CITY OF VANCOUVER

CITY CLERK'S OFFICE
Access to Information & Privacy Division

File No.: 04-1000-20-2024-383

September 18, 2024

s.22(1)

Dear s.22(1)

Re: **Request for Access to Records under the Freedom of Information and Protection of Privacy Act (the "Act")**

I am responding to your request of June 24, 2024 under the ***Freedom of Information and Protection of Privacy Act*** for:

> **Record of the complete file the City of Vancouver holds of Prive Kitchen + Bar, located at 1001 West Broadway, unit 200, including complaints, disciplines, reports, notes, notices, fines, and incidents. Date range: January 1, 2020 to June 1, 2024.**

All responsive records are attached. Some information in the records has been severed (blacked out) under s.13(1), s.15(1), s.15(1)(l), s.22(1), and s.22(3)(d) of the Act. You can read or download these sections here: http://www.bclaws.ca/EPLibraries/bclaws_new/document/ID/freeside/96165_00.

Under Part 5 of the Act, you may ask the Information & Privacy Commissioner to review any matter related to the City's response to your FOI request by writing to: Office of the Information & Privacy Commissioner, info@oipc.bc.ca or by phoning 250-387-5629.

If you request a review, please provide the Commissioner's office with: 1) the request number (2024-383); 2) a copy of this letter; 3) a copy of your original request; and 4) detailed reasons why you are seeking the review.

Yours truly,

[Signed by Cobi Falconer]

Cobi Falconer, MAS, MLIS, CIPP/C
Director, Access to Information & Privacy

If you have any questions, please email us at foi@vancouver.ca and we will respond to you as soon as possible. You may also contact 3-1-1 (604-873-7000) if you require accommodation or do not have access to email.

Encl. (Response Package)

:pm

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

Eform Request Type: ***PUI Noise Complaint Case***

Case #	Street # From	Street # To	Street	Cross St/Unit #	Postal Code	Location Details	Case Details	Addional Details	# of Calls	Date Created	Date Closed	Preferred Queue	Event Notes
101014029252	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: Patrons of Prive Kitchen and Bar were making noise outside on Broadway until almost 3am Friday night / Saturday morning, especially around 2:45am when intoxicated people were waiting to get picked up. 3. When is it happening? Friday (May 22) until 3am Saturday (May 23) Morning 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: #200 - 1001 W Broadway (Prive Kitchen and Bar)	PS#: 7998881<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/7998881<p/>	1	5/24/2020 5:54:45 PM	5/26/2020 2:09:49 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID7998881 Agent Finished: Case Closed. Closed date : 2020-05-26 14:05:11.763 Assigned Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-05-26 14:09:48.58 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014047018	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: about a dozen drunk loud people yelling and talking loudly on the street after leaving Prive bar while waiting to be picked up by Uber and cabs. 3. When is it happening? after 2am 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 200 - 1001 West Broadway (Prive Kitchen and Bar)	PS#: 8038062<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8038062<p/>	1	5/30/2020 2:17:51 AM	6/1/2020 1:20:00 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8038062 Agent Finished: Case Closed. Closed date : 2020-06-01 13:11:32.28 Alternate Service Required re: drunk loud people yelling and talking loudly on the street. Please refer to VPD Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-01 13:20:00.44 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014048348	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: people being loud and yelling while hanging out and waiting to be picked up by cabs 3. When is it happening? Saturday night (Sunday May 31) around 3:30am 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: Prive Kitchen and Bar #200 1001 West Broadway	PS#: 8041344<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8041344<p/>	1	5/31/2020 3:52:31 AM	6/2/2020 9:09:55 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8041344 Agent Finished: Case Closed. Closed date : 2020-06-02 09:07:02.557 Alternate Service Required Please refer to VPD
 re: people being loud and yelling outside Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-02 09:09:54.647 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014068032	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: group of 5-7 females making excessive noise at the entrance of bar (on the stairs). at least 1 is very intoxicated needing assistance walking down the stairs and the other girls are laughing and screaming. 3. When is it happening? around 9:30-40pm 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 W broadway	PS#: 8086497<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8086497<p/>	1	6/5/2020 9:45:32 PM	6/8/2020 11:55:11 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8086497 Agent Finished: Case Closed. Closed date : 2020-06-08 11:54:23.62 Assigned Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-08 11:54:50.38 Open311 Feedback Send Complete Status and Resolution Comment to PS case Case Reopened: Agent Finished: Case Closed. Closed date : 2020-06-08 11:55:10.547 Duplicate Request Randy Nijjer
 85482

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Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014068062	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: There are a group of individuals gathering at the top of the stairs by the entrance of the Prive bar. They are creating a lot of noise--yelling, loud voices, laughing obnoxiously. This creates loud echoes due to the 'cave' like entrance. s.22(1) worker who has a early shift tomorrow morning) 3. When is it happening? 11:30 and onwards 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 W broadway	PS#: 8086549<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8086549<p/>	1	6/5/2020 11:44:21 PM	6/8/2020 11:44:48 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8086549 Agent Finished: Case Closed. Closed date : 2020-06-08 11:43:28.683 Assigned Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-08 11:44:48.18 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014090478	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: group of 7+ people laughing and speaking loudly, some yelling, not leaving the bar entrance area causing a lot of excessive noise late at night s.22(1) with an early shift and this is not acceptable. garbage is also all over the floor by the entrance 3. When is it happening? 11:30pm 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 West broadway	PS Description: undefined<p/>PS#: 8134776<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8134776<p/>	1	6/13/2020 11:47:07 PM	6/15/2020 12:24:55 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8134776 Agent Finished: Case Closed. Closed date : 2020-06-15 12:22:09.187 Assigned Randy Nijjer
 6091 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-15 12:24:54.55 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014090481	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: Yelling, swearing, fighting, throwing objects 3. When is it happening? 12:00AM 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 West Broadway, Vancouver, BC, Canada	PS#: 8134800<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8134800<p/>	1	6/13/2020 11:56:01 PM	6/15/2020 12:24:58 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8134800 Agent Finished: Case Closed. Closed date : 2020-06-15 12:24:14.847 Duplicate Request Randy Nijjer
 6091 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-15 12:24:57.85 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014090500	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: a large group of people entering a bar at 2:20AM, yelling and making a lot of noise; presumably intoxicated. disturbing people in the building and waking me from my sleep. some started popping balloons--s.22(1) 3. When is it happening? 2:20 AM 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 W Broadway	PS Description: undefined<p/>PS#: 8134947<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8134947<p/>	1	6/14/2020 2:26:49 AM	6/15/2020 12:29:50 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8134947 Agent Finished: Case Closed. Closed date : 2020-06-15 12:28:08.67 Duplicate Request Randy Nijjer, 6091 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-15 12:29:50.277 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014090501	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: a large group of individuals (at least 10) are standing on the stairs of the bar yelling and being obnoxiously loud. 3. When is it happening? 3 am 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 W broadway	PS#: 8134953<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8134953<p/>	1	6/14/2020 3:15:04 AM	6/15/2020 12:34:50 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8134953 Agent Finished: Case Closed. Closed date : 2020-06-15 12:29:49.17 Duplicate Request Randy Nijjer, 6091 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-15 12:34:50.457 Open311 Feedback Send Complete Status and Resolution Comment to PS case

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Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014093032	1001		W BROADWAY		V6H 4B1		1. Type of noise: Business (bar, restaurant, patio, patrons, music, etc.) 2. Describe the noise and who is making it (e.g. person or company name, garbage or recycling truck number, container bin number): Via Chat: Patrons of Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.) They have been very disruptive to the neighbourhood in terms of noise. My understanding is that they must be closed by 12am during the week, and 1am Friday to Saturday. They have been open longer than that on pretty much every night they're open. They appeared to close at 4am on Saturday. Their was a group of about 30 people hanging around their entrance, when several began pushing and fighting. They ended up fighting on the sidewalk and in the street, and a few people were punched to the ground and kicked while on the ground. The police ended up attending. 3. When is it happening? 4AM 4. How often is it happening? Saturdays 5. If noise is from mechanical equipment (e.g. air conditioner, fan, vent), where is it located on the property? 6. Did you speak to the person or company making the noise? No 7. If yes, what happened? 8. Did you tell the police about your concern? Not Applicable		1	6/15/2020 11:46:00 AM	6/15/2020 12:26:05 PM	DBL - Property Use Inspections	Agent Created Case: Agent Updated Case Details: Reallocated to queue: DBL - Property Use Inspections Agent Finished: Case Closed. Closed date : 2020-06-15 12:26:05.44 Duplicate Request Randy Nijjer, 6091
101014111603	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: 5 guys yelling and laughing at the door of the bar 3. When is it happening? 11:30 pm 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 w broadway	PS#: 8182445<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8182445<p/>	1	6/20/2020 11:35:40 PM	6/22/2020 8:39:48 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8182445 Agent Finished: Case Closed. Closed date : 2020-06-22 08:37:48.04 Duplicate Request already assigned to Randy Nijjer, 6091 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-22 08:39:48.257 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014111616	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: Yelling, shouting 3. When is it happening? 12:00AM 6. Have you spoken with the person or company making the noise? Yes 10. Please verify address of the property: 200-1001 West Broadway, Prive Kitchen + Bar	PS#: 8182494<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8182494<p/>	1	6/21/2020 12:18:43 AM	6/22/2020 8:44:47 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8182494 Agent Finished: Case Closed. Closed date : 2020-06-22 08:39:38.227 Assigned Randy Nijjer
 6091 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-22 08:44:47.18 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014133243	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 200-1001 W Broadway alias: 200-1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Peopleexcessiveresidentialorpartynoise 2. Describe the noise: Yelling customers gathered at the front door and on the steps before the door of the bar from 1am - 2am 3. When is it happening? 1am-2am 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 200-1001 W Broadway	2020/06/28 02:11:59 ~~ Public Stuff ~~ Public Stuff comment: Continued past 2am, and continued to grow louder
PS#: 8234799<p/>Click images below to expand<p/><img src='https://d17aqltn7cihbm.cloudfront.net/uploads/large_dc10b9fa4d139cd05eda0533daacd40d' alt='imageurl' width='300' height='300'><p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.263697%2C-	1	6/28/2020 1:39:16 AM	6/29/2020 12:49:52 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8234799 Agent Finished: Case Closed. Closed date : 2020-06-29 12:46:03.853 Assigned Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-29 12:49:51.69 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014134425	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: numerous different groups of drunk people going in and out of the bar, yelling, obnoxious laughter, confrontations 3. When is it happening? 12:00-1:30 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 west broadway	PS#: 8237711<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8237711<p/>	1	6/28/2020 9:26:22 PM	6/29/2020 4:24:54 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8237711 Agent Finished: Case Closed. Closed date : 2020-06-29 16:23:23.55 Duplicate Request Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-29 16:24:54.003 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

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Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014192616	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: Loud drunk people long after Prive is supposed to be closed per the rules of their liquor license. 3. When is it happening? 2:20am Saturday 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 W Broadway	PS#: 8376760<p/>Click images below to expand<p/><a s.22(1) /a><p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637145858924%2C-123.127083778381&size=600x300&key=	1	7/18/2020 2:21:29 AM	7/20/2020 7:49:51 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8376760 Agent Finished: Case Closed. Closed date : 2020-07-20 07:49:11.82 Assigned Randy Nijjer
 6091 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-07-20 07:49:50.76 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014213741	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: groups of people entering and exiting and hanging out at the entrance of the bar, making a lot of noise. 3. When is it happening? 10:30 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 W broadway	PS#: 8423511<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8423511<p/>	1	7/24/2020 10:36:38 PM	7/30/2020 5:54:45 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8423511 Agent Finished: Case Closed. Closed date : 2020-07-28 11:05:38.023 Assigned Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-07-30 05:44:44.363 Open311 Feedback Send Complete Status and Resolution Comment to PS case Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-07-30 05:49:44.13 Open311 Feedback Send Complete Status and Resolution Comment to PS case Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-07-30 05:54:44.62 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014235763	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: drunk individuals yelling, screaming loudly 3. When is it happening? 11pm-12 am 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 W broadway	PS#: 8468663<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8468663<p/>	1	8/1/2020 10:03:21 AM	8/14/2020 2:17:41 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8468663 Agent Finished: Case Closed. Closed date : 2020-08-04 16:06:47.223 Assigned Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-08-14 14:17:41.417 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014236930	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: multiple groups of people entering and exiting the building, staying at the entrance making a lot of noise at Prive kitchen+bar 3. When is it happening? 10pm onwards 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 W broadway	PS#: 8470285<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8470285<p/>	1	8/1/2020 10:19:29 PM	8/14/2020 2:36:36 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8470285 Agent Finished: Case Closed. Closed date : 2020-08-05 08:23:10.327 Duplicate Request Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-08-14 14:36:35.89 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014254269	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: groups of people going in and out of this building being extremely disruptive and loud--screaming! 3. When is it happening? 12 am 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 W broadway	PS#: 8513831<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8513831<p/>	1	8/8/2020 12:07:55 AM	8/14/2020 3:09:38 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8513831 Agent Finished: Case Closed. Closed date : 2020-08-10 12:42:48.05 Duplicate Request Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-08-14 15:09:38.417 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014295079	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: Speakers off the deck of the Prive Kareoke bar. Extremely loud. We were notified when the city was approving this bar application there would be no speakers on the patio 3. When is it happening? 10:20 pm , Thursday through Saturday 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: Prive, Ste 200, 1001 West Broadway	2020/08/23 13:20:03 ~~ Sonia Lotay ~~ s.22(1) also called to report that a karaoke bar had loud music with speakers going on along with yelling and shouting on the patio on Aug 22. s.22(1) noticed it around 10:30 pm. The noise stopped at 11 pm.
PS#: 8609860<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.263681%2C-123.127053&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=2YilchEjnw2f7qnTNsY1l3Cs5po=' alt='mapurl'	1	8/22/2020 10:25:12 PM	8/24/2020 8:39:49 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8609860 Agent Finished: Case Closed. Closed date : 2020-08-24 08:35:14.15 Duplicate Request Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-08-24 08:39:48.807 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014492747	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway #200 alias: 1001 W BROADWAY #200 full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: Loud music, partying, and people fighting almost every weekend coming from the back entrance in the alley. They use the backdoor after 10pm. 3. When is it happening? Every day 10pm-5am. Fridays and Saturdays are the worst. 6. Have you spoken with the person or company making the noise? Yes 10. Please verify address of the property: 1001 W Broadway #200	PS#: 8984181<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8984181<p/>	1	10/24/2020 5:08:38 PM	10/27/2020 7:24:57 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8984181 Agent Finished: Case Closed. Closed date : 2020-10-27 07:23:23.237 Assigned Mike Bidwell
 7894 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-10-27 07:24:56.613 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101015232229	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 200-1001 W Broadway alias: 200-1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: People outside are very loud 3. When is it happening? Anytime the place is open and after midnight 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1030 W Broadway	PS#: 10488272<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.263701%2C-123.127133&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=n_hASS4dZLc9p7gx7NqwZXoJhxo=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/10488272<p/>	1	7/25/2021 1:30:41 AM	7/27/2021 12:54:49 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID10488272 Agent Finished: Case Closed. Closed date : 2021-07-27 12:49:27.797 Assigned Analiza Abello-Lee, Property Use Inspector
 87763
 Address corrected to 1030 W Broadway Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2021-07-27 12:54:49.19 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101015251097	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 200-1001 W Broadway alias: 200-1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Peopleexcessiveresidentialorpartynoise 2. Describe the noise: Loud people entering and leaving prive nightclub 3. When is it happening? 1030-230 in the morning when prive is opened 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1030 W Broadway	PS#: 10529769<p/>Click images below to expand<p/><img src='https://d17aqltn7cihbm.cloudfront.net/uploads/large_2ab6eb4d2cc81041adfce11b431843c2' alt='imageurl' width='300' height='300'><p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.263701%2C-123.127133&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=n_hASS4dZLc9p7gx7NqwZXoJhxo='	1	7/30/2021 10:48:13 PM	8/3/2021 5:24:48 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID10529769 Agent Finished: Case Closed. Closed date : 2021-08-03 17:23:21.697 Assigned Analiza Abello-Lee, Property Use Inspector
 87763 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2021-08-03 17:24:48.337 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101015251127	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: Extremely loud shouting and ruckus coming from Priv? on Broadway and Oak. 3. When is it happening? 1am 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 w Broadway, #200	PS#: 10529859<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.263663%2C-123.12702&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=ikEZHEwkA59grvfHno4XA0FA_K0=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/10529859<p/>	1	7/31/2021 1:13:14 AM	8/3/2021 5:59:47 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID10529859 Agent Finished: Case Closed. Closed date : 2021-08-03 17:58:26.453 Duplicate Request Analiza Abello-Lee, Property Use Inspector
 87763 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2021-08-03 17:59:46.767 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101015267617	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Peopleexcessiveresidentialorpartynoise 2. Describe the noise: Loud people talking screaming shouting etc 3. When is it happening? 1am 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 200-1001 w broadway	PS#: 10573428<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.263618%2C-123.126955&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=WncTKcnxD94002Bn_oJfQREWAtE=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/10573428<p/>	1	8/7/2021 1:03:46 AM	8/10/2021 10:24:49 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID10573428 Agent Finished: Case Closed. Closed date : 2021-08-10 10:21:04.59 Assigned Analiza Abello-Lee, Property Use Inspector
 87763
 Unit 200 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2021-08-10 10:24:48.717 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101015339954	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001w W Broadway alias: 1001W W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: People routinely yelling and occasionally fights break out on the street or patio. The bass from the music can be heard from s.22(1) 3. When is it happening? Every Friday and Saturday usually from 10pm to 2am. Currently 10pm. 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 W Broadway #200	PS#: 10753602<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2636420857245%2C-123.126925229986&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=elJNMjRDTymPyR3pvae0MgCb4ms=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/10753602<p/>	1	9/4/2021 10:12:30 PM	9/15/2021 1:39:31 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID10753602 Agent Finished: Case Closed. Closed date : 2021-09-09 14:40:38.26 Assigned Analiza Abello-Lee, Property Use Inspector x87763 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2021-09-15 01:39:31.137 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101015441504	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway #101 alias: 1001 W BROADWAY #101 full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: People shouting, screaming, yelling, and loud music. 3. When is it happening? Every Friday and Saturday night from 11pm until 2am at the earliest. 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 W Broadway #200, Vancouver, BC V6H 4E4	PS#: 10982517<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2636098917596%2C-123.127199897914&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=xP2BJT72h0umnFXXl1D5eL2e-GY=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/10982517<p/>	1	10/17/2021 1:19:54 AM	10/19/2021 9:19:53 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID10982517 Agent Finished: Case Closed. Closed date : 2021-10-19 09:16:26.38 Assigned Analiza Abello-Lee, Property Use Inspector
 87763 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2021-10-19 09:19:52.717 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101015441505	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway #200 alias: 1001 W BROADWAY #200 full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: People drunkenly fighting and shouting loud enough to hear across the street and two doors down. 3. When is it happening? 1:21 am 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 W Broadway #200, Vancouver, BC V6H 4E4	PS#: 10982518<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/10982518<p/>	1	10/17/2021 1:22:46 AM	10/19/2021 9:19:54 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID10982518 Agent Finished: Case Closed. Closed date : 2021-10-19 09:18:01.587 Duplicate Request Analiza Abello-Lee, Property Use Inspector
 87763 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2021-10-19 09:19:53.997 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101015509874	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001w W Broadway alias: 1001W W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	. Phone number: s.22(1) 1. Type of noise: Businessbarrestaurantpatiopatronsmusicetc 2. Describe the noise: Yelling, excessive high pitched screaming 3. When is it happening? 12:36am 6. Have you spoken with the person or company making the noise? No 10. Please verify address of the property: 1001 W Broadway	PS#: 11122732<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2635930881742%2C-123.127131233265&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=_v2pJwLe2mzRoFDMW_0iFMKcNL4=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/11122732<p/>	1	11/14/2021 12:38:16 AM	11/15/2021 4:09:53 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID11122732 Agent Finished: Case Closed. Closed date : 2021-11-15 16:06:09.74 Assigned Analiza Abello-Lee, Property Use Inspector
 87763 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2021-11-15 16:09:52.98 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101016198880	1001		W BROADWAY		V6H 4B1		1. Type of noise: Business (bar, restaurant, patio, patrons, music, etc.) 2. Describe the noise and who is making it (e.g. person or company name, garbage or recycling truck number, container bin number): Prive Kitchen and Bar - Karaoke happening. 3. When is it happening? Sat. July 16th, started at 7pm. 4. How often is it happening? Noise complaints s.22(1) filed in the past for this location. They have a patio. Last time s.22(1) spoke with inspectors they are not licenced to have speakers outside of the premise. The speakers are on the patio. 5. If noise is from mechanical equipment (e.g. air conditioner, fan, vent), where is it located on the property? 6. Did you speak to the person or company making the noise? No 7. If yes, what happened? 8. Did you tell the police about your concern? No 9. If yes, provide police file number (if known): 10. Please verify address of the property (for VanConnect requests only): 11. (Don't ask, just record - did caller indicate they want a call back?) Yes	Citizen would appreciate a follow up from the inspector. Emailed citizen the case number. Citizen comments: This business has been bombarding s.22(1) neighbourhood for the last 2 hours with high powered music in the patio. Citizen said there's a guy yelling and singing. The place is fully lit up now and the noise is continuing. Citizen said they in the neighbourhood should not be listening to this noise. Citizen said he's preparing for bed and doesn't want to listen to this.	1	7/16/2022 9:04:00 PM	7/18/2022 12:01:54 PM	DBL - Property Use Inspections	Agent Created Case: Agent Updated Case Details: Reallocated to queue: DBL - Property Use Inspections Agent Finished: Case Closed. Closed date : 2022-07-18 12:01:53.83 Assigned Analiza Abello-Lee, Property Use Inspector
 87763

Eform Request Type: ***ZZ OLD - COVID-19 - Business Complaint Case***

101014048321	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 200-1001 W Broadway	1. Violation type: Restaurant or cafe not enforcing social distancing 2. Date and time the violation was observed: 11:30 pm 5/30 3. Business name: Prive kitchen and bar 4. Provide details: People over capacity. No ID checking, alcohol beverages provided to those under 19	PS#: 8041240<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.263697%2C-123.127054&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=FLGYtXJvqL8kW3Sc3-oz-Ols4FY=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8041240<p/>	1	5/30/2020 11:21:59 PM	6/1/2020 12:24:51 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8041240 Agent Finished: Case Closed. Closed date : 2020-06-01 12:21:06.53 Assigned Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-01 12:24:51.013 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014068069	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 200-1001 W Broadway	1. Violation type: Restaurant or cafe not enforcing social distancing 2. Date and time the violation was observed: 6/6/20 12:30 am 3. Business name: Prive 4. Provide details: Completely over capacity	PS#: 8086573<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.263697%2C-123.127054&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=FLGYtXJvqL8kW3Sc3-oz-Ols4FY=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8086573<p/>	1	6/6/2020 12:35:35 AM	6/8/2020 9:24:57 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8086573 Agent Finished: Case Closed. Closed date : 2020-06-08 09:23:55.66 Assigned Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-08 09:24:56.927 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014089485	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 200-1001 W Broadway	1. Violation type: Restaurant or cafe not enforcing social distancing 2. Date and time the violation was observed: June 12,2020 3. Business name: Prive kitchen+bar 4. Provide details: this place is a karaoke place. and there is absolutely zero social distancing measures being implemented. the staffs were all wearing their masks on their chin.	PS Description: undefined<p/>PS#: 8133177<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8133177<p/>	1	6/13/2020 11:49:39 AM	6/15/2020 9:54:47 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8133177 Agent Finished: Case Closed. Closed date : 2020-06-15 09:51:03.237 Duplicate Request Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-15 09:54:46.877 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014089510	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 200-1001 W Broadway	1. Violation type: Restaurant or cafe not enforcing social distancing 2. Date and time the violation was observed: June 12, 2020 3. Business name: Prive kitchen + bar 4. Provide details: this is a Karaoke place. the place was very crowded and zero distancing measures were being taken. people can buy shots directly at the bar in front like a club. the staffs all wore their mask on their chin.	PS#: 8133202<p/>Click images below to expand<p/><a s.22(1) [redacted] /a><p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300'	1	6/13/2020 11:58:18 AM	6/15/2020 9:49:53 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8133202 Agent Finished: Case Closed. Closed date : 2020-06-15 09:47:52.45 Duplicate Request Randy Nijjer
 85482
 Address corrected to 1001 W BROADWAY Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-15 09:49:52.827 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014111570	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001w W Broadway alias: 1001W W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	1. Violation type: Restaurant or cafe not enforcing social distancing 2. Date and time the violation was observed: 9pm on June 20 3. Business name: Prive 4. Provide details: Groups larger than 6 people and no separation between groups. Arcade games aren't sanitized between users.	PS#: 8182324<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2635734846961%2C-123.12714410849&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=-ZkdRVBgc6od2P2YlhdxYuNPBFQ=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/r	1	6/20/2020 9:34:47 PM	6/22/2020 9:39:48 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8182324 Agent Finished: Case Closed. Closed date : 2020-06-22 09:36:09.193 Duplicate Request Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-06-22 09:39:48.26 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014167774	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	1. Violation type: Restaurant or cafe not enforcing social distancing 2. Date and time the violation was observed: July 9 at 7pm 3. Business name: Prive 4. Provide details: There are large groups or 10-12 people on the patio here and no one is sanitizing the basketball arcade machine or any of the video games.	PS#: 8319621<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8319621<p/>	1	7/9/2020 9:48:44 PM	7/10/2020 8:19:53 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8319621 Agent Finished: Case Closed. Closed date : 2020-07-10 08:19:13.113 Assigned Randy Nijjer
 6091 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-07-10 08:19:53.36 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014178221	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway #200 alias: 1001 W BROADWAY #200 full: 1001 W BROADWAY, VANCOUVER, BC	1. Violation type: Restaurant or cafe not enforcing social distancing 2. Date and time the violation was observed: I cannot provide an exact date because I saw this on a friends instagram story 3. Business name: Prive Kitchen + Bar 4. Provide details: A video was posted from a private room at Prive Kitchen and Bar which is also a karaoke place. There were 13 people in a room not including the person filming the video. It's a bit unsafe having that many people in a room sitting side by side	PS#: 8344087<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8344087<p/>	1	7/14/2020 2:07:32 AM	7/14/2020 8:04:51 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8344087 Agent Finished: Case Closed. Closed date : 2020-07-14 08:01:38.81 Duplicate Request Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-07-14 08:04:50.683 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014213739	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	1. Violation type: Restaurant or cafe not enforcing social distancing 2. Date and time the violation was observed: 10:30 PM Jul 24, 2020 3. Business name: Prive 4. Provide details: no social distancing, customers standing and playing games	PS#: 8423509<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8423509<p/>	1	7/24/2020 10:33:48 PM	7/27/2020 9:19:53 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8423509 Agent Finished: Case Closed. Closed date : 2020-07-27 09:16:33.417 Assigned Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-07-27 09:19:52.58 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014235350	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001w W Broadway alias: 1001W W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	1. Violation type: Restaurant or cafe not enforcing social distancing 2. Date and time the violation was observed: july 31 @ 7pm 3. Business name: PRIVE 4. Provide details: Just walked past this place and there's a big group of a dozen people standing up, walking around and drinking on the balcony.	PS#: 8467437<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2635262250434%2C-123.126712272839&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=_OmTvWfoS4vRs-zUkzlRozl-IRU=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8467437<p/>	1	7/31/2020 7:37:59 PM	8/13/2020 9:25:29 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8467437 Agent Finished: Case Closed. Closed date : 2020-08-04 08:34:56.363 Assigned Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-08-13 09:25:28.933 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014235525	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	1. Violation type: Other COVID-related business concerns 2. Date and time the violation was observed: July 31 11:20 3. Business name: Prive 4. Provide details: People standing up, hanging out, not social distanced, mingling in this bar!	PS#: 8467690<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8467690<p/>	1	7/31/2020 11:21:52 PM	8/14/2020 11:02:33 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8467690 Agent Finished: Case Closed. Closed date : 2020-08-04 08:44:08.937 Duplicate Request Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-08-14 11:02:32.903 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014236929	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	1. Violation type: Restaurant or cafe not enforcing social distancing 2. Date and time the violation was observed: Aug 1st 10:00 pm 3. Business name: Prive 4. Provide details: customers standing, playing games, not social distanced.	PS#: 8470282<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8470282<p/>	1	8/1/2020 10:17:00 PM	8/14/2020 2:28:52 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8470282 Agent Finished: Case Closed. Closed date : 2020-08-04 10:13:59.603 Duplicate Request Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-08-14 14:28:51.863 Open311 Feedback Send Complete Status and Resolution Comment to PS case

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM

Case Creation Date: From 1/1/2020 To 8/16/2022

Case Status: Open

101014254268	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	1. Violation type: Restaurant or cafe not enforcing social distancing 2. Date and time the violation was observed: 12 AM 3. Business name: Prive Bar and grill 4. Provide details: crowding inside the bar, people not distancing, huddling, mingling, not seated.	PS#: 8513829<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8513829<p/>	1	8/8/2020 12:06:06 AM	8/14/2020 3:09:00 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8513829 Agent Finished: Case Closed. Closed date : 2020-08-10 09:36:56.493 Duplicate Request Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-08-14 15:08:59.927 Open311 Feedback Send Complete Status and Resolution Comment to PS case
101014264975	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 200-1001 W Broadway alias: 200-1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	1. Violation type: Restaurant or cafe not enforcing social distancing 2. Date and time the violation was observed: 2 AM 8/12/20 3. Business name: Prive Kitchen + Bar 4. Provide details: At least 15 people in kareoke rooms, this is a common occurance and happening nightly - they are constantly there until 4 or 5 AM. Footage posted by owner of the venue.	PS#: 8540951<p/>Click images below to expand<p/><img src='https://d17aqltn7cihbm.cloudfront.net/uploads/large_bc1522b43d464bcff2e14ca29607e34b' alt='imageurl' width='300' height='300'><p/>Click images below to expand<p/><a href='http://maps.googleapis.com/maps/api/staticmap?markers=49.263697%2C-123.127054&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=FLGYtXJvqL8kW3Sc3-oz-Ols4FY='><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.263697%2C-123.127054&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=FLG	1	8/12/2020 10:39:57 AM	8/14/2020 3:39:53 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8540951 Agent Finished: Case Closed. Closed date : 2020-08-12 16:05:48.113 Duplicate Request Randy Nijjer
 85482 Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-08-14 15:39:52.907 Open311 Feedback Send Complete Status and Resolution Comment to PS case

Eform Request Type: ***Temporary Expedited Patio Permit Case***

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014295748	1001		W BROADWAY		V6H 4B1		1. Topic: General inquiry 2. Are you a business owner or commercial property owner?: No 3. Provide business licence number: 4. Business name: 5. Provide details: s.22(1) would like to know if speakers are allowed on the patio. A karaoke bar at 1001 W Broadway was using speakers on the patio. s.22(1) noticed the noise on Sat, Aug 22 at 10:30 pm. The noise stopped at 11 pm. A PUI noise complaint case has s.22(1) concerns added. Case number is 101014295079. Please contact s.22(1) back to further advise if speakers are allowed on patios. 6. Caller's email address (this is department's prefered method for contacting the customer): s.22(1)		1	8/23/2020 1:21:00 PM	8/24/2020 2:37:00 PM	311 Contact Centre	Agent Created Case: Agent Updated Case Details: Reallocated to queue: ENG_PBS and Street Use - Temp Expedited Patio Permit Agent Updated Case Details: Reallocated to queue: 311 Contact Centre Reason for reallocation: Patio is not on city property, please reallocate to Property Use.
  Agent Took Ownership of Case: Agent Finished: Case Closed. Closed date : 2020-08-24 14:37:00.14 Directed to Another City Department

Eform Request Type: ***COVID-19 - Enforcement Request Case***

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014296399	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway #200 alias: 1001 W BROADWAY #200 full: 1001 W BROADWAY, VANCOUVER, BC	1. Type of violation: Report too many people inside a business 2. Where is the violation occurring: Private Property - Business 4. When was the violation observed: 08-23-2020 02:30 AM 5. If business is in violation, provide the business name: Prive Kitchen + Bar 6. If park or beach, provide name: 7. Provide details regarding the violation: Every night parties happening with kareoke rooms filled with at least 15 people stuffed together per small room. They are there loud until 4 or 5 am with the owner. Obscene and unsafe. This is off the very owners Instagram page!	PS Description: undefined<p/>PS#: 8612453<p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/8612453<p/>	1	8/23/2020 9:40:00 PM	8/31/2020 9:56:35 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID8612453 Agent Took Ownership of Case: Agent Finished: Case Closed Directed to Another City Department Sent to rob.waite@vancouver.ca Charlene.cranton@vancouver.ca Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2020-08-23 21:59:43.947 Open311 Feedback Send Complete Status and Resolution Comment to PS case Case Reopened: Complaint was dispatched to Rob Waite and Charlene Cranton on Aug 23, 2020 by 311 via email. Moving this case over to PUI's queue just to close off the loop. Agent Finished: Case Closed. Closed date : 2020-08-28 14:18:34.803 Assigned Andy Chifen 6628 and Mark Reed 7678 Case Reopened: Agent Finished: Case Closed. Closed date : 2020-08-31 09:56:34.993 Duplicate Request Randy Nijjer
 85482

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014417735	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W BROADWAY	1. Type of violation: Report too many people inside a business 2. Where is the violation occurring: Private Property - Business 3. Confirm address where violation is occurring: 1001 W BROADWAY 4. When was the violation observed: 6:45pm Sat Oct 3 5. If business is in violation, provide the business name: Prive 6. If park or beach, provide name: 7. Provide details regarding the violation: A party bus dropped off a group of 14 people and they were all allowed into Prive. 9. Your name: 10. Phone number: s.22(1) 11. Email address: 99. Attachments 0		1	10/3/2020 6:59:00 PM	10/5/2020 12:46:21 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID0 Agent Took Ownership of Case: Agent Finished: Reallocated to queue: DBL - Property Use Inspections Requires special attention Agent Finished: Case Closed. Closed date : 2020-10-05 12:46:21.003 Assigned Mike Bidwell
 87894
101014417859	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 west broadway	1. Type of violation: Report too many people inside a business 2. Where is the violation occurring: Private Property - Business 3. Confirm address where violation is occurring: 1001 west broadway 4. When was the violation observed: 930 pm 5. If business is in violation, provide the business name: Prive restaurant and bar 6. If park or beach, provide name: 7. Provide details regarding the violation: 13 people without masks in one group 9. Your name: 10. Phone number: s.22(1) 11. Email address: 99. Attachments 2
<a href="https://covagile.ds.city.vancouver.bc.ca/WebFor mAttachments/HomePage.aspx?CaseId=10101441785 9">View attachment(s)</a		1	10/3/2020 9:30:00 PM	10/3/2020 9:32:56 PM	Feedback	Agent Created Case: Public Stuff request id: PSID0 Agent Took Ownership of Case: Agent Finished: Case Closed. Closed date : 2020-10-03 21:32:55.943 Duplicate Request See 101014417856

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014436030	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W BROADWAY	1. Type of violation: Bar/pub open after 11 PM (unless providing meals) 2. Where is the violation occurring: Private Property - Business 3. Confirm address where violation is occurring: 1001 W BROADWAY 4. When was the violation observed: 11:15pm Friday Oct 9 5. If business is in violation, provide the business name: Prive 6. If park or beach, provide name: 7. Provide details regarding the violation: They kicked everyone out at 11pm and turned off the lights of the main room. At 11:15pm, a stretch limo dropped off 11 people. One went up to the main door and the rest went around to the back door to be let in. They appear to operating their private karaoke rooms after 11pm. There is often many cars parked out front and baby people leaving around 2 or 3am even though nothing else is open on that block. 9. Your name: 10. Phone number: s.22(1) 11. Email address: 99. Attachments 0		1	10/9/2020 11:25:00 PM	10/13/2020 11:23:33 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID0 Agent Took Ownership of Case: Agent Updated Case Details: Reallocated to queue: DBL - Property Use Inspections Agent Finished: Case released Agent Finished: Case Closed. Closed date : 2020-10-13 11:23:33.027 Assigned Mike Bidwell
 87894

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014486900	1001		W BROADWAY		V6H 4B1		1. Type of violation: Nightclub open 2. Location of violation: Private Property - Business 3. Confirm address (for webform only): 4. Provide the date (MM-DD-YYYY) and time (00:00 AM/PM) the violation was observed: Saturday night October 17, 2020 - close to 10 PM 5. If business, provide business name: Prive Kitchen + Bar (unit 200) 6. If park or beach, provide park or beach name: 7. Provide details: Citizen says there is a nightclub (on Oak and Broadway) that is operating during the pandemic. s.22(1) says apparently there is a certain phone number that people call to gain entrance through the back alleyway s.22(1) has heard this from other people so not sure how true this is etc.). s.22(1) says the club should be temporarily closed however Fridays and Saturdays (usually around 10 pm) they have piles of young people with no distancing and masks etc. s.22(1) s.22(1) and it is frustrating as they are young people who are doing this in their late 20's and early 30's. s.22(1) says people are already drunk who attend and citizen says s.22(1) so finds this very frustrating. 8. Neighbourhood: UNKNOWN 9. Contact name: 10. Contact number: 11. Email address:	s.22(1)	1	10/22/2020 12:42:00 PM	10/22/2020 2:11:19 PM	DBL - Property Use Inspections	Agent Created Case: Agent Updated Case Details: Reallocated to queue: Feedback Agent Took Ownership of Case: Agent Finished: Reallocated to queue: DBL - Property Use Inspections Requires special attention Agent Finished: Case Closed. Closed date : 2020-10-22 14:11:19.03 Duplicate Request Mike Bidwell
 87894

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014510918	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W BROADWAY	1. Type of violation: Bar/pub open after 11 PM (unless providing meals) 2. Where is the violation occurring: Private Property - Business 3. Confirm address where violation is occurring: 1001 W BROADWAY 4. When was the violation observed: October 24, 2020 5. If business is in violation, provide the business name: Prive Bar + Restaurant 6. If park or beach, provide name: 7. Provide details regarding the violation: s.22(1) went to a "Karaoke" which looked much more like a party. There was tons of alcohol and no distancing or masks. I'm 90% sure this was at Prive given their neon light sign "feed me feel me fuck me", which if you look on instagram, Prive has that exact sign published. There was also way more than 6 people 9. Your name: 10. Phone number: s.22(1) 11. Email address: 99. Attachments 1
<a href="https://covagile.ds.city.vancouver.bc.ca/WebFormAttachments/HomePage.aspx?CaseId=101014510918">View attachment(s)</a		1	10/31/2020 2:00:00 PM	11/2/2020 12:27:49 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID0 Agent Took Ownership of Case: Agent Updated Case Details: Reallocated to queue: DBL - Property Use Inspections Description updated to: Requires Special Attention Agent Finished: Case released Agent Finished: Case Closed. Closed date : 2020-11-02 12:27:49.267 Duplicate Request Mike Bidwell
 87894

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014511557	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 West Broadway	1. Type of violation: Bar/pub open after 11 PM (unless providing meals) 2. Where is the violation occurring: Private Property - Business 3. Confirm address where violation is occurring: 1001 West Broadway 4. When was the violation observed: 11pm Sat Oct 31 5. If business is in violation, provide the business name: Prive Nightclub 6. If park or beach, provide name: 7. Provide details regarding the violation: Many people are still in the nightclub after 11pm. A group of 8 people came outside around 10:45pm. One person was so drunk he couldn't walk by himself. s.22(1) several times and the group went back pm. There are often people leaving the club after 2am. 9. Your name: 10. Phone number: s.22(1) 11. Email address: 99. Attachments 0		1	10/31/2020 11:07:00 PM	11/2/2020 2:25:13 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID0 Agent Took Ownership of Case: Agent Updated Case Details: Reallocated to queue: DBL - Property Use Inspections Agent Finished: Case released Agent Finished: Case Closed. Closed date : 2020-11-02 14:25:12.683 Duplicate Request Mike Bidwell
 87894

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014522812	1001		W BROADWAY		V6H 4B1		1. Type of violation: Report too many people inside a business 2. Location of violation: Private Property - Business 3. Confirm address (for webform only): 4. Provide the date (MM-DD-YYYY) and time (00:00 AM/PM) the violation was observed: 1001 W Broadway 5. If business, provide business name: Prive 6. If park or beach, provide park or beach name: 7. Provide details: Despite multiple complaints nothing has changed. EVERY friday and Saturday night this business is jam packed. Caller has witnessed them sneaking in additional customers thru the back door. s.22(1) doesnt think any inspectors have visited the site if so what has been done? Small fine amounts are not going to deter these people. Please call s.22(1) and advise the steps being taken. 8. Neighbourhood: UNKNOWN 9. Contact name: 10. Contact number: 11. Email address:		1	11/5/2020 10:37:00 AM	11/5/2020 12:56:12 PM	DBL - Property Use Inspections	Agent Created Case: Agent Updated Case Details: Reallocated to queue: Feedback Agent Finished: Reallocated to queue: DBL - Property Use Inspections Incorrect queue Agent Finished: Case Closed. Closed date : 2020-11-05 12:56:11.823 Duplicate Request Mike Bidwell
 87894

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014529630	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 west Broadway	1. Type of violation: Other 2. Location of violation: Private Property - Business 3. Confirm address (for webform only): 1001 west Broadway 4. Provide the date (MM-DD-YYYY) and time (00:00 AM/PM) the violation was observed: Nov 7 5. If business, provide business name: Prive Kitchen and Bar 6. If park or beach, provide park or beach name: 7. Provide details: This business states that they don't rent karaoke rooms to more the 5 people they had a party with at least 15 and they also say they don't use microphones but they have microphones... photos were also posted at 1am and the guests were clearly being served alcohol... it was difficult to get a good screen shot as this was a video posted on Instagram with notorious anti covid party goers. 8. Neighbourhood: Fairview 9. Contact name: s.22(1) 10. Contact number: s.22(1) 11. Email address:		1	11/8/2020 9:54:00 AM	11/10/2020 9:41:39 AM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID0 Agent Took Ownership of Case: Agent Finished: Reallocated to queue: DBL - Property Use Inspections Incorrect queue Agent Finished: Case Closed. Closed date : 2020-11-10 09:41:38.503 Duplicate Request Mike Bidwell
 87894

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014530161	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W BROADWAY	1. Type of violation: Serving liquor after 10 PM 2. Where is the violation occurring: Private Property - Business 3. Confirm address where violation is occurring: 1001 W BROADWAY 4. When was the violation observed: November 7th, 2020 5. If business is in violation, provide the business name: Prive Kitchen & Bar 6. If park or beach, provide name: 7. Provide details regarding the violation: Karaoke birthday party, no covid protocol followed. Shared microphones, more than six people in a group. Served alcohol until around 1am. 9. Your name: 10. Phone number: 000-000-0000 11. Email address: 99. Attachments 2
<a href="https://covagile.ds.city.vancouver.bc.ca/WebFormAttachments/HomePage.aspx?CaseId=101014530161">View attachment(s)</a		1	11/8/2020 2:33:00 PM	11/10/2020 12:48:39 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID0 Agent Took Ownership of Case: Agent Finished: Reallocated to queue: DBL - Property Use Inspections Requires special attention Agent Finished: Case Closed. Closed date : 2020-11-10 12:48:39.077 Duplicate Request Mike Bidwell
 87894
101014658263	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 200-1001 West Broadway	1. Type of violation: Gathering of 50+ people 2. Where is the violation occurring: Private Property - Business 3. Confirm address where violation is occurring (including suite number, if applicable): 200-1001 West Broadway 4. When was the violation observed: 12/27 2:30 AM 5. Is the event or activity currently in progress? No 6. If business is in violation, provide the business name: Prive 7. If park or beach, provide name: 8. Provide details regarding the violation: Over 70+ in rooms, no masks being used by customers or staff. Staying open until 5 am serving liquor. Owner using elevator through the parkade to sneak people in and skirt Covid rules. 10. Your name: 11. Phone number: 5555555555 12. Email address: 99. Attachments 0		1	12/28/2020 9:14:00 AM	1/4/2021 1:15:27 PM	DBL - Property Use Inspections	Agent Created Case: Public Stuff request id: PSID0 Agent Took Ownership of Case: Agent Finished: Reallocated to queue: DBL - Property Use Inspections Incorrect queue Incident reported this morning at 9:14am that occured at 2:30am until 5am last night. Agent Finished: Case Closed. Closed date : 2021-01-04 13:15:26.68 Assigned Mike Bidwell
 7894

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014777163	1001		W BROADWAY		V6H 4B1		1. Type of violation: Bar/pub open after 11 PM (unless providing meals) 2. Location of violation: Private Property - Business 3. Confirm address (for webform only): 4. Provide the date (MM-DD-YYYY) and time (00:00 AM/PM) the violation was observed: 02/05/2021 5. If business, provide business name: Prive 6. If park or beach, provide park or beach name: 7. Provide details: Restaurant open passed 11pm and hosting parties of more than 6 people at a time. On the website it says that they are closed but they have a back door in the loading area that is unlocked. 8. Neighbourhood: Fairview 9. Contact name: 10. Contact number: 11. Email address:		1	2/5/2021 9:43:00 PM	2/8/2021 9:53:07 AM	DBL - Property Use Inspections	Agent Created Case: Agent Updated Case Details: Reallocated to queue: Feedback Agent Took Ownership of Case: Agent Finished: Reallocated to queue: DBL - Property Use Inspections Requires special attention Agent Finished: Case Closed. Closed date : 2021-02-08 09:53:07.247 Duplicate Request Mike Bidwell
 87894

LAGAN Business Intelligence

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014880723	1001		W BROADWAY		V6H 4B1		1. Type of violation: Restaurant/pub serving alcohol after 10 PM 2. Location of violation: Private Property - Business 3. Confirm address (for webform only): 4. Provide the date (MM-DD-YYYY) and time (00:00 AM/PM) the violation was observed: 03-12-2021 and 03-13-2021 until late night/early morning 5. If business, provide business name: Prive Kitchen and Bar 6. If park or beach, provide park or beach name: 7. Provide details: Prive Kitchen and Bar at Unit 200-1001 W. Broadway has been running what looks to be a nightclub every Friday and Saturday night for many months now. It goes on til the wee hours of the morning. Citizen is getting upset that s.22(1) eeps reporting it but nothing is being done. s.22(1) said that police or inspectors knocked on the front door once, but they keep it locked so nobody answered, so we just left. When police or inspectors knock on the front door, the patrons run out the back door into the alley to sneak out. Citizen is about to go to the news about this and will go to the Mayor and Premier to complain if we don't stop this illegal nightclub. s.22(1) wants a manager or supervisor to call s.22(1) know what steps are being taken. Please call s.22(1) Some previous case numbers are: 14674579, 14522812, 14486900 8. Neighbourhood:			1	3/18/2021 2:30:00 PM	3/19/2021 9:55:35 AM	DBL - Property Use Inspections	Agent Created Case: Agent Updated Case Details: Reallocated to queue: Feedback Agent Took Ownership of Case: Agent Finished: Reallocated to queue: DBL - Property Use Inspections Requires special attention Agent Finished: Case Closed. Closed date : 2021-03-19 09:55:34.983 Duplicate Request Analiza Abello-Lee
 87763

Eform Request Type: ***PUI Property Use Complaint Case***

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014439531	1001		W BROADWAY		V6H 4B1		1. Type of concern (if multiple concerns, select primary and provide details in question 2): Sign 2. If Other selected or there are multiple issues, provide details: 3. If Business or Home-based Business Licence or Business Concern - Marijuana-related issue selected, provide business name: 4. If Home-based Business Licence concern, provide details (e.g. business type, hours of operation, customers are coming on site): 5. If Illegal Suite, is the suite(s) tenanted? undefined 6. If Illegal Suite, do you believe the suite(s) could put someone's life in danger? undefined 7. If a Rental Unit concern selected, was the landlord advised of the issue? undefined 8. If Yes selected, what happened? 9. If Sign selected, provide sign size, wording or identifying details: 10. Caller's daytime phone number: via VanConnect 11. If VFRS reporting board-up ask: "Is it a vacant unsecure home that you have come across?" undefined 12. (Don't ask, just record - did caller indicate they want a call back?) No	PS ID 8901270 Case was previously directed to Street Activities. They advised: This signs in not on City property so street inspectors cannot enforce. Please send this complaint to property use. Link to picture: https://d17aqltn7cihbm.cloudfront.net/uploads/medium_73eb7dde9881445f69e0da03b03a54e0 Description: Not on city property, but improperly secured to the side of building and flapping in the wind. It is directly above the sidewalk.	1	10/13/2020 8:50:00 AM	10/15/2020 8:23:50 AM	DBL - Property Use Inspections	Agent Created Case: Agent Updated Case Details: Reallocated to queue: DBL - Property Use Inspections Agent Finished: Case Closed. Closed date : 2020-10-15 08:23:49.51 Assigned Mike Bidwell
 87894

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101015680505	1001		W BROADWAY		V6H 4B1		1. Type of concern (if multiple concerns, select primary and provide details in question 2): Parking Lot or Stall 2. If Other selected or there are multiple issues, provide details: 3. If Business or Home-based Business Licence or Business Concern - Marijuana-related issue selected, provide business name: 4. If Home-based Business Licence concern, provide details (e.g. business type, hours of operation, customers are coming on site): 5. If Illegal Suite, is the suite(s) tenanted? undefined 6. If Illegal Suite, do you believe the suite(s) could put someoneâ€™s life in danger? undefined 7. If a Rental Unit concern selected, was the landlord advised of the issue? undefined 8. If Yes selected, what happened? 9. If Sign selected, provide sign size, wording or identifying details: 10. Caller's daytime phone number: 11. If VFRS reporting board-up ask: "Is it a vacant unsecure home that you have come across?" undefined 12. (Don't ask, just record - did caller indicate they want a call back?) Yes 13. Confirm Property Address: 14. VFRS - Is this a board-up request?	Came in through Tell Us Online: s.22(1) s.22(1) of the building at 1001 W. Broadway. Next to one of the stalls is a step down to the next stall that has no visual cues. He didn't notice the elevation change, s.22(1) s.22(1) I don't think this is compliant with the building code. Please inspect ASAP before someone else injures themselves.	1	1/13/2022 1:54:00 PM	1/19/2022 2:35:28 PM	311 Contact Centre	Agent Created Case: Agent Updated Case Details: Reallocated to queue: DBL - Property Use Inspections Title updated to: Parking Lot or Stall Agent Finished: Case Closed. Closed date : 2022-01-17 16:33:18.94 Assigned Analiza Abello-Lee, Property Use Inspector
 87763 Case Reopened: Per Analiza Abello-Lee: Please reallocate to building inspections for comments. Thank you. Agent Took Ownership of Case: Agent Updated Case Details: Reallocated to queue: DBL - Inspections Reception General Description updated to: Redirected to Bldg Insp. Per PUI Agent Updated Case Details: Reallocated to queue: DBL - Property Use Inspections Reason for reallocation: this is not the building branch / S. Dyste Agent Updated Case Details: Reallocated to queue: 311 Contact Centre Reason for reallocation: This is not something PUI does and Building reallocated it back us as well. Please send to Engineering for comments.

Eform Request Type: ***Citizen Feedback Case***

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014674579	1001		W BROADWAY		V6H 4B1		1. Describe details (who, what, where, when, why): Citizen wants to make a complaint regarding the inspectors that do inspections for businesses regarding COVID issue. They expressed that they made a report to the department about the Prive Bar (at the above address). When the inspectors went (when they went this weekend) to inspect they knocked and when there was no response they just left. They also expressed that in their report that people are going through the back door but the inspectors went to the front door. Citizen expressed that this is not satisfactory and would like to speak to a supervisor in the department regarding this further. Citizen also said that they asked to be called back regarding their previous report but they have not been getting a call back so far as well. Citizen also wanted to express that they feel that the inspectors have been incompetent in performing their duties. 2. Type of feedback: Complaint 3. Feedback regarding: City Department 4. Department: Development, Building & Licensing 5. Division or Branch Name: Property Use Inspections 6. Were any other cases or service requests created as a result of this feedback? Yes 7. If Yes, provide case number(s) or other relevant details:		1	1/4/2021 3:53:00 PM	11/18/2021 4:02:51 PM	DBL - Property Use Feedback	Agent Created Case: Agent Updated Case Details: Reallocated to queue: Feedback Agent Took Ownership of Case: Agent Updated Case Details: Reallocated to queue: DBL - Property Use Feedback Description updated to: Requires Special Attention Agent Finished: Case released Agent Finished: Case Closed. Closed date : 2021-11-18 16:02:50.597 Acknowledged Darren Mitchell, Property Use Supervisor
 86432

Eform Request Type: ***Fire Reinspection Request for Firehall***

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101014711530	1001		W BROADWAY		V6H 4B1		1. Select firehall: 04 2. Select firehall shift: FPO 3. Will caller be providing site access for the reinspection? Yes 4a. Name: 4b. Phone number: 4c. Email address (if available): 5. Date of original inspection: 01/07/2021 6. Type of reinspection notification received: Unable to Inspect Premises 7. If Other selected, provide details: Prive Kitchen has received a notice stating that the crew was not able to inspect the premises. Although they would like to schedule an inspection, they are not currently open due to COVID. Please contact Linda as to how to proceed. 8. Provide property address: 9. Your name: 10. Contact number: 11. Email address:	2021/01/15 18:39:41 ~~ Karen Sidhu ~~ Please respond by email info@privevancouver.com
1	1/15/2021 6:35:00 PM	1/20/2021 7:17:14 AM	Firehall Reinspection 04	Agent Created Case: Agent Updated Case Details: Reallocated to queue: Firehall Reinspection 04 Title updated to: Fire Reinspection Request for Firehall - 04 - F Agent Finished: Case Closed. Closed date : 2021-01-20 07:17:13.64 Assigned FPO Wolf N

Eform Request Type: ***Street Cleaning & Debris Pickup Case***

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101015003008	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	1. Location: Street 3. Type of debris: Soil 4. Describe issue and location in detail: Prive restaurant left trees on the road. 11. (Don't ask, just record - did caller indicate they want a call back?) Unknown	PS#: 10004123<p/>Click images below to expand<p/><a s.22(1) [redacted] /a><p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.2637037%2C-123.1272154&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=1LO176lHk-4FZxd0mSqUaLiMNNk=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/10004123<p/>	1	5/5/2021 3:01:44 PM	5/12/2021 1:55:44 PM	Eng_Sanitation - Street Cleaning Services	Agent Created Case: Public Stuff request id: PSID10004123 Hansen Service Case Created / Updated: Hansen ServiceRequest Number : 1776817 created / updated at Wednesday, May 05, 2021 3:01:57 PM Hansen Service Request has been reviewed: Case reviewed on 2021-05-06 5:50:18 AM. Hansen an action has been scheduled: On 2021-05-06 5:50:18 AM an action has been scheduled for 2021-05-06 5:50:00 AM. Hansen Change in Comments: Comments: SR Forwarded to foreman. Added on 2021-05-06 5:52:26 AM. Service Provided: 10 - Service Provided. Completed. Resolved on 2021-05-11 12:00:00 AM. Agent Finished: Case Closed. Closed date : 2021-05-12 13:51:56.433 Service Provided 10 - Service Provided. Completed. Resolved on 2021-05-11 12:00:00 AM. Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2021-05-12 13:55:00.287 Open311 Feedback Send Complete Status and Resolution Comment to PS case

Eform Request Type: ***Snow and Ice Removal - Sidewalk Bylaw Violation***

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101015640755	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	1. Property type: Business 4. Condition of sidewalk: Not Shovelled 6. Date and time of incident: Jan 4 10:30am 7. (Don't ask, just record - did caller indicate they want a call back?): Unknown 8. Confirm property address: 1001 west broadway	PS Description: Side walkway along oak street downhill. Very icy and dangerous. No ice melt. Not shovelled<p/>PS#: 11333702<p/>Click images below to expand<p/><a s.22(1) [redacted] '><p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.263701%2C-123.127133&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=n_hASS4dZLc9p7gx7NqwZXoJhxo=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/11333702<p/>	1	1/4/2022 10:38:46 AM	1/4/2022 1:26:37 PM	Eng_Kent Construction Supplies and Services	Agent Created Case: Public Stuff request id: PSID11333702 Hansen Service Case Created / Updated: Hansen ServiceRequest Number : 1886621 created / updated at Tuesday, January 04, 2022 10:38:54 AM Hansen Service Case Created / Updated: Hansen ServiceRequest Number : 1886621 created / updated at Tuesday, January 04, 2022 10:39:34 AM Hansen an action has been scheduled: On 2022-01-04 10:42:16 AM an action has been scheduled for 2022-01-04 10:42:00 AM. Hansen Service Request has been reviewed: Case reviewed on 2022-01-04 10:42:16 AM. Service Provided: 10 - Service Provided. . Resolved on 2022-01-04 12:54:00 PM. Agent Finished: Case Closed. Closed date : 2022-01-04 12:58:17.04 Service Provided 10 - Service Provided. . Resolved on 2022-01-04 12:54:00 PM. Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2022-01-04 12:59:58.91 Open311 Feedback

CA13COV10 - eForm Detail Report by Address

Shows the detailed case information on selected eforms created within a time period and of a certain status

Date Run: Thursday, July 11, 2024 10:22:06 AM
Case Creation Date: From 1/1/2020 To 8/16/2022
Case Status: Open

101015650225	1001		W BROADWAY		V6H 4B1	app version: 2.31 orginal address: 1001 W Broadway alias: 1001 W BROADWAY full: 1001 W BROADWAY, VANCOUVER, BC	1. Property type: Business 4. Condition of sidewalk: Not Shovelled 6. Date and time of incident: Jan 6 2022 12:45pm 7. (Don't ask, just record - did caller indicate they want a call back?): Unknown 8. Confirm property address: 1001 west broadway	PS Description: Side walkway along oak street not cleared. <p/>PS#: 11347394<p/>Click images below to expand<p/><a s.22(1) [redacted] /a><p/>Click images below to expand<p/><img src='http://maps.googleapis.com/maps/api/staticmap?markers=49.263701%2C-123.127133&size=600x300&key=AIzaSyDchlJ_DVw7N-5SscsAxDhrf1hK1UYvXic&signature=n_hASS4dZLc9p7gx7NqwZXoJhxo=' alt='mapurl' width='300' height='300'><p/>http://www.publicstuff.com/request/view/11347394<p/>	1	1/6/2022 12:47:40 PM	1/8/2022 1:15:19 PM	Eng_Kent Construction Supplies and Services	Agent Created Case: Public Stuff request id: PSID11347394 Hansen Service Case Created / Updated: Hansen ServiceRequest Number : 1887967 created / updated at Thursday, January 06, 2022 12:47:48 PM Hansen Service Case Created / Updated: Hansen ServiceRequest Number : 1887967 created / updated at Thursday, January 06, 2022 12:48:39 PM Hansen Service Request has been reviewed: Case reviewed on 2022-01-07 8:51:41 AM. Hansen an action has been scheduled: On 2022-01-07 8:51:41 AM an action has been scheduled for 2022-01-07 8:51:00 AM. Service Provided: 10 - Service Provided. . Resolved on 2022-01-08 12:45:00 PM. Agent Finished: Case Closed. Closed date : 2022-01-08 12:51:16.377 Service Provided 10 - Service Provided. . Resolved on 2022-01-08 12:45:00 PM. Case Reopened: Reopened for Public Stuff Feedback Agent Finished: Case Closed. Closed date : 2022-01-08 12:54:49.2 Open311 Feedback

Classification Hierarchy - Type	Case ID	Location	Sub Type	Details	Channel	SLA Status	Create DateTime	Close DateTime	Case Queue	All Events	Case Latitude	Case Longitude
Noise on Private Property Case	201000121351	1001 W BROADWAY	People (excessive residential or party noise)	Location: 1001 W BROADWAYAdditional location details: People outside the Prive bar very loud. Yelling. Type of request: PUI noiseType of noise: People (excessive residential or party noise)Describe the noise and who is making it: People coming out of bar and yelling When/how often is it happening? Sine 6 pm to currentDid you speak to the person/company making the noise? NoDid you contact the police about your concern? NoProvide details: None	WEB	Attained - Case Closed	44836	44841	DBL_Property Use Inspections	10/1/2022 10:49:22 PM - empro-svc-account - Agent Created Case - 10/1/2022 10:49:31 PM - empro-svc-account - Agent Updated Case Details - Title updated to: Noise on Private Property Case - People (excessive residential or party noise) 10/7/2022 9:10:47 AM - XED5821 - Agent Finished - Case Closed. Closed date : Fri Oct 07 09:10:00 PDT 2022 Duplicate request Analiza Abello-Lee, Property Use Inspector 87763	49	-123
Noise on Private Property Case	201000700163	1001 W BROADWAY	Business (bar, restaurant, music, etc.)	Location: 1001 W BROADWAY Additional location details: Loud noise from spruce kitchen bar. Music plus people outside Type of request: PUI noise Type of noise: Business (bar, restaurant, music, etc.) Describe the noise and who is making it: People outside and loud music When/how often is it happening? First time this summer, but happened last summer Did you speak to the person/company making the noise? No Did you contact the police about your concern?	Mobile App	Attained - Case Closed	45109	45113	DBL_Property Use Inspections	7/1/2023 9:53:29 PM - empro-svc-account - Agent Created Case - 7/1/2023 9:53:50 PM - empro-svc-account - Agent Updated Case Details - Title updated to: Noise on Private Property Case - Business (bar, restaurant, music, etc.) 7/6/2023 10:24:11 AM - WEB1122 - Agent Finished - Case Closed. Closed date : Thu Jul 06 10:24:00 PDT 2023 Insufficient info Not enough information provided. Address of reception or contact information is required for Property Use to investigate this noise/light complaint.	49	-123
Noise on Private Property Case	201000121222	1001 W BROADWAY	Loud music	Location: 1001 W BROADWAYAdditional location details: 200-1001 west Broadway Type of request: PUI noiseType of noise: Loud musicDescribe the noise and who is making it: Very loud music When/how often is it happening? Every second weekend or soDid you speak to the person/company making the noise? NoDid you contact the police about your concern? NoProvide details: Hi , there is very loud music coming from this place every second weekend or so. I know several people in our building have previously been complaining about this to our strata. You can hear the music all the way to the alley past West Broadway	Mobile App	Attained - Case Closed	44836	44841	DBL_Property Use Inspections	10/1/2022 6:58:57 PM - empro-svc-account - Agent Created Case - 10/1/2022 6:59:09 PM - empro-svc-account - Agent Updated Case Details - Title updated to: Noise on Private Property Case - Loud music 10/7/2022 8:56:30 AM - XED5821 - Agent Finished - Case Closed. Closed date : Fri Oct 07 08:56:00 PDT 2022 Assigned to inspector Analiza Abello-Lee, Property Use Inspector 87763	49	-123
Noise on Private Property Case	201000134323	1001 W BROADWAY	People (excessive residential or party noise)	Location: 1001 W BROADWAYAdditional location details: Drunks outside Privé barType of request: PUI noiseType of noise: People (excessive residential or party noise)Describe the noise and who is making it: People going in and out of Privé bar every weekend until 2amWhen/how often is it happening? Every weekend until 2amDid you speak to the person/company making the noise? NoDid you contact the police about your concern? NoProvide details: Very loud people disturbing people trying to sleep	WEB	Attained - Case Closed	44842	44846	DBL_Property Use Inspections	10/7/2022 10:06:45 PM - empro-svc-account - Agent Created Case - 10/7/2022 10:07:02 PM - empro-svc-account - Agent Updated Case Details - Title updated to: Noise on Private Property Case - People (excessive residential or party noise) 10/12/2022 8:23:43 AM - XED5821 - Agent Finished - Case Closed. Closed date : Wed Oct 12 08:23:00 PDT 2022 Assigned to inspector Analiza Abello-Lee, Property Use Inspector 87763	49	-123

Noise on Private Property Case	201000134324	1001 W BROADWAY	People (excessive residential or party noise)	Location: 1001 W BROADWAYAdditional location details: Kitchen price barType of request: PUI noiseType of noise: People (excessive residential or party noise)Describe the noise and who is making it: People standing outside When/how often is it happening? Every weekend Did you speak to the person/company making the noise? NoDid you contact the police about your concern? YesProvide details: Very weekend there is a lot of noise from people standing outside going into this bar, they okay excessive music, please note lot of people around here s.22(1) and noise is nuisance. This business should not have a licence, as people are causing excessive noise standing outside late at night, not to mention loud music	Mobile App	Attained - Case Closed	44842	44846	DBL_Property Use Inspections	10/7/2022 10:11:22 PM - empro-svc-account - Agent Created Case - 10/7/2022 10:11:34 PM - empro-svc-account - Agent Updated Case Details - Title updated to: Noise on Private Property Case - People (excessive residential or party noise) 10/12/2022 8:32:31 AM - XED5821 - Agent Finished - Case Closed. Closed date : Wed Oct 12 08:32:00 PDT 2022 Duplicate request Analiza Abello-Lee, Property Use Inspector 87763	49	-123
Noise on Private Property Case	201000834619	1001 W BROADWAY	Loud music	Location: 1001 W BROADWAY Additional location details: Prive kitchen and bar Type of request: PUI noise Type of noise: Loud music Describe the noise and who is making it: Loud music and people standing yelling on the street When/how often is it happening? Every couple weeks. s.22(1) out they said they have a license. It’s extremely loud music noise, considering near by the hospital where people need to sleep to go to work Did you speak to the person/company making the noise? No	Mobile App	Attained - Case Closed	45172	45175	DBL_Property Use Inspections	9/2/2023 8:54:58 PM - empro-svc-account - Agent Created Case - 9/2/2023 8:55:06 PM - empro-svc-account - Agent Updated Case Details - Title updated to: Noise on Private Property Case - Loud music 9/5/2023 12:20:01 PM - pllav - Agent Finished - Case Closed. Closed date : Tue Sep 05 12:20:00 PDT 2023 Assigned to inspector Analiza Abello-Lee, Property Use Inspector - 87763	49	-123
Noise on Private Property Case	201000068361	1001 W BROADWAY	Business (bar, restaurant, music, etc.)	Location: 1001 W BROADWAYAdditional location details: 1001 West Broadway, unit 200Type of request: PUI noiseType of noise: Business (bar, restaurant, music, etc.)Describe the noise and who is making it: Very loud musicWhen/how often is it happening? Once in a while Did you speak to the person/company making the noise? NoDid you contact the police about your concern? NoProvide details: Hi , The music today is very loud s.22(1) s.22(1) where it’s comming from. I know there were previous concerns about this business from our building residents. s.22(1) s.22(1) s.22(1) . I didn’t call police as last time they said it would take about an hour for them to come.	Mobile App	Attained - Case Closed	44808	44814	DBL_Property Use Inspections	9/3/2022 7:53:53 PM - empro-svc-account - Agent Created Case - 9/3/2022 7:54:05 PM - empro-svc-account - Agent Updated Case Details - Title updated to: Noise on Private Property Case - Business (bar, restaurant, music, etc.) 9/9/2022 3:11:28 PM - XED5821 - Agent Finished - Case Closed. Closed date : Fri Sep 09 15:11:00 PDT 2022 Assigned to inspector Analiza Abello-Lee, Property Use Inspector 87763	49	-123

Noise Complaint

Case number: 101014068032 Case created: 2020-06-05, 09:45:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
group of 5-7 females making excessive noise at the entrance of bar (on the stairs). at least 1 is very intoxicated needing assistance walking down the stairs and the other girls are laughing and screaming.

3. When is it happening?*
around 9:30-40pm

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1001 W broadway

Additional Details

PS#: 8086497

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: Anonymous@Anonymous.ca
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

Noise Complaint

Case number: 101014068062 Case created: 2020-06-05, 11:44:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
There are a group of individuals gathering at the top of the stairs by the entrance of the Prive bar. They are creating a lot of noise--yelling, loud voices, laughing obnoxiously. This creates loud echoes due to the 'cave' like entrance.s.22(1) worker who has a early shift tomorrow morning)

3. When is it happening?*
11:30 and onwards

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1001 W broadway

Additional Details

PS#: 8086549

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: Anonymous@Anonymous.ca
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

History Report

As Of: Jul 11, 2024 16:09:56

Case File: CF-2020-007552: Closed

311 Case File Ref	101014068062
Brief Description	Patrons noise - yelling, loud voices, laughing x 2 complaints
Business License Number	
Completed Date	
Description	Case File CF-2020-007552: Closed (Noise By-law - Patrons noise - yelling, loud voices, laughing x 2 complaints) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Randy Nijjer
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Jun 8, 2020 11:42:39 by Ruby Parcon with outcome "Assigned")

Actual Start Date

Comments	
Date Completed	Jun 8, 2020 11:42:39
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Jun 8, 2020 11:42:34
Staff Assigned Id List	
Assignments	
Ruby Parcon	
Relationships	
Shadow Process: 124522466	
Referenced ObjectId	124522454

Perform Investigation (Completed on Jun 8, 2020 14:05:32 by Randy Nijjer, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	
Findings	June 8 2020 - No enforcement action required. Intoxicated individuals trespassing onto commercial property and disturbing the peace is a police matter.
Re-investigation Date	
Route Order	
Assignments	
Randy Nijjer, Property Use Inspector	

Relationships

Document: 124522557

Document: 124524136

Enforcement Stream: Property Use

Investigator: Randy Nijjer, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

PRIVE KITCHEN + BAR
WINTER HOURS

We will be open for lunch again in the spring.
Thank you and sorry for any inconvenience.

SUNDAY: 6PM - 1AM
MONDAY: 6PM - 1AM
TUESDAY: 6PM - 1AM
WEDNESDAY: 6PM - 1AM
THURSDAY: 6PM - 1AM
FRIDAY: 6PM - 2AM
SATURDAY: 6PM - 2AM

y of Vanc
Jun 18, 2020 at 2:48 PM

HOURS

MONDAY TO THURSDAY
6:00PM - 1:00AM

FRIDAY
6:00PM - 2:00AM

SATURDAY
6:00PM - 2:00AM

SUNDAY
6:00PM - 1:00AM

Property Use - COVID-19 Complaint

Case number: 101014089485 Case created: 2020-06-13, 11:49:00 AM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 200-1001 W Broadway

Request Details

1. Violation type:*
Restaurant or cafe not enforcing social distancing

2. Date and time the violation was observed:*
June 12,2020

3. Business name:*
Prive kitchen bar

4. Provide details:*
this place is a karaoke place. and there is absolutely zero social distancing measures being implemented. the staffs were all wearing their masks on their chin.

Additional Details

PS Description: undefined

PS#: 8133177

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

Property Use - COVID-19 Complaint

Case number: 101014089510 Case created: 2020-06-13, 11:58:00 AM Channel: VanConnect

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 200-1001 W Broadway

Request Details

1. Violation type:*
Restaurant or cafe not enforcing social distancing

2. Date and time the violation was observed:*
June 12, 2020

3. Business name:*
Prive kitchen bar

4. Provide details:*
this is a Karaoke place. the place was very crowded and zero distancing measures were being taken. people can buy shots directly at the bar in front like a club. the staffs all wore their mask on their chin.

Additional Details

PS#: 8133202

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

s.22(1)

Property Use - COVID-19 Complaint

Case number: 101014090498 Case created: 2020-06-14, 01:37:00 AM Channel: WEB

Incident Location

Address: 311 UNADDRESSED LOCATION, VANCOUVER, VAN 311
Address2:
Location name:
Original Address: 1001 W Broadway #200

Request Details

1. Violation type:*
Restaurant or cafe not enforcing social distancing

2. Date and time the violation was observed:*
1:30 AM, June 14

3. Business name:*
Prive Kitchen and Bar

4. Provide details:*
At least 60 people in the main area and one of the Kareoke rooms has over 20

Additional Details

PS#: 8134883

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

Property Use - COVID-19 Complaint

Case number: 101014090779 Case created: 2020-06-14, 11:31:00 AM Channel: WEB

Incident Location

Address: 311 UNADDRESSED LOCATION, VANCOUVER, VAN 311
Address2:
Location name:
Original Address: 1001 W Broadway #200

Request Details

1. Violation type:*
Restaurant or cafe not enforcing social distancing

2. Date and time the violation was observed:*
June 13th evening

3. Business name:*
Prive kitchen bar

4. Provide details:*
Party of 25 friends came in limo and all closely hung out in small karaoke room. Also crowding at bar

Additional Details

PS Description: undefined

PS#: 8135995

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: s.22(1)
Preferred contact method: Either

Case Notes

Photo

Property Use - COVID-19 Complaint

Case number: 101014111570 Case created: 2020-06-20, 09:34:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001w W Broadway

Request Details

1. Violation type:*
Restaurant or cafe not enforcing social distancing

2. Date and time the violation was observed:*
9pm on June 20

3. Business name:*
Prive

4. Provide details:*
Groups larger than 6 people and no separation between groups. Arcade games aren't sanitized between users.

Additional Details

PS#: 8182324

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

History Report

As Of: Jul 3, 2024 10:49:33

Case File: CF-2020-007881: Closed

311 Case File Ref	101014090779
Brief Description	COVID-19 Business Related Concerns Social Distancing - Prive Kitchen + Bar x 5 complaints
Business License Number	
Completed Date	
Description	Case File CF-2020-007881: Closed (License By-law - COVID-19 Business Related Concerns Social Distancing - Prive Kitchen + Bar x 5 complaints) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Randy Nijjer
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Jun 15, 2020 08:59:58 by Ruby Parcon with outcome "Assigned")

Actual Start Date	
Comments	
Date Completed	Jun 15, 2020 08:59:58
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Jun 15, 2020 08:59:53
Staff Assigned Id List	
Assignments	
Ruby Parcon	
Relationships	
Shadow Process: 124946570	
Referenced ObjectId	124946558

Perform Investigation (Completed on Jun 18, 2020 15:50:21 by Randy Nijjer, Property Use Inspector with outcome "Follow-up Investigation Scheduled")

Additional Instructions	
Comments	
Description	
Findings	June 15 2020 - PUI NIJJER as numerous complaints regarding Prive Kitchen and Bar. Prive is advertised as opening at 600pm. PUI NIJJER noticed it is open at 3pm on Thursday. PUI NIJJER to attend at 3pm. June 18 2020 - PUI NIJJER spoke with License department regarding the complaints received. The owner Ray has applied to change the type of restaurant. PUI NIJJER inquired about time of operation and the business should be closing. Maria from license department stated they should be closing between 12am and 1am. On the Prive website it states they are operating 6pm to 2am Friday and Saturday. PUI NIJJER contacted work safe BC and requested a call back. PUI NIJJER contacted Vancouver coastal health and spoke with Bryan Moore. PUI NIJJER requested a instigation be conducted into the restaurant due to the numerous complaints received regarding social distancing. Bryan Moore stated he would be looking into the matter. PUI NIJJER requested the inspection be conducted later in the evening. PUI NIJJER spoke with supervisor Mitchell and business license search revealed that the establishment should only be operating until 1am Friday and Saturday.

1311hrs PUI NIJJER received a call from Karl, from worksafe BC. PUI NIJJER provided Karl with the relevant information and requested a inspection be conducted at the premise.

1430hrs - PUI NIJJER received a call from Shannon MacDonald MacDonald from work safe BC. She has been the inspector assigned to the file. PUI NIJJER provided Shannon with relevant information.

1500hrs - PUI NIJJER attended site at approximately 1500hrs. PUI NIJJER spoke with Linda the manager regarding the social distancing complaints received. PUI NIJJER encouraged Linda to enforce social distancing among the customers. PUI NIJJER also observed a sign in front of the restaurant stating they operate until 2am Friday and Saturday. (Please see picture in documents) Inspector informed Linda that their current application has not been issued and that the business can only be open until 1am as per current business license. PUI informed Linda that work safe BC and Vancouver coastal Health has been contacted due to the influx of complaints regarding the establishment. Inspector notified Linda that the establishment will be placed on the nightly inspection list to make sure Prive is following its business license guidelines.

Re-investigation Date

Jun 22, 2020 00:00:00

Route Order

Assignments

Randy Nijjer, Property Use Inspector

Perform Investigation (Completed on Jun 22, 2020 17:17:06 by Randy Nijjer, Property Use Inspector with outcome "No Violation Found")

Additional Instructions

Comments

Description

Findings

Re-investigation Date

Route Order

Assignments

Randy Nijjer, Property Use Inspector

Relationships

Document: 124946836

Document: 124947307

Document: 124954425

Document: 124954706

Document: 125268023

Document: 125373120

Enforcement Stream: Property Use

Investigator: Randy Nijjer, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

Noise Complaint

Case number: 101014090478 Case created: 2020-06-13, 11:47:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
group of 7 people laughing and speaking loudly, some yelling, not leaving the bar entrance area causing a lot of excessive noise late at night. I'm a front line worker with an early shift and this is not acceptable. garbage is also all over the floor by the entrance

3. When is it happening?*
11:30pm

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1001 West broadway

Additional Details

PS Description: undefined

PS#: 8134776

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: Anonymous@Anonymous.ca
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

Noise Complaint

Case number: 101014090481 Case created: 2020-06-13, 11:56:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
Yelling, swearing, fighting, throwing objects

3. When is it happening?*
12:00AM

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1001 West Broadway, Vancouver, BC, Canada

Additional Details

PS#: 8134800

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: s.22(1)
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

Noise Complaint

Case number: 101014090500 Case created: 2020-06-14, 02:26:00 AM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
a large group of people entering a bar at 2:20AM, yelling and making a lot of noise; presumably intoxicated. disturbing people in the building and s.22(1) . some started popping balloons--s.22(1) .

3. When is it happening?*
2:20 AM

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1001 W Broadway

Additional Details

PS Description: undefined

PS#: 8134947

Contact Details

Name: s.22(1)
Address: ,
Address2:
Phone: s.22(1)
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

Noise Complaint

Case number: 101014090501 Case created: 2020-06-14, 03:15:00 AM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
a large group of individuals (at least 10) are standing on the stairs of the bar yelling and being obnoxiously loud.

3. When is it happening?*
3 am

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1001 W broadway

Additional Details

PS#: 8134953

Contact Details

Name:
Address: s.22(1) Vancouver,
Address2:
Phone: s.22(1) Email: Anonymous@Anonymous.ca
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

Noise Complaint

Case number: 101014093032 Case created: 2020-06-15, 11:46:00 AM Channel: Phone

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address:

Request Details

1. Type of noise:
Business (bar, restaurant, patio, patrons, music, etc.)

2. Describe the noise and who is making it (e.g. person or company name, garbage or recycling truck number, container bin number):
Via Chat: Patrons of Priv⌈ Kitchen and Bar (1001 West Broadway Unit 200 □ 1111539 BC Ltd.)
They have been very disruptive to the neighbourhood in terms of noise. My understanding is that they must be closed by 12am during the week, and 1am Friday to Saturday. They have been open longer than that on pretty much every night they're open. They appeared to close at 4am on Saturday. Their was a group of about 30 people hanging around their entrance, when several began pushing and fighting. They ended up fighting on the sidewalk and in the street, and a few people were punched to the ground and kicked while on the ground. The police ended up attending.

3. When is it happening?
4AM

4. How often is it happening?
Saturdays

6. Did you speak to the person or company making the noise?
No

8. Did you tell the police about your concern?
Not Applicable

11. (Don't ask, just record - did caller indicate they want a call back?)
Yes

Additional Details

Contact Details

Name: s.22(1)
Address: Vancouver, s.22(1)
Address2: s.22(1)
Phone: Email:
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

- no picture -

History Report

As Of: Jul 11, 2024 16:10:39

Case File: CF-2020-007939: Closed

311 Case File Ref	101014090478
Brief Description	patron noise, laughing, yelling, talking loudly, swearing, fighting, throwing objects x 5 complaints
Business License Number	
Completed Date	
Description	Case File CF-2020-007939: Closed (Noise By-law - patron noise, laughing, yelling, talking loudly, swearing, fighting, throwing objects x 5 complaints) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Randy Nijjer
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Jun 15, 2020 12:21:51 by Jennifer Holloway, Property Use Inspector with outcome "Assigned")

Actual Start Date	
Comments	
Date Completed	Jun 15, 2020 12:21:51
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Jun 15, 2020 12:21:27
Staff Assigned Id List	

Assignments

Jennifer Holloway, Property Use Inspector

Relationships

Shadow Process: 124981513

Referenced ObjectId	124981501

Perform Investigation (Completed on Jun 18, 2020 15:25:47 by Randy Nijjer, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	
Findings	Please see - CF-2020-007881. The noise is occurring outside the restaurant and the issue is regarding intoxicated individuals causing a disturbance. It is a Vancouver police matter. PUI spoke with Linda the manager regarding the noise complainants. The noise is occurring outside the restaurant and the issue is regarding intoxicated individuals causing a disturbance. It is a Vancouver police matter. PUI NIJJER requested from Linda to be mindful of patrons behavior because they are disturbing the neighborhood.
Re-investigation Date	
Route Order	

Assignments

Randy Nijjer, Property Use Inspector

Relationships

Document: 124981686

Document: 124981983

Document: 124982412

Document: 124982925

Document: 124983060

Enforcement Stream: Property Use

Investigator: Randy Nijjer, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

Noise Complaint

Case number: 101014110262 Case created: 2020-06-20, 01:47:00 AM Channel: WEB

Incident Location

Address: 210 W BROADWAY, Vancouver, V5Y 3W2
Address2: 202
Location name:
Original Address: 200 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
Yelling, fighting from Prive Kitchen Bar patrons

3. When is it happening?*
12:00AM-02:00AM

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
200-1001 West Broadway

Additional Details

PS#: 8179540

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: s.22(1)
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

Noise Complaint

Case number: 101014111603 Case created: 2020-06-20, 11:35:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
5 guys yelling and laughing at the door of the bar

3. When is it happening?*
11:30 pm

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1001 w broadway

Additional Details

PS#: 8182445

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: Anonymous@Anonymous.ca
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

Noise Complaint

Case number: 101014111616 Case created: 2020-06-21, 12:18:00 AM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
Yelling, shouting

3. When is it happening?*
12:00AM

6. Have you spoken with the person or company making the noise?*
Yes

10. Please verify address of the property:*
200-1001 West Broadway, Prive Kitchen Bar

Additional Details

PS#: 8182494

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: s.22(1)
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

History Report

As Of: Jul 11, 2024 16:11:17

Case File: CF-2020-008244: Closed

311 Case File Ref	101014110262
Brief Description	talking, yelling, fighting from patrons/staff x 3 complaints
Business License Number	
Completed Date	
Description	Case File CF-2020-008244: Closed (Noise By-law - talking, yelling, fighting from patrons/staff x 3 complaints) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Randy Nijjer
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Jun 22, 2020 08:25:33 by Jennifer Holloway, Property Use Inspector with outcome "Assigned")

Actual Start Date

Comments	
Date Completed	Jun 22, 2020 08:25:33
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Jun 22, 2020 08:25:05
Staff Assigned Id List	
Assignments	
Jennifer Holloway, Property Use Inspector	
Relationships	
Shadow Process: 125364129	
Referenced ObjectId	125364117

Perform Investigation (Completed on Jun 23, 2020 12:09:17 by Randy Nijjer, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	
Findings	June 22 2020 - Voicemail left for complainant to contact PUI. Voicemail left with Ray, the owner s.22(1) June 23 2020 - PUI NIJJER received a voice mail from complainant. PUI contacted complainant and spoke to s.22(1) regarding her complaints. Complainant stated that the patrons are coming from Prive and causing a disturbance on the sidewalk. PUI NIJJER advised to contact VPD non-emergency due to the fact the patrons are on the side walk causing a disturbance. PUI NIJJER informed complainant that the restaurant is on a nightly inspection list.
Re-investigation Date	
Route Order	
Assignments	
Randy Nijjer, Property Use Inspector	

Relationships

Document: 125364159

Document: 125365025

Document: 125365210

Enforcement Stream: Property Use

Investigator: Randy Nijjer, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

s.22(1)

Jun 30, 2020 at 11:57 PM

Noise Complaint

Case number: 101014133243 Case created: 2020-06-28, 01:39:00 AM Channel: VanConnect

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 200-1001 W Broadway

Request Details

1. Type of noise:
Peopleexcessiveresidentialorpartynoise

2. Describe the noise:*
Yelling customers gathered at the front door and on the steps before the door of the bar from 1am - 2am

3. When is it happening?*
1am-2am

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
200-1001 W Broadway

Additional Details

2020/06/28 02:11:59 ~~ Public Stuff ~~ Public Stuff comment: Continued past 2am, and continued to grow louder
PS#: 8234799

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: s.22(1)
Alt. Phone: Preferred contact method: Either

Case Notes

2020-06-28 09:11:59 Public Stuff
Public Stuff comment: Continued past 2am, and continued to grow louder

Photo

s.22(1)
s.22(1)

Noise Complaint

Case number: 101014134425 Case created: 2020-06-28, 09:26:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
numerous different groups of drunk people going in and out of the bar, yelling, obnoxious laughter, confrontations

3. When is it happening?*
12:00-1:30

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1001 west broadway

Additional Details

PS#: 8237711

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: Anonymous@Anonymous.ca
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

History Report

As Of: Jul 11, 2024 16:11:55

Case File: CF-2020-008657: Closed

311 Case File Ref	101014133243
Brief Description	Patrons noise x 2 complaints
Business License Number	
Completed Date	
Description	Case File CF-2020-008657: Closed (Noise By-law - Patrons noise x 2 complaints) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Randy Nijjer
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Jun 29, 2020 12:44:53 by Ruby Parcon with outcome "Assigned")

Actual Start Date

Comments	
Date Completed	Jun 29, 2020 12:44:53
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Jun 29, 2020 12:44:47
Staff Assigned Id List	
Assignments	
Ruby Parcon	
Relationships	
Shadow Process: 125775995	
Referenced ObjectId	125775983

Perform Investigation (Completed on Jul 1, 2020 00:25:45 by Randy Nijjer, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	
Findings	June 30 2020 - PUI NIJJER attended site at approximately 1157hrs. PUI did not observe any patrons outside the restaurant. PUI did observe two individuals talking to each other at the bottom of the stairs near the sidewalk but appeared to be citizens just having a causal conversation. They did not appear to be patrons of the restaurant. Please see picture reflecting this information.
Re-investigation Date	
Route Order	
Assignments	
Randy Nijjer, Property Use Inspector	

Relationships

Document: 125776027

Document: 125804014

Document: 125882785

Enforcement Stream: Property Use

Investigator: Randy Nijjer, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

Property Use - COVID-19 Complaint

Case number: 101014167774 Case created: 2020-07-09, 09:48:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Violation type:*
Restaurant or cafe not enforcing social distancing

2. Date and time the violation was observed:*
July 9 at 7pm

3. Business name:*
Prive

4. Provide details:*
There are large groups or 10-12 people on the patio here and no one is sanitizing the basketball arcade machine or any of the video games.

Additional Details

PS#: 8319621

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

Property Use - COVID-19 Complaint

Case number: 101014178221 Case created: 2020-07-14, 02:07:00 AM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway #200

Request Details

1. Violation type:*
Restaurant or cafe not enforcing social distancing

2. Date and time the violation was observed:*
I cannot provide an exact date because I saw this on a friends instagram story

3. Business name:*
Prive Kitchen Bar

4. Provide details:*
A video was posted from a private room at Prive Kitchen and Bar which is also a karaoke place. There were 13 people in a room not including the person filming the video. It's a bit unsafe having that many people in a room sitting side by side

Additional Details

PS#: 8344087

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

History Report

As Of: Jul 11, 2024 16:13:40

Case File: CF-2020-009215: Closed

311 Case File Ref	101014167774
Brief Description	COVID-19 Business Related Concerns Social Distancing - Prive Kitchen Bar x 2 complaints
Business License Number	
Completed Date	
Description	Case File CF-2020-009215: Closed (License By-law - COVID-19 Business Related Concerns Social Distancing - Prive Kitchen Bar x 2 complaints) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Randy Nijjer
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Jul 10, 2020 08:18:54 by Jennifer Holloway, Property Use Inspector with outcome "Assigned")

Actual Start Date	
Comments	
Date Completed	Jul 10, 2020 08:18:54
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Jul 10, 2020 08:18:29
Staff Assigned Id List	
Assignments	
Jennifer Holloway, Property Use Inspector	
Relationships	
Shadow Process: 126394745	
Referenced ObjectId	126394733

Perform Investigation (Completed on Jul 16, 2020 14:17:01 by Randy Nijjer, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	
Findings	July 16 2020 - Due to the numerous complaints received on site PUI NIJJER has contacted Vancouver Coastal Health. Vancouver Coastal Health informed PUI NIJJER that inspector had gone to the location, from PUI NIJJER's, previous request but the restaurant was closed. PUI NIJJER advised again to visit during the evening time because that is when the contravention occurs. She stated that they are planning to do nightly visits to bars and will included the restaurant on the list. It is still an open file with Vancouver Coastal Health.
Re-investigation Date	
Route Order	
Assignments	
Randy Nijjer, Property Use Inspector	

Relationships

Document: 126394782

Document: 126549575

Enforcement Stream: Property Use

Investigator: Randy Nijjer, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

From: Lahoda, Heather LCRB:EX
To: Nijjer, Randy; Joe, Cathy
Subject: [EXT] RE: 1001 West Broadway - Prive
Date: Friday, July 24, 2020 11:09:32 AM

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

Thanks Randy, I will contact him about his hours right now
~H~

From: Nijjer, Randy <Randy.Nijjer@vancouver.ca>
Sent: July 24, 2020 11:06 AM
To: Lahoda, Heather LCRB:EX <Heather.Lahoda@gov.bc.ca>; Joe, Cathy <cathy.joe@vancouver.ca>
Subject: RE: 1001 West Broadway - Prive

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hey Heather,

They've been advertising they are open later on their website and have taped a sign on their window with their hours of operation. (Please see attached). Although they state only 6 individuals per room I've seen from s.22(1) about 15+ in a room sitting side by side doing karaoke and taking shots of alcohol at the bar. Unfortunately, that evidence is admissible. Other than the COVID concerns, I've received noise complaints of drunk patrons causing a disturbance well into the early mornings. I can only allege that they are closing later based on the fact I'm receiving noise complaints regarding intoxicated patrons fighting and yelling 2am in the morning, that they are closing at 2am and not 1am. I've suggest to complainants to contact VPD regarding those noise complaints as well. Most concerns I've received have been Saturday nights.

Thanks
Randy Nijjer

From: Lahoda, Heather LCRB:EX [mailto:Heather.Lahoda@gov.bc.ca]
Sent: Friday, July 24, 2020 9:53 AM
To: Joe, Cathy
Cc: Nijjer, Randy
Subject: [EXT] RE: 1001 West Broadway - Prive

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

HI there,

I have worked with Raymond a few times on various issues but I've had no complaints, yet, about

PRIVE since they became an LP. To be honest, I wasn't sure he'd open as the basis of his business is Karaoke rooms and he will have to keep his groups to no larger than 6, all patrons must now be seated and there is no self service.
I know s.15(1) and I will ask them to pop in there if possible.
Randy, can you supply me with specific data, dates and times, where they are staying open later than they're supposed to be? The hours of operation on their license are Sun – Thursday 9am – Midnight, Fri & Sat 9am to 1am
Thanks very much
Stay safe
~H~

From: Joe, Cathy <cathy.joe@vancouver.ca>
Sent: July 23, 2020 5:07 PM
To: Lahoda, Heather LCRB:EX <Heather.Lahoda@gov.bc.ca>
Cc: Nijjer, Randy <Randy.Nijjer@vancouver.ca>
Subject: 1001 West Broadway - Prive

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Heather,

Our property use inspector Randy (cc'd) has been receiving complaints regarding the above. They recently switched from a Food Primary establishment with karaoke to Liquor Primary. As such, their hours were reduced from 9 am to 1 am, Sunday to Thursday to 9 am to 2 am, Friday and Saturday to 9 am to midnight, Sunday to Thursday and 9 am to 1 am, Friday and Saturday. Apparently they have been operating beyond those hours and are advertising the original later hours as per the complaints received (Randy can confirm). I'm not sure if you have dealt with Raymond (owner/operator) before s.22(3)(d) Just wondering if you have received complaints as well. Could you let us know please.

Thanks,

Cathy

Cathy Joe | Licence Coordinator, Liquor Licensing - Licence Office
Development, Buildings, & Licensing
City of Vancouver | 515 W 10th Ave
Vancouver | B.C. V5Z 4A8
(O) [604.871.6988]
cathy.joe@vancouver.ca

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Property Use - COVID-19 Complaint

Case number: 101014213739 Case created: 2020-07-24, 10:33:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Violation type:*
Restaurant or cafe not enforcing social distancing

2. Date and time the violation was observed:*
10:30 PM Jul 24, 2020

3. Business name:*
Prive

4. Provide details:*
no social distancing, customers standing and playing games

Additional Details

PS#: 8423509

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

Property Use - COVID-19 Complaint

Case number: 101014216115 Case created: 2020-07-26, 03:22:00 PM Channel: WEB

Incident Location

Address: 1004 W BROADWAY, Vancouver, V6H 1E6
Address2:
Location name:
Original Address: 995 W Broadway

Request Details

1. Violation type:*
Restaurant or cafe not enforcing social distancing

2. Date and time the violation was observed:*
July 25 10pm

3. Business name:*
prive

4. Provide details:*
People are not staying in there seats. Theyre playing video games and walking around and kareoke is still happening

Additional Details

PS#: 8428378

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

History Report

As Of: Jul 3, 2024 10:50:58

Case File: CF-2020-010110: Closed

311 Case File Ref	101014213739
Brief Description	COVID-19 Business Related Concerns Social Distancing - Prive Kitchen + Bar
Business License Number	
Completed Date	
Description	Case File CF-2020-010110: Closed (License By-law - COVID-19 Business Related Concerns Social Distancing - Prive Kitchen + Bar) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Randy Nijjer
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Jul 27, 2020 09:15:32 by Ruby Parcon with outcome "Assigned")

Actual Start Date	
Comments	
Date Completed	Jul 27, 2020 09:15:32
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Jul 27, 2020 09:15:18
Staff Assigned Id List	
Assignments	
Ruby Parcon	
Relationships	
Shadow Process: 127256129	
Referenced ObjectId	127256117

Perform Investigation (Completed on Jul 27, 2020 10:56:15 by Randy Nijjer, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	
Findings	July 27 2020 - PUI NIJJER has reached out to Vancouver coastal health regarding Prive. Vancouver Coastal Health will be placing Prive on their bar watch list and will be attending during the evening to make sure the business is following guidelines. PUI NIJJER has also reached out to the provincial liquor inspector regarding the business. Vancouver coastal health is in touch with work safe BC and will be including them in their investigation.
Re-investigation Date	
Route Order	
Assignments	
Randy Nijjer, Property Use Inspector	

Relationships

Document: 127256425

Document: 127267318

Document: 127270859

Enforcement Stream: Property Use

Investigator: Randy Nijjer, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

COVID-19 - Enforcement Request Case

Case number: 101014293367 Case created: 2020-08-21, 10:38:00 PM Channel: WEB

Incident Location

Address: 1004 W BROADWAY, Vancouver, V6H 1E6
Address2:
Location name:
Original Address: 995 W Broadway

Request Details

1. Type of violation:*
Other

2. Where is the violation occurring:*
Private Property - Business

4. When was the violation observed:*
friday night

5. If business is in violation, provide the business name:
prive

6. If park or beach, provide name:

7. Provide details regarding the violation:*
not everyone is sitting down and everyone is walking round playing their video games, basjetball and beer pong. also some tables have more than 6 people

Additional Details

PS#: 8606758

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

COVID-19 - Enforcement Request Case

Case number: 101014296399 Case created: 2020-08-23, 09:40:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway #200

Request Details

1. Type of violation:*
Report too many people inside a business

2. Where is the violation occurring:*
Private Property - Business

4. When was the violation observed:*
08-23-2020 02:30 AM

5. If business is in violation, provide the business name:
Prive Kitchen Bar

6. If park or beach, provide name:

7. Provide details regarding the violation:*
Every night parties happening with kareoke rooms filled with at least 15 people stuffed together per small room. They are there loud until 4 or 5 am with the owner. Obscene and unsafe. This is off the very owners Instagram page!

Additional Details

PS Description: undefined

PS#: 8612453

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

COVID-19 - Enforcement Request Case

Case number: 101014313308 Case created: 2020-08-28, 10:40:00 PM Channel: WEB

Incident Location

Address: 1004 W BROADWAY, Vancouver, V6H 1E6
Address2:
Location name:
Original Address: 1004 W Broadway

Request Details

1. Type of violation:*
Report too many people inside a business

2. Where is the violation occurring:*
Private Property - Business

4. When was the violation observed:*
08 28 2020 10:38pm

5. If business is in violation, provide the business name:
Nightclub

6. If park or beach, provide name:

7. Provide details regarding the violation:*
I'm walking by and I can see a bunch of people walking around playing games

8. Neighbourhood:

9. Confirm address where violation is occurring:*
1001 w broadway

10. Phone number:*
311

Additional Details

2020/08/28 22:43:17 ~~ Songyi Shin ~~ Emailed rob.waite@vancouver.ca
PS#: 8650222

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Email: Anonymous@Anonymous.ca
Alt. Phone:
Preferred contact method: Either

Case Notes

2020-08-29 05:43:17 Songyi Shin
Emailed rob.waite@vancouver.ca

Photo

Property Use - COVID-19 Complaint

Case number: 101014235350 Case created: 2020-07-31, 07:37:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001w W Broadway

Request Details

1. Violation type:*
Restaurant or cafe not enforcing social distancing

2. Date and time the violation was observed:*
july 31 @ 7pm

3. Business name:*
PRIVE

4. Provide details:*
Just walked past this place and there's a big group of a dozen people standing up, walking around and drinking on the balcony.

Additional Details

PS#: 8467437

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

Property Use - COVID-19 Complaint

Case number: 101014235525 Case created: 2020-07-31, 11:21:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Violation type:*
Other COVID-related business concerns

2. Date and time the violation was observed:*
July 31 11:20

3. Business name:*
Prive

4. Provide details:*
People standing up, hanging out, not social distanced, mingling in this bar!

Additional Details

PS#: 8467690

Contact Details

Name: s.22(1)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

Property Use - COVID-19 Complaint

Case number: 101014236929 Case created: 2020-08-01, 10:17:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Violation type:*
Restaurant or cafe not enforcing social distancing

2. Date and time the violation was observed:*
Aug 1st 10:00 pm

3. Business name:*
Prive

4. Provide details:*
customers standing, playing games, not social distanced.

Additional Details

PS#: 8470282

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

Property Use - COVID-19 Complaint

Case number: 101014254268 Case created: 2020-08-08, 12:06:00 AM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Violation type:*
Restaurant or cafe not enforcing social distancing

2. Date and time the violation was observed:*
12 AM

3. Business name:*
Prive Bar and grill

4. Provide details:*
crowding inside the bar, people not distancing, huddling, mingling, not seated.

Additional Details

PS#: 8513829

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

Property Use - COVID-19 Complaint

Case number: 101014264975 Case created: 2020-08-12, 10:39:00 AM Channel: VanConnect

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 200-1001 W Broadway

Request Details

1. Violation type:*
Restaurant or cafe not enforcing social distancing

2. Date and time the violation was observed:*
2 AM 8/12/20

3. Business name:*
Prive Kitchen Bar

4. Provide details:*
At least 15 people in kareoke rooms, this is a common occurance and happening nightly - they are constantly there until 4 or 5 AM. Footage posted by owner of the venue.

Additional Details

PS#: 8540951

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Alt. Phone:
Email: Anonymous@Anonymous.ca
Preferred contact method: Either

Case Notes

Photo

s.22(1)

Send message

History Report

As Of: Jul 11, 2024 16:14:33

Case File: CF-2020-010489: Closed

311 Case File Ref	101014235350
Brief Description	COVID-19 Business Related Concerns - PHO Inspection Social Distancing/tables have more than 6 people - Prive Kitchen + Bar x 8 complaints
Business License Number	
Completed Date	
Description	Case File CF-2020-010489: Closed (License By-law - COVID-19 Business Related Concerns - PHO Inspection Social Distancing/tables have more than 6 people - Prive Kitchen + Bar x 8 complaints) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Randy Nijjer, Property Use Inspector
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Aug 4, 2020 08:33:59 by Ruby Parcon with

outcome "Assigned")

Actual Start Date	
Comments	
Date Completed	Aug 4, 2020 08:33:59
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Aug 4, 2020 08:33:53
Staff Assigned Id List	
Assignments	
Ruby Parcon	
Relationships	
Shadow Process: 127615778	
Referenced ObjectId	127615765

Perform Investigation (Completed on Aug 25, 2020 10:49:28 by Randy Nijjer, Property Use Inspector with outcome "Follow-up Investigation Scheduled")

Additional Instructions	
Comments	
Description	
Findings	August 23 2020- PUI NIJJER spoke with PUI REED. PUI REED stated that they attended site and did not observe any contraventions. They spoke with the owner who stated they were only doing private parties.
Re-investigation Date	Aug 28, 2020 00:00:00
Route Order	
Assignments	
Randy Nijjer, Property Use Inspector	

Perform Investigation (Completed on Aug 27, 2020 13:52:13 by Randy Nijjer, Property Use Inspector with outcome "Follow-up Investigation Scheduled")

Additional Instructions	
Comments	
Description	

Findings	August 25 2020 - COVID 19 exposure notice issued for restaurant. Potential exposure date(s): August 3, 6, 7, 8, 15, 16, and 17 Potential exposure time: During operating hours https://bc.ctvnews.ca/covid-19-exposure-notice-issued-for-vancouver-karaoke-bar-1.5079221
Re-investigation Date	Aug 29, 2020 00:00:00
Route Order	
Assignments	
Randy Nijjer, Property Use Inspector	

Perform Investigation (Completed on Sep 28, 2020 13:18:23 by Randy Nijjer, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	
Findings	No further complaints received. File to be concluded.
Re-investigation Date	
Route Order	
Assignments	
Randy Nijjer, Property Use Inspector	

Relationships

Document: 127615833

Document: 127616778

Document: 127625653

Document: 127931206

Document: 128142327

Document: 129125399

Document: 129455008

Document: 129468554

Enforcement Stream: Property Use

Investigator: Randy Nijjer, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

Noise Complaint

Case number: 101014235763 Case created: 2020-08-01, 10:03:00 AM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
drunk individuals yelling, screaming loudly

3. When is it happening?*
11pm-12 am

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1001 W broadway

Additional Details

PS#: 8468663

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: Anonymous@Anonymous.ca
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

Noise Complaint

Case number: 101014236930 Case created: 2020-08-01, 10:19:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
multiple groups of people entering and exiting the building, staying at the entrance making a lot of noise at Prive kitchen bar

3. When is it happening?*
10pm onwards

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1001 W broadway

Additional Details

PS#: 8470285

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: Anonymous@Anonymous.ca
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

Noise Complaint

Case number: 101014254269 Case created: 2020-08-08, 12:07:00 AM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
groups of people going in and out of this building being extremely disruptive and loud--screaming!

3. When is it happening?*
12 am

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1001 W broadway

Additional Details

PS#: 8513831

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: Anonymous@Anonymous.ca
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

Noise Complaint

Case number: 101014295079 Case created: 2020-08-22, 10:25:00 PM Channel: VanConnect

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
Speakers off the deck of the Prive Kareoke bar. Extremely loud. We were notified when the city was approving this bar application there would be no speakers on the patio

3. When is it happening?*
10:20 pm , Thursday through Saturday

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
Prive, Ste 200, 1001 West Broadway

Additional Details

2020/08/23 13:20:03 ~~ Sonia Lotay ~~s.22(1) , also called to report that a karaoke bar had loud music with speakers going on along with yelling and shouting on the patio on Aug 22. s.22(1) noticed it around 10:30 pm. The noise stopped at 11 pm.
PS#: 8609860

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: s.22(1)
Alt. Phone: Preferred contact method: Either

Case Notes

2020-08-23 20:20:03 Sonia Lotay
s.22(1) also called to report that a karaoke bar had loud music with speakers going on along with yelling and shouting on the patio on Aug 22. He noticed it around 10:30 pm. The noise stopped at 11 pm. A separate Temporary Expedited Patio Permit case has been created for s.22(1) He wants to know if speakers are allowed on the patio. Case number is 101014295748.

Photo

From: "Hicks, Sarah" <Sarah.Hicks@vancouver.ca>
To: "Miyaji, Koji" <Koji.Miyaji@vancouver.ca>
"McLellan, Mark" <Mark.McLellan@vancouver.ca>
Date: 8/6/2020 10:40:08 AM
Subject: RE: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

Sounds good to me.

Sarah Hicks | Deputy Chief Licence Inspector, Licence Office Manager
Licence Office | City of Vancouver
sarah.hicks@vancouver.ca
(t) 604-873-7546
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From: Miyaji, Koji
Sent: Thursday, August 06, 2020 9:57 AM
To: McLellan, Mark; Hicks, Sarah
Subject: RE: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

One minor edit s.13(1) [redacted] If your Ok with this addition, I will forward to Jessie for her direction.

Cheers

s.13(1)
[redacted]

s.13(1)

[redacted]

Regards,

Koji Miyaji
Assistant Director, Community Standards
Deputy Chief License Inspector
Development, Buildings & Licensing
City of Vancouver | 515 W 10th Ave
Vancouver, B.C. V5Z 4A8
(604) 829 9711
koji.miyaji@vancouver.ca

From: McLellan, Mark
Sent: Thursday, August 6, 2020 9:34 AM
To: Hicks, Sarah; Miyaji, Koji
Subject: RE: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

Thanks Sarah, my inspector has reached out again to the Liquor Inspector, will follow up with VPD and I've also flagged it for VCH once again.

Some minor suggestions below

s.13(1)

[redacted]

s.13(1)

Regards,

From: Hicks, Sarah
Sent: Thursday, August 6, 2020 9:13 AM
To: Miyaji, Koji; McLellan, Mark
Subject: RE: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

Koji & Mark – I've only just become aware of the recent complaints related to Prive as I was cc'd on the email from the client. We knew there were concerns prior to going to Council with the liquor primary application, but the owner had added security and complaints had stopped. In terms of licence enforcement, i.e. licence suspension, I generally consider that after PUI have done what they can and aren't gaining compliance or if it is a serious issue. We can certainly discuss the details of the complaints and determine whether or not it is time for us to have that kind of meeting with this establishment. Mark, if you believe a discussion like this is warranted, please let me know.

In terms of operating hours, how this can be addressed will depend on when the complaints came in. Prior to receiving their final liquor licence approval from the Province on June 2, 2020, they were a Restaurant –Class 2 with liquor. What that means is that they can operate 24 hrs a day, the only restric on is on when they serve alcohol – excerpt from the by-law is below.

Once he became a liquor primary, he had to limit his hours to those that are printing on his liquor licence. The hours he received are those that Council endorsed for the licence which are Standard Hours Establishments:

- 11:00 am to 12:00 am, Sunday to Thursday
- 11:00 am to 1:00 am, Friday and Saturday

If there are violations against the terms of the liquor licence, generally the most successful method of enforcement is from the Province. They have fines in the $10,000 range for viola ng terms of their licence. I've dra ed a poten al response email below.

Licence By-law 4450
Restaurants
24.3 (1) DELETED
(2) Council prohibits live entertainment in a Restaurant – Class 1 or Restaurant – Class 2 a er 1:00 a.m. and before 9 a.m.
(3) The owner or operator of a restaurant – class 1 with liquor service or restaurant – class 2 with liquor service must:
(a) not serve, or allow the serving of, liquor to any customer between:
(i) 1 a.m. and 9 a.m. on Monday to Friday, and
(ii) 2 a.m. and 9 a.m. on Saturday or Sunday;
(b) not allow liquor on tables between:
(i) 1:30 a.m. and 9 a.m. on Monday to Friday, and
(ii) 2:30 a.m. and 9 a.m. on Saturday or Sunday;

A possible draft response if you like.

s.13(1)

s.13(1)

[redacted]

Regards,

Sarah Hicks | Deputy Chief Licence Inspector, Licence Office Manager
Licence Office | City of Vancouver
sarah.hicks@vancouver.ca
(t) 604-873-7546
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From: Miyaji, Koji
Sent: Wednesday, August 05, 2020 1:57 PM
To: McLellan, Mark; Hicks, Sarah
Subject: RE: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

Thanks for this Mark. Do we not have the ability to enforce from a licensing standpoint on their hours of operation? And perhaps noise? Are we looking at enforcing from that perspective at all? I realize there are COVID issues which the VCH and WOrksafe will look into.

Koji Miyaji
Assistant Director, Community Standards
Deputy Chief License Inspector
Development, Buildings & Licensing
City of Vancouver| 515 W 10th Ave
Vancouver, B.C. V5Z 4A8
(604) 829 9711
koji.miyaji@vancouver.ca

From: McLellan, Mark
Sent: Wednesday, August 5, 2020 12:45 PM

To: Miyaji, Koji; Hicks, Sarah
Subject: RE: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

Update – July 27 CF Notes - VCH will be placing Prive on their bar watch list and will be a ending during the evening to make sure the business is following guidelines. PUI has also reached out to the provincial liquor inspector regarding the business. VCH is in touch with work safe BC and will be including them in their investigation.

Mark

From: McLellan, Mark
Sent: Wednesday, August 5, 2020 12:27 PM
To: Miyaji, Koji; Hicks, Sarah
Subject: RE: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

We have 2 ac ve CFs for this operator (CF-2020-010489/CF-2020-010543), noise and COVID. I'm just trying to find the email, but I believe we also referred this to VCH for follow up at some point.

Mark

From: Miyaji, Koji
Sent: Wednesday, August 5, 2020 12:13 PM
To: McLellan, Mark; Hicks, Sarah
Subject: FW: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

Hi Folks,

I just received this from Jessie, via Sadhu. Can I ask you both to see what we can find out is going on with this business. We will need to report back next steps as well. Can I hear something back by EOD today so I can give Jessie and update.

Thank you

Koji Miyaji
Assistant Director, Community Standards
Deputy Chief License Inspector
Development, Buildings & Licensing
City of Vancouver| 515 W 10th Ave
Vancouver, B.C. V5Z 4A8
(604) 829 9711
koji.miyaji@vancouver.ca

From: Adcock, Jessie
Sent: Wednesday, August 5, 2020 11:16 AM
To: Miyaji, Koji
Cc: Brar, Gurv; Okell, Corrie (DBL); Holm, Kathryn; Solyom, Anne
Subject: FW: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

Hi Koji,

Can you please look into this for me and report back with an update on any next steps?

Thanks,
Jessie

Jessie Adcock | General Manager
Development, Buildings and Licensing | City of Vancouver
515 West 10th Ave, Vancouver, BC, V5Z 4A8

jessie.adcock@vancouver.ca
604.873.7160

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website VanConnect twitter facebook Talk Vancouver LinkedIn Instagram 3-1-1

The City of Vancouver acknowledges that it is situated on the unceded traditional territories of the Musqueam, Squamish, and Tsleil-Waututh peoples.

From: Johnston, Sadhu
Sent: Wednesday, August 5, 2020 11:13 AM
To: Adcock, Jessie
Subject: FW: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

Over to you.
s.

Sadhu Aufochs Johnston | City Manager
City of Vancouver | 453 W 12th Avenue
Vancouver | BC V5Y 1V4
604.873.7627 | Sadhu.johnston@vancouver.ca
Twitter: sadhuajohnston

From: Bligh, Rebecca
Sent: Wednesday, August 05, 2020 9:40 AM
To: Johnston, Sadhu
Subject: FW: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

Hi Sadhu,

Flagging this email from a concerned resident.

Rebecca

Councillor Rebecca Bligh
CITY OF VANCOUVER
453 W. 12 Ave., Vancouver, BC V5Y 1V4
E: CLRbligh@vancouver.ca P:604-873-7249
Twitter @rebeccaleebligh

Assistant

Sarah Basi
E: sarah.basi@vancouver.ca
T: 604-871-6712

From: s.22(1)
Sent: Monday, August 3, 2020 12:05 PM
To: Liquor Comments Review (COV); Hicks, Sarah; Stewart, Kennedy; Carr, Adriane; Bligh, Rebecca; Boyle, Christine; De Genova, Melissa; Dominato, Lisa; Fry, Pete; Hardwick, Colleen; Kirby-Yung, Sarah; Swanson, Jean; Wiebe, Michael
Subject: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

Hello,

I am writing to you again in regards to Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

Their liquor license conditions state: "Standard Hours of operation limited to 11 am to 12 am, Sunday to Thursday, and 11 am to 1 am, Friday and Saturday, for a minimum of six months".

They are consistently open until 2, 3 or 4am. It is very common s.22(1) to be woken up by a group of loud drunk people yelling on the street between 2:30am and 3:30am. There was a large group of people fighting on the street last month at 4am, which VPD responded to.

They seem to keep their private karaoke rooms open later than the main bar area. They also seem to be funneling customers out a back door in an effort to avoid detection. However, their customers all gather on Broadway to wait for Uber/Lyft and park on Broadway as well.

They have previously been advertising their hours as "3pm to late", but are now even advertising via social media that they are staying open until 1am this Sunday and Monday (Aug 2 and 3). I have attached an image to this email.

In addition, they are now violating the following provincial health order concerning bars and nightclubs: https://www2.gov.bc.ca/assets/gov/health/about-bc-s-health-care-system/office-of-the-provincial-health-officer/covid-19/covid-19-pho-order-nightclubs-food-drink.pdf [gov.bc.ca]

Among the violations of this order, they have been

- Seating large tables of over 6 people ("There must be no more than six patrons seated at a table or booth, even if they belong to the same party.")
- Allowing people to walk around to play video and arcade games, including beer pong ("Patrons must remain seated except to use a self- serve station, use washroom facilities or leave the premises.")
- Still having karaoke.("Patrons must not sing, engage in Karaoke or dance on the premises.")

There are a number of videos and photographs on social media (especially Instagram) showing these violations. I have attached an image to this email of a post by a customer of Prive detailing some of these violations.

They seem to have no regard for their neighbours, City bylaws, provincial health orders, or the safety of their staff and customers.

I am disappointed that Prive has been allowed to operate in this manner for so long in spite of their repeated liquor license violations, provincial health order violations, complaints from neighbours, and police/fire/ambulance activity. They must have been given fair warning by now, and still don't want to play by the rules. What does it actually take to have a liquor license revoked?

Thank you,

s.22(1)

From: "McLellan, Mark" <Mark.McLellan@vancouver.ca>
To: "Ritson, Mark (VCH)" <mark.ritson@vch.ca>
CC: "Nijjer, Randy" <Randy.Nijjer@vancouver.ca>
"McLellan, Mark" <Mark.McLellan@vancouver.ca>
Date: 8/5/2020 12:48:12 PM
Subject: FW: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)
Attachments: 2020 08 01 Prive.jpg
2020 08 03 Prive Review.png

Hello Mark,

I believe we've flagged the operator at 1001 W Broadway in earlier emails to VCH, but as noted in the email below, we have received a recent complaint through our Mayor and Council. Further, we have also received the following 10 complaints through 311 since May 30, 2020.

Case #	Date Created	Type of Concern	Business Name	Location Details	Case Details
101014048321	5/30/2020 11:21:59 PM	Food Services violating Provincial Health Order	Prive kitchen and bar	1001 W BROADWAY V6H 4B1	People over capacity. No ID checking, alcohol beverages provided to those under 19
101014068069	6/6/2020 12:35:35 AM	Food Services violating Provincial Health Order	Prive	1001 W BROADWAY V6H 4B1	Completely over capacity
101014089485	6/13/2020 11:49:39 AM	Food Services violating Provincial Health Order	Prive kitchen+ bar	1001 W BROADWAY V6H 4B1	this place is a karaoke place. and there is absolutely zero social distancing measures being implemented. the staffs were all wearing their masks on their chin.
101014089510	6/13/2020 11:58:18 AM	Food Services violating Provincial Health Order	Prive kitchen + bar	1001 W BROADWAY V6H 4B1	this is a Karaoke place. the place was very crowded and zero distancing measures were being taken. people can buy shots directly at the bar in front like a club. the staffs all wore their mask on their chin.
101014111570	6/20/2020 9:34:47 PM	Food Services violating Provincial Health Order	Prive	1001 W BROADWAY V6H 4B1	Groups larger than 6 people and no separation between groups. Arcade games aren't sanitized between users.
101014167774	7/9/2020 9:48:44 PM	Food Services violating Provincial Health Order	Prive	1001 W BROADWAY V6H 4B1	There are large groups or 10-12 people on the patio here and no one is sanitizing the basketball arcade machine or any of the video games.
101014178221	7/14/2020 2:07:32 AM	Food Services violating Provincial Health Order	Prive Kitchen + Bar	1001 W BROADWAY V6H 4B1	A video was posted from a private room at Prive Kitchen and Bar which is also a karaoke place. There were 13 people in a room not including the person filming the video. It's a bit unsafe having that many people in a room sitting side by side
101014213739	7/24/2020 10:33:48 PM	Food Services violating Provincial Health Order	Prive	1001 W BROADWAY V6H 4B1	no social distancing, customers standing and playing games
101014235350	7/31/2020 7:37:59 PM	Food Services violating Provincial Health Order	PRIVE	1001 W BROADWAY V6H 4B1	Just walked past this place and there's a big group of a dozen people standing up, walking around and drinking on the balcony.
101014236929	8/1/2020 10:17:00 PM	Food Services violating Provincial Health Order	Prive	1001 W BROADWAY V6H 4B1	customers standing, playing games, not social distanced.

The big challenges from a PHO perspective appear to be overcapacity, lack of sanitizing, karaoke, patrons standing/walking around and a general lack of social distancing measures.

Any updates on your end?

Thanks,

Mark

From: s.22(1)
Sent: Monday, August 3, 2020 12:05 PM
Subject: Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

Hello,

I am writing to you again in regards to Privé Kitchen and Bar (1001 West Broadway Unit 200 – 1111539 BC Ltd.)

Their liquor license conditions state: "Standard Hours of operation limited to 11 am to 12 am, Sunday to Thursday, and 11 am to 1 am, Friday and Saturday, for a minimum of six months".

They are consistently open until 2, 3 or 4am. It is very common for s.22(1) to be woken up by a group of loud drunk people yelling on the street between 2:30am and 3:30am. There was a large group of people fighting on the street last month at 4am, which VPD responded to.

They seem to keep their private karaoke rooms open later than the main bar area. They also seem to be funneling customers out a back door in an effort to avoid detection. However, their customers all gather on Broadway to wait for Uber/Lyft and park on Broadway as well.

They have previously been advertising their hours as "3pm to late", but are now even advertising via social media that they are staying open until 1am this Sunday and Monday (Aug 2 and 3). I have attached an image to this email.

In addition, they are now violating the following provincial health order concerning bars and nightclubs: https://www2.gov.bc.ca/assets/gov/health/about-bc-s-health-care-system/office-of-the-provincial-health-officer/covid-19/covid-19-pho-order-nightclubs-food-drink.pdf [gov.bc.ca]

Among the violations of this order, they have been

- Seating large tables of over 6 people ("There must be no more than six patrons seated at a table or booth, even if they belong to the same party.")
- Allowing people to walk around to play video and arcade games, including beer pong ("Patrons must remain seated except to use a self- serve station, use washroom facilities or leave the premises.")
- Still having karaoke.("Patrons must not sing, engage in Karaoke or dance on the premises.")

There are a number of videos and photographs on social media (especially Instagram) showing these violations. I have attached an image to this email of a post by a customer of Prive detailing some of these violations.

They seem to have no regard for their neighbours, City bylaws, provincial health orders, or the safety of their staff and customers.

I am disappointed that Prive has been allowed to operate in this manner for so long in spite of their repeated liquor license violations, provincial health order violations, complaints from neighbours, and police/fire/ambulance activity. They must have been given fair warning by now, and still don't want to play by the rules. What does it actually take to have a liquor license revoked?

Thank you,

s.22(1)

privevancouver
WE ARE OPEN SUNDAY & MONDAY
FOR THE LONG WEEKEND!
3PM - 1AM
Join us for a refreshing strawberry
mojito on the patio
Send message

Most Recent
PRIVÉ Kitchen + Bar

s.22(1) [redacted] ollow
Bar

Liked by **deliciouslyydelicious** and **others**

s.22(1) [redacted] 📍 Privé

This review is gonna be a long one. I will start off with good. This place is very cute with a really nice patio and fun games and karaoke rooms to use. Potentially an awesome place to come and have fun with your friends in the West Broadway area. Precovid I could see myself coming here for a good time with friends. However, last night I didn't feel that enough social distancing measures were in place. Too many people walking around and playing games close together. Staff were not wearing masks properly (my servers mask was not covering her nose properly). I will not be coming back here until after covid. My food and my friends foods experience was also very disappointing. Again, come here to play games and play karaoke I, but not eat. I ordered the spaghetti and opted to add on meat balls. My food came out missing the meatballs, no big deal mistakes happen and my server took it back to the kitchen. However, my proper order took extremely long to come back out to me and when it did arrive it was cold which was unacceptable but I was too hungry at this point to wait for them to make the dish again. Another issue here is that the staff seemed very uneducated on what was vegan and not on the menu. My friend is vegan so we were having a hard time figuring out what to order her. Our server was very unsure about certain items and when asked to check with the kitchen she came back and said we think this is vegan but arent sure. Again, unacceptable. Restaurants need to know what ingredients are in the food. My friend opted just for french fries because of the uncertainty so if youre vegan this menu is not for you. On top of this her french fries were also cold. I dont like to focus on all the negatives when I visit restaurants but there were too many mishaps with our food experience here for us not to. Again I think this place has a lot of potential as the vibe is great and I like the concept of having games and karaoke, however the food aspect needs significant improvement as well as server food education and covid regulations need to be taken more seriously. I also noticed inconsistent temp checking among guests. Some were checked and some werent.

s.22(1) [redacted] #vancouverfoodie #vancouver #yvreats #Vancouvereats #yvrfoodie #foodie #yvrfood #food #yum #yvr #vancityeats #vancityfoodie #vancity #604 #604eats #eatcouver #nomnomyvr #instafood #food

History Report

As Of: Jul 3, 2024 11:17:25

Case File: CF-2020-010543: Closed

311 Case File Ref	101014235763
Brief Description	Patrons/patio noise - drunk individuals yelling, screaming loudly x 4 complaints
Business License Number	
Completed Date	
Description	Case File CF-2020-010543: Closed (Noise By-law - Patrons/patio noise - drunk individuals yelling, screaming loudly x 4 complaints) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Randy Nijjer, Property Use Inspector
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Aug 4, 2020 16:06:06 by Ruby Parcon with outcome "Assigned")

Actual Start Date

Comments	
Date Completed	Aug 4, 2020 16:06:06
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Aug 4, 2020 16:05:59
Staff Assigned Id List	
Assignments	
Ruby Parcon	
Relationships	
Shadow Process: 127674536	
Referenced ObjectId	127674524

Perform Investigation (Completed on Aug 4, 2020 17:16:48 by Randy Nijjer, Property Use Inspector with outcome "Follow-up Investigation Scheduled")

Additional Instructions	
Comments	
Description	
Findings	August 4 2020 - PUI NIJJER left a voicemail with complainant requesting a call back with a vpd file number so PUI NIJJER may follow up with VPD and then take appropriate action.
Re-investigation Date	Aug 5, 2020 00:00:00
Route Order	
Assignments	
Randy Nijjer, Property Use Inspector	

Perform Investigation (Completed on Aug 19, 2020 14:15:35 by Randy Nijjer, Property Use Inspector with outcome "Follow-up Investigation Scheduled")

Additional Instructions	
Comments	
Description	
Findings	August 6 2020 - PUI NIJJER reached out to VPD and requested information regarding VPD visits this year.. PUI NIJJER received the follow response regarding the property.

#200 – 1001 W. Broadway
June 7: call in at 0255hrs of many people out front of the karaoke bar. VPD arrived on scene at 0335hrs and did not find any noise.

Re-investigation Date

Aug 17, 2020 00:00:00

Route Order

Assignments

Randy Nijjer, Property Use Inspector

Perform Investigation (Completed on Aug 19, 2020 14:19:08 by Randy Nijjer, Property Use Inspector with outcome "Follow-up Investigation Scheduled")

Additional Instructions

Comments

Description

Findings

August 17 2020 - PUI NIJJER reached out to Heather the Liquor and Cannabis inspector in the region and informed her of the concerns PUI NIJJER had regarding operating beyond the allowed hours. Heather stated she had spoken to the business owner. Heather also also attended the site 1230am to 230am on a Saturday and did not observe any contraventions please e-mail thread in e-mail.

Re-investigation Date

Aug 26, 2020 00:00:00

Route Order

Assignments

Randy Nijjer, Property Use Inspector

Perform Investigation (Completed on Aug 24, 2020 16:26:45 by Randy Nijjer, Property Use Inspector with outcome "Follow-up Investigation Scheduled")

Additional Instructions

Comments

Description

Findings

August 22 2020 - PUI NIJJER attended site at approximately 1030hrs. Inspectors did not observe any noise.

August 24 2020 - PUI NIJJER spoke with complainant s.22(1) regarding the complainant submitted over the weekend. PUI NIJJER informec s.22(1) that PUI NIJJER and co worker were in the area exactly wher s.22(1) submitted a complaint but did not hear any music. s.22(1) stated that they must have turned off the music. PUI NIJJER informed s.22(1) that PUI NIJJER will enter into restaurant to verify alleged complaints for next night inspection.

Re-investigation Date

Aug 29, 2020 00:00:00

Route Order

Assignments

Randy Nijjer, Property Use Inspector

Perform Investigation (Completed on Aug 25, 2020 11:04:01 by Randy Nijjer, Property Use Inspector with outcome "Follow-up Investigation Scheduled")

Additional Instructions

Comments

Description

Findings

August 23 2020- PUI NIJJER spoke with PUI REED. PUI REED stated that they attended site, on Sunday August 23 2020, and did not observe any contraventions. They spoke with the owner who stated they were only doing private parties.

Re-investigation Date

Aug 28, 2020 00:00:00

Route Order

Assignments

Randy Nijjer, Property Use Inspector

Perform Investigation (Completed on Sep 3, 2020 11:47:23 by Randy Nijjer, Property Use Inspector with outcome "Follow-up Investigation Scheduled")

Additional Instructions

Comments

Description

Findings

August 28 2020 - PUI NIJJER was informed by PUI CRANTON that she had attended site and did not observe anything of concern while on site. The establishment wasn't very busy and was complying with PHO.

August 31 2020 - PUI NIJJER received an anonymous complaint. The complainant stated they had walked by the establishment and observed individuals walking around. It is impossible to view the establishment from a street level. In order to gain access into the restaurant patrons have to go up a set of stairs.

Re-investigation Date

Sep 12, 2020 00:00:00

Route Order

Assignments

Randy Nijjer, Property Use Inspector

Perform Investigation (Completed on Sep 28, 2020 13:18:42 by Randy Nijjer, Property Use Inspector with outcome "No Violation Found")

Additional Instructions

Comments

Description

Findings

No further complaints received. File to be concluded.

Re-investigation Date

Route Order

Assignments

Randy Nijjer, Property Use Inspector

Relationships

Document: 127674589

Document: 127691949

Document: 127725813

Document: 127798973

Document: 127958499

Document: 129067805

Enforcement Stream: Property Use

Investigator: Randy Nijjer, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

COVID-19 - Enforcement Request Case

Case number: 101014417735 Case created: 2020-10-03, 06:59:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W BROADWAY

Request Details

1. Type of violation:*
Report too many people inside a business

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring:*
1001 W BROADWAY

4. When was the violation observed:*
6:45pm Sat Oct 3

5. If business is in violation, provide the business name:
Prive

6. If park or beach, provide name:

7. Provide details regarding the violation:*
A party bus dropped off a group of 14 people and they were all allowed into Prive.

9. Your name:

10. Phone number:*
s.22(1)

11. Email address:

99. Attachments
0

Additional Details

Contact Details

Name: s.22(1)
Address: Vancouver, s.22(1)
Address2:
Phone: s.22(1) Email:
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014417856 Case created: 2020-10-03, 09:26:00 PM Channel: WEB

Incident Location

Address: 311 UNADDRESSED LOCATION, VANCOUVER, VAN 311
Address2:
Location name:
Original Address: 1001 west broadeay

Request Details

1. Type of violation:*
Report too many people inside a business

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring:*
1001 west broadeay

4. When was the violation observed:*
9pm

5. If business is in violation, provide the business name:
Prive restaurant and bar

6. If park or beach, provide name:

7. Provide details regarding the violation:*
Groups of more than 6 at tables. One group of 8-10 people at one table

9. Your name:

10. Phone number:*
s.22(1)

11. Email address:

99. Attachments
1

Additional Details

2020/10/03 21:32:32 ~~ Radu_(Brad) Pop ~~ Sent to Reed, Mark <mark.reed@vancouver.ca>

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email:
Alt. Phone: Preferred contact method: Either

Case Notes

2020-10-04 04:32:32 Radu_(Brad) Pop
Sent to Reed, Mark <mark.reed@vancouver.ca>

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014417906 Case created: 2020-10-03, 11:24:00 PM Channel: WEB

Incident Location

Address: 311 UNADDRESSED LOCATION, VANCOUVER, VAN 311
Address2:
Location name:
Original Address: 1001 west Broadway #200

Request Details

1. Type of violation:*
Bar/pub open after 11 PM (unless providing meals)

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring:*
1001 west Broadway #200

4. When was the violation observed:*
Right now

5. If business is in violation, provide the business name:
Prive kitchen and bar

6. If park or beach, provide name:

7. Provide details regarding the violation:*
I saw lights coming from Broadway street at that unit as well as photo on social media. Found out from s.22(1) s.22(1) that he opens for private parties after hours only.

9. Your name:
s.22(1)

10. Phone number:*
s.22(1)

11. Email address:
s.22(1)

99. Attachments
0

Additional Details

Contact Details

Name: s.22(1)
Address: ,
Address2:
Phone: s.22(1) Email: s.22(1)
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

- no picture -

History Report

As Of: Jul 11, 2024 16:15:45

Case File: CF-2020-013955: Closed

311 Case File Ref	101014417735
Brief Description	COVID-19 - Enforcement Request - PHO Inspection Group of 14 people and they were all allowed inside - Prive Kitchen + Bar x 3 complaints
Business License Number	
Completed Date	
Description	Case File CF-2020-013955: Closed (License By-law - COVID-19 - Enforcement Request - PHO Inspection Group of 14 people and they were all allowed inside - Prive Kitchen + Bar x 3 complaints) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Mike Bidwell, Property Use Inspector
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Notes

General Note (Unlocked)	1001 W Broadway – Prive - We spoke with the manager of Prive due to a 311 complaint.

	One table had 8 people standing and sitting and several others standing in a corner. We told her to ensure staff enforce all Covid regulations as enacted by PHO. She is aware and said she will do her best but it is not easy because staff are busy. I told her to hire more staff to enforce if needed or reduce number of patrons; it wasn't very busy at the time. I advised we will check back regularly. NOTE: A second complaint came in later but we were unable to attend a second time. (Last updated on Oct 7, 2020 07:58:27 by Mike Bidwell, Property Use Inspector)
Processes	
Assign Investigation (Completed on Oct 5, 2020 12:45:45 by Ruby Parcon with outcome "Assigned")	
Actual Start Date	
Comments	
Date Completed	Oct 5, 2020 12:45:45
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Oct 5, 2020 12:45:40
Staff Assigned Id List	
Assignments	
Ruby Parcon	
Relationships	
Shadow Process: 131480549	
Referenced ObjectId	131480537
Perform Investigation (Completed on Oct 7, 2020 07:58:35 by Mike Bidwell, Property Use Inspector with outcome "No Violation Found")	
Additional Instructions	
Comments	
Description	
Findings	1001 W Broadway – Prive - We spoke with the manager of Prive due to a 311 complaint. One table had 8 people standing and sitting and several others standing in a corner. We told her to ensure staff enforce all Covid regulations as enacted by PHO. She is aware and said she will do her best but it is not easy because staff are busy. I told her to hire more staff to enforce if needed or reduce number of patrons; it wasn't very busy at the time. I advised we will check back regularly. NOTE: A second complaint came in later but we were unable to attend a second time.

Re-investigation Date

Route Order

Assignments

Mike Bidwell, Property Use Inspector

Relationships

Document: 131480564

Document: 131508701

Document: 131508878

Enforcement Stream: Property Use

Investigator: Mike Bidwell, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

COVID-19 - Enforcement Request Case

Case number: 101014436030 Case created: 2020-10-09, 11:25:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W BROADWAY

Request Details

1. Type of violation:*
Bar/pub open after 11 PM (unless providing meals)

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring:*
1001 W BROADWAY

4. When was the violation observed:*
11:15pm Friday Oct 9

5. If business is in violation, provide the business name:
Prive

6. If park or beach, provide name:

7. Provide details regarding the violation:*
They kicked everyone out at 11pm and turned off the lights of the main room. At 11:15pm, a stretch limo dropped off 11 people. One went up to the main door and the rest went around to the back door to be let in. They appear to operating their private karaoke rooms after 11pm. There is often many cars parked out front and baby people leaving around 2 or 3am even though nothing else is open on that block.

9. Your name:

10. Phone number:*
s.22(1)

11. Email address:

99. Attachments
0

Additional Details

Contact Details

Name: s.22(1)
Address: Vancouver, s.22(1)
Address2:

Phone: s.22(1)
Alt. Phone:

Email:
Preferred contact method: Either

Case Notes

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014486900 Case created: 2020-10-22, 12:42:00 PM Channel: Phone

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address:

Request Details

1. Type of violation:
Nightclub open

2. Location of violation:
Private Property - Business

4. Provide the date (MM-DD-YYYY) and time (00:00 AM/PM) the violation was observed:
Saturday night October 17, 2020 - close to 10 PM

5. If business, provide business name:
Prive Kitchen Bar (unit 200)

7. Provide details:
Citizen says there is a nightclub (on Oak and Broadway) that is operating during the pandemic. s.22(1) says apparently there is a certain phone number that people call to gain entrance through the back alleyway s.22(1) has heard this from other people so not sure how true this is etc.) s.22(1) says the club should be temporarily closed however Fridays and Saturdays (usually around 10 pm) they have piles of young people with no distancing and masks etc.

s.22(1) and it is frustrating as they are young people who are doing this in their late 20's and early 30's. s.22(1) says people are already drunk who attend and citizen says s.22(1) so finds this very frustrating.

8. Neighbourhood:
UNKNOWN

Additional Details

s.22(1)

Contact Details

Name: s.22(1)
Address: ,
Address2:
Phone: s.22(1) Email:
Alt. Phone: Preferred contact method: None

Case Notes

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014492898 Case created: 2020-10-24, 08:19:00 PM Channel: WEB

Incident Location

Address: 311 UNADDRESSED LOCATION, VANCOUVER, VAN 311
Address2:
Location name:
Original Address: 1001 W Broadway #200

Request Details

1. Type of violation:*
Serving liquor after 10 PM

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring:*
1001 W Broadway #200

4. When was the violation observed:*
Every weekendm

5. If business is in violation, provide the business name:
Prive kitchen and bar

6. If park or beach, provide name:

7. Provide details regarding the violation:*
Open every night from 10pm till 4am. Every room is packed with 30 people. Use the back door for entrance after 10pm.

9. Your name:
s.22(1)

10. Phone number:*
s.22(1)

11. Email address:
s.22(1)

99. Attachments
0

Additional Details

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Email: s.22(1)
Alt. Phone:
Preferred contact method: Either

Case Notes

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014492909 Case created: 2020-10-24, 08:51:00 PM Channel: WEB

Incident Location

Address: 311 UNADDRESSED LOCATION, VANCOUVER, VAN 311
Address2:
Location name:
Original Address: 1001 W BROADWAY #200

Request Details

1. Type of violation:*
Serving liquor after 10 PM

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring:*
1001 W BROADWAY #200

4. When was the violation observed:*
Every weekend

5. If business is in violation, provide the business name:
Prive kitchen and bar

6. If park or beach, provide name:

7. Provide details regarding the violation:*
They open from 10pm till late (4am) serving alcohol all night. They have karaoke rooms full with 30 people per room.

9. Your name:
s.22(1)

10. Phone number:*
s.22(1)

11. Email address:
s.22(1)

99. Attachments
0

Additional Details

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone:
Email: s.22(1)
Alt. Phone:
Preferred contact method: Either

Case Notes

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014510918 Case created: 2020-10-31, 02:00:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W BROADWAY

Request Details

1. Type of violation:*
Bar/pub open after 11 PM (unless providing meals)

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring:*
1001 W BROADWAY

4. When was the violation observed:*
October 24, 2020

5. If business is in violation, provide the business name:
Prive Bar Restaurant

6. If park or beach, provide name:

7. Provide details regarding the violation:*
s.22(1) went to a "Karaoke" which looked much more like a party. There was tons of alcohol and no distancing or masks. I'm 90% sure this was at Prive given their neon light sign "feed me feel me fuck me", which if you look on instagram, Prive has that exact sign published. There was also way more than 6 people

9. Your name:

10. Phone number:*
s.22(1)

11. Email address:

99. Attachments
1

Additional Details

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email:

Alt. Phone: Preferred contact method: Either

Case Notes

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014511557 Case created: 2020-10-31, 11:07:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 West Broadway

Request Details

1. Type of violation:*
Bar/pub open after 11 PM (unless providing meals)

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring:*
1001 West Broadway

4. When was the violation observed:*
11pm Sat Oct 31

5. If business is in violation, provide the business name:
Prive Nightclub

6. If park or beach, provide name:

7. Provide details regarding the violation:*
Many people are still in the nightclub after 11pm. A group of 8 people came outside around 10:45pm. One person was so drunk he couldn't walk by himself. s.22(1) several times and the group went back inside at 11pm. There are often people leaving the club after 2am.

9. Your name:

10. Phone number:*
s.22(1)

11. Email address:

99. Attachments
0

Additional Details

Contact Details

Name: s.22(1)
Address: Vancouver, s.22(1)
Address2:
Phone: s.22(1) Email:

Alt. Phone: Preferred contact method: Either

Case Notes

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014522812 Case created: 2020-11-05, 10:37:00 AM Channel: Phone

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address:

Request Details

1. Type of violation:
Report too many people inside a business

2. Location of violation:
Private Property - Business

4. Provide the date (MM-DD-YYYY) and time (00:00 AM/PM) the violation was observed:
1001 W Broadway

5. If business, provide business name:
Prive

7. Provide details:
Despite multiple complaints nothing has changed.

EVERY friday and Saturday night this business is jam packed. Caller has witnessed them sneaking in additional customers thru the back door. s.22(1) doesnt think any inspectors have visited the site, and if so what has been done? Small fine amounts are not going to deter these people.

Please call s.22(1) and advise the steps being taken.

8. Neighbourhood:
UNKNOWN

Additional Details

Contact Details

Name: s.22(1)
Address: ,
Address2:
Phone: s.22(1)
Alt. Phone:
Email:
Preferred contact method: Either

Case Notes

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014529630 Case created: 2020-11-08, 09:54:00 AM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 west Broadway

Request Details

1. Type of violation:
Other

2. Location of violation:
Private Property - Business

3. Confirm address (for webform only):
1001 west Broadway

4. Provide the date (MM-DD-YYYY) and time (00:00 AM/PM) the violation was observed:
Nov 7

5. If business, provide business name:
Prive Kitchen and Bar

7. Provide details:
This business states that they don't rent karaoke rooms to more the 5 people they had a party with at least 15 and they also say they don't use microphones but they have microphones... photos were also posted at 1am and the guests were clearly being served alcohol... it was difficult to get a good screen shot as this was a video posted on Instagram with notorious anti covid party goers.

8. Neighbourhood:
Fairview

9. Contact name:
s.22(1)

10. Contact number:
s.22(1)

11. Email address:
s.22(1)

Additional Details

Contact Details

Name: s.22(1)
Address: ,
Address2:
Phone: s.22(1) Email: s.22(1)
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014530161 Case created: 2020-11-08, 02:33:00 PM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W BROADWAY

Request Details

1. Type of violation:*
Serving liquor after 10 PM

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring:*
1001 W BROADWAY

4. When was the violation observed:*
November 7th, 2020

5. If business is in violation, provide the business name:
Prive Kitchen & Bar

6. If park or beach, provide name:

7. Provide details regarding the violation:*
Karaoke birthday party, no covid protocol followed. Shared microphones, more than six people in a group. Served alcohol until around 1am.

9. Your name:

10. Phone number:*
000-000-0000

11. Email address:

99. Attachments
2

Additional Details

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: 000-000-0000 Email:
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

- no picture -

From: "Raymond Huynh" s.22(1)
To: "Bidwell, Mike" <mike.bidwell@vancouver.ca>
Date: 11/13/2020 2:59:42 PM
Subject: [EXT] Re: Complaints - Prive Kitchen and Bar # 200 1001 W Broadway n

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

Hey Mike,

I spoke to my manager and she said she had a call with you last week? Or was it another inspector? She assured me that there are no guests coming in after hours, can you tell me what the most recent complaints are? Are you sure they're coming from our business? I may have to go myself to investigate further.

Thanks for your help.

Ray

From: Bidwell, Mike <mike.bidwell@vancouver.ca>
Sent: Thursday, November 12, 2020 7:43 AM
To: s.22(1)
Subject: FW: Complaints - Prive Kitchen and Bar # 200 1001 W Broadway n

Hello Raymond, The City continues to receive more complaints. Any feedback from meeting with your staff ? Thank You.

From: Bidwell, Mike
Sent: Monday, October 26, 2020 2:58 PM
To: 'Raymond Huynh'
Subject: RE: Complaints - Prive Kitchen and Bar # 200 1001 W Broadway n

1. October 9th - Complaint-after11 PM, People arrived in limousine seen going in through entrance into Prive from back alley.
2. October 11th - Complaint -Lots of Young people seen going into Prive entrance from back alley after 10 Pm
3. October 26 - complaint - Received today drinks being served after 10Pm till 4 am ? Approx 30 Peaple in Room, let in Rear Door.

Please Advise Thanks Mike.

From: Raymond Huynh [mailto s.22(1)
Sent: Friday, October 23, 2020 1:56 PM
To: Bidwell, Mike
Subject: [EXT] Re: Complaints - Prive Kitchen and Bar # 200 1001 W Broadway n

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

Hey Mike,

Thanks for your email, I have a meeting with my managers today. Can you give me details and dates about the complaints again so that I can go through it with my staff? Thanks for your time!

Ray Huynh

From: Bidwell, Mike <mike.bidwell@vancouver.ca>
Sent: Thursday, October 22, 2020 4:22 PM
To:s.22(1)
Subject: Complaints - Prive Kitchen and Bar # 200 1001 W Broadway

Hello Ray, As per our Telephone conversation, The City of Vancouver are receiving complaints with regards to access past operating hours 11 PM / Covid 19 Protocol Etc. Please advise your staff to make certain that all rules and regulations are being followed .Please advise , Thank You Mike.

From: "Bidwell, Mike" <mike.bidwell@vancouver.ca>
To: s.22(1)
Date: 11/12/2020 7:43:00 AM
Subject: FW: Complaints - Prive Kitchen and Bar # 200 1001 W Broadway n

---

Hello Raymond, The City continues to receive more complaints. Any feedback from meeting with your staff ? Thank You.

From: Bidwell, Mike
Sent: Monday, October 26, 2020 2:58 PM
To: 'Raymond Huynh'
Subject: RE: Complaints - Prive Kitchen and Bar # 200 1001 W Broadway n

1. October 9th – Complaint-after11 PM, People arrived in limousine seen going in through entrance into Prive from back alley.
2. October 11th – Complaint -Lots of Young people seen going into Prive entrance from back alley after 10 Pm
3. October 26 – complaint – Received today drinks being served after 10Pm till 4 am ? Approx 30 Peaple in Room, let in Rear Door.

Please Advise Thanks Mike.

From: Raymond Huynh [mailto s.22(1)
Sent: Friday, October 23, 2020 1:56 PM
To: Bidwell, Mike
Subject: [EXT] Re: Complaints - Prive Kitchen and Bar # 200 1001 W Broadway n

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

Hey Mike,

Thanks for your email, I have a meeting with my managers today. Can you give me details and dates about the complaints again so that I can go through it with my staff? Thanks for your time!

Ray Huynh

From: Bidwell, Mike <mike.bidwell@vancouver.ca>
Sent: Thursday, October 22, 2020 4:22 PM
To: s.22(1)
Subject: Complaints - Prive Kitchen and Bar # 200 1001 W Broadway

Hello Ray, As per our Telephone conversation, The City of Vancouver are receiving complaints with regards to access past operating hours 11 PM / Covid 19 Protocol Etc. Please advise your staff to make certain that all rules and regulations are being followed .Please advise , Thank You Mike.

From: "Bidwell, Mike" <mike.bidwell@vancouver.ca>
To: "Raymond Huynh" s.22(1)
Date: 10/26/2020 2:57:00 PM
Subject: RE: Complaints - Prive Kitchen and Bar # 200 1001 W Broadway n

1. October 9th – Complaint-after11 PM, People arrived in limousine seen going in through entrance into Prive from back alley.
2. October 11th – Complaint -Lots of Young people seen going into Prive entrance from back alley after 10 Pm
3. October 26 – complaint – Received today drinks being served after 10Pm till 4 am ? Approx 30 Peaple in Room, let in Rear Door.

Please Advise Thanks Mike.

From: Raymond Huynh [mailto:s.22(1)
Sent: Friday, October 23, 2020 1:56 PM
To: Bidwell, Mike
Subject: [EXT] Re: Complaints - Prive Kitchen and Bar # 200 1001 W Broadway n

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

Hey Mike,

Thanks for your email, I have a meeting with my managers today. Can you give me details and dates about the complaints again so that I can go through it with my staff? Thanks for your time!

Ray Huynh

From: Bidwell, Mike <mike.bidwell@vancouver.ca>
Sent: Thursday, October 22, 2020 4:22 PM
To: s.22(1)
Subject: Complaints - Prive Kitchen and Bar # 200 1001 W Broadway

Hello Ray, As per our Telephone conversation, The City of Vancouver are receiving complaints with regards to access past operating hours 11 PM / Covid 19 Protocol Etc. Please advise your staff to make certain that all rules and regulations are being followed .Please advise , Thank You Mike.

History Report

As Of: Jul 3, 2024 10:52:38

Case File: CF-2020-014252: Closed

311 Case File Ref	101014436030
Brief Description	COVID-19 - Enforcement Request They appear to be operating their private karaoke rooms after 11pm - Prive Kitchen + Bar x 9 complaints
Business License Number	
Completed Date	
Description	Case File CF-2020-014252: Closed (License By-law - COVID-19 - Enforcement Request They appear to be operating their private karaoke rooms after 11pm - Prive Kitchen + Bar x 9 complaints) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Mike Bidwell, Property Use Inspector
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Oct 13, 2020 11:22:52 by Ruby Parcon with outcome "Assigned")

Actual Start Date	
Comments	
Date Completed	Oct 13, 2020 11:22:52
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Oct 13, 2020 11:22:47
Staff Assigned Id List	
Assignments	
Ruby Parcon	
Relationships	
Shadow Process: 131898416	
Referenced ObjectId	131898404

Perform Investigation (Completed on Nov 17, 2020 07:44:18 by Mike Bidwell, Property Use Inspector with outcome "Follow-up Investigation Scheduled")

Additional Instructions	
Comments	
Description	
Findings	E-mail sent to Owner with request for response see documents.
Re-investigation Date	Nov 13, 2020 00:00:00
Route Order	
Assignments	
Mike Bidwell, Property Use Inspector	

Perform Investigation (Completed on Nov 17, 2020 07:46:16 by Mike Bidwell, Property Use Inspector with outcome "Follow-up Investigation Scheduled")

Additional Instructions	
Comments	
Description	

Findings	James P and Mike B attended Twice on night inspection the premises was closed at 7pm and 10 pm dark inside.
Re-investigation Date	Nov 27, 2020 00:00:00
Route Order	
Assignments	
Mike Bidwell, Property Use Inspector	

Perform Investigation (Completed on Nov 30, 2020 11:52:08 by Mike Bidwell, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	
Findings	no further complaints at this time closing file for now.
Re-investigation Date	
Route Order	
Assignments	
Mike Bidwell, Property Use Inspector	

Relationships

Document: 131898609

Document: 132502531

Document: 132673827

Document: 132681136

Document: 132848559

Document: 133045871

Document: 133061990

Document: 133294954

Document: 133504400

Document: 133535499

Document: 133581931

Document: 133703834

Enforcement Stream: Property Use

Investigator: Mike Bidwell, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

COVID-19 - Enforcement Request Case

Case number: 101014658263 Case created: 2020-12-28, 09:14:00 AM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 200-1001 West Broadway

Request Details

1. Type of violation:*
Gathering of 50 people

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring (including suite number, if applicable):*
200-1001 West Broadway

4. When was the violation observed:*
12/27 2:30 AM

5. Is the event or activity currently in progress?*
No

6. If business is in violation, provide the business name:
Prive

7. If park or beach, provide name:

8. Provide details regarding the violation:*
Over 70 in rooms, no masks being used by customers or staff. Staying open until 5 am serving liquor. Owner using elevator through the parkade to sneak people in and skirt Covid rules.

10. Your name:

11. Phone number:*
5555555555

12. Email address:

99. Attachments
0

Additional Details

Contact Details

Name: s.22(1)
Address: s.22(1) Vancouver, s.22(1)

Address2:
Phone: 5555555555 Email:
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014777163 Case created: 2021-02-05, 09:43:00 PM Channel: Phone

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address:

Request Details

1. Type of violation:
Bar/pub open after 11 PM (unless providing meals)

2. Location of violation:
Private Property - Business

4. Provide the date (MM-DD-YYYY) and time (00:00 AM/PM) the violation was observed:
02/05/2021

5. If business, provide business name:
Prive

7. Provide details:
Restaurant open passed 11pm and hosting parties of more than 6 people at a time. On the website it says that they are closed but they have a back door in the loading area that is unlocked.

8. Neighbourhood:
Fairview

Additional Details

Contact Details

Name: s.22(1)
Address: ,
Address2:
Phone: s.22(1) Email:
Alt. Phone: Preferred contact method: Phone

Case Notes

Photo

- no picture -

From: "McLellan, Mark" <Mark.McLellan@vancouver.ca>
To: "Ritson, Mark (VCH) (mark.ritson@vch.ca)" <Mark.Ritson@vch.ca>
CC: eric.kerluck@gov.bc.ca
"McLellan, Mark" <Mark.McLellan@vancouver.ca>
Date: 1/5/2021 9:01:00 AM
Subject: RE: 433 (429) W Pender - Yagger's Restaurant/1001 W Broadway - Prive
Attachments: COVID-19 - Enforcement Request Case-101014658263 (1).rtf

---

Hello again,

One more frequent flyer has popped up again, this is for 1001 (Unit 200) W Broadway – Prive, as noted in the a ached, there are claims that they continue to service liquor well past 10pm and are not following COVID safety protocols. I believe Heather Lahoda (LCRB) and David Jantzen (VCH) were looking into this operator last summer.

Thanks,

Mark

From: McLellan, Mark
Sent: Monday, January 4, 2021 5:13 PM
To: Ritson, Mark (VCH) (mark.ritson@vch.ca)
Cc: 'eric.kerluck@gov.bc.ca'
Subject: 433 (429) W Pender - Yagger's Restaurant

Hello Mark,

As a follow up to our conversa on, we con nue to receive complaints re 433 (429) W Pender – Yagger's Restaurant serving alcohol after hours. As noted in the attached, they appear to be operating some sort of speakeasy in the back rooms.

Eric – Mark R forward your contact info, as he thought your team might be able to assist.

Please feel to contact me should you have any further questions.

Thanks,

Mark

Mark McLellan, Manager
City of Vancouver
Property Use
Development, Buildings & Licensing
Phone: 604.873.7174
mark.mclellan@vancouver.ca

COVID-19 - Enforcement Request Case

Case number: 101014658263 Case created: 2020-12-28, 09:14:00 AM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 200-1001 West Broadway

Request Details

1. Type of violation:*
Gathering of 50 people

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring (including suite number, if applicable):*
200-1001 West Broadway

4. When was the violation observed:*
12/27 2:30 AM

5. Is the event or activity currently in progress?*
No

6. If business is in violation, provide the business name:
Prive

7. If park or beach, provide name:

8. Provide details regarding the violation:*
Over 70 in rooms, no masks being used by customers or staff. Staying open until 5 am serving liquor. Owner using elevator through the parkade to sneak people in and skirt Covid rules.

10. Your name:

11. Phone number:*
5555555555

12. Email address:

99. Attachments
0

Additional Details

Contact Details

Name: s.22(1)
Address: s.22(1) Vancouver, s.22(1)

Address2:			
Phone:	5555555555	Email:	
Alt. Phone:		Preferred contact method:	Either

Case Notes

Photo

- no picture -

History Report

As Of: Jul 3, 2024 10:53:30

Case File: CF-2021-000087: Closed

311 Case File Ref	101014658263, 101014777163
Brief Description	Prive Kitchen + Bar - COVID-19 Enforcement Request x 2 complaints Unit 200 - owner allowing large gatherings, serving liquor past allowable hours, no physical distancing, no masks being worn
Business License Number	
Completed Date	
Description	Case File CF-2021-000087: Closed (License By-law - Prive Kitchen + Bar - COVID-19 Enforcement Request x 2 complaints Unit 200 - owner allowing large gatherings, serving liquor past allowable hours, no physical distancing, no masks being worn) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Mike Bidwell, Property Use Inspector
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Jan 4, 2021 13:15:10 by Jennifer Holloway, Property Use Inspector with outcome "Assigned")

Actual Start Date	
Comments	
Date Completed	Jan 4, 2021 13:15:10
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Jan 4, 2021 13:14:45
Staff Assigned Id List	

Assignments

Jennifer Holloway, Property Use Inspector

Relationships

Shadow Process: 137918587

Referenced ObjectId	137918575

Perform Investigation (Completed on Jan 6, 2021 14:29:55 by Mike Bidwell, Property Use Inspector with outcome "Follow-up Investigation Scheduled")

Additional Instructions	
Comments	
Description	
Findings	left message for Ray Hynh Ph s.22(1) to call me back with regards to this latest complaint.
Re-investigation Date	Jan 7, 2021 00:00:00
Route Order	

Assignments

Mike Bidwell, Property Use Inspector

Perform Investigation (Completed on Mar 2, 2021 12:23:42 by Analiza Abello-Lee, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	COVID - 2x - Bar

Findings

Mar 2/21 - No further complaints.

Feb 23/21 - 2:pm - Email sent to Operator to clarify what services are being offered on site. Monitor.

Premise found closed.
Door signs reflect "Kitchen, Bar, Karaoke"
Temp Hours Posted as: Sun - Thursday- By Appt Only
Friday & Sat - 6pm -11pm w/last call by 10pm
Email: info@privevancouver.com
Underground Parkade closes at 7:00pm

Feb 22/21
Re: Dec 28/2020 - Complaint stale dated.
Re: Feb 5/2020- Allowed to stay open past 11pm so long as PHO is obeyed.

PHO Sec 26; Liquor consumption must cease by 10pm.

PHO Sec 28 states; Unless a full meal service is provided, premises which are licensed to serve liquor must close by 11:00 pm and all patrons must vacate the premises. If a full meal service is provided, premises may stay open, but liquor service must not resume until 9:00 am.

Re-investigation Date

Route Order

Assignments

Analiza Abello-Lee, Property Use Inspector

Relationships

Document: 137918604

Document: 138009308

Document: 141803186

Document: 143808199

Enforcement Stream: Property Use

Investigator: Mike Bidwell, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

From: "Amendolagine, Vincent" <vincent.amendolagine@vancouver.ca>
To: "Mitchell, Darren" <darren.mitchell@vancouver.ca>
"Abello-Lee, Analiza" <analiza.abello-lee@vancouver.ca>
"Delaney , Lizzy" <Lizzy.Delaney@vancouver.ca>
CC: "Volpe, Loris" <loris.volpe@vancouver.ca>
"McLellan, Mark" <Mark.McLellan@vancouver.ca>
Date: 3/16/2021 1:53:22 PM
Subject: RE: 1001 W Broadway - Prive - March 12th Night Inspection
Attachments: IMG_1316.JPG

Thanks Darren. Lizzy did a great job on the write up. I have another photo on my phone of the s.22(1) , attached.

From: Mitchell, Darren <darren.mitchell@vancouver.ca>
Sent: Tuesday, March 16, 2021 12:31 PM
To: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>; Delaney , Lizzy <Lizzy.Delaney@vancouver.ca>
Cc: Volpe, Loris <loris.volpe@vancouver.ca>; Amendolagine, Vincent <vincent.amendolagine@vancouver.ca>; McLellan, Mark <Mark.McLellan@vancouver.ca>
Subject: RE: 1001 W Broadway - Prive - March 12th Night Inspection

Thanks Lizzy & Vince for the observations on Friday night, these are good notes to make in our CF.

Mark, can we forward this info to VCH and/or Sarah Hicks for their consideration, re: operating in defiance of the PHO and /or their business license? They have a BL in review (21-127529 LH), but that has not been issued for 2021.

Darren Mitchell | Supervisor | Property Use Branch
Development, Buildings & Licensing | City of Vancouver
515 West 10th Avenue | Vancouver BC | V57 4A8
604.871.6432 | darren.mitchell@vancouver.ca

From: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Sent: Monday, March 15, 2021 12:06 PM
To: Delaney , Lizzy <Lizzy.Delaney@vancouver.ca>
Cc: Mitchell, Darren <darren.mitchell@vancouver.ca>; Volpe, Loris <loris.volpe@vancouver.ca>; Amendolagine, Vincent <vincent.amendolagine@vancouver.ca>
Subject: RE: 1001 W Broadway - Prive - March 12th Night Inspection

Thank you for this update. I appreciate your time and work on this file.

Analiza

From: Delaney , Lizzy <Lizzy.Delaney@vancouver.ca>
Sent: Monday, March 15, 2021 9:16 AM
To: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Cc: Mitchell, Darren <darren.mitchell@vancouver.ca>; Volpe, Loris <loris.volpe@vancouver.ca>; Amendolagine, Vincent

<vincent.amendolagine@vancouver.ca>
Subject: 1001 W Broadway - Prive - March 12th Night Inspection

Hi Analiza,

Vince and I went by Prive twice on Friday night at witnessed the following;

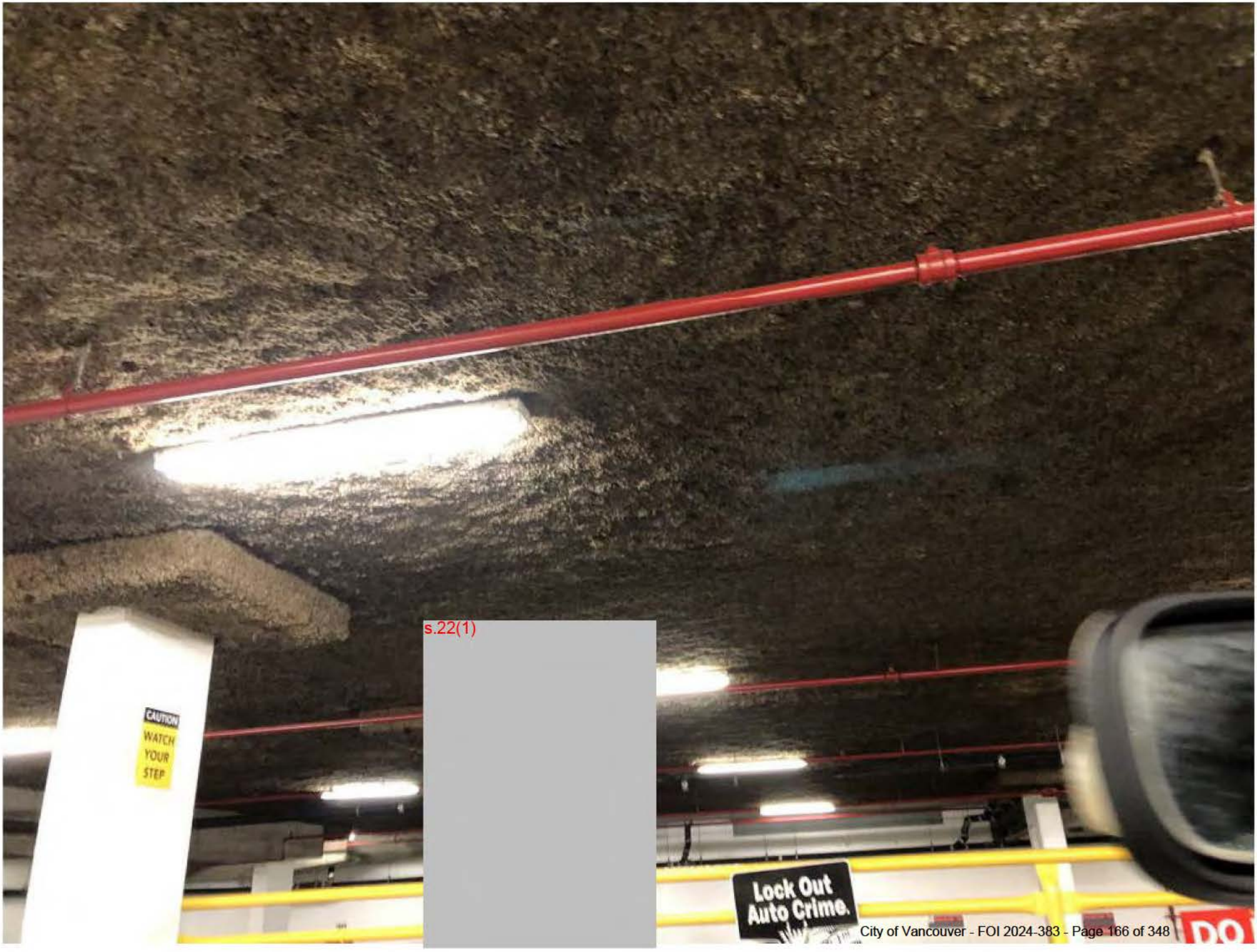
1. 9:00 PM – Prive was closed, no lights on and could not enter the building from the front door. Went around to the back, but the parkade was closed and we could not gain access. Did not see any customers or staff at this time.
2. 11:00 PM – S ll no lights on, went around back to the parkade and saw a s.22(1) with a walkie talkie, who was "working" in the garage, and gave us access in to the parkade. We asked s.22(1) if there was karaoke going on tonight, and s.22(1) said yes and that's when s.22(1) opened the gate to the parkade. As we stepped out of the car, s.22(1) asked us what name our reserva on was made under – we did not have one and asked if there were any openings and s.22(1) replied "no, we are full tonight." I asked s.22(1) how late they are open un l tonight, and s.22(1) said "very late." There were two other customers in the garage, wai ng to be taken upstairs, however, these two women le when we revealed that we were from the City and that we required access upstairs. It took the s.22(1) in the parkade roughly 5-10 minutes to allow us upstairs. When we got up there, there were two servers cleaning in the dark – no lights were on. We were escorted around and in to each of the private rooms, and there were no patrons at this time. The staff told us they were closing for the night, despite the s.22(1) in the parkade initially telling us they had reservations and were open late.

I have included the photos that we captured – two photos of what was posted on the front door, three pictures of the parkade, and two inside the venue.

Let me know if you need any more info.

Thank-you,

Lizzy Delaney | Property Use Inspector
Development, Buildings & Licensing | City of Vancouver
515 West 10th Avenue | Vancouver BC | V57 4A8
s.15(1)(l) | lizzy.delaney@vancouver.ca


s.22(1)
CAUTION
WATCH
YOUR
STEP
Lock Out
Auto Crime.

From: "Abello-Lee, Analiza" <analiza.abello-lee@vancouver.ca>
To: "Privé Vancouver" <info@privevancouver.com>
Date: 3/22/2021 11:06:00 AM
Subject: 1001 W Broadway - Prive

Hi Scott

I can send the invoice via email attachment.

(2) Please be advised that if continued complaints are received by the City, your business license will come under scrutiny. As well, the approval for this premise is under a time limited Development Permit with an expiry of September 14, 2021. The complaints lodged against Prive will be considered in the review process should you desire to extend the permit beyond September 14, 2021.

(3) Please take the PHO seriously for it impacts the safety and lives of the Community.

(4) I have been receiving reports that customers are being "sneaked" into the premises. This type of behaviour is very concerning and risks to both the public and your staff are obvious. If the premise is operating within PHO and City protocols, there is no "risky business" that should be reported to City Hall.

(5) Please provide me with direct phone number so that I may contact you should an immediate situation unfold regarding this premise.

(6) I invite you to give me a call to discuss the items above.

Thank you.

Sincerely,

Analiza

Analiza Abello-Lee / Property Use Inspector
Property Use Inspections / City of Vancouver
analiza.abello-lee@vancouver.ca
604-873-7763

The City of Vancouver acknowledges that it is situated on the unceded traditional territories of the Musqueam, Squamish, and Tsleil-Waututh peoples

From: Privé Vancouver <info@privevancouver.com>
Sent: Saturday, March 20, 2021 9:31 PM
To: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Subject: [EXT] Re: FW: [EXT] Re: FW: 1001 W Broadway - Prive

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

Hi Analiza,

I apologize. We were not aware of this. Can you please advise on how we can pay this? Could we send you our billing information?

On Fri., Mar. 19, 2021, 9:42 a.m. Abello-Lee, Analiza, <analiza.abello-lee@vancouver.ca> wrote:

Dear Scott

Please be advised that Prive has outstanding business license fees in the amount of $2203.00 which is overdue.
Until the amount has been paid, Prive should not be open for business.

(2) When and if the business license is paid, Karaoke is not allowed on site as per the Provincial Health Order (Item 22-PHO)
(3) Liquor sales for onsite consumption must cease at 10:00pm. (Item 26-PHO)

Please respond kindly to this email.

Thank you.

Sincerely,

Analiza

From: Abello-Lee, Analiza
Sent: Thursday, March 18, 2021 3:54 PM
To: 'Privé Vancouver' <info@privevancouver.com>
Subject: RE: [EXT] Re: FW: 1001 W Broadway - Prive

Hi Scott

My number is 604-873-7763 and the best me to reach me is between 9am – Noon.

The complaints are with respect to karaoke being offered against the PHO.
Liquor service being offered past the curfew against PHO.
Gatherings of 20+ people.

The Inspectors who visited on Friday work in my o ce and they were told by the "garage a endant" that Karaoke was being offered.
They were eventually allowed upstairs.

I would not conclude that there "were no issues". Please give me a call at your earliest convenience.

Analiza

Analiza Abello-Lee / Property Use Inspector
Property Use Inspections / City of Vancouver
analiza.abello-lee@vancouver.ca
604-873-7763

The City of Vancouver acknowledges that it is situated on the unceded traditional territories of the Musqueam, Squamish, and Tsleil-Waututh peoples

From: Privé Vancouver <info@privevancouver.com>
Sent: Thursday, March 18, 2021 3:25 PM
To: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Subject: [EXT] Re: FW: 1001 W Broadway - Prive

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

Hi Analiza,

Currently the management team is working from home. If you leave your number, I can contact you the next time I visit the office.

We are following all the rules: 6 people max per room, no karaoke microphones, no alcohol service after 10pm, and all liquor is off the table by 11pm.
We actually had inspectors from the city come by last Friday and there were no issues.

What are the complaints regarding? We can run a meeting with staff to clarify any details, but from our understanding, there shouldn't be any issues.

Regards,

PRIVÉ KITCHEN+BAR

#200-1001 WEST BROADWAY

VANCOUVER, BC V6H 4E4

CANADA

(604)336-9330

On Wed, Mar 17, 2021 at 4:35 PM Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca> wrote:

> Hi Scott,
>
> Another complaint has been lodged.
> Please let me know when it is a good time to reach you by phone.
> Also provide the best phone number to reach you at.
>
> Sincerely,
>
> Analiza
>
> ---
>
> From: Abello-Lee, Analiza
> Sent: Friday, March 12, 2021 4:32 PM
> To: 'Privé Vancouver' <info@privevancouver.com>
> Subject: 1001 W Broadway - Prive
>
> Hi Scott
>
> Please be advised that the City has received numerous complaints against Prive.
>
> The allegations are that;

(1) Karaoke was available

(2) Liquor service past 10 pm

(3) Hosting more than 6 people/table

Please ensure that the Provincial Health Order (PHO) is adhered to.

Thank you.

Sincerely,

Analiza

Analiza Abello-Lee / Property Use Inspector
Property Use Inspections / City of Vancouver
analiza.abello-lee@vancouver.ca
604-873-7763

The City of Vancouver acknowledges that it is situated on the unceded traditional territories of the Musqueam, Squamish, and Tsleil-Waututh peoples

From: Privé Vancouver <info@privevancouver.com>
Sent: Friday, March 12, 2021 2:19 PM
To: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Subject: [EXT] Prive

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

Hi Analiza,
Thanks for the email; unfortunately, due to the Vancouver Coastal Health instruction , Karaoke is not allow at this time .
Scott
Regards,

PRIVÉ KITCHEN+BAR

#200-1001 WEST BROADWAY

VANCOUVER, BC V6H 4E4

CANADA

(604)336-9330

From: "Raymond Huynh" s.22(1)
To: "Abello-Lee, Analiza" <analiza.abello-lee@vancouver.ca>
Date: 3/15/2022 1:30:27 PM
Subject: [EXT] Re: 1001 W Broadway - Prive - DP Renewal

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

Hey Analiza,

Will get getting the draft letter and documents to you very soon. Just waiting for the security to get back to me, thank you!

From: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Sent: Tuesday, March 8, 2022 11:27 AM
To: Raymond Huynh s.22(1)
Cc: So, Mandy <mandy.so@vancouver.ca>
Subject: 1001 W Broadway - Prive - DP Renewal

DP-2020-00230
DP-2020-00238

Good Morning Raymond

The last complaint was received on Nov 2021.
That being said and with what we discussed on our meeting last week, the measures you have shared that you claimed have been applied appears to have an impact.

The main elements of our discussion are as follows;

- Compliance to all permit conditions (PHO, Liquor, Noise, Z&D)
- Hire additional security personnel to monitor patrons at entrances and patios
- Monitor activity of patrons outside the establishment, particularly at closing time to ensure orderly dispersal to ensure that the patrons do not disturb the peace, quiet, enjoyment of the neighborhood
- A Neighborhood Liaison shall be made available to whom complaints may be directed about any aspects of this operation
- A Letter of Agreement shall be submitted outlining how the above elements will be met
- A notification letter shall be sent to the Neighboring buildings where complaints were lodged from in order for a "channel of direct communication" shall be provided to Residents when disturbances surface

Please ensure that your letter to Mandy So, Manager, Development Review Branch captures all the measures you have applied since last year.
I am looking forward to this continued compliance as the PHO orders are slowly being lifted and the Summer Season is upon us.

Fair warning that if your commitment to these measures are not adhered to, you will risk further scrutiny of your operation wherein the permit may be rescinded or your hours of operation may be amended.

Please reach out to me should you need further assistance or clarification

Thank you Raymond.

Sincerely,

Analiza

Analiza Abello-Lee / Property Use Inspector
Property Use Inspections / City of Vancouver
analiza.abello-lee@vancouver.ca
604-873-7763

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---

From: Raymond Huynh s.22(1)
Sent: Thursday, March 03, 2022 3:29 PM
To: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Subject: [EXT] Re: [EXT] RE: [EXT] Re: 1001 W Broadway - Prive

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

Hey Analiza,

Thanks for meeting with me today. Can you please give me the details of the latest complaints so that we can figure out what the issues are and come up with additional solutions? Would like to know the complaint and where the complaint is coming from. Thank you.

From: "Ma, Aaryn" <Aaryn.Ma@vancouver.ca>
To: "Mitchell, Darren" <darren.mitchell@vancouver.ca>
"Volpe, Loris" <loris.volpe@vancouver.ca>
CC: "Hendricks, Delaney" <Delaney.Hendricks@vancouver.ca>
"Pringle, Kyle" <Kyle.Pringle@vancouver.ca>
"King, Thyda" <thyda.king@vancouver.ca>
"Cranton, Charlene" <charlene.cranton@vancouver.ca>
"Chinfen, Sandra" <Sandra.Chinfen@vancouver.ca>
"Li, Kimberly" <Kimberly.Li@vancouver.ca>
"Kopy, Vaughan" <Vaughan.Kopy@vancouver.ca>
"Abello-Lee, Analiza" <analiza.abello-lee@vancouver.ca>
Date: 3/21/2022 10:48:17 AM
Subject:

Good morning,

Please see notes from the Friday night. Findings have been added to case-files (if applicable).

	Name	Address	Findings	Su
1.	St Pauls Hospital	1050 Gore	Lights are on, no UT bylaw violation found.	Af
2.	Oakridge	650 W 41st	Some lights on, no UT bylaw violation found.	Af
3.	Enso Club	750 Pacific Blvd	North door was closed. Sound level measured inside was ranged from 105 to 114 dbC. Operator was able to reduce the volume to an acceptable level during the inspection. Unable to take a sound reading from outside due to rain.	Ne
4.	Glitch	2287 W Broadway	No noise. Front door was monitored by security and kept closed. Customers were queued at the front but were quiet.	10
5.	Prive	1001 W Broadway #200	Faint music heard from outside the establishment, no activities warranting enforcement found.	10
6.	Hollywood Theatre	3123 W Broadway	No noise at the rear lane.	9p
7.	Tim Horton's	3102 W Broadway	Closed at time of inspection; they have changed their operating hours until 9pm, the busker was not present.	9p
8.	Smilin Buddha Cabaret	109 E Hastings	Closed, no activity.	Af
9.		4215 W 13th Ave	No party.	

Aaryn Ma | Property Use Inspector
Development, Buildings & Licensing | City of Vancouver
aaryn.ma@vancouver.ca
Pronouns: he, him, his

From: "Abello-Lee, Analiza" <analiza.abello-lee@vancouver.ca>
To: "Volpe, Loris" <loris.volpe@vancouver.ca>
"McLellan, Mark" <Mark.McLellan@vancouver.ca>
Date: 3/22/2021 8:07:00 AM
Subject: Prive (CF-21-003284) - Supervisor/Manager Call-Back Required

---

Good Morning Gentlemen,

As per the aforementioned subject, A Citizen (Complainant #4) is requesting a call back at the Supervisor/Manager level.

A quick synopsis:

- Four complaints have been received w/date of incidents occurring on March 6, March 13 (2x), March 12, March 19
- Night Inspectors were on site, March 12, no viola on observed...although suspected that "Karaoke" was being offered as validated by Garage Attendant.
- Re: Citizen/Complainant #4. This CF is the first CoV has received under reference phone number s.22(1) s.22(1) It sounds like s.22(1) has files w/VPD.
- Please see my email exchange with Operator under Document Tab. I have his attention and He wants to pay his B/L
- Recommend that a meeting be set up with Operator to discuss matter. (Re: PHO, Z&D, Licence By-Law)
- Alert / Remind Operator of Z&D Conditions - DP-2020-00230 - Interior alterations and to change the use from a Restaurant Class-2 to a Neighbourhood Public House, (Liquor Establishment Class-4), with Karaoke, as per Council Resolution dated February 12, 2020, in this existing commercial building on this site. The approval is for a limited period of time expiring on September 14, 2021, unless extended in writing by the Director of Planning.

- VPD logs have been requested

Thank you.

Analiza

Analiza Abello-Lee / Property Use Inspector
Property Use Inspections / City of Vancouver
analiza.abello-lee@vancouver.ca
604-873-7763

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From: "LUTZKE, Tanya" <tanya.lutzke@vpd.ca>
To: "Abello-Lee, Analiza" <analiza.abello-lee@vancouver.ca>
Date: 3/23/2021 8:32:44 AM
Subject: RE: 1001 W Broadway - Prive

We attended February 5, 2021.

I have tried searching numerous ways and can't find anything else.

Tanya

From: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Sent: Tuesday, March 23, 2021 7:45 AM
To: LUTZKE, Tanya <tanya.lutzke@vpd.ca>
Subject: RE: 1001 W Broadway - Prive

Thanks Tanya.

I have the same complaint profile with my colleagues attending site on March 19th....same result.
Would you be able to tell me when VPD attended ?
I'm trying to piece things together at my end.

I have a Citizen who is adamant that s.22(1) has made multiple calls to which I also cannot find any evidence.

Analiza

From: LUTZKE, Tanya <tanya.lutzke@vpd.ca>
Sent: Tuesday, March 23, 2021 7:42 AM
To: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Subject: RE: 1001 W Broadway - Prive

Hi Analiza,

We have only had once complaint under PHO where people were apparently being snuck upstairs for events. Police attended and there was no sign of anyone.

That's it.

Tanya

Cst. Tanya Lutzke #2471
Liquor Coordinator
Community Services Section
2120 Cambie Street, Vancouver, BC
VANCOUVER POLICE DEPARTMENT
Email; Tanya.lutzke@vpd.ca
Cel: s.15(1)(l)

"This e-mail message is confidential and may contain privileged, law enforcement or personal information. If you are not the intended recipient and have received this message in error, please delete it and notify the Vancouver Police Department immediately."
Please consider the environment before printing this e-mail.

From: CHRISTIE, John <john.christie@vpd.ca>
Sent: Tuesday, March 23, 2021 5:50 AM
To: LUTZKE, Tanya <tanya.lutzke@vpd.ca>
Cc: 'Abello-Lee, Analiza' <analiza.abello-lee@vancouver.ca>
Subject: FW: 1001 W Broadway - Prive

Hi Analiza, I have forwarded this to Tanya Lutzke who handles the liquor portfolio. She will be able to better answer this than me.

Thanks...John

From: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Sent: Monday, March 22, 2021 8:09 AM
To: CHRISTIE, John <john.christie@vpd.ca>
Subject: 1001 W Broadway - Prive

Hi John

I hope you are doing well !
Do you have any calls for the above subject location ?

It is a commercial liquor establishment.

Much thanks !

Analiza

Analiza Abello-Lee / Property Use Inspector
Property Use Inspections / City of Vancouver
analiza.abello-lee@vancouver.ca
604-873-7763

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From: "So, Mandy" <mandy.so@vancouver.ca>
To: s.22(1)
CC: "Abello-Lee, Analiza" <analiza.abello-lee@vancouver.ca>
"Senechal, Samantha" <Samantha.Senechal@vancouver.ca>
Date: 4/21/2022 9:07:39 AM
Subject: RE: Letter of agreement

Good morning Raymond,

I apologize for the delay response but appreciate you working with Analiza and forwarding me your updated Letter of Opera on. Base on Analiza's comments and several internal discussions, we are prepared to extend your me limited development permit at 1001 W. Broadway (DP-2020-00238) temporarily until September 14, 2022. If no further complaints are received during this time, we will consider extending your time limited development permit for a longer period of time.

For convenience, I've copied Sam Senechal (Extension Clerk) who will be processing this extension.

Regards,

Mandy So
Manager, Development Review Branch
Development, Building & Licensing
Ph: 604.871.6080
mandy.so@vancouver.ca

From: Raymond Huynh s.22(1) >
Sent: Thursday, March 24, 2022 1:15 PM
To: So, Mandy <mandy.so@vancouver.ca>; Joe, Cathy <cathy.joe@vancouver.ca>
Cc: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Subject: [EXT] Letter of agreement

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

Hi Mandy and Cathy Joe,

Hope you both are doing well.

I must admit that when we first opened for business we weren't expecting people to create such a big disturbance at the end of the night. However, since my early conversations with Heather Lahoda, Maria Castro, and Analiza Abello-Lee about the complaints, we've taken numerous steps to mitigate the issues.

When I spoke to Heather Lahoda about patrons loitering and making excessive noise, we came up with solutions to reduce the problem. When I spoke to Maria Castro about our complaint history and reduced hours, we took immediate action in hopes that we get our regular hours back as soon as possible. She mentioned that Sarah would not support extended hours back then but will consider it if we operated for a longer period (6 months) without major complaints. We've done that and will continue to do so.

We've implemented many new policies and procedures to control the patrons in and outside of our establishment since and we are open to more suggestions:

1. We've added signage all over the establishment, including common areas, karaoke rooms, restrooms, and even outside of the venue.
2.
3. We've added reminders to the menu and to the TVs of every single karaoke room.
4.
5. We encourage all patrons to call for cabs or rideshares in the underground parkade or on Oak street. We are trying to get the landlord to approve a designated pick-up area for the building which needs to be approved by Impark and then supported by Uber/Lyft.
6.
7. We hired security to limit large crowds from congregating, loitering, or making noise in the surrounding areas. More recently, we moved the security personnel down the stairs on Broadway (instead of outside our front entrance) to further monitor and ensure that noise is kept to a minimal when guests are coming and going.
5. We are also supervising our parking areas from time to time.
6.
7. We try to stagger patrons/groups when they exit so that they don't leave in large groups which will further minimize noise.
8.
9. All staff are to trained to remind patrons to keep the noise level down and respect neighbours when they are leaving the premises. We've had numerous meetings with staff and managers, and they know that noise complaints are one of our top priorities
8. We continue to ask the city for details regarding complaints so that we can figure out what the issues are and what potential solutions may be.
9.

The venue was built with sound proofing in mind so the issues are solely patrons coming /leaving or loitering outside. Excessive noise is never coming from the karaoke rooms or patio space. All the room were sound proofed and approved by sound engineers. Reducing our karaoke hours would only make it harder for us to manage large crowds exiting the rooms and into the dining area and then onto the streets. The way we are staggering groups during exit works, and the more time we have to stagger, the less noise we will have. We know that the biggest issues are large groups loitering outside and/or leaving the venue at closing.

We are fully committed to being a good neighbour and we will do everything in our power to reduce the number of complaints received by the COV. We've taken numerous steps to ensure that our business does not disturb the surrounding community and we continue to learn from our mistakes and improve the process. We agree to a neighbourhood liason to handle complaints immediately but will need the city's help to get that information out to the surrounding buildings. We hope that you've seen the progress and understand that our strategies in the past 6 months have proven to be successful so it would be fair to reinstate our regular hours. We are committed to making sure that our patrons do not disturb the peace, quiet, and enjoyment of the neighborhood.

Security company contact:
Tony
TAF Security
902-788 Richards Street Vancouver BC V6b0c7
6043759897
info@tafsecurity.com

From: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Sent: Thursday, March 24, 2022 9:20 AM
To: Raymond Huynh s.22(1)
Subject: Re: [EXT] Re: Letter of agreement

Hi Raymond

Thank you for your response

The Community Liason contact will just remain for city hall records unless absolutely necessary. I am sensing that if chronic complaints are received or if a noise episode occurred, I would be able to work directly with you. The involvement of the Community Liason is to facilitate intervention should all other measures fail.

With the deployment of additional security, and if this counter measure is effective, I can see no reason to escalate matters.

I understand the hesitation of providing your personal cell #… to which I would not recommend.
As long as there are assurances that the business number will be answered by Staff and not by an answering machine would suffice at this time.
Staff would need to be trained that complaints should be taken care of and that Security personnel should be notified of any unfolding or active issue on site that they may not be aware of.

The notification process would only be issued directly to the buildings where complaints have been received from. At this point, it is a three tiered strategy process that we will adapt and are as follows;

1) If Security fails as a control measure then
2) The Community Liason contact number will be released to the Complainant(s) and
3) If the Community Liason fails as a control measure then notification will be sent to the neighborhood buildings with the dedicated Operator complaint line. At this time, no investment on this is necessary if your Business Line suffices to manage complaints.

I believe this strategy is reasonable. Your proactive measures of having a dedicated area for Pick ups and Ride Shares sounds promising.

I am satisfied with the proactive measures and proposals and am looking forward that you will be able to deliver and continue to yield the desired results.

I will also forward my comments to Mandy for her consideration. I look forward to working with you.

Thank you Raymond.

Analiza

Sent from my iPhone

> On Mar 23, 2022, at 4:44 PM, Raymond Huynh s.22(1) wrote:
>
> \u-257 ? **City of Vancouver security warning:** Do not click on links or open attachments unless you were expecting the email and know the content is safe.
>
> Hey Analiza,

If the city can help with posting the Community Liaison Notice to surrounding buildings, then we can include the business number for urgent issues, and email for non-urgent issues. If possible, we would add a contact for the phone number and another contact or the email. Does that work?

If you prefer to have me set up another phone line specifically for complaints, I can do that. I just don't feel comfortable giving out my personal cell number. Please let me know!

Thanks again!

Ps. I'll email Mandy after you reply.

From: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Sent: Wednesday, March 23, 2022 9:01 AM
To: Raymond Huynh s.22(1)
Subject: RE: Letter of agreement

Hi Raymond

You have captured the elements that we have discussed in our meeting and I appreciate your diligence.
In all fairness, to date no complaints have been received and I am happy to report this.

Who will be your Community Liason ? Has this been established yet ?
That being said, I am pleased that you agree that channels of communication between the Community and Operator are essential should chronic complaints arise.
I hope that We will not have to visit this option.

The email for Mandy So is correct.

Thank your for your attention on this matter. Have a great day.

Sincerely,

Analiza

Analiza Abello-Lee / Property Use Inspector
Property Use Inspections / City of Vancouver
analiza.abello-lee@vancouver.ca
604-873-7763

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From: Raymond Huynh s.22(1)
Sent: Tuesday, March 22, 2022 6:46 PM
To: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Subject: [EXT] Letter of agreement

City of Vancouver security warning: Do not click on links or open attachments unless you were expecting the email and know the content is safe.

Hi Analiza,

Hope you're doing well!

How's this letter for Mandy? Should I add anythign else? Also, can you confirm her email address is mandy.so@vancouver.ca?

Thanks in advance!

Hi Mandy,

I must admit that when we first opened for business we weren't expecting people to create such a big disturbance at the end of the night. However, since my early conversations with Heather Lahoda, Maria Castro, and Analiza Abello-Lee about the complaints, we've taken numerous steps to mitigate the issues.

When I spoke to Heather Lahoda about patrons loitering and making excessive noise, we came up with solutions to reduce the problem. When I spoke to Maria Castro about our complaint history and reduced hours, we took immediate action in hopes that we get our regular hours back as soon as possible. She mentioned that Sarah would not support extended hours back then but will consider it if we operated for a longer period like 6 months without major complaints. We've done that and will continue to do so.

We've implemented many new policies and procedures to control the patrons in and outside of our establishment since and we are open to more suggestions:

1. We've added signage all over the establishment, including common areas, karaoke rooms, restrooms, and even outside of the venue.
2.
3. We've added reminders to the menu and to the TVs of every single karaoke room.
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4. We hired security to limit large crowds from congregating, loitering, or making noise in the surrounding areas. More recently, we moved the security personnel down the stairs on Broadway (instead of outside our front entrance) to further monitor and ensure that noise is kept to a minimal when guests are coming and going.
5.
6. We are also supervising our parking areas from time to time.
6. We try to stagger patrons/groups when they exit so that they don't leave in large groups which will further minimize noise.
7. All staff are to trained to remind patrons to keep the noise level down and respect neighbours when they are leaving the premises. We've had numerous meetings with staff and managers, and they know that noise complaints are one of our top priorities.
8.

9. We continue to ask the city for details regarding complaints so that we can figure out what the issues are and what potential solutions may be.
10.

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our karaoke hours would only make it harder for us to manage large crowds exiting the rooms and into the dining area and then onto the streets. The way we are staggering groups during exit works, and the more time we have to stagger, the less noise we will have. We know that the biggest issues are large groups loitering outside and/or leaving the venue at closing.

We are fully committed to being a good neighbour and we will do everything in our power to reduce the number of complaints received by the COV. We've taken numerous steps to ensure that our business does not disturb the surrounding community and we continue to learn from our mistakes and improve the process. We agree to a neighbourhood liason to handle complaints immediately but will need the city's help to get that information out to the surrounding buildings. We hope that you've seen the progress and understand that our strategies in the past 6 months have proven to be successful so it would be fair to reinstate our regular hours. We are committed to making sure that our patrons do not disturb the peace, quiet, and enjoyment of the neighborhood.

Security company contact:
Tony
TAF Security
902-788 Richards Street Vancouver BC V6b0c7
6043759897
info@tafsecurity.com

Prive Covid-19 Guidelines

To help prevent the further spread of covid-19, we have introduced the following policies to our karaoke rooms:

1. Max 6 guests per room
2. All of our karaoke rooms are sterilized and cleaned thoroughly after each reservation.
3. One guest from every party must leave their contact information in the event there is a need for contact tracing on the part of a medical health officer.
4. At the moment we are NOT taking orders at the bar. Please order through a server.
5. Our servers will be walking around checking up through the doors. Please wave them down as needed, and have ONE person step outside the room to order.
6. Please keep all dirty cups and glassware at the end of the table or in the bin, otherwise the room will be cleaned after your party leaves.

Thank you for your cooperation!

EST. 2014

KITCHEN / BAR / KARAOKE

TEMPORARY HOURS

SUNDAY - THURSDAY:

BY APPOINTMENT ONLY

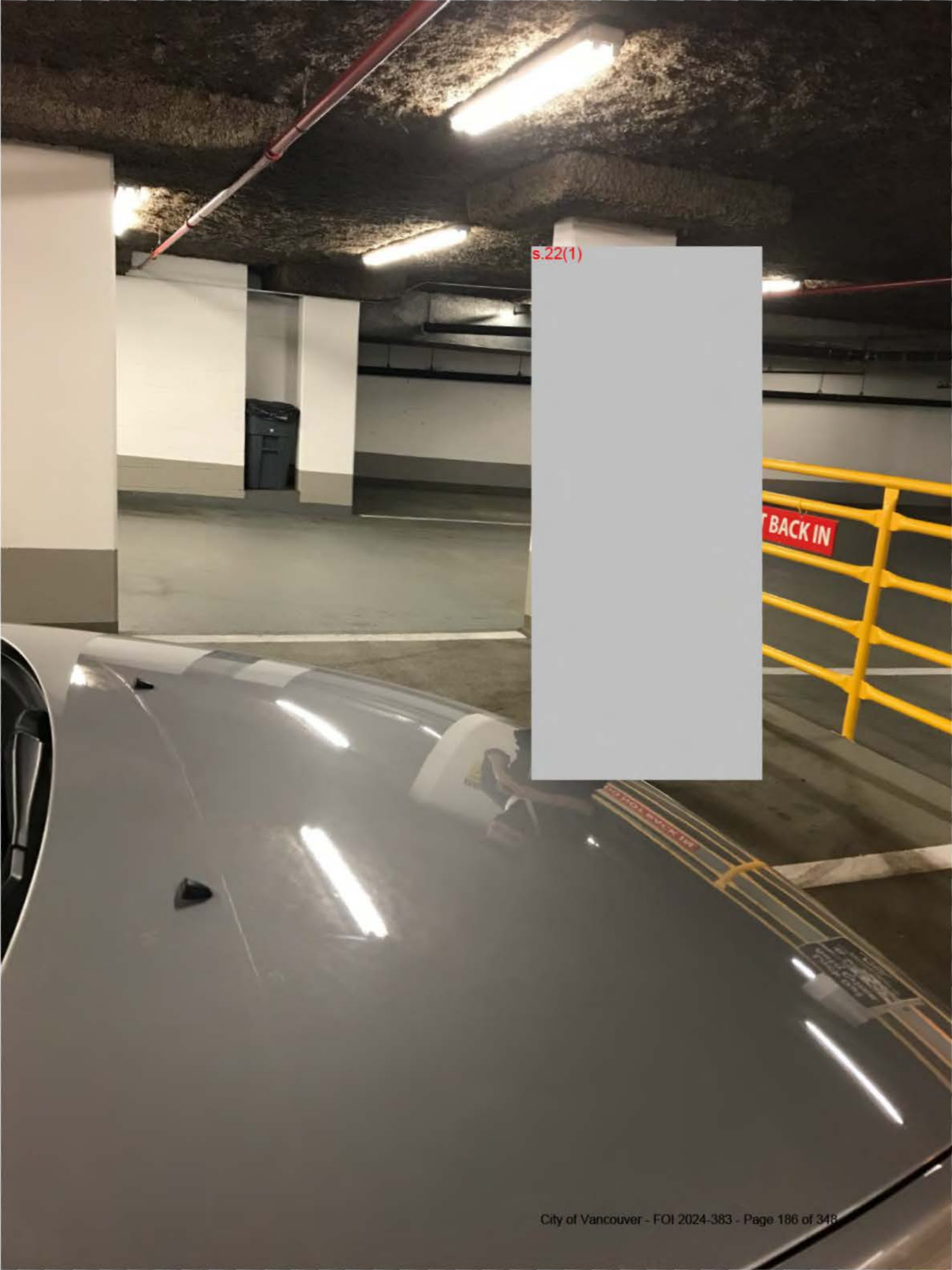
Please email info@privevancouver.com

FRIDAY & SATURDAY:

6PM - 11PM

(last call 10pm)

MAXIMUM
HEIGHT
7'-6" (2.28m)
7'-6" MAXIMUM HEIGHT 2.28m


s.22(1)
BACK IN

PROTECT YOURSELF
HELP PREVENT THEFT
Remove All Valuables.
Close Your Windows.
Lock Your Doors.
We Accept No Responsibility
For Loss, Theft Or Damage
To Vehicles Or Contents.
NOTICE
FACE MASK
REQUIRED
SOCIAL
DISTANCING
Parkade
Closes at
7:00pm
NOTICE
COVID-19
EXIT

History Report

As Of: Jul 3, 2024 11:03:59

Case File: CF-2021-003284: Closed

311 Case File Ref	101014860618, 101014860664, 101014868580, 101014880723
Brief Description	Prive Kitchen + Bar - COVID-19 - Enforcement Request x 4 complaints Bars serves alcohol until past 4 am, karaoke room is fully packed
Business License Number	
Completed Date	
Description	Case File CF-2021-003284: Closed (License By-law - Prive Kitchen + Bar - COVID-19 - Enforcement Request x 4 complaints Bars serves alcohol until past 4 am, karaoke room is fully packed) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Analiza Abello-Lee, Property Use Inspector
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	May 18, 2021 18:26:45
Notes	
General Note (Unlocked)	Feb 23/21- AAL Site visit

	Parkade Notice: Closed at 7:00 pm Temporary Hours Notice: Sun-Thursday - By Appointment Only Friday-Sat 6pm-11pm
	AMANDA B/L NOTES: B/L 21-127529 LH -Renewal Status- $2203.00 Outstanding Hours of Operation: 11:00 am to 12:00 am, Sunday to Thursday; 11:00 am to 1:00 am, Friday and Saturday (Non-downtown - Primarily Mixed - use)
	DP-2020-00230 - Interior alterations and to change the use from a Restaurant Class-2 to a Neighbourhood Public House, (Liquor Establishment Class-4), with Karaoke, as per Council Resolution dated February 12, 2020, in this existing commercial building on this site. The approval is for a limited period of time expiring on September 14, 2021, unless extended in writing by the Director of Planning. Including the Acoustical Report dated September 10, 2018, from Bap Acoustics. Noise levels not to exceed 95dBA/105dBC within the karaoke booths and 85dBA/95dBC in the lounge-dining area. DP-2020-00238 - To use the existing outdoor seating area in conjunction with the Neighbourhood Public House, (Liquor Primary Class-4), with Karaoke, as per Council Resolution dated February 12, 2020., in this existing commercial building on this site.The approval is for a limited period of time expiring on September 14, 2021, unless extended in writing by the Director of Planning.
	MINORS ENDORSEMENT FOR FAMILY FOOD SERVICE (Last updated on Mar 19, 2021 09:36:57 by Analiza Abello-Lee, Property Use Inspector)
General Note (Unlocked)	VPD visit on February 5, 2021. (Last updated on Mar 23, 2021 09:39:23 by Analiza Abello-Lee, Property Use Inspector)
General Note (Unlocked)	Feb 24/22 - Emailed Ray Huynh for meeting request (Last updated on Feb 24, 2022 09:03:12 by Analiza Abello-Lee, Property Use Inspector)
General Note (Unlocked)	Feb 23/22 - WebEx meeting w/ Mark, Mandy, Sam Senechal (Last updated on Feb 24, 2022 09:03:47 by Analiza Abello-Lee, Property Use Inspector)
General Note (Unlocked)	See CF-21-000087 Mark Mclellan comments See CF-20-010543 - Koji comments See CF-21-014109 -VPD comments (Assault and weapons) (Last updated on Apr 20, 2022 22:19:04 by Analiza Abello-Lee, Property Use Inspector)

Processes

Assign Investigation (Completed on Mar 10, 2021 15:12:35 by Ruby Parcon with outcome "Assigned")

Actual Start Date	
Comments	
Date Completed	Mar 10, 2021 15:12:35
Description	
IsOutcomed	Y
Outcome	Assigned

Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Mar 10, 2021 15:12:30
Staff Assigned Id List	
Assignments	
Ruby Parcon	
Relationships	
Shadow Process: 143623040	
Referenced ObjectId	143623028

Perform Investigation (Completed on Mar 15, 2021 09:51:09 by Lizzy Delaney, Property Use Inspector with outcome "Follow-up Investigation Scheduled")

Additional Instructions	
Comments	
Description	COVID - 2x - Prive
Findings	March 12, 2021: Vince and I went to the location twice during the evening of March 12th, which revealed the following; 1. 9:00 PM – Prive was closed, no lights on and could not enter the building from the front door. Went around to the back, but the parkade was closed and we could not gain access. Did not see any customers or staff at this time. 2. 11:00 PM – Still no lights on, went around back to the parkade and saw a s.22(1) with a walkie talkie, who was "working" in the garage, and gave us access in to the parkade. We asked s.22(1) if there was karaoke going on tonight, and s.22(1) said yes and that's when s.22(1) opened the gate to the parkade. As we stepped out of the car, s.22(1) asked us what name our reservation was made under – we did not have one and asked if there were any openings and s.22(1) replied "no, we are full tonight." I asked s.22(1) how late they are open until tonight, and s.22(1) said "very late." There were two other customers in the garage, waiting to be taken upstairs, however, these two women left when we revealed that we were from the City and that we required access upstairs. It took the s.22(1) in the parkade roughly 5-10 minutes to allow us upstairs. When we got up there, there were two servers cleaning in the dark – no lights were on. We were escorted around and in to each of the private rooms, and there were no patrons at this time. The staff told us they were closing for the night, despite the s.22(1) in the parkade initially telling us they had reservations and were open late.
Re-investigation Date	Mar 15, 2021 00:00:00
Route Order	
Assignments	
Lizzy Delaney, Property Use Inspector	

Perform Investigation (Completed on Mar 22, 2021 11:13:58 by Lizzy Delaney, Property Use Inspector with outcome "Send for Supervisor Review")

Additional Instructions	
Comments	
Description	COVID - 4X - Prive - MONITOR B/L 21-127529 LH - $2203.00 Outstanding Liq Est Class 4
Findings	March 22/21 - Warning Email sent to Scott. March 19/21 - Emailed Scott to respond. March 18/21 - Email Response from Prive. March 17/21 - Emailed Scott requesting for a phone conversation to discuss this matter. March 12/21 - Night Team Visit 9pm/11pm Complaints: Mar 6/21 - (2x) Alcohol service past 10pm/Karaoke/20+ people Mar 13/21 - Congregation Mar 12 & 13/21 - "Nightclub"
Re-investigation Date	
Route Order	

Assignments

Analiza Abello-Lee, Property Use Inspector

Supervisor Review (Completed on Apr 8, 2021 15:22:44 by Darren Mitchell, Property Use Supervisor with outcome "Work Needed")

Actual Start Date	
Comments	
Date Completed	Apr 8, 2021 15:22:44
Description	File for info & refer to M McLellan for potential enforcement / referral.
Outcome	Work Needed
Process Importance	
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Mar 22, 2021 11:13:58
Staff Assigned Id List	

Assignments

Darren Mitchell, Property Use Supervisor

Relationships

Shadow Process: 144311265

Referenced ObjectId	144311263

Relationships

Letter: 144310067 : CE - Investigation Report (PUI)

Perform Investigation (Completed on May 18, 2021 18:26:51 by Analiza Abello-Lee, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	COVID - Prive - HOLD for further instruction - possible referral to VCH.
Findings	May 18/21 - No further complaints. No Indoor Dining per PHO. Monitor.
Re-investigation Date	
Route Order	

Assignments

Analiza Abello-Lee, Property Use Inspector

Relationships

Violations: VI-2021-01302

Assess Fine on NOV?	N
Assess Fine on Order?	N
Description	Potentially operating outside of PHO regulations.
Fees Assessed	N
Fine Per Period	
Fine Per Period	
Fine To Assess (NOV)	
Fine To Assess (Order)	
Frequency	
Frequency	
Grace Period (days)	0
Grace Period (days)	0
Issue Warning/Violation	Warning
Life Safety	
Priority	
Resolution Date	May 18, 2021 00:00:00
Resolve By Date	

Result	Corrected
Special Instructions	Send for Supervisor Review
Violation Date	Mar 22, 2021 00:00:00

Relationships

Violation Type: Zoning & Development Bylaw No. 3575

Relationships

Contact: Raymond Huynh s.22(1)

Type	
Address	
Contact Type	
Email Address	s.22(1)
Name	Raymond Huynh
Phone Number	s.22(1)
Postal Code	
Role	Manager
Role	
WorkSafeBC Blast Certificate Number	

Document: 143623094

Document: 143623595

Document: 143808235

Document: 143847156

Document: 143851693

Document: 144086088

Document: 144090670

Document: 144174021

Document: 144201069

Document: 144202888

Document: 144310630

Document: 144310819

Document: 144370525

Document: 144382483

Document: 145446900

Document: 169906197

Document: 170633057

Document: 170669311

Document: 171243633

Document: 173220807

Enforcement Stream: Property Use

Investigator: Analiza Abello-Lee, Property Use Inspector

Letter: 144310067 : CE - Investigation Report (PUI)

Description	CE - Investigation Report (PUI)
File Extension	pdf
File Name	
File Size	

Revisions

Revision 1 created on Mar 22, 2021 11:03:30 by Lizzy Delaney, Property Use Inspector

Relationships

Shadow Process: 143847165

Shadow Process: 144311265

Shadow Process: 145446960

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

Violation: VI-2021-01302

Assess Fine on NOV?	N
Assess Fine on Order?	N
Description	Potentially operating outside of PHO regulations.
Fees Assessed	N
Fine Per Period	
Fine Per Period	
Fine To Assess (NOV)	
Fine To Assess (Order)	
Frequency	
Frequency	
Grace Period (days)	0
Grace Period (days)	0

Issue Warning/Violation	Warning
Life Safety	
Priority	
Resolution Date	May 18, 2021 00:00:00
Resolve By Date	
Result	Corrected
Special Instructions	Send for Supervisor Review
Violation Date	Mar 22, 2021 00:00:00

Relationships

Violation Type: Zoning & Development Bylaw No. 3575

From: "McLellan, Mark" <Mark.McLellan@vancouver.ca>
To: "Mark Ritson (mark.ritson@vch.ca)" <mark.ritson@vch.ca>
"Kerluck, Eric LCRB:EX" <Eric.Kerluck@gov.bc.ca>
CC: "McLellan, Mark" <Mark.McLellan@vancouver.ca>
Date: 3/23/2021 11:07:00 AM
Subject: Prive Kitchen + Bar - 1001 W Broadway
Attachments: COVID-19 - Enforcement Request Case-101014880723.rtf
COVID-19 - Enforcement Request Case-101014860618.rtf
COVID-19 - Enforcement Request Case-101014860664.rtf
COVID-19 - Enforcement Request Case-101014868580 (1).rtf
1001 w broadway.docm

Hello Mark and Eric,
We've been struggling with this operator as of late and con nue to receive complaints (most recent a ached) - the bulk of these complaints indicate that there is activity happening in the early hours of the morning.

We were onsite March 12 at 9pm and 11PM – please see our a ached inspec on report. Based on the complaints and our observa ons, it looks like things don't get started un l well a er 11pm.

We followed up with VPD, it looks like they responded to a complaint in early Feb re people being snuck upstairs for events. They attended, but there were no signs of anyone.

If you have a look at their website (https://privevancouver.com/) and click "book a reserva on, you're presented with the following:

Returning? Log In

KARAOKE ROOMS

PLEASE NOTE THAT THERE IS CURRENTLY A MAX CAPACITY OF 6 PEOPLE FOR ALL ROOMS. THERE ARE CURRENTLY NO MICS ALLOWED IN THE ROOMS. ROOMS WILL BE DISCOUNTED 50%.

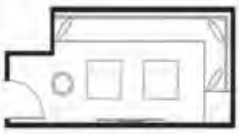
*All karaoke rooms are subject to 18% service charge.
*Bills can be split up to 4 ways max.
*No cancellations or rescheduling permitted

Upon check-in we require a PRE-AUTHORIZED PAYMENT of $500 for rooms 1 - 5 and $1000 for rooms 6 - 10. The pre-authorization is not a charge and will be released back to you in 3 - 7 business days depending your bank or financial institution.This is to ensure no damages to the room or walk-outs.

Please see individual rooms for price. Each room has different rates depending on size, time and date of booking. A NON-REFUNDABLE $50 Deposit is automatically charged per hour booked. E.g. a 2 hour booking will require a $100 deposit. The deposit will be deducted from the final invoice upon your arrival.

Room 1 | Fits 11 people (1 hour @ $ CAD50.00)
Rates:
Sunday - Thursday
Open - 7pm: $40 per hour
7pm - Close: $75 per hour

Deposit Amount to Secure your Reservation.



Is there any support you could provide on this one? Any upcoming night inspections on your end?

Thanks,

Mark

From: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Sent: Monday, March 22, 2021 8:08 AM
To: Volpe, Loris <loris.volpe@vancouver.ca>; McLellan, Mark <Mark.McLellan@vancouver.ca>
Subject: Prive (CF-21-003284) - Supervisor/Manager Call-Back Required

Good Morning Gentlemen,

As per the aforementioned subject, A Citizen (Complainant #4) is requesting a call back at the Supervisor/Manager level.

A quick synopsis:

- Four complaints have been received w/date of incidents occurring on March 6, March 13 (2x), March 12, March 19
- Night Inspectors were on site, March 12, no viola on observed…although suspected that "Karaoke" was being offered as validated by Garage Attendant.
- Re: Citizen/Complainant #4. This CF is the first CoV has received under reference phone number s.22(1) s.22(1) It sounds like s.22(1) has files w/VPD.
- Please see my email exchange with Operator under Document Tab. I have his attention and He wants to pay his B/L
- Recommend that a meeting be set up with Operator to discuss matter. (Re: PHO, Z&D, Licence By-Law)
- Alert / Remind Operator of Z&D Conditions - DP-2020-00230 - Interior alterations and to change the use from a Restaurant Class-2 to a Neighbourhood Public House, (Liquor Establishment Class-4), with Karaoke, as per Council Resolution dated February 12, 2020, in this existing commercial building on this site. The approval is for a limited period of time expiring on September 14, 2021, unless extended in writing by the Director of Planning.

- VPD logs have been requested

Thank you.

Analiza

Analiza Abello-Lee / Property Use Inspector
Property Use Inspections / City of Vancouver
analiza.abello-lee@vancouver.ca
604-873-7763

The City of Vancouver acknowledges that it is situated on the unceded traditional territories of the Musqueam, Squamish, and Tsleil-Waututh peoples

COVID-19 - Enforcement Request Case

Case number: 101014880723 Case created: 2021-03-18, 02:30:00 PM Channel: Phone

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address:

Request Details

1. Type of violation:
Restaurant/pub serving alcohol after 10 PM

2. Location of violation:
Private Property - Business

4. Provide the date (MM-DD-YYYY) and time (00:00 AM/PM) the violation was observed:
03-12-2021 and 03-13-2021 until late night/early morning

5. If business, provide business name:
Prive Kitchen and Bar

7. Provide details:
Prive Kitchen and Bar at Unit 200-1001 W. Broadway has been running what looks to be a nightclub every Friday and Saturday night for many months now. It goes on til the wee hours of the morning. Citizen is getting upset that s.22(1) keeps reporting it but nothing is being done. s.22(1) said that police or inspectors knocked on the front door once, but they keep it locked so nobody answered, so we just left. When police or inspectors knock on the front door, the patrons run out the back door into the alley to sneak out. Citizen is about to go to the news about this and will go to the Mayor and Premier to complain if we don't stop this illegal nightclub. s.22(1) wants a manager or supervisor to call s.22(1) to let s.22(1) know what steps are being taken. Please call s.22(1) at s.22(1) .
Some previous case numbers are: 14674579, 14522812, 14486900

8. Neighbourhood:
UNKNOWN

Additional Details

Contact Details

Name: s.22(1)
Address: ,
Address2:
Phone: s.22(1) Email:
Alt. Phone: Preferred contact method: Phone

Case Notes

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014860618 Case created: 2021-03-10, 02:40:00 PM Channel: WEB

Incident Location

Address: 311 UNADDRESSED LOCATION, VANCOUVER, VAN 311
Address2:
Location name:
Original Address: 1001 West Broadway lot 623

Request Details

1. Type of violation:*
Bar/pub open after 11 PM (unless providing meals)

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring (including suite number, if applicable):*
1001 West Broadway lot 623

4. When was the violation observed:*
March 6 2021

6. If business is in violation, provide the business name:
Prive kitchen bar

7. If park or beach, provide name:

8. Provide details regarding the violation:*
Karaoke bars serves alcohol until past 4 am. Has patrons wait in the underground lot then escorted through an elevator to a backdoor of the establishment. I have seen videos and heard s.22(1) going and filling rooms with more than 20 people

10. Your name:

11. Phone number:*
s.22(1)

12. Email address:

99. Attachments
0

Additional Details

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email:

Alt. Phone: Preferred contact method: Either

Case Notes

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014860664 Case created: 2021-03-10, 02:50:00 PM Channel: WEB

Incident Location

Address: 311 UNADDRESSED LOCATION, VANCOUVER, VAN 311
Address2:
Location name:
Original Address: 1001 west Broadway #200

Request Details

1. Type of violation:*
Bar/pub open after 11 PM (unless providing meals)

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring (including suite number, if applicable):*
1001 west Broadway #200

4. When was the violation observed:*
March 6, 2021

6. If business is in violation, provide the business name:
Prive Kitchen Bar

7. If park or beach, provide name:

8. Provide details regarding the violation:*
I saw on my social media, a party that gathered inside. Karaoke room is fully packed, would?ve been around 20 people. Late night as well around 12am and later. I?ve seen s.22(1) going there on weekends as well to party, not just on the 6th.

10. Your name:

11. Phone number:*
s.22(1)

12. Email address:

99. Attachments
0

Additional Details

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email:
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

- no picture -

COVID-19 - Enforcement Request Case

Case number: 101014868580 Case created: 2021-03-13, 11:31:00 PM Channel: WEB

Incident Location

Address: 311 UNADDRESSED LOCATION, VANCOUVER, VAN 311
Address2:
Location name:
Original Address: 1001 west Broadway #200

Request Details

1. Type of violation:*
Nightclub open

2. Where is the violation occurring:*
Private Property - Business

3. Confirm address where violation is occurring (including suite number, if applicable):*
1001 west Broadway #200

4. When was the violation observed:*
10PM Friday March 13tbh

6. If business is in violation, provide the business name:

7. If park or beach, provide name:

8. Provide details regarding the violation:*
Violation of number of people, socializing, etc

10. Your name:

11. Phone number:*
s.22(1)

12. Email address:

99. Attachments
0

Additional Details

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email:
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

- no picture -

CITY OF VANCOUVER

CE - Inspection Report (PUI)

CF Number	CF-2021-003284	Date of Inspection (yyyy/mm/dd)	2021/03/12
Main Address	1001 W BROADWAY	Specifics and/or Suite #	N/A
Tenant	PRIVE Kitchen + Bar, 1111539 BC Ltd	Number of Storeys	N/A
Owner	ROSEBUD PROPERTIES (BROADWAY) LTD 508-1001 BROADWAY W VANCOUVER BC V6H 4B1	Permit Number	BP-2018-03396
Agent	N/A	Approved Use of Building/Land	Restaurant Class-2
District Zone	C-3A	Present Use of Building/Land	Restaurant Class-2
Business License	2021 127529 000 00 LH		

Reason for Inspection Complaints (x4) generated through 311 - Lagan #101014860618, #101014860664, #101014868580, #101014880723

Narrative/Observations

March 12, 2021: PUI Vince Amendolagine and I went to the location twice during the evening of March 12th, which revealed the following;

1. 9:00 PM - Prive was closed, no lights on and could not enter the building from the front door. Went around to the back, but the parkade was closed and we could not gain access. Did not see any customers or staff at this time.

2. 11:00 PM - Still no lights on, went around back to the parkade and saw a s.22(1) with a walkie talkie, who was "working" in the garage, and gave us access in to the parkade. We asked s.22(1) if there was karaoke going on tonight, and s.22(1) said yes and that's when s.22(1) opened the gate to the parkade. As we stepped out of the car, s.22(1) asked us what name our reservation was made under - we did not have one and asked if there were any openings and s.22(1) replied "no, we are full tonight." I asked s.22(1) how late they are open until tonight, and s.22(1) said "very late." There were two other customers in the garage, waiting to be taken upstairs, however, these two women left when we revealed that we were from the City and that we required access upstairs. It took the s.22(1) in the parkade roughly 5-10 minutes to allow us upstairs. When we got up there, there were two servers cleaning in the dark - no lights were on. We were escorted around and in to each of the private rooms, and there were no patrons at this time. The staff told us they were closing for the night, despite the s.22(1) in the parkade initially telling us they had reservations and were open late.

Requirements

Zoning & Development #3575 - Section 6.7.

Recommendations

File for info,
CC to M McLellan.

Photos Taken? ☒ Yes ☐ No

Date Report Made: March 22, 2021

Lizzy Delaney
Inspector's Name

Violation Details	
Violation Number: VI-2021-01302	**Violation:** Potentially operating outside of PHO regulations.
Violation Date: Mar 22, 2021	**Zoning & Development #3575 - Section 6.7:** No person shall fail to comply with the conditions of a Development Permit.
Violation Type: Zoning & Development Bylaw No. 3575	**Violation Instructions:** Send for Supervisor Review
Resolve By:	
Violation Status:	

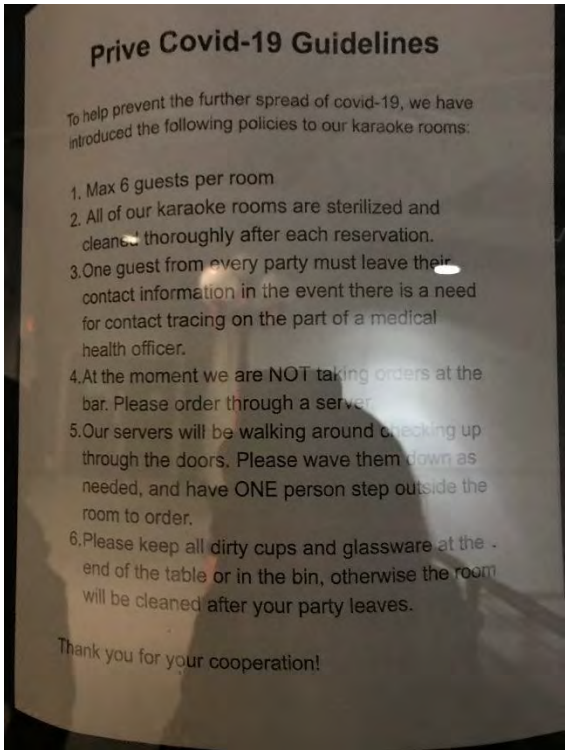
Photo	Description
 Prive Covid-19 Guidelines To help prevent the further spread of covid-19, we have introduced the following policies to our karaoke rooms: 1. Max 6 guests per room 2. All of our karaoke rooms are sterilized and cleaned thoroughly after each reservation. 3.One guest from every party must leave their contact information in the event there is a need for contact tracing on the part of a medical health officer. 4.At the moment we are NOT taking orders at the bar. Please order through a server. 5.Our servers will be walking around checking up through the doors. Please wave them down as needed, and have ONE person step outside the room to order. 6.Please keep all dirty cups and glassware at the end of the table or in the bin, otherwise the room will be cleaned after your party leaves. Thank you for your cooperation!	1/ Information regarding internal Covid-19 protocols posted at front entrance of Prive.
 KITCHEN / BAR / KARAOKE TEMPORARY HOURS SUNDAY - THURSDAY: BY APPOINTMENT ONLY Please email info@privevancouver.com FRIDAY & SATURDAY: 6PM - 11PM (last call 10pm)	2/ Temporary hours posted at front entrance of Prive.

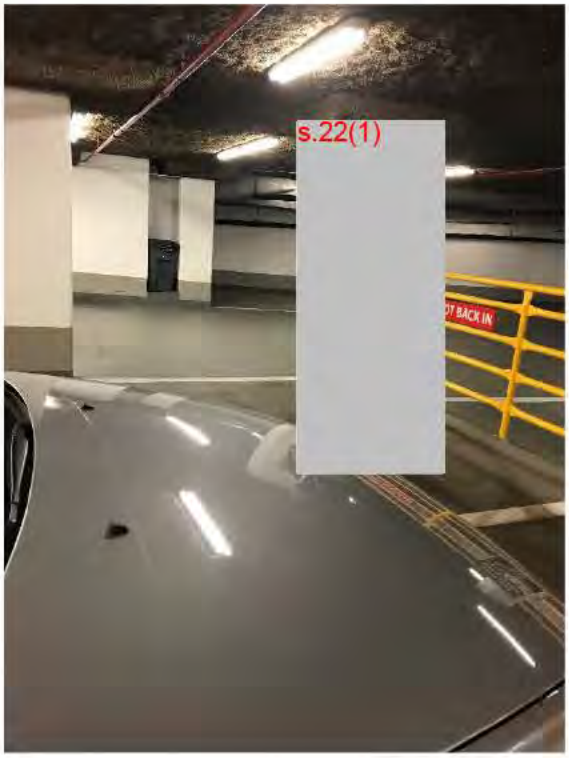
Photo	Description
	3/ Entrance to parkade at rear (north) elevation of building,
	4/ Bouncer/Prive employee, managing the parkade and allowing cars to enter, and people to enter Prive. Bouncer was asking for a reservation name upon entrance.

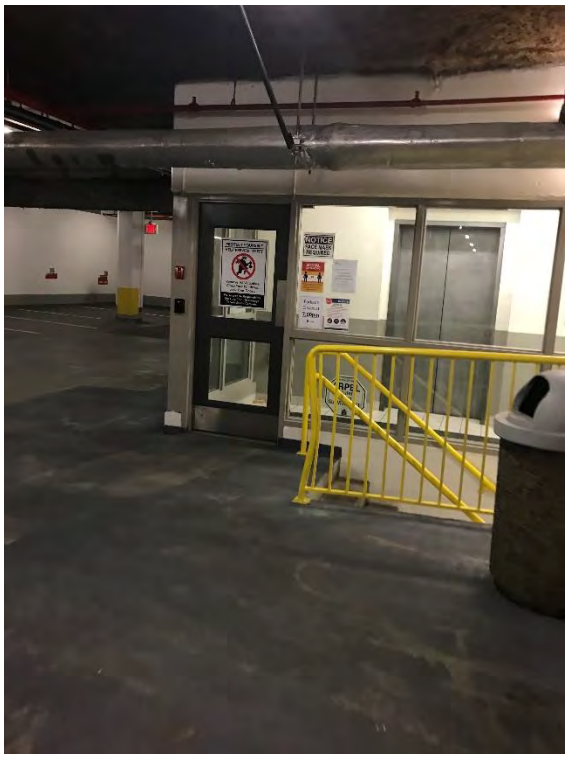
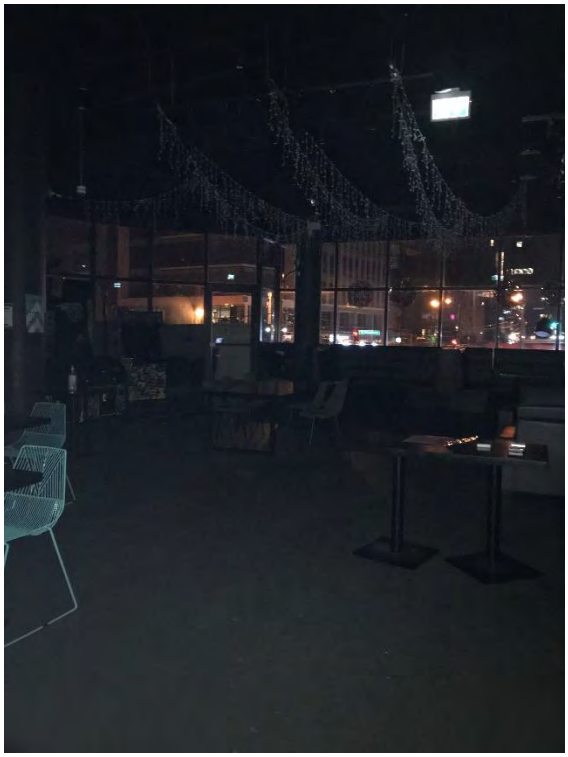
Photo	Description
	5/ Door used from parkade to access Prive. Bouncer granted us access to Prive via this door.
	6/ Interior of Prive - lights were off and no patrons were on site - common area.

Photo	Description
	7/ Interior of Prive - lights were off and no patrons were on site - common area.

Noise Complaint

Case number: 101015251097 Case created: 2021-07-30, 10:48:00 PM Channel: VanConnect

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 200-1001 W Broadway

Request Details

1. Type of noise:
Peopleexcessiveresidentialorpartynoise

2. Describe the noise:*
Loud people entering and leaving prive nightclub

3. When is it happening?*
1030-230 in the morning when prive is opened

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1030 W Broadway

Additional Details

PS#: 10529769

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: Anonymous@Anonymous.ca
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

s.22(1)

[redacted]

Noise Complaint

Case number: 101015251127 Case created: 2021-07-31, 01:13:00 AM Channel: VanConnect

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001 W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
Extremely loud shouting and ruckus coming from Priv? on Broadway and Oak.

3. When is it happening?*
1am

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1001 w Broadway, #200

Additional Details

PS#: 10529859

Contact Details

Name: s.22(1)
Address: ,
Address2:
Phone: s.22(1) Email: s.22(1)
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

History Report

As Of: Jul 11, 2024 16:21:32

Case File: CF-2021-010885: Closed

311 Case File Ref	101015251097, 101015251127
Brief Description	Loud people entering and leaving Prive Bar x 2 complaints
Business License Number	
Completed Date	
Description	Case File CF-2021-010885: Closed (Noise By-law - Loud people entering and leaving Prive Bar x 2 complaints) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Analiza Abello-Lee, Property Use Inspector
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Aug 3, 2021 17:22:38 by Ruby Parcon with outcome "Assigned")

Actual Start Date

Comments	
Date Completed	Aug 3, 2021 17:22:38
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Aug 3, 2021 17:22:33
Staff Assigned Id List	
Assignments	
Ruby Parcon	
Relationships	
Shadow Process: 152779221	
Referenced ObjectId	152779209

Perform Investigation (Completed on Aug 4, 2021 08:37:31 by Analiza Abello-Lee, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	
Findings	This is a nuisance call to VPD.
Re-investigation Date	
Route Order	
Assignments	
Analiza Abello-Lee, Property Use Inspector	

Relationships

Document: 152779235

Document: 152779737

Enforcement Stream: Property Use

Investigator: Analiza Abello-Lee, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

Noise Complaint

Case number: 101015509874 Case created: 2021-11-14, 12:38:00 AM Channel: WEB

Incident Location

Address: 1001 W BROADWAY, Vancouver, V6H 4B1
Address2:
Location name:
Original Address: 1001w W Broadway

Request Details

1. Type of noise:
Businessbarrestaurantpatiopatronsmusicetc

2. Describe the noise:*
Yelling, excessive high pitched screaming

3. When is it happening?*
12:36am

6. Have you spoken with the person or company making the noise?*
No

10. Please verify address of the property:*
1001 W Broadway

Additional Details

PS#: 11122732

Contact Details

Name: No Name No Name (ps)
Address: ,
Address2:
Phone: s.22(1) Email: s.22(1)
Alt. Phone: Preferred contact method: Either

Case Notes

Photo

History Report

As Of: Jul 11, 2024 16:25:27

Case File: CF-2021-015515: Closed

311 Case File Ref	101015509874
Brief Description	Yelling and high pitched screaming
Business License Number	
Completed Date	
Description	Case File CF-2021-015515: Closed (Noise By-law - Yelling and high pitched screaming) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Kimberly Li, Property Use Inspector
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Nov 15, 2021 16:04:18 by Krystal Che with outcome "Assigned")

Actual Start Date

Comments	
Date Completed	Nov 15, 2021 16:04:18
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Nov 15, 2021 16:04:13
Staff Assigned Id List	
Assignments	
Krystal Che	
Relationships	
Shadow Process: 159718153	
Referenced ObjectId	159718141

Perform Investigation (Completed on Nov 16, 2021 11:28:49 by Kimberly Li, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	Noise
Findings	No unit specified. Noise may be came out from non-tenants. No trace of noise.
Re-investigation Date	
Route Order	
Assignments	
Kimberly Li, Property Use Inspector	

Relationships

Document: 159718197

Enforcement Stream: Property Use

Investigator: Kimberly Li, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

Case Summary

Case ID:	201000068361
Case creation date:	9/3/2022, 7:53:52 PM

Location and request details:

Location:	1001 W BROADWAY
Additional location details:	1001 West Broadway, unit 200
Type of request:	Noise concern
Type of noise:	Business (bar, restaurant, music, etc.)
Describe the noise and who is making it:	Very loud music
When/how often is it happening?	Once in a while
Did you speak to the person/company making the noise?	No
Did you contact the police about your concern?	No
Provide details:	Hi , The music today is very loud.s.22(1) and went outside to look where it's comming from. I know there were previous concerns about this business from our building residents. s.22(1) and can here it all the way to the alley between Broadway and West 10th. I didn't call police as last time they said it would take about an hour for them to come.

Contact information:

Name: s.22(1) No Name

Email address: s.22(1)

Phone number: s.22(1)

Back Submit

History Report

As Of: Jul 11, 2024 14:41:35

Case File: CF-2022-010041: Closed

311 Case File Ref	201000068361
Brief Description	Loud music from business
Business License Number	
Completed Date	
Description	Case File CF-2022-010041: Closed (Noise By-law - Loud music from business) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Analiza Abello-Lee, Property Use Inspector
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Sep 9, 2022 15:10:48 by Krystal Che with outcome "Assigned")

Actual Start Date

Comments	
Date Completed	Sep 9, 2022 15:10:48
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Sep 9, 2022 15:10:43
Staff Assigned Id List	
Assignments	
Krystal Che	
Relationships	
Shadow Process: 182884321	
Referenced ObjectId	182884309

Perform Investigation (Completed on Sep 27, 2022 13:31:24 by Analiza Abello-Lee, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	Noise - Prive
Findings	Sept 3/22 - Noise Event Sept 9/22 - Referred to PUI Sept 13/22 - No action taken. Monitor Sept 17/22 - Night Enforcement Team Abello/Leung - Not performed, ran out of time. Sept 27/22 - No further complaints
Re-investigation Date	
Route Order	
Assignments	
Analiza Abello-Lee, Property Use Inspector	

Relationships

Document: 182884419

Enforcement Stream: Property Use

Investigator: Analiza Abello-Lee, Property Use Inspector

Case Summary

Case ID:	201000834619
Case creation date:	9/2/2023, 8:54:57 PM
Case created by:	Service Account
Channel:	Mobile App

Location and request details:

Location:	1001 W BROADWAY
Additional location details:	Prive kitchen and bar
Type of request:	Noise concern
Type of noise:	Loud music
Describe the noise and who is making it:	Loud music and people standing yelling on the street
When/how often is it happening?	Every couple weeks. I contacted police before but they said they have a license. It's extremely loud music noise, considering near by the hospital where people need to sleep to go to work
Did you speak to the person/company making the noise?	No
Did you contact the police about your concern?	No
Provide details:	Extremely loud music noise. Near by the hospital. People need to sleep to go to work. It is ridiculous. Not the first time

Contact information:

Name: No Name No Name

Email address:

Phone number:

Back Submit

History Report

As Of: Jul 11, 2024 14:36:59

Case File: CF-2023-009707: Closed

311 Case File Ref	201000834619
Brief Description	Noise - Loud music and people standing yelling on the street
Business License Number	
Completed Date	
Description	Case File CF-2023-009707: Closed (Noise By-law - Noise - Loud music and people standing yelling on the street) 1001 W BROADWAY, Vancouver, BC V6H 4B1
dup_DefaultInvestigator	Analiza Abello-Lee, Property Use Inspector
dup_Fine	0.00
Enforcement Stream	
Findings	
Invoice Due Date	
Issue Date	
Job Location	
Location	
Location Description	
Location Type	Addressed
Parcel Owner is Defendant	N
Parent Job (Internal ID)	
PRISM BU Permit Number	
PRISM DB Permit Number	
PRISM DE Permit Number	
Proposed Investigator (Proposed Assignee)	
Reason for Case File	Complaint
Relationship	
STR CD	
Violation Updated Date	

Processes

Assign Investigation (Completed on Sep 5, 2023 12:19:28 by Loris Volpe with outcome "Assigned")

Actual Start Date

Comments	
Date Completed	Sep 5, 2023 12:19:28
Description	
IsOutcomed	Y
Outcome	Assigned
Process Importance	
ReBuildChecklist	N
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Sep 5, 2023 12:19:22
Staff Assigned Id List	
Assignments	
Loris Volpe	
Relationships	
Shadow Process: 210568357	
Referenced ObjectId	210568345

Perform Investigation (Completed on Sep 5, 2023 19:09:12 by Analiza Abello-Lee, Property Use Inspector with outcome "No Violation Found")

Additional Instructions	
Comments	
Description	
Findings	Recipient address required before investigation can proceed.
Re-investigation Date	
Route Order	
Assignments	
Analiza Abello-Lee, Property Use Inspector	

Relationships

Document: 210568457

Enforcement Stream: Property Use

Investigator: Analiza Abello-Lee, Property Use Inspector

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

CITY OF VANCOUVER

October 5, 2022

c/o Raymond Huynh
111539 BC Ltd
#200 – 1001 W Broadway
Vancouver, BC V6H 4E4

Dear Raymond Huynh:

RE 1001 W BROADWAY – UNIT 200
Development Permit Number DP-2020-00230 & DP-2020-00238

Thank you for your request for an extension of the time limitation of the above-noted Development Permit.

On behalf of the Director of Planning, your request is granted, to retain the use of a Neighbourhood Public House, (Liquor Establishment Class-4), with Karaoke, as per Council Resolution dated February 12, 2020, and including the use of an outdoor seating area in conjunction with the Neighbourhood Public House in this existing commercial building on this site, for a further period of time **expiring on September 14, 2023**, unless extended in writing by the Director of Planning and subject to the following conditions:

- Operator/Owner of the premise must ensure that the operation is in compliance with all relevant sections of the Noise Control By-law No. 6555;

- The establishment will monitor the activity of patrons outside the establishment, particularly at closing time, to ensure orderly dispersal and to ensure that the patrons do not disturb the peace, quiet and enjoyment of the neighbourhood;

- Patron participation including Karaoke, is prohibited between 12:00 a.m. (midnight) and 9:00 a.m.;

- The applicant must obtain approvals for, and adhere to, all applicable Provincial Liquor Licensing requirements;

- A neighbourhood liaison shall be made available to whom complaints may be directed about any aspects of this operation. The Neighbourhood Liaisons are:
  Ryan Roopnarine and Raymond Huynh, who can be reached at 604.336.9330 or Info@privevancouver.com;

- The Letter of Operation received March 24, 2022 forms part of this permit approval;

- Food service to be available while the establishment is operating and available on the patio when open;

- A maximum interior capacity of 319 persons;

- Standard hours of operation limited to 11:00 a.m. to 12:00 a.m. (midnight), Sunday to Thursday, 11:00 a.m. to 1:00 a.m., Friday and Saturday for a minimum of six months;

- Applicant to adhere to the Good Neighbour Agreement dated February 18, 2020, and signed by Raymond Huynh;

- The outdoor seating area must comply with the applicable provisions of the Health By-law, smoking in and around the outdoor patio area is not permitted;

- The outdoor patio ceasing all liquor service and vacated by 11:00 p.m. nightly;

- A maximum of 182 persons capacity for the outdoor patio;

- No amplified music or entertainment permitted on the outdoor seating area at anytime; and

- The site shall comply with relevant Provincial and City by-law with respect to COVID-19 (Novel Coronavirus) Orders, Notices and Guidance.

Note to Applicant: It is the applicant's responsibility to submit an application for an extension on or before the expiry date, or a new development application will be required.

Please note that this approval, given under the Zoning and Development By-law, does not in any way represent or guarantee compliance with any other by-law of the City of Vancouver.

Yours truly,

Arlene Tio,
Permit Extension/Renewal Coordinator
Development Review Branch

Arlene.Tio@vancouver.ca
(604) 873-7717

Development Permit Extension or Renewal Application Form
Development Review Branch
Development, Buildings, and Licensing

Date: SEPT 5, 2022

Development Permit No: DP-2020-00230/ DP-2020-00238

Property Address: #200-1001 WEST BROADWAY

I am requesting: [select one]

☑ An extension to the time-limitation, as per section 4.6.8 of the Zoning and Development By-law,

☐ An extension to a void permit, as per sections 4.6.1, 4.6.2, and 4.6.3 of the Zoning and Development By-law,

☐ A renewal of a void permit, as per section 4.6.4 of the Zoning and Development By-law,

to the above-noted Development Permit for a further period of time.

Requests, considerations, or additional information:

FEES HAVE ALREADY BEEN PAID AND EXTENSION HAS ALREADY BEEN GRANTED

Applicant is: [select one]
☒ Tenant ☐ Agent for tenant ☐ Owner ☐ Agent for owner

Email address associated with your online account: s.22(1)		
Company name 111539 B.C.LTD	First name RAY	Last name HUYNH
Address #200-1001 WEST BROADWAY	City & Province VANCOUVER BC	
Postal code V6H 4E4	Telephone no. (604) 336-9330	Other no. or email INFO@PRIVEVANCOUVER.COM

To submit your application online or if you have any questions regarding the information requested in this checklist, visit https://vancouver.ca/building-development-support.

Fees are calculated when staff review the application for completeness and must be paid in order for the detailed review to be scheduled.

Development Permit Extension or Renewal Application Form
Development Review Branch
Development, Buildings, and Licensing

Date: SEPT 5, 2022

Development Permit No: DP-2020-00230/ DP-2020-00238

Property Address: #200-1001 WEST BROADWAY

I am requesting: [select one]

☑ An extension to the time-limitation, as per section 4.6.8 of the Zoning and Development By-law,

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☐ A renewal of a void permit, as per section 4.6.4 of the Zoning and Development By-law,

to the above-noted Development Permit for a further period of time.

Requests, considerations, or additional information:

FEES HAVE ALREADY BEEN PAID AND EXTENSION HAS ALREADY BEEN GRANTED

Applicant is: [select one]
☒ Tenant ☐ Agent for tenant ☐ Owner ☐ Agent for owner

Email address associated with your online account: s.22(1)

Company name	First name	Last name
111539 B.C.LTD	RAY	HUYNH

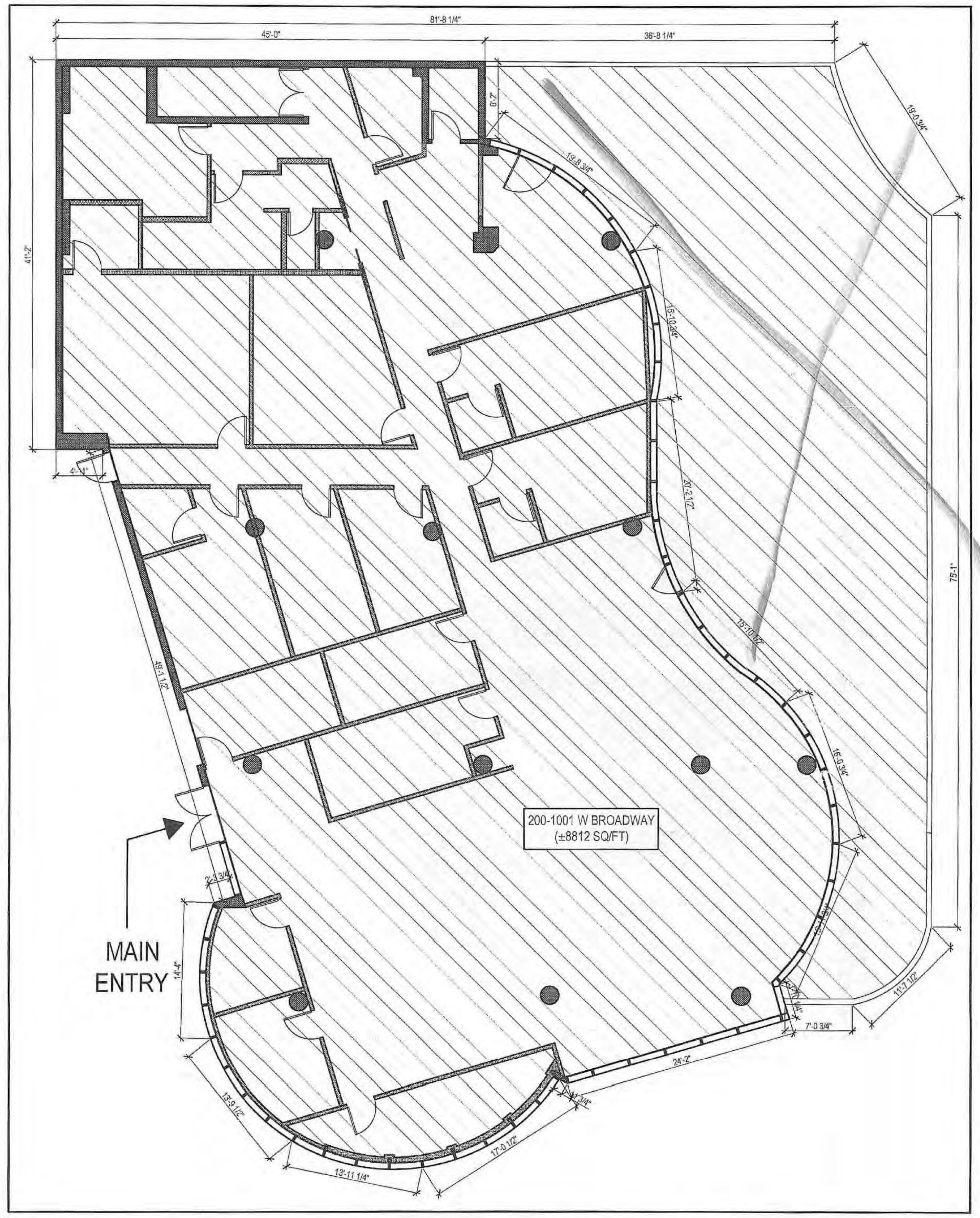
Address	City & Province
#200-1001 WEST BROADWAY	VANCOUVER BC

Postal code	Telephone no.	Other no. or email
V6H 4E4	(604) 336-9330	INFO@PRIVEVANCOUVER.COM

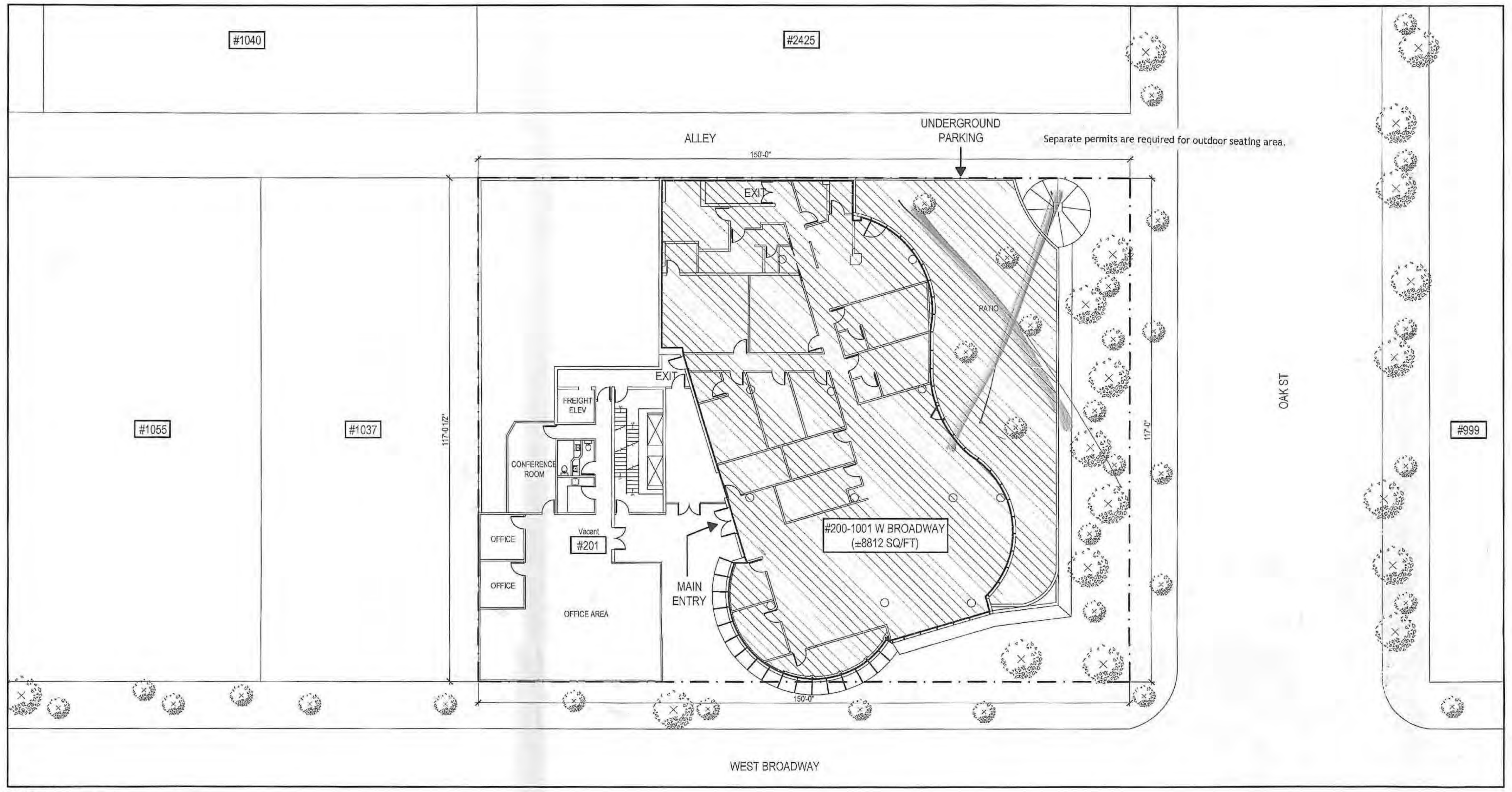
To submit your application online or if you have any questions regarding the information requested in this checklist, visit https://vancouver.ca/building-development-support.

Fees are calculated when staff review the application for completeness and must be paid in order for the detailed review to be scheduled.

KARAOKE LOUNGE -1001 West Broadway, Vancouver, B.C.



A FLOOR PLAN
ID1.0 Scale: 1/8"=1'-0"



B SITE PLAN
ID1.0 Scale: 1/16"= 1'-0"

GENERAL NOTES

1. ALL SUBCONTRACTORS ARE REQUIRED TO TAKE PART IN A SITE REVIEW TO CHECK THE SITE PRIOR TO SUBMITTING TENDERS AND INCLUDE FOR ALL WORK NECESSARY FOR COMPLETE INSTALLATION OF THEIR SCOPE OF WORK.
2. ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE AND SHALL REPORT ANY ERRORS OR OMISSIONS OR DISCREPANCIES TO THE PROJECT MANAGER IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK. NO CONTRACT REVISIONS OR EXTRAS WILL BE ALLOWED FOR FAILURE TO VERIFY SITE CONDITIONS AND DIMENSIONS.
3. THEO PROJECT MANAGER AND ALL SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE LANDLORDS BASE BUILDING GUIDELINES FOR CONSTRUCTION, BUILDING ACCESS, ELEVATOR ACCESS, PERMITTED WORKING HOURS, PARKING, AND SECURITY. ALL SUBCONTRACTORS ARE TO ADHERE TO AND ABIDE BY ALL REQUIREMENTS OF THE CONSTRUCTION GUIDELINES FOR THE BUILDING, FROM THEIR LATEST EDITION, AND SHOULD INCLUDE FOR ALL COSTS EITHER EXPRESSED OR IMPLIED BY THESE GUIDELINES.
4. ALL SUBCONTRACTOR AND SUPPLIERS ARE TO BE AWARE OF THE PROJECT SCHEDULE AND ENSURE THAT THEIR TENDER PRICE INCLUDES FOR ALL SHIFT WORK, PREMIUM TIME, AND OVERTIME THAT WILL BE REQUIRED TO COMPLETE THE WORK AS OUTLINED IN THESE CONTRACT DOCUMENTS, AND TO COORDINATE WITH OTHER SUB TRADES AND SUPPLIERS WORK, AS INDICATED ON SCHEDULES, FOR ALL PHASES, STAGES, AND TURNOVER DATES. PLEASE NOTE DOUBLE SHIFTING MAY BE REQUIRED AND WILL BE ASSUMED TO BE INCLUDED IN THE BASE BID.
5. ALL SUBCONTRACTORS ARE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS BY THE AUTHORITY HAVING JURISDICTION AND AFTER COMPLETION OF WORK, IMMEDIATELY UPON RECEIPT FORWARD A COPY OF THE ROUGH IN, FINAL AND OCCUPANCY DOCUMENTATION TO THE PROJECT MANAGER. THE BUILDING PERMIT WILL BE APPLIED AND PAID FOR BY THE PROJECT MANAGER ON BEHALF OF THE CLIENT.
6. THE PROJECT MANAGER SHALL BE RESPONSIBLE TO DISTRIBUTE FULL SETS OF DRAWINGS AND SPECIFICATIONS TO ALL TRADES FOR COMPLETE COORDINATION. IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO VIEW ALL DRAWINGS AND SPECIFICATIONS FOR FULL EXTENT OF WORK REQUIRED. FLOOR PLAN IS NOT INTENDED TO LIST AND ITEMIZE ALL SUCH WORK.
7. INTER DESIGN DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL MECHANICAL, ELECTRICAL, AND STRUCTURAL ENGINEER DRAWINGS AND SPECIFICATIONS.
8. ALL WORK SHALL BE IN CONFORMANCE WITH BUT NOT LIMITED TO, ALL THE LATEST EDITIONS OF THE NATIONAL, PROVINCIAL, CITY, OR LOCAL BUILDING CODES AND ANY LOCAL BY-LAWS AS APPLICABLE TO THE JURISDICTION WHERE THE CONSTRUCTION IS TO BE PREFORMED. THE SUBCONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL CODES AND AMENDMENTS THAT APPLY TO THIS CONSTRUCTION.
9 ALL MATERIAL AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CANADIAN CONSTRUCTION STANDARDS, THE MOST CURRENT BRITISH COLUMBIA BUILDING CODE AND ANY LOCAL BY-LAWS HAVING JURISDICTION. ALL MATERIALS SHALL BE INSTALLED TO MANUFACTURERS SPECIFICATIONS. ANY MATERIALS NOT SPECIFIED SHALL BE THE MOST SUITABLE FOR THE INTENDED PURPOSE.
10. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATION, SUBMISSION OF ANY SHOP DRAWINGS AND SAMPLES TO THE PROJECT MANAGER FOR THEIR REVIEW ALONG WITH THE DESIGNER. THE DESIGNER RESERVES THE RIGHT TO REJECT WORK THAT DOES NOT CONFORM TO THE CONTRACT DOCUMENTS. SUBCONTRACTOR TO REPAIR OR REPLACE REJECTED WORK AT NO ADDITIONAL COST TO THE CLIENT OR INTERIOR DESIGNER.
11. ALL SUBCONTRACTORS ARE TO ENSURE ANY PENETRATIONS TO EXISTING WALLS AND FLOORS MUST MAINTAIN THE INTEGRITY OF ANY EXISTING FIRE SEPARATION AS REQUIRED. ALL MATERIALS TO MEET FLAME SPREAD RATINGS AND SMOKE DEVELOPMENT CLASSIFICATION OF AUTHORITIES HAVING JURISDICTION.
12. ALL MATERIAL USED FOR NEW CONSTRUCTION SHALL BE NEW AND FREE OF DEFECT.
13. ALL PATCHING AND REPAIRING OF SURFACES ARE NOT NECESSARILY SHOWN. PATCH AND REPAIR ALL EXISTING SURFACES SCHEDULED TO RECEIVE NEW FINISHES TO THAT ALL SURFACES WHEN COMPLETE RESEMBLE ALL NEW INSTALLATION.
14. ALL SUBCONTRACTORS ARE TO INSPECT ALL EXISTING SURFACES AND ASSEMBLIES TO RECEIVE FINISHES AND CONFIRM ACCEPTABILITY PRIOR TO INSTALLATION. (IE. UNEVEN FLOORS, ETC)
15. SUBCONTRACTORS TO MAINTAIN LIFE SAFETY SYSTEMS, FIRE ALARM, AND FIRE PROTECTION SYSTEMS AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD AS PER THE BUILDING CODE.
16. DRYWALL SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE AND PROVIDE BLOCKING (METAL AND/OR WOOD) FOR ALL WALL MOUNTED AND CEILING MOUNTED ITEMS. DRYWALL SUBCONTRACTOR TO BE RESPONSIBLE FOR PONY WALLS.
17. ALL MILLWORK TO CONFORM TO AWMAC STANDARDS FOR CUSTOM GRADE UNLESS OTHERWISE NOTED. STEEL STUD AND GWB WORK TO CONFORM TO AWCC OF BC STANDARDS UNLESS OTHERWISE NOTED. PAINTING AND WALL COVERING WORK TO CONFIRM TO MPI/MPDA STANDARDS UNLESS OTHERWISE NOTED. STONE AND CERAMIC TILE WORK TO CONFORM TO TTMAC STANDARDS UNLESS OTHERWISE NOTED.
18. IT IS THE SUBCONTRACTORS RESPONSIBILITY TO ORDER ALL LONG TERM ORDER AND DELIVERY ITEMS PRIOR TO PROJECT START TO ENSURE A TIMELY INSTALLATION AND NOTIFY ANY ISSUES AT THE TIME OF TENDER.
19. ALL SUBCONTRACTORS TO ALLOW FOR HOIST/SCAFFOLDING TO ACCESS HIGH CEILING AREAS IF REQUIRED.
20. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR THEIR OWN DAILY CLEANUP OF THEIR GENERATED DEBRIS, AND ORGANIZATION OF THEIR MATERIALS AND TOOLS ONSITE. ALWAYS COMPLY WITH BASE BUILDING GUIDELINES WITH REFERENCE TO GARBAGE REMOVAL PROTOCOLS.
21. ALL SUBCONTRACTORS ARE RESPONSIBLE TO COMPILE BIND, AND HAND OVER AT TIME OF SUBSTANTIAL COMPLETION ALL MAINTENANCE MANUALS, GUIDELINES, WARRANTY SCHEDULES FOR ALL CONSTRUCTION, FINISHES, AND EQUIPMENT INCLUDING DIGITAL DRAWINGS (AUTOCAD).
22. DURING CONSTRUCTION, EACH SUBCONTRACTOR SHALL; BE RESPONSIBLE FOR THE COST AND COORDINATION OR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK OR FORCES. THE SUPERINTENDENT MUST BE INFORMED IMMEDIATELY OF ANY DAMAGE TO THE BASE BUILDING. ONLY BASE BUILDING APPROVED SUBCONTRACTORS INVOLVED WITH THE PROJECT WILL BE PERMITTED TO UNDERTAKE ANY REPAIRS.
23. FINAL CLOSE OUT DOCUMENTS MUST BE PROVIDED TO THE PROJECT MANAGER AT SUBSTANTIAL COMPLETION OF THE PROJECT. AIR BALANCE REPORTS MUST BE PROVIDED WITHIN 14 DAYS OF SUBSTANTIAL COMPLETION OF THE PROJECT.
24. AT THE TIME OF SUBSTANTIAL COMPLETION ALL SUBCONTRACTOR TOOLS, MATERIALS AND GARBAGE OR MATERIALS ARE LEFT ONSITE, THE SUPERINTENDENT WILL CONTACT YOU TO IMMEDIATELY REMOVE THEM. IF YOU DO NOT IMMEDIATELY REMOVE THEM, THEN THE SUPERINTENDENT WILL HAVE THEM REMOVED OFF SITE AND CHARGE BACK WILL BE ISSUED TO THE SUBCONTRACTOR FOR THE COST OF REMOVAL.
25. ALL SUBCONTRACTORS TO FOLLOW PROJECT MANAGER AND SITE SUPERINTENDENT DIRECTION WITH REGARDS TO SITE RULES AND SAFETY PRACTICES, INCLUDING COMPLETION OF ALL REQUIRED PAPERWORK.
26. CONTRACTOR & SUBTRADES ARE TO RESPECT SECURE AREAS. ANY EXPENSES INCURRED FROM ALARMS BEING SET OFF IN THE SUITE OR IN BUILDING WILL BE THE RESPONSIBILITY OF CONTRACTOR.
27. THE GENERAL CONTRACTOR IS TO ARRANGE FOR PERMISSION & ACCESS TO THE BUILDING OR ANY SHUTDOWNS OF WATER, POWER OR OTHER.

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BY-LAW NO. 3575
DP - 2018 - 00455
APPROVED SUBJECT TO CONDITIONS BY THE DIRECTOR OF PLANNING
DATE SEP 14 2018
CH/JK

RECEIVED
CITY OF VANCOUVER
MAY 22 2018
DEVELOPMENT BUILDINGS & LICENSING

DRAWING LIST

ID1.1 TITLE PAGE
ID2.1 NOTES
ID3.1 SPACE PLAN
ID4.1 DEMOLITION PLAN
ID5.1 CONSTRUCTION PLAN
ID6.1 ELECTRICAL PLAN
ID7.1 REFLECTED CEILING PLAN
ID8.1 FINISHES PLAN
ID9.1 ELEVATION PLAN
ID9.2 ELEVATION PLAN
ID9.3 ELEVATION PLAN

SCOPE OF WORK

1. DEMOLITION OF INTERIOR PARTITIONS
2. NEW INTERIOR PARTITIONS.
3. NEW PLUMBING @ KITCHEN AREA AND WASHROOM.
4. NEW PAINT, CARPET, INTERIOR FINISHES WHERE NOTED.
5. NEW ELECTRICAL & COMMUNICATION WHERE NOTED.
6. NEW LIGHTING TO WHERE NOTED.
7. NEW AND RELOCATED HVAC AND SPRINKLERS.
8. NEW MILLWORK WHERE NOTED.

AREA OF CONSTRUCTION

AREA OF CONSTRUCTION ±8812 SQ.FT.

PROPERTY LINE

PROJECT DIRECTORY

LANDLORD
Harvey Dales
Email:
HarveyDalesDFI@aol.com

ARCHITECT
Daniel Wong
Address: 680- 838 W Hastings St
Contact: (604) 506 9234

DESIGNER
Avan Chen
Address: 680-838 W Hastings St
Contact: (604) 728 0907
Email:
avan@concretecashmere.com

PROJECT MANAGER
Shelby Howatson
Address: 680 -838 W Hastings St
Contact: (604) 700 6925
Email:
shelby@concretecashmere.com

LEGAL DESCRIPTION

LOT 13
BLOCK: 335
PLAN: VAP590
DISTRICT LOT: 526
NEW WESTMINSTER LAND DISTRICT

Architelier
architecture · real estate
680 – 838 West Hastings Street
Vancouver, BC V6C 0A6
E: dwong@architelier.com
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CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR CONSTRUCTION.

REGISTERED ARCHITECT
DANNY KA WAI WONG
MAY 17 2018
BRITISH COLUMBIA

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AVAN CHEN & MELISSA HAQQ
PROJECT NUMBER:	18.016

DRAWING TITLE:
SITE PLAN

DRAWING ISSUE HISTORY:

No:	Date:	Description:
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10	05.11.18	IFP

DRAWING NO.
ID1.1

1001 W. Broadway
DP-2018-00455

STRUCTURAL, MECH, ELEC, DATA & SECURITY NOTES

1. THIS IS A DESIGN BUILD JOB. IT IS RESPONSIBILITY OF ELECTRICAL & MECHANICAL SUB-TRADE TO ALLOW FOR ALL LIFE SAFETY EQUIPTMENT TO MEET CODE REQUIREMENTS.
2. THE CONSTRUCTION MANAGER SHALL VERIFY SIZE, LOCATION AND CHARACTERISTICS OF ALL MECHANICAL, DATA, SECURITY AND ELECTRICAL ITEMS, SLEEVES, EQUIPMENT AND OPENINGS BEFORE START OF CONSTRUCTION AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES.
3. REFER TO THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWING FOR ASSOCIATED WORK. CONSTRUCTION MANAGER TO ALLOW TO PATCH, REPAIR AND MAKE GOOD ALL AREAS TO MATCH EXISTING OR NEW FINISHES AS NECESSARY TO IMPLEMENT STRUCTURAL /MECHANICAL /ELECTRICAL /DATA /SECURITY WORK.
4. THE CONSTRUCTION MANAGER IS TO COORDINATE ALL ELECTRICAL AND DATA LOCATIONS WITH FURNITURE. CONFIRM EXACT LOCATIONS ON SITE WITH DESIGNER PRIOR TO ROUGH-IN.
5. THERMOSTAT AND GRILLE LOCATIONS TO BE CONFIRMED ON SITE WITH DESIGNER PRIOR TO ROUGH-IN.
6. ELECTRICAL / MECHANICAL AS BUILTS ARE TO BE PROVIDED BEFORE & AFTER JOB.

FINISH HARDWARE NOTES

1. FURNISH DOOR AND FRAME MANUFACTURERS WITH COMPLETE INSTRUCTIONS AND TEMPLATES FOR PREPARATION OF THEIR WORK TO RECEIVE HARDWARE.

PAINTING NOTES

1. PRODUCT DELIVERY, ENVIRONMENTAL REQUIREMENTS, PREPARATION OF SURFACES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE CHAPTERS OF CANADIAN PAINTING CONTRACTORS ASSOCIATION (CPCA) ARCHITECTURAL PAINTING SPECIFICATION MANUAL, 1993.
2. ALL PAINTING SHALL BE TO CPCA PREMIUM GRADE.
3. PROTECT SURROUNDING OR ADJOINING WORK BY ADEQUATELY COVERING WITH TARPAULINS OR OTHER NECESSARY PROTECTIVE COVERING.
4. BEFORE COMMENCING WORK REMOVE ALL ELECTRICAL PLATES, SURFACE HARDWARE, ETC. AND REPLACE IN ORIGINAL CONDITION AT COMPLETION OF PAINTING IN EACH SPACE.
5. METHOD OF PAINT APPLICATION SHALL BE GENERALLY BY THE USE OF BRUSH AND ROLLER: THE USE OF SPRAY EQUIPMENT REQUIRES APPROVAL BY THE CONSULTANT.
6. PAINT SHALL COMPLETELY AND UNIFORMLY COVER SURFACE. OPACITY OF COVERAGE SHALL BE UNIFORM.
7. TINT ALL UNDERCOATS TO THE APPROXIMATE SHADE OF THE FINAL COAT AND VARY THE TINTS OF EACH UNDERCOAT TO FACILITATE DEFINITE IDENTIFICATION OF ALL COATS.
8. PREPARE WITH TYPE OF PAINT AND APPLICATIONS SPECIFIED, SAMPLES AT THE JOB AS REQUIRED UNTIL COLORS TEXTURES AND SHEEN ARE SATISFACTORY AND APPROVED BY THE DESIGNER.
9. PAINTING SCHEDULE:
   THE FOLLOWING TILES AND CODE NUMBERS REFER TO CHAPTER 4-B OF THE CANADIAN PAINTING CONTRACTORS ASSOCIATION ARCHITECTURAL PAINTING SPECIFICATION MANUAL. THIS SCHEDULE IS SUPPLIED FOR CONVENIENCE ONLY AND DOES NOT RELIEVE THE PAINTING CONTRACTOR OF RESPONSIBILITY FOR COMPLETING ALL PAINTING WORK SHOWN ON THE DRAWINGS OR SPECIFIED BELOW.
   A. NEW DRYWALL (PREMIUM GRADE) TO PARTITIONS SCHEDULED FOR PAINT FINISH NEW DRYWALL CEILING AND BULKHEADS INT. 4-B LATEX FINISH, EGGSHELL ON WALLS, CEILINGS.
   B. MISCELLANEOUS METAL (PREMIUM GRADE) TO ELECTRICAL PANEL CABINETS ALL OTHER AS NOTED INT. 12-B (ELECTROSTATIC) WATERBORNE ALKYD FINISH SEMI-GLOSS.

WALL PARTITION NOTES

1. STUD & DRYWALL WORK SHALL CONFORM TO THE ASSOCIATION OF WALL AND CEILING CONTRACTORS OF B.C. (AWCC) SPECIFICATION STANDARDS SECTION 9.5, GYPSUM WALLBOARD AND SECTION 9.7, INTERIOR STEEL STUDS AND FURRING.
2. COORDINATE STUD & DRYWALL WORK WITH OTHER TRADES. CHECK ALL DRAWINGS FOR FRAMING IN OF ALL DOOR AND GLAZING FRAMES, OPENINGS REQUIRED FOR PLUMBING, MECHANICAL AND ELECTRICAL FIXTURES AND EQUIPMENT WHERE SHOWN.
3. VERIFY MEASUREMENTS ON THE JOB SITE AS REQUIRED SO THAT ANY PRE ASSEMBLED WORK FITS THE JOB CONDITIONS.
4. INSTALL TWO LAYERS ACOUSTIC TAPE TO CENTER UNDERSIDE OF FLOOR TRACK AND ONE STRIP ACOUSTIC TAPE AT CEILING OVER REVEAL STRIP OR TOP TRACK.
5. WHERE RUBBER BASE IS TO BE SURFACE APPLIED, WALLBOARD SHALL BE SMOOTHLY AND EVENLY FINISHED TO SUBFLOOR.
6. INSTALL SOUND INSULATION BLANKETS IN DRYWALL PARTITIONS AS SCHEDULED. INSULATION SHALL FIT TIGHTLY BETWEEN STUDS AND BE INSTALLED FULL HEIGHT OF PARTITIONS. FILL JOINTS AROUND PIPES, DUCTS, ELECTRICAL BOXES AND OTHER PENETRATIONS TO PREVENT AIRBORNE SOUND TRANSMISSION.
7. ISOLATE GYPSUM WALLBOARD FROM EXTERIOR METAL WINDOW FRAMES AND BUILDING FINISHES USING 1 1/2" X 1" METAL TEE TO ALL FOUR EDGES.
8. USE REVOE T-BAR CLIPS TO FASTEN REVEAL STRIP AND TOP TRACK, PROVIDING NON-MARRING SECUREMENT TO THE BUILDING SUSPENDED T-BARS.
9. CONFIRM PARTITION LAYOUT WITH CONSULTANT PRIOR TO ERECTION OF STEEL STUDS, AT WHICH TIME IT SHALL BE POSSIBLE TO MAKE MINOR ADJUSTMENTS IN PARTITION LOCATION AT NO EXTRA CHARGE TO THE CONTRACT. NO PARTITIONS SHALL BE ERECTED UNTIL LAYOUT HAS BEEN APPROVED BY ALLSPACES.
10. FURR OUT CORE WALLS AS REQUIRED FOR POWER, TEL., DATA, AND PLUMBING. PROVIDE BLOCKING AS REQUIRED FOR MOUNTING OF FURNITURE AND MILLWORK.
11. MAINTAIN INTEGRITY OF 2 HR. SLAB RATING WITH RATED DRYWALL ENCLOSURE IN CEILING PLENUM BENEATH FLUSH TO FLOOR ELECTRICAL MONUMENTS.

ARCHITECTURAL WOODWORK & CASEWORK NOTES

1. THE "QUALITY STANDARDS" OF THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC), 1998 EDITION, TOGETHER WITH AUTHORIZED ADDITIONS AND AMENDMENTS SHALL BE USED AS A REFERENCE STANDARD AND SHALL FORM PART OF THIS SPECIFICATION.
2. SUBMIT SHOP DRAWINGS FOR ARCHITECTURAL WOODWORK, SHOWING CONSTRUCTION DETAILS, FINISH MATERIALS, GENERAL ARRANGEMENTS, LOCATIONS OF ALL SERVICE OUTLETS, ALL CONNECTIONS, ATTACHMENTS, HARDWARE, ETC. NO WORK SHALL BE FABRICATED UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED BY THE CONSULTANT.
3. CASEWORK FOR HIGH PRESSURE LAMINATE FINISH SHALL BE AWMAC PREMIUM GRADE FLUSH OVERLAY CONSTRUCTION.
4. EXPOSED PARTS FINISH ON H.P.L. CASEWORK SHALL BE HIGH PRESSURE LAMINATE AS INDICATED ON THE DRAWINGS. SEMI-EXPOSED PARTS FINISH SHALL BE WHITE MELAMINE WITH SEMI-EXPOSED EDGES OF CASE AND SHELVES FINISHED IN H.P.L.
5. CASEWORK HINGES SHALL BE BLUM NO. 75M-555 125 DEG. OPENING, ALL METAL, 4 WAY ADJUSTABLE, SPRING LOADED FOR CLOSURE.
6. DRAWER RUNNERS SHALL BE ACCURIDE NO. 3832, FULL EXTENSION, ALL METAL, HEAVY DUTY, BALL BEARING.
7. RECESSED SHELF STANDARDS: ALL PREMIUM GRADE AND CUSTOM GRADE CASEWORK SHALL HAVE DOWELLED HOLES WITH 5 MM DIA. NICKEL PLATED METAL PINS, FULL HEIGHT AT 2" O.C.
8. CABINETS LOCKS SHALL BE NICKEL PLATED AT MANUFACTURERS OPTION.
9. GROMMETS SHALL BE 2-1/2" DIA. POLISHED CHROME AT MANUFACTURER'S OPTION.
10. TYPICAL COUNTER TOPS SHALL HAVE SELF EDGE DETAIL AS PER AWMAC DETAIL 312.6.1 W/ BACK SPLASH HEIGHTS AS SHOWN ON DWGS.
11. JOB CONDITIONS FOR INSTALLATION OF ARCHITECTURAL WOODWORK SHALL BE AS SPECIFIED UNDER PART 7, SECTION 703 OF THE AWMAC QUALITY STANDARDS.
12. CABINETS AND CASEWORK SHALL BE INSTALLED IN ACCORDANCE WITH PART 7, SECTION 705 OF THE AWMAC QUALITY STANDARDS.
13. PROVIDE SECURED PROTECTIVE COVERINGS FOR ALL HORIZONTAL SURFACES AND EXPOSED CORNERS OF WOODWORK AND CASEWORK.

CARPET NOTES

1. INSTALL CARPET AND ACCESSORY MATERIAL IN ACCORDANCE WITH CONSULTANT APPROVED SEAMING LAYOUT. NO WORK TO START PRIOR TO REVIEW OF SEAMING LAYOUT.
2. INSTALL ROLL CARPET IN LARGEST WIDTHS POSSIBLE. THERE SHALL BE NO PIECING OR PATCHING OF INDIVIDUAL CARPET STRIPS.
3. ALL CARPET SHALL BE ROLLED WITH A 200 LB. ROLLER TO ENSURE ALL AIR POCKETS AND BUBBLES ARE ELIMINATED PRIOR TO FINAL ADHESIVE SET-UP.
4. CLEAN UP AS THE WORK PROGRESSES, AND REMOVE FROM THE SITE ALL RUBBISH RESULTING FROM THIS OPERATION.
5. PROTECT THE WORK OF OTHER SECTIONS FROM DAMAGE RESULTING FROM THE WORK OF THIS SECTION.
6. PROTECT TRAFFIC AREAS OF CARPETED FLOORS WITH APPROVED DROP SHEETS. TAPE JOINTS TO PREVENT SHIFTING.
7. CARPET INSTALLERS TO PROVIDE PATCHING TO ANY DAMAGED FLOOR.

RUBBER BASE NOTES

1. INSTALLATION (RUBBER BASE)
   A. RUBBER BASE TO BE SUPPLIED IN ROLLS. NO LENGTHS LESS THAN 3 FEET. NO JOINTS IN RUNS LESS THAN 10' - 0".
   B. FIT JOINTS TIGHT AND VERTICAL. SCRIBE AND FIT TO DOOR FRAMES AND OTHER OBSTRUCTIONS. MITER INTERNAL CORNERS.
   C. INSTALL BASE ON SMOOTH SUBSTRATE FINISHED EVENLY TO FLOOR.
   D. INSTALL TOP OF BASE STRAIGHT AND LEVEL TO VARIATION OF PLUS OR MINOR 1/8" OVER 10'-0" AND SCRIBE BOTTOM TO FLOOR.

WOOD DOORS & FRAMES NOTES

1. WOOD DOORS SHALL CONFORM TO THE MILLWORK SPECIFICATIONS AS SET FORTH IN THE QUALITY STANDARDS MANUAL FOR ARCHITECTURAL WOODWORK OF THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC), 1998 EDITION, PART 4 WOOD DOORS.
2. GRADES AND TOLERANCES SHALL BE AS OUTLINED IN THE AWMAC MANUAL.
3. FACE VENEERS TO DOORS SCHEDULED TO MATCH EXISTING SHALL BE ARCHITECTURAL GRADE VENEER FACES TO AWMAC QUALITY STANDARDS. WHERE MORE THAN ONE PIECE OF VENEER IS PRESENT, PIECES SHALL BE EQUAL IN WIDTH AND BALANCED ON THE FRAME. EACH FACE SHALL BE DEFECT FREE.
4. ALL WOOD DOORS AND FRAMES SHALL BE FACTORY FINISHED. REFER TO ARCHITECTURAL WOODWORK AND CASEWORK SPECIFICATIONS FOR FINISHING PROCESS.
5. DOOR AND GLAZING FRAMES SCHEDULED FOR VENEER FINISH TO MATCH EXISTING SHALL HAVE EDGES FINISHED IN A SINGLE PIECE OF VENEER A MINIMUM OF 1.60mm THICK.
6. PRODUCT DELIVERY, STORAGE AND HANDLING SHALL BE AS SPECIFIED UNDER PART 7, SECTION 704 OF THE AWMAC QUALITY STANDARDS.
7. INSTALL WOOD DOORS IN ACCORDANCE WITH PART 7, SECTIONS 709 & 710 OF THE AWMAC QUALITY STANDARDS.
8. INSTALL FINISH HARDWARE TO WOOD DOORS IN ACCORDANCE WITH PART 7, SECTION 711 OF THE AWMAC QUALITY STANDARDS.
9. PROVIDE SECURE PROTECTIVE COVERINGS FOR ALL EXPOSED CORNERS OF WOOD DOOR FRAMES AND GLAZING FRAMES.
10. PROVIDE CLEAR PLASTIC DOOR MUTES TO ALL NEW WOOD DOOR FRAMES.

GLAZING NOTES

1. INSTALL GLASS PANELS INTO METAL CHANNELS (AS SHOWN) IN WITH COMBINED RECOMMENDATIONS OF GLASS MANUFACTURER AND FLAT GLASS MARKETING ASSOCIATION (FGMA) WHICHEVER IS MORE STRINGENT.
2. SEAL ALL GLASS-TO-GLASS JOINTS WITH CLEAR TRANSLUCENT SILICONE BUTT JOINT SEALANT, APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
3. EXPOSED GLASS EDGES SHALL BE GROUND SMOOTH AND POLISHED; SUITABLE FOR BUTT JOINT GLASS-TO-GLASS SEALANT. CONCEALED GLASS EDGES SHALL BE GROUND SMOOTH AND ARRISSED.

CEILING NOTES

1. INSTALL ACOUSTIC PANELS ONLY AFTER THE COMPLETION OF ALL WORK OF OTHER TRADES IN THE CEILING SPACE. MAKE ALL CUTOUTS AS REQUIRED FOR FIXTURES, SPRINKLER HEADS, DIFFUSERS, ETC. WITH NO CUT EDGES SHOWING.
2. FOR SUSPENDED GWB CEILINGS, SECURELY ANCHOR ALL METAL SUPPORT HANGERS TO STRUCTURAL FRAME OR STRUCTURAL DECK OVER.
3. FIX MAIN CARRYING CHANNELS TO WIRE OR ROD HANGERS BY SADDLE-TYING OR WRAPING AROUND MAIN CHANNELS SO AS TO PREVENT TURN/TWIST OF THE CHANNELS AND TO DEVELOP THE FULL STRENGTH OF THE HANGERS.
4. SPACE FURRING MEMBERS TRANS VERGE TO MAIN CARRYING CHANNELS @400mm (16") O.C. SECURE @ EACH SUPPORT WITH APPROVED CLIP OR SADDLE TYPE.
5. LEVEL AND SKIM FURRING CHANNELS TO A MAXIMUM TOLERANCE OF 3mm (1/8") OVER 3600mm (144")
6. INSTALL 5/8"TH. MDF ACCESS PANELS IN GWB CEILINGS AS REQUIRED FOR ACCESS TO MECHANICAL & ELECTRICAL SERVICE POINTS.
7. CLIPS MUST BE USED TO ATTACH PARTITIONS TO THE CEILING GRID.
8. REMOVE AND REINSTALL T-BAR FOR MECHANICAL PURPOSES BY DRYWALL CONTRACTOR.
9. DRYWALL CONTRACTOR TO ALLOW (4) 1" X 4' SLOT DIFFUSERS IN DRYWALL CEILING + (2) RETURN AIR GRILLES.

BUILDING CODE ANALYSIS

TYPE OF CONSTRUCTION	CONCRETE CONSTRUCTION
CONSTRUCTION TYPE CLASSIFICATION	COMBUSTIBLE
FIRE FIGHTING	SPRINKLERED
FIRE ALARM	N/A
FACING NO OF STREETS	2
NO OF STOREY	6

PROPOSED USE - RETAIL

MAJOR OCCUPANCY A2 (KARAOKE WITH BEVERAGE SERVING) ASSEMBLY

BUILDING CLASSIFICATION

3.2.2.24 GROUP A, DIVISION 2, UP TO 6 STOREYS, ANY AREA, SPRINKLERED

FIRE RATING REQUIREMENTS

FLOOR	1 HOUR
MEZZANINE	1 HOUR
ROOF	NIL
LOADBEARING STRUCTURE	1 HOUR

SPATIAL SEPARATION	ADJACENT OCCUPANCY	HOURS
NORTH	N/A	NIL
SOUTH	N/A	NIL
EAST	E	N/A
WEST	F2	N/A

OCCUPANT LOAD CALCULATION ft² m²

BUILDING AREA SUMMARY

KARAOKE/DINNING	6,464SF
~~PATIO~~	2,348SF
TOTAL	8,812SF

Separate permits are required for outdoor seating area.

OCCUPANT LOAD (NET AREA CALCULATION)

OCCUPANT LOAD (KARAOKE 4,662 SF)	433.11 m² / 1.20 M²/PP = 361 PERSONS
OCCUPANT LOAD (~~PATIO 2~~,348 SF)	218.14 m² / 1.20 M²/PP = 182 PERSONS
TOTAL OCCUPANT LOAD	543 PERSONS / 2 = 272 PERSONS PER SEX

PROPOSED OCCUPANT LOAD (AS PER OPERATIONS LETTER)

OCCUPANT LOAD (KARAOKE/DINNING 6,464 SF)	224 PERSONS
OCCUPANT LOAD (~~PATIO 2,348~~ SF)	56 PERSONS
OCCUPANT LOAD (STAFF)	12 PERSONS
OCCUPANT LOAD (TOTAL)	292 PERSONS / 2 = 146 PERSONS PER SEX

NUMBER OF WATER CLOSET REQUIRED [3.7.2.2.13]:	MALE: 3 FEMALE: 6
NUMBER OF WATER CLOSET PROPOSED:	MALE: 3 FEMALE: 4 UNISEX: 4

EXIT WIDTH REQUIRED [3.4.3.2.1.C]:	543 x 6.1mm = 3,312 mm (131")
EXIT WIDTH PROVIDED:	36" x 2 + 34" x 2 = 140" x 25.4 = 3,556 mm (140")
EXIT CAPACITY PROVIDED:	3,556mm / 6.1mm = 582 PERSONS
EXIT CORRIDOR:	1,100 mm (3'-8")
RAMPS:	1,100 mm (3'-8")
STAIRS:	900 mm (3'-0")
DEAD END CORRIDOR:	6 m (19'-9")
EXIT DOOR [3.3.1.13]:	813 mm (2"-8")
HEADROOM:	2100 mm
MAXIMUM TRAVEL DISTANCE:	25 m (98'-5")

PART 11 UPGRADE

EXISTING USE: LICENSED BEVERAGE ESTABLISHMENT/RESTAURANT
PROPOSED USE: LICENSED BEVERAGE ESTABLISHMENT/RESTAURANT/KARAOKE
MINOR RENOVATION (FLOW CHART NO. 1)
NOT A SMALL SUITE - HAZARD INDEX HAS INCREASED
UPGRADE LEVEL
FIRE & LIFE SAFETY = F1
STRUCTURAL = S2
NON-STRUCTURAL = N1
ACCESSIBILITY = A2
ENERGY = E2

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BY-LAW NO. 3575
DP - 2018 - 00455
APPROVED SUBJECT TO CONDITIONS BY THE DIRECTOR OF PLANNING
SEP 14 2018

RECEIVED
CITY OF VANCOUVER
MAY 22 2018
DEVELOPMENT
BUILDINGS & LICENSING

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PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

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REGISTERED ARCHITECT
DANNY KA WAI WONG
BRITISH COLUMBIA
MAY 17 2018

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CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AVAN CHEN & MELISSA HAQQ
PROJECT NUMBER:	18.016

DRAWING TITLE:
GENERAL NOTES

DRAWING ISSUE HISTORY:

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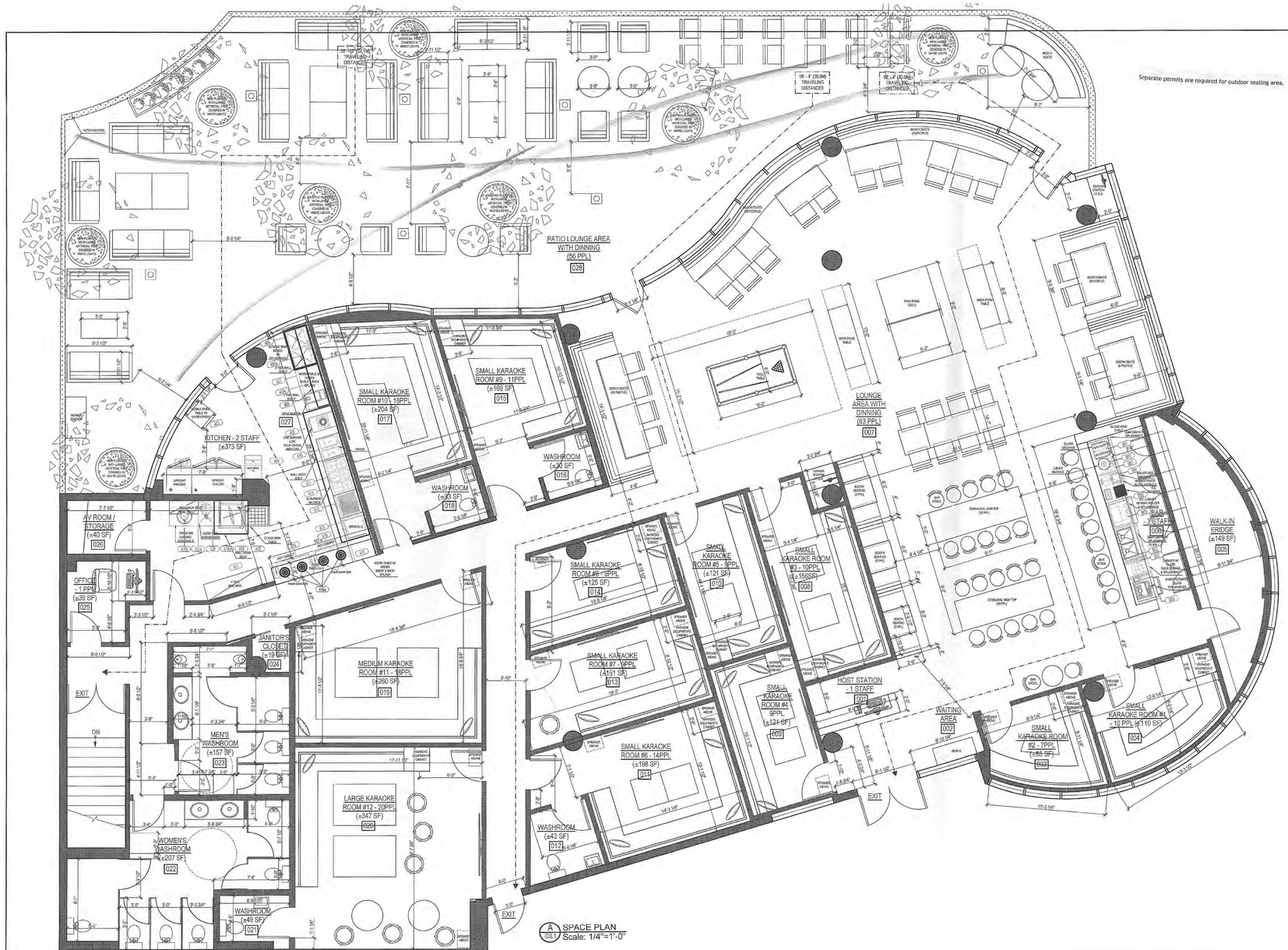
DRAWING NO.
ID2.1



A 03.1 SPACE PLAN
Scale: 1/4"=1'-0"

Separate permits are required for outdoor seating area.

GENERAL NOTES

SYMBOL:	DESCRIPTION:
←----------	EMERGENCY EXIT PATHWAY AND TRAVELING DISTANCES.

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REGISTERED ARCHITECT
DONGMIN WONG
MAY 17 2018
BRITISH COLUMBIA

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AYAN CHEN & MELISSA HANG
PROJECT NUMBER:	18.014

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SPACE PLAN

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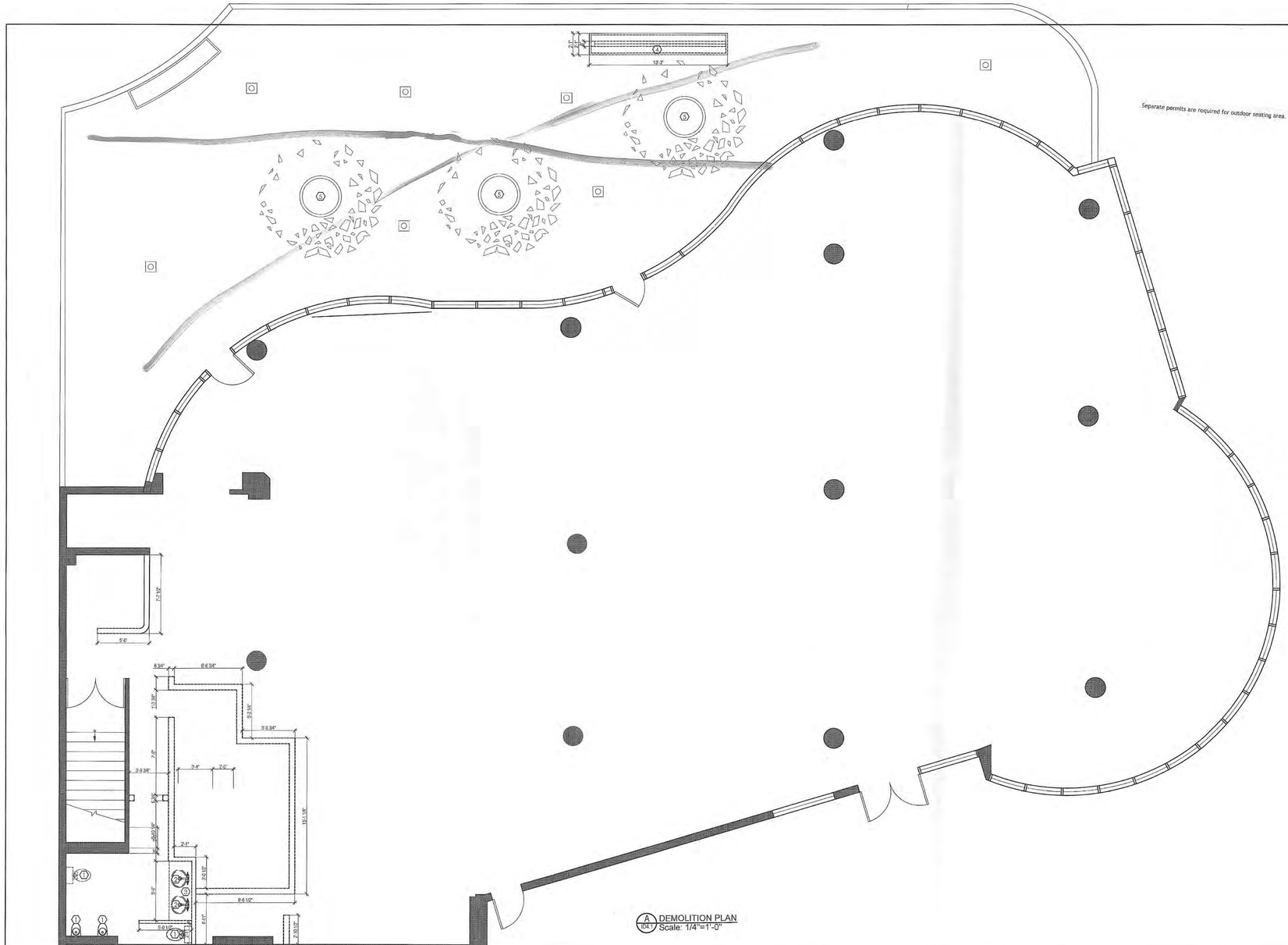
DRAWING NO.
ID3.1



A (RA1) DEMOLITION PLAN
Scale: 1/4"=1'-0"

DEMOLITION GENERAL NOTES

1. CONFIRM THAT ALL MATERIALS, FIXTURES, FITTINGS, ETC. ARE ON SITE PRIOR TO START OF DEMOLITION.
2. PATCH AND REPAIR REMAINING SURFACES INCLUDING BASE OF WALL, WHERE DEMOLITION HAS OCCURRED AND MAKE READY TO RECEIVE NEW FINISHES.
3. DRYWALL CONTRACTOR TO PROTECT EXISTING BUILDING AND CONTENTS DURING ENTIRE CONSTRUCTION PERIOD. POLY TO BE USED WHERE REQUIRED. ELEVATOR FRAME PROTECTED, AND CARPET MATS USED AT ALL ENTRANCES TO CONSTRUCTION AREA.
4. ALL DEBRIS TO BE REMOVED FROM SITE ON A REGULAR BASIS. PREMISES TO BE KEPT CLEAN AT ALL TIMES.
5. "LUMBER WRAP" TO BE USED TO PROTECT EXISTING FLOOR FINISHES WHERE APPLICABLE. TAPE TO FLOOR TO REDUCE TRIPPING HAZARDS.
6. ENSURE CONTINUOUS SAFE PASSAGE OF BUILDING OCCUPANTS AROUND ALL AREAS OF DEMOLITION AND CONSTRUCTION.
7. REMOVE AND RE-INSTALL ANY TENANT SIGNAGE AND/OR WALL MOUNTED ACCESSORIES UNLESS OTHERWISE NOTED. COORDINATE WITH GENERAL CONTRACTOR, TENANT OR BUILDING LANDLORD.

DEMOLITION LEGEND

SYMBOL:	DESCRIPTION:
	Existing construction, glazing, millwork & miscellaneous items to be removed unless noted otherwise. patch, repair and make good as required all adjacent & affected surfaces.
	Base building walls to remain as is.
	Existing door and frame to remain.

DEMOLITION KEY NOTES

SYMBOL:	DESCRIPTION:
1	Existing toilet and urinal to be removed: Cap off plumbing, patch and make good to receive new finishes.
2	Existing sink to be removed: Cap off plumbing, patch and make good to receive new finishes.
3	Existing millwork to be removed: Patch and make good to receive new finishes.
4	Existing water feature to be removed: Cap off plumbing, patch and make good to receive new finishes.
5	Existing tree to be removed.

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BYLAW NO. 3575
DP - 2018 - 00455
APPROVED SUBJECT TO CONDITIONS BY THE DIRECTOR OF PLANNING
Date: SEP 14 2018

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DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR CONSTRUCTION.

REGISTERED ARCHITECT
DIWONG KA WAI WONG
MAY 17 2018
BRITISH COLUMBIA

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

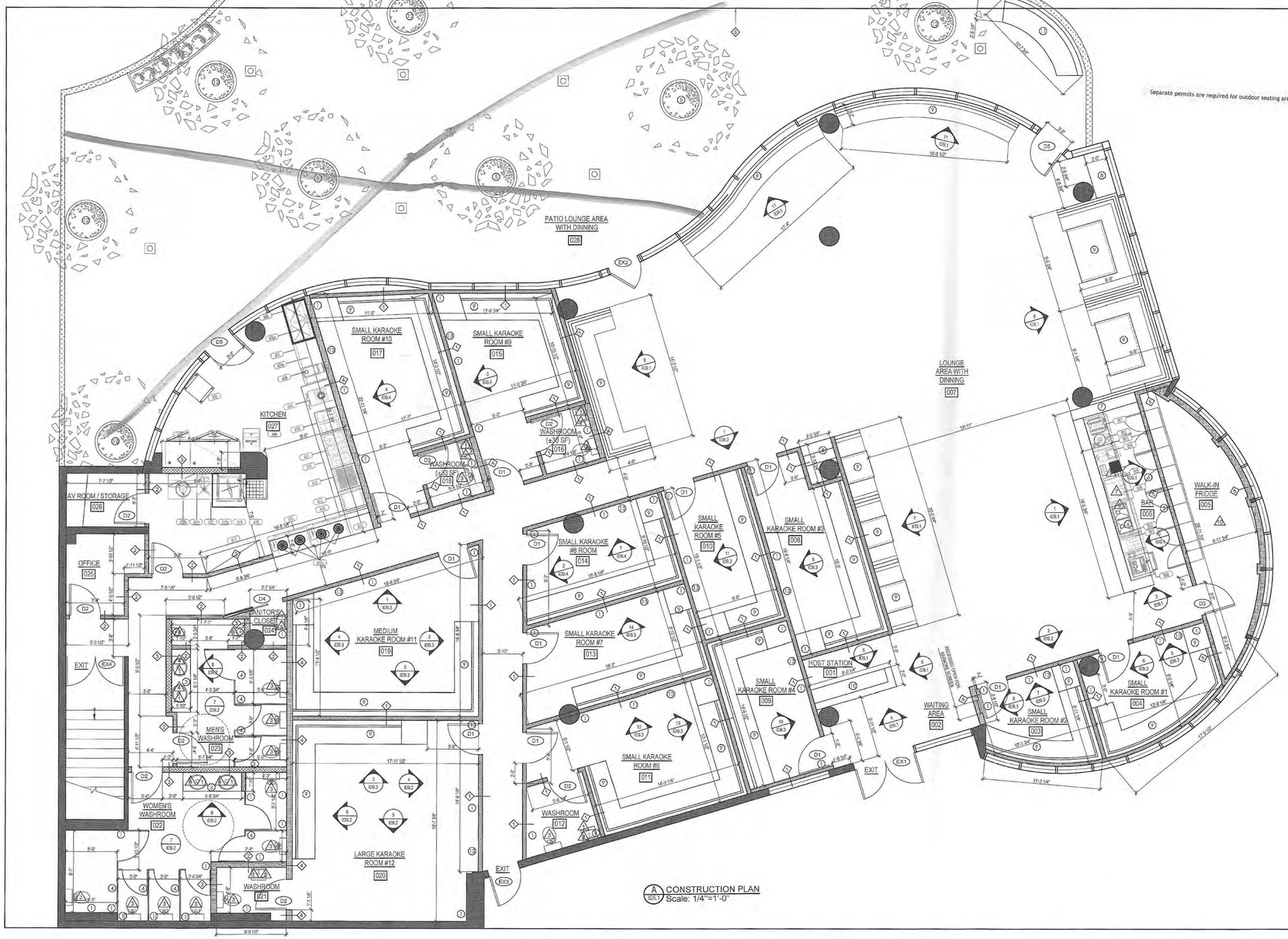
DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AVIAN CHEN & MELISSA HAGGQ
PROJECT NUMBER:	18.018

DRAWING TITLE:
DEMOLITION PLAN

DRAWING ISSUE HISTORY:

No:	Date:	Description:
01	03.28.18	Issued for review
02	04.02.18	Issued for review
03	04.05.18	Issued for review
04	04.11.18	Issued for review
05	04.12.18	Issued for review
06	04.16.18	Issued for review
07	04.18.18	IFP
08	05.01.18	IFP
09	05.07.18	IFP
10	05.11.18	IFP

DRAWING NO.
ID4.1



A CONSTRUCTION PLAN
105.1 Scale: 1/4"=1'-0"

CITY OF VANCOUVER
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CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR CONSTRUCTION.

REGISTERED ARCHITECT
DONGWOO WILLIAM WONG
MAY 17 2018
BRITISH COLUMBIA

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AVAN CHEN & MELISSA HAQQ
PROJECT NUMBER:	18-014

DRAWING TITLE:
CONSTRUCTION PLAN

DRAWING ISSUE HISTORY:

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01	03.28.18	Issued for review
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05	04.12.18	Issued for review
06	04.16.18	Issued for review
07	04.18.18	IFP
08	05.01.18	IFP
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10	05.11.18	IFP

DRAWING NO.
ID5.1

CONSTRUCTION GENERAL NOTES

1. DRYWALL CONTRACTOR TO PROTECT EXISTING BUILDING AND CONTENTS DURING ENTIRE CONSTRUCTION PERIOD. POLLY TO BE USED WHERE REQUIRED, AND CARPET MATS USED AT ALL ENTRANCES TO CONSTRUCTION AREA.
2. JOB SITE TO BE MAINTAINED IN A NEAT AND TIDY CONDITION AT ALL TIMES "LUMBER WRAP" TO BE USED TO PROTECT EXTING FLOOR FINISHES WHERE APPLICABLE, TAPE TO FLOOR TO REDUCE TRIPPING HAZARDS.
3. AV ROOM EQUIPMENT WILL BE PROVIDED BY THE CLIENT.
4. ALL KARAOKE ROOM OUTLET BOX TO BE INSTALLED WITH QUIETPUTTY - MOLDABLE SOUND DAMPING PUTTY ON SOUND PROOF DRYWALL "CERTAINTEED 1/2-IN X 4-FT X 8-FT SILENTFX DRYWALL"

CONSTRUCTION KEY NOTES

SYMBOL:	DESCRIPTION:
①	3/4" plywood backing to be installed behind drywall for wall mounted TV, speaker, grab bar, washroom partition panel, washroom wall mounted sink and millwork if needed.
②	New kitchen pass through counter millwork. See ID9.1 elevation for details.
③	New washroom countertop. See ID9.1 elevation for details.
④	New washroom toilet room partition.
⑤	New artificial tree covered in white lights provided by client.
⑥	New bar counter and millwork. See ID9.1 elevation for details.
⑦	New glass wine shelf. See ID9.1 elevation for details.
⑧	New server station See ID9.1 elevation for details.
⑨	New custom seating and table millwork provided by client.
⑩	New host station counter millwork provided by client.
⑪	New custom exterior seating and table millwork provided by client.
⑫	New artificial tree covered in white lights and and new planter to match existing plannter, provided by client.
⑬	3" pipe for TV and karaoke machine cable access, see the elevation drawing for exect height and location.

PLUMBING & APPLIANCE SCHEDULE

SYMBOL:	DESCRIPTION:
1	DESCRIPTION: SINGLE-HANDLE FAUCET MANUFACTURER: GLACIER BAY MODEL#: 67551-0008D2 COLOUR: STAINLESS STEEL LOCATION: KITCHEN
2	DESCRIPTION: WALL MOUNTED SINK MANUFACTURER: TBD MODEL#: TBD COLOUR: TBD LOCATION: TBD
3	DESCRIPTION: TOILET MANUFACTURER: TBD MODEL#: TBD COLOUR: TBD LOCATION: TBD
4	DESCRIPTION: WASHROOM UNDERMOUNT SINK MANUFACTURER: TBD MODEL#: TBD COLOUR: TBD LOCATION: TBD
5	DESCRIPTION: JANITOR SINK MANUFACTURER: TBD MODEL#: TBD COLOUR: TBD LOCATION: TBD
6	DESCRIPTION: URINAL MANUFACTURER: TBD MODEL#: TBD COLOUR: TBD LOCATION: TBD
7	DESCRIPTION: SINK MANUFACTURER: TBD MODEL#: TBD COLOUR: TBD LOCATION: TBD
8	DESCRIPTION: FOSET MANUFACTURER: TBD MODEL#: TBD COLOUR: TBD LOCATION: TBD
9	DESCRIPTION: UNDER COUNTER FRIDGE MANUFACTURER: TBD MODEL#: TBD COLOUR: TBD LOCATION: TBD
10	DESCRIPTION: WALK-IN FRIDGE MANUFACTURER: TBD MODEL#: TBD COLOUR: TBD LOCATION: TBD

HARDWARE SCHEDULE

SYMBOL:	DESCRIPTION:
H1	DESCRIPTION: SCHLAGE AL SERIES JUPITER PASSAGE SET 626, W/ ELECTRIC STRIKE MANUFACTURER: SCHLAGE MODEL#: AL SERIES JUPITER COLOUR: SATIN CHROME 626 LOCATION: ALL D-3 INTERIOR DOOR

PARTITION LEGEND

Type:	Symbol:	Description:
Existing Drywell		BASE BUILDING WALLS TO REMAIN AS IS.
New Drywall Partition to u/s of Slab Ceiling; Wall Height To Be Determined On Site	1	New interior drywall partition to u/s of existing slab ceiling, 3- 5/8" Steel studs @ 16" O.C., 5/8" sound proof drywall on one or both sides, R12 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. With Roxul acoustical fire batt insulation. All the electrical outlet to be sealed. Ready for new finish; See #5&6/ID9.4 elevation for details.
New Drywall Partition to u/s of Slab Ceiling; Wall Height To Be Determined On Site	2	New interior drywall partition to u/s of existing T-Bar ceiling, 3- 5/8" Steel studs @ 16" O.C., 5/8"GWB on both sides, R12 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. Ready for new finish; See #7&8/ID9.4 elevation for details.
New Drywall Partition to u/s of Slab Ceiling; Wall Height To Be Determined On Site	3	New interior drywall partition to u/s of existing T-Bar ceiling, 6" Steel studs @ 16" O.C., 5/8"GWB on both sides, R12 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. Ready for new finish;
New Drywall Partition to u/s of Slab Ceiling; Wall Height To Be Determined On Site	4	New interior drywall partition to u/s of existing slab ceiling, 6" Steel studs @ 16" O.C., 5/8" sound proof drywall on both sides, R12 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. With Roxul acoustical fire batt insulation. All the electrical outlet to be sealed. Ready for new finish
New Drywall Partition to u/s of Slab Ceiling; Wall Height To Be Determined On Site	5	New interior partition for walk-in fridge to be determined.
New patio handrail	6	New patio handrail to match the existing handrail.

DOOR SCHEDULE

Symbol:	Elevation:	Description:
EX1		Existing Double Glass Door to reman. • Paint Grade • Door Size: 6'-0"W x 7'-0"H • Existing door handle hardware to remain.
EX2		Existing Glass Door to reman. • Door Size: 3'-7" • Existing door handle hardware to remain.
EX3		Existing Door to reman. • Door Size: 3'-0"W x 7'-0"H • Existing door handle hardware to remain.
EX4		Existing Door to reman. • Door Size: 3'-0"W x 7'-0"H • Existing door handle hardware to remain.
D1		• New Interior Glass Door with 2'-0" X 6'-0" Glass recess. • Paint grade prehung solid core door. • Door Size: 3'-0" Width; 8'-0"Height. • Schlage al series jupiter passage set 626; See hardware schedule(H1).
D2		• New Interior Glass Door • Paint grade prehung solid core door. • Door Size: 3'-0" Width; 8'-0"Height. • Schlage al series jupiter passage set 626; See hardware schedule(H1).
D3		Walk-in fridge Door to be determined. • Door Size: 3'-0"W x 8'-0"H
D4		Sliding Door. • Paint Grade • Door Size: 3'-0"W x 8'-0"H
D5		New Exterior Glass Door to match Existing Exterior Glass Door "EX2" • Door Size: 3'-0" x 7'-0" • Door handle hardware to match existing exterior glass door hardware.

BASE BUILDING SLAB HEIGHT: ±14'-80" A.F.F. (SITE VERITY)

** Refer to elevation and detail drawings for millwork pieces listed below in design drawing package for design intend. Millworker to submit shop drawings for design to review and to approve prior to actual fabrication. Drywall contractor to provide backing as required to suit millwork installation.

PLUMBING & APPLIANCE SCHEDULE

SYMBOL:	DESCRIPTION:
A6 A6a	DESCRIPTION: DOUBLE BOWL PREP SINK MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A7 A7a	DESCRIPTION: PREP TABLE WITH SHELF UNDERNEATH MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A8	DESCRIPTION: MEATMINCER MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
[illegible]	DESCRIPTION: ONE BURNER LOW SOUP STOVE WITH FAN MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
[illegible]	DESCRIPTION: ONE BURNER LOW SOUP STOVE WITH FAN MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A11	DESCRIPTION: FRYER MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A14	DESCRIPTION: FUME HOOD MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A12	DESCRIPTION: CHARBROILER GAS COUNTERTOP UNIT MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A13	DESCRIPTION: GAS COUNTERTOP GRILL MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A15	DESCRIPTION: HOT HOLDING CABINET MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A05	DESCRIPTION: MOBILE WORK TABLE W/ UNDER SHELF MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A02	DESCRIPTION: MOBILE WORK TABLE W/ UNDER SHELF MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A03	DESCRIPTION: MOBILE WORK TABLE W/ UNDER SHELF MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A04	DESCRIPTION: MOBILE WORK TABLE W/ UNDER SHELF MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A20b	DESCRIPTION: LANDING DISH TABLE MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A20a	DESCRIPTION: TRASH BIN MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A20	DESCRIPTION: HOODSTYLE DISHWASHER MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A19a	DESCRIPTION: HOODSTYLE DISHWASHER MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A19	DESCRIPTION: WALL HOOD MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
[illegible]	DESCRIPTION: CLEAN DISH TABLE MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN
A17	DESCRIPTION: UPPER SHELF MANUFACTURER: TBD MODEL#: TBD COLOUR: STAINLESS STEEL LOCATION: KITCHEN

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DATE SEP 14 2018

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CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR CONSTRUCTION.

REGISTERED ARCHITECT
DANNY KA WAI WONG
MAY 17 2018
BRITISH COLUMBIA

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

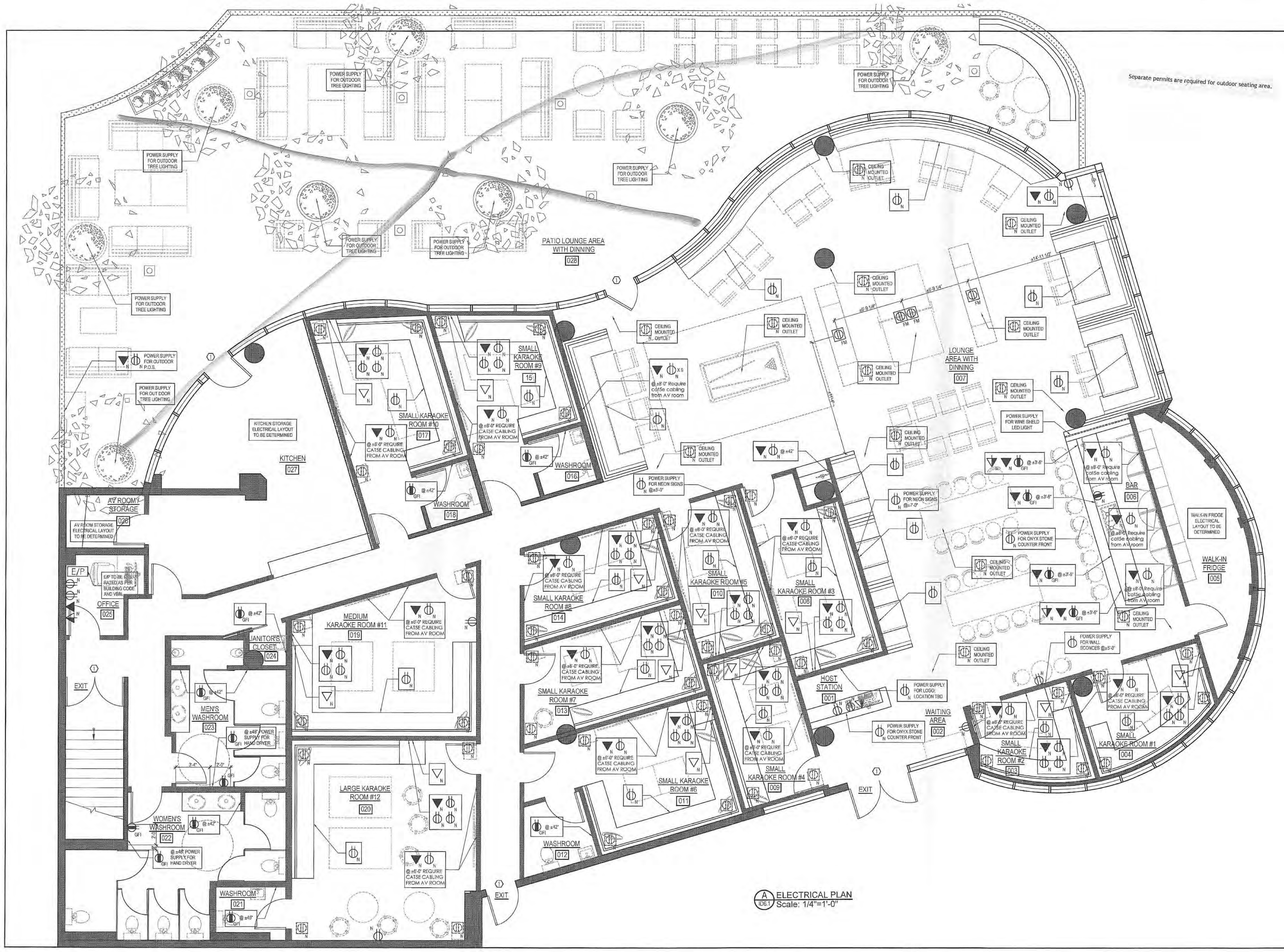
DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AVAN CHEN & MELISSA HAQQ
PROJECT NUMBER:	18.016

DRAWING TITLE:
CONSTRUCTION PLAN NOTES

DRAWING ISSUE HISTORY:

No:	Date:	Description:
01	03.28.18	Issued for review
02	04.02.18	Issued for review
03	04.05.18	Issued for review
04	04.11.18	Issued for review
05	04.12.18	Issued for review
06	04.16.18	Issued for review
07	04.18.18	IFP
08	05.01.18	IFP
09	05.07.18	IFP
10	05.11.18	IFP

DRAWING NO.
ID5.2



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ELECTRICAL GENERAL NOTES

1. ALL WALL MOUNTED OUTLETS @ 12" A.F.F. UNLESS NOTED OUTLETS SHOWN ON DRAWINGS ARE DEDICATED TO SPECIFIC LOCATIONS, SUB-CONTRACTOR SHALL CONFORM THE CURRENT BC BUILDING CODE FOR OTHER ELECTRICAL REQUIREMENT.
2. ALL EXISTING OUTLETS TO RAMAIN, UNLESS OTHERWISE NOTED.
3. CONTRACTOR IS TO REVIEW DRAWINGS & SITE CONDITIONS. REPORT DISCREPANCIES OR CONFLICTS TO DESIGNER PRIOR TO STARTING WORK.
4. EXPOSED WIRING AND DATA TO BE IN CONDUIT, DISCREETLY PLACED TO DESIGNER REVIEW AND APPROVAL.
5. DATA OUTLETS AND WIRING TO MATCH EXISTING SYSTEM. PROVIDE PATCH CABLES TO SERVER AREA.
6. ALL OUTLETS AND RECEPTACLES ARE TO BE MOUNTED VERTICALLY AT STANDARD HEIGHT, UNLESS OTHERWISE NOTED.
7. ALL NEW OUTLETS AND SWITCHES ON WALLS TO MATCH EXISTING.
8. ELECTRICAL CONTRACTOR IS TO LOCATE EMERGENCY LIGHTING AND OTHER ELECTRICAL AS REQUIRED TO SUIT. EMERGENCY LIGHT IS TO BE CENTERED IN HALLWAY.
9. SEE THE KARAOKE ROOM ELEVATION FOR SPEAKER WIRE LOCATION.

ELECTRICAL LEGEND

SYMBOL:	DESCRIPTION:
	Duplex Receptacle.
GFI	GFI Duplex Receptacle on Seperate Circuit.
	20Amp. Seperate Circuit Duplex Receptacle.
	Telephone / Data outlet.
	LAN Sockets for Data outlet with CAT5e Cabling.
	Analog Telephone outlet.
	Ceiling Mounted Duplex Receptacle.
FM	Floor Mounted Duplex Receptacle; Brass floor box with cover

Notes: • All existing and new communication to be relabelled and verified.

NETWORK ROOM LEGEND

SYMBOL:	DESCRIPTION:
E/P	Existing electrical panel to remain.

Notes: • All Network room equipment exact location to be determined on site by electrical contractor.

ELECTRICAL KEY NOTES

SYMBOL:	DESCRIPTION:
1	Locate emergency lighting and other electrical as required to suit. Emergency light to be on center of existing hallway.

* E - Denote Existing to Remain. * RE - Denote Relocated.
* N - Denote New. * R - Denote Removed.
* CH - Denote New at 45" AFF. Counter Height

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CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR CONSTRUCTION.

REGISTERED ARCHITECT
DANNY KA WAI WONG
MAY 17 2018
BRITISH COLUMBIA

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AVAN CHEN & MELISSA HAQQ
PROJECT NUMBER:	18.016

DRAWING TITLE:
ELECTRICAL PLAN

DRAWING ISSUE HISTORY:

No:	Date:	Description:
01	03.28.18	Issued for review
02	04.02.18	Issued for review
03	04.05.18	Issued for review
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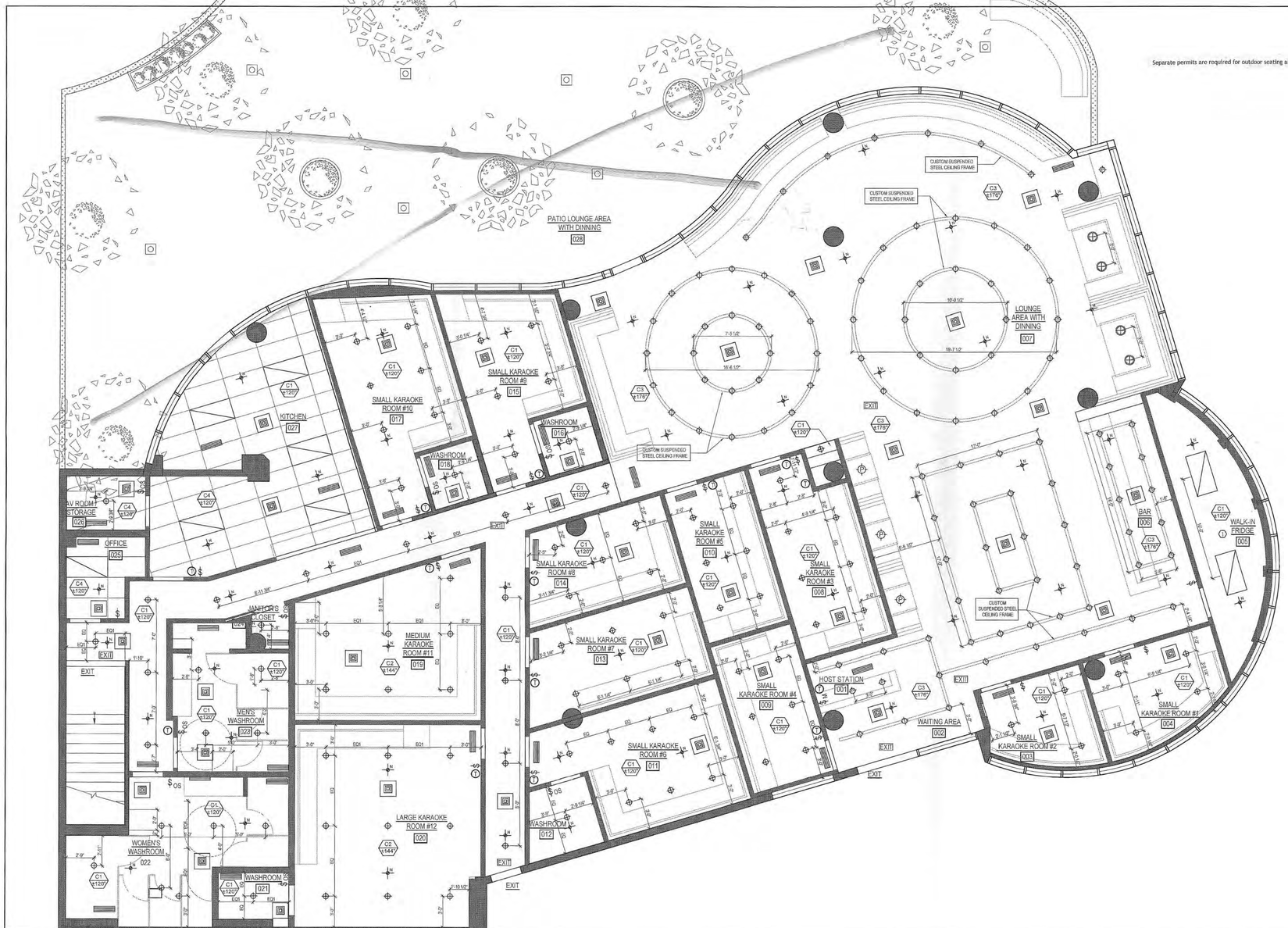
10	05.11.18	IFP

DRAWING NO.
ID6.1



CEILING & LIGHTING NOTES

1. ALL AIR SUPPLY & AIR RETURN TO REMAIN OR RELOCATED TO MEET BUILDING CODE. CONTRACTORS TO VERIFY LOCATION ON SITE.
2. CONTRACTOR TO CONFIRM SITE CONDITIONS PRIOR ANY CONSTRUCTION AND ADVICE DESIGNER OF ANY DISCREPANCIES.
3. ALL LIGHTING IS TO BE WIRED AS PER ASHREA REQUIREMENTS IN ORDER TO MEET CODE.
4. EXIT SIGNS MUST BE <5W AS PER ASHREA REQUIREMENTS.
5. ADD OR REVISE EMERGENCY LIGHTS AND EXIT SIGNS TO SUIT RENOVATIONS AND TO MEET CODE REQUIREMENTS.
6. OCCUPANCY SENSOR SWITCH TO MEET CITY OF SURREY REQUIREMENTS.
7. MECHANICAL CONTRACTOR TO VERIFY AIR BALANCE AS PER LOCAL BY LAW AND CODES THROUGHOUT WHOLE SPACE.

REFLECTED CEILING LEGEND

Symbol:	Description:
C1 ±120"	New drywall ceiling: Ceiling height: 10'-0" • Finishes: New paint - PT1
C2 ±144"	New drywall ceiling: Ceiling height: 12'-0" • Finishes: New paint - PT1
C3 ±176"	Open ceiling: Ceiling height: 14'-8" • Finishes: New paint - PT3
C4 ±120"	Existing T-Bar ceiling: Ceiling height: 10'-0" • New 2'x 4' Ceiling tile.
	5" recessed lighting fixture with dimmable led.
	New suspended track lights with custom suspended steel ceiling frame.
	New 2' X 4' fluorescent lighting fixture.
	New pendant lighting fixture.
	New mini pendant lighting fixture.
	Existing air supply; New paint finishes.
	Existing air return; New paint finishes.
T	New Thermostat.
	New Sprinkler - as required by code and layout.
$OS	New Motion occupancy sensor light switch. • Manufacturer: Lutron • Color: White
$	New dimmable lighting switch. • Manufacturer: Lutron • Color: White
$M	New dimmable Leviton decora Master lighting switch. • Manufacturer: Leviton • Color: White
EXIT	New or existing Running Man Exit Signs.

* E - Denote Existing to Remain. * RE - Denote Relocated.
* N - Denote New. * R - Denote Removed.

REFLECTED CEILING NOTES

SYMBOL:	DESCRIPTION:
1	HAVC contractor to verify if A C is neeeded.

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DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR CONSTRUCTION

REGISTERED ARCHITECT
MICHAEL KA WAI WONG
BRITISH COLUMBIA
MAY 7, 2018

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

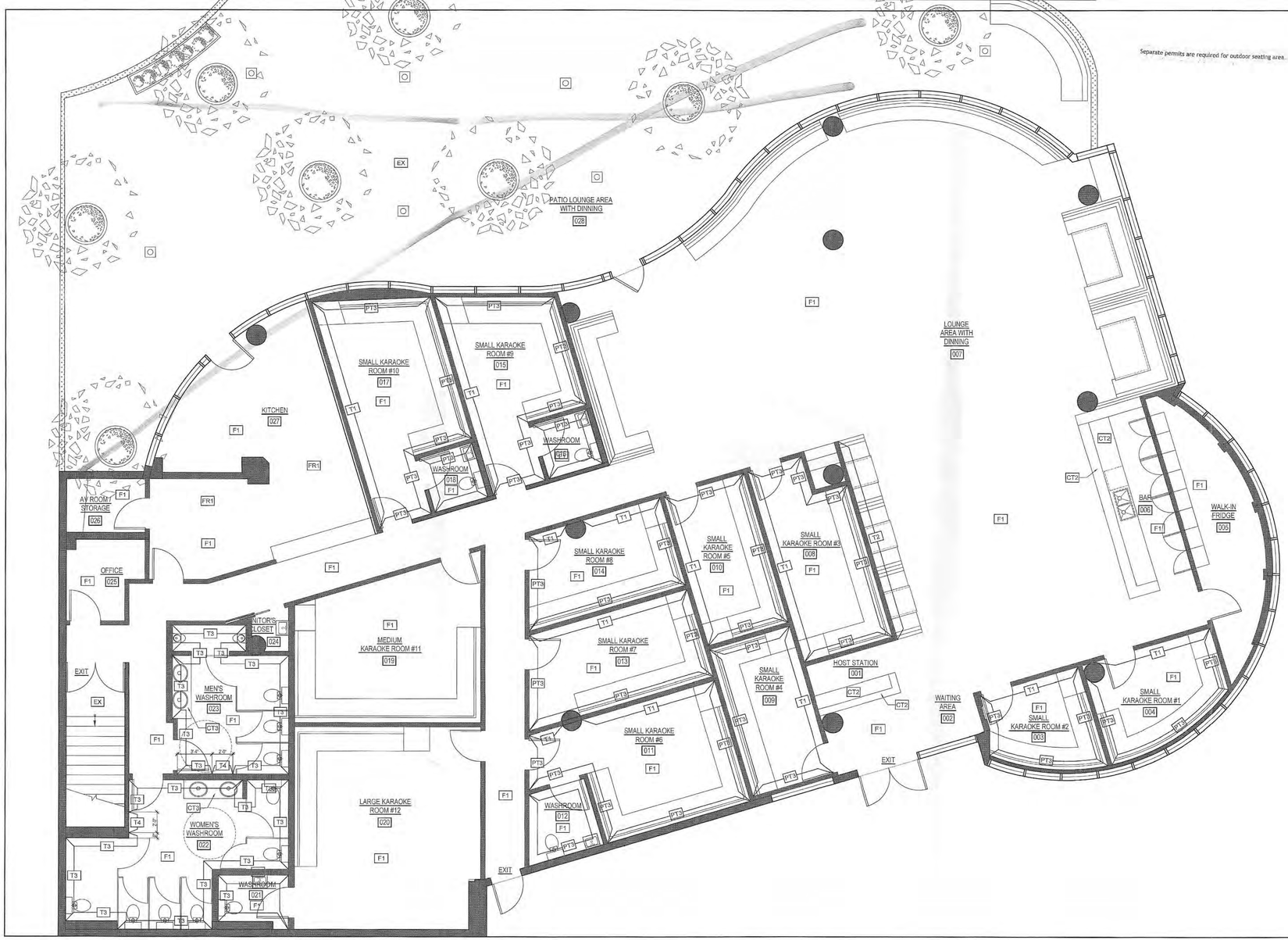
DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AYAN CHEN & MELISSA HAGIO
PROJECT NUMBER:	18.016

DRAWING TITLE:
REFLECTED CEILING PLAN

DRAWING ISSUE HISTORY:

No:	Date:	Description:
01	03.28.18	Issued for review
02	04.02.18	Issued for review
03	04.05.18	Issued for review
04	04.11.18	Issued for review
05	04.12.18	Issued for review
06	04.16.18	Issued for review
07	04.18.18	IFP
08	05.01.18	IFP
09	05.07.18	IFP
10	05.11.18	IFP

DRAWING NO.
ID7.1



FINISHES GENERAL NOTES

1. SUBMIT DRAW-DOWNS OF ALL PAINT FINISHES FOR APPROVAL.
2. EXISTING FLOOR AND WALLS TO MAKE GOOD AFTER DEMOLITION.
3. ALL OPEN AND DRYWALL CEILING TO BE FINISH IN PT4 UNLESS OTHERWISE NOTED.
4. RUBBER BASE TO BE INSTALLED THROUGH OUT ALL THE SPACE EXCEPT TILE WALLS.

FINISHES KEY NOTES

EX	Existing flooring to remain
F1	Mechanical polish semi gloss concrete floors.
CT1	DESCRIPTION: NEW CRYSTSTONE COUNTER FRONT, PROVIDED BY THE CLIENT LOCATION: HOST STATION AND BAR
CT2	DESCRIPTION: NEW BLACK MARMLE COUNTER TOP MANUFACTURER: MARGA NINE COLOUR: BLACK CARAMAMH LOCATION: HOST STATION AND BAR
CT3	DESCRIPTION: NEW QUARTZ COUNTER TOP MANUFACTURER: WILSCHART COLOUR: G2008 IKO LIPANO LOCATION: WASHROOM
TT1	DESCRIPTION: NEW SILESTONE TABLE TOP MANUFACTURER: SILESTONE COLOUR: ESERNIA STATUARIO LOCATION: DINNING AREA AND KARAOKE ROOM TABLE TOPS
T1	DESCRIPTION: NEW TILE WALL MANUFACTURER: ATION STONE COLOUR: CHARCOAL 3412 - BLACK MARBLE 24" x 36" LOCATION: SMALL KARAOKE ROOMS
T2	DESCRIPTION: NEW TILE WALL, PROVIDED BY THE CLIENT LOCATION: DINING AREA
T3	DESCRIPTION: NEW TILE WALL MANUFACTURER: ATION STONE COLOUR: MOAS - 12" x 24" LOCATION: WASHROOM
T4	DESCRIPTION: NEW ACCENT TILE WALL MANUFACTURER: STONE TILE COLOUR: ARVIGE GLASS HERRINGBONE LOCATION: WASHROOM
B1	DESCRIPTION: RUBBER BASEBOARD MANUFACTURER: JOHNSONITE COLOUR: 20 CHARCOAL WG LOCATION: THROUGHOUT ALL SPACE
PT1	New general wall paint. • Manufacturer: Benjamin Moore • Colour: AF-705 • Location: Throughout all space unless otherwise noted.
PT2	New general trim and interior door paint. • Manufacturer: Benjamin Moore • Colour: HC-166 • Location: All door casing and baseboard.
PT3	New wall paint. • Manufacturer: Benjamin Moore • Colour: CC-542 • Location: Small karaoke rooms.
PT4	New ceiling paint. • Manufacturer: Benjamin Moore • Colour: 2132-10 • Location: All open ceiling and drywall ceiling
FR1	FRP panels on all walls in the kitchen. • Manufacturer: TBD • Colour: TBD • Location: Kitchen

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BY-LAW NO. 3575
DP - 2018 - 00455
APPROVED SUBJECT TO CONDITIONS BY THE DIRECTOR OF PLANNING
Date SEP 14 2018

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MAY 22 2018
DEVELOPMENT
BUILDINGS & LICENSING

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architecture + real estate
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Vancouver, BC V6C 0A6
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CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR CONSTRUCTION

REGISTERED ARCHITECT
DWIGHT KA WAI WONG
MAY 22, 2018

CLIENT'S APPROVAL FOR CONSTRUCTION

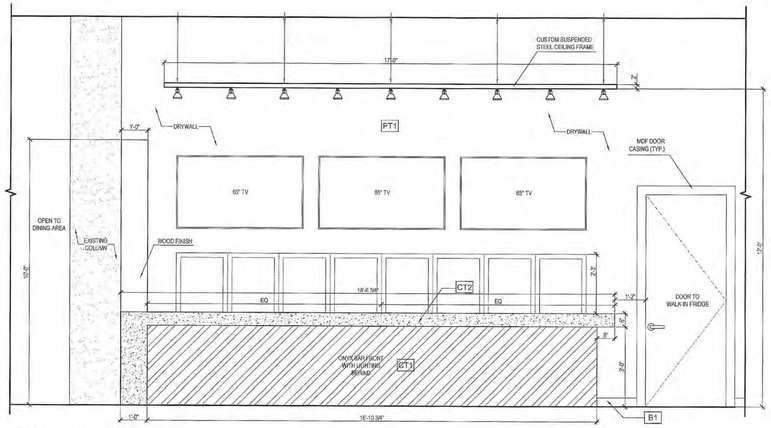
CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AVAN CHEN & MELISSA HAQQ
PROJECT NUMBER:	18.016
DRAWING TITLE:	FINISHES PLAN

DRAWING ISSUE HISTORY:

No.	Date:	Description:
01	03.26.18	Issued for review
02	04.02.18	Issued for review
03	04.05.18	Issued for review
04	04.11.18	Issued for review
05	04.12.18	Issued for review
06	04.16.18	Issued for review
07	04.18.18	IFP
08	05.01.18	IFP
09	05.07.18	IFP
10	05.11.18	IFP

DRAWING NO.
ID8.1



1 ID9.1 ELEVATION - BAR
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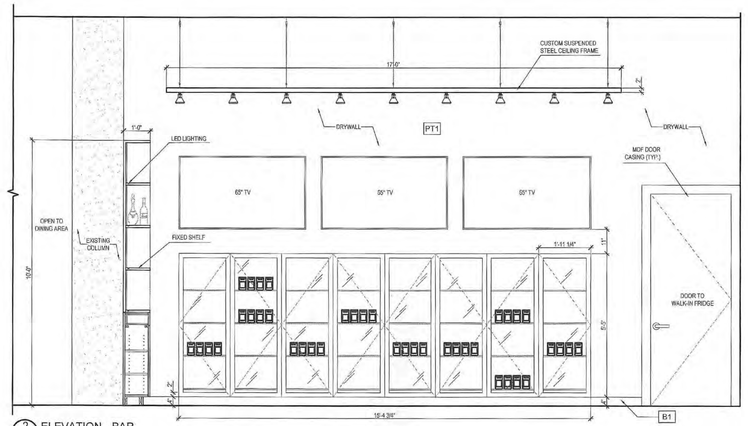

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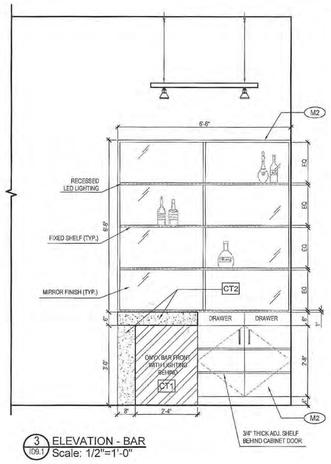

3 ID9.1 ELEVATION - BAR
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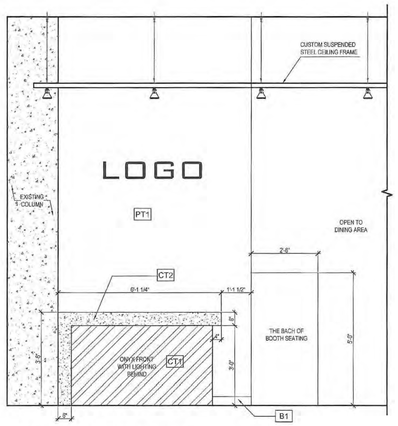
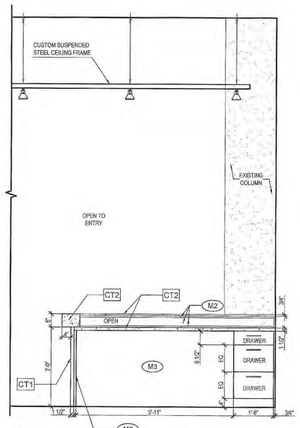


4 ID9.1 ELEVATION - HOST STATION
Scale: 1/2"=1'-0"



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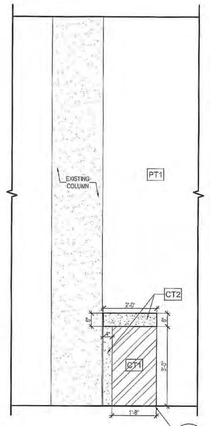
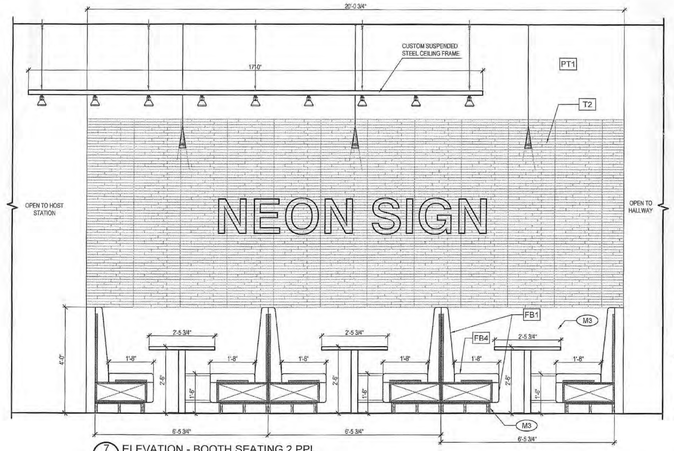
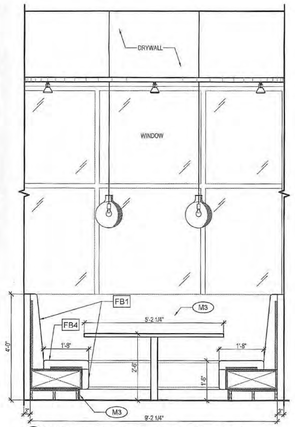
Scale: 1/2"=1'-0"



6 ID9.1 ELEVATION - HOST STATION
Scale: 1/2"=1'-0"



7 ID9.1 ELEVATION - BOOTH SEATING 2 PPL
Scale: 1/2"=1'-0"



8 ID9.1 ELEVATION - BOOTH SEATING 9 PPL
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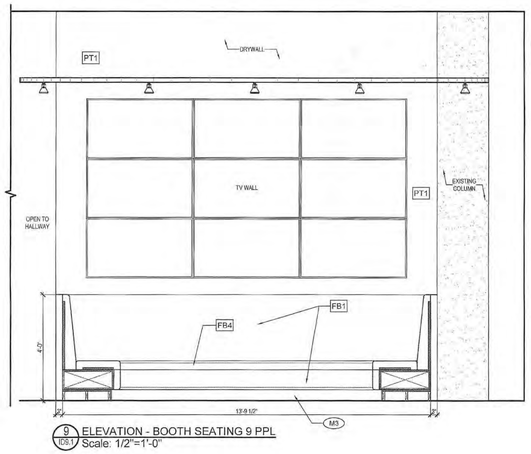
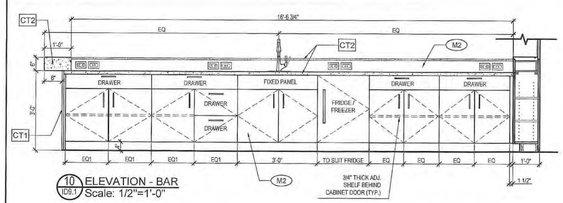


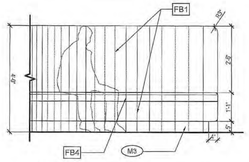
9 ID9.1 ELEVATION - BOOTH SEATING 9 PPL
Scale: 1/2"=1'-0"

Separate permits are required for outdoor seating area.

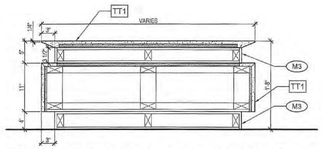
Separate permits are required for any signage, canopies and/or awnings.



10 ID9.1 ELEVATION - BAR
Scale: 1/2"=1'-0"



11 ID9.1 ELEVATION - BENCH SEATING
Scale: 1/2"=1'-0"



12 ID9.1 ELEVATION - KARAOKE ROOM CUSTOM TABLE
Scale: 1'=1'-0"

MILLWORK GENERAL NOTES

- REFER TO ID8.1 FINISHES KEY NOTES FOR FINISH DETAILS.
- ALL THE MILLWORK TO BE FINISHED IN M2, UNLESS OTHERWISE NOTED.
- ALL THE CABINET DOOR AND DRAWER PULL HARDWARE REFER TO MILLWORK KEY NOTES CH1; UNLESS OTHERWISE NOTED.
- REFER TO ID8.0 FINISHES KEY NOTES FOR WALL PAINT COLOR AND STONE COUNTERTOP FINISHES.

MILLWORK KEY NOTES

SYMBOL:	DESCRIPTION:
M1-A	LAMINATE MANUFACTURER: WILSONART MODEL#: MADASASTCAP 7946K - 01 LOCATION: KARAOKE ROOMS
M1-B	LAMINATE MANUFACTURER: WILSONART MODEL#: BRUSHED LISS BRONZE ASSM LOCATION: MILLWORK (MLL)
M2	LAMINATE MANUFACTURER: WILSONART MODEL#: ASIAN HIGHT 7949K - 18 LOCATION: BOOTH SURROUNDS
M3	TABLE LEG AND BASE MANUFACTURER: WILSONART MODEL#: BRUSHED MEDIUM BRONZE ASSM LOCATION: BOOTH TABLE AND KARAOKE BOOTH SEATING BOX

FINISHES KEY NOTES

SYMBOL:	DESCRIPTION:
FB1	BOOTH SEATING FABRIC: • MANUFACTURER: GLOBAL • MODEL#: FOGO GRAY [illegible] • LOCATION: BOOTH SEATING
FB2	STOOL FABRIC: • MANUFACTURER: GLOBAL • MODEL#: PC20 CLAY • LOCATION: SMALL KARAOKE ROOM STOOLS
FB3	STOOL FABRIC: • MANUFACTURER: GLOBAL • MODEL#: PC19 PACIFIC • LOCATION: LARGE KARAOKE ROOM STOOLS
FB4	BOOTH SEATING BASE • MANUFACTURER: GLOBAL • MODEL#: FOGO BLACK • LOCATION: BOOTH SEATING BASE

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MAY 22 2018
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CITY OF VANCOUVER
ZONING AND DEVELOPMENT BY-LAW NO. 3575
DP - 2018 - 00455
APPROVED SUBJECT TO CONDITIONS ON THE REVERSE SIDE
Date: SEP 14 2018 DIRECTOR OF PLANNING

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CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
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REGISTERED ARCHITECT
AVAN CHEN
MAY 17 2018
BRITISH COLUMBIA

CLIENT'S APPROVAL FOR CONSTRUCTION

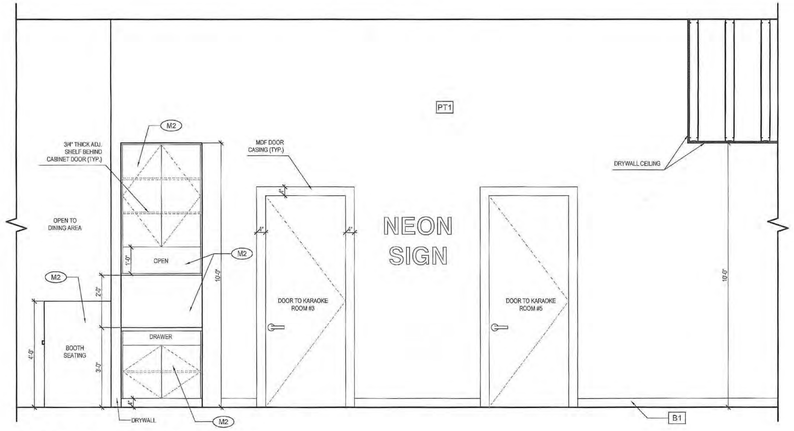
CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AVAN CHEN & MIJEEA HAQQ
PROJECT NUMBER:	18.014
DRAWING TITLE:	ELEVATION

DRAWING ISSUE HISTORY:

No.:	Date:	Description:
01	03.28.18	Issued for review
02	04.02.18	Issued for review
03	04.05.18	Issued for review
04	04.11.18	Issued for review
05	04.12.18	Issued for review
06	04.18.18	Issued for review
07	04.18.18	IFP
08	05.01.18	IFP
09	05.07.18	IFP
10	05.11.18	IFP

DRAWING NO.: ID9.1



1 ID9.2 ELEVATION - SERVER STATION/HALLWAY
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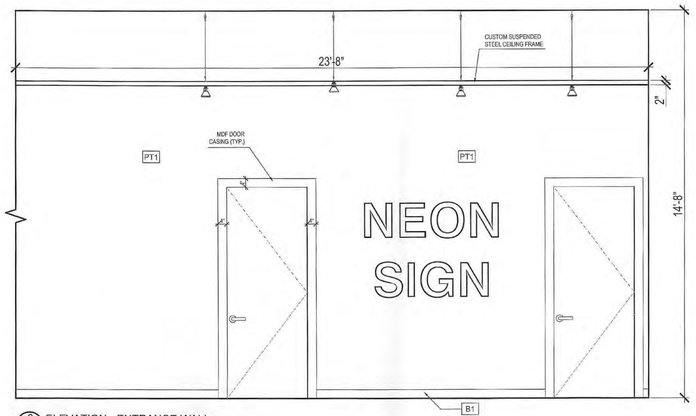
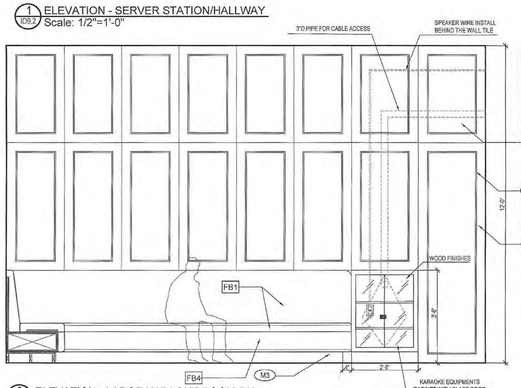
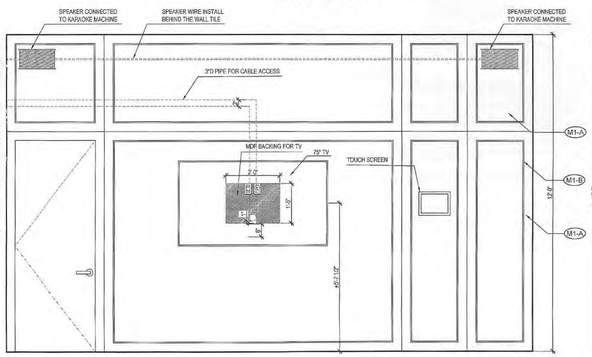


2 ID9.2 ELEVATION - ENTRANCE WALL
Scale: 1/2"=1'-0"

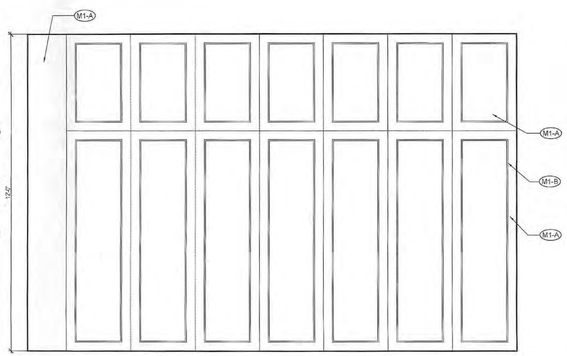
Separate permits are required for any signage, canopies and/or awnings.



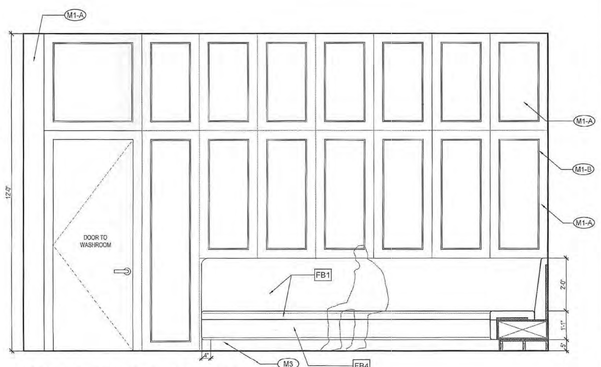
3 ID9.2 ELEVATION - LARGE KARAOKE ROOM #12
Scale: 1/2"=1'-0"



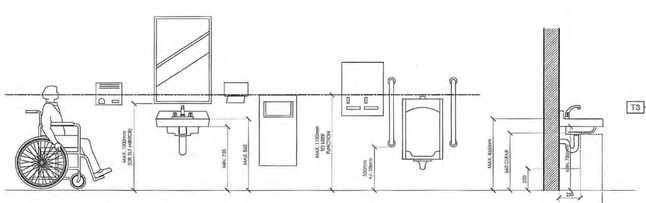
4 ID9.2 ELEVATION - LARGE KARAOKE ROOM #12
Scale: 1/2"=1'-0"



5 ID9.2 ELEVATION - LARGE KARAOKE ROOM #12
Scale: 1/2"=1'-0"



6 ID9.2 ELEVATION - LARGE KARAOKE ROOM #12
Scale: 1/2"=1'-0"



7 ID9.2 ELEVATION - TYPICAL HANDICAP WASHROOM
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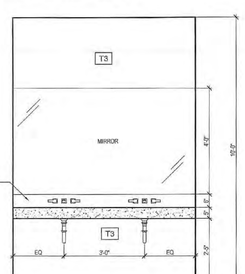

8 ID9.2 ELEVATION - SINKS
Scale: 1/2"=1'-0"

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BYLAW NO. 3575
DP - 2018 - 00455
APPROVED SUBJECT TO CONDITIONS AND THE DIRECTION OF PLANNING
DATE SEP 14 2018

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CITY OF VANCOUVER
MAY 22 2018
DEVELOPMENT
BUILDINGS & LICENSING

MILLWORK GENERAL NOTES

- REFER TO ID9.1 FINISHES & MILLWORK KEY NOTES AND MILLWORK GENERAL NOTES FOR FINISH DETAILS.

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architecture + real estate
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E: dwong@architelier.com
T: 604.773.2068

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CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY THE TRADE PRIOR CONTINUING WORK.

REGISTERED ARCHITECT
ALBERT YA WAI WONG
MAY 17 2018

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per those working drawings.

DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AYAN CHEN & MELISSA WAGG
PROJECT NUMBER:	18.016

DRAWING TITLE:
ELEVATION

DRAWING ISSUE HISTORY:

No:	Date:	Description:
01	03.28.18	Issued for review
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03	04.05.18	Issued for review
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06	04.16.18	Issued for review
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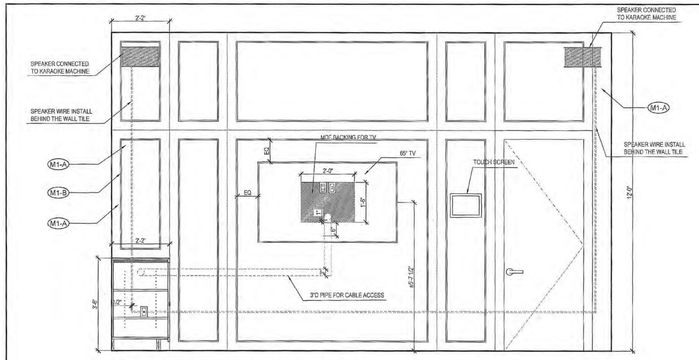
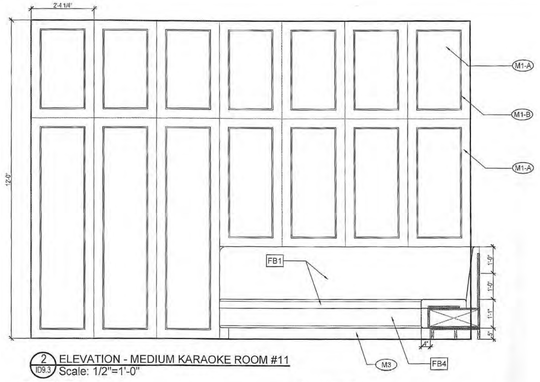
10	05.11.18	IFP

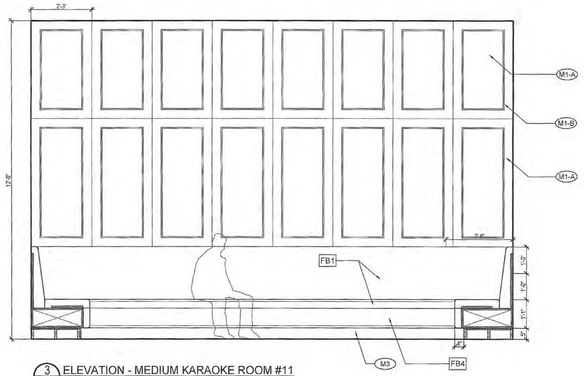
DRAWING NO.
ID9.2



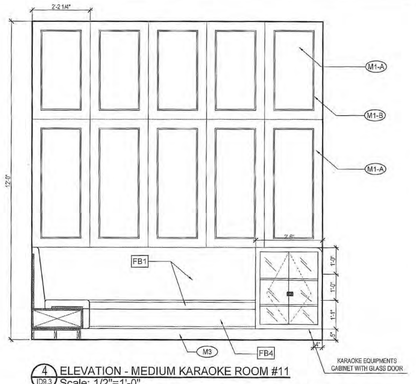
1 ID9.3 ELEVATION - MEDIUM KARAOKE ROOM #11
Scale: 1/2"=1'-0"



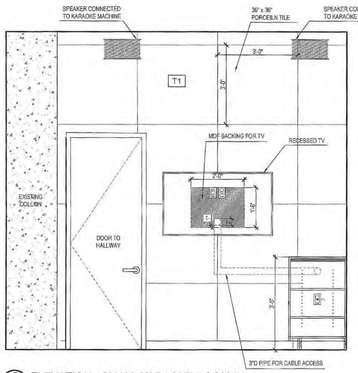
2 ID9.3 ELEVATION - MEDIUM KARAOKE ROOM #11
Scale: 1/2"=1'-0"



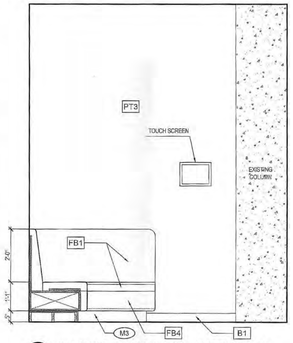
3 ID9.3 ELEVATION - MEDIUM KARAOKE ROOM #11
Scale: 1/2"=1'-0"



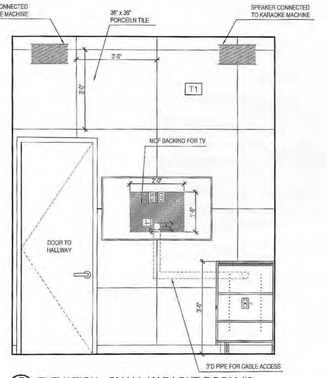
4 ID9.3 ELEVATION - MEDIUM KARAOKE ROOM #11
Scale: 1/2"=1'-0"



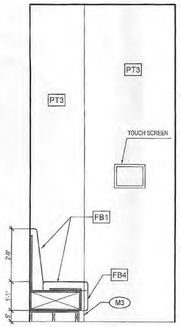
5 ID9.3 ELEVATION - SMALL KARAOKE ROOM #1
Scale: 1/2"=1'-0"



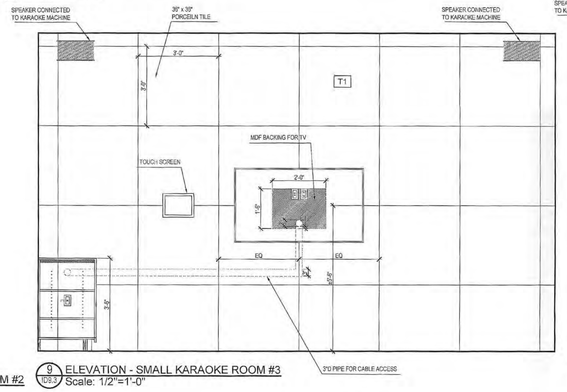
6 ID9.3 ELEVATION - SMALL KARAOKE ROOM #1
Scale: 1/2"=1'-0"



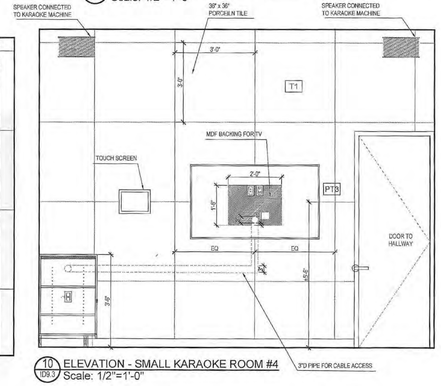
7 ID9.3 ELEVATION - SMALL KARAOKE ROOM #2
Scale: 1/2"=1'-0"



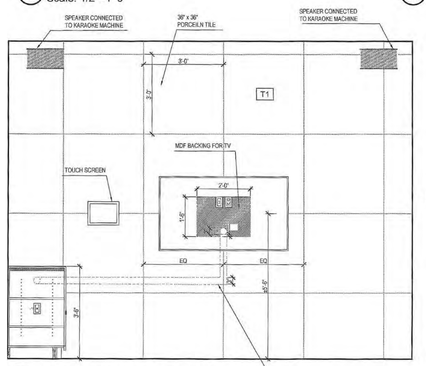
8 ID9.3 ELEVATION - SMALL KARAOKE ROOM #2
Scale: 1/2"=1'-0"



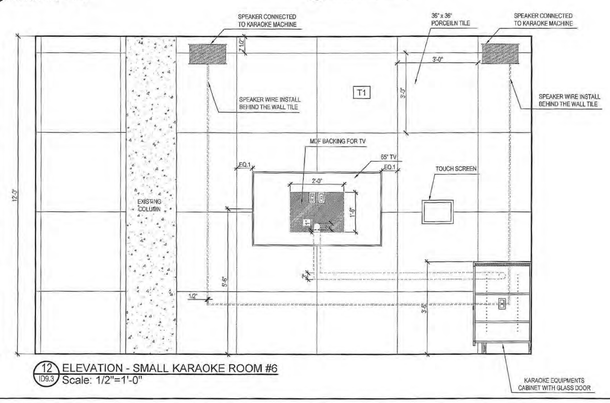
9 ID9.3 ELEVATION - SMALL KARAOKE ROOM #3
Scale: 1/2"=1'-0"



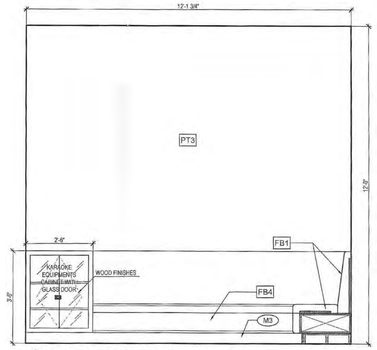
10 ID9.3 ELEVATION - SMALL KARAOKE ROOM #4
Scale: 1/2"=1'-0"



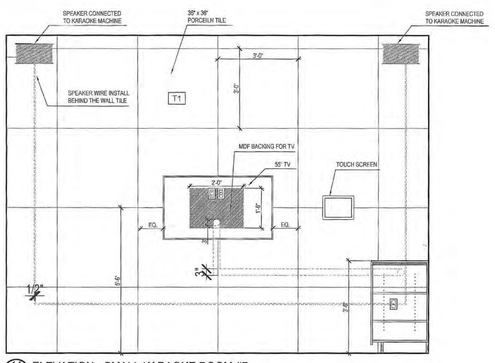
11 ID9.3 ELEVATION - SMALL KARAOKE ROOM #5
Scale: 1/2"=1'-0"



12 ID9.3 ELEVATION - SMALL KARAOKE ROOM #6
Scale: 1/2"=1'-0"



13 ID9.3 ELEVATION - SMALL KARAOKE ROOM #6
Scale: 1/2"=1'-0"



14 ID9.3 ELEVATION - SMALL KARAOKE ROOM #7
Scale: 1/2"=1'-0"

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BY-LAW NO. 3575
DP - 2018 - 00455
APPROVED SUBJECT TO CONDITIONS ON THE DATE SEP 14 2018 DIRECTOR OF PLANNING

RECEIVED
CITY OF VANCOUVER
DEVELOPMENT
BUILDING & LICENSING

MILLWORK GENERAL NOTES

- REFER TO ID9.1 FINISHES & MILLWORK KEY NOTES AND MILLWORK GENERAL NOTES FOR FINISH DETAILS.

Architeller
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680 – 838 West Hastings Street
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CONCRETE Cashmere DESIGNS
E: info@concretecashmere.com
T: +1(604).505.9234
www.concretecashmere.com

This drawing and proposal are provided to guide the contractor in the provision of general design. Contractor is to ensure that all codes and local bylaws are adhered to. It is the contractor's sole responsibility to provide all engineering required for Health and Safety code compliance. All mechanical, electrical, and structural detail and specifications are to be specified by others. Any further documents must be confirmed in writing and approved by Concrete Cashmere Designs. This drawing is exclusive property of Concrete Cashmere Designs and cannot be used or reproduced without written permission. Written dimensions will have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions prior to any work being commissioned or executed. Please refer any question in respect to dimensions to Concrete Cashmere Designs.

DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR CONSTRUCTION.

REGISTERED ARCHITECT DANIEL WA WONG
MAY 15 2018

CLIENT'S APPROVAL FOR CONSTRUCTION

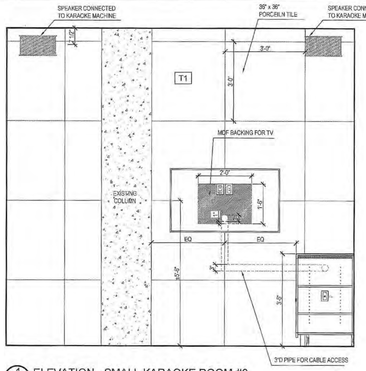
CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AYAN CHEN & MELISSA HAQQ
PROJECT NUMBER:	18-014
DRAWING TITLE:	ELEVATION

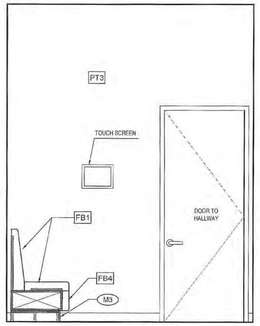
DRAWING ISSUE HISTORY:

No:	Date:	Description:
01	03.28.18	Issued for review
02	04.02.18	Issued for review
03	04.05.18	Issued for review
04	04.11.18	Issued for review
05	04.12.18	Issued for review
06	04.16.18	Issued for review
07	04.18.18	IFP
08	05.01.18	IFP
09	05.07.18	IFP
10	05.11.18	IFP

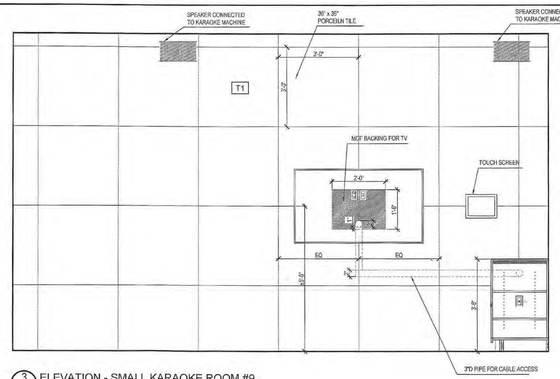
DRAWING NO.
ID9.3



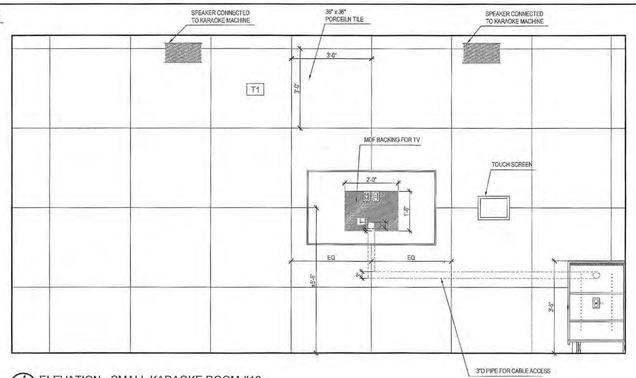
1 ID9.4 ELEVATION - SMALL KARAOKE ROOM #8
Scale: 1/2"=1'-0"



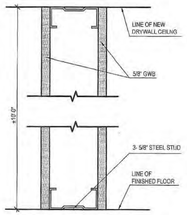
2 ID9.4 ELEVATION - SMALL KARAOKE ROOM #8
Scale: 1/2"=1'-0"



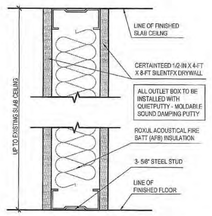
3 ID9.4 ELEVATION - SMALL KARAOKE ROOM #9
Scale: 1/2"=1'-0"



4 ID9.4 ELEVATION - SMALL KARAOKE ROOM #10
Scale: 1/2"=1'-0"



5 ID9.4 TYP WALL
Scale: 3"=1'-0"



6 ID9.4 SOUND PROOF INSULATION WALL
Scale: 3"=1'-0"

CITY OF VANCOUVER
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DATE SEP 14 2018

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MAY 22 2018
DEVELOPMENT BUILDINGS & LICENSING

MILLWORK GENERAL NOTES

- REFER TO ID9.1 FINISHES & MILLWORK KEY NOTES AND MILLWORK GENERAL NOTES FOR FINISH DETAILS.

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DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR CONSTRUCTION

REGISTERED ARCHITECT JOHN KA WAI WONG
MAY 17 2018
BRITISH COLUMBIA

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AVAN CHEN & MELISSA HAGQ
PROJECT NUMBER:	18.014

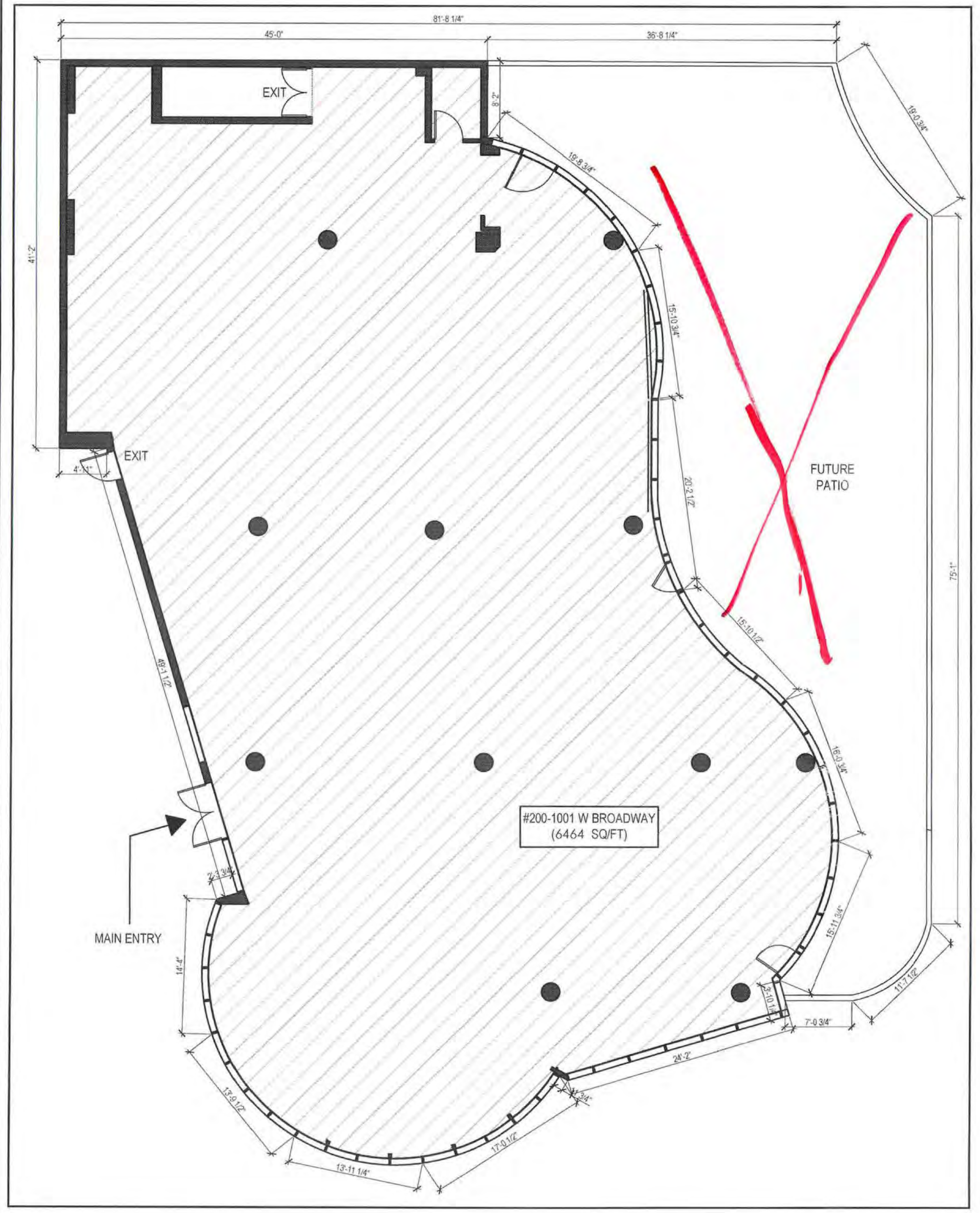
DRAWING TITLE:
ELEVATION

DRAWING ISSUE HISTORY:

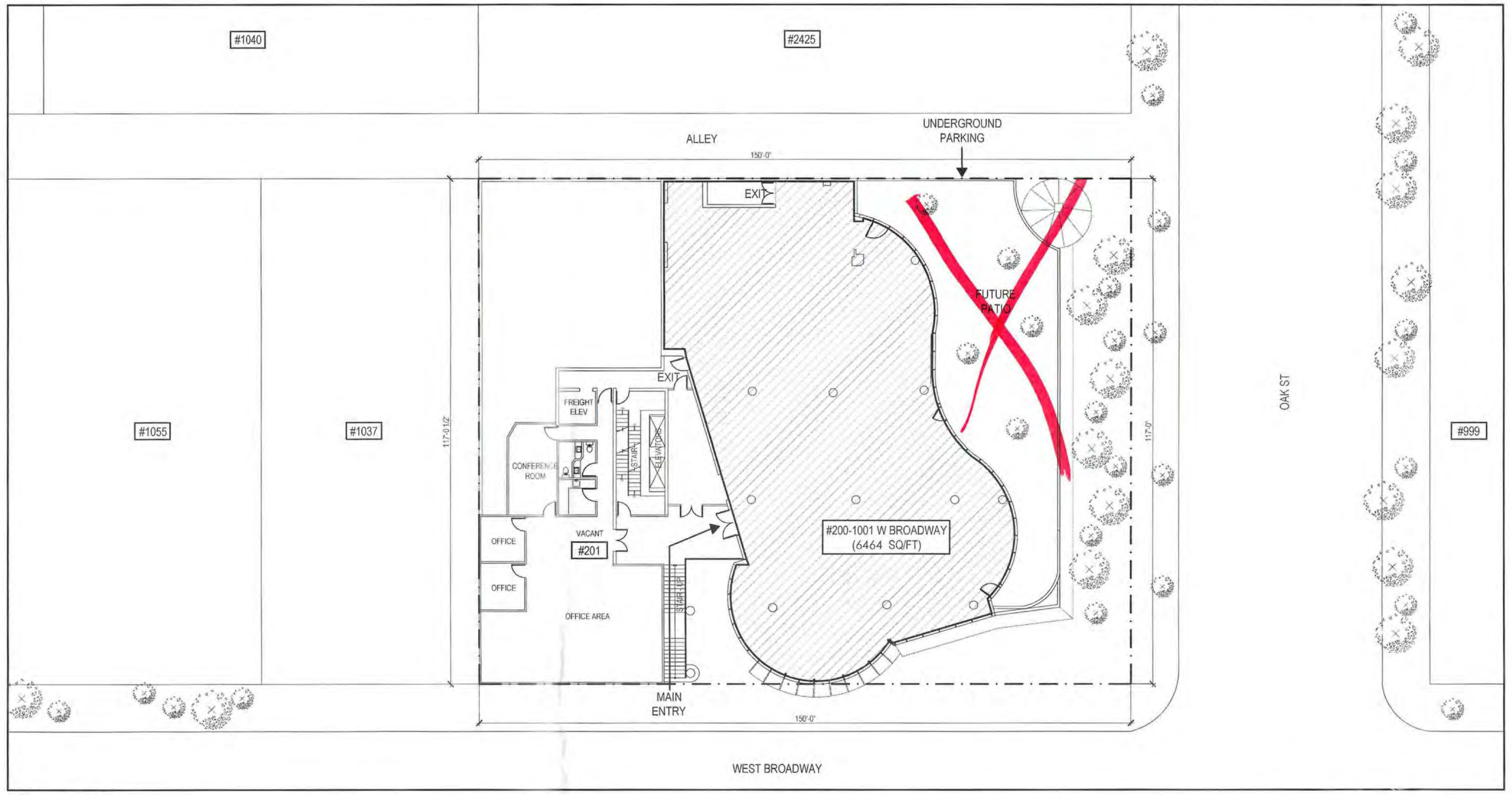
No:	Date:	Description:
01	03.28.18	Issued for review
02	04.02.18	Issued for review
03	04.05.18	Issued for review
04	04.11.18	Issued for review
05	04.12.18	Issued for review
06	04.16.18	Issued for review
07	04.18.18	IFP
08	05.01.18	IFP
09	05.07.18	IFP
10	05.11.18	IFP

DRAWING NO.
ID9.4

KARAOKE LOUNGE -1001 West Broadway, Vancouver, B.C.



A FLOOR PLAN
ID1.0 Scale: 1/8"=1'-0"



B SITE PLAN
ID1.0 Scale: NTS

Separate permits are required for the outdoor seating area.

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BY-LAW NO. 3575
DP - 2020 - 00230
APPROVED SUBJECT TO CONDITIONS BY THE DIRECTOR OF PLANNING
DATE APR 0 2 2020
CH/JK

GENERAL NOTES

1. ALL NEW WORK SHALL CONFORM TO VBBL 2014 AND ASHRAE 90.1-2010.
2. ALL SUBCONTRACTORS ARE REQUIRED TO TAKE PART IN A SITE REVIEW TO CHECK THE SITE PRIOR TO SUBMITTING TENDERS AND INCLUDE FOR ALL WORK NECESSARY FOR COMPLETE INSTALLATION OF THEIR SCOPE OF WORK.
3. ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE AND SHALL REPORT ANY ERRORS OR OMISSIONS OR DISCREPANCIES TO THE PROJECT MANAGER IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK. NO CONTRACT REVISIONS OR EXTRAS WILL BE ALLOWED FOR FAILURE TO VERIFY SITE CONDITIONS AND DIMENSIONS.
4. THEO PROJECT MANAGER AND ALL SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE LANDLORDS BASE BUILDING GUIDELINES FOR CONSTRUCTION, BUILDING ACCESS, ELEVATOR ACCESS, PERMITTED WORKING HOURS, PARKING, AND SECURITY. ALL SUBCONTRACTORS ARE TO ADHERE TO AND ABIDE BY ALL REQUIREMENTS OF THE CONSTRUCTION GUIDELINES FOR THE BUILDING, FROM THEIR LATEST EDITION, AND SHOULD INCLUDE FOR ALL COSTS EITHER EXPRESSED OR IMPLIED BY THESE GUIDELINES.
5. ALL SUBCONTRACTOR AND SUPPLIERS ARE TO BE AWARE OF THE PROJECT SCHEDULE AND ENSURE THAT THEIR TENDER PRICE INCLUDES FOR ALL SHIFT WORK, PREMIUM TIME, AND OVERTIME THAT WILL BE REQUIRED TO COMPLETE THE WORK AS OUTLINED IN THESE CONTRACT DOCUMENTS, AND TO COORDINATE WITH OTHER SUB TRADES AND SUPPLIERS WORK, AS INDICATED ON SCHEDULES, FOR ALL PHASES, STAGES, AND TURNOVER DATES. PLEASE NOTE DOUBLE SHIFTING MAY BE REQUIRED AND WILL BE ASSUMED TO BE INCLUDED IN THE BASE BID.
6. ALL SUBCONTRACTORS ARE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS BY THE AUTHORITY HAVING JURISDICTION AND AFTER COMPLETION OF WORK, IMMEDIATELY UPON RECEIPT FORWARD A COPY OF THE ROUGH IN, FINAL AND OCCUPANCY DOCUMENTATION TO THE PROJECT MANAGER. THE BUILDING PERMIT WILL BE APPLIED AND PAID FOR BY THE PROJECT MANAGER ON BEHALF OF THE CLIENT.
7. THE PROJECT MANAGER SHALL BE RESPONSIBLE TO DISTRIBUTE FULL SETS OF DRAWINGS AND SPECIFICATIONS TO ALL TRADES FOR COMPLETE COORDINATION. IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO VIEW ALL DRAWINGS AND SPECIFICATIONS FOR FULL EXTENT OF WORK REQUIRED. FLOOR PLAN IS NOT INTENDED TO LIST AND ITEMIZE ALL SUCH WORK.
8. INTER DESIGN DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL MECHANICAL, ELECTRICAL, AND STRUCTURAL ENGINEER DRAWINGS AND SPECIFICATIONS.
9. ALL WORK SHALL BE IN CONFORMANCE WITH BUT NOT LIMITED TO, ALL THE LATEST EDITIONS OF THE NATIONAL, PROVINCIAL, CITY, OR LOCAL BUILDING CODES AND ANY LOCAL BY-LAWS AS APPLICABLE TO THE JURISDICTION WHERE THE CONSTRUCTION IS TO BE PREFORMED. THE SUBCONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL CODES AND AMENDMENTS THAT APPLY TO THIS CONSTRUCTION.
9 ALL MATERIAL AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CANADIAN CONSTRUCTION STANDARDS, THE MOST CURRENT V.B.B.L. AND ANY LOCAL BY-LAWS HAVING JURISDICTION. ALL MATERIALS SHALL BE INSTALLED TO MANUFACTURERS SPECIFICATIONS. ANY MATERIALS NOT SPECIFIED SHALL BE THE MOST SUITABLE FOR THE INTENDED PURPOSE.
10. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATION, SUBMISSION OF ANY SHOP DRAWINGS AND SAMPLES TO THE PROJECT MANAGER FOR THEIR REVIEW ALONG WITH THE DESIGNER. THE DESIGNER RESERVES THE RIGHT TO REJECT WORK THAT DOES NOT CONFORM TO THE CONTRACT DOCUMENTS. SUBCONTRACTOR TO REPAIR OR REPLACE REJECTED WORK AT NO ADDITIONAL COST TO THE CLIENT OR INTERIOR DESIGNER.
11. ALL SUBCONTRACTORS ARE TO ENSURE ANY PENETRATIONS TO EXISTING WALLS AND FLOORS MUST MAINTAIN THE INTEGRITY OF ANY EXISTING FIRE SEPARATION AS REQUIRED. ALL MATERIALS TO MEET FLAME SPREAD RATINGS AND SMOKE DEVELOPMENT CLASSIFICATION OF AUTHORITIES HAVING JURISDICTION.
12. ALL MATERIAL USED FOR NEW CONSTRUCTION SHALL BE NEW AND FREE OF DEFECT.
13. ALL PATCHING AND REPAIRING OF SURFACES ARE NOT NECESSARILY SHOWN. PATCH AND REPAIR ALL EXISTING SURFACES SCHEDULED TO RECEIVE NEW FINISHES TO THAT ALL SURFACES WHEN COMPLETE RESEMBLE ALL NEW INSTALLATION.
14. ALL SUBCONTRACTORS ARE TO INSPECT ALL EXISTING SURFACES AND ASSEMBLIES TO RECEIVE FINISHES AND CONFIRM ACCEPTABILITY PRIOR TO INSTALLATION. (IE. UNEVEN FLOORS, ETC)
15. SUBCONTRACTORS TO MAINTAIN LIFE SAFETY SYSTEMS, FIRE ALARM, AND FIRE PROTECTION SYSTEMS AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD AS PER THE BUILDING CODE.
16. DRYWALL SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE AND PROVIDE BLOCKING (METAL AND/OR WOOD) FOR ALL WALL MOUNTED AND CEILING MOUNTED ITEMS. DRYWALL SUBCONTRACTOR TO BE RESPONSIBLE FOR PONY WALLS.
17. ALL MILLWORK TO CONFORM TO AWMAC STANDARDS FOR CUSTOM GRADE UNLESS OTHERWISE NOTED. STEEL STUD AND GWB WORK TO CONFORM TO AWCC OF BC STANDARDS UNLESS OTHERWISE NOTED. PAINTING AND WALL COVERING WORK TO CONFIRM TO MPI/MPDA STANDARDS UNLESS OTHERWISE NOTED. STONE AND CERAMIC TILE WORK TO CONFORM TO TTMAC STANDARDS UNLESS OTHERWISE NOTED.
18. IT IS THE SUBCONTRACTORS RESPONSIBILITY TO ORDER ALL LONG TERM ORDER AND DELIVERY ITEMS PRIOR TO PROJECT START TO ENSURE A TIMELY INSTALLATION AND NOTIFY ANY ISSUES AT THE TIME OF TENDER.
19. ALL SUBCONTRACTORS TO ALLOW FOR HOIST/SCAFFOLDING TO ACCESS HIGH CEILING AREAS IF REQUIRED.
20. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR THEIR OWN DAILY CLEANUP OF THEIR GENERATED DEBRIS, AND ORGANIZATION OF THEIR MATERIALS AND TOOLS ONSITE. ALWAYS COMPLY WITH BASE BUILDING GUIDELINES WITH REFERENCE TO GARBAGE REMOVAL PROTOCOLS.
21. ALL SUBCONTRACTORS ARE RESPONSIBLE TO COMPILE BIND, AND HAND OVER AT TIME OF SUBSTANTIAL COMPLETION ALL MAINTENANCE MANUALS, GUIDELINES, WARRANTY SCHEDULES FOR ALL CONSTRUCTION, FINISHES, AND EQUIPMENT INCLUDING DIGITAL DRAWINGS (AUTOCAD).
22. DURING CONSTRUCTION, EACH SUBCONTRACTOR SHALL; BE RESPONSIBLE FOR THE COST AND COORDINATION OR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK OR FORCES. THE SUPERINTENDENT MUST BE INFORMED IMMEDIATELY OF ANY DAMAGE TO THE BASE BUILDING. ONLY BASE BUILDING APPROVED SUBCONTRACTORS INVOLVED WITH THE PROJECT WILL BE PERMITTED TO UNDERTAKE ANY REPAIRS.
23. FINAL CLOSE OUT DOCUMENTS MUST BE PROVIDED TO THE PROJECT MANAGER AT SUBSTANTIAL COMPLETION OF THE PROJECT. AIR BALANCE REPORTS MUST BE PROVIDED WITHIN 14 DAYS OF SUBSTANTIAL COMPLETION OF THE PROJECT.
24. AT THE TIME OF SUBSTANTIAL COMPLETION ALL SUBCONTRACTOR TOOLS, MATERIALS AND GARBAGE OR MATERIALS ARE LEFT ONSITE, THE SUPERINTENDENT WILL CONTACT YOU TO IMMEDIATELY REMOVE THEM. IF YOU DO NOT IMMEDIATELY REMOVE THEM, THEN THE SUPERINTENDENT WILL HAVE THEM REMOVED OFF SITE AND CHARGE BACK WILL BE ISSUED TO THE SUBCONTRACTOR FOR THE COST OF REMOVAL.
25. ALL SUBCONTRACTORS TO FOLLOW PROJECT MANAGER AND SITE SUPERINTENDENT DIRECTION WITH REGARDS TO SITE RULES AND SAFETY PRACTICES, INCLUDING COMPLETION OF ALL REQUIRED PAPERWORK.
26. CONTRACTOR & SUBTRADES ARE TO RESPECT SECURE AREAS. ANY EXPENSES INCURRED FROM ALARMS BEING SET OFF IN THE SUITE OR IN BUILDING WILL BE THE RESPONSIBILITY OF CONTRACTOR.
27. THE GENERAL CONTRACTOR IS TO ARRANGE FOR PERMISSION & ACCESS TO THE BUILDING OR ANY SHUTDOWNS OF WATER, POWER OR OTHER.

PROJECT DIRECTORY

LANDLORD
Harvey Dales
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Email: HarveyDalesDFI@aol.com

DESIGNER
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Email: avan@concretecashmere.com

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Email: shelby@concretecashmere.com

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Contact: (604) 506 9234

MECHANICAL PLUMBING ENGINEER
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Address: #202 - 16055 Fraser Hwy, Surrey, BC
Contact: (604) 593 1446
Email: engineers@zoomeng.ca

ELECTRICAL ENGINEER
Gary Jatana, P.Eng
Address: #202 - 16055 Fraser Hwy, Surrey, BC
Contact: (604) 593 1446
Email: engineers@zoomeng.ca

DRAWING LIST

ID1.1 TITLE PAGE
ID1.1a SITE PLAN & EXTERIOR ELEVATION
ID1.1b SITE PLAN
ID2.1 NOTES
ID3.1 SPACE PLAN
ID4.1 DEMOLITION PLAN
ID5.1 CONSTRUCTION PLAN
ID5.2 CONSTRUCTION PLAN
ID6.1 ELECTRICAL PLAN
ID7.1 REFLECTED CEILING PLAN
ID8.1 FINISHES PLAN
ID9.1 ELEVATION PLAN
ID9.2 ELEVATION PLAN
ID9.3 ELEVATION PLAN
ID9.4 ELEVATION PLAN
ID9.5 DETAIL

SCOPE OF WORK

1. DEMOLITION OF INTERIOR PARTITIONS
2. NEW INTERIOR PARTITIONS.
3. NEW PLUMBING @ KITCHEN AREA AND WASHROOM.
4. NEW PAINT, CARPET, INTERIOR FINISHES WHERE NOTED.
5. NEW ELECTRICAL & COMMUNICATION WHERE NOTED.
6. NEW LIGHTING TO WHERE NOTED.
7. NEW AND RELOCATED HVAC AND SPRINKLERS.
8. NEW MILLWORK WHERE NOTED.

AREA OF CONSTRUCTION

AREA OF CONSTRUCTION ±6464 SQ.FT.

PROPERTY LINE

LEGAL DESCRIPTION

LOT 13
BLOCK: 335
PLAN: VAP590
DISTRICT LOT: 526
NEW WESTMINSTER LAND DISTRICT

Architelier
680 – 838 West Hastings Street
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T: 604.773.2068

CONCRETE Cashmere DESIGNS
E: info@concretecashmere.com
T: +1(604).506.9234
www.concretecashmere.com

This drawing and proposal are provided to guide the contractor in the provision of general design. Contractor is to ensure that all codes and local ordinances are complied with. It is the contractor's responsibility to provide all engineering required for Health and Safety code compliance. All mechanical, electrical, and structural detail and specifications are to be specified by others. Any further documents must be confirmed in writing and approved by Concrete Cashmere Designs. This drawing is exclusive property of Concrete Cashmere Designs and cannot be used or reproduced without written permission. Written dimensions shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions prior to any work being commissioned or executed. Please refer any question in respect to dimensions to Concrete Cashmere Designs.

DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR CONSTRUCTION.

RECEIVED CITY OF VANCOUVER
DEVELOPMENT BUILDING

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

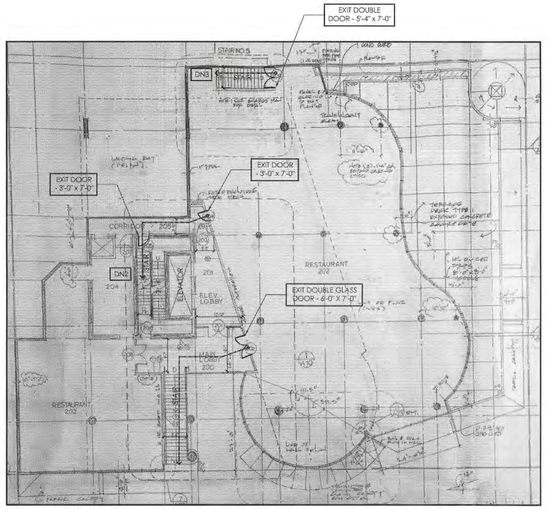
DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AVAN CHEN & MELISSA HAQQ
PROJECT NUMBER:	18.016

DRAWING TITLE:
SITE PLAN

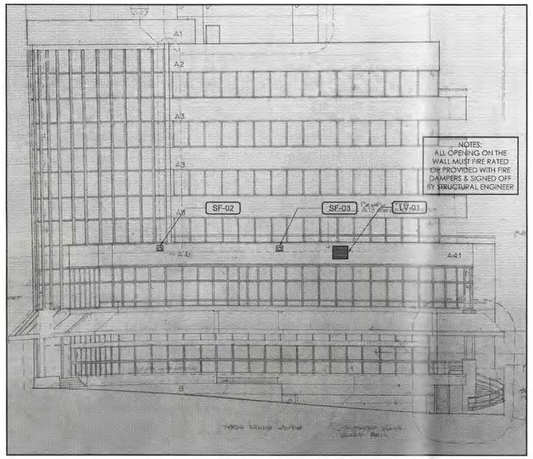
DRAWING ISSUE HISTORY:

No:	Date:	Description:
01	06.19.18	IFP
02	07.24.18	IFP
03	08.02.18	IFP
04	09.04.18	Issued for review
05	09.17.18	IFP
06	10.17.18	IFP
07	11.09.18	Issued for construction
08	12.18.18	Issued for construction
09	12.20.18	IFP
10	02.07.19	IFP

DRAWING NO.
ID1.1

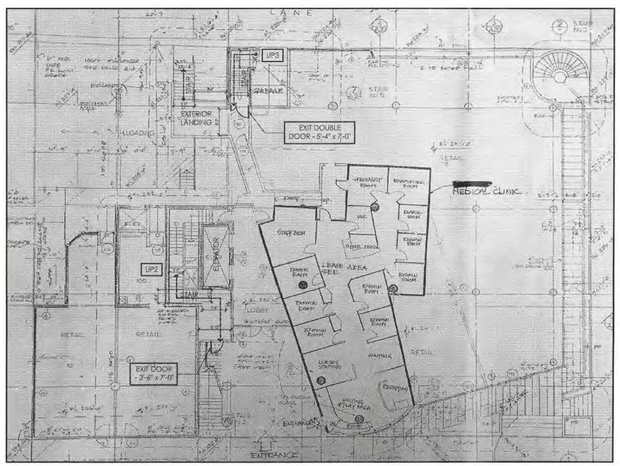


A ID1.1a SECOND FLOOR SITE PLAN - KARAOKE LOUNGE EMERGENCY EXIT
Scale: NTS

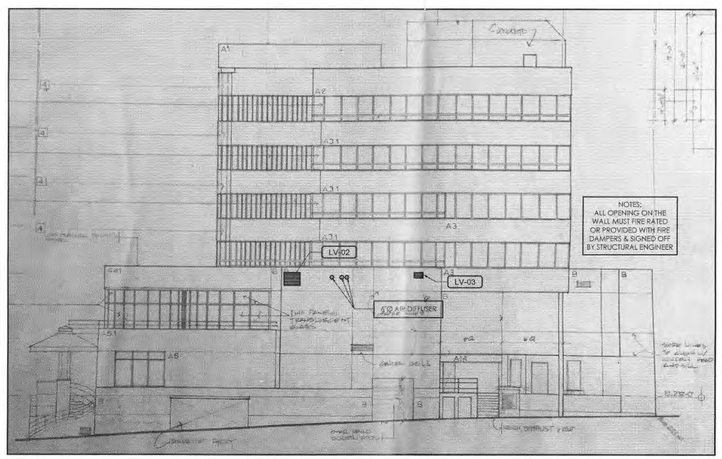


1 ID1.1a EXTERIOR ELEVATION - EAST
Scale: NTS

2 ID1.1a EXTERIOR ELEVATION - SOUTH
Scale: NTS



B ID1.1a GROUND FLOOR SITE PLAN - KARAOKE LOUNGE EMERGENCY EXIT
Scale: NTS



3 ID1.1a EXTERIOR ELEVATION - NORTH
Scale: NTS

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BY-LAW NO. 3575
DP - 2020 - 00230
APPROVED SUBJECT TO CONDITIONS SET THE
DATE APR 0 7 2020 DIRECTOR OF PLANNING

SUPPLY AIR FAN SCHEDULE			
TAG:	DESCRIPTION:	MANUFACTURER:	MODEL:
SF-01	SUPPLY AIR FAN	GREENHECK	BDIF-150
SF-02	SUPPLY AIR FAN	GREENHECK	BDIF-80
SF-03	SUPPLY AIR FAN	GREENHECK	BDIF-80

LOUVERS SCHEDULE			
TAG:	DESCRIPTION:	MANUFACTURER:	MODEL:
LV-01	LOUVERS - 46" x 40"	E.H. PRICE	JE443
LV-02	LOUVERS - 50" x 40"	E.H. PRICE	JE443
LV-03	LOUVERS - 28" x 18"	E.H. PRICE	JE443

RECEIVED
CITY OF VANCOUVER
MAR 2 0 2020
DEVELOPMENT
BUILDINGS & LICENSING

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CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR CONSTRUCTION.

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AVAN CHEN & MRUSSA HAQIQ
PROJECT NUMBER:	18.014

DRAWING TITLE:
SITE PLAN & EXTERIOR ELEVATION

DRAWING ISSUE HISTORY:

No:	Date:	Description:
01	06.19.18	IFP
02	07.24.18	IFP
03	08.02.18	IFP
04	09.04.18	Issued for review
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10	02.07.19	IFP

DRAWING NO:
ID1.1a