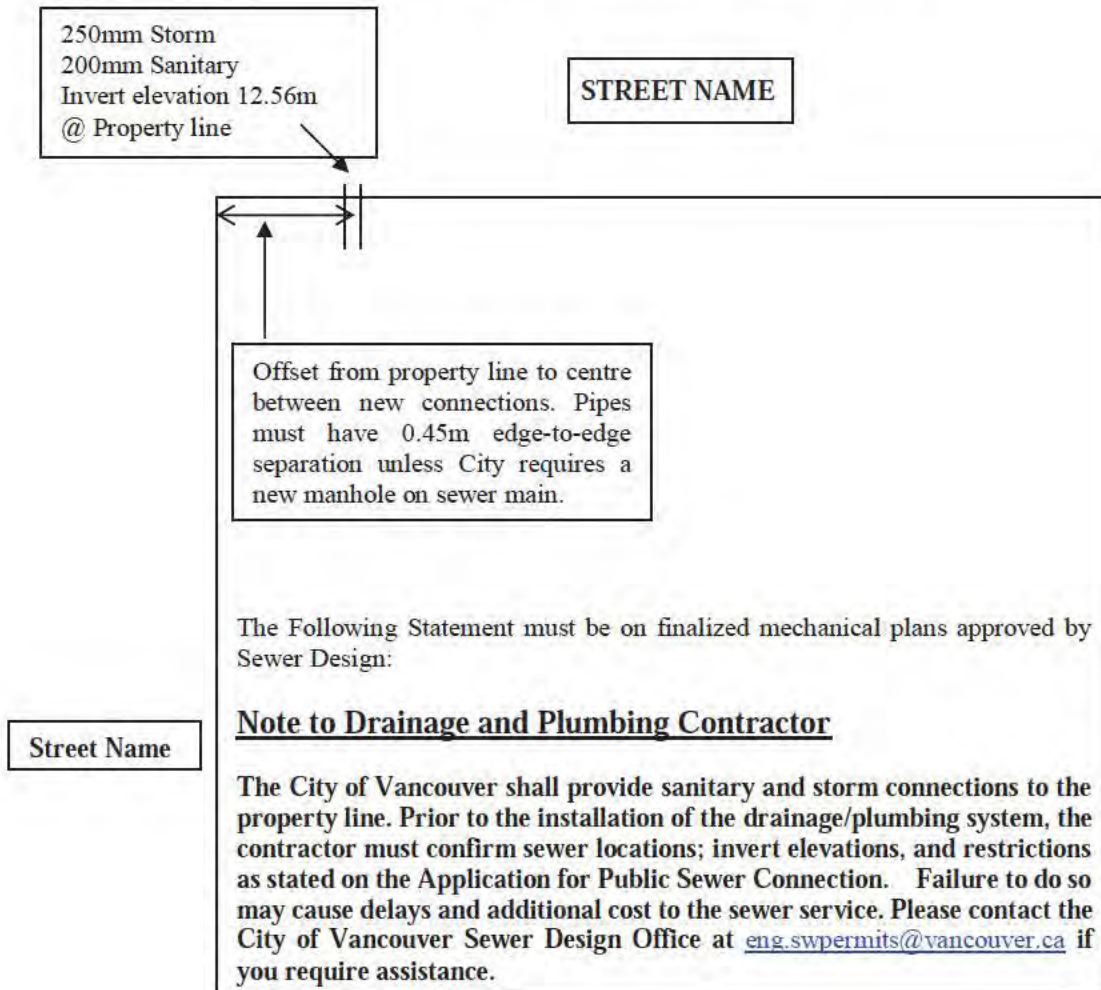
GENERAL NOTES FOR MECHANICAL DESIGNER

Mechanical plans must state:

The City of Vancouver shall provide sanitary and storm connections to the property line. Prior to the installation of the drainage/plumbing system, the contractor must confirm sewer locations, invert elevations, and restrictions as stated on the Application for Public Sewer Connection. Failure to do so may cause delays and additional cost to the sewer service. Please contact the City of Vancouver Sewer Design Office at eng.swpermits@vancouver.ca if you require assistance.

- Invert elevations for both storm and sanitary must be the same
- Typical orientation of pipes are sanitary left of storm when looking from the City sewer main
- Design connection as high as possible to avoid extra permit costs
- Designs can be in metric or imperial
- Pipes should be spaced 0.45m edge-to-edge unless the City requires a new manhole on the sewer main
- Changes to your propose pipe location and depth may be required due to actual field conditions
- **All non-City services must be installed a minimal of 1.52 meters from City Sewer services**

**Example of information that must be on Mechanical Plans for review by the
City of Vancouver Sewer Design Branch**



Notice to Mechanical Designer:

Before making revisions in your plumbing design that would affect locations, depths or pipe sizes, please contact Sewer Design to ensure the City can accommodate. Failure to do so could result in delays and additional cost for which the owner/applicant is responsible.

February 5, 2021

Permit #: **SW-2020-01541**

Site Address: **2720 WARD STREET, Vancouver, BC V5R 4S6** (2720 & 2726 Ward St – Lots 12 & 13)

LOT 12, EXCEPT THE SOUTH 10 FEET NOW LANE, OF LOT B BLOCKS 1 TO 4 DISTRICT LOT 37 PLAN 2421

LOT 13 EXCEPT THE SOUTH 10 FEET, NOW LANE OF LOT B BLOCKS 1 TO 4 DISTRICT LOT 37 PLAN 2421

Work Description

To develop a 3-storey stacked townhouse containing 8 units and 2 lock-off units providing 4 surface parking spaces.

Type of Work: Commercial Sewer - New

Maxi at Field: N

Construction Water Required?

TV Inspection Required? N

Lowest Slab Elevation (m):

Back of Walk Elevation (m):

Sewer Connections

Sewer Connection	Description:	NEW 150MM SANITARY AND 150MM STORM SERVICES	
	SAN Size (mm):	150	STM Size (mm): 150
	Re-Use:		
	SAN Length (m):	9.2	STM Length (m): 10
	Use Existing Wye:	N	Wye Distance: 23.4
	Pipe Burst:	No	
	New Fitting Required:	Twin	
	Offset Location:	1m East of the West PL, to WARD STREET	
	Comments:	SEWER SERVICES WILL CROSS 42MM GAS MAIN AND AN ABANDONED 60MM GAS MAIN. PROPOSED SEWER SERVICE WILL BE VERY CLOSE TO THE ABANDONED SEWER SERVICES FOR THE PROPERTY ACROSS THE STREET (2719 WARD ST) AT THE SEWER MAINS. GAS SERVICE FOR PROPERTY ACROSS THE STREET (2719 WARD ST) APPEARS TO BE ON THE EAST SIDE OF THE PROPERTY AND WILL NOT CONFLICT WITH PROPOSED SEWER SERVICE LOCATION.	

Service Discontinuations

Service	Size:
Discontinuation	Location:

Survey Comments:

Please note that this proposed development will consolidate properties 2720 Ward St and 2726 Ward St. Proposed sewer service location to be measured from west PL of 2720 Ward St (Lot 12). Please indicate the horizontal distance between the

✓
proposed service location and the U/S storm MH.

MO 8/2/2021 (MTM)

NOTE: ⁰ U/S STM MH @
3.15m E of W PL

2720 WARD STREET

