

File No.: 04-1000-20-2023-209

May 23, 2023

s.22(1)

Dear s.22(1)

Re: **Request for Access to Records under the Freedom of Information and Protection of Privacy Act (the "Act")**

I am responding to your request of April 6, 2023 under the ***Freedom of Information and Protection of Privacy Act*** for:

Record of entire file relating to 901 E Hastings Street, including inspection reports and health department memos. Date range: June 4, 2003 to April 5, 2023.

All responsive records are attached. Some information in the records has been severed (blacked out) under s.3(5)(a), s.15(1)(l), and s.22(1) of the Act. You can read or download these sections here: http://www.bclaws.ca/EPLibraries/bclaws_new/document/ID/freeside/96165_00.

Permit applications, certificates of inspection, letters of assurance, permit-related inspection reports, and Building & Development permit plans are routinely available on a fee for service basis from the Property Research section of the Development, Building & Licensing Department. To access these records please contact Property Research at property.research@vancouver.ca.

Permits can also be searched online at the following link: www.vancouver.ca/permit-search.

Please see the following link which also provides more information on obtaining property records:
<https://vancouver.ca/home-property-development/request-property-research-and-copies-of-permits.aspx>.

Under section 52 of the Act, and within 30 business days of receipt of this letter, you may ask the Information & Privacy Commissioner to review any matter related to the City's response to your FOI request by writing to: Office of the Information & Privacy Commissioner, info@oipc.bc.ca or by phoning 250-387-5629.

If you request a review, please provide the Commissioner's office with: 1) the request number (#04-1000-20-2023-209); 2) a copy of this letter; 3) a copy of your original request; and 4) detailed reasons why you are seeking the review.

Yours truly,

[Signed by Cobi Falconer]

Cobi Falconer, MAS, MLIS, CIPP/C
Director, Access to Information & Privacy
cobi.falconer@vancouver.ca
453 W. 12th Avenue Vancouver BC V5Y 1V4

If you have any questions, please email us at foi@vancouver.ca and we will respond to you as soon as possible. Alternatively, you can call the FOI Case Manager at 604-871-6584.

Encl. (Response Package)

:aa



CITY OF VANCOUVER
COMMUNITY SERVICES GROUP
Licences & Inspection
Licence Department
Tel. No. (604) 873-7568
Fax No. (604) 871-6394

BUSINESS LICENCE APPLICATION FORM

Date: Nov 2, 2004

☒ New Licence Application ☐ Transfer ☐ Other

☒ Commercial/Industrial ☐ Home Based ☐ Out-of-Town ☐ Kiosk ☐ Non-Profit

BUSINESS ADDRESS: 901 EAST HASTINGS STREET VANCOUVER V6A-1R9
(Including Postal Code)

MAILING ADDRESS: _____
(Only if different from the above address)

TYPE OF BUSINESS: WHOLESALE RESTAURANT SUPPLY

Please describe in detail the nature of your business and the intended use of the premise (both primary and ancillary):

SELL NEW KITCHEN EQUIPMENT AND DESIGN SERVICES

BUSINESS OWNER (S): Please present one form of current photo identification upon application. If a business address is from a Vancouver residential address, a proof of address is required. If a representative is applying for the business licence, a letter of authorization is required upon application.

1. s.22(1) Date of Birth: s.22(1)
(PRINT NAME)
☐ Driver's Licence ID No. s.22(1) ☐ Passport ID No. _____
☐ BCID ID No. _____ ☐ Other ID No. _____
BUSINESS PHONE NO: 604-216-2566 HOME PHONE NO: s.22(1)
FAX NO: 604-216-2567 CELLULAR PHONE NO: s.22(1)
s.22(1)

2. _____ Date of Birth: _____
(PRINT NAME)
☐ Driver's Licence ID No. _____ ☐ Passport ID No. _____
☐ BCID ID No. _____ ☐ Other ID No. _____
BUSINESS PHONE NO: _____ HOME PHONE NO: _____
FAX NO: _____ CELLULAR PHONE NO: _____
☐ Canadian Citizen ☐ Landed Immigrant/Permanent Residence ☐ Working Visa

3. _____ Date of Birth: _____
 (PRINT NAME)
☐ Driver's Licence ID No. _____ ☐ Passport ID No. _____
☐ BCID ID No. _____ ☐ Other ID No. _____
 BUSINESS PHONE NO: _____ HOME PHONE NO: _____
 FAX NO: _____ CELLULAR PHONE NO: _____
☐ Canadian Citizen ☐ Landed Immigrant/Permanent Residence ☐ Working Visa

INCORPORATED OR LIMITED COMPANY NAME: (If Incorporated or Limited, a copy of the certificate is required to process the licence or a service charge will be applied to verify company registration.)

PACIFIC RESTAURANT SUPPLY INC

Certificate Number: 632780

DOING BUSINESS AS/BUSINESS TRADE NAME:

PACIFIC RESTAURANT SUPPLY INC.

PLEASE COMPLETE THE FOLLOWING INFORMATION

Business Start Date: NOV 2004
 Number of Employees: 5 Number of Vending Machines: _____ Number of Bank Machines: _____
 If Restaurant or Limited Food Establishment: Number of Seats: _____ Outdoor Seating: ☐ Yes ☐ No
 Have you previously held a Business Licence in Vancouver? ☒ Yes ☐ No When? 1993-2001
 If yes, Name Of Previous Business: GENESIS FOOD EQUIPMENT INC
 Address of Previous Business: 1990 POWELL STREET VANC
 Trades Qualification Number (for Contractors Use Only) _____

APPLICANT STATEMENT

I/We the undersigned confirm as the business owner(s)/agent for the owner(s) that the above-noted information is correct and agrees to comply with ALL relevant provisions of the License By-law No. 4450 and other applicable City By-laws. It is also understood that the business owner(s) is/are responsible for the overall management of the business including staff while representing the owner's business. Further, failure to meet these obligations may result in the business licence being suspended or reported to City Council.

<u>[Signature]</u> Signature <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Representative	<u>s.22(1)</u> Print Last Name	<u>NOV 2, 2004</u> Date
_____ Signature	_____ Print Last Name	_____ Date
_____ Signature	_____ Print Last Name	_____ Date
_____ Signature	_____ Print Last Name	_____ Date

LICENCE DEPARTMENT USE ONLY

APPROVALS: Zoning ☒ Required ☐ Not Required Building ☒ Required ☐ Not Required
 Health ☐ Required ☒ Not Required Police ☒ Required ☐ Not Required

CLASSIFICATION(S):

1. Wholesale Dealer Licence Number: 04-545134 WD
 2. _____ Licence Number: _____

☐ Letter of Authorization sent to DOMINO

APPLICATION TO ACCESS & COPY BUILDING PLANS

(NON-STRATA PROPERTY)

RE:

901 E. HASTINGS ST.
(Property Address)

s.22(1)

Applicant's Name:

Mailing Address:

Postal Code:

Phone No.:

I hereby make application to access and obtain copies of any building plans relating to the above property held in the City's possession. I am aware of the applicable fees herein.

I request the City to make copies on my behalf and I agree to hold harmless and indemnify the City of Vancouver in respect of any claim that may arise there from. I intend to use these copies for purposes of private study, research, criticism, review or newspaper summary, and I understand that any other use may constitute an infringement of The Copyright Act.

Initials

DISCLAIMER: I have been informed that all prints are 11" x 17", duplicates may exist, and legibility may be poor due to the quality of the original plans:

Initials:

s.22(1)

Nov. 7, 2013
Date

(For Staff Use ONLY)

MI No.:

Receipt No.:

Paid By:

Initial:

Date:

ID Type & No.:

of Fiche:

☐ Correct # of fiche returned to staff

☐ Customer verified correct ID received

Customer's Initials:

Operating Description for 901 E.Hastings

Liquids+Solids Culinary Innovations Inc. intends to use the building at 901 E. Hastings, (approx. 5000 sq. ft.) for the purposes of light food manufacturing with an ancillary retail component. More specifically, our company manufactures primarily soups and sauces. Our ancillary retail is comprised of a "cafe" where many of our goods will be sold in retail packaged or "hot format".

This "production space" will use a little more than 2/3rds of the space, or approx 3500 sq. ft. for the purposes of manufacturing our foods while the balance (front end) of the space, or approx 1500 sq ft, will be deployed as a 16 seat cafe/market retail environment.

The type of food manufacturing that our company specializes in requires no grease laden cooking or meat processing. Basically, in 6 large steam kettles, we assemble the produce, proteins and stocks required by recipe for various soups and boil the contents until ready. Subsequently the soups are packaged in 5mil poly bags and quick chilled in our stainless steel chill tank, then refrigerated or frozen.

The retail component showcases our soups, featuring a daily selection of 8 different soups as well as an assortment of sandwiches and salads to complement. In addition to the cafe component, our products will be available for "take home" in special refrigerated and/or frozen poly packaging. We will also feature three small aisles of "dry goods" supplied by local artisan food producers.



RE: 901 E HASTINGS

Parking

19.5'

Campbell Avenue

100.5'

3
compartment
sink

dry
ingredient
storage
and
assembly

Production
Prep Room
for
vegetable
prep,
ingredient
assembly
etc.

Staff
Room
change
room/
lunch

S/S Chill
Tank

walk - in
cooler
12.5' x 25'

Steam Kettles (6)

Approx. location of
sanitary line

Bathrooms (2)

walk in
freezer
12.5' x 10'

bussing
area
w/handsink

30 ft separating wall with
Plexi observation window

Soup Table	deli case	cash area
---------------	--------------	--------------

table
grouping-
seating 8

Retail Aisles

(dashed line)
freezer/refrigerator

elbow table

elbow table

50.0'

RECEIVED
CITY OF VANCOUVER

DEC 20 2013

PLANNING & DEVELOPMENT
SERVICES



Note: To be submitted with the application for a Building Permit

CITY OF VANCOUVER BUILDING BY-LAW

"LESSEE'S UNDERTAKING FOR TENANT IMPROVEMENTS"

The Chief Building Official
City of Vancouver
453 West 12th Avenue
Vancouver, BC
V5Y 1V4

03 14 2014
Date: (Month Day Year)

DB 445577

Dear Sir:

RE: Property Address 901 E. HASTINGS ST, Van, BC
Building Permit Application No. DB445577

In consideration of the City accepting and processing the above application for a building permit, and as required by the Vancouver Building By-law, the following representations, warranties and indemnities are given to the City.

1. (a) If an individual is the lessee:
() That I am the lessee of the above property, or
(b) If a corporation is the lessee of the property,
() That MBC Liquids + Solids Culinary INNOVATION, INC is the lessee of the above property.
(Name of Corporation)
2. The lessee will comply with, and cause those employed for this project to comply with all applicable by-laws of the City of Vancouver and other statutes and regulations in force in the City of Vancouver relating to the development, work, undertaking or permission in respect of which this application is made.
3. The lessee fully understands the requirements herein, and acknowledges full responsibility for carrying out the work, or gives assurance that the work be carried out, in accordance with all by-laws governing the construction of the building. The lessee understands and acknowledges that the issuance of any permit, including an Occupancy Permit, or the inspection or approval or passage of work by the City is not a representation or warranty that any by-law has been complied with and the Lessee remains responsible at all times to assure compliance. The lessee has read and understands Article 1A.1.1.2. and Article 1A.3.4.1. of Division C of the Vancouver Building By-law which are set out on the reverse side hereof.
4. The lessee hereby agrees to indemnify and save harmless the City of Vancouver and its employees from all claims, liability, judgments, costs and expenses of every kind which may result from negligence or from the failure to comply fully with all by-laws, statutes and regulations relating to any work or undertaking in respect of which this application is made.
5. Where used herein the words "work" or "undertaking" in respect of which this application is made, the lessee understands this to include all electrical, plumbing, mechanical, gas and other works necessary to complete the contemplated construction.

.../over

Lessee's Undertaking (continued)

Property Address 901 E. HASTINGS ST., Van, BCBuilding Permit Application No. DB 445577

6. I am authorized to give these representations, warranties, assurances and indemnities to the City of Vancouver.

This Lessee's Undertaking is executed by the Lessee this 14 day of March, 2014.
(Day) (Month) (Year)

1. Where lessee is an individual:

Signed, sealed and delivered in the presence of:

Lessee's Signature _____

Witness's Signature _____

Lessee's Name _____
(PRINT)Witness's Name _____
(PRINT)

Witness's Address _____

2. Where lessee is a corporation:

Signed, sealed and delivered in the presence of:

Name of Corporation MRC LIVINGSTON SOLIDS CULINARY INNOVATIONS, INC

Per:

Authorized Signatory _____

Witness's Signature _____

Name Michael Coderre
(PRINT)Witness's Name Kent Wong
(PRINT)Witness's Address s.22(1)

3. Where lessee is a partnership:

Signed, sealed and delivered in the presence of:

Name of Partnership _____

Per:

Authorized Signatory _____

Witness's Signature _____

Name _____
(PRINT)Witness's Name _____
(PRINT)

Witness's Address _____

Vancouver Building By-law Article 1A.1.1.2. This By-law is enacted to set standards in the general public interest. It is enacted and retained on the understanding and specifically expressed condition that it creates no duty whatsoever on the City of Vancouver, the *Chief Building Official* or any employee of the City of Vancouver to enforce its provisions, and on the further condition that a failure to administer or enforce its provisions, or the incomplete or inadequate administration or enforcement of its provisions, shall not give rise to a cause of action in favour of any person whatsoever. The issuance of any *permit*, including an *occupancy permit*, is not a representation, warranty or statement that the By-law has been complied with, and the issuance thereof in error shall not give rise to a cause of action. Accordingly, words defining the responsibilities and authority of the *Chief Building Official* shall be construed to be internal administrative directions and not as creating a duty.

Article 1A.3.4.1. The granting of a *permit*, the approval of the drawings and specifications or the making of inspections by the *Chief Building Official* shall not in any way relieve the owner of a building from the full responsibility for carrying out the work or having the work carried out in accordance with this By-law including ensuring that the *occupancy* of the building, or any part thereof, is in accordance with terms of the *occupancy permit*, and including compliance with any special conditions made under the provision of Article 1A.6.1.4.



Note: To be submitted with the application for a Building Permit
CITY OF VANCOUVER BUILDING BY-LAW
"OWNER'S UNDERTAKING FOR TENANT IMPROVEMENTS"

The Chief Building Official
City of Vancouver
453 West 12th Avenue
Vancouver, BC
V5Y 1V4

March 14, 2014

Date: (Month Day Year)

Dear Sir:

RE: Property Address 901 E. Hastings St., Vancouver, B. C.

Building Permit Application No. DB445577

DB 445577

In consideration of the City accepting and processing the above application for a building permit from MRC Liquids + Solids Culinary Innov. (the "Tenant"), a tenant of the above-mentioned property, and as required by the Vancouver Building By-law, the following representations, warranties and indemnities are given to the City.

1. (a) If an individual is the owner:
 - () That I am the owner of the above property, or
- (b) If a corporation is the owner of the property,
 - () That T. K. Lee Holdings Ltd. is the owner of the above property.
(Name of Corporation)
2. The owner will use its reasonable efforts to require the tenant to comply with, and cause those employed for this project to comply with all applicable by-laws of the City of Vancouver and other statutes and regulations in force in the City of Vancouver relating to the development, work, undertaking or permission in respect of which this application is made.
3. The owner understands and acknowledges that the issuance of any permit, including an Occupancy Permit, or the inspection or approval or passage of work by the City is not a representation or warranty that any by-law has been complied with and the owner remains responsible at all times to use its reasonable efforts to require compliance by the tenant. The owner has read and understands Articles 1A.1.1.2. and 1A.3.4.1. of Division C of the Vancouver Building By-law which are set out on the reverse side hereof.
4. The owner hereby agrees to use its reasonable efforts to require that the tenant does indemnify and save harmless the City of Vancouver and its employees from all claims, liability, judgments, costs and expenses of every kind which may result from negligence or from the failure to comply fully with all by-laws, statutes and regulations relating to any work or undertaking in respect of which this application is made.
5. Where used herein the words "work" or "undertaking" in respect of which this application is made, the owner understands this to include all electrical, plumbing, mechanical, gas and other works necessary to complete the contemplated construction.

.../over

DOC/2011/116984

(R - July 2011)

Owner's Undertaking (*continued*)
(Tenant Improvements)

Property Address 901 E. Hastings St., Vancouver, B. C.

Building Permit Application No. DB 445577

6. I am authorized to give these representations, warranties, assurances and indemnities to the City of Vancouver.

This Owners' Undertaking is executed by the owner this 14th day of March, 2014.
(Day) (Month) (Year)

1. Where owner is an individual:

Signed, sealed and delivered in the presence of:

Owner's Signature _____

Witness's Signature _____

Owner's Name _____
(PRINT)

Witness's Name _____
(PRINT)

Witness's Address _____

2. Where owner is a corporation:

Signed, sealed and delivered in the presence of:

Name of Corporation T. K. Lee Holdings Ltd.

Per:

Authorized Signatory Eugene Lee

Witness's Signature Cindy Lee

Name Eugene Lee
(PRINT)

Witness's Name CINDY LEE

(PRINT)
Witness's Address s.22(1)

3. Where owner is a partnership:

Signed, sealed and delivered in the presence of:

Name of Partnership _____

Per:

Authorized Signatory _____

Witness's Signature _____

Name _____
(PRINT)

Witness's Name _____
(PRINT)

Witness's Address _____

Vancouver Building By-law Article 1A.1.1.2. This By-law is enacted to set standards in the general public interest. It is enacted and retained on the understanding and specifically expressed condition that it creates no duty whatsoever on the City of Vancouver, the *Chief Building Official* or any employee of the City of Vancouver to enforce its provisions, and on the further condition that a failure to administer or enforce its provisions, or the incomplete or inadequate administration or enforcement of its provisions, shall not give rise to a cause of action in favour of any person whatsoever. The issuance of any *permit*, including an *occupancy permit*, is not a representation, warranty or statement that the By-law has been complied with, and the issuance thereof in error shall not give rise to a cause of action. Accordingly, words defining the responsibilities and authority of the *Chief Building Official* shall be construed to be internal administrative directions and not as creating a duty.

Article 1A.3.4.1. The granting of a *permit*, the approval of the drawings and specifications or the making of inspections by the *Chief Building Official* shall not in any way relieve the owner of a *building* from the full responsibility for carrying out the work or having the work carried out in accordance with this By-law including ensuring that the *occupancy* of the *building*, or any part thereof, is in accordance with terms of the *occupancy permit*, and including compliance with any special conditions made under the provision of Article 1A.6.1.4.

RECEIVED

APR 10 2014

Rehman City

Vancouver Coastal Health

Promoting wellness. Ensuring care.

Coast Garibaldi Office, Box 1040, 5571 Inlet Ave. Tel 604-885-5164
 North Vancouver Office, 132 W Esplanade, North Vancouver, V7M 1A2 Tel 604-983-6700
 Richmond Office, 8100 Granville, Richmond, BC V6V 3T6 Tel 604-233-3147
 Squamish Office, Box 220 1140 Hunter Pl., Squamish, BC V8B 6A2 Tel 604-892-2293
 Vancouver Office, 1200-801 West Broadway, Vancouver, V5Z 4C2 Tel 604-875-3800

FOOD PREMISE PLAN REVIEW

DB 445577

Date (Plan Reviewed) <i>March 18/14</i>	Date (Plan Received) <i>March 18, 2014</i>	EHO/District <i>#18 #H3207851932</i>
Premises Name <i>Liquids & Solids Soup Production facility - Retail</i>	Building Permit # <i>2-1933</i>	
Address <i>901 E. Hastings, Van. B.C.</i>	Premise #	
Discussed with applicant: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Applicant Name <i>Ken Wong, Architect.</i>	Applicant Phone <i>604-889-4549</i>

Environmental Health has reviewed the plans for:

<input checked="" type="checkbox"/>	Construction of: Select One <i>(Soup) manufacturing - Retail sandwich/soup bar.</i>
<input type="checkbox"/>	Alteration to/Installation of: Select One

<input checked="" type="checkbox"/>	Plans APPROVED subject to the following conditions:
<input checked="" type="checkbox"/>	A copy of the approved/stamped plans with this review sheet must be kept on premises during construction and available at all times
<input checked="" type="checkbox"/>	Any revisions to the approved plans will require re-submission for health approval
<input checked="" type="checkbox"/>	No accumulation of smoke, grease, water vapour and objectionable odors permitted. Ventilation must comply with Municipal, Fire and Building Code requirements.
<input checked="" type="checkbox"/>	Final finish: floors, walls, and ceilings in food preparation, storage and display areas smooth and impervious
<input checked="" type="checkbox"/>	Floor and wall joints to be coved <i>stated concrete as shown</i>
<input checked="" type="checkbox"/>	Floor drains in the food preparation area (as required)
<input checked="" type="checkbox"/>	Adequately sized dry storage area
<input checked="" type="checkbox"/>	Building designed to prevent entry of pests
<input checked="" type="checkbox"/>	Adequate lighting with protective shields over food preparation and storage areas
<input checked="" type="checkbox"/>	Approved potable water source <i>Municipal</i>
<input checked="" type="checkbox"/>	Adequate hot water supply
<input checked="" type="checkbox"/>	Hand wash sink located in food preparation area <i>provide Soap - paper towels in dispensers for all hand sinks.</i>
<input type="checkbox"/>	Two compartment pot sink with drain board
<input checked="" type="checkbox"/>	Approved commercial dishwasher <i>as shown</i>
<input checked="" type="checkbox"/>	Three compartment pot sink with drain board <i>as shown</i>
<input checked="" type="checkbox"/>	Janitorial sink located in suitable area <i>as shown</i>
<input checked="" type="checkbox"/>	<i>Self closing device for bathroom doors.</i>
<input type="checkbox"/>	<i>plan to serve & prep sandwiches - soup in front retail area.</i>

Operator Requirements:

<input checked="" type="checkbox"/>	Final health inspection and approval required prior to opening for business
<input checked="" type="checkbox"/>	Complete and submit a food operating permit application form
<input checked="" type="checkbox"/>	Provide copy of Food Safe certification or equivalent
<input checked="" type="checkbox"/>	Approved written Food Safety and Sanitation plan
<input checked="" type="checkbox"/>	Provide copy of Certificate of Incorporation for corporately owned premises
<input checked="" type="checkbox"/>	Construction or alteration of a food premise must follow requirements outlined in the <i>Public Health Act, Food Premises Regulations, B.C. Reg. 210/99</i> and supporting documents.
<input checked="" type="checkbox"/>	Contact other local government, Provincial or Federal inspection agencies for approval

<input type="checkbox"/>	Plans NOT APPROVED:
<input type="checkbox"/>	Require detailed floor/equipment plans of food preparation/storage areas
<input type="checkbox"/>	
<input type="checkbox"/>	

EHO (Signature)

Form Rev. October 2010

Reviewed By: (Print)

This form is required for installations where it is proposed to use a Class 1 cooking appliance for Class 2 cooking. The following commitment is given to the City.

BUSINESS NAME: <i>MRC Liquids + Solids</i> <i>CULINARY INNOVATIONS, INC</i>	PROJECT ADDRESS: <i>901 E. HASTINGS</i> BUILDING PERMIT No.: <i>DB445517</i>
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Class 1 and 2 Cooking Operations are defined in the City of Vancouver's Kitchen Ventilation Guidelines as follows:

"A Class 1 Cooking Operation is defined as any cooking process which produces significant smoke or grease-laden vapours, and includes any equipment which has been designed by the manufacturer to be able to produce significant smoke or grease-laden vapours, except where specifically approved under another Class."

"A Class 2 Cooking Operation is defined as any cooking equipment or process which produces significant steam or heat and does not produce grease-laden vapours."

APPLIANCE (type of cooking equipment): *Primary Equipment - Steam Kettles*

INTENDED USE OF APPLIANCE (may attach menu): *Our Primary use is in the production of "liquid" foods, primarily soups AND SAUCES. All products ARE cooked by way of boiling. No frying or other methodology producing grease laden vapours is used.*

EXAMPLES of CLASS 1 COOKING
(*"grease or smoke"*)

- pan frying (e.g., eggs, bacon)
- frying onions in bottom of soup pot
- deep fat frying, grilling, broiling, stir fry, braising

EXAMPLES of CLASS 2 COOKING
(*"non-grease"*)

- boiling water (e.g., potatoes, pasta, rice, poached eggs)
- reheating pre-made soups
- heating beverages (e.g., hot chocolate)
- melting chocolate

The undersigned, who is the business operator of the Cooking Operation, acknowledges that the appliance chosen to be used has been designed with the potential for Class 1 Cooking. The undersigned commits to limit all use of this appliance to Class 2 Cooking.

The undersigned acknowledges that the proposed ventilation system has not been designed to comply with the requirements for a Class 1 Cooking Operation and acknowledges that, if Class 1 Cooking is conducted on the appliance, the ventilation system will be considered in an *unsafe condition*.

Sentence 1A.2.1.4.(1) of Division C of the Vancouver Building By-law states as follows:

"No person who is an owner¹ of a building, and no person who is involved in the construction, reconstruction, demolition, alteration, removal, relocation or occupancy of a building shall cause, allow or maintain any *unsafe condition*."

¹ Italicized words are as defined in the 2007 Vancouver Building and 2000 Vancouver Fire By-laws.

Commitment Not To Create Grease-Laden Cooking Vapours cont'd

Sentence 1A.3.1.1.(1) of Division C of the Vancouver Building By-law states as follows:

"When a *building* or part thereof is in an *unsafe condition*, the *owner* shall forthwith take all necessary action to put the *building* in a safe condition."

Sentence 2.1.2.2.(1) of the 2000 Vancouver Fire By-law states as follows:

"Any activity which could create a life safety concern and which is not allowed for in the original design of a *building* shall not be carried out in a *building* unless *acceptable* provisions are made to control the situation in conformance with clause 2.1.2.2.(1)(b)."

If the Cooking Operation is found by the City to be in breach of this Commitment and if ordered by the City, the operator of the Cooking Operation commits to removing the appliance until a ventilation system is installed to the satisfaction of the *Chief Building Official* and the *Fire Chief*.

The operator commits to installing and maintaining a portable fire extinguisher in the kitchen area in accordance with NFPA 10, "Standard for Portable Fire Extinguishers", and the Vancouver Fire By-law.

In addition to the above, prior to use of the appliance, the operator of the Cooking Operation commits to ensuring that a metal sign is securely mounted to the front of the hood embossed with the following words sized and coloured so that they can be easily read and understood. The operator also commits to maintaining both the sign in place and its readability throughout the operator's responsibility of the Cooking Operation.

Sign:

**COOKING CAUSING GREASE-LADEN VAPOURS IS NOT ALLOWED.
EXHAUST SYSTEM IS DESIGNED FOR STEAM AND HEAT REMOVAL ONLY.**

The above sign is required to be indicated on the building permit drawings.

This Commitment Not To Create Grease-Laden Cooking Vapours is executed by the BUSINESS OPERATOR of the Cooking Operation

this 25 day of March, 2014
(Day) (Month) (Year)

1. Where Operator is an individual:

Operator's Signature _____

Operator's Name _____
(PRINT)

Signed, sealed and delivered in the presence of:

Witness's Signature _____

Witness's Name _____
(PRINT)

Witness's Address _____

2. Where Operator is a corporation:

Name of Corporation MRC LIQUIDS+ SOLID

Per: CULINARY INNOVATIONS, INC.

Authorized Signatory _____

Name Michael Coderre
(PRINT)

Signed, sealed and delivered in the presence of:

Witness's Signature [Signature]

Witness's Name KEN WONG
(PRINT)

Witness's Address s.22(1)

s.22(1)

3. Where Operator is a partnership:

Name of Partnership _____

Per: _____

Authorized Signatory _____

Name _____
(PRINT)

Signed, sealed and delivered in the presence of:

Witness's Signature _____

Witness's Name _____
(PRINT)

Witness's Address _____

cc: Building Owner
District Fire Inspector
District Health Inspector

FILE COPY

FOR THE ATTN. OF ROB PALMER



CITY OF

VANCOUVER

ELECTRICAL CONTRACTOR'S DECLARATION

of compliance re: Section 19(6)(b) of the BC Electrical Safety Regulation
and Section 6.12 of the Vancouver Electrical By-law
(Schedule B of By-law #5563)

RECEIVED
JUN 24 2014
COMMUNITY SERVICES

Note: This Declaration is for use only when specifically authorized by the City Electrician in accordance with Section 6.12 of the Vancouver Electrical By-law.

A. Installation (if faxing this document, please PRINT clearly)

Electrical Permit Number:	EL 576593
Installation Name:	LIQUIDS AND SOLIDS
Address:	901 EAST HASTINGS

B. Registered Electrical Contractor: FOWSTONE ELEC. LTD

Approved electrical contractor (EC) name (please print):		
Registration Number:	Telephone:	Fax:
8858	(604) 240 2223	(604) 984 3372

C. Declaration: To the City of Vancouver (and power supply authority if required)

Field Safety Representative. (FSR) Number:	Class:
3122	B

I KEITH FOWSTONE a registered FSR for the above contractor declare that the regulated work under the above mentioned permit complies with the requirements of the Safety Standards Act and Regulations and City of Vancouver Electrical By-law.

FSR Signature:	Date: YYYY MM DD
<i>K. Fowstone</i>	2014/05/24

<input type="checkbox"/> Work in progress		<input checked="" type="checkbox"/> All Work is Complete	<input type="checkbox"/> Occupancy	<input type="checkbox"/> Installation is safe
<input type="checkbox"/> Rough wiring progress	YYYY	MM	DD	
<input type="checkbox"/> Rough wiring is covered on (date):	/ /			
<input type="checkbox"/> Complete	<input type="checkbox"/> Partial (specify area)			
<input type="checkbox"/> Slab	<input type="checkbox"/> Ufer ground	<input type="checkbox"/> Underground		

<input type="checkbox"/> Electrical installation is ready for the service connection to the BC Hydro as indicated:	
<input type="checkbox"/> New Service	<input type="checkbox"/> Temporary construction service
<input type="checkbox"/> Service Repair	<input type="checkbox"/> Service Change From: To:

Type of Ground Electrode ☐ Rods ☐ Ufer ☐ Plate ☐ Other -describe

Service Characteristics	Voltage (line to line)	AMPS	Number of Phases	Number of Wires
	V	A	ø	

<input checked="" type="checkbox"/> Non compliance	YYYY MM DD	YYYY MM DD
--	------------	------------

as indicated in the COI 14/05/23 have been corrected 14/05/24
(corrected date)

Remarks by the electrical contractor:

☐ Accepted by the City Electrician

(DEI's _____) name and signature	YYYY MM DD 2014/06/25
-------------------------------------	--------------------------

City Hall 453 West 12th Avenue Vancouver BC V5Y 1V4 vancouver.ca
Inspections tel: 604.873.7611 or 311 fax: 604.873.7100
E-Mail - CSG.Inspections@vancouver.ca

PUI Graffiti on Private Property Complaint Case

Case number: 101007625743

Case created: 2016-04-24, 02:07:00 PM

Incident Location

Address: 901 E HASTINGS ST, Vancouver, V6A 1R9

Contact Details

Name: (ps) Email_sbia_securiguard_com

Phone: s.22(1)

Email: sbia@securiguard.com

Request Details

Provide details:

Alleyway

Is the graffiti on a mural?

No

Additional Details

PS#: 1549092

Map and Photo



EN 118527

FYA to: DARREN MITCHELL

FYI to:

BUSINESS LICENCE GENERAL APPLICATION

DATE: May 8, 2017
Month Day Year

PART 1: COMPANY INFORMATION - Complete ALL fields.

LEGAL ENTITY TYPE: <input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> BC Corporation/Society <input type="checkbox"/> Extra Provincial Company/Society <input type="checkbox"/> Other			
LIST EACH Sole Proprietor / Partner's names below. For BC Corporation/Society or Extra Provincial Company/Society, list ONE (1) Director/Owner name.			
1. <u>Michael Coderre</u>	Business Phone #: <u>604 537 5605</u>	Home Phone #:	Cellular #: <u>604 537 5605</u>
2.	Business Phone #:	Home Phone #:	Cellular #:
3.	Business Phone #:	Home Phone #:	Cellular #:
BC Corporation/Society or BC Extra Provincial Company/Society Name: (If applicable) <u>MRC LIQUIDS + SOLIDS CULINARY INNOVATIONS INC</u>		BC Corporation/Society or BC Extra Provincial Company/Society Registration No: <u>BC6882782</u>	
Trade Name/Doing Business As: (If applicable) <u>LIQUIDS + SOLIDS</u>		(Copies of BC Registration Documents Required for our records) Business Licence Start Date: <input type="checkbox"/> Immediately <input type="checkbox"/> Other:	
Describe in detail the nature of your business and the intended use of the premise. (Both primary and secondary uses). Attach additional sheet(s) if more space is needed. <u>Food Mfg / Ancillary Retail</u>			

PART 2: CONDITIONS OF A HOME BASED BUSINESS - Applicable to Vancouver Home Based Business Locations ONLY.

☐ N/A - Out of Town or Vancouver Commercial/Industrial Premise - Proceed to PART 3 of this form.

****Home-based business means a craft or occupation conducted as an accessory use subordinate to the principal residential use of a dwelling unit (residence), and must only be conducted within the principal building on the site.**

- A home-based business allows a portion of the residence to be used for a craft and/or occupation for administration purposes only (mailing and telephone).
- No clients are permitted to attend the premise at any time.
- No partnerships and/or employees are permitted to engage in the running of the business from this residence.
- No person other than one resident member of the family occupying the residence shall be engaged in the home-based business on the premises.
- No more than three (3) home-based business licenses shall be issued for one residence.
- Where located in a residential building, there shall be nothing to indicate from the exterior of the dwelling unit or building that it is being used for any purpose other than its principal and approved residential use (no signage permitted).
- No products or materials shall be sold from or within the residence.
- No products, materials, or equipment shall be stored outside of the residence, or any accessory building on the property.
- No offensive noise, odour, vibration, smoke, heat or other objectionable effect shall be produced.

I do not require a space in a commercial building to carry on this business and wish to use my place of residence as my business address. If I am not the owner of the dwelling unit, I have discussed and received permission to operate the home-based business from the property owner/manager.

The information provided may be shared in accordance with the Freedom of Information Act.

I understand and agree to the above noted terms, regulations and conditions. BUSINESS OWNER/RESIDENT INITIALS: _____

PART 3: BUSINESS LOCATION INFORMATION - Complete ALL fields.

Business Location Address: (Vancouver P.O. Box not permitted) <u>901 E. Hastings St</u> <u>Van, BC</u>	Business Location Type: <input checked="" type="checkbox"/> Vancouver Commercial/Industrial Premise <input type="checkbox"/> Vancouver Home Based / Residential Premise <input type="checkbox"/> Owner of the property <input checked="" type="checkbox"/> Tenant of the property <input type="checkbox"/> Out of Town
Business Mailing Address: (ONLY IF different than business address) <u>Same</u>	Business Email Address: <u>michael@liquidsandsolids.ca</u> I prefer my annual business licence renewal be sent: <input type="checkbox"/> By Mail OR <input checked="" type="checkbox"/> By E-mail

Provide information for your Vancouver business location: (If applicable)

10 Total # of regular & part-time employees (including business owner) at business location
2 Total # of company &/or employee vehicles at business location
5000 Total square footage of business location

Provide information for your Vancouver commercial/industrial premise location: (If applicable)

Jan 1 Occupancy date of commercial/industrial business location
☐ YES ☒ NO Are you sharing space with another company at the commercial/industrial business location?
☐ YES ☒ NO Will you be/have you performed any structural alterations to the commercial/industrial business location?
Building/development permit No. (s) _____ Occupancy permit no. _____
Total # of coin operated vending machines _____ Total # of bank/ATM machines _____
Restaurants: Total # interior seats: 16 Total # of exterior seats: _____ Liquor Service: ☐ YES ☒ NO Licence No# _____

Do you have a program in place to separate and recycle the following items: (*check only if your business does not generate this type of material)

-Compostable organics - food scraps, yard trimmings, clean wood waste ☒ YES ☐ NO ☐ DON'T CREATE* ☐ UNKNOWN
-Recycling - paper, cardboard, glass/plastic/metal containers ☒ YES ☐ NO ☐ DON'T CREATE* ☐ UNKNOWN

PART 4: APPLICANT STATEMENT

I/We the undersigned confirm as the business owner(s)/agent for the owner(s) that the above noted information is correct and agree to comply with ALL relevant provisions of the Licence By-law No. 4450 and other applicable City By-laws. It is also understood that the business owner(s)' is/are responsible for the overall management of the business including staff while representing the owner(s)' business. Further, failure to meet these obligations may result in the business licence being suspended or reported to City Council for possible revocation. The information provided may be shared in accordance with the Freedom of Information Act.

Business Owner/Director Signature #1:

Print Name: MICHAEL CODERRE Signature: [Signature] Date: Jan 1 2017

Business Owner/Director Signature #2:

Print Name: _____ Signature: _____ Date: _____

Business Owner/Director Signature #3:

Print Name: _____ Signature: _____ Date: _____

Representative Signature: Letter of Authorization from 1 Owner/Director will be required in the absence of Owner/Director signature above.

Print Name: _____ Signature: _____ Contact Phone #: _____ Date: _____

PART 5: APPLICATION REQUIREMENTS - To avoid delays in processing, submit the following items with your application:

<input type="checkbox"/> \$54.00 non-refundable application fee. (Mandatory) Please include a cheque payable to The City of Vancouver with your application.	An additional pro-rated licence fee is required upon licence approval as per Schedule "A" of Licence By Law No 4450.
<input type="checkbox"/> 1 piece of valid government issued photo identification (Mandatory) for Business Owner(s).	Sole Proprietor/General Partnership: Required for EACH OWNER. BC Corporation/Society & Extra Provincial Company/Society: Required for 1 OWNER/DIRECTOR ONLY.
<input type="checkbox"/> Letter of Authorization for Representative and Representative's government issued photo identification. (If applicable)	A document signed by the Owner/Director of the company which authorizes a representative to apply on their behalf in the absence of the Owner's/Director's signature above.
<input type="checkbox"/> Copy of BC Corporation/Society Company Summary. (Mandatory if applicable)	Required for all BC Corporations/Societies & Extra Provincially registered Companies/Societies.
<input type="checkbox"/> Copy of BC Registration Statement for Extra Provincial Company/Society & foreign jurisdiction's company registration documents listing all Owners/Directors of the company.	*NOTE: Any foreign entity, including federal and foreign corporations must register as an extra provincial company with BC Registry Services.
<input type="checkbox"/> Business Licence Transfer Authorization Form. (If applicable)	Required in addition to the General Business Licence Application form to transfer a valid business licence. Licence transfers are permitted once (1) per calendar year.
<input type="checkbox"/> Police Information Check (PIC). (If applicable)	Police Information Check (PIC) may be required pending licence review. ie: Vulnerable Sectors. Original PIC required from Vancouver Police Department. Note: RCMP PIC NOT ACCEPTED.

LICENCE DEPARTMENT USE ONLY

APPROVALS REQUIRED: ☐ ZONING ☒ BUILDING ☐ POLICE ☐ HEALTH ☐ CU ☐ OTHER
CLASSIFICATION(S): 1. Manu-food w/ancillary retail Licence Number: 17-225417
2. _____ Licence No. City of Vancouver - FOI 2023-209 - Page 16 of 134



**BRITISH
COLUMBIA**
The Best Place on Earth

**Ministry
of Finance**
BC Registry Services

Mailing Address:
PO BOX 9431 Stn Prov Govt.
Victoria BC V8W 9V3
www.corporateonline.gov.bc.ca

Location:
2nd Floor - 940 Blanshard St.
Victoria BC
250 356-8626

CERTIFIED COPY

Of a Document filed with the Province of
British Columbia Registrar of Companies

Notice of Articles

BUSINESS CORPORATIONS ACT

RON TOWNSHEND
June 4, 2010

This Notice of Articles was issued by the Registrar on: June 4, 2010 10:52 AM Pacific Time

Incorporation Number: BC0882782

Recognition Date and Time: Incorporated on June 4, 2010 10:52 AM Pacific Time

NOTICE OF ARTICLES

Name of Company:

MRC LIQUIDS + SOLIDS CULINARY INNOVATIONS
INC.

REGISTERED OFFICE INFORMATION

Mailing Address:

1530 VENABLES ST.
VANCOUVER BC V5L 3G9
CANADA

Delivery Address:

1530 VENABLES ST.
VANCOUVER BC V5L 3G9
CANADA

RECORDS OFFICE INFORMATION

Mailing Address:

1530 VENABLES ST.
VANCOUVER BC V5L 3G9
CANADA

Delivery Address:

1530 VENABLES ST.
VANCOUVER BC V5L 3G9
CANADA



Number: BC0882782

CERTIFICATE OF INCORPORATION

BUSINESS CORPORATIONS ACT

I Hereby Certify that MRC LIQUIDS + SOLIDS CULINARY INNOVATIONS INC. was incorporated under the Business Corporations Act on June 4, 2010 at 10:52 AM Pacific Time.

*Issued under my hand at Victoria, British Columbia
On June 4, 2010*

RON TOWNSHEND
Registrar of Companies
Province of British Columbia
Canada



Last Name, First Name, Middle Name:
Coderre, Michael R

Mailing Address:
15 W. 22ND AVE.
VANCOUVER BC V5Y 2E9
CANADA

Last Name, First Name, Middle Name:
Merlo, Deborah

Mailing Address:
15 W 22ND AVE.
VANCOUVER BC V5Y 2E9
CANADA

COMPLETING PARTY

Last Name, First Name, Middle Name:
Junger, Peter A

Mailing Address:
7 - 3080 HEATHER ST.
VANCOUVER BC V5Z 3K3
CANADA

Completing Party Statement

I, Peter A Junger, the completing party, have examined the articles and the incorporation agreement applicable to the company that is to be incorporated by the filing of the Incorporation Application and confirm that:

- a) the Articles and the Incorporation Agreement both contain a signature line for each person identified as an incorporator in the Incorporation Application with the name of that person set out legibly under the signature lines,
- b) an original signature has been placed on each of those signature lines, and
- c) I have no reason to believe that the signature placed on a signature line is not the signature of the person whose name is set out under that signature line.

NOTICE OF ARTICLES

Name of Company:

MRC LIQUIDS + SOLIDS CULINARY INNOVATIONS
INC.

REGISTERED OFFICE INFORMATION

Mailing Address:
1530 VENABLES ST.
VANCOUVER BC V5L 3G9
CANADA

Delivery Address:
1530 VENABLES ST.
VANCOUVER BC V5L 3G9
CANADA

RECORDS OFFICE INFORMATION

Mailing Address:
1530 VENABLES ST.
VANCOUVER BC V5L 3G9
CANADA

Delivery Address:
1530 VENABLES ST.
VANCOUVER BC V5L 3G9
CANADA

DIRECTOR INFORMATION

Last Name, First Name, Middle Name:

Coderre, Michael R

Mailing Address:

15 W 22ND AVE.
VANCOUVER BC V5Y 2E9
CANADA

Delivery Address:

15 W 22ND AVE.
VANCOUVER BC V5Y 2E9
CANADA

Last Name, First Name, Middle Name:

Junger, Peter A

Mailing Address:

7 - 3080 HEATHER ST.
VANCOUVER BC V5Z 3K3
CANADA

Delivery Address:

7 - 3080 HEATHER ST.
VANCOUVER BC V5Z 3K3
CANADA

AUTHORIZED SHARE STRUCTURE

1. 10,000

Common Shares

Without Par Value

Without Special Rights or
Restrictions attached

From: ["Michael Coderre" <michael@liquidsandsolids.ca>](mailto:michael@liquidsandsolids.ca)
To: ["Slykerman, Derek" <Derek.Slykerman@vancouver.ca>](mailto:Derek.Slykerman@vancouver.ca)
Date: 5/13/2019 10:09:07 AM
Subject: Re: water - 901 E Hastings

Just received an updated quote from Pioneer Plumbing, based on the updated info we supplied them last week. I expect they will obtain permit this week and work will commence shortly thereafter. We have a crew ready to dig the trenching required to the building when permit is issued. I do not know how long it takes the City to issue permits. Took over a week for a simple swap out of our gas oven in April, so assuming this is a similar situation and timeline I expect the deadline should be attainable.

Thanks

Michael Coderre

On Mon, May 13, 2019 at 8:51 AM Slykerman, Derek
<Derek.Slykerman@vancouver.ca> wrote:

Good morning Michael,

Could you please update me on the status of the water service and meter station installation. The letter sent dated April 10th 2019 stated "submit all necessary documents to make application for the required Plumbing Permit within 30 days of the date of this letter". Our records show that there are no new applications for a plumbing permit to date. All work to be completed within 60 days of the dated letter.

Regards

Derek Slykerman

Plumbing Inspector II, Gas Safety Officer

Technical Training Inspector

Development, Buildings & Licensing

515 West 10th Avenue, Vancouver BC, V5Z 4A8

604-873-7084

derek.slykerman@vancouver.ca



From: Michael Coderre [mailto:michael@liquidsandsolids.ca]
Sent: Friday, April 26, 2019 9:05 AM
To: Slykerman, Derek
Subject: Re: water - 901 E Hastings

Meaning we have to pay again? or can the name be changed?

On Fri, Apr 26, 2019 at 7:54 AM Slykerman, Derek
<Derek.Slykerman@vancouver.ca> wrote:

Hello Michael,

The existing permit can only have work performed by the permit holder (contractor listed on the permit). A new plumbing permit will be required for any contractors continuing the installation of the water service and the backflow preventer.

Regards,

Derek Slykerman

Plumbing Inspector II, Gas Safety Officer

Technical Training Inspector

Development, Buildings & Licensing

515 West 10th Avenue, Vancouver BC, V5Z 4A8

604-873-7084

derek.slykerman@vancouver.ca



From: Michael Coderre [mailto:michael@liquidsandsolids.ca]

Sent: Thursday, April 25, 2019 2:59 PM

To: Ainsworth, Tom

Cc: Gregory, Kyle; Slykerman, Derek

Subject: Re: water - 901 E Hastings

Sorry guys, here are the attachments relating to my previous email.

Tom- thanks for the clarification on the permit and my question about contravention of water works bylaw. That clarifies things a lot. In terms of the permit(s) themselves, will our plumber need to get another permit as well or is the work still to be done covered off by the existing paid permit.

Thanks again!

On Thu, Apr 25, 2019 at 2:11 PM Ainsworth, Tom
<Tom.Ainsworth@vancouver.ca> wrote:

Hi Michael,

I didn't receive the attachment but I can confirm that the water connection permit for this property is 2384W, this includes a new 50mm water service at 1.8m west of the east property line to the lane north of E Hastings (Utility locator to confirm location), a 40mm water meter to be located in the mechanical room and the discontinuation of the existing 20mm water service. This permit has been paid for.

The property is in contravention of Water Works By Law No. 4848 because the water being used is not metered and there is no premise isolation on the water line. Derek will need to speak to the Building By-law 10908.

Regards,

Tom Ainsworth

Project Coordinator

Water Design Branch, City of Vancouver

Phone# 604-873-7311

tom.ainsworth@vancouver.ca

From: Michael Coderre [mailto:michael@liquidsandsolids.ca]

Sent: Thursday, April 25, 2019 12:36 PM

To: Gregory, Kyle

Cc: Slykerman, Derek; Ainsworth, Tom

Subject: Re: water - 901 E Hastings

That's great Kyle, much appreciated. We can schedule accordingly from there.

I look forward to hearing from Tom as well to complete the loop.

Thanks again

Michael

On Thu, Apr 25, 2019 at 12:06 PM Gregory, Kyle
<Kyle.Gregory@vancouver.ca> wrote:

Hi Michael,

My apologies a s.22(1)
s.22(1)

I have contacted one of our Utility Locators to scope the water service Monday morning (April 29) and they will leave the service location marks in spray paint.

I included Tom, who you also met that day to get him to add in where he can regarding the water permit information.

Regards,

Kyle Gregory

City of Vancouver, Water Works Dept.

A/Superintendent I, AMR/Meter Shop

Email: kyle.gregory@vancouver.ca

Phone: 604 326 4832

Cell: s.15(1)(l)

From: Michael Coderre [mailto:michael@liquidsandsolids.ca]
Sent: Thursday, April 25, 2019 11:19 AM
To: Slykerman, Derek; Gregory, Kyle
Subject: water - 901 E Hastings

To Whom it May Concern

We are in receipt of your letter dated April 10, 2019, sent to TK Lee Holdings and wanted to update our progress with you. Firstly, I would ask that you kindly include myself in correspondence regarding this matter as it takes over a week for info to be passed on to me.

We have called in a plumber and have obtained a quote to complete the work. However there are some questions we need an answer to in order to verify the scope of work and accuracy of the quote. Please answer as follows:

1. I have attached the original invoice from the City, and payment we made related to this. Can someone confirm that indeed the water

1. meter itself has been paid for and whether page 3 (numbered #2384) is the permit for water installation you require? If this is not within one of your areas, would you mind directing me to the proper dept or individual that can answer this?
2. Could you please confirm that the access to the city-installed water service is indeed located 1.8M west of the east property line. There seems to have been some confusion around this in the past and I just want to be absolutely certain so we do not waste time and resources. Again, if there is someone else I should be directing this to please let me know asap.
3. We intend to complete this upgrade without undue delay.
4. I was hoping you could clarify the statement in your letter relating to the property's contravention of Water Works By Law No. 4848 as well as Building By-law 10908. More precisely, I wanted clarification on whether the contravention is due to the property's current use, or whether it is in contravention because ALL commercial properties in this area must have upgraded water service? The purpose of this question is simply to help us determine whether the Landlord should be responsible for this regardless of the use, or if it is basically an improvement required solely due to our (food) use.

I can be reached at 604 537 5605 if you need to speak by phone. I did in fact attempt to reach both Kyle Gregory and Derek Slykerman by phone but had no luck. I look forward to your help.

Thank you

--

Michael Coderre

Liquids + Solids Culinary Innovations, Inc.



www.liquidsandsolids.ca

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Michael Coderre
Liquids + Solids Culinary Innovations, Inc.

www.liquidsandsolids.ca

As Of: Apr 18, 2023 12:11:43

Case File: CF-2019-004245: Closed

311 Case File Ref	
Brief Description	Water service upgrade requirement with meter station
Business License Number	
Completed Date	
Description	Case File CF-2019-004245: Closed (Plumbing (VBBL) - Water service upgrade requirement with meter station) 901 E HASTINGS STREET, Vancouver, BC V6A 1R9
dup_DefaultInvestigator	Derek Slykerman, Technical Training/Plumbing Inspector
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	
Relationship	
STR CD	
Violation Updated Date	Jul 10, 2019 07:52:38

Processes

- Assign Investigation (Completed on Apr 5, 2019 14:27:58 by Derek Slykerman, Technical Training/Plumbing Inspector with outcome "Assigned")
- Perform Investigation (Completed on Apr 8, 2019 11:29:15 by Derek Slykerman, Technical Training/Plumbing Inspector with outcome "Send for Supervisor Review")

Technical Training/Plumbing Inspector with outcome "Send for Supervisor Review")

Additional Instructions

Comments

Description

Findings

Re-investigation Date

Route Order

Assignments

Derek Slykerman, Technical Training/Plumbing Inspector

Relationships

Violations: VI-2019-02157

Assess Fine on NOV?

N

Assess Fine on Order?

N

Description

Water service and meter station to be installed.

Fees Assessed

N

Fine Per Period

Fine Per Period

Fine To Assess (NOV)

Fine To Assess (Order)

Frequency

Frequency

Grace Period (days)

0

Grace Period (days)

0

Issue Warning/Violation

Warning

Life Safety

Priority

Resolution Date

Jun 26, 2019 00:00:00

Resolve By Date

Result

Corrected

Special Instructions

Violation Date

Apr 5, 2019 00:00:00

Relationships

Violation Type: Vancouver Building Bylaw Plumbing Systems

Supervisor Review (Completed on Apr 9, 2019 08:22:06 by Lloyd Cheung, Supervisor Plumbing and Gas Inspections with outcome "Letter Required")

Send Notification (Completed on Apr 10, 2019 11:14:40 by Donna Dalzell with outcome "Letter Sent")

Actual Start Date

Comments

Date Completed

Description

Apr 10, 2019 11:14:40

PLBG - 30/60D Letter - Water Service - Derek please read over and make changes as required Thx dd - Do you care that PL477676 is not final???

Follow-up Investigation Date

May 13, 2019 00:00:00

Outcome

Letter Sent

Route Order

Scheduled Complete Date

Scheduled Start Date

Apr 9, 2019 08:22:06

Staff Assigned Id List

Assignments

Donna Dalzell

Relationships

Shadow Process: 97946130

Referenced ObjectId

97946129

Relationships

Letter: 97984680 : CE - Inspec - WWOP Letter

Perform Investigation (Completed on Jul 10, 2019 07:52:48 by Derek Slykerman, Technical Training/Plumbing Inspector with outcome "Infraction(s) Cleared")

Additional Instructions

Comments

Description

Water Service - 30 Days obtain permit / 60 Days complete/final work.

Update, May 13th. Info received from Michael Coderre. Contractor will be in this week to obtain the required permit. Follow-up required

Plumbing final accepted PP-2019-02109. Waterworks completed. per Kyle Gregory

Findings

Re-investigation Date

Route Order

Assignments

Derek Slykerman, Technical Training/Plumbing Inspector

Relationships

Violations: VI-2019-02157

Assess Fine on NOV?	N
Assess Fine on Order?	N
Description	Water service and meter station to be installed.
Fees Assessed	N
Fine Per Period	
Fine Per Period	
Fine To Assess (NOV)	
Fine To Assess (Order)	
Frequency	
Frequency	
Grace Period (days)	0
Grace Period (days)	0
Issue Warning/Violation	Warning
Life Safety	
Priority	
Resolution Date	Jun 26, 2019 00:00:00
Resolve By Date	
Result	Corrected
Special Instructions	
Violation Date	Apr 5, 2019 00:00:00

Relationships

Violation Type: Vancouver Building Bylaw Plumbing Systems

Relationships

Document: 97945959

Document: 98061842

Document: 98063116

Document: 99934147

Enforcement Stream: Plumbing

Investigator: Derek Slykerman, Technical Training/Plumbing Inspector

Letter: 97816840 : CE - Inspection Report - Plumbing

Description

File Extension

File Name

CE - Inspection Report - Plumbing

pdf

File Size

Revisions

No data found - audit was disabled on the document creation date.

Relationships

Shadow Process: 97813599

Shadow Process: 97887602

Parcel: 015-581-080 - Parcel: 901 E HASTINGS STREET, Vancouver, BC V6A 1R9

Violation: VI-2019-02157

Assess Fine on NOV?	N
Assess Fine on Order?	N
Description	Water service and meter station to be installed.
Fees Assessed	N
Fine Per Period	
Fine Per Period	
Fine To Assess (NOV)	
Fine To Assess (Order)	
Frequency	
Frequency	
Grace Period (days)	0
Grace Period (days)	0
Issue Warning/Violation	Warning
Life Safety	
Priority	
Resolution Date	Jun 26, 2019 00:00:00
Resolve By Date	
Result	Corrected
Special Instructions	
Violation Date	Apr 5, 2019 00:00:00

Relationships

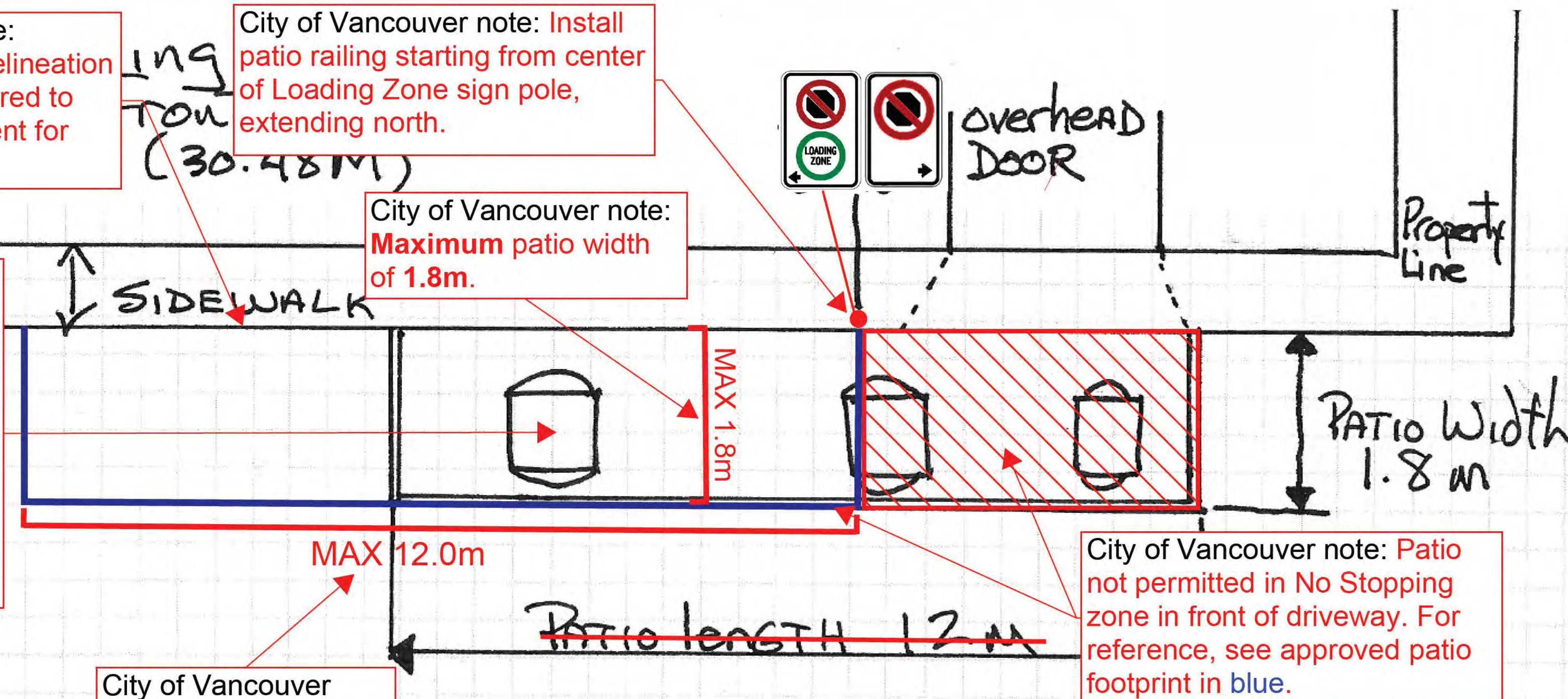
Violation Type: Vancouver Building Bylaw Plumbing Systems

City of Vancouver note: Stanchions or other delineation along the curb is required to meet LCRB requirement for liquor service.

City of Vancouver note: Install patio railing starting from center of Loading Zone sign pole, extending north.

City of Vancouver note: **Maximum** patio width of 1.8m.

City of Vancouver note: The total occupant load including seats in the patio must not exceed the authorized occupancy. The permit holder must at all times comply with orders from the Provincial Health Officer including any restrictions on occupancy and seating configurations.



City of Vancouver note: **Maximum** patio length of 12.0m.

- NOTE:
1. No ramp necessary due to DEPRESSION IN SIDEWALK TO STREET LEVEL IN FRONT OF OVERHEAD DOOR
 2. Overhead door area is INCLUDED IN RESTAURANT AND NOT USED FOR LOADING (SEE PHOTO)
 3. There ARE NO HYDRANTS, CONNECTIONS, METERS WITHIN MINIMUM DISTANCE
 4. Address is 901 E. HASTINGS St, but patio WILL BE LOCATED ON Campbell St running North/South ON THE WEST SIDE OF our building

Drawing template for applicants

LIABILITY INSURANCE CERTIFICATE STREET ACTIVITIES

NOTE: INSURANCE COMPANIES MUST BE LICENSED TO CONDUCT BUSINESS IN BRITISH COLUMBIA

1. THIS CERTIFICATE IS ISSUED TO: City of Vancouver – Engineering Services, Street Use, Street Activities
320 – 507 West Broadway, Vancouver, BC, V5Z 0B4
Fax: (604) 873-7255 Email: street.activities@vancouver.ca

and certifies that the insurance policy (policies) as listed herein has/have been issued to the Named Insured and is/are in full force and effect as of the effective date of the agreement described below.

2. NAMED INSURED [must be the same name as the Permittee/Licensee or Party(ies) to Contract and is/are either an individual(s) or a legally incorporated company(ies)]

MRC LIQUIDS & SOLIDS CULINARY INNOVATIONS INC

BUSINESS TRADE NAME OR DOING BUSINESS AS

BUSINESS ADDRESS

901 HASTINGS ST E, VANCOUVER, BC V6A 1R9

DESCRIPTION OF OPERATION, CONTRACT, AGREEMENT, LEASE, PERMIT OR LICENSE

SNACK FOOD MANUFACTURING

3. **COMMERCIAL GENERAL LIABILITY INSURANCE (Occurrence Form)**

Including the following coverages:

- | | |
|---|--|
| ✓ Personal Injury | ✓ Blanket Contractual Liability |
| ✓ Employees as Additional Insureds | ✓ Broad Form Products & Completed Operations |
| ✓ Cross Liability or Severability of Interest | ✓ Broad Form Property Damage incl. Loss of Use |
| ✓ Contingent Employer's Liability | ✓ Non-Owned Auto Liability |

Check additional extension where applicable:

☐ Host Liquor Liability

Limits of Liability (Bodily Injury and Property Damage Inclusive)

INSURER: **THE CO-OPERATORS**

Per Occurrence \$ **10,000,000**

POLICY NUMBER: **1074778017**

Aggregate \$ **10,000,000**

POLICY PERIOD: From **01/28/21** to **01/28/22**
MM/DD/YY MM/DD/YY

Deductible per occurrence \$ **1,000**

4. ☐ UMBRELLA OR ☐ EXCESS LIABILITY INSURANCE

Limits of Liability (Bodily Injury and Property Damage Inclusive) -

INSURER: _____

Per Occurrence \$ _____

POLICY NUMBER: **N/A**

Aggregate \$ _____

POLICY PERIOD: From _____ to _____
MM/DD/YY MM/DD/YY

Self-Insured Retention \$ _____

5. **POLICY PROVISIONS**

Where required by the governing contract, agreement, lease, permit or license, it is understood and agreed that:

- The City of Vancouver, its officials, officers, employees, servants and agents have been added as Additional Insureds with respect to liability arising out of the operation of the Named Insured pursuant to the governing contract, agreement, lease, permit or license.
- THIRTY (30) days written notice of cancellation or material change resulting in reduction of coverage with respect to any of the policies listed herein, either in part or in whole, will be given by the Insurer to the Holder of this Certificate; the exception is cancellation for non-payment of premiums in which case the applicable statutory conditions will apply.
- The insurance policy (policies) listed herein shall be primary with respect to liability arising out of the operation of the Named Insured. Any insurance or self-insurance maintained by the City of Vancouver shall be in excess of this insurance and shall not contribute to it.

SIGNED BY THE INSURER OR ITS AUTHORIZED REPRESENTATIVE

Date **03/10/21**
MM/DD/YY

NAME OF THE INSURER OR ITS AUTHORIZED REPRESENTATIVE,
AGENCY NAME, COMPLETE ADDRESS, POSTAL CODE & PHONE NUMBER

HAMILTON INSURANCE SERVICES BC LTD

806 6TH AVE W

VANCOUVER, BC V5Z 1A6

PH: 604-874-4476

FAX: 604-874-5570

NOTICE OF LATE NIGHT/ EARLY MORNING FILMING



This production company has received a minor exemption to the City's standard hours of filming. Please note the filming activities that are scheduled in your area.

Standard hours of filming:

Monday - Thursday	7 am - 11 pm
Friday	7 am - 12 am
Saturday	8 am - 12 am
Sunday & holidays	8 am - 11 pm

The production company is applying for all necessary permits and is required to abide by the City's filming guidelines.

If you have any questions or concerns about this exemption, please contact the City or production company noted below.

IMPORTANT INFORMATION

Please have this translated

RENSEIGNEMENTS IMPORTANTS

Prière de les faire traduire

重要資訊 請找人為你翻譯

重要资讯 请找人为你翻译

MAHALAGANG KAALAMAN

Mangyaring isalin ito

ਜ਼ਰੂਰੀ ਜਾਣਕਾਰੀ

ਕਿਰਪਾ ਕਰਕੇ ਕਿਸੇ ਕੋਲੋਂ ਇਸ ਦਾ ਟਿੱਲਾ ਕਰਵਾਓ

TIN TỨC QUAN TRỌNG

Xin hãy dịch sang tiếng Việt

INFORMACIÓN IMPORTANTE

Busque a alguien que le traduzca

중요정보 번역해주세요

اطلاعات مهم لطفاً دو خواست کنید
این اطلاعات را برای شما ترجمه کنند

Location: 923 E Hastings, 901 E Hastings, 800-900 Blk E Hastings

Production Company: TB Productions Inc. dba Todd Productions Inc.

Dates and Times: Monday, January 16th

Filming activities include:

Prep January 14th & 15th From 8:00am to 8:00pm

Filming: Monday, January 16th

Crew would arrive at 6:00am to the work trucks. Filming would begin at 923 E Hastings at 7:00am interior. We have exterior sidewalk work at 923 E Hastings west to Campbell Ave. and exterior work North side of 800 Block E Hastings with two actors in a foot chase. Our last location of the day will be at 901 E Hastings interior.

⊗ Temporary "No Stopping" zones include:

East side 300 Blk Campbell Av from EW Lane north to E Cordova

Jan 15 7:00am to Jan 17 5:00pm

North side 933 E Hastings west to Campbell Av.

Jan 15 7:00am to 8:00pm, Jan 16 10:00am to 11:00pm, Jan 17 10:00am to 5:00pm

South side 900 Blk E Cordova St. Dec 15 6:00pm to Dec 16 11:00pm

Both sides 300 Blk Campbell Av Dec 16 6:00am to 11:00pm E Hastings to EW Lane

North side 800 Blk E Hastings Bus stop west to 835 E Hastings

East side 300 Blk Hawks Ave. Jan 16th from 6:00am to 2:00pm

⊖ Street Closures and Traffic Control:

ITC on the Corner of E Hastings and Campbell and Corner of E Cordova and Campbell For Actor and Crew safety during filming.

During Exterior scenes on the sidewalk. Pedestrians may be asked to wait a short duration for the filming to finish before continuing.

Learn more about the production company's filming activities and register your level of support:

Location Manager: Kirk Adamson

On-site contact name: Andrew Bee

On-site contact phone number: 604-366-5218

Email address: shmtproductionoffice@gmail.com



Parking Request: "So help me Todd"

Location Manager: Kirk Adamson

778-893-5151

ALM: Andrew Bee 604-366-5218

Location: 923, 901 E Hastings,

800 Block E Hastings

900 Block Hastings

Description: Interior 923 E Hastings is an Office reception area. Exterior 923 E Hastings is a POV of a suspect crossing the street and running up Campbell out of sight. Picture cars in Parking lane. 800 Block E Hastings is a Cat & Mouse chase, picture cars in parking lane. Maybe camera position. Interior 901 E Hastings will become a Donut Shop.



Temporary Street Occupancy Permit
Summary Job Sheet (Fase)

TO-2023-00107

#40040237

Date of Request: January 9, 2023

Permit Purpose: Film/Special Event

Activity: So Help Me Todd

Contact Information

Applicant Name: Cory Pioveson DBA: ALM

Applicant Telephone: (778) 668-8695

Signage

Specific Location	Start Date	End Date	Req. 24 hrs?	Days of Week
- South side of 900 E Cordova St. from Campbell to Raymur Ave	January 15, 2023 - 6:00 PM	January 16, 2023 - 11:00 PM	Yes	Mon, Sun
- East side of 300 Campbell from E Cordova to the lane south	January 15, 2023 - 7:00 AM	January 17, 2023 - 5:00 PM	Yes	Mon, Tues, Sun
- North side of 900 E Hastings from the EPL of 933 to Campbell Ave	January 14, 2023 - 7:00 AM	January 15, 2023 - 8:00 PM	Yes	Sat, Sun
- North side of 800 E Hastings from pole 7/58 to Hawks Ave	January 16, 2023 - 10:00 AM	January 16, 2023 - 2:00 PM	No	Mon
- East side of 300 Hawks from E. Hastings to the lane north	January 16, 2023 - 6:00 AM	January 16, 2023 - 2:00 PM	No	Mon
- North side of 900 E Hastings from the EPL of 933 to Campbell Ave	January 16, 2023 - 10:00 AM	January 16, 2023 - 5:00 PM	No	Mon
- North side of 900 E Hastings from the EPL of 933 to Campbell Ave	January 17, 2023 - 10:00 AM	January 17, 2023 - 5:00 PM	No	Tues
- Both sides of 300 Campbell from E Hastings to the lane north	January 16, 2023 - 7:00 AM	January 16, 2023 - 5:00 PM	No	Mon

Crew Information

Crew Name:	_____	Vehicle ID #:	_____		
Date Installed:	_____	# of Signs:	_____	# of Stakes:	_____ # of Hoods: _____

Crew Name:	_____	Vehicle ID #:	_____		
Date Removed:	_____	# of Signs:	_____	# of Stakes:	_____ # of Hoods: _____

Approved Amendment Description



Temporary Street Occupancy Permit
Summary Job Sheet (Fase)

TO-2023-00107

#40040237

Date of Request: January 12, 2023

Permit Purpose: Film/Special Event

Activity: So Help Me Todd

Contact Information

Applicant Name: Cory Pioveson DBA: ALM

Applicant Telephone: (778) 668-8695

Signage

Specific Location	Start Date	End Date	Req. 24 hrs?	Days of Week
- South side of 900 E Cordova St. from Campbell to Raymur Ave	January 15, 2023 - 6:00 PM	January 16, 2023 - 11:00 PM	Yes	Mon, Sun
- East side of 400 Hawks from E Hastings to the lane south	January 16, 2023 - 7:00 AM	January 17, 2023 - 6:00 PM	Yes	Mon, Tues
- East side of 300 Campbell from E Cordova to the lane south	January 15, 2023 - 7:00 AM	January 17, 2023 - 5:00 PM	Yes	Mon, Tues, Sun
- North side of 900 E Hastings from the EPL of 933 to Campbell Ave	January 14, 2023 - 7:00 AM	January 15, 2023 - 8:00 PM	Yes	Sat, Sun
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- Both sides of 300 Campbell from E Hastings to the lane north	January 16, 2023 - 7:00 AM	January 16, 2023 - 5:00 PM	No	Mon

Crew Information

Crew Name:	Vehicle ID #:		
Date Installed:	# of Signs:	# of Stakes:	# of Hoods:

Crew Name:	Vehicle ID #:		
Date Removed:	# of Signs:	# of Stakes:	# of Hoods:

Approved Amendment Description

7:00am Monday, Jan. 16th to 6:00pm Tuesday, Jan. 17th

- East side 400 Hawks from E Hastings to the lane south

This cover page contains information about the contents of the document that follows. For more information, please refer to our webpage: vancouver.ca/property-research.

Overview:

This document may be used to make an application for copies of routinely releasable documents maintained by City's Development, Buildings and Licensing Department. These include copies of issued permits, and other permit application related records.

Who to contact for more information:

If you would like more information or require this application to be accessible in an alternate format, please contact us by calling 3-1-1 or email us at property.research@vancouver.ca.

Application Fees

Applications will not be reviewed until we have received a completed application form, completed authorization form (if required) and all applicable fees. Please refer to our webpage (link provided above) for details on specific fee amounts.

If you're unable to provide specific details of the document(s) you are requesting (i.e. date range, a reference number for the record, etc.), we will charge you a minimum fee for two hours of research time and additional fees may be required if it takes longer to process the request.

We will be in touch shortly after receiving your application form, and advise you that your fee is available to pay online (payments can be made using Visa, Master Card or American Express).

Please note that you can also look up permits through the City's online permit search tool for free. The online search tool has data related to permits issued after 2016, and can be accessed here: <https://vancouver.ca/permit-search>

To Submit Your Application

Download and complete the Property Research Request Application Form. Submit the completed form and all applicable documents by email to property.research@vancouver.ca.

In addition to the application form, you may also need to include an Owner/Strata Authorization Form (accessible on our webpage - link provided above) for the submission to be considered complete. These are required for applications that are submitted by a third party (i.e. anyone other than the registered property owner).



Application Form
Document Copy Request

Property Location (address of the property you would like us to review)

Required Fields:			
Street No. 901	Street Name East Hastings Street		Suite/Unit No.
Optional Fields:			
Lot	Block	District Lot	Plan
Other Location Information (for example, "request is related to only the commercial units in this mixed use building", or perhaps "the request relates to only the building addressed as '1212' on this parcel"):			

Applicant Information

First Name Shaina		Last Name James	
Company Name (if applicable) Dolden Wallace Folick LLP - 18th Floor 609 Granville Street, Vancouver, BC V7Y 1G5			
Street No. 609	Street Name Granville Street		Suite/Unit No. 1800
City/Town Vancouver		Province BC	Postal Code V7Y1G5
Primary Telephone No. 604-891-0354	Secondary Telephone No.	Email sjames@dolden.com	
Applicant is (select one) <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Agent for Owner <input type="checkbox"/> Tenant <input type="checkbox"/> Other (specify) _____			
CoV Online Account Name Shaina James			

Documents Requested (provide reference number if available)

Please list the specific documents you would like to request:

occupancy permits, building permits and inspection reports related to the property at 901 East Hastings, Vancouver, BC

Please provide a date range for the requested document(s) (i.e. a range of dates when these documents would have been submitted and/or approved):

January 2003 to present date

Please describe in detail the reason you are requesting these items (for example, what are you planning on using this to accomplish). We ask for this information as it can help us find the information you need.

litigation arising out of a fall at the premises of 901 East Hastings Street, Vancouver, BC

Preauthorization for Fees

The fees associated with this request will be determined by us after we have reviewed your application. The fees will be based on the complexity of the request and staff resource it takes to process the request.

For open-ended research requests, we will charge for the first two hours of research time immediately. If we are unable to complete the request in this period, would you like us to:

- ☐ Continue our work understanding that additional fees will be charged for each hour of research time.
- ☒ Contact you to provide an update and obtain approval for charging additional fees before continuing to work on the request.

Please note that older application records are less comprehensive than modern-day submissions. While we will do our best to find the information you have requested, we cannot guarantee that the particular information/documentation you need is available.

Apr 02, 2021

MRC Liquids & Solids Culinary Innovations Inc DBA: Liquids+Solids
901 E Hastings St
Vancouver, BC V6A 1R9

Dear MRC Liquids & Solids Culinary Innovations Inc DBA: Liquids+Solids:

RE: Sidewalk Patio (Large) Permit Expiry

Our records indicate that the Sidewalk Patio (Large) permit for your business has expired. In order to operate on City streets a valid permit must be on display at your business. The permit may not have been renewed because the fee has not been paid and/or the City of Vancouver Liability Insurance Certificate has not been submitted. To renew the permit please log in to your online account or visit Engineering Services (5th Floor, 507 W Broadway, Vancouver) and ensure all requirements are met.

**TO RENEW THE PERMIT, PLEASE ENSURE
THE FOLLOWING REQUIREMENTS ARE MET**

Fees Due: No

Insurance Required: No

1. Full Payment of Permit Fee Amount Due: \$0.00

2. Liability Insurance Certificate

Please have your insurance agent or broker complete a City of Vancouver Liability Insurance Certificate which is available for download at <http://vancouver.ca/files/cov/liability-insurancecertificate-street-activities.pdf>

Requirement:

Commercial General Liability Insurance for a limit not less than \$5,000,000 per occurrence (Bodily Injury and Property Damage inclusive) including Cross Liability and Severability of Interest Clause, deductible limit not greater than \$5,000 and the City of Vancouver, its officials, officers, employees, servants and agents be named as an Additional Insured.

Once full payment is received and your insurance information is up to date, you will be issued a Sidewalk Patio (Large) permit granting permission to operate for the upcoming permit year.

If you are a new owner, have recently changed the name of the business please or have any questions please contact the City of Vancouver, Street Activities Branch by emailing street.activities@vancouver.ca.

City of Vancouver, Engineering Services
Mailing Address: 320-507 West Broadway
Vancouver, British Columbia V5Z 0B4 Canada
tel: 3-1-1, Outside Vancouver 604.873.7000 fax: 604.873.7200
website: vancouver.ca/engsvcs/

Nov 01, 2021

MRC Liquids & Solids Culinary Innovations Inc DBA: Liquids & Solids
901 E Hastings St
Vancouver, BC V6A 1R9

Dear MRC Liquids & Solids Culinary Innovations Inc DBA: Liquids & Solids :

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Our records indicate that the Sidewalk Patio (Large) permit for your business has expired. In order to operate on City streets a valid permit must be on display at your business. The permit may not have been renewed because the fee has not been paid and/or the City of Vancouver Liability Insurance Certificate has not been submitted. To renew the permit please log in to your online account or visit Engineering Services (5th Floor, 507 W Broadway, Vancouver) and ensure all requirements are met.

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website: vancouver.ca/engsvcs/

Nov 01, 2020

TEPP DBA: Temporary Expedited Patio Program
320-507 W Broadway
Vancouver, BC V5Z0B4

Dear TEPP DBA: Temporary Expedited Patio Program:

RE: Sidewalk Patio (Large) Permit Expiry

Our records indicate that the Sidewalk Patio (Large) permit for your business has expired. In order to operate on City streets a valid permit must be on display at your business. The permit may not have been renewed because the fee has not been paid and/or the City of Vancouver Liability Insurance Certificate has not been submitted. To renew the permit please log in to your online account or visit Engineering Services (5th Floor, 507 W Broadway, Vancouver) and ensure all requirements are met.

**TO RENEW THE PERMIT, PLEASE ENSURE
THE FOLLOWING REQUIREMENTS ARE MET**

Fees Due: No

Insurance Required: No

1. Full Payment of Permit Fee Amount Due: \$0.00

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Vancouver, British Columbia V5Z 0B4 Canada
tel: 3-1-1, Outside Vancouver 604.873.7000 fax: 604.873.7200
website: vancouver.ca/engsvcs/

Nov 15, 2021

MRC Liquids & Solids Culinary Innovations Inc DBA: Liquids+Solids
901 E Hastings St
Vancouver, BC V6A 1R9

Dear MRC Liquids & Solids Culinary Innovations Inc DBA: Liquids+Solids:

RE: Sidewalk Patio (Large) Permit OVERDUE

Our records indicate that the Sidewalk Patio (Large) permit for your business is now in excess of 2 weeks overdue. As you are aware, to operate on City streets a valid permit must be on display at your business. You must renew your permit immediately by logging in to your online account or visiting Engineering Services (5th Floor, 507 W Broadway, Vancouver) and completing all requirements.

If you do not renew your permit we will assume you no longer wish to participate in the Sidewalk Patio (Large) program. Without a permit, any units, furniture or structures on City property must be removed. Items left on City property may be impounded and you will be responsible for all associated impound charges. Failure to cooperate with us at this time may affect your future ability to obtain a Sidewalk Patio (Large) permit.

**TO RENEW THE PERMIT, PLEASE ENSURE
THE FOLLOWING REQUIREMENTS ARE MET**

Fees Due: Yes

Insurance Required: No

- | | | |
|------------------------------------|-------------|------------|
| 1. Full Payment of Permit Fee | Amount Due: | \$1,031.94 |
| 2. Liability Insurance Certificate | | |

Please have your insurance agent or broker complete a City of Vancouver Liability Insurance Certificate which is available for download at <http://vancouver.ca/files/cov/liability-insurancecertificate-street-activities.pdf>

Requirement:

Commercial General Liability Insurance for a limit not less than \$5,000,000 per occurrence (Bodily Injury and Property Damage inclusive) including Cross Liability and Severability of Interest Clause, deductible limit not greater than \$5,000 and the City of Vancouver, its officials, officers, employees, servants and agents be named as an Additional Insured.

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Apr 15, 2021

TEPP DBA: Temporary Expedited Patio Program
320-507 W Broadway
Vancouver, BC V5Z0B4

Dear TEPP DBA: Temporary Expedited Patio Program:

RE: Sidewalk Patio (Large) Permit OVERDUE

Our records indicate that the Sidewalk Patio (Large) permit for your business is now in excess of 2 weeks overdue. As you are aware, to operate on City streets a valid permit must be on display at your business. You must renew your permit immediately by logging in to your online account or visiting Engineering Services (5th Floor, 507 W Broadway, Vancouver) and completing all requirements.

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**TO RENEW THE PERMIT, PLEASE ENSURE
THE FOLLOWING REQUIREMENTS ARE MET**

Fees Due: Yes

Insurance Required: Yes

- | | | |
|------------------------------------|-------------|------------|
| 1. Full Payment of Permit Fee | Amount Due: | \$1,446.75 |
| 2. Liability Insurance Certificate | | |

Please have your insurance agent or broker complete a City of Vancouver Liability Insurance Certificate which is available for download at <http://vancouver.ca/files/cov/liability-insurancecertificate-street-activities.pdf>

Requirement:

Commercial General Liability Insurance for a limit not less than \$5,000,000 per occurrence (Bodily Injury and Property Damage inclusive) including Cross Liability and Severability of Interest Clause, deductible limit not greater than \$5,000 and the City of Vancouver, its officials, officers, employees, servants and agents be named as an Additional Insured.

Once full payment is received and your insurance information is up to date, you will be issued a Sidewalk Patio (Large) permit granting permission to operate for the upcoming permit year.

If you are a new owner, have recently changed the name of the business please or have any questions please contact the City of Vancouver, Street Activities Branch by emailing street.activities@vancouver.ca.

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tel: 3-1-1, Outside Vancouver 604.873.7000 fax: 604.873.7200
website: vancouver.ca/engsvcs/

Oct 01, 2021

MRC Liquids & Solids Culinary Innovations Inc DBA: Liquids+Solids
901 E Hastings St
Vancouver, BC V6A 1R9

Dear MRC Liquids & Solids Culinary Innovations Inc DBA: Liquids+Solids:

RE: Sidewalk Patio (Large) Permit Renewal

Our records indicate that the Sidewalk Patio (Large) permit for your business will expire on October 31, 2021. To renew the permit please log in to your online account or visit Engineering Services (5th Floor, 507 W Broadway, Vancouver) and ensure all requirements are met.

**TO RENEW THE PERMIT, PLEASE ENSURE
THE FOLLOWING REQUIREMENTS ARE MET**

Due Date: October 31, 2021

Fees Due: Yes

Insurance Required: No

1. Full Payment of Permit Fee

Amount Due: \$1,031.94

2. Liability Insurance Certificate

Please have your insurance agent or broker complete a City of Vancouver Liability Insurance Certificate which is available for download at <http://vancouver.ca/files/cov/liability-insurancecertificate-street-activities.pdf>

Requirement:

Commercial General Liability Insurance for a limit not less than \$5,000,000 per occurrence (Bodily Injury and Property Damage inclusive) including Cross Liability and Severability of Interest Clause, deductible limit not greater than \$5,000 and the City of Vancouver, its officials, officers, employees, servants and agents be named as an Additional Insured.

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website: vancouver.ca/engsvcs/

Mar 01, 2021

TEPP DBA: Temporary Expedited Patio Program
320-507 W Broadway
Vancouver, BC V5Z0B4

Dear TEPP DBA: Temporary Expedited Patio Program:

RE: Sidewalk Patio (Large) Permit Renewal

Our records indicate that the Sidewalk Patio (Large) permit for your business will expire on March 31, 2020. To renew the permit please log in to your online account or visit Engineering Services (5th Floor, 507 W Broadway, Vancouver) and ensure all requirements are met.

**TO RENEW THE PERMIT, PLEASE ENSURE
THE FOLLOWING REQUIREMENTS ARE MET**

Due Date: March 31, 2020

Fees Due: Yes

Insurance Required: Yes

1. Full Payment of Permit Fee

Amount Due: \$1,446.75

2. Liability Insurance Certificate

Please have your insurance agent or broker complete a City of Vancouver Liability Insurance Certificate which is available for download at <http://vancouver.ca/files/cov/liability-insurancecertificate-street-activities.pdf>

Requirement:

Commercial General Liability Insurance for a limit not less than \$5,000,000 per occurrence (Bodily Injury and Property Damage inclusive) including Cross Liability and Severability of Interest Clause, deductible limit not greater than \$5,000 and the City of Vancouver, its officials, officers, employees, servants and agents be named as an Additional Insured.

Once full payment is received and your insurance information is up to date, you will be issued a Sidewalk Patio (Large) permit granting permission to operate for the upcoming permit year.

If you are a new owner, have recently changed the name of the business or have any questions please contact the City of Vancouver, Street Activities Branch by emailing street.activities@vancouver.ca.

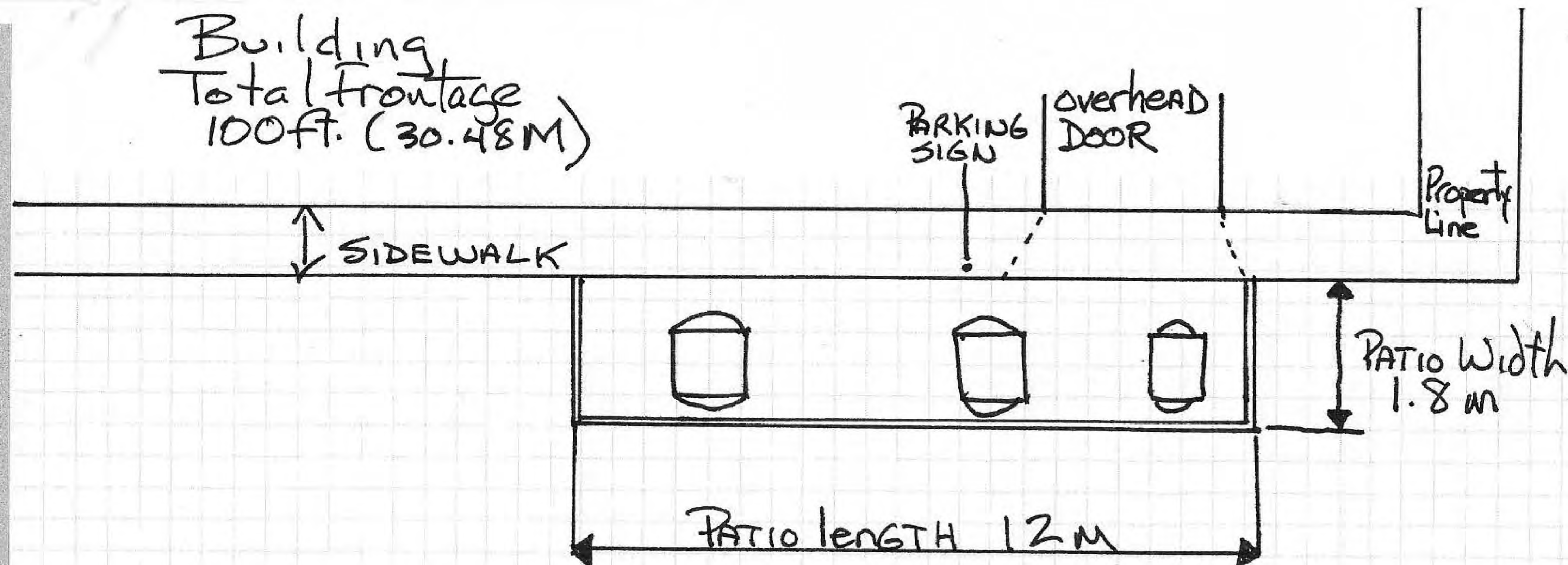
City of Vancouver, Engineering Services
Mailing Address: 320-507 West Broadway
Vancouver, British Columbia V5Z 0B4 Canada
tel: 3-1-1, Outside Vancouver 604.873.7000 fax: 604.873.7200
website: vancouver.ca/engsvcs/



s.22(1)

s.22(1)

Building
Total frontage
100ft. (30.48m)



Drawing template for applicants

- NOTE:
1. NO RAMP NECESSARY DUE TO DEPRESSION IN SIDEWALK TO STREET LEVEL IN FRONT OF OVERHEAD DOOR
 2. OVERHEAD DOOR AREA IS INCLUDED IN RESTAURANT AND NOT USED FOR LOADING (SEE PHOTO)
 3. THERE ARE NO HYDRANTS, CONNECTIONS, METERS WITHIN MINIMUM DISTANCE
 4. ADDRESS IS 901 E. HASTINGS St, but patio WILL BE LOCATED ON Campbell St running North/South ON THE WEST SIDE OF OUR building



LICENCE OFFICE
515 West 10th Avenue
Vancouver, BC Canada V5Z 4A8
Within Vancouver, phone: 3-1-1
Outside Vancouver, phone: 604-873-7000

LIQUIDS & SOLIDS
901 E HASTINGS ST
VANCOUVER, BC CAN V6A 1R9

2020

Licence # 20-140625

BUSINESS LICENCE

Issued: January 14, 2020
Expires: December 31, 2020

Business Licence Holder:
MRC Liquids & Solids Culinary Innovations Inc

Business Type: MG - Manufacturer - Food with
Anc. Retail

Business Trade Name:
Liquids & Solids

Located At: 901 E HASTINGS ST

BL Renewal Fee	\$962.00
Total Fee Paid	\$962.00

This business must be closed and not open for business between the hours of 2:00 a.m. and 6:00 a.m. of every day as per By-law No. 8022.

The above named is hereby licensed to carry on the business, trade, profession or other occupation stated herein. In issuing this licence the City does not represent or warrant compliance with other City of Vancouver by-laws. The licensee is responsible for ensuring compliance with all relevant by-laws of the City and additional approvals may be required provincially or federally. If this licence has been issued in conjunction with a time-limited Development Permit; this licence will not be valid if the Development Permit has expired and has not been extended. This licence must be posted upon the licensed premise and is valid at this address only.

CONFIRMATION OF INSURANCE

This is to confirm to: CITY OF VANCOUVER

Mailing Address: 320-507 WEST BROADWAY
VANCOUVER
British Columbia
V5Z 0B4

That a policy of insurance as herein described has been issued to the Insured named below and is in full force.

Occupancy/Operations to which this Confirmation applies: BULK SOUPS, CHILI, STEWS AND FLAVOURED MAYONNAISE

Legal Location of Insured Risk: 901 East Hastings Street
VANCOUVER
British Columbia
V6A 1R9

Name of Insured: MRC LIQUIDS & SOLIDS CULINARY INNOVATIONS INC

Mailing Address: 901 East Hastings Street
VANCOUVER
British Columbia
V6A 1R9

Coverage:	Commercial General Liability	Policy Number: 1074778017	Effective Date: 28/01/2020	Expiry Date: 28/01/2021
------------------	-------------------------------------	----------------------------------	-----------------------------------	--------------------------------

The Commercial General Liability section provides coverage for the following:

- Bodily Injury and Property Damage including:
- Products Completed Operations
 - Broad Form Property Damage
 - Contractual Liability
 - Cross Liability

Limits of Insurance:

Each Occurrence Limit - Bodily Injury and Property Damage	\$10,000,000
Aggregate Limit - Products/Completed Operations	\$10,000,000
Personal Injury Limit	\$10,000,000
Medical Expenses Limit	\$10,000
Tenants Legal Liability Limit - Broad Form	\$500,000

Optional Extensions:

Products Liability Included	D-1
------------------------------------	-----

Coverage:	Non-Owned Automobile	Policy Number: 1074778017	Effective Date: 28/01/2020	Expiry Date: 28/01/2021
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Limit of Insurance	\$5,000,000
Contractual Liability Endorsement	
Excluding Long Term Leased Vehicles Endorsement	

The Insurance afforded is subject to the terms, conditions and exclusions of the applicable policy. This Confirmation is issued as a matter of information only and confers no rights of the holder and imposes no liability on the Insurer.

CO-OPERATORS GENERAL INSURANCE COMPANY

HAMILTON INSURANCE SERVICES BC LTD

Authorized Representative



Authorized Representative Signature

(if required)

JUL 21, 2020

Date Issued

CGG088 (06/14)



1.51 m

**LICENCE OFFICE**

515 West 10th Avenue

Vancouver, BC Canada V5Z 4A8

Within Vancouver, phone: 3-1-1

Outside Vancouver, phone: 604-873-7000

LIQUIDS & SOLIDS
901 E HASTINGS ST
VANCOUVER, BC CAN V6A 1R9

2021

Licence # 21-129658

BUSINESS LICENCE

Issued: February 11, 2021

Expires: December 31, 2021

Business Licence Holder:

MRC Liquids & Solids Culinary Innovations Inc

Business Type: MG - Manufacturer - Food with

Anc. Retail

Business Trade Name:

Liquids & Solids

Located At: 901 E HASTINGS ST**BL Late Payment Fee** \$96.00**BL Renewal Fee** \$962.00**Total Fee Paid** \$1,058.00

This business must be closed and not open for business between the
hours of 2:00 a.m. and 6:00 a.m. of every day as per By-law No. 8022.

The above named is hereby licensed to carry on the business, trade, profession or other occupation stated herein. In issuing this licence the City does not represent or warrant compliance with other City of Vancouver by-laws. The licensee is responsible for ensuring compliance with all relevant by-laws of the City and additional approvals may be required provincially or federally. If this licence has been issued in conjunction with a time-limited Development Permit, this licence will not be valid if the Development Permit has expired and has not been extended. This licence must be posted upon the licensed premise and is valid at this address only.



LIABILITY INSURANCE CERTIFICATE STREET ACTIVITIES

NOTE: INSURANCE COMPANIES MUST BE LICENSED TO CONDUCT BUSINESS IN BRITISH COLUMBIA

1. THIS CERTIFICATE IS ISSUED TO: City of Vancouver – Engineering Services, Street Use, Street Activities
320 – 507 West Broadway, Vancouver, BC, V5Z 0B4
Fax: (604) 873-7255 Email: street.activities@vancouver.ca

and certifies that the insurance policy (policies) as listed herein has/have been issued to the Named Insured and is/are in full force and effect as of the effective date of the agreement described below.

2. NAMED INSURED [must be the same name as the Permittee/Licensee or Party(ies) to Contract and is/are either an individual(s) or a legally incorporated company(ies)]

MRC LIQUIDS & SOLIDS CULINARY INNOVATIONS INC

BUSINESS TRADE NAME OR DOING BUSINESS AS

BUSINESS ADDRESS

901 HASTINGS ST E, VANCOUVER, BC V6A 1R9

DESCRIPTION OF OPERATION, CONTRACT, AGREEMENT, LEASE, PERMIT OR LICENSE

SNACK FOOD MANUFACTURING

3. **COMMERCIAL GENERAL LIABILITY INSURANCE (Occurrence Form)**

Including the following coverages:

- ✓ Personal Injury
- ✓ Employees as Additional Insureds
- ✓ Cross Liability or Severability of Interest
- ✓ Contingent Employer's Liability
- ✓ Blanket Contractual Liability
- ✓ Broad Form Products & Completed Operations
- ✓ Broad Form Property Damage incl. Loss of Use
- ✓ Non-Owned Auto Liability

Check additional extension where applicable:

☐ Host Liquor Liability

Limits of Liability (Bodily Injury and Property Damage Inclusive)

INSURER: **THE CO-OPERATORS**

Per Occurrence \$ **10,000,000**

POLICY NUMBER: **1074778017**

Aggregate \$ **10,000,000**

POLICY PERIOD: From **01/28/21** to **01/28/22**
MM/DD/YY MM/DD/YY

Deductible per occurrence \$ **1,000**

4. ☐ UMBRELLA OR ☐ EXCESS LIABILITY INSURANCE

Limits of Liability (Bodily Injury and Property Damage Inclusive) -

INSURER:

Per Occurrence \$

POLICY NUMBER: **N/A**

Aggregate \$

POLICY PERIOD: From MM/DD/YY to MM/DD/YY


Self-Insured Retention \$

5. **POLICY PROVISIONS**

Where required by the governing contract, agreement, lease, permit or license, it is understood and agreed that:

- a) The City of Vancouver, its officials, officers, employees, servants and agents have been added as Additional Insureds with respect to liability arising out of the operation of the Named Insured pursuant to the governing contract, agreement, lease, permit or license.
- b) THIRTY (30) days written notice of cancellation or material change resulting in reduction of coverage with respect to any of the policies listed herein, either in part or in whole, will be given by the Insurer to the Holder of this Certificate; the exception is cancellation for non-payment of premiums in which case the applicable statutory conditions will apply.
- c) The insurance policy (policies) listed herein shall be primary with respect to liability arising out of the operation of the Named Insured. Any insurance or self-insurance maintained by the City of Vancouver shall be in excess of this insurance and shall not contribute to it.

SIGNED BY THE INSURER OR ITS AUTHORIZED REPRESENTATIVE



Date **03/10/21**
MM/DD/YY

NAME OF THE INSURER OR ITS AUTHORIZED REPRESENTATIVE,
AGENCY NAME, COMPLETE ADDRESS, POSTAL CODE & PHONE NUMBER

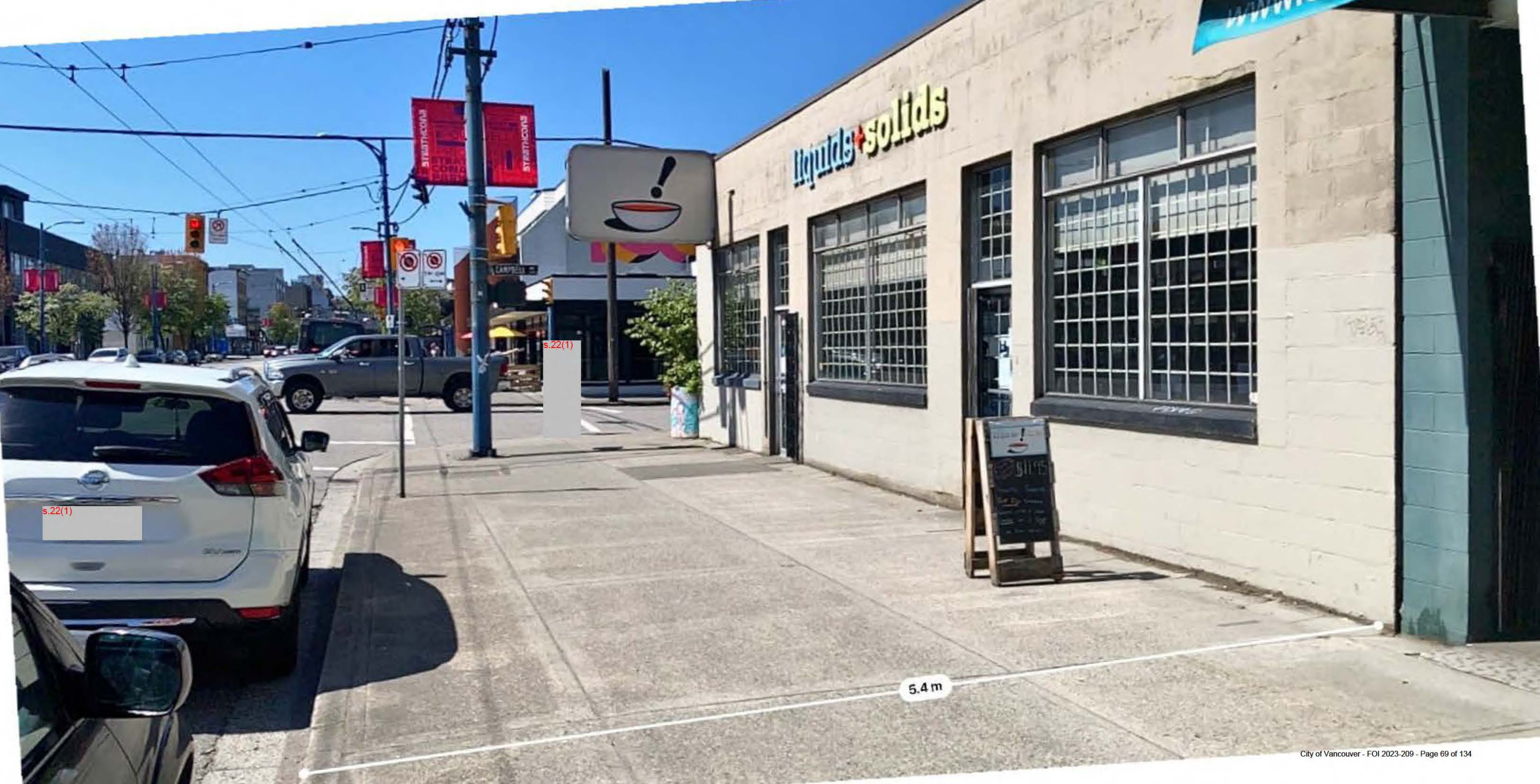
HAMILTON INSURANCE SERVICES BC LTD

806 6TH AVE W

VANCOUVER, BC V5Z 1A6

PH: 604-874-4476

FAX: 604-874-5570



s.22(1)

s.22(1)

5.4 m

From: ["Street Activities" <street.activities@vancouver.ca>](mailto:street.activities@vancouver.ca)
To: michael@liquidsandsolids.ca
CC: ["Street Activities" <street.activities@vancouver.ca>](mailto:street.activities@vancouver.ca)
BCC: ["Duke, Andrea" <andrea.duke@vancouver.ca>](mailto:andrea.duke@vancouver.ca)
Date: 7/22/2020 4:22:00 PM
Subject: Temporary Expedited Patio Program Application (901 E Hastings St)
Attachments: [ENG - SUM - TEPP - Checklist - 901 E Hastings St - Liquids+Solids - APPROVED WITH CONDITIONS - DRAWING - 2020-07-21.PDF](#)
[901 E Hastings St \(SA-2020-00435\).pdf](#)

Dear Michael Coderre,

For Liquids+Solids (901 E Hastings St)

Thank you for your interest in the Temporary Expedited Patio Program (TEPP). We have reviewed your application and are pleased to report that your patio has been approved with the condition(s) noted on the attached drawing. Please also find enclosed the patio permit which should be displayed in a conspicuous location on the premises. You may now proceed with the patio installation, and following that, the City will proceed with signage and bollard installation.

Below are the outstanding requirements that you will need to address:

- Insurance: We have received your Liability Insurance Certificate (LIC). The LIC submitted does not meet the City's insurance requirements. Please have your insurance broker/agent complete the [Liability Insurance Certificate](#) template. A reminder that the minimum limit of liability per occurrence must be \$5,000,000. If the restaurant has a valid liquor license, please be sure to check off "Host Liquor Liability". Please send the completed LIC to street.activities@vancouver.ca. You and your customers may use this patio space in the interim, but the City must receive confirmation on insurance coverage within five (5) business days of when your application was submitted. Failure to submit the revised LIC may result in permit suspension or cancellation.

As you begin to install and use your patio space, it is essential for all businesses to continue complying with the general patio requirements. For your convenience, these requirements are compiled in the list below:

- The total occupant load including seats in the patio must not exceed the authorized occupancy. The permit holder must at all times comply with orders from the Provincial Health Officer including any restrictions on occupancy and seating configurations.
- No decks or other structures
- No heaters
- Railings must be approximately 1m (40") in height
- Max width of curbside patio must be 1.8m
- Use of patios must end at 11:00 pm. However, if the closing time on the liquor license is

earlier, the patio must close at the time specified. Please advise your staff that service to the patio must stop and customers must be relocated inside your establishment by this time. It would be useful to have notices to this effect on all outdoor tables or posted prominently in the outdoor seating area.

- ☐ Enclosing the patio with any type of weather protection or other materials is not allowed.
- ☐ Nothing is allowed to be attached to the railing.
- ☐ No items (e.g. sandwich boards, hostess stands, etc.) are to be placed outside of the patio area.
- ☐ If you want to make any changes to your patio, they must first be approved in writing by Engineering Services.
- ☐ Additional operational requirements are included in the terms and conditions of the permit.

Congratulations on your successful application to the program. We look forward to seeing your up-and-coming patio space. On behalf of the City and its residents, we thank you for your strength and resilience during these trying times, and for your ongoing commitment to rebuilding public life and the local economic fabric.

Most appreciatively,

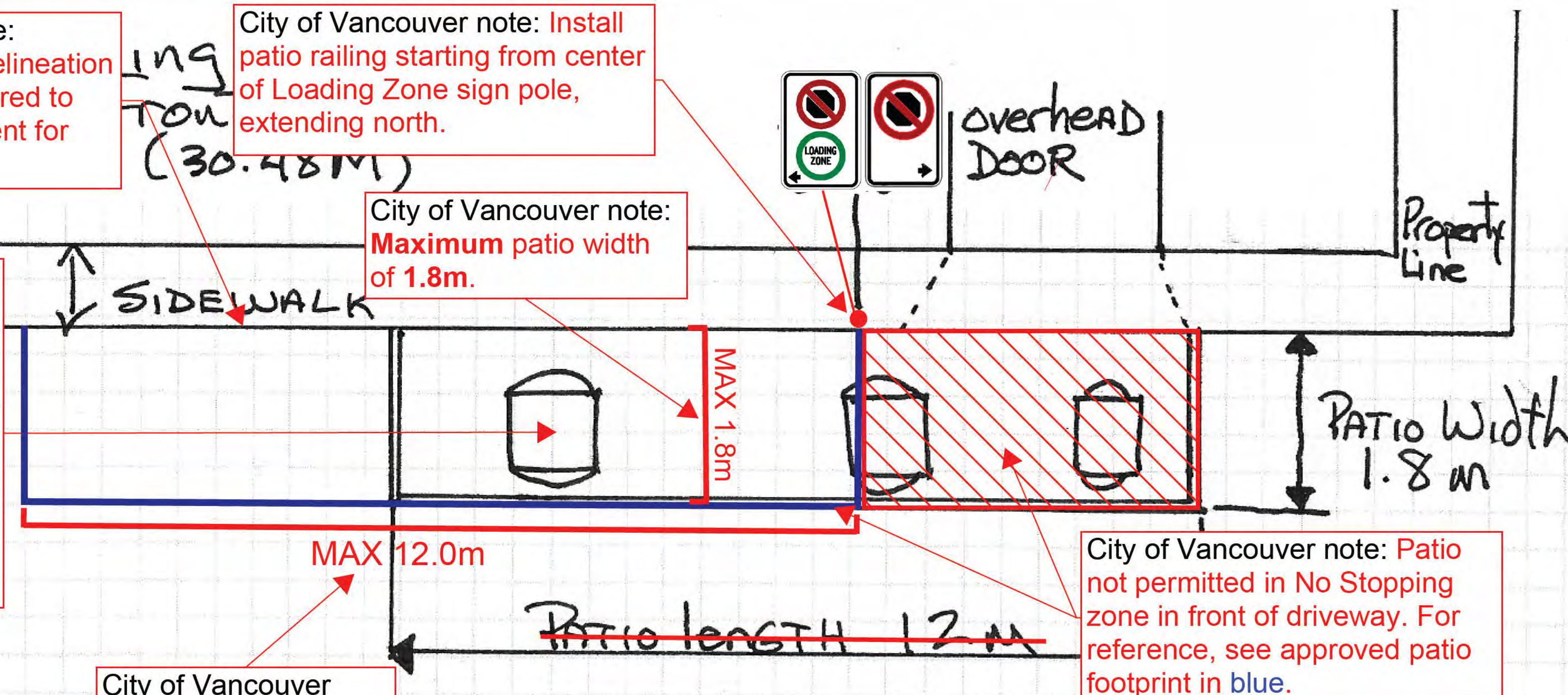
Patio Team
Engineering Services
City of Vancouver

City of Vancouver note: Stanchions or other delineation along the curb is required to meet LCRB requirement for liquor service.

City of Vancouver note: Install patio railing starting from center of Loading Zone sign pole, extending north.

City of Vancouver note: **Maximum** patio width of 1.8m.

City of Vancouver note: The total occupant load including seats in the patio must not exceed the authorized occupancy. The permit holder must at all times comply with orders from the Provincial Health Officer including any restrictions on occupancy and seating configurations.



City of Vancouver note: **Maximum** patio length of 12.0m.

- NOTE:
1. No ramp NECESSARY DUE TO DEPRESSION IN SIDEWALK TO STREET LEVEL IN FRONT OF OVERHEAD DOOR
 2. Overhead DOOR AREA IS INCLUDED IN RESTAURANT AND NOT USED FOR LOADING (SEE PHOTO)
 3. There ARE NO HYDRANTS, CONNECTIONS, METERS WITHIN MINIMUM DISTANCE
 4. Address is 901 E. HASTINGS St, but patio WILL BE LOCATED ON Campbell St running North/South ON THE WEST SIDE OF our building

Drawing template for applicants



Sidewalk Patio SA-2020-00435 (Large) Permit

City of Vancouver
453 West 12th Avenue

Vancouver, British Columbia
Canada V5Y 1V4

s.3(5)(a)



Sidewalk Patio SA-2020-00435 (Large) Permit

City of Vancouver
453 West 12th Avenue

Vancouver, British Columbia
Canada V5Y 1V4

s.3(5)(a)



Sidewalk Patio SA-2020-00435 (Large) Permit

City of Vancouver
453 West 12th Avenue

Vancouver, British Columbia
Canada V5Y 1V4

s.3(5)(a)

A large rectangular area of the document is completely redacted with a solid grey fill, covering the majority of the page's content.

This permit shall be kept available on the site for presentation to Police Officers or City Inspectors.

From: ["Street Activities" <street.activities@vancouver.ca>](mailto:street.activities@vancouver.ca)
To: michael@liquidsandsolids.ca
CC: ["Street Activities" <street.activities@vancouver.ca>](mailto:street.activities@vancouver.ca)
Date: 3/11/2021 7:05:00 PM
Subject: ACTIONS REQUIRED: TEPP Application for Extension (901 E. Hastings St)
Attachments: [ENG - SUM - TEPP - Checklist - 901 E Hastings St - Liquids+Solids - APPROVED WITH CONDITIONS - DRAWING - 2020-07-21.PDF](#)
[901 E Hastings St \(SA-2021-00099\).pdf](#)

Dear Michael Coderre,

For Liquids & Solids (901 E. Hastings St)

Thank you for your interest in the extension of the Temporary Expedited Patio Program (TEPP) until March 31, 2021. We have reviewed your application and have observed and may follow up with the following issues:

- Height of patio railing is taller than permitted 1.02m

Please understand that these requirements are in place to ensure the safety and comfort for all public space users, and in order to process applications under this temporary, urgent-response program, all requirements must be met.

While the we have noted the issues above and may follow up with them, your application for extending the TEPP permit has been approved with the condition(s) noted on the attached drawing. Enclosed is the patio permit which should be displayed in a conspicuous location on the premises. Please continue complying with the general patio requirements in the [TEPP Info Guide](#). As the Terms and Conditions on the permit have been updated for the winter term, please review them.

A reminder that your patio is required to have the following as per [TEPP Info Guide](#):

- Patio must have an object marker sign. If your patio is separated from the curb by a bike lane, it requires 2 object marker signs. If you need a sign(s), please contact street.activities@vancouver.ca
- Patios must be accessible to people of all abilities (ramps and seating options)
- If your establishment is approved for liquor service, your patio is required to have delineation at the curb as per LCRB requirements

The winter season brings darker days with heavy rain, wind and sometimes even snow. Collectively we need to ensure that patios continue to operate safely for staff, patrons and the public.

We recognize that this has been an exceptionally challenging time for local businesses and we hope that the Temporary Expedited Patio Program has supported your business recovery efforts throughout the summer. On behalf of the City and its residents, we thank you for your strength and resilience during these trying times, and for your ongoing commitment to rebuilding public life and the local

economic fabric.

Most appreciatively,

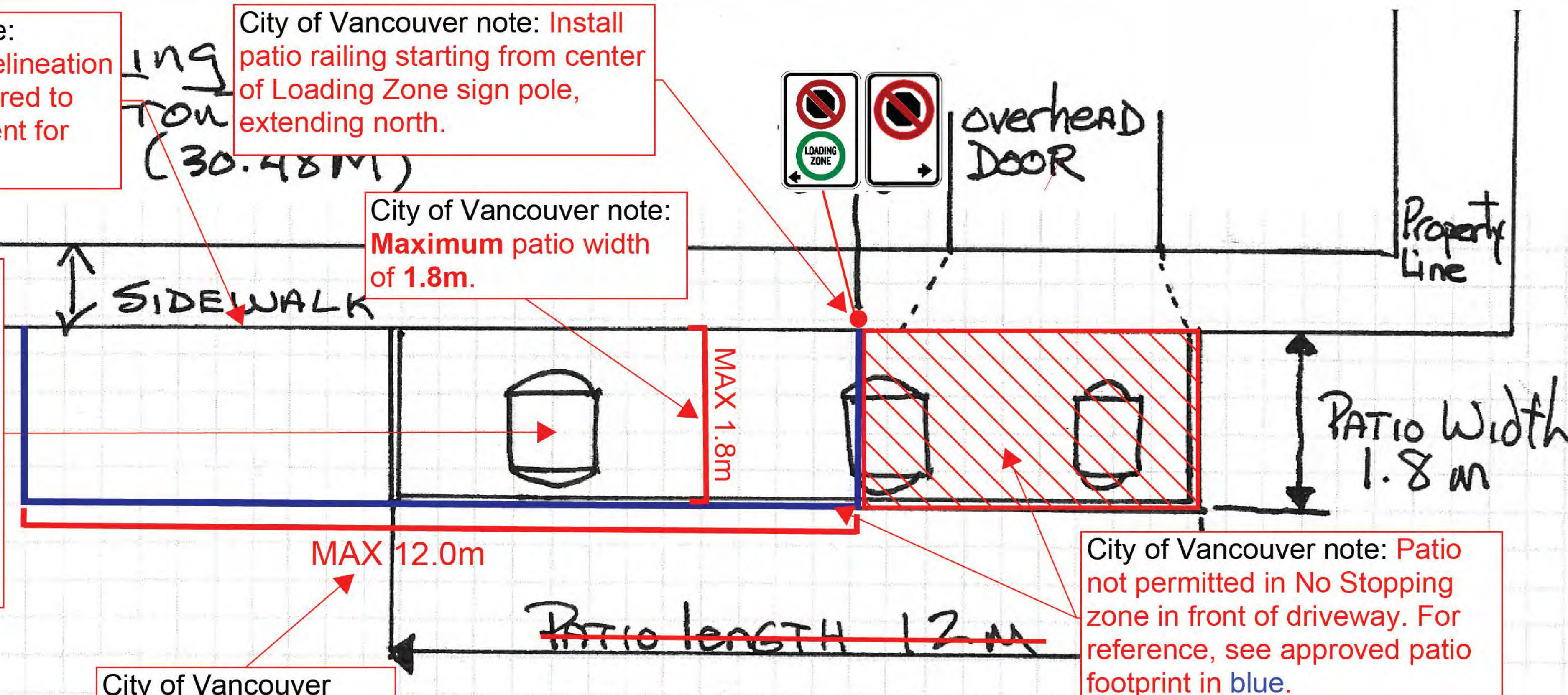
Patio Team
Engineering Services
City of Vancouver

City of Vancouver note: Stanchions or other delineation along the curb is required to meet LCRB requirement for liquor service.

City of Vancouver note: Install patio railing starting from center of Loading Zone sign pole, extending north.

City of Vancouver note: **Maximum** patio width of 1.8m.

City of Vancouver note: The total occupant load including seats in the patio must not exceed the authorized occupancy. The permit holder must at all times comply with orders from the Provincial Health Officer including any restrictions on occupancy and seating configurations.



City of Vancouver note: **Maximum** patio length of 12.0m.

- NOTE:
1. No ramp necessary due to depression in sidewalk to street level in front of overhead door
 2. Overhead door area is included in restaurant and NOT used for loading (see photo)
 3. There are no hydrants, connections, meters within minimum distance
 4. Address is 901 E. Hastings St, but patio will be located on Campbell St running North/South on the west side of our building

Drawing template for applicants



City of Vancouver
453 West 12th Avenue
Vancouver, British Columbia
Canada V5Y 1V4

Sidewalk Patio (Large) Permit

SA-2021-00099

s.3(5)(a)

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City of Vancouver
453 West 12th Avenue
Vancouver, British Columbia
Canada V5Y 1V4

Sidewalk Patio (Large) Permit

SA-2021-00099

s.3(5)(a)

A large, solid grey rectangular box covers the majority of the page, indicating that the content has been redacted under section 3(5)(a) of the Access to Information Act.

This permit shall be kept available on the site for presentation to Police Officers or City Inspectors.



City of Vancouver
453 West 12th Avenue
Vancouver, British Columbia
Canada V5Y 1V4

Sidewalk Patio (Large) Permit

SA-2021-00099

s.3(5)(a)

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City of Vancouver
453 West 12th Avenue
Vancouver, British Columbia
Canada V5Y 1V4

Sidewalk Patio (Large) Permit

SA-2021-00099

s.3(5)(a)

A large rectangular area of the document is completely redacted with a solid grey fill, covering the majority of the page's content.

This permit shall be kept available on the site for presentation to Police Officers or City Inspectors.

From: ["Street Activities" <street.activities@vancouver.ca>](mailto:street.activities@vancouver.ca)
To: michael@liquidsandsolids.ca
CC: ["Street Activities" <street.activities@vancouver.ca>](mailto:street.activities@vancouver.ca)
Date: 5/4/2021 6:09:00 PM
Subject: TEPP Application (901 E Hastings St)
Attachments: [ENG - SUM - TEPP - Checklist - 901 E Hastings St - Liquids+Solids - APPROVED WITH CONDITIONS - DRAWING - 2021-04-29 LARGE PATIO.PDF](#)
[901 E Hastings St \(SA-2021-00395\).pdf](#)

Dear Michael Coderre,

For Liquids+Solids (901 E Hastings St)

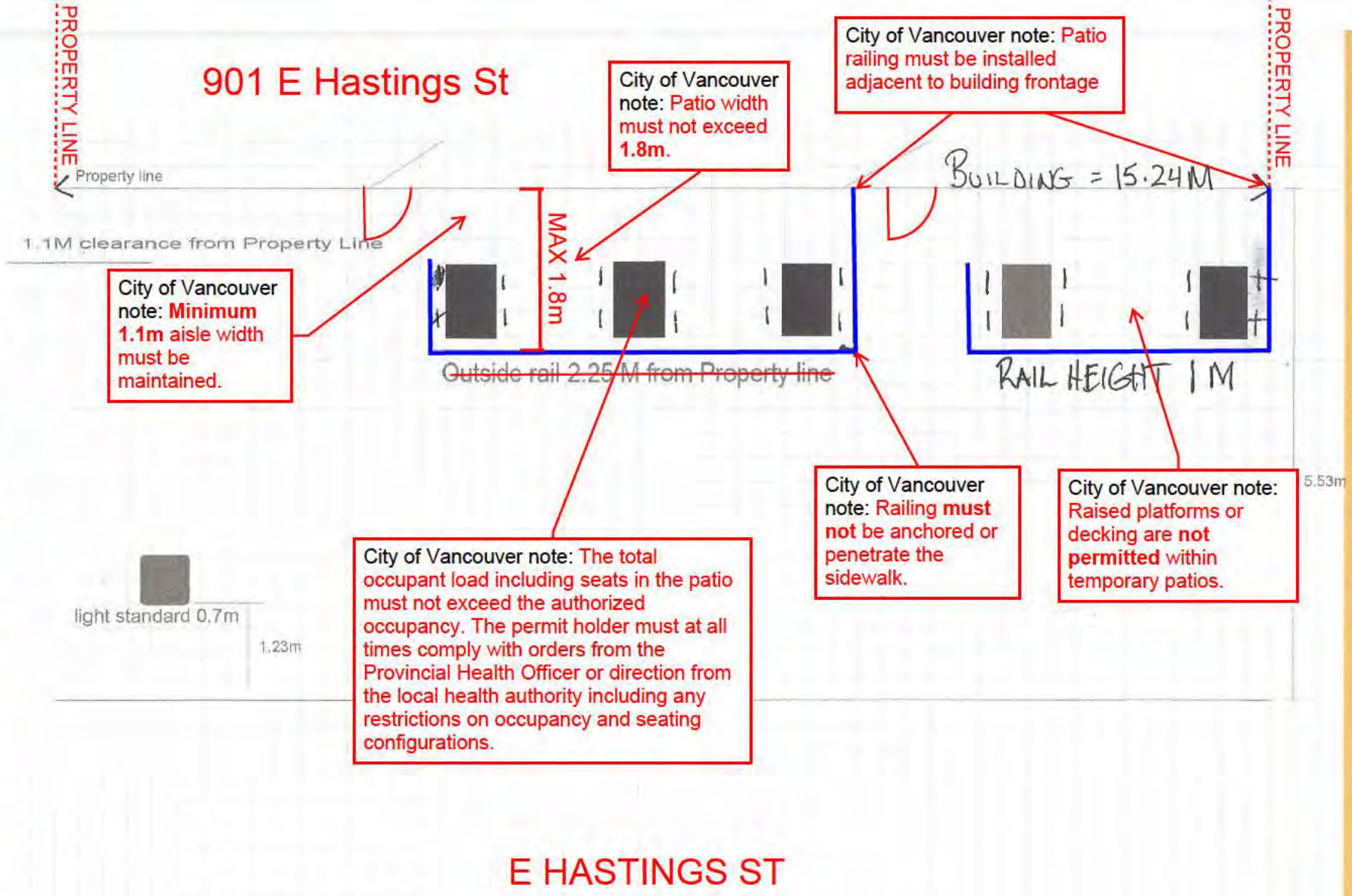
Thank you for your interest in the Temporary Expedited Patio Program (TEPP). We have reviewed your application and are pleased to report that it has been approved with the condition(s) noted on the attached drawing. Enclosed is the patio permit which should be displayed in a conspicuous location on the premises. Please review and comply with the general patio requirements in the [TEPP Info Guide](#) as well as the Terms and Conditions printed on the permit.

- Bolting or drilling anything into the ground is prohibited. Everything must be moveable at all times.

Congratulations on your successful application to the program. We look forward to seeing your up-and-coming patio space. On behalf of the City and its residents, we thank you for your strength and resilience during these trying times, and for your ongoing commitment to rebuilding public life and the local economic fabric.

Most appreciatively,

Patio Team
Engineering Services
City of Vancouver





City of Vancouver
453 West 12th Avenue
Vancouver, British Columbia
Canada V5Y 1V4

Sidewalk Patio (Large) Permit

SA-2021-00395

s.3(5)(a)

A large, solid grey rectangular box covers the majority of the page, indicating that the content has been redacted under section 3(5)(a) of the Access to Information Act.

This permit shall be kept available on the site for presentation to Police Officers or City Inspectors.



City of Vancouver
453 West 12th Avenue
Vancouver, British Columbia
Canada V5Y 1V4

Sidewalk Patio (Large) Permit

SA-2021-00395

s.3(5)(a)

A large, solid grey rectangular box covers the majority of the page, indicating that the content has been redacted under the Access to Information Act.

This permit shall be kept available on the site for presentation to Police Officers or City Inspectors.



City of Vancouver
453 West 12th Avenue
Vancouver, British Columbia
Canada V5Y 1V4

Sidewalk Patio (Large) Permit

SA-2021-00395

s.3(5)(a)

A large, solid grey rectangular box covers the majority of the page, indicating that the content has been redacted under the Access to Information Act.



City of Vancouver
453 West 12th Avenue
Vancouver, British Columbia
Canada V5Y 1V4

Sidewalk Patio (Large) Permit

SA-2021-00395


s.3(5)(a)

A large, solid grey rectangular box covers the majority of the page, indicating that the content has been redacted under section 3(5)(a) of the Access to Information Act.

This permit shall be kept available on the site for presentation to Police Officers or City Inspectors.

Review By (Name):	Business Address:	Business Name:	Business Licence (BL) #:	Application #:		
Jay Buchanan	901 E. Hastings St, Vancouver, BC, V6A 1T1	Liquids+Solids	20-140625	850		
Application Date:	Review Checklist Date:	No. of Patios requested:	STATUS			
21-Jul-20	21-Jul-20	1	APPROVED WITH CONDITIONS			
Temporary Expedited Patio Program (TEPP) - Curbside Patio Checklist						
REVIEW CHECKLIST						
No	Check Name	Where to check	Requirements or Notes	Checked (Y/N)	Requirement Met (Y/N)	Review - Notes/Comments
DESIGN CHECKS						
Plan Check						
1	Check if curbside patio is fully on City Property	• Check property line in VanMap, turn on aerial image	• Curbside patio MUST be fully located on City property	Y	Y	Patio is fully on City property
2	Check if curbside patio is fully detached from building and located in on-street parking space(s) adjacent to business frontage (either front or on side)	• Check application drawing • Check application photo(s) • Verify business frontage on Vanmap or Google Streetview	• Curbside patio MUST be fully located on roadway in parking space(s) • Curbside patio cannot span across neighbouring business frontage (unless permission from neighbouring business - check application/Robert's spreadsheet for adjacent property owner consent letter)	Y	Y	Patio is proposed on roadway in Loading Zone spaces
3	Check if street has parking restrictions (rush hour) and/or special zones (bus lanes, loading zones, passenger drop-off, taxi only, construction, etc.)	• Check application drawing • Check application photo(s) • Check on Vanmap (turn on parking meter (rates) and parking meter (time limits) and Google Streetview to verify special zones	• Curbside patio cannot be located on roadway in parking space(s) parking restrictions (rush hour regulations: e.g. 'No Stopping 7am-9am, 3pm-6pm Mon-Fri) ** <u>**EXCEPTION: unless in an area that Transportation has identified for temporarily suspending rush regs- to confirm with TDE/TDM (via David Lewis)</u> • Curbside patio cannot be located on roadway within a special zone (e.g. bus zone, passenger zone, loading zone, carshare zone, etc.) <u>**FLAG: if conflicting with special zone further review is required - to confirm with TDE/TDM (via David Lewis)</u>	Y	Y	Special Zone conflict - Loading Zone - DL to clear with Billy Dong (PMB)
4	Check parking type and number of parking spaces	• Check application drawing • Check application photo(s) • Check on Vanmap (turn on parking meter (rates) and parking meter (time limits) layers and Google Streetview to verify parking	• Check type of parking space(s) (e.g. time limited 1hr/2hr, metered) • Check parking meter ID's #'s identified by applicant in drawing(get meter IDs from Robert's spreadsheet), verifying Vanmap	Y	Y	Patio will impact approx 2 Loading Zone spaces
5	Check if curbside patio will be located on special pavement areas	• Check applicant drawing • Check applicant photo(s) • Check if special pavement area on VanMap (turn on Areaways layer, and Bridges & Structures layer) and Google Streetview	• Railings may have limited ground penetration (maximum depth of 10cm) in curbs and sidewalks except in special pavement areas (e.g. bricks, cobbles, granite, structures, areaways, etc.) where anchoring may not be permitted. City to review. - If more info on railings is needed see TEPP Info Guide	Y	Y	Patio has railing Patio is proposed on asphalt
6	Check no accessory structures are proposed	• Check applicant drawing	• Accessory structures (e.g. tents, enclosures, decking, heaters, etc) are not permitted	Y	Y	None proposed
7	Check size/area of patio (L x W)	• Check applicant drawing	• MAXIMUM width for curbside patio is 1.8m • Patio dimensions L x W = total area (in meters) If both front and side are proposed, note: -front L x W -side L x W -Total Area = (front + side) sq.m	Y	Y	Proposed patio is 12m (L) x 1.8m (W) = 21.6 sq.m
Clearance Requirement Check						
8	Check fire hydrant clearance	• Check if applicant has identified and fire hydrant location drawing • Check to confirm fire hydrant location in applicant's photo(s) and Google Streetview	• Fire hydrant must remain clear, curbside patio cannot be placed in front of it • Patio must maintain 5.0m clearance from fire hydrants - see diagram in TEPP Info Guide	Y	Y	No conflicts
9	Check fire department connection (FDC)	• Check if applicant has identified and located FDC on drawing • Check to confirm any FDC using applicant's photo(s) and Google Streetview	• FDC must remain clear, patio cannot be placed in front of it • Patio must maintain 0.5m clear from centre of fire department connection - see diagram in TEPP Info Guide	Y	Y	No conflicts
10	Check corner clearance	• Check applicant drawing • Check application photo(s) • Verify conditions on Vanmap or Google Streetview	• If curbside patio is near a corner, patio must maintain at minimum 6.0m clearance from edge of sidewalk or stop sign/traffic control. - see diagram in TEPP Info Guide	Y	N	Applicant drawing has shown part of proposed patio across their business's loading bay driveway which the Applicant claims isn't used for loading. This driveway area also falls within a No Stopping Zone. Revised COV drawing (DOC/2020/172574) has indicated that proposed patio is not permitted within driveway/No Stopping zone and that patio railing must be installed starting from center of the Loading Zone sign pole directly north of Applicant's loading bay driveway, extending north. This condition will provide the requisite amount of clearance from the intersection to the south as well as the driveway.
11	Check placement of patio in relation to frontage	• Check applicant drawing • Check application photo(s) • Verify conditions on Vanmap or Google Streetview	• A business with a curbside patio must offset the beginning and end of the patio 0.5m from the property line in order to provide 1.0m total clear space. - see diagram in TEPP Info Guide	Y	Y	Proposed patio design will provide >0.5m offset from Applicant's north and south property lines.
12	Check gap clearance for Emergency Service access	• Check applicant drawing • Check application photo(s) • Verify conditions on Vanmap or Google Streetview	• Curbside patio must maintain at minimum 1.0m clearance every two parking meters (or approx. 12m) -Note if location of gaps have potential for conflict with sidewalk obstructions (e.g. tree, parking meter post, bike rack, etc.) - see diagram in TEPP Info Guide	Y	Y	No gaps required. Applicant's proposed patio is 12.0m in length. Revised COV drawing (DOC/2020/172574) has indicated that maxium patio length is 12.0m
13	Check manhole/maintenace holes and utility (e.g water meter, water valve, etc.) clearance	• Check if applicant has identified and located utilities on drawing • Check to confirm any utilities using applicant's photo(s) and Google Streetview	• Patio must maintain at minimum 0.5m clearance from utilities - see diagram in TEPP Info Guide • Patio must not conflict with existing litter cans/recycling receptacles. Access must be maintained.	Y	Y	No conflicts No litter cans/recycling receptacles in conflict
General Notes						
Other Conflicts Check						
	Check BIA for location	• Check VanMap, turn on BIA layer	• If business is located in BIA, include name in Column J	Y	Y	Strathcona Area
	Street Activities	• Check PlanIT		Y	Y	As of Jul 21 PlanIT check, no conflicts
	Transportation (R2Q/M/L, others)	• Check PlanIT		Y	Y	As of Jul 21 PlanIT check, no conflicts
	Construction (street or development-related)	• Check PlanIT		Y	Y	As of Jul 21 PlanIT check, no conflicts
Saving Checklist						
	Digital Copy	Save to Vandocs using naming convention: ENG - SUM - TEPP Design Review Checklist - 901 E Hastings St - Liquids+Solids - 2020-07-21 in folder 13-4700-23/0000013	Insert Vandocs Record Number: Checklist: DOC/2020/172572 Drawing: DOC/2020/172574	Y	Y	
	Add info to PlanIT	Add info to PlanIT after this check if Approved, Approved with Conditions, Declined - Revisions required	Follow instruction guide on how to add location	Y	Y	Added to PlanIT

Review By (Name):	Business Address:	Business Name:	Existing SA permit #:	Application #:	IN REVIEW	
Melissa Summerton	901 E. Hastings St, Vancouver, BC,	Liquids+Solids	SA-2020-00547	1160	NOT APPROVED - TIER 1 NON-COMPLIANT	
Application Extension Date:	Extension Review Start Date:	Survey Date (Audit):	STATUS			
October 23, 2020	October 23, 2020	August 19, 2020	NOT APPROVED - TIER 1 NON-COMPLIANT			
Extension (Oct31-Mar31, 2021)					DECLINED	
REVIEW CHECKLIST					Y	
PlanIt and Other Conflicts Check					N	
	Check BIA for location	• Check VanMap, turn on BIA layer	• If business is located in BIA, include name in Column G	Y	Y	Strathcona
	Transportation (R2Q/M/L, other projects)	• Check PlanIT to Mar31, 2021				As of [Date] PlanIT check, no conflicts BG to clear
	PlanIt conflicts (Street Activities, RTO, Utilities, Development, etc)	• Check PlanIT to Mar31, 2021	• All conflicts to be cleared with internal groups	Y	Y	As of Oct23, 2020PlanIT check, no conflicts
Add to PlanIt						
	Add info to PlanIT	Add info to PlanIT	Follow instruction guide on how to add location	Y	Y	Added to PlanIT
No	Check Name	Where to check	Requirements or Notes	Checked (Y/N)	Requirement Met (Y/N)	Review - Notes/Comments
DESIGN CHECKS						
Plan Check						
1	Check if curbside patio is located along a MRN (Major Road Network)	•Check Translink Major Road Network Map (blue lines)	• Curbside patios located on a MRN street. Transportation to confirm whether patio is eligible for a TEPP extension	Y	Y	Patio is not located on a MRN street. E Hastings is MRN but the patio is located along the side street (Campbell St)
2	Check if street has parking restrictions (rush hour or other stopping restrictions), and/or patio is within special zones (loading zone, passenger zone, taxi zone, motorcycle zone, etc.)	• Check application drawing • Check application photo(s) • Check on Vanmap (turn on parking meter (rates) and parking meter (time limits) and Google Streetview to verify special zones	• Curbside patio is located on roadway with parking restrictions (rush hour regulations: e.g. 'No Stopping 7am-9am, 3pm-6pm Mon-Fri, other road restrictions)** <u>**EXCEPTION: if current patio is located within a PLR area (e.g.linear plaza) or Transportation has suspended rush regs to allow for TEPP (e.g Commercial Dr) - re-confirm with TDE/TDM via David Lewis) that regs can continue to be suspended until Mar31, 2021</u> • Curbside patio is located on roadway within a special zone (e.g. loading zone, passenger zone, taxi zone, motorcycle zone) <u>CONFIRM with PMB (Billy) for continued use of special zone for TEPP until Mar31, 2021</u>	Y	Y	Special Zone - Patio is located in Loading zone. Continued use of special zone for TEPP until -Mar31, 2021 Cleared with PMB
3	Check for updated consent letter(s)	• Verify business frontage on Vanmap or Google Streetview • Check previous checklist, approved marked up drawing.	• Curbside patio cannot span across neighbouring business frontage, unless permission from neighbouring business • Confirm updated consent letter has been submitted and confirm acceptance.	Y	Y	Consent letter is not required
Compliance Check (Audited data) - TIER 1: SAFETY					Applicant Action Items: Phone/Email Summary	

4	Check patio width	<ul style="list-style-type: none">Review audit data to confirm width of patio	<ul style="list-style-type: none">MAXIMUM approved width for curbside patio is 1.8m (unless otherwise approved)IS PATIO MORE THAN 2.0 WIDE?-check column X in master spreadsheet (sentence!)for width between 1.81-1.99m see No9	Y	Y	<p>No conflicts</p> <p>Patio width is as permitted, permitted width: 1.8m, measured width: 1.8m, width difference of: 0m</p>	<p>1) Umbrellas protrude beyond patio railing into travel lane</p> <p>2) Patio is not fully enclosed with railing (opening at south end).</p>
5	Check fire hydrant and fire department connection (FDC) clearance	<ul style="list-style-type: none">Review audit data to confirm clearance at fire hydrants and FDCs has been met	<ul style="list-style-type: none">Installed patio must maintain 5.0m clearance from fire hydrantDOES PATIO MAINTAIN 5.0m FROM FIRE HYDRANT?-check column X in master spreadsheet (Y/N)Installed patio must maintain 0.5m clearance from centre of FDCDOES PATIO MAINTAIN 0.5m CLEARANCE FROM FDC?-check column X in master spreadsheet (Y/N)	Y	Y	No conflicts	
6	Check accessory structures	<ul style="list-style-type: none">Review audit data to confirm that patio does not have accessory structures (overhead canopies, posts, enclosures, etc.).Review audit photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Accessory structures are not permittedDOES PATIO HAVE AN OVERHEAD STRUCTURE, CANOPY, RAILING HEIGHT(>130cm), VERTICAL POSTS, ENCLOSURE, ETC.?If railing height is between 101cm-130cm see Tier 2-check column(s) X in master spreadsheet and photos (audit and other saved photos - add link)	Y	Y	No conflicts	
7	Check umbrella placement (or any other protruding objects - e.g planters)	<ul style="list-style-type: none">Review audit data to confirm that umbrellas do not protrude into the travel lane/bike lane.Review audit photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Umbrellas are permitted only if they do not protrude beyond the patio railingDOES PATIO HAVE UMBRELLAS THAT PROTRUDE BEYOND THE PATIO RAILING INTO TRAVEL LANE/BIKE LANE?If into utility strip see Tier 2	Y	N	Umbrellas protrude beyond patio railing into travel lane	

8	Check length of patio, encroachment into corner/lane/driveway, or special zone clearance	<ul style="list-style-type: none">Review audit data - Installed patio must meet corner/lane/driveway clearance requirements, must not encroach into other special zones (e.g bus zone, etc.).Review audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Review Audit data - Installed patio must maintain at minimum 6.0m clearance from edge of sidewalk or stop sign/stop bar, 1.5m from driveway or lane, and must not encroach into any special zone (e.g. bus zone)DOES PATIO ENCROACH INTO NSAT/LANE/DRIVEWAY CLEARANCE OR INTO SPECIAL ZONE?	Y	Y	No conflicts	
9	Other Safety Checks e.g Power cords across sidewalk	<ul style="list-style-type: none">Review audit notes and photos (TEPP SURVEY 123)		Y	N	Patio is not fully enclosed with railing (opening at south end).	
Compliance Check (Audited data) - TIER 2: OPERATIONAL							Applicant Action Items: Phone/Email Summary
10	Check patio width	<ul style="list-style-type: none">Review audit data to confirm width of patioReview Tier 1 No4	<ul style="list-style-type: none">MAXIMUM approved width for curbside patio is 1.8m (*unless otherwise approved)	Y	Y	No conflicts	1) Height of railing is taller than permitted 1.0m. Railing height: 116cm 2) No patio delineation provided at curb edge. (check if there is liquor service)
11	Check length of patio	<ul style="list-style-type: none">Review audit data to confirm length of patio - business frontage/flankage, gap provided for emergency service access, adjacent parking spaces etc.-check column X in master spreadsheet (Y/N)-check approved marked up drawing	<ul style="list-style-type: none">Length of patio must not seep into neighbouring business unless consent letter, a 1.0m unobstrcted gap must be provided for patios that exceed 12.0m in length, should not seep into adjacent parking space (unless otherwise specified)IS PATIO LENGTH LONGER THAN APPROVED?	Y	Y	Patio length is -0.05m shorter, in the correct location: yes	
12	Check manhole/maintenace holes and utility (e.g water meter, water valve, etc.) clearance	<ul style="list-style-type: none">Review audit data to confirm patio provides minimum clearance from utilities	<ul style="list-style-type: none">Patio must maintain at minimum 0.5m clearance from utilities, and must not conflict with existing litter cans/recycling receptacles.DOES PATIO PROVIDE MINIMUM 0.5m FROM IN-GROUND UTILITIES?-check column X (Y/N) & X (measurement) in master spreadsheet	Y	Y	No conflicts	

13	Check height of railing	<ul style="list-style-type: none">Review audit data to confirm height of railing	<ul style="list-style-type: none">Patio railing must have an approximate height of 1m.• IS PATIO RAILING HEIGHT BETWEEN 101cm-129cm?-check column X in master spreadsheet for cm	Y	N	Height of patio railing is taller than the permitted 1.0m. Railing height: 116cm
14	Check for decking, platforms	<ul style="list-style-type: none">Review audit data to confirm if decking or platform has been installedReview audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Decking or platforms are not permitted.• IS THERE A DECK OR PLATFORM?For that have already installed decking - check photos if gutter is clear, allows for drainage.Case by case.	Y	Y	No conflicts
15	Check for special pavement	<ul style="list-style-type: none">Review audit data to confirm if anchoring/bolting into special pavement.Review audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Anchoring/bolting into special pavement (e.g. bricks, cobbles, granite, etc.) is not permitted (unless otherwise specified)-check column X in master spreadsheet (Y/N)?	Y	Y	No conflicts
16	Check for advertising (on umbrellas/banners on railing, etc.)	<ul style="list-style-type: none">Review audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Advertising of any kind is not permitted.	Y	Y	No conflicts
17	Check for delineation (stanchions/delineation at curb edge)	<ul style="list-style-type: none">Review audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Patios must have stanchions or other form of delineation at curb edge (unless otherwise specified).-check column X in master spreadsheet (Y/N)?Check if liquor service	Y	N	No patio delineation provided at curb edge. South end of patio is not enclosed. Not enclosed - Tier 1 violation LC note: Do they have a liquor license?
18	Other Operational Checks	<ul style="list-style-type: none">Review audit notes and photos (TEPP SURVEY 123)				No conflicts
General Notes						





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Review By (Name):		Business Address:		Business Name:		Existing SA permit #:		Application #:	
Melissa Summerton		901 E. HASTings St, Vancouver, BC,		Liquids+Solids		SA-2020-00435		850	
Application Extension Date:		Extension Review Start Date:		Survey Date (Audit):		STATUS			
October 23, 2020		October 23, 2020		August 19, 2020		NOT APPROVED - TIER 1 NON-COMPLIANT			
Extension (Oct31-Mar31, 2021)									
REVIEW CHECKLIST									
Plant and Other Conflicts Check									
	Check BIA for location	• Check VanMap, turn on BIA layer		• If business is located in BIA, include name in Column G		Y	Y	Strathcona	
	Transportation (R2Q/M/L, other projects)	• Check PlanIT to Mar31, 2021				Y	Y	As of Oct23 PlanIT check, no conflicts DL cleared with BG	
	PlanIt conflicts (Street Activities, RTO, Utilities, Development, etc)	• Check PlanIT to Mar31, 2021		• All conflicts to be cleared with internal groups		Y	Y	As of Oct23, 2020PlanIT check, no conflicts	
Add to PlanIt									
	Add info to PlanIT	Add info to PlanIT		Follow instruction guide on how to add location		Y	Y	Added to PlanIT	
No	Check Name	Where to check		Requirements or Notes		Checked (Y/N)	Requirement Met (Y/N)	Review - Notes/Comments	
DESIGN CHECKS									
Plan Check									
1	Check if curbside patio is located along a MRN (Major Road Network)	-Check Translink Major Road Network Map (blue lines)		• Curbside patios located on a MRN street. Transportation to confirm whether patio is eligible for a TEPP extension		Y	Y	Patio is not located on a MRN street. E Hastings is MRN but the patio is located along the side street (Campbell St)	
2	Check if street has parking restrictions (rush hour or other stopping restrictions), and/or patio is within special zones (loading zone, passenger zone, taxi zone, motorcycle zone, etc.)	• Check application drawing • Check application photo(s) • Check on Vanmap (turn on parking meter (rates) and parking meter (time limits) and Google Streetview to verify special zones		• Curbside patio is located on roadway with parking restrictions (rush hour regulations: e.g. 'No Stopping 7am-9am, 3pm-6pm Mon-Fri, other road restrictions)** <i>**EXCEPTION: if current patio is located within a PLR area or Transportation has suspended rush regs to allow for TEPP (e.g Commercial Dr) - re-confirm with TDE/TDM via David Lewis) that regs can continue to be suspended until Mar31, 2021</i> • Curbside patio is located on roadway within a special zone (e.g. loading zone, passenger zone, taxi zone, motorcycle zone) <i>CONFIRM with PMB (Billy) for continued use of special zone for TEPP until Mar31, 2021</i>		Y	Y	Special Zone - Patio is located in Loading zone. Continued use of special zone for TEPP until -Mar31, 2021 <i>Cleared with PMB</i>	
3	Check for updated consent letter(s)	• Verify business frontage on Vanmap or Google Streetview • Check previous checklist, approved marked up drawing.		• Curbside patio cannot span across neighbouring business frontage, unless with permission from neighbouring business • Confirm updated consent letter has been submitted and confirm acceptance.		Y	Y	Consent letter is not required	

IN REVIEW
NOT APPROVED - TIER 1 NON-COMPLIANT
GENERAL APPROVAL - TIER 2 NON-COMPLIANT
GENERAL APPROVAL - TIER 3 NON-COMPLIANT

COMPLIANT
Y
N

Compliance Check (Audited data) - TIER 1: SAFETY							T1 - Standard blurb	Tier 1 - Applicant Action Items: Phone/Email Summary
4	Check patio width (>2.0m)	• Review audit data to confirm width of patio	• MAXIMUM approved width for curbside patio is 1.8m (unless otherwise approved) • IS PATIO MORE THAN 2.0m WIDE? -check column BS in master spreadsheet (copy sentence) *for width between 1.81-2.00m see Tier2	Y	Y	No conflicts Patio width is as permitted, permitted width: 1.8m, measured width: 1.8m, width difference of: 0m	Patio width is wider than permitted 1.8m	1) Patio umbrella or other fixtures were protruding out of patio area into travel lane. Please ensure all elements, including umbrellas are within patio area 2) Patio is not enclosed on three sides. Railing at south end is required.
5	Check fire hydrant and fire department connection (FDC) clearance	• Review audit data to confirm clearance at fire hydrants and FDCs has been maintained	• Installed patio must maintain 5.0m clearance from fire hydrant • DOES PATIO MAINTAIN 5.0m FROM FIRE HYDRANT? • Installed patio must maintain 0.5m clearance from centre of FDC • DOES PATIO MAINTAIN 0.5m CLEARANCE FROM FDC? -check column BT in master spreadsheet	Y	Y	No conflicts	Patio does not meet minimum 5m clearance from fire hydrant Patio does not meet minimum 0.5m clearance from fire department connections	Insert audit photos if applicable
6	Check railing height (>130cm)	• Review audit data to confirm height of railing.	• Railing height must be approximately 1.02m tall. • IS RAILING HEIGHT>130cm? -check column BU in master spreadsheet and photos (audit and other saved photos) *If railing height is 102cm-130cm see Tier 3	Y	Y	No conflicts Railing height: 116cm. See Tier3	Height of patio railing is taller than permitted 1.02m	Insert audit photos if applicable
7	Check structures (above the railing)	• Review audit data to confirm that patio does not have accessory structures (overhead canopies, vertical posts, enclosures, etc.). • Review audit photos (TEPP SURVEY 123), and other saved photos other saved photos - H:\TRANSPORTATION\PBS Temporary Working Folder\Patio Fun\Application Tracking\Installed Patio Photos	• Accessory structures are not permitted. • DOES PATIO HAVE ANYTHING ABOVE THE RAILING? -OVERHEAD STRUCTURE CANOPY, ENCLOSURE, VERTICAL POSTS: - free standing or attached to railing a) with string lighting b) with fabric canopy c) horizontal members -check column BU in master spreadsheet and photos (audit and other saved photos)	Y	Y	No conflicts	Patio has prohibited structure and must be removed	Insert audit photos if applicable

8	Check umbrella placement (or any other protruding objects - e.g planters hanging over railing)	<ul style="list-style-type: none">Review audit data to confirm that umbrellas do not protrude into the travel lane/bike lane.Review audit photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Umbrellas are permitted only if they do not protrude beyond the patio railing.DOES PATIO HAVE UMBRELLAS THAT PROTRUDE BEYOND THE PATIO RAILING INTO TRAVEL LANE/BIKE LANE?<i>*If into utility strip see Tier 3</i>	Y	N	Placement of umbrellas protrude beyond patio railing into travel lane/bike lane.	Patio umbrella or other fixtures were protruding out of patio area into travel lane. Please ensure all elements, including umbrellas are within patio area		
9	Check length of patio - encroachment into NSAT corner clearance/driveway/lane (near side), or into special zone.	<ul style="list-style-type: none">Review audit data - Installed patio must meet corner clearance/driveway/lane (near side) requirements, must not encroach into other special zones (e.g bus zone, etc.).Review audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Review Audit data - Installed patio must maintain at minimum 6.0m clearance from edge of sidewalk or stop sign/stop bar, 1.5m from driveway/lane (NEAR SIDE), - <i>*if far side see Tier2</i> and must not encroach into any special zone (e.g. bus zone).DOES PATIO ENCROACH INTO NSAT/DRIVEWAY/LANE (near side) CLEARANCE OR INTO SPECIAL ZONE?	Y	Y	No conflicts	<p>Patio does not meet minimum 6m clearance from intersection</p> <p>Patio does not meet minimum 1.5m clearance from driveway</p> <p>Patio does not meet minimum 1.5m clearance from laneway</p>	<p>Insert audit photos if applicable</p>	
10	Check length of patio - too long and seeps into neighbouring business without consent.	<ul style="list-style-type: none">Confirm consent letter was submitted and acceptance confirmed with original TEPP approvalCheck COV marked up drawing for property lines.	<ul style="list-style-type: none">Patio must not seep into neighbouring business unless with consent letterIS PATIO TOO LONG THAT IT ENCROACHES INTO NEIGHBOURING BUSINESS WITHOUT CONSENT?	Y	Y	No conflicts	Patio extends beyond your business frontage without consent	<p>Insert audit photos if applicable</p>	
10	Other Safety Checks e.g Power cords across sidewalk	<ul style="list-style-type: none">Review audit notes and photos (TEPP SURVEY 123)		Y	Y	No patio delineation provided at curb edge. South end of patio is not enclosed.	<p>Non-standard blurb:</p> <p>Patio is not enclosed on three sides. Railing at south end is required.</p>		
Compliance Check (Audited data) - TIER 2: OPERATIONAL								T2 - Standard blurb	Tier 2 - Applicant Action Items: Phone/Email Summary

11	Check length of patio-encroachment into NSAT corner clearance/driveway/lane (<u>far side</u>)	<ul style="list-style-type: none">Review audit data to confirm if length of patio encroaches into <u>far side</u> corner clearance, or 1.5m driveway/lane clearance.Review audit data to confirm if length of patio encroaches into adjacent parking spaces, etc.	<ul style="list-style-type: none">Patio must not encroach into corner clearance (NSAT) 1.5m driveway/lane clearance (FAR SIDE), or into adjacent parking space (unless otherwise specified)• IS PATIO LENGTH LONGER THAN APPROVED?• DOES PATIO ENCROACH INTO NSAT/DRIVEWAY/LANE (<u>far side</u>) CLEARANCE?-check column BV in master spreadsheet	Y	Y	No conflicts Patio length is -0.05m shorter than permitted. Audit note: "1.1m clearance from driveway." However the patio railing at the south end does line up with existing NSAT sign at the driveway which is reflective of what was communicated on the COV approved drawing.	Patio does not meet minimum 6m clearance from intersection Patio does not meet minimum 1.5m clearance from driveway Patio does not meet minimum 1.5m clearance from laneway	None
12	Check size of gap (1.0m) for emergency services	<ul style="list-style-type: none">Review audit data to confirm if gap for emergency services is at minimum 1.0m wide. <i>For whether a gap is required (>12.0m) see Tier3</i>	<ul style="list-style-type: none">If a gap is provided (<i>patios longer than 12m</i>) for emergency services, it must be at minimum 1.0m wide. • DOES PATIO HAVE A GAP? IS THE GAP AT MINIMUM 1.0m WIDE?	Y	Y	No conflicts See Tier3	Patio does not provide adequate gap of 1.0m for emergency services	Insert audit photos if applicable
13	Check manhole/maintenace holes and utility (e.g water meter, water valve, etc.) clearance	<ul style="list-style-type: none">Review audit data to confirm patio provides minimum clearance from utilities	<ul style="list-style-type: none">Patio must maintain at minimum 0.5m clearance from utilities, and must not conflict with existing litter cans/recycling receptacles.• DOES PATIO PROVIDE MINIMUM 0.5m FROM IN-GROUND UTILITIES?-check column BW in master spreadsheet	Y	Y	No conflicts	Patio does not meet minimum 0.5m clearance from underground utilities cover	Insert audit photos if applicable
14	Check for decking, platforms	<ul style="list-style-type: none">Review audit data to confirm if decking or platform has been installedReview audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Decking or platforms are not permitted.• IS THERE A DECK OR PLATFORM?-check column BX in master spreadsheet<i>For that have already installed decking - check photos if gutter is clear, allows for drainage and patio is accessible. Case by case.</i>	Y	Y	No conflicts	Patio has a deck and requires additional review and approval. This may require adjustments to be made to the decking or removal. Please contact us at street.activities@vancouver.ca for next steps.	Insert audit photos if applicable

15	Check for advertising on banners, flags, railing area, wraps, other material, etc.	• Review audit notes and photos (TEPP SURVEY 123)	• Advertising or commercial content on banners, flags, painted railing area or wraps, or other material is not permitted. -check audit photos and other saved photos If advertising on umbrellas only see Tier3	Y	Y	No conflicts	Patio has advertising visible within patio area	Insert audit photos if applicable
16	Other Operational Checks (e.g railing does not comply)	• Review audit notes and photos (TEPP SURVEY 123)		Y	Y	No conflicts		Insert audit photos if applicable
Compliance Check (Audited data) - TIER 3							T3 - Standard blurb	Tier 3 - Applicant Action Items: Phone/Email Summary
17	Check patio width (1.8m-2.0m)	• Review audit data to confirm width of patio • Review Tier 1 No4	• MAXIMUM approved width for curbside patio is 1.8m (*unless otherwise approved) • IS PATIO WIDTH BETWEEN 1.81m - 2.00m? See No4 if wider than 2.0m	Y	Y	No conflicts Patio width is as permitted, permitted width: 1.8m, measured width: 1.8m, width difference of: 0m	Patio width is wider than permitted 1.8m.	1) Height of patio railing is taller than permitted 1.02m
18	Check height of railing (102cm-130cm)	• Review audit data to confirm height of railing	• Patio railing must have an approximate height of 1m. • IS PATIO RAILING HEIGHT BETWEEN 102cm-130cm? -See No6	Y	N	Railing height: 116cm.	Height of patio railing is taller than permitted 1.02m	Insert audit photos if applicable



19	Check for advertising on umbrellas. Check placement of umbrellas (protruding into utility strip or sidewalk)	• Review audit notes and photos (TEPP SURVEY 123)	• Company and third party advertising on umbrellas is not permitted. • DO UMBRELLAS HAVE COMPANY OR THIRD PARTY ADVERTISING? • DO UMBRELLAS EXTEND BEYOND PATIO RAILING INTO UTILITY STRIP OR SIDEWALK? -check audit photos and other saved photos -	Y	Y	No conflicts	Patio has advertising visible on umbrellas Patio umbrella or other fixtures were protruding out of patio area upon inspection. Please ensure all elements, including umbrellas are within patio area	Insert audit photos if applicable
20	Check gap for emergency services for patio lengths bewteen 12.0m-15.0m	• Review audit data to confirm if patio is longer than 12.0m that a gap has been provided for emergency service.	• A gap must be provided for patios lengths between 12.0m -15.0m. • PATIO LENGTH IS BETWEEN 12.0m-15.0m - HAS A GAP BETWEEN PROVIDED? For size of gap (1.0m) see Tier1	Y	Y	No conflicts Gap not required. Patio length is 11.95m	Patio does not provide gap of 1.0m for emergency services	
21	Check for special pavement	• Review audit data to confirm if patio is located in special pavement. • Review audit notes and photos (TEPP SURVEY 123)	• Anchoring/bolting into special pavement (e.g. bricks, cobbles, granite, etc.) is not permitted (unless otherwise specified) • IS PATIO LOCATED IN AN AREA WITH SPECIAL PAVEMENT? IS THE RAILING ANCHORED/BOLTED INTO THE SPECIAL PAVEMENT? -check column BY in master spreadsheet	Y	Y	No conflicts	Patio has penetrated and damaged special pavement treatment. The City will follow-up with you on restoration next steps	Insert audit photos if applicable
22	Other Tier 3 compliance checks (e.g. Items outside patio, in the utility strip - Host station, planters, etc.) plants on top of railing, etc.)	• Review audit notes and photos (TEPP SURVEY 123)		Y	Y	No conflicts		Insert audit photos if applicable
General Notes								

Review By (Name):		Business Address:		Business Name:		Existing SA permit #:		Application #:	
Melissa Summerton		901 E. HAstings St, Vancouver, BC,		Liquids+Solids		SA-2020-00435		850	
Application Extension Date:		Extension Review Start Date:		Survey Date (Audit):		STATUS			
October 23, 2020		October 23, 2020		August 19, 2020		NOT APPROVED - TIER 1 NON-COMPLIANT			
Extension (Oct31-Mar31, 2021)									
REVIEW CHECKLIST									
PlanIt and Other Conflicts Check									
	Check BIA for location	• Check VanMap, turn on BIA layer		• If business is located in BIA, include name in Column G		Y	Y	Strathcona	
	Transportation (R2Q/M/L, other projects)	• Check PlanIT to Mar31, 2021				Y	Y	As of Oct23 PlanIT check, no conflicts DL cleared with BG	
	PlanIt conflicts (Street Activities, RTO, Utilities, Development, etc)	• Check PlanIT to Mar31, 2021		• All conflicts to be cleared with internal groups		Y	Y	As of Oct23, 2020PlanIT check, no conflicts	
Add to PlanIt									
	Add info to PlanIT	Add info to PlanIT		Follow instruction guide on how to add location		Y	Y	Added to PlanIT	
No	Check Name	Where to check		Requirements or Notes		Checked (Y/N)	Requirement Met (Y/N)	Review - Notes/Comments	
DESIGN CHECKS									
Plan Check									
1	Check if curbside patio is located along a MRN (Major Road Network)	-Check Translink Major Road Network Map (blue lines)		• Curbside patios located on a MRN street. Transportation to confirm whether patio is eligible for a TEPP extension		Y	Y	Patio is not located on a MRN street. E Hastings is MRN but the patio is located along the side street (Campbell St)	
2	Check if street has parking restrictions (rush hour or other stopping restrictions), and/or patio is within special zones (loading zone, passenger zone, taxi zone, motorcycle zone, etc.)	• Check application drawing • Check application photo(s) • Check on Vanmap (turn on parking meter (rates) and parking meter (time limits) and Google Streetview to verify special zones		• Curbside patio is located on roadway with parking restrictions (rush hour regulations: e.g. 'No Stopping 7am-9am, 3pm-6pm Mon-Fri, other road restrictions)** <i>**EXCEPTION: if current patio is located within a PLR area or Transportation has suspended rush regs to allow for TEPP (e.g Commercial Dr) - re-confirm with TDE/TDM via David Lewis) that regs can continue to be suspended until Mar31, 2021</i> • Curbside patio is located on roadway within a special zone (e.g. loading zone, passenger zone, taxi zone, motorcycle zone) <i>CONFIRM with PMB (Billy) for continued use of special zone for TEPP until Mar31, 2021</i>		Y	Y	Special Zone - Patio is located in Loading zone. Continued use of special zone for TEPP until -Mar31, 2021 Cleared with PMB	
3	Check for updated consent letter(s)	• Verify business frontage on Vanmap or Google Streetview • Check previous checklist, approved marked up drawing.		• Curbside patio cannot span across neighbouring business frontage, unless with permission from neighbouring business • Confirm updated consent letter has been submitted and confirm acceptance.		Y	Y	Consent letter is not required	

IN REVIEW
NOT APPROVED - TIER 1 NON-COMPLIANT
GENERAL APPROVAL - TIER 2 NON-COMPLIANT
GENERAL APPROVAL - TIER 3 NON-COMPLIANT

COMPLIANT
Y
N

Compliance Check (Audited data) - TIER 1: SAFETY							T1 - Standard blurb	Tier 1 - Applicant Action Items: Phone/Email Summary
4	Check patio width (>2.0m)	• Review audit data to confirm width of patio	• MAXIMUM approved width for curbside patio is 1.8m (unless otherwise approved) • IS PATIO MORE THAN 2.0m WIDE? -check column BS in master spreadsheet (copy sentence) *for width between 1.81-2.00m see Tier2	Y	Y	No conflicts Patio width is as permitted, permitted width: 1.8m, measured width: 1.8m, width difference of: 0m	Patio width is wider than permitted 1.8m	1) Patio umbrella or other fixtures were protruding out of patio area into travel lane. Please ensure all elements, including umbrellas are within patio area 2) Patio is not enclosed on three sides. Railing at south end is required.
5	Check fire hydrant and fire department connection (FDC) clearance	• Review audit data to confirm clearance at fire hydrants and FDCs has been maintained	• Installed patio must maintain 5.0m clearance from fire hydrant • DOES PATIO MAINTAIN 5.0m FROM FIRE HYDRANT? • Installed patio must maintain 0.5m clearance from centre of FDC • DOES PATIO MAINTAIN 0.5m CLEARANCE FROM FDC? -check column BT in master spreadsheet	Y	Y	No conflicts	Patio does not meet minimum 5m clearance from fire hydrant Patio does not meet minimum 0.5m clearance from fire department connections	Insert audit photos if applicable
6	Check railing height (>130cm)	• Review audit data to confirm height of railing.	• Railing height must be approximately 1.02m tall. • IS RAILING HEIGHT>130cm? -check column BU in master spreadsheet and photos (audit and other saved photos *If railing height is 102cm-130cm see Tier 3	Y	Y	No conflicts Railing height: 116cm. See Tier3	Height of patio railing is taller than permitted 1.02m	Insert audit photos if applicable
7	Check structures (above the railing)	• Review audit data to confirm that patio does not have accessory structures (overhead canopies, vertical posts, enclosures, etc.). • Review audit photos (TEPP SURVEY 123), and other saved photos other saved photos - H:\TRANSPORTATION\PBS Temporary Working Folder\Patio Fun\Application Tracking\Installed Patio Photos	• Accessory structures are not permitted. • DOES PATIO HAVE ANYTHING ABOVE THE RAILING? -OVERHEAD STRUCTURE CANOPY, ENCLOSURE, VERTICAL POSTS: - free standing or attached to railing a) with string lighting b) with fabric canopy c) horizontal members -check column BU in master spreadsheet and photos (audit and other saved photos	Y	Y	No conflicts	Patio has prohibited structure and must be removed	Insert audit photos if applicable

8	Check umbrella placement (or any other protruding objects - e.g planters hanging over railing)	<ul style="list-style-type: none">Review audit data to confirm that umbrellas do not protrude into the travel lane/bike lane.Review audit photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Umbrellas are permitted only if they do not protrude beyond the patio railing.DOES PATIO HAVE UMBRELLAS THAT PROTRUDE BEYOND THE PATIO RAILING INTO TRAVEL LANE/BIKE LANE?<i>*If into utility strip see Tier 3</i>	Y	N	Placement of umbrellas protrude beyond patio railing into travel lane/bike lane.	Patio umbrella or other fixtures were protruding out of patio area into travel lane. Please ensure all elements, including umbrellas are within patio area		
9	Check length of patio - encroachment into NSAT corner clearance/driveway/lane (near side), or into special zone.	<ul style="list-style-type: none">Review audit data - Installed patio must meet corner clearance/driveway/lane (near side) requirements, must not encroach into other special zones (e.g bus zone, etc.).Review audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Review Audit data - Installed patio must maintain at minimum 6.0m clearance from edge of sidewalk or stop sign/stop bar, 1.5m from driveway/lane (NEAR SIDE), - <i>*if far side see Tier2</i> and must not encroach into any special zone (e.g. bus zone).DOES PATIO ENCROACH INTO NSAT/DRIVEWAY/LANE (near side) CLEARANCE OR INTO SPECIAL ZONE?	Y	Y	No conflicts	<p>Patio does not meet minimum 6m clearance from intersection</p> <p>Patio does not meet minimum 1.5m clearance from driveway</p> <p>Patio does not meet minimum 1.5m clearance from laneway</p>	<p>Insert audit photos if applicable</p>	
10	Check length of patio - too long and seeps into neighbouring business without consent.	<ul style="list-style-type: none">Confirm consent letter was submitted and acceptance confirmed with original TEPP approvalCheck COV marked up drawing for property lines.	<ul style="list-style-type: none">Patio must not seep into neighbouring business unless with consent letterIS PATIO TOO LONG THAT IT ENCROACHES INTO NEIGHBOURING BUSINESS WITHOUT CONSENT?	Y	Y	No conflicts	Patio extends beyond your business frontage without consent	<p>Insert audit photos if applicable</p>	
10	Other Safety Checks e.g Power cords across sidewalk	<ul style="list-style-type: none">Review audit notes and photos (TEPP SURVEY 123)		Y	Y	No patio delineation provided at curb edge. South end of patio is not enclosed.	<p>Non-standard blurb:</p> <p>Patio is not enclosed on three sides. Railing at south end is required.</p>		
Compliance Check (Audited data) - TIER 2: OPERATIONAL								T2 - Standard blurb	Tier 2 - Applicant Action Items: Phone/Email Summary

11	Check length of patio-encroachment into NSAT corner clearance/driveway/lane (<u>far side</u>)	<ul style="list-style-type: none">Review audit data to confirm if length of patio encroaches into <u>far side</u> corner clearance, or 1.5m driveway/lane clearance.Review audit data to confirm if length of patio encroaches into adjacent parking spaces, etc.	<ul style="list-style-type: none">Patio must not encroach into corner clearance (NSAT) 1.5m driveway/lane clearance (FAR SIDE), or into adjacent parking space (unless otherwise specified)• IS PATIO LENGTH LONGER THAN APPROVED?• DOES PATIO ENCROACH INTO NSAT/DRIVEWAY/LANE (<u>far side</u>) CLEARANCE?-check column BV in master spreadsheet	Y	Y	No conflicts Patio length is -0.05m shorter than permitted. Audit note: "1.1m clearance from driveway." However the patio railing at the south end does line up with existing NSAT sign at the driveway which is reflective of what was communicated on the COV approved drawing.	Patio does not meet minimum 6m clearance from intersection Patio does not meet minimum 1.5m clearance from driveway Patio does not meet minimum 1.5m clearance from laneway	None
12	Check size of gap (1.0m) for emergency services	<ul style="list-style-type: none">Review audit data to confirm if gap for emergency services is at minimum 1.0m wide. <i>For whether a gap is required (>12.0m) see Tier3</i>	<ul style="list-style-type: none">If a gap is provided (<i>patios longer than 12m</i>) for emergency services, it must be at minimum 1.0m wide. • DOES PATIO HAVE A GAP? IS THE GAP AT MINIMUM 1.0m WIDE?	Y	Y	No conflicts See Tier3	Patio does not provide adequate gap of 1.0m for emergency services	Insert audit photos if applicable
13	Check manhole/maintenace holes and utility (e.g water meter, water valve, etc.) clearance	<ul style="list-style-type: none">Review audit data to confirm patio provides minimum clearance from utilities	<ul style="list-style-type: none">Patio must maintain at minimum 0.5m clearance from utilities, and must not conflict with existing litter cans/recycling receptacles.• DOES PATIO PROVIDE MINIMUM 0.5m FROM IN-GROUND UTILITIES?-check column BW in master spreadsheet	Y	Y	No conflicts	Patio does not meet minimum 0.5m clearance from underground utilities cover	Insert audit photos if applicable
14	Check for decking, platforms	<ul style="list-style-type: none">Review audit data to confirm if decking or platform has been installedReview audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Decking or platforms are not permitted.• IS THERE A DECK OR PLATFORM?-check column BX in master spreadsheet<i>For that have already installed decking - check photos if gutter is clear, allows for drainage and patio is accessible. Case by case.</i>	Y	Y	No conflicts	Patio has a deck and requires additional review and approval. This may require adjustments to be made to the decking or removal. Please contact us at street.activities@vancouver.ca for next steps.	Insert audit photos if applicable

15	Check for advertising on banners, flags, railing area, wraps, other material, etc.	• Review audit notes and photos (TEPP SURVEY 123)	• Advertising or commercial content on banners, flags, painted railing area or wraps, or other material is not permitted. -check audit photos and other saved photos If advertising on umbrellas only see Tier3	Y	Y	No conflicts	Patio has advertising visible within patio area	Insert audit photos if applicable
16	Other Operational Checks (e.g railing does not comply)	• Review audit notes and photos (TEPP SURVEY 123)		Y	Y	No conflicts		Insert audit photos if applicable
Compliance Check (Audited data) - TIER 3							T3 - Standard blurb	Tier 3 - Applicant Action Items: Phone/Email Summary
17	Check patio width (1.8m-2.0m)	• Review audit data to confirm width of patio • Review Tier 1 No4	• MAXIMUM approved width for curbside patio is 1.8m (*unless otherwise approved) • IS PATIO WIDTH BETWEEN 1.81m - 2.00m? See No4 if wider than 2.0m	Y	Y	No conflicts Patio width is as permitted, permitted width: 1.8m, measured width: 1.8m, width difference of: 0m	Patio width is wider than permitted 1.8m.	1) Height of patio railing is taller than permitted 1.02m
18	Check height of railing (102cm-130cm)	• Review audit data to confirm height of railing	• Patio railing must have an approximate height of 1m. • IS PATIO RAILING HEIGHT BETWEEN 102cm-130cm? -See No6	Y	N	Railing height: 116cm.	Height of patio railing is taller than permitted 1.02m	Insert audit photos if applicable



19	Check for advertising on umbrellas. Check placement of umbrellas (protruding into utility strip or sidewalk)	• Review audit notes and photos (TEPP SURVEY 123)	• Company and third party advertising on umbrellas is not permitted. • DO UMBRELLAS HAVE COMPANY OR THIRD PARTY ADVERTISING? • DO UMBRELLAS EXTEND BEYOND PATIO RAILING INTO UTILITY STRIP OR SIDEWALK? -check audit photos and other saved photos -	Y	Y	No conflicts	Patio has advertising visible on umbrellas Patio umbrella or other fixtures were protruding out of patio area upon inspection. Please ensure all elements, including umbrellas are within patio area	Insert audit photos if applicable
20	Check gap for emergency services for patio lengths bewteen 12.0m-15.0m	• Review audit data to confirm if patio is longer than 12.0m that a gap has been provided for emergency service.	• A gap must be provided for patios lengths between 12.0m -15.0m. • PATIO LENGTH IS BETWEEN 12.0m-15.0m - HAS A GAP BETWEEN PROVIDED? For size of gap (1.0m) see Tier1	Y	Y	No conflicts Gap not required. Patio length is 11.95m	Patio does not provide gap of 1.0m for emergency services	
21	Check for special pavement	• Review audit data to confirm if patio is located in special pavement. • Review audit notes and photos (TEPP SURVEY 123)	• Anchoring/bolting into special pavement (e.g. bricks, cobbles, granite, etc.) is not permitted (unless otherwise specified) • IS PATIO LOCATED IN AN AREA WITH SPECIAL PAVEMENT? IS THE RAILING ANCHORED/BOLTED INTO THE SPECIAL PAVEMENT? -check column BY in master spreadsheet	Y	Y	No conflicts	Patio has penetrated and damaged special pavement treatment. The City will follow-up with you on restoration next steps	Insert audit photos if applicable
22	Other Tier 3 compliance checks (e.g. Items outside patio, in the utility strip - Host station, planters, etc.) plants on top of railing, etc.)	• Review audit notes and photos (TEPP SURVEY 123)		Y	Y	No conflicts		Insert audit photos if applicable
General Notes								

Review By (Name):		Business Address:		Business Name:		Existing SA permit #:		Application #:	
Melissa Summerton		901 E. HASTings St, Vancouver, BC,		Liquids+Solids		SA-2020-00435		850	
Application Extension Date:		Extension Review Start Date:		Survey Date (Audit):		STATUS			
October 23, 2020		October 23, 2020		August 19, 2020		NOT APPROVED - TIER 1 NON-COMPLIANT			
Extension (Oct31-Mar31, 2021)									
REVIEW CHECKLIST									
PlanIt and Other Conflicts Check									
	Check BIA for location	• Check VanMap, turn on BIA layer	• If business is located in BIA, include name in Column G	Y	Y	Strathcona			
	Transportation (R2Q/M/L, other projects)	• Check PlanIT to Mar31, 2021		Y	Y	As of Oct23 PlanIT check, no conflicts DL cleared with BG			
	PlanIt conflicts (Street Activities, RTO, Utilities, Development, etc)	• Check PlanIT to Mar31, 2021	• All conflicts to be cleared with internal groups	Y	Y	As of Oct23, 2020PlanIT check, no conflicts			
Add to PlanIt									
	Add info to PlanIT	Add info to PlanIT	Follow instruction guide on how to add location	Y	Y	Added to PlanIT			
No	Check Name	Where to check	Requirements or Notes	Checked (Y/N)	Requirement Met (Y/N)	Review - Notes/Comments			
DESIGN CHECKS									
Plan Check									
1	Check if curbside patio is located along a MRN (Major Road Network)	-Check Translink Major Road Network Map (blue lines)	• Curbside patios located on a MRN street. Transportation to confirm whether patio is eligible for a TEPP extension	Y	Y	Patio is not located on a MRN street. E Hastings is MRN but the patio is located along the side street (Campbell St)			
2	Check if street has parking restrictions (rush hour or other stopping restrictions), and/or patio is within special zones (loading zone, passenger zone, taxi zone, motorcycle zone, etc.)	• Check application drawing • Check application photo(s) • Check on Vanmap (turn on parking meter (rates) and parking meter (time limits) and Google Streetview to verify special zones	• Curbside patio is located on roadway with parking restrictions (rush hour regulations: e.g. 'No Stopping 7am-9am, 3pm-6pm Mon-Fri, other road restrictions)** <i>**EXCEPTION: if current patio is located within a PLR area or Transportation has suspended rush regs to allow for TEPP (e.g Commercial Dr) - re-confirm with TDE/TDM via David Lewis) that regs can continue to be suspended until Mar31, 2021</i> • Curbside patio is located on roadway within a special zone (e.g. loading zone, passenger zone, taxi zone, motorcycle zone) <i>CONFIRM with PMB (Billy) for continued use of special zone for TEPP until Mar31, 2021</i>	Y	Y	Special Zone - Patio is located in Loading zone. Continued use of special zone for TEPP until -Mar31, 2021 Cleared with PMB			
3	Check for updated consent letter(s)	• Verify business frontage on Vanmap or Google Streetview • Check previous checklist, approved marked up drawing.	• Curbside patio cannot span across neighbouring business frontage, unless with permission from neighbouring business • Confirm updated consent letter has been submitted and confirm acceptance.	Y	Y	Consent letter is not required			

IN REVIEW
NOT APPROVED - TIER 1 NON-COMPLIANT
GENERAL APPROVAL - TIER 2 NON-COMPLIANT
GENERAL APPROVAL - TIER 3 NON-COMPLIANT

COMPLIANT
Y
N

Compliance Check (Audited data) - TIER 1: SAFETY							T1 - Standard blurb	Tier 1 - Applicant Action Items: Phone/Email Summary
4	Check patio width (>2.0m)	• Review audit data to confirm width of patio	• MAXIMUM approved width for curbside patio is 1.8m (unless otherwise approved) • IS PATIO MORE THAN 2.0m WIDE? -check column BS in master spreadsheet (copy sentence) *for width between 1.81-2.00m see Tier2	Y	Y	No conflicts Patio width is as permitted, permitted width: 1.8m, measured width: 1.8m, width difference of: 0m	Patio width is wider than permitted 1.8m	1) Patio umbrella or other fixtures were protruding out of patio area into travel lane. Please ensure all elements, including umbrellas are within patio area 2) Patio is not enclosed on three sides. Railing at south end is required.
5	Check fire hydrant and fire department connection (FDC) clearance	• Review audit data to confirm clearance at fire hydrants and FDCs has been maintained	• Installed patio must maintain 5.0m clearance from fire hydrant • DOES PATIO MAINTAIN 5.0m FROM FIRE HYDRANT? • Installed patio must maintain 0.5m clearance from centre of FDC • DOES PATIO MAINTAIN 0.5m CLEARANCE FROM FDC? -check column BT in master spreadsheet	Y	Y	No conflicts	Patio does not meet minimum 5m clearance from fire hydrant Patio does not meet minimum 0.5m clearance from fire department connections	Insert audit photos if applicable
6	Check railing height (>130cm)	• Review audit data to confirm height of railing.	• Railing height must be approximately 1.02m tall. • IS RAILING HEIGHT>130cm? -check column BU in master spreadsheet and photos (audit and other saved photos *If railing height is 102cm-130cm see Tier 3	Y	Y	No conflicts Railing height: 116cm. See Tier3	Height of patio railing is taller than permitted 1.02m	Insert audit photos if applicable
7	Check structures (above the railing)	• Review audit data to confirm that patio does not have accessory structures (overhead canopies, vertical posts, enclosures, etc.). • Review audit photos (TEPP SURVEY 123), and other saved photos other saved photos - H:\TRANSPORTATION\PBS Temporary Working Folder\Patio Fun\Application Tracking\Installed Patio Photos	• Accessory structures are not permitted. • DOES PATIO HAVE ANYTHING ABOVE THE RAILING? -OVERHEAD STRUCTURE CANOPY, ENCLOSURE, VERTICAL POSTS: - free standing or attached to railing a) with string lighting b) with fabric canopy c) horizontal members -check column BU in master spreadsheet and photos (audit and other saved photos	Y	Y	No conflicts	Patio has prohibited structure and must be removed	Insert audit photos if applicable

8	Check umbrella placement (or any other protruding objects - e.g planters hanging over railing)	<ul style="list-style-type: none">Review audit data to confirm that umbrellas do not protrude into the travel lane/bike lane.Review audit photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Umbrellas are permitted only if they do not protrude beyond the patio railing.DOES PATIO HAVE UMBRELLAS THAT PROTRUDE BEYOND THE PATIO RAILING INTO TRAVEL LANE/BIKE LANE? <p><i>*If into utility strip see Tier 3</i></p>	Y	N	Placement of umbrellas protrude beyond patio railing into travel lane/bike lane.	Patio umbrella or other fixtures were protruding out of patio area into travel lane. Please ensure all elements, including umbrellas are within patio area		
9	Check length of patio - encroachment into NSAT corner clearance/driveway/lane (near side), or into special zone.	<ul style="list-style-type: none">Review audit data - Installed patio must meet corner clearance/driveway/lane (near side) requirements, must not encroach into other special zones (e.g bus zone, etc.).Review audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Review Audit data - Installed patio must maintain at minimum 6.0m clearance from edge of sidewalk or stop sign/stop bar, 1.5m from driveway/lane (NEAR SIDE), - <i>*if far side see Tier2</i> and must not encroach into any special zone (e.g. bus zone).DOES PATIO ENCROACH INTO NSAT/DRIVEWAY/LANE (near side) CLEARANCE OR INTO SPECIAL ZONE?	Y	Y	No conflicts	<p>Patio does not meet minimum 6m clearance from intersection</p> <p>Patio does not meet minimum 1.5m clearance from driveway</p> <p>Patio does not meet minimum 1.5m clearance from laneway</p>	<p>Insert audit photos if applicable</p>	
10	Check length of patio - too long and seeps into neighbouring business without consent.	<ul style="list-style-type: none">Confirm consent letter was submitted and acceptance confirmed with original TEPP approvalCheck COV marked up drawing for property lines.	<ul style="list-style-type: none">Patio must not seep into neighbouring business unless with consent letterIS PATIO TOO LONG THAT IT ENCROACHES INTO NEIGHBOURING BUSINESS WITHOUT CONSENT?	Y	Y	No conflicts	Patio extends beyond your business frontage without consent	<p>Insert audit photos if applicable</p>	
10	Other Safety Checks e.g Power cords across sidewalk	<ul style="list-style-type: none">Review audit notes and photos (TEPP SURVEY 123)		Y	Y	No patio delineation provided at curb edge. South end of patio is not enclosed.	<p>Non-standard blurb:</p> <p>Patio is not enclosed on three sides. Railing at south end is required.</p>		
Compliance Check (Audited data) - TIER 2: OPERATIONAL								T2 - Standard blurb	Tier 2 - Applicant Action Items: Phone/Email Summary

11	Check length of patio-encroachment into NSAT corner clearance/driveway/lane (<u>far side</u>)	<ul style="list-style-type: none">Review audit data to confirm if length of patio encroaches into <u>far side</u> corner clearance, or 1.5m driveway/lane clearance.Review audit data to confirm if length of patio encroaches into adjacent parking spaces, etc.	<ul style="list-style-type: none">Patio must not encroach into corner clearance (NSAT) 1.5m driveway/lane clearance (FAR SIDE), or into adjacent parking space (unless otherwise specified)• IS PATIO LENGTH LONGER THAN APPROVED?• DOES PATIO ENCROACH INTO NSAT/DRIVEWAY/LANE (<u>far side</u>) CLEARANCE?-check column BV in master spreadsheet	Y	Y	No conflicts Patio length is -0.05m shorter than permitted. Audit note: "1.1m clearance from driveway." However the patio railing at the south end does line up with existing NSAT sign at the driveway which is reflective of what was communicated on the COV approved drawing.	Patio does not meet minimum 6m clearance from intersection Patio does not meet minimum 1.5m clearance from driveway Patio does not meet minimum 1.5m clearance from laneway	None
12	Check size of gap (1.0m) for emergency services	<ul style="list-style-type: none">Review audit data to confirm if gap for emergency services is at minimum 1.0m wide. <i>For whether a gap is required (>12.0m) see Tier3</i>	<ul style="list-style-type: none">If a gap is provided (<i>patios longer than 12m</i>) for emergency services, it must be at minimum 1.0m wide. • DOES PATIO HAVE A GAP? IS THE GAP AT MINIMUM 1.0m WIDE?	Y	Y	No conflicts See Tier3	Patio does not provide adequate gap of 1.0m for emergency services	Insert audit photos if applicable
13	Check manhole/maintenace holes and utility (e.g water meter, water valve, etc.) clearance	<ul style="list-style-type: none">Review audit data to confirm patio provides minimum clearance from utilities	<ul style="list-style-type: none">Patio must maintain at minimum 0.5m clearance from utilities, and must not conflict with existing litter cans/recycling receptacles.• DOES PATIO PROVIDE MINIMUM 0.5m FROM IN-GROUND UTILITIES?-check column BW in master spreadsheet	Y	Y	No conflicts	Patio does not meet minimum 0.5m clearance from underground utilities cover	Insert audit photos if applicable
14	Check for decking, platforms	<ul style="list-style-type: none">Review audit data to confirm if decking or platform has been installedReview audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Decking or platforms are not permitted.• IS THERE A DECK OR PLATFORM?-check column BX in master spreadsheet<i>For that have already installed decking - check photos if gutter is clear, allows for drainage and patio is accessible. Case by case.</i>	Y	Y	No conflicts	Patio has a deck and requires additional review and approval. This may require adjustments to be made to the decking or removal. Please contact us at street.activities@vancouver.ca for next steps.	Insert audit photos if applicable

15	Check for advertising on banners, flags, railing area, wraps, other material, etc.	• Review audit notes and photos (TEPP SURVEY 123)	• Advertising or commercial content on banners, flags, painted railing area or wraps, or other material is not permitted. -check audit photos and other saved photos If advertising on umbrellas only see Tier3	Y	Y	No conflicts	Patio has advertising visible within patio area	Insert audit photos if applicable
16	Other Operational Checks (e.g railing does not comply)	• Review audit notes and photos (TEPP SURVEY 123)		Y	Y	No conflicts		Insert audit photos if applicable
Compliance Check (Audited data) - TIER 3							T3 - Standard blurb	Tier 3 - Applicant Action Items: Phone/Email Summary
17	Check patio width (1.8m-2.0m)	• Review audit data to confirm width of patio • Review Tier 1 No4	• MAXIMUM approved width for curbside patio is 1.8m (*unless otherwise approved) • IS PATIO WIDTH BETWEEN 1.81m - 2.00m? See No4 if wider than 2.0m	Y	Y	No conflicts Patio width is as permitted, permitted width: 1.8m, measured width: 1.8m, width difference of: 0m	Patio width is wider than permitted 1.8m.	1) Height of patio railing is taller than permitted 1.02m
18	Check height of railing (102cm-130cm)	• Review audit data to confirm height of railing	• Patio railing must have an approximate height of 1m. • IS PATIO RAILING HEIGHT BETWEEN 102cm-130cm? -See No6	Y	N	Railing height: 116cm.	Height of patio railing is taller than permitted 1.02m	Insert audit photos if applicable

19	Check for advertising on umbrellas. Check placement of umbrellas (protruding into utility strip or sidewalk)	• Review audit notes and photos (TEPP SURVEY 123)	• Company and third party advertising on umbrellas is not permitted. • DO UMBRELLAS HAVE COMPANY OR THIRD PARTY ADVERTISING? • DO UMBRELLAS EXTEND BEYOND PATIO RAILING INTO UTILITY STRIP OR SIDEWALK? -check audit photos and other saved photos -	Y	Y	No conflicts	Patio has advertising visible on umbrellas Patio umbrella or other fixtures were protruding out of patio area upon inspection. Please ensure all elements, including umbrellas are within patio area	Insert audit photos if applicable
20	Check gap for emergency services for patio lengths bewteen 12.0m-15.0m	• Review audit data to confirm if patio is longer than 12.0m that a gap has been provided for emergency service.	• A gap must be provided for patios lengths between 12.0m -15.0m. • PATIO LENGTH IS BETWEEN 12.0m-15.0m - HAS A GAP BETWEEN PROVIDED? For size of gap (1.0m) see Tier1	Y	Y	No conflicts Gap not required. Patio length is 11.95m	Patio does not provide gap of 1.0m for emergency services	
21	Check for special pavement	• Review audit data to confirm if patio is located in special pavement. • Review audit notes and photos (TEPP SURVEY 123)	• Anchoring/bolting into special pavement (e.g. bricks, cobbles, granite, etc.) is not permitted (unless otherwise specified) • IS PATIO LOCATED IN AN AREA WITH SPECIAL PAVEMENT? IS THE RAILING ANCHORED/BOLTED INTO THE SPECIAL PAVEMENT? -check column BY in master spreadsheet	Y	Y	No conflicts	Patio has penetrated and damaged special pavement treatment. The City will follow-up with you on restoration next steps	Insert audit photos if applicable
22	Other Tier 3 compliance checks (e.g. Items outside patio, in the utility strip - Host station, planters, etc.) plants on top of railing, etc.)	• Review audit notes and photos (TEPP SURVEY 123)		Y	Y	No conflicts		Insert audit photos if applicable
General Notes								


Review By (Name):		Business Address:		Business Name:		Existing SA permit #:		Application #:	
Melissa Summerton		901 E. HAstings St, Vancouver, BC,		Liquids+Solids		SA-2020-00435		850	
Application Extension Date:		Extension Review Start Date:		Survey Date (Audit):		STATUS			
February 8, 2021		February 10, 2021		February 10, 2021		GENERAL APPROVAL - TIER 3 NON-COMPLIANT			
Extension (Oct31-Mar31, 2021)									
REVIEW CHECKLIST									
PlanIt and Other Conflicts Check									
	Check BIA for location	• Check VanMap, turn on BIA layer		• If business is located in BIA, include name in Column G		Y	Y	Strathcona	
	Transportation (R2Q/M/L, other projects)	• Check PlanIT to Mar31, 2021				Y	Y	As of Oct23 (& Feb10/21) PlanIT check, no conflicts DL cleared with BG	
	PlanIt conflicts (Street Activities, RTO, Utilities, Development, etc)	• Check PlanIT to Mar31, 2021		• All conflicts to be cleared with internal groups		Y	Y	As of Oct23 (& Feb10/21) PlanIT check, no conflicts	
Add to PlanIt									
	Add info to PlanIT	Add info to PlanIT		Follow instruction guide on how to add location		Y	Y	Added to PlanIT	
No	Check Name	Where to check		Requirements or Notes		Checked (Y/N)	Requirement Met (Y/N)	Review - Notes/Comments	
DESIGN CHECKS									
Plan Check									
1	Check if curbside patio is located along a MRN (Major Road Network)	-Check Translink Major Road Network Map (blue lines)		• Curbside patios located on a MRN street. Transportation to confirm whether patio is eligible for a TEPP extension		Y	Y	Patio is not located on a MRN street. E Hastings is MRN but the patio is located along the side street (Campbell St)	
2	Check if street has parking restrictions (rush hour or other stopping restrictions), and/or patio is within special zones (loading zone, passenger zone, taxi zone, motorcycle zone, etc.)	• Check application drawing • Check application photo(s) • Check on Vanmap (turn on parking meter (rates) and parking meter (time limits) and Google Streetview to verify special zones		• Curbside patio is located on roadway with parking restrictions (rush hour regulations: e.g. 'No Stopping 7am-9am, 3pm-6pm Mon-Fri, other road restrictions)** <i><u>**EXCEPTION: if current patio is located within a PLR area or Transportation has suspended rush regs to allow for TEPP (e.g Commercial Dr) - re-confirm with TDE/TDM via David Lewis) that regs can continue to be suspended until Mar31, 2021</u></i> • Curbside patio is located on roadway within a special zone (e.g. loading zone, passenger zone, taxi zone, motorcycle zone) <i><u>CONFIRM with PMB (Billy) for continued use of special zone for TEPP until Mar31, 2021</u></i>		Y	Y	Special Zone - Patio is located in Loading zone. Continued use of special zone for TEPP until -Mar31, 2021 Cleared with PMB	
3	Check for updated consent letter(s)	• Verify business frontage on Vanmap or Google Streetview • Check previous checklist, approved marked up drawing.		• Curbside patio cannot span across neighbouring business frontage, unless with permission from neighbouring business • Confirm updated consent letter has been submitted and confirm acceptance.		Y	Y	Consent letter is not required	

IN REVIEW
NOT APPROVED - TIER 1 NON-COMPLIANT
GENERAL APPROVAL - TIER 2 NON-COMPLIANT
GENERAL APPROVAL - TIER 3 NON-COMPLIANT

COMPLIANT
Y
N

Compliance Check (Audited data) - TIER 1: SAFETY							T1 - Standard blurb	Tier 1 - Applicant Action Items: Phone/Email Summary
4	Check patio width (>2.0m)	• Review audit data to confirm width of patio	• MAXIMUM approved width for curbside patio is 1.8m (unless otherwise approved) • IS PATIO MORE THAN 2.0m WIDE? -check column BS in master spreadsheet (copy sentence) *for width between 1.81-2.00m see Tier2	Y	Y	No conflicts Patio width is too wide (Tier 3), permitted width: 1.8m, measured width: 1.81m, width difference of: 0.01m - round down to 1.8m	Patio width is wider than permitted 1.8m	None
5	Check fire hydrant and fire department connection (FDC) clearance	• Review audit data to confirm clearance at fire hydrants and FDCs has been maintained	• Installed patio must maintain 5.0m clearance from fire hydrant • DOES PATIO MAINTAIN 5.0m FROM FIRE HYDRANT? • Installed patio must maintain 0.5m clearance from centre of FDC • DOES PATIO MAINTAIN 0.5m CLEARANCE FROM FDC? -check column BT in master spreadsheet	Y	Y	No conflicts	Patio does not meet minimum 5m clearance from fire hydrant Patio does not meet minimum 0.5m clearance from fire department connections	Insert audit photos if applicable
6	Check railing height (>130cm)	• Review audit data to confirm height of railing.	• Railing height must be approximately 1.02m tall. • IS RAILING HEIGHT>130cm? -check column BU in master spreadsheet and photos (audit and other saved photos) *If railing height is 102cm-130cm see Tier 3	Y	Y	No conflicts Railing height is 113cm. See Tier3	Height of patio railing is taller than permitted 1.02m	Insert audit photos if applicable
7	Check structures (above the railing)	• Review audit data to confirm that patio does not have accessory structures (overhead canopies, vertical posts, enclosures, etc.). • Review audit photos (TEPP SURVEY 123), and other saved photos other saved photos - H:\TRANSPORTATION\PBS Temporary Working Folder\Patio Fun\Application Tracking\Installed Patio Photos	• Accessory structures are not permitted. • DOES PATIO HAVE ANYTHING ABOVE THE RAILING? -OVERHEAD STRUCTURE CANOPY, ENCLOSURE, VERTICAL POSTS: - free standing or attached to railing a) with string lighting b) with fabric canopy c) horizontal members -check column BU in master spreadsheet and photos (audit and other saved photos)	Y	Y	No conflicts	Patio has prohibited structure and must be removed	Insert audit photos if applicable

8	Check umbrella placement (or any other protruding objects - e.g planters hanging over railing)	<ul style="list-style-type: none">Review audit data to confirm that umbrellas do not protrude into the travel lane/bike lane.Review audit photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Umbrellas are permitted only if they do not protrude beyond the patio railing.DOES PATIO HAVE UMBRELLAS THAT PROTRUDE BEYOND THE PATIO RAILING INTO TRAVEL LANE/BIKE LANE?If into utility strip see Tier 3	Y	Y	No conflicts No umbrellas in place at time of audit	Patio umbrella or other fixtures were protruding out of patio area into travel lane. Please ensure all elements, including umbrellas are within patio area	Insert audit photos if applicable
9	Check length of patio - encroachment into NSAT corner clearance/driveway/lane (near side), or into special zone.	<ul style="list-style-type: none">Review audit data - Installed patio must meet corner clearance/driveway/lane (near side) requirements, must not encroach into other special zones (e.g bus zone, etc.).Review audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Review Audit data - Installed patio must maintain at minimum 6.0m clearance from edge of sidewalk or stop sign/stop bar, 1.5m from driveway/lane (NEAR SIDE), - *if far side see Tier2 and must not encroach into any special zone (e.g. bus zone).DOES PATIO ENCROACH INTO NSAT/DRIVEWAY/LANE (near side) CLEARANCE OR INTO SPECIAL ZONE?	Y	Y	No conflicts	<p>Please review your approved drawing. Patio does not meet minimum 6m clearance from intersection.</p> <p>Please review your approved drawing. Patio does not meet minimum 1.5m clearance from driveway.</p> <p>Please review your approved drawing. Patio does not meet minimum 1.5m clearance from laneway.</p> <p>Please review your approved drawing. Patio encroaches into [insert special zone]</p>	Insert audit photos if applicable
10	Check length of patio - too long and seeps into neighbouring business without consent.	<ul style="list-style-type: none">Confirm consent letter was submitted and acceptance confirmed with original TEPP approvalCheck COV marked up drawing for property lines.	<ul style="list-style-type: none">Patio must not seep into neighbouring business unless with consent letterIS PATIO TOO LONG THAT IT ENCROACHES INTO NEIGHBOURING BUSINESS WITHOUT CONSENT?	Y	Y	No conflicts	Patio extends beyond your business frontage without consent	Insert audit photos if applicable

11	Other Safety Checks e.g Power cords across sidewalk	• Review audit notes and photos (TEPP SURVEY 123)		Y	Y	No conflicts Previous non-compliance item has been addressed by Applicant. Audit note: "Gap width is 1.13cm on south side. Piece dimension is 68cm. Recall Scott had mentioned this was ok to keep open for wheelchair accessibility? ED to confirm this is acceptable? If SE is ok with this, then we good. - ED			
Compliance Check (Audited data) - TIER 2: OPERATIONAL								T2 - Standard blurb	Tier 2 - Applicant Action Items: Phone/Email Summary
12	Check length of patio-encroachment into NSAT corner clearance/driveway/lane (<u>far side</u>), or into adjacent parking spaces.	• Review audit data to confirm if length of patio encroaches into <u>far side</u> corner clearance, or 1.5m driveway/lane clearance. • Review audit data to confirm if length of patio encroaches into adjacent parking spaces, etc.	• Patio must not encroach into corner clearance (NSAT) 1.5m driveway/lane clearance (<u>FAR SIDE</u>), or into adjacent parking space (unless otherwise specified) • IS PATIO LENGTH LONGER THAN APPROVED? • DOES PATIO ENCROACH INTO NSAT/DRIVEWAY/LANE (<u>far side</u>) CLEARANCE, OR INTO ADJACENT PARKING SPACES? -check column BV in master spreadsheet	Y	Y	No conflicts See note under previous tab first round compliance check	Please review your approved drawing. Patio does not meet minimum 6m clearance from intersection. Please review your approved drawing. Patio does not meet minimum 1.5m clearance from driveway. Please review your approved drawing. Patio does not meet minimum 1.5m clearance from laneway. Please review your approved drawing. Patio encroaches into [insert special zone]	None	

13	Check size of gap (1.0m) for emergency services	<ul style="list-style-type: none">Review audit data to confirm if gap for emergency services is at minimum 1.0m wide. <p><i>For whether a gap is required (>12.0m) see Tier3</i></p>	<ul style="list-style-type: none">If a gap is provided (<i>patios longer than 12m</i>) for emergency services, it must be at minimum 1.0m wide. <p>• DOES PATIO HAVE A GAP? IS THE GAP AT MINIMUM 1.0m WIDE?</p>	Y	Y	No conflicts No gap required. Patio length is 11.9m	Patio does not provide adequate gap of 1.0m for emergency services	<i>Insert audit photos if applicable</i>
14	Check manhole/maintenance holes and utility (e.g water meter, water valve, etc.) clearance	<ul style="list-style-type: none">Review audit data to confirm patio provides minimum clearance from utilities	<ul style="list-style-type: none">Patio must maintain at minimum 0.5m clearance from utilities, and must not conflict with existing litter cans/recycling receptacles. <p>• DOES PATIO PROVIDE MINIMUM 0.5m FROM IN-GROUND UTILITIES?</p> <p><i>-check column BW in master spreadsheet</i></p>	Y	Y	No conflicts	Patio does not meet minimum 0.5m clearance from underground utilities cover	<i>Insert audit photos if applicable</i>
15	Check for drainage (e.g turf)	<ul style="list-style-type: none">Review audit data to confirm patio allows for proper drainage - elements such as turf have not been installedReview audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Turf is not permitted. <p>• IS THERE TURF</p> <p><i>-check column BX in master spreadsheet</i></p> <p><i>For decking - see Tier3</i></p>	Y	Y	No conflicts	Turf is impacting drainage and is not permitted.	<i>Insert audit photos if applicable</i>
16	Check for advertising on banners, flags, railing area, wraps, other material, etc.	<ul style="list-style-type: none">Review audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Advertising or commercial content on banners, flags, painted railing area or wraps, or other material is not permitted. <p><i>-check audit photos and other saved photos</i></p> <p><i>If advertising on umbrellas only see Tier3</i></p>	Y	Y	No conflicts	Patio has advertising visible within patio area	<i>Insert audit photos if applicable</i>

17	Other Operational Checks (e.g railing does not comply)	• Review audit notes and photos (TEPP SURVEY 123)		Y	Y	No conflicts		Insert audit photos if applicable
Compliance Check (Audited data) - TIER 3							T3 - Standard blurb	Tier 3 - Applicant Action Items: Phone/Email Summary
18	Check patio width (1.8m-2.0m)	• Review audit data to confirm width of patio • Review Tier 1 No4	• MAXIMUM approved width for curbside patio is 1.8m (*unless otherwise approved) • IS PATIO WIDTH BETWEEN 1.81m - 2.00m? See No4 if wider than 2.0m	Y	Y	No conflicts Patio width is too wide (Tier 3), permitted width: 1.8m, measured width: 1.81m, width difference of: 0.01m - round down to 1.8m	Patio width is wider than permitted 1.8m.	1) Height of patio railing is taller than permitted 1.02m
19	Check height of railing (102cm-130cm)	• Review audit data to confirm height of railing	• Patio railing must have an approximate height of 1m. • IS PATIO RAILING HEIGHT BETWEEN 102cm-130cm? -See No6	Y	N	Railing height is 113cm.	Height of patio railing is taller than permitted 1.02m	Insert audit photos if applicable
20	Check for advertising on umbrellas. Check placement of umbrellas (protruding into utility strip or sidewalk)	• Review audit notes and photos (TEPP SURVEY 123)	• Company and third party advertising on umbrellas is not permitted. • DO UMBRELLAS HAVE COMPANY OR THIRD PARTY ADVERTISING? • DO UMBRELLAS EXTEND BEYOND PATIO RAILING INTO UTILITY STRIP OR SIDEWALK? -check audit photos and other saved photos -	Y	Y	No conflicts No umbrellas in place at time of audit	Patio has advertising visible on umbrellas Patio umbrella or other fixtures were protruding out of patio area upon inspection. Please ensure all elements, including umbrellas are within patio area	Insert audit photos if applicable
21	Check gap for emergency services for patio lengths bewteen 12.0m-15.0m	• Review audit data to confirm if patio is longer than 12.0m that a gap has been provided for emergency service.	• A gap must be provided for patios lengths between 12.0m -15.0m. • PATIO LENGTH IS BETWEEN 12.0m-15.0m - HAS A GAP BETWEEN PROVIDED? For size of gap (1.0m) see Tier2	Y	Y	No conflicts	Patio does not provide gap of 1.0m for emergency services	

22	Check for special pavement	<ul style="list-style-type: none">Review audit data to confirm if patio is located in special pavement.Review audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Anchoring/bolting into special pavement (e.g. bricks, cobbles, granite, etc.) is not permitted (unless otherwise specified)IS PATIO LOCATED IN AN AREA WITH SPECIAL PAVEMENT? IS THE RAILING ANCHORED/BOLTED INTO THE SPECIAL PAVEMENT?-check column BY in master spreadsheet	Y	Y	No conflicts	Patio has penetrated and damaged special pavement treatment. The City will follow-up with you on restoration next steps	Insert audit photos if applicable
23	Check for decking, platforms	<ul style="list-style-type: none">Review audit data to confirm if decking or platform has been installed.Review audit notes and photos (TEPP SURVEY 123)	<ul style="list-style-type: none">Decking or platforms are not permitted.IS THERE A DECK OR PLATFORM?For turf - see Tier 2	Y	Y	No conflicts	Patio has a deck and requires additional review and approval. This may require adjustments to be made to the decking or removal.	Insert audit photos if applicable
24	Other Tier 3 compliance checks (e.g. Items outside patio, in the utility strip - host station, planters, etc.) plants on top of railing, etc.). Patio is not installed as per approved drawing - (e.g 0.5m offset from property line)	<ul style="list-style-type: none">Review audit notes and photos (TEPP SURVEY 123)		Y	Y	No conflicts	Items outside of patio are not permitted. Observed (insert) in grass boulevard/utility strip. Items on/attached to top of railing are not permitted. Observed (insert) Patio is not installed as per approved drawing (insert issue)	Insert audit photos if applicable
General Notes								

Review By (Name):	Business Address:	Business Name:	Existing SA permit #:	Application #:	
Melissa Summerton	901 E. Hastings St, Vancouver, BC,	Liquids+Solids	SA-2021-00099	850	
Application Date:	Review Start Date:	Most recent Audit Date:	STATUS		
April 12, 2021	April 27, 2021	February 10, 2021	APPROVED WITH CONDITIONS		
CONTINUED EXTENSION - Winter to Summer 2021					
REVIEW CHECKLIST					
PlanIt and Other Conflicts Check					
Check BIA for location	• Check VanMap, turn on BIA layer	• If business is located in BIA, include name in Column G	Y	Y	Strathcona
Transportation (R2Q/M/L, other projects)	• Check PlanIT to Oct 31, 2021		Y	Y	As of Apr27/21 PlanIT check, no conflicts Auto cleared by BG
PlanIt conflicts (Street Activities (if in plaza), RTO, Utilities, Development, etc)	• Check PlanIT to Oct 31, 2021	• All conflicts to be cleared with internal groups	Y	Y	As of Apr27/21 PlanIT check, no conflicts
Add to PlanIt					
Add info to PlanIT	Add info to PlanIT	Follow instruction guide on how to add location	Y	Y	Added to PlanIT
No	Check Name	Where to check	Requirements or Notes	Checked (Y/N)	Requirement Met (Y/N)
DESIGN CHECKS					
Plan Check					
1	Check if curbside patio is located along a MRN (Major Road Network)	• Check Translink Major Road Network Map (blue lines)	• Curbside patios located on a MRN street. Transportation to confirm whether patio is eligible for a TEPP extension	Y	Y
2	Check if street has parking restrictions (rush hour or other stopping restrictions), and/or patio is within special zones (loading zone, passenger zone, taxi zone, motorcycle zone, etc.)	• Check application drawing • Check application photo(s) • Check on Vanmap (turn on parking meter (rates) and parking meter (time limits) and Google Streetview to verify special zones	• Curbside patio is located on roadway with parking restrictions (rush hour regulations: e.g. 'No Stopping 7am-9am, 3pm-6pm Mon-Fri, other road restrictions)** **EXCEPTION: if current patio is located within a PLR area or Transportation has suspended rush regs to allow for TEPP (e.g. Commercial Dr) - re-confirm with TDE/TDM via David Lewis) that regs can continue to be suspended until Oct 31, 2021 • Curbside patio is located on roadway within a special zone (e.g. loading zone, passenger zone, taxi zone, motorcycle zone) CONFIRM with PMB (Billy) for continued use of special zone for TEPP until Oct 31, 2021	Y	Y
3	Check for updated consent letter(s)	• Verify business frontage on Vanmap or Google Streetview • Check previous checklist, approved marked up drawing.	• Curbside patio cannot span across neighbouring business frontage, unless with permission from neighbouring business • Confirm updated consent letter has been submitted and confirm acceptance.	Y	Y

IN REVIEW

APPROVED WITH CONDITIONS

NOT APPROVED - TIER 1 NON-COMPLIANT OUTSTANDING

NOT APPROVED - TIER 2 NON-COMPLIANT OUTSTANDING

DECLINE

Y

N

CONTINUED EXTENSION - Winter to Summer 2021

This form is to be used for those that have gone through a Winter compliance check

These are TEPP patios that applied for a Winter Extension Permit and are now applying to keep their existing patio installed for the Summer 2021 season (until Oct 31, 2021).

(1) Re-check PlanIT, add line in PlanIT, and clear where required

(2) Confirm updated consent letter has been received and is acceptable

(3) Confirm latest status of Tier compliance - should be Compliant or Tier3.

Winter Extension Latest Compliance Status Check						
4	Check latest Winter Extentsion Tier compliance status	• Review latest Tier status	• Latest winter compliance status should be 'Compliant' or 'Tier3'	Y	Y	No conflicts Latest Winter Extension Tier Status is; -Tier3

Review By (Name):	Business Address:	Business Name:	Business Licence (BL) #:	Application #:
Insert here				
Application Date:	Review Checklist Date:	No. of Patios requested:	STATUS	
			IN REVIEW	

Temporary Expedited Patio Program (TEPP) - Small Patio Checklist						
REVIEW CHECKLIST						
No	Check Name	Where to check	Requirements or Notes	Checked (Y/N)	Requirement Met (Y/N)	Review - Notes/Comments
DESIGN CHECKS						
Plan Check						
1	Check if small patio is fully on City Property	• Check property line in VanMap, turn on aerial image	• Small patio MUST be fully located on City property			Patio is fully on City property
2	Check if small patio is directly against business property either in front or on the side	• Check business frontage is identified on application drawing • Check application photo(s) • Verify business frontage on Vanmap or Google Streetview	• Small patio cannot be located out in the front boulevard • Small patio cannot span across neighbouring business frontage (unless permission from neighbouring business - check application/Robert's spreadsheet for adjacent property owner consent letter)			Patio is proposed against building within business frontage
3	Check if small patio is enclosed by railing	• Check applicant drawing	• Small patio cannot be enclosed			Patio does not have railing
4	Check no accessory structures are proposed	• Check applicant drawing	• Accessory structures (e.g. umbrellas, tents, decking, heaters, etc.) are not permitted			None proposed
5	Check # of tables and chairs and/or benches	• Check applicant drawing	• # of tables and chair sets; benches (equivalent to 0.5m/seat) - if applicant has shown table and chair sets or benches, include this information			if identified = provide total # if not identified = 0
Clearance Requirement Check						
6	Check if patio furniture obstructs entrances and exits	• Check for location of entrance and exits identified on applicant drawing • Check for location of entrance and exits by referencing applicant's photo(s) and Google Streetview	• Furniture cannot block entrance/exits			No conflicts
7	Check fire department connection (FDC)	• Check if applicant has identified and located FDC on drawing • Check to confirm any FDC using applicant's photo(s) and Google Streetview	• FDC MUST remain clear and visible from the street, no furniture can be placed in front of it • Check if furniture is 0.5m clear from centre of fire department connection - see diagram in TEPP Info Guide			No conflicts
8	Check sidewalk clearance	• Check applicant drawing • Check application photo(s) • Verify sidewalk conditions on Vanmap or Google Streetview	• Tables & chairs must maintain at minimum 2.4m clearance from utility strip. If no utility strip, clearance must be to the nearest sidewalk obstruction (e.g. tree grate) • Benches must maintain at minimum 2.9m clearance from utility strip. If no utility strip, clearance must be to the nearest sidewalk obstruction (e.g. tree grate) - see diagram in TEPP Info Guide. If further clarification required refer to diagram R2.1 in Standard Detail Drawings (https://vancouver.ca/files/cov/standard-detail-drawings-roadworks.pdf)			Sidewalk clearance >2.4m
9	Check manhole/maintenace holes and utility (e.g water meter, water valve, etc.) clearance	No minimum clearance required	No minimum clearnace required	Not applicable	Not applicable	No applicable
General Notes						
Other Conflicts Check						
	Check BIA for location	• Check VanMap, turn on BIA layer	• If business is located in BIA, include name in Column J			
	Street Activities	• Check PlanIt				As of [Date] PlanIT check, no conflicts
	Transportation (R2Q/M/L, others)	• Check PlanIt				As of [Date] PlanIT check, no conflicts
	Construction (street or development-related)	• Check PlanIt				As of [Date] PlanIT check, no conflicts
Saving Checklist						
	Digital Copy	Save to Vandocs using naming convention: ENG - SUM - TEPP - Checklist - [Address] [Business Name] - YYYY-MM-DD in folder 13-4700-23/0000013	Insert Vandocs Record Number: Checklist: DOC/2020/XXXXXX Drawing: DOC/2020/XXXXXX			

Review By (Name):	Business Address:	Business Name:	Business Licence (BL) #:	Application #:		
Insert here						
Application Date:	Review Checklist Date:	No. of Patios requested:	STATUS			
			IN REVIEW			
Temporary Expedited Patio Program (TEPP) - Large Patio Checklist						
REVIEW CHECKLIST						
No	Check Name	Where to check	Requirements or Notes	Checked (Y/N)	Requirement Met (Y/N)	Review - Notes/Comments
DESIGN CHECKS						
Plan Check						
1	Check if large patio is fully on City Property	• Check property line in VanMap, turn on aerial image	• Large patio MUST be fully located on City property			Patio is fully on City property
2	Check if large patio is directly against business property either in front or on the side	• Check business frontage is identified on application drawing • Check application photo(s) • Verify business frontage on Vanmap or Google Streetview	• Large patio cannot be located out in the front boulevard • Large patio cannot span across neighbouring business frontage (unless permission from neighbouring business - check application/Robert's spearsheet for adjacent property owner consent letter).			Patio is proposed against building within business frontage
3	Check if patio will be located on special pavement areas	• Check applicant drawing • Check applicant photo(s) • Check if special pavement area on VanMap (turn on Areaways layer, and Bridges & Structures layer) and Google Streetview	• Railings may have limited ground penetration (maximum depth of 10cm) in curbs and sidewalks except in special pavement areas (e.g. bricks, cobbles, granite, structures, areaways, etc.) where anchoring may not be permitted. City to review. - if more info on railings is needed see TEPP Info Guide			Patio has railing Patio is proposed on concrete and not in a special pavement area
4	Check no accessory structures are proposed	• Check applicant drawing	• Accessory structures (e.g. tents, enclosures, decking, heaters, etc) are not permitted			None proposed
5	Check size/area of patio (L x W)	• Check applicant drawing	• Patio dimensions L x W = total area (in meters). Width must be minimum 1.8m If both front and side are proposed, note; -front L x W -side L x W -Total Area = (front + side) sq.m			Proposed patio is Xm (L) x Xm (W) = Total Area sq.m
Clearance Requirement Check						
6	Check if patio obstructs entrances and exits	• Check for location of entrance and exits identified on applicant drawing and photo(s) • Check for location of entrance and exits by referencing applicant's photo(s) and Google Streetview	• Patio cannot block entrance/exits			No conflicts
7	Check fire department connection (FDC)	• Check if applicant has identified and located FDC on drawing • Check to confirm any FDC using applicant's photo(s) and Google Streetview	• FDC MUST remain clear, patio cannot be placed in front of it • Check if railing is 0.5m clear from centre of fire department connection - see diagram in TEPP Info Guide			No conflicts
8	Check sidewalk clearance	• Check applicant drawing • Check application photo(s) • Verify sidewalk conditions on Vanmap or Google Streetview	• Patio must maintain at minimum 2.4m clearance from utility strip. If no utility strip, clearance must be to the nearest sidewalk obstruction (e.g. tree grate) - see diagram in TEPP Info Guide. If further clarification required refer to diagram R2.1 in Standard Detail Drawings (https://vancouver.ca/files/cov/standard-detail-drawings-roadworks.pdf)			Sidewalk clearance >2.4m
9	Check manhole/maintenance holes and utility (e.g water meter, water valve, etc.) clearance	• Check if applicant has identified and located utilities on drawing • Check to confirm any utilities using applicant's photo(s) and Google Streetview	• Patio must maintain at minimum 0.5m clearance from utilities - see diagram in TEPP Info Guide			No conflicts
General Notes						
Other Conflicts Check						
	Check BIA for location	• Check VanMap, turn on BIA layer	• If business is located in BIA, include name in Column J			
	Street Activities	• Check PlanIt				As of [Date] PlanIT check, no conflicts
	Transportation (R2Q/M/L, others)	• Check PlanIt				As of [Date] PlanIT check, no conflicts
	Construction (street or development-related)	• Check PlanIt				As of [Date] PlanIT check, no conflicts
Saving Checklist						
	Digital Copy	Save to Vandocs using naming convention: ENG - SUM - TEPP - Checklist - [Address] [Business Name] - YYYY-MM-DD in folder 13-4700-23/0000013	Insert Vandocs Record Number: Checklist: DOC/2020/XXXXXX Drawing: DOC/2020/XXXXXX			

Request TypeFilm

Production NameSo Help Me Todd

Episode (if applicable)114

Follow up contact nameCory Pioveson

Follow up contact phone778-668-8695

Location Address/Street Segment923,901, 800-900 Blk E Hastings

Film Date16-Jan-22

Do any street segments in this request include streets that are metered or have pay stations?Yes

Is any portion of the parking in the Downtown peninsula (west of Main St, north of Terminal)?No

Does this request, in part or whole, span more than 24hrs?Yes

If more than 24hrs, how many 24hr periods (count any partial days as one full 24hr period)3

RESET

Reset Fee Estimate Questions

Estimated Fee*150.51

Signage150.51

Hooding

Lost Meter Revenue**

*Estimate only

** Waived for non-commercial activities

Location Details (further instructions below)

Map Ref #Street NameStreet DescriptionSignage areaLandmark Description

Purpose

Start DateStart TimeEnd DateEnd TimeDaily ContinuousComments

1CampbellBlock #300Type:StreetSide(s):Eastfrom:EW Lane to:E CordovaWork Trucks, Generator15-Jan-237:00 AM17-Jan-225:00 PMContinuousPrep Parking, Work Trucks

2E HastingsBlock #900Type:StreetSide(s):Northfrom:EPL 933 to:Campbell AvWork Trucks14-Jan-237:00 AM15-Jan-228:00 PMContinuousPrep,Shoot and Wrap

3E HastingsBlock #900Type:StreetSide(s):Northfrom:EPL 933 to:CampbellPicture, Camera, Lighting16-Jan-2310:00 AM16-Jan-2311:00 PMDailyPicture, Picture Cars, Lighting

4E HastingsBlock #900Type:StreetSide(s):Northfrom:EPL 933 to:CampbellWork Trucks17-Jan-2310:00 AM17-Jan-235:00 PMDailyWrap

5E CordovaBlock #900Type:StreetSide(s):Southfrom:Campbell to:RaymurWork Trucks15-Jan-236:00 PM16-Jan-2311:00 PMDaily

6CampbellBlock #300Type:StreetSide(s):Bothfrom:EW Lane to:E HastingsGenerator, Other16-Jan-237:00 AM16-Jan-235:00 PMDailyGenny and Washrooms

7E HastingsBlock #800Type:StreetSide(s):Northfrom:Light Pole 7/58 to:Hawks Ave. Picture, Lighting, Camera16-Jan-2310:00 AM16-Jan-232:00 PMDailyFor 800 Blk E Hastings Scene will return when scene ends

8Hawks AveBlock #300Type:StreetSide(s):Eastfrom:E Hastings to:EW LaneLighting, Generator16-Jan-236:00 AM16-Jan-232:00 PMDaily

Block #Type:Side(s):from:to:

Block #Type:Side(s):from:to:

Block #Type:Side(s):from:to:

Block #Type:Side(s):from:to:

Block #Type:Side(s):from:to:

Block #Type:Side(s):from:to:

Block #Type:Side(s):from:to:

Block #Type:Side(s):from:to:

Block #Type:Side(s):from:to:

Block #Type:Side(s):from:to:

Block #Type:Side(s):from:to:

INSTRUCTIONS:

1) Submit in Excel format (PDF versions will not be accepted)

City of Vancouver - FOI 2023-209 - Page 124 of 134

2) For each line, provide a reference number that corresponds to your site map

3) Use landmark descriptions such as: intersecting streets, meter #'s, lamp post #, building addresses, property lines, or other identifiable markers

Tip: Use VanMap for useful details on property information and street infrastructure. maps.vancouver.ca

Type	Side of Block	Hourly Rate	YesNo	DorC	Rates	Fees
Street	North	\$0.50	Yes	Daily	\$600.00 Downtown	\$150.51 Signage
Alley East	South	\$1.00	No	Continuou	\$300.00 Other	\$114.83 Hooding
Alley South	West	\$1.50				
	East	\$2.00			\$300.00	
	Both	\$2.50				
		\$3.00				
		\$3.50				
		\$4.00				
		\$5.00				
		\$6.00				
		\$7.00				
		\$8.00				
		\$9.00				
		None				

Conditional Questions

Do any street segments in this request include streets that are metered or have pay stations?
Is any portion of the parking in the Downtown peninsula (west of Main St, north of Terminal)?
Does this request, in part or whole, span more than 24hrs?
If more than 24hrs, how many 24hr periods (count any partial days as one full 24hr period)

Production Name
Event Name

Event Date
Film Date

Events	Film
Event load in/load out	Camera
Event road closure	Catering
Event media vehicles	Circus
Event parking- general “must add comment?”	Clearance
	Generator
	Lighting
	Picture
	Temp. Bus Zone
	Temp Res./Permit Zone
	Work Trucks
	Other

☐ Camera

☐ Picture

☐ Catering

☐ Special Permittee

☐ Circus

☐ Temp. Bus Zone

☐ Clearance

☐ Temp Res./Permit Zone

☐ Generator

☐ Work Trucks

☐ Lighting

☐ Other

<<<< Selection Required

Account: 770592

Pioneer Plumbing & Heating Inc.

- Dashboard
- Urgent Non-Compliances
- Code Violations

Permits

- Apply for Permits
 - Electrical Installation
 - Electrical Temporary Operating
 - Electrical Operating
 - Gas Installation
 - Gas Decal
 - Request EVM's Variance

Invoices
Contractor Licences
Certifications
Units
Report an Incident/Hazard
Forms
Safety Profile
PERMITS

Permit Details

GA-1219341-2021

[Submit Declaration](#)
[Print](#)

GA - Installation Permit

PERMIT STATUS	Active
PERMIT NUMBER	GA-1219341-2021
SITE ADDRESS	901 East Hastings East Hastings Street VANCOUVER BC
SITE/BUILDING NAME	Liquids and Solids
SITE CONTACT NAME	Linna Tran
SITE CONTACT NUMBER	(604) 872-4546
JOB NAME	
PO NUMBER	
DESCRIPTION	replace the ceiling hung unit heater with new Resnor heater
PERMIT TYPE	GA - Installation
WORK CLASS	Contractor Commercial / Industrial

Dates

APPLICATION DATE	07/06/2021
ISSUE DATE	07/06/2021
EXPIRY DATE	01/02/2022

Inspections
[Refresh](#)

Inspection	Date	Status
GAIN-0412755-2021 GA Final Assessment	JUL 06, 2021	Completed

Invoices

Invoice	Date	Due
011523280	Jul 6, 2021	\$0.00

First or Full includes invoice for the past two years

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Addresses](#)[Historic Related
Addresses](#)[Districts and Zones](#)[Address Activity](#)[Address Activity
Notes](#)[Property Details](#)[Address Notes](#)

Address

to

Note Topics**Topic****Rows**

105 PROC CTR - BUILDING

3

Note Numbers

001 Entered by: P VOLPI

On: 20140203

Updated by: P VOLPI

On: 20140203

Note

Phone inquiry: Ken Wong of KGW Architecture inquired about proposing a soup factory with an ancillary cafe retail at the front. It appears inquiries about this space have taken place before but Ken was not able to confirm. Possibly this is a change of use and the interior will experience extensive changes with new walk-in coolers and new kitchen equipment. Ken admitted to not seeing the building interior yet and inform us as we need more information in order to determine the upgrade triggers. For this type of change, I recommended to Ken to check with zoning to make sure they are Ok with this change.



002 Entered by: H MAHPOUR

On: 20140303

Updated by: H MAHPOUR

On: 20140303

Note

Ken Wong called for upgrade to unit at 901 E Hastings. The unit is going to be a soup kitchen retail (maximum 16 seats) that is selling

prepared soup and also package and sell it out. Depending on operation the whole unit could be a retail food, and the upgrade is from F2 to E. They need to provide a letter of operation to evaluate the level of upgrade. Also occupant load for upgrade evaluation is based on the unit area.

003 Entered by: L JAYARAMAN On: 20140313 Updated by: L JAYARAMAN On: 20140314

Note

Ken was in for an enquiry whether it could go for a field review. I told them that it could go for a field review. I have changed my view as this will be a change of major occupancy from F2 to E and upgrading triggers are to be analysed and may require PCB review. He had previous enquiries with Palo and Hamid and I should have checked their notes before giving my comments. LJ

170 ENQUIRY CTR OFFICER/ECO

4



Note Numbers

001 Entered by: G ROBERTS. On: 20030905 Updated by: G ROBERTS. On: 20030905

Note

License application for a change of use from a wholesale/ancillary retail (tile town) building to a Auto painter and body shop. Use is outright, building is approx. 5000 sq.ft. per John Greers previous note, under allow. 1.0 fsr, 5 parking on site. No zoning issue, ok to clear.

Discussed bldg code implications with David Autiero, applicant needs to

apply for BU and it will have to go through BCRB, spray paint booth			
proposed. Gave applicant the checklist for change of use(major upgrade)			
Proposed tenant; Fine Art Full Collision			
 002	Entered by: V JEON	On: 20131216	Updated by: On:
Note			
Applicant looking to doe a soup manufacturing with ancillary retail in M			
-1 zone. accessory retail to manufacturing is outright as long as they s			
eparate the space with some sort of wall. ran i through gayle who sugges			
ted they come in with floor plan and letter of op to see how its laid ou			
t to confirm. most likley no issues BUT the next time he comes in we sho			
uld run the floor plan and letter of op through a super and record the v			
erbal approval in prism.			
 003	Entered by: L CLARKE..	On: 20131220	Updated by: L CLARKE.. On: 20131220
Note			
Received letter of ops and floor plan sketch from Liquids & Solids			
Culinary Innovations Ltd. Space is about 5000 sf, plan shows area of			
about 1500 sf walled off at front for retail food area with max 16 seats			
No frying or kitchen exhaust, they make soups and sauces, just boiling			
stock. No issues under zoning, classify as food products mfg class B			
with ancillary retail - both outright, no chg to parking req't. He is			
aware that he needs BU for chgs to space. Info sent to Domino.			

004 Entered by: M ELLISTON On: 20140319 Updated by: M ELLISTON On: 20140326

Note

Application for Liquids and Solids, Food Prod Mfg-B with ancil Retail Ltd Food. He has an architect and mechanical engineer with B1/B2's and Schedule A but is missing structural dwgs and B1/B2's, or a letter from p.eng stating adequacy of existing roof structure to support mechanical ventilation rooftop unit.

Existing building at 5000sf is less than 1.0fsr.

Outright use and accessory retail use is <1000m2 per section 4.7.1(b).

No frying or kitchen exhaust, they make soups and sauces, just boiling stock. He will provide K3 and menu. Ok for field review per Paul Webber.

Neils Wilde has reviewed location and height ventilation rooftop unit and is ok for DB clearance.

500 MAJOR PROJECTS GROUP

1

Note Numbers

001 Entered by: E FISS On: 20030728 Updated by: On:

Note

ENQUIRY by Eugene Lee (7369711) for change of use in existing one storey commercial building from Retail (Tile City) to School-Self-Improvement, martial arts studio/school for evening hours of operation, in general.

Let-go industrial zone acceptable use, but parking should comply. Asked to explore off-site parking on neighbouring sites.

03 07 28

620 PROJECT SCOPER

Note Numbers

001 Entered by: J GREER On: 20030813 Updated by: J GREER On: 20030813

Note

This is an update to Eric Fiss's note of July 28. Eugene Lee and proposed tenant s.22(1) (Thai Boxing Club) submitted a letter of enquiry to use this 5,000 sq.ft. building as a School- Arts and Self Improvement, the last use of the building was wholesale with ancillary retail (Tile Town). This site is located in the Hastings let-go area so the proposed use is acceptable. There are 2 issues which will be problematic: the building will require a full VBBL upgrade; and the parking is deficient by approx. 20 spaces.

The existng use required approx. 5 parking spaces, the proposed use will require approx. 25 spaces.

The hours of operation of the Thai boxing Club are 12:00pm - 9:30 pm the class sizes range from 10-16 students w/ one instructor there is one class at any one time. I discussed the operational requirements with Rob Waite and he indicated that they may consider a relaxation but not to the extent that they are proposing. Enquirers will decide whether to proceed or not.

Action Details				
Date	Action by	Action	Action specifics	Reference
07 Jun 2005	E HO	060 - OPEN GROUP	-	-
07 Jun 2005	E HO	700 - COMPLAINT	64 - NO VIOLATION	-
07 Jun 2005	E HO	991 - NOTE	- BU N/REQ PER P SWY	-

63 - PROP USE INSPECTN PU23 PROPERTY USE INSP 01 - OPEN 26 Mar 1996

Action Details				
Date	Action by	Action	Action specifics	Reference
26 Mar 1996	J HANDKAMER	060 - OPEN GROUP	-	-
26 Mar 1996	J HANDKAMER	A81 - CIVIC ADDRESS	01 - ROUTINE	-
26 Mar 1996	J HANDKAMER	R13 - WRITTEN ORDER/NOT	- BNW ISSUED	-
10 Jun 2002	L CHAPELLE	842 - ROUTINE	A03 - PUI BUSNSS LICENSE	EN - 003674
10 Jun 2002	L CHAPELLE	R10 - VERBAL ORDER	- 02-138216/127106	-
02 Jul 2002	L CHAPELLE.	R10 - VERBAL ORDER	- AS ABOVE	-
08 Jul 2002	L CHAPELLE.	R75 - COLLECTED	-	-
08 Jul 2002	L CHAPELLE.	852 - CLEAR ROUTINE	A03 - PUI BUSNSS LICENSE	EN - 003674
30 Apr 2003	L CHAPELLE	843 - ROUTINE OPEN/CLEAR	A03 - PUI BUSNSS LICENSE	-
30 Apr 2003	L CHAPELLE	R10 - VERBAL ORDER	-	-
11 Aug 2003	B MORI	843 - ROUTINE OPEN/CLEAR	A03 - PUI BUSNSS LICENSE	BL - 408682
11 Aug 2003	B MORI	R60 - GONE OUT OF BUSNSS	-	-
11 Aug 2003	B MORI	843 - ROUTINE OPEN/CLEAR	A03 - PUI BUSNSS LICENSE	BL - 397729

30 Apr 2003	L CHAPELLE	843 - ROUTINE OPEN/CLEAR	A03 - PUI BUSNSS LICENSE	-
30 Apr 2003	L CHAPELLE	R10 - VERBAL ORDER	-	-
11 Aug 2003	B MORI	843 - ROUTINE OPEN/CLEAR	A03 - PUI BUSNSS LICENSE	BL - 408682
11 Aug 2003	B MORI	R60 - GONE OUT OF BUSNSS	-	-
11 Aug 2003	B MORI	843 - ROUTINE OPEN/CLEAR	A03 - PUI BUSNSS LICENSE	BL - 397729
11 Aug 2003	B MORI	R60 - GONE OUT OF BUSNSS	-	-
24 Apr 2016	D MITCHELL..	840 - COMPLAINT	A24 - PUI GRAFFITI	EN - 118527
10 May 2016	D MITCHELL..	R64 - NO VIOLATION	- SEE DOMINO	DT - 160424
10 May 2016	D MITCHELL..	850 - CLEAR COMPLAINT	A24 - PUI GRAFFITI	EN - 118527