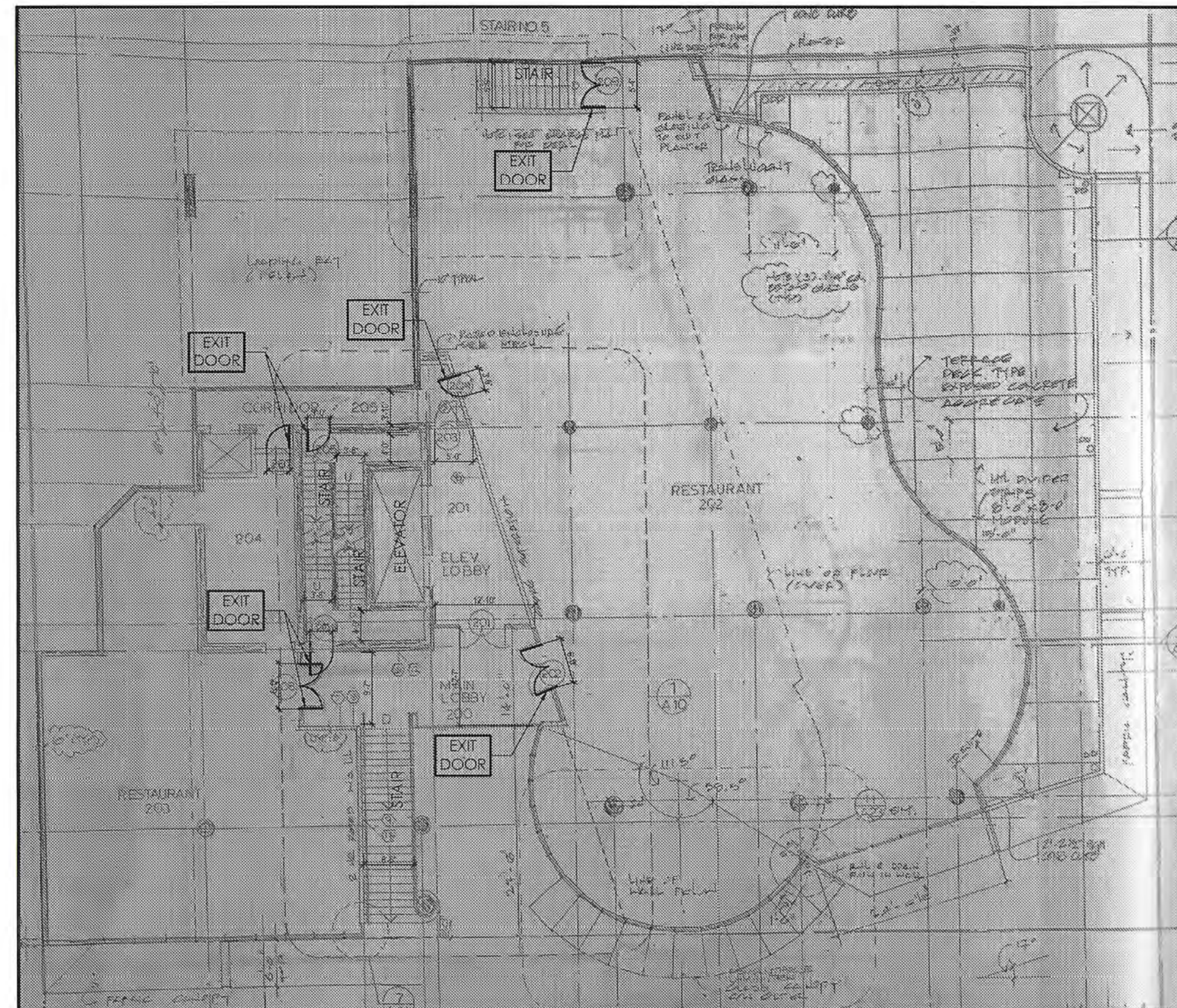
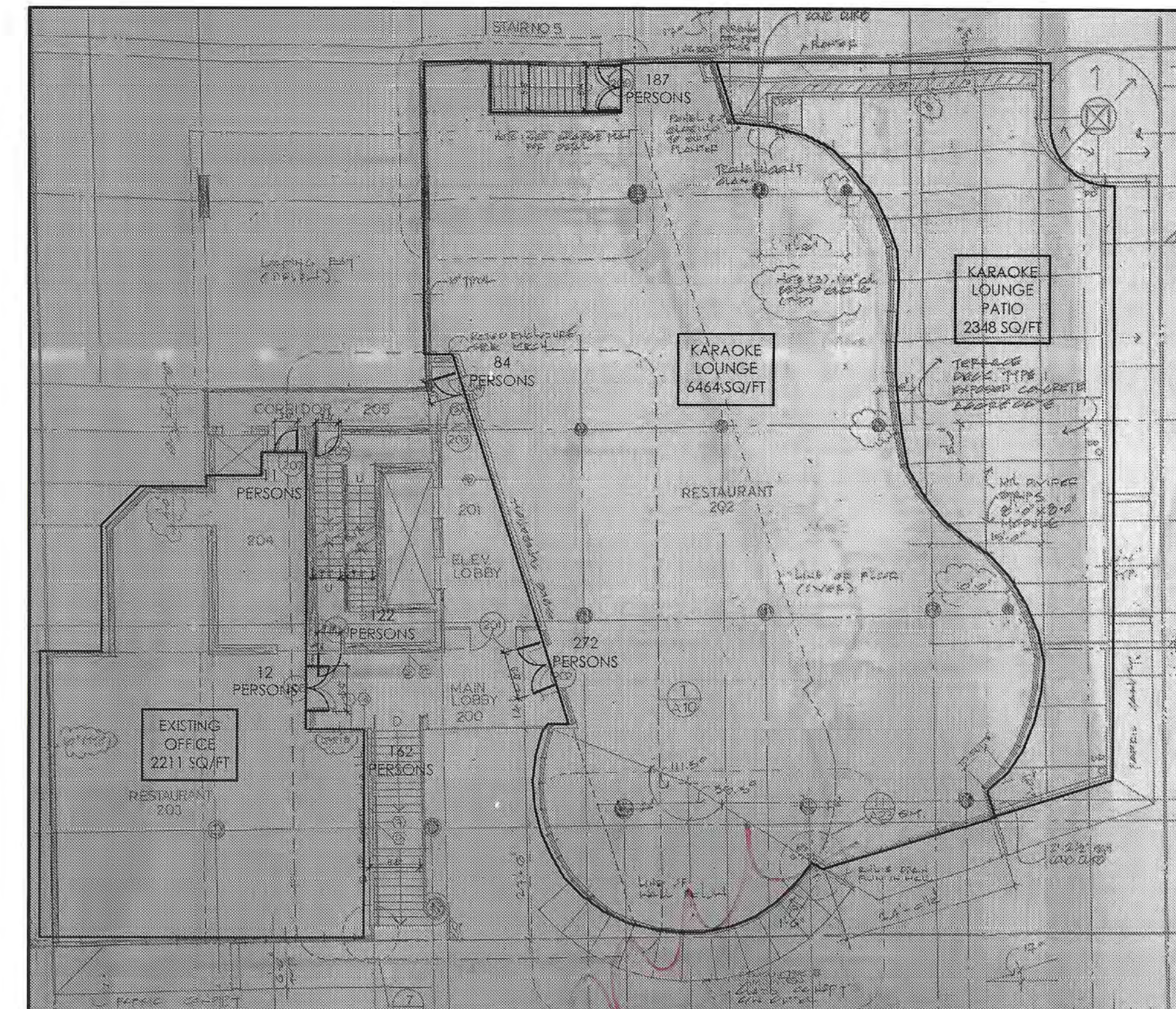


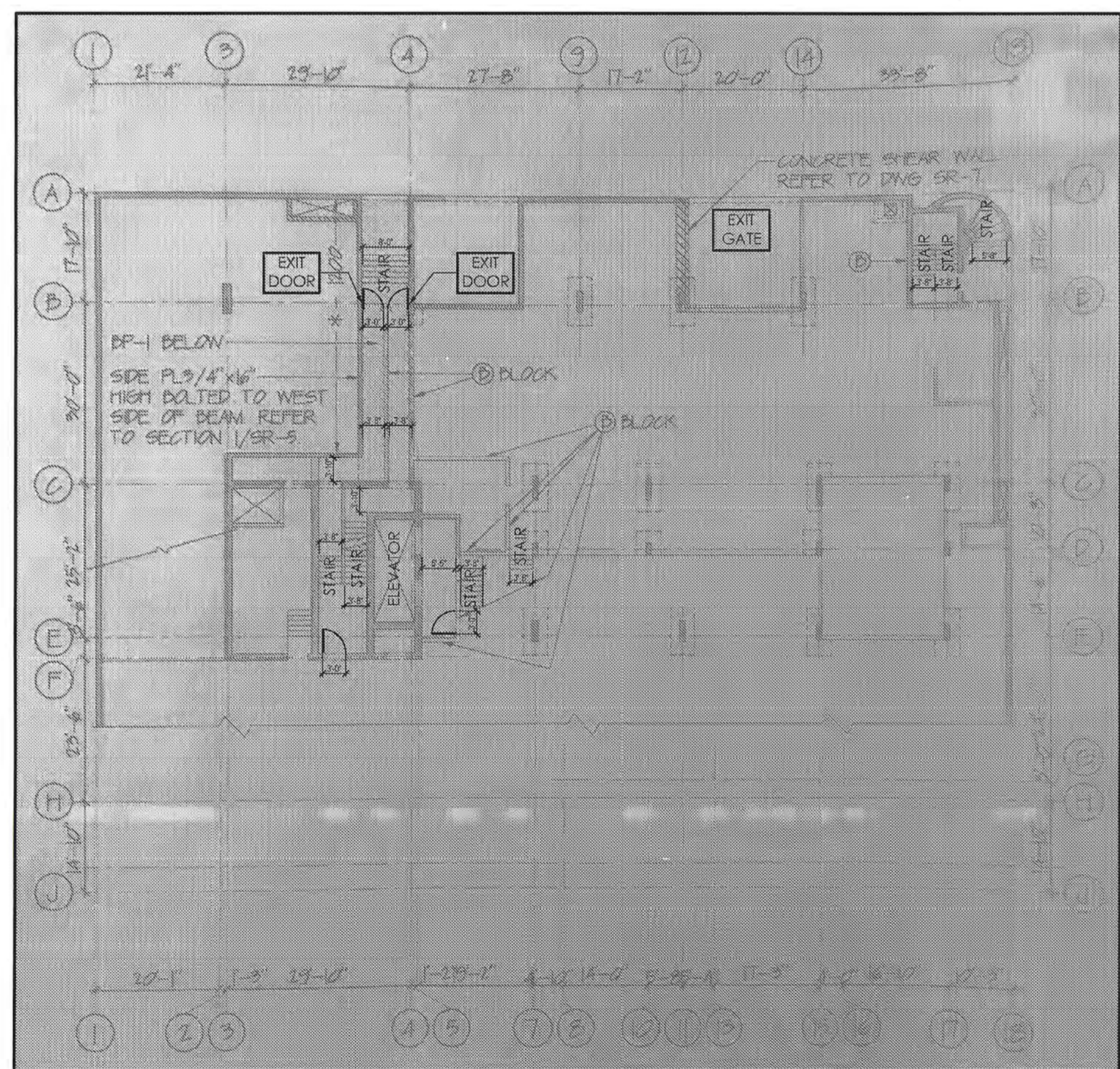
A GROUND FLOOR SITE PLAN
Scale: NTS



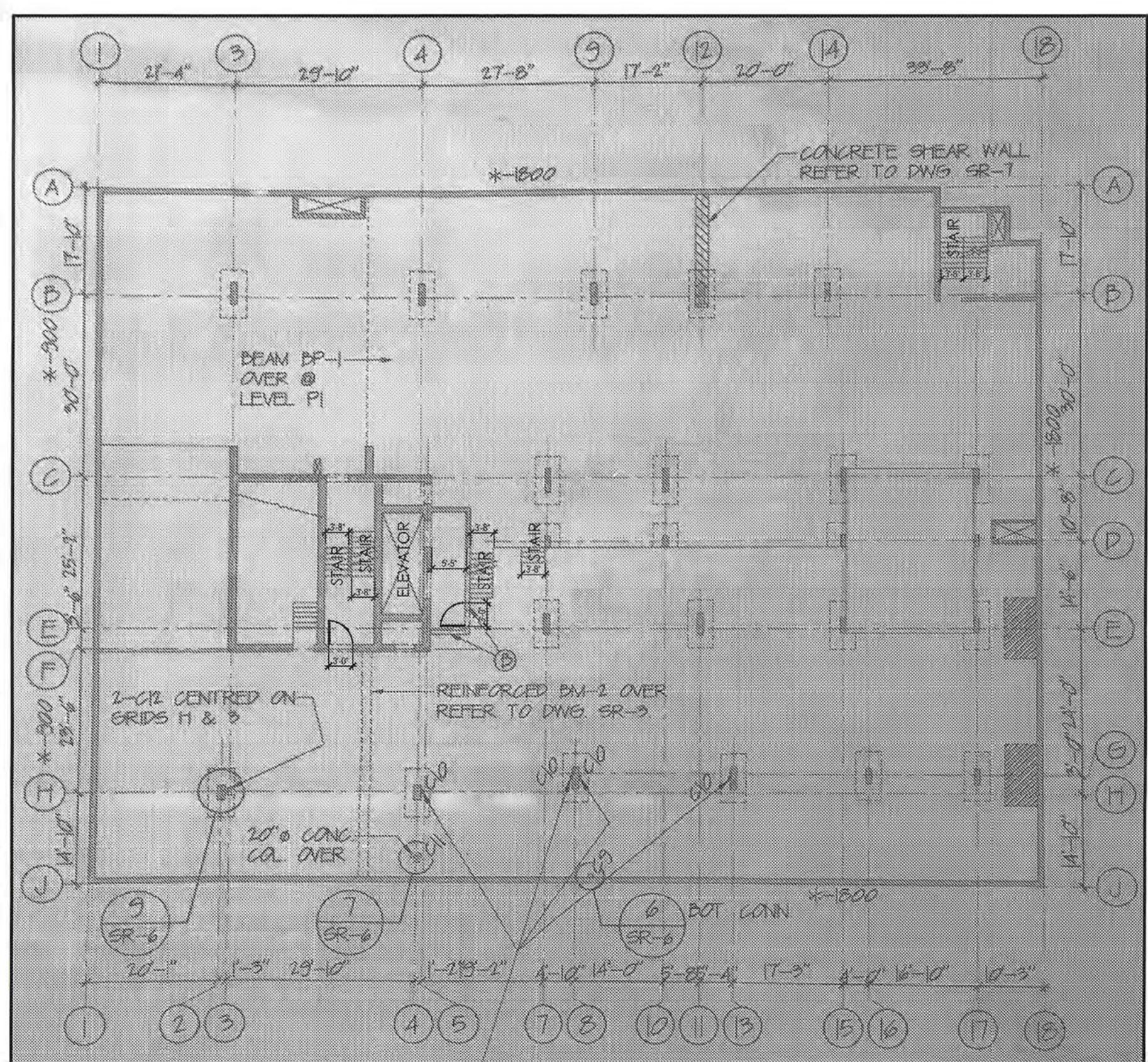
B1 SECOND FLOOR SITE PLAN
Scale: NTS



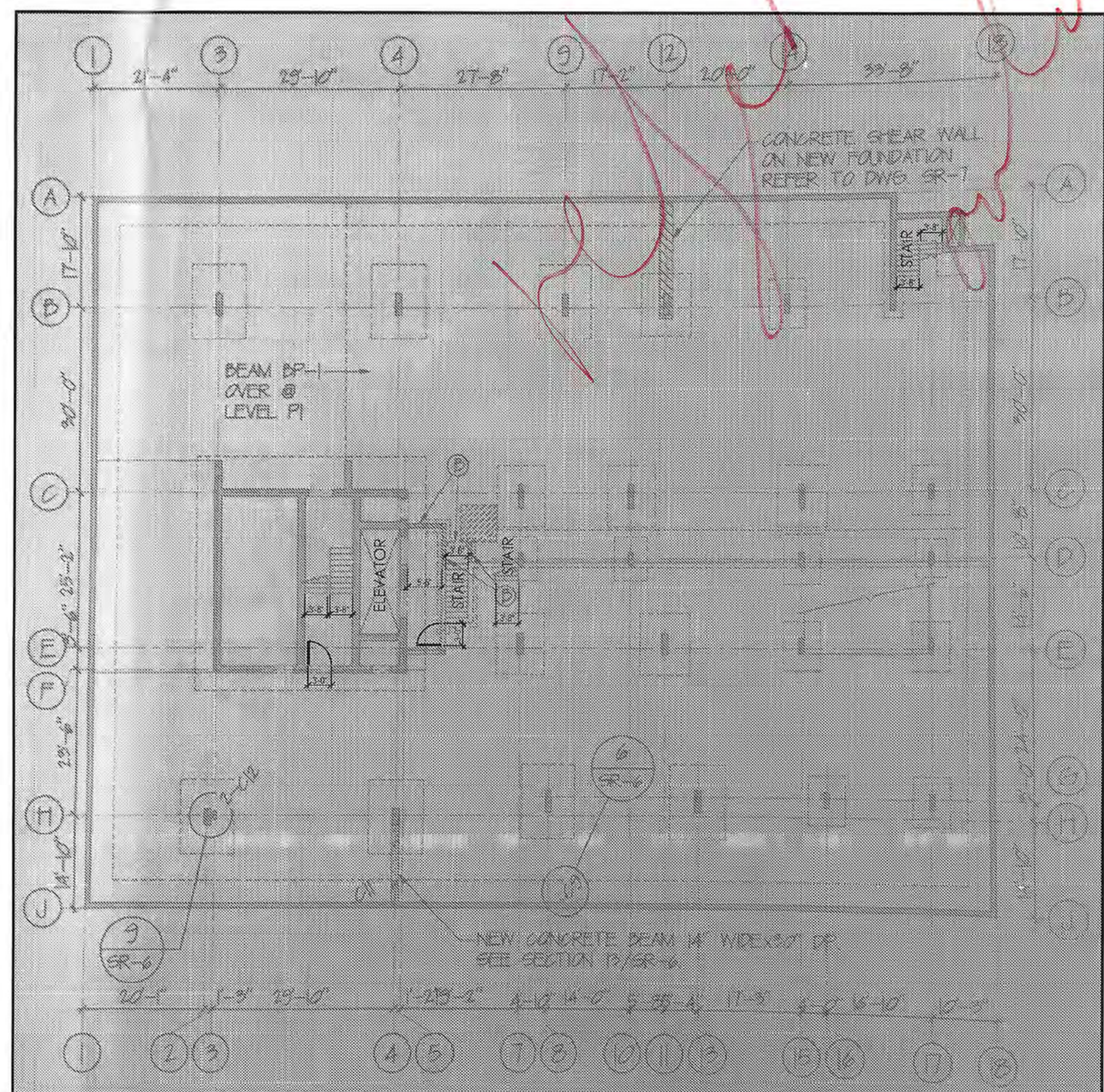
B2 SECOND FLOOR PLAN
Scale: NTS



C PARKING LEVEL 1 SITE PLAN
Scale: NTS



D PARKING LEVEL 2 & 3 SITE PLAN
Scale: NTS



E PARKING LEVEL 4 & 5 SITE PLAN
Scale: NTS

BUILDING CODE ANALYSIS

TYPE OF CONSTRUCTION	CONCRETE CONSTRUCTION
CONSTRUCTION TYPE CLASSIFICATION	COMBUSTIBLE
FIRE FIGHTING	SPRINKLERED
FIRE ALARM	YES
FACING NO OF STREETS	2
NO OF STOREY	6

PROPOSED USE - RETAIL
MAJOR OCCUPANCY A2 (KARAOKE WITH BEVERAGE SERVING) ASSEMBLY
BUILDING CLASSIFICATION 3.2.2.24 GROUP A, DIVISION 2, UP TO 6 STOREYS, ANY AREA, SPRINKLERED
FIRE RATING REQUIREMENTS 1 HOUR
FLOOR 1 HOUR
MEZZANINE NIL
ROOF NIL
LOADBEARING STRUCTURE 1 HOUR

SPATIAL SEPARATION	ADJACENT OCCUPANCY	HOURS
NORTH	N/A	NIL
SOUTH	N/A	NIL
EAST	N/A	NIL
WEST	D	1HR

OCCUPANT LOAD CALCULATION

	FT ²	M ²
BUILDING AREA SUMMARY		
KARAOKE/DINING	6,464SF	
PATIO	2,348SF	
TOTAL	8,812SF	

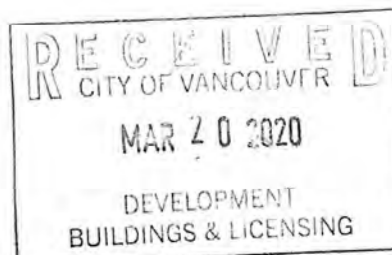
OCCUPANT LOAD (NET AREA CALCULATION)
OCCUPANT LOAD (KARAOKE 4.662 SF) 433.11 M² / 1.20 M/PPP = 361 PERSONS
OCCUPANT LOAD (FUTURE PATIO 2.348 SF) 218.14 M² / 1.20 M/PPP = 182 PERSONS
TOTAL OCCUPANT LOAD 543 PERSONS / 2 = 272 PERSONS PER SEX

NUMBER OF WATER CLOSET REQUIRED [3.7.2.2.13] MALE: 5 FEMALE: 10
NUMBER OF WATER CLOSET PROPOSED: MALE: 5 FEMALE: 5

EXIT WIDTH REQUIRED [3.4.3.2.1.C] 543 X 6 MM = 3,312 MM (131")
KARAOKE DOORS 6'-0" + 3'-0" + 5'-4" = 14'-4" = 4369 MM
OFFICE EXIT WIDTH REQUIRED [3.4.3.2.1.C] 205.4 M² / 9.30 X 6.1 MM = 135 MM (5.3")
OFFICE DOORS 6'-0" + 3'-0" + 9'-0" + 10'-0" = 27'-0" = 2743 MM
TOTAL EXIT WIDTH REQUIRED 135 MM + 3312 MM = 3447 MM (135")
EXIT WIDTH PROVIDED 5'-4" + 6'-8" + 3'-0" + 3'-0" = 23'-10" = 7010 MM (266")
EXIT CORRIDOR: 1,100 MM (3'-8")
RAMP: 1,100 MM (3'-8")
STAIRS: 900 MM (3'-0")
DEAD END CORRIDOR: 6 M (19'-9")
EXIT DOOR [3.3.1.13]: 813 MM (2'-8")
HEADROOM: 2100 MM
MAXIMUM TRAVEL DISTANCE: 30 M (98'-5")

PART 11 UPGRADE

EXISTING USE: LICENSED BEVERAGE ESTABLISHMENT/RESTAURANT
 PROPOSED USE: LICENSED BEVERAGE ESTABLISHMENT/RESTAURANT/KARAOKE
 MINOR RENOVATION (FLOW CHART NO. 1)
 NOT A SMALL SUITE - HAZARD INDEX HAS INCREASED
 UPGRADE LEVEL
 FIRE & LIFE SAFETY = F1
 STRUCTURAL = S2
 NON-STRUCTURAL = N1
 ACCESSIBILITY = A2
 ENERGY = E2



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DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
 1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR TO CONSTRUCTION.

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
 DATE: 04/27/2018
 NOTE: Contractors will build as per these working drawings.

DATE: APRIL 27 2018
 SCALE: AS NOTED
 DRAWN BY: AVAN CHEN & MELISSA HAQQ

PROJECT NUMBER: 18016
 DRAWING TITLE: **SITE PLAN**

DRAWING REVISION HISTORY:

No:	Date:	Description:
01	06.19.18	IFP
02	07.24.18	IFP
03	08.02.18	IFP
04	09.04.18	Issued for review
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07	11.09.18	Issued for construction
08	12.18.18	Issued for construction
09	12.20.18	IFP
10	02.07.19	IFP

DRAWING NO. **ID1.1b**

STRUCTURAL, MECH, ELEC, DATA & SECURITY NOTES

1. THE CONSTRUCTION MANAGER SHALL VERIFY SIZE, LOCATION AND CHARACTERISTICS OF ALL MECHANICAL, DATA, SECURITY AND ELECTRICAL ITEMS, SLEEVES, EQUIPMENT AND OPENINGS BEFORE START OF CONSTRUCTION AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES.
2. REFER TO THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWING FOR ASSOCIATED WORK. CONSTRUCTION MANAGER TO ALLOW TO PATCH, REPAIR AND MAKE GOOD ALL AREAS TO MATCH EXISTING OR NEW FINISHES AS NECESSARY TO IMPLEMENT STRUCTURAL /MECHANICAL /ELECTRICAL /DATA /SECURITY WORK.
3. THE CONSTRUCTION MANAGER IS TO COORDINATE ALL ELECTRICAL AND DATA LOCATIONS WITH FURNITURE, CONFIRM EXACT LOCATIONS ON SITE WITH DESIGNER PRIOR TO ROUGH-IN.
4. THERMOSTAT AND GRILLE LOCATIONS TO BE CONFIRMED ON SITE WITH DESIGNER PRIOR TO ROUGH-IN.
5. ELECTRICAL / MECHANICAL AS BUILTS ARE TO BE PROVIDED BEFORE & AFTER JOB.

FINISH HARDWARE NOTES

1. FURNISH DOOR AND FRAME MANUFACTURERS WITH COMPLETE INSTRUCTIONS AND TEMPLATES FOR PREPARATION OF THEIR WORK TO RECEIVE HARDWARE.

PAINTING NOTES

1. PRODUCT DELIVERY, ENVIRONMENTAL REQUIREMENTS, PREPARATION OF SURFACES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE CHAPTERS OF CANADIAN PAINTING CONTRACTORS ASSOCIATION (CPCA) ARCHITECTURAL PAINTING SPECIFICATION MANUAL, 1993.
2. ALL PAINTS SHALL BE TO CPCA PREMIUM GRADE.
3. PROTECT SURROUNDING OR ADJOINING WORK BY ADEQUATELY COVERING WITH TARPULINS OR OTHER NECESSARY PROTECTIVE COVERING.
4. BEFORE COMMENCING WORK REMOVE ALL ELECTRICAL PLATES, SURFACE HARDWARE, ETC. AND REPLACE IN ORIGINAL CONDITION AT COMPLETION OF PAINTING IN EACH SPACE.
5. METHOD OF PAINT APPLICATION SHALL BE GENERALLY BY THE USE OF BRUSH AND ROLLER; THE USE OF SPRAY EQUIPMENT REQUIRES APPROVAL BY THE CONSULTANT.
6. PAINT SHALL COMPLETELY AND UNIFORMLY COVER SURFACE. OPAQITY OF COVERAGE SHALL BE UNIFORM.
7. TINT ALL UNDERCOATS TO THE APPROXIMATE SHADE OF THE FINAL COAT AND VARY THE TINTS OF EACH UNDERCOAT TO FACILITATE DEFINITE IDENTIFICATION OF ALL COATS.
8. PREPARE WITH TYPE OF PAINT AND APPLICATIONS SPECIFIED. SAMPLES AT THE JOB AS REQUIRED UNTIL COLORS TEXTURES AND SHEEN ARE SATISFACTORY AND APPROVED BY THE DESIGNER.
9. PAINTING SCHEDULE:
THE FOLLOWING TILES AND CODE NUMBERS REFER TO CHAPTER 4.8 OF THE CANADIAN PAINTING CONTRACTORS ASSOCIATION ARCHITECTURAL PAINTING SPECIFICATION MANUAL. THIS SCHEDULE IS SUPPLIED FOR CONVENIENCE ONLY AND DOES NOT RELIEVE THE PAINTING CONTRACTOR OF RESPONSIBILITY FOR COMPLETING ALL PAINTING WORK SHOWN ON THE DRAWINGS OR SPECIFIED BELOW.
A. NEW DRYWALL (PREMIUM GRADE) TO PARTITIONS SCHEDULED FOR PAINT FINISH NEW DRYWALL CEILING AND BULKHEADS INT. 4-8 LATEX FINISH, EGGSHELL ON WALLS, CEILINGS.
B. MISCELLANEOUS METAL (PREMIUM GRADE) TO ELECTRICAL PANEL, CABINETS ALL OTHER AS NOTED INT. 12-B (ELECTROSTATIC) WATERBORNE ACRYL FINISH SEMI-GLOSS.

WALL PARTITION NOTES

1. STUD & DRYWALL WORK SHALL CONFORM TO THE ASSOCIATION OF WALL AND CEILING CONTRACTORS OF B.C. (AWCC) SPECIFICATION STANDARDS SECTION 9.5. GYPSUM WALLBOARD AND SECTION 9.7, INTERIOR STEEL STUDS AND FURRING.
2. COORDINATE STUD & DRYWALL WORK WITH OTHER TRADES. CHECK ALL DRAWINGS FOR FRAMING IN OF ALL DOOR AND GLAZING FRAMES, OPENINGS REQUIRED FOR PLUMBING, MECHANICAL AND ELECTRICAL FIXTURES AND EQUIPMENT WHERE SHOWN.
3. VERIFY MEASUREMENTS ON THE JOB SITE AS REQUIRED SO THAT ANY PRE ASSEMBLED WORK FITS THE JOB CONDITIONS.
4. INSTALL TWO LAYERS ACOUSTIC TAPE TO CENTER UNDERSIDE OF FLOOR TRACK AND ONE STRIP ACOUSTIC TAPE AT CEILING OVER REVEAL STRIP OR TOP TRACK.
5. WHERE RUBBER BASE IS TO BE SURFACE APPLIED, WALLBOARD SHALL BE SMOOTHLY AND EVENLY FINISHED TO SUBFLOOR.
6. INSTALL SOUND INSULATION BLANKETS IN DRYWALL PARTITIONS AS SCHEDULED. INSULATION SHALL FIT TIGHTLY BETWEEN STUDS AND BE INSTALLED FULL HEIGHT OF PARTITIONS. FILL JOINTS AROUND PIPES, DUCTS, ELECTRICAL BOXES AND OTHER PENETRATIONS TO PREVENT AIRBORNE SOUND TRANSMISSION.
7. ISOLATE GYPSUM WALLBOARD FROM EXTERIOR METAL WINDOW FRAMES AND BUILDING FINISHES USING 1 1/2" X 1" METAL TEE TO ALL FOUR EDGES.
8. USE REVOE T-BAR CLIPS TO FASTEN REVEAL STRIP AND TOP TRACK, PROVIDING NON-MARRING SECUREMENT TO THE BUILDING SUSPENDED T-BARS.
9. CONFIRM PARTITION LAYOUT WITH CONSULTANT PRIOR TO ERECTION OF STEEL STUDS, AT WHICH TIME IT SHALL BE POSSIBLE TO MAKE MINOR ADJUSTMENTS IN PARTITION LOCATION AT NO EXTRA CHARGE TO THE CONTRACT. NO PARTITIONS SHALL BE ERECTED UNTIL LAYOUT HAS BEEN APPROVED BY ALL SPACES.
10. FURR OUT CORE WALLS AS REQUIRED FOR POWER, TEL., DATA, AND PLUMBING. PROVIDE BLOCKING AS REQUIRED FOR MOUNTING OF FURNITURE AND MILLWORK.
11. MAINTAIN INTEGRITY OF 2 HR. SLAB RATING WITH RATED DRYWALL ENCLOSURE IN CEILING PLENUM BENEATH FLUSH TO FLOOR ELECTRICAL MONUMENTS.

ARCHITECTURAL WOODWORK & CASEWORK NOTES

1. THE "QUALITY STANDARDS" OF THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC), 1998 EDITION, TOGETHER WITH AUTHORIZED ADDITIONS AND AMENDMENTS SHALL BE USED AS A REFERENCE STANDARD AND SHALL FORM PART OF THIS SPECIFICATION.
2. SUBMIT SHOP DRAWINGS FOR ARCHITECTURAL WOODWORK, SHOWING CONSTRUCTION DETAILS, FINISH MATERIALS, GENERAL ARRANGEMENTS, LOCATIONS OF ALL SERVICE OUTLETS, ALL CONNECTIONS, ATTACHMENTS, HARDWARE, ETC. NO WORK SHALL BE FABRICATED UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED BY THE CONSULTANT.
3. CASEWORK FOR HIGH PRESSURE LAMINATE FINISH SHALL BE AWMAC PREMIUM GRADE FLUSH OVERLAY CONSTRUCTION.
4. EXPOSED PARTS FINISH ON H.P.L. CASEWORK SHALL BE HIGH PRESSURE LAMINATE AS INDICATED ON THE DRAWINGS. SEMI-EXPOSED PARTS FINISH SHALL BE WHITE MELAMINE WITH SEMI-EXPOSED EDGES OF CASE AND SHELVES FINISHED IN H.P.L.
5. CASEWORK HINGES SHALL BE BLUM NO. 75M-555 125 DEG. OPENING. ALL METAL 4 WAY ADJUSTABLE SPRINGS LOADED FOR CLOSURE.
6. DRAWER RUNNERS SHALL BE ACCURIDE NO. 3832, FULL EXTENSION, ALL METAL, HEAVY DUTY, BALL BEARING.
7. RECESSED SHELF STANDARDS: ALL PREMIUM GRADE AND CUSTOM GRADE CASEWORK SHALL HAVE DOWELED HOLES WITH 5 MM DIA. NICKEL PLATED METAL PINS, FULL HEIGHT AT 2" O.C.
8. CABINETS LOCKS SHALL BE NICKEL PLATED AT MANUFACTURERS OPTION.
9. GROMMETS SHALL BE 2-1/2" DIA. POLISHED CHROME AT MANUFACTURERS OPTION.
10. TYPICAL COUNTERTOPS SHALL HAVE SELF EDGE DETAIL AS PER AWMAC DETAIL 312.6.1 W/ BACK SPLASH HEIGHTS AS SHOWN ON DWGS.
11. JOB CONDITIONS FOR INSTALLATION OF ARCHITECTURAL WOODWORK SHALL BE AS SPECIFIED UNDER PART 7, SECTION 705 OF THE AWMAC QUALITY STANDARDS.
12. CABINETS AND CASEWORK SHALL BE INSTALLED IN ACCORDANCE WITH PART 7, SECTION 705 OF THE AWMAC QUALITY STANDARDS.
13. PROVIDE SECURED PROTECTIVE COVERINGS FOR ALL HORIZONTAL SURFACES AND EXPOSED CORNERS OF WOODWORK AND CASEWORK.

CARPET NOTES

1. INSTALL CARPET AND ACCESSORY MATERIAL IN ACCORDANCE WITH CONSULTANT APPROVED SEAMING LAYOUT. NO WORK TO START PRIOR TO REVIEW OF SEAMING LAYOUT.
2. INSTALL ROLL CARPET IN LARGEST WIDTHS POSSIBLE. THERE SHALL BE NO PIECING OR PATCHING OF INDIVIDUAL CARPET STRIPS.
3. ALL CARPET SHALL BE ROLLED WITH A 200 LB. ROLLER TO ENSURE ALL AIR POCKETS AND BUBBLES ARE ELIMINATED PRIOR TO FINAL ADHESIVE SET-UP.
4. CLEAN UP AS THE WORK PROGRESSES, AND REMOVE FROM THE SITE ALL RUBBISH RESULTING FROM THIS OPERATION.
5. PROTECT THE WORK OF OTHER SECTIONS FROM DAMAGE RESULTING FROM THE WORK OF THIS SECTION.
6. PROTECT TRAFFIC AREAS OF CARPETED FLOORS WITH APPROVED DROP SHEETS, TAPE JOINTS TO PREVENT SHIFTING.
7. CARPET INSTALLERS TO PROVIDE PATCHING TO ANY DAMAGED FLOOR.

RUBBER BASE NOTES

1. INSTALLATION (RUBBER BASE)
A. RUBBER BASE TO BE SUPPLIED IN ROLLS. NO LENGTHS LESS THAN 3 FEET. NO JOINTS IN RUNS LESS THAN 10'-0".
B. FIT JOINTS TIGHT AND VERTICAL. SCRIBE AND FIT TO DOOR FRAMES AND OTHER OBSTRUCTIONS. MITE INTERNAL CORNERS.
C. INSTALL BASE ON SMOOTH SUBSTRATE FINISHED EVENLY TO FLOOR.
D. INSTALL TOP OF BASE STRAIGHT AND LEVEL TO VARIATION OF PLUS OR MINOR 1/8" OVER 10'-0" AND SCRIBE BOTTOM TO FLOOR.

WOOD DOORS & FRAMES NOTES

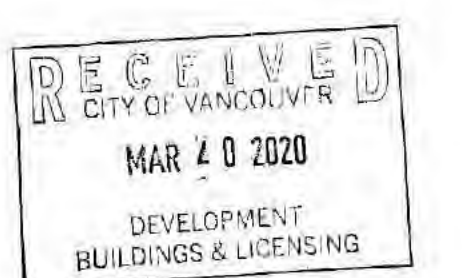
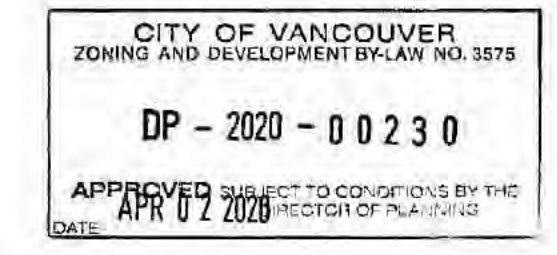
1. WOOD DOORS SHALL CONFORM TO THE MILLWORK SPECIFICATIONS AS SET FORTH IN THE QUALITY STANDARDS MANUAL FOR ARCHITECTURAL WOODWORK OF THE ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC), 1998 EDITION, PART 4 WOOD DOORS.
2. GRADES AND TOLERANCES SHALL BE AS OUTLINED IN THE AWMAC MANUAL.
3. FACE VENEERS TO DOORS SCHEDULED TO MATCH EXISTING SHALL BE ARCHITECTURAL GRADE VENEER FACES TO AWMAC QUALITY STANDARDS. WHERE MORE THAN ONE PIECE OF VENEER IS PRESENT, PIECES SHALL BE EQUAL IN WIDTH AND BALANCED ON THE FRAME. EACH FACE SHALL BE DEFECT FREE.
4. ALL WOOD DOORS AND FRAMES SHALL BE FACTORY FINISHED, REFER TO ARCHITECTURAL WOODWORK AND CASEWORK SPECIFICATIONS FOR FINISHING PROCESS.
5. DOOR AND GLAZING FRAMES SCHEDULED FOR VENEER FINISH TO MATCH EXISTING SHALL HAVE EDGES FINISHED IN A SINGLE PIECE OF VENEER A MINIMUM OF 1.60mm THICK.
6. PRODUCT DELIVERY, STORAGE AND HANDLING SHALL BE AS SPECIFIED UNDER PART 7, SECTION 704 OF THE AWMAC QUALITY STANDARDS.
7. INSTALL WOOD DOORS IN ACCORDANCE WITH PART 7, SECTIONS 709 & 710 OF THE AWMAC QUALITY STANDARDS.
8. INSTALL FINISH HARDWARE TO WOOD DOORS IN ACCORDANCE WITH PART 7, SECTION 711 OF THE AWMAC QUALITY STANDARDS.
9. PROVIDE SECURED PROTECTIVE COVERINGS FOR ALL EXPOSED CORNERS OF WOOD DOOR FRAMES AND GLAZING FRAMES.
10. PROVIDE CLEAR PLASTIC DOOR MUTES TO ALL NEW WOOD DOOR FRAMES.

GLAZING NOTES

1. INSTALL GLASS PANELS INTO METAL CHANNELS (AS SHOWN) IN WITH COMBINED RECOMMENDATIONS OF GLASS MANUFACTURER AND FLAT GLASS MARKETING ASSOCIATION (FGMA) WHICH REVEALS MORE STRINGENT.
2. SEAL ALL GLASS-TO-Glass JOINTS WITH CLEAR TRANSLUCENT SILICONE BUTT JOINT SEALANT, APPLIED IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
3. EXPOSED GLASS EDGES SHALL BE GROUND SMOOTH AND POLISHED; SUITABLE FOR BUTT JOINT GLASS-TO-GLASS SEALANT. CONCALED GLASS EDGES SHALL BE GROUND SMOOTH AND ARRISSED.

CEILING NOTES

1. INSTALL ACOUSTIC PANELS ONLY AFTER THE COMPLETION OF ALL WORK OF OTHER TRADES IN THE CEILING SPACE. MAKE ALL CUTOUTS AS REQUIRED FOR FIXTURES, SPRINKLER HEADS, DIFFUSERS, ETC. WITH NO CUT EDGES SHOWING.
2. FOR SUSPENDED GWB CEILINGS, SECURELY ANCHOR ALL METAL SUPPORT HANGERS TO STRUCTURAL FRAME OR STRUCTURAL DECK OVER.
3. FIX MAIN CARRYING CHANNELS TO WIRE OR ROD HANGERS BY SADDLE TYING OR WRAPPING AROUND MAIN CHANNELS SO AS TO PREVENT TURN/TWIST OF THE CHANNELS AND TO DEVELOP THE FULL STRENGTH OF THE HANGERS.
4. SPACE FURRING MEMBERS TRANS VERGE TO MAIN CARRYING CHANNELS @400mm (16") O.C. SECURE @ EACH SUPPORT WITH APPROVED CLIP OR SADDLE TYPE.
5. LEVEL AND SKIM FURRING CHANNELS TO A MAXIMUM TOLERANCE OF 3mm (1/8") OVER 3600mm (1144").
6. INSTALL 5/8" MDF ACCESS PANELS IN GWB CEILINGS AS REQUIRED FOR ACCESS TO MECHANICAL & ELECTRICAL SERVICE POINTS.
7. CLIPS MUST BE USED TO ATTACH PARTITIONS TO THE CEILING GRID.
8. REMOVE AND REINSTALL T-BAR FOR MECHANICAL PURPOSES BY DRYWALL CONTRACTOR.
9. DRYWALL CONTRACTOR TO ALLOW (4) 1" X 4" SLOT DIFFUSERS IN DRYWALL CEILING + (2) RETURN AIR GRILLES.



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CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
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CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

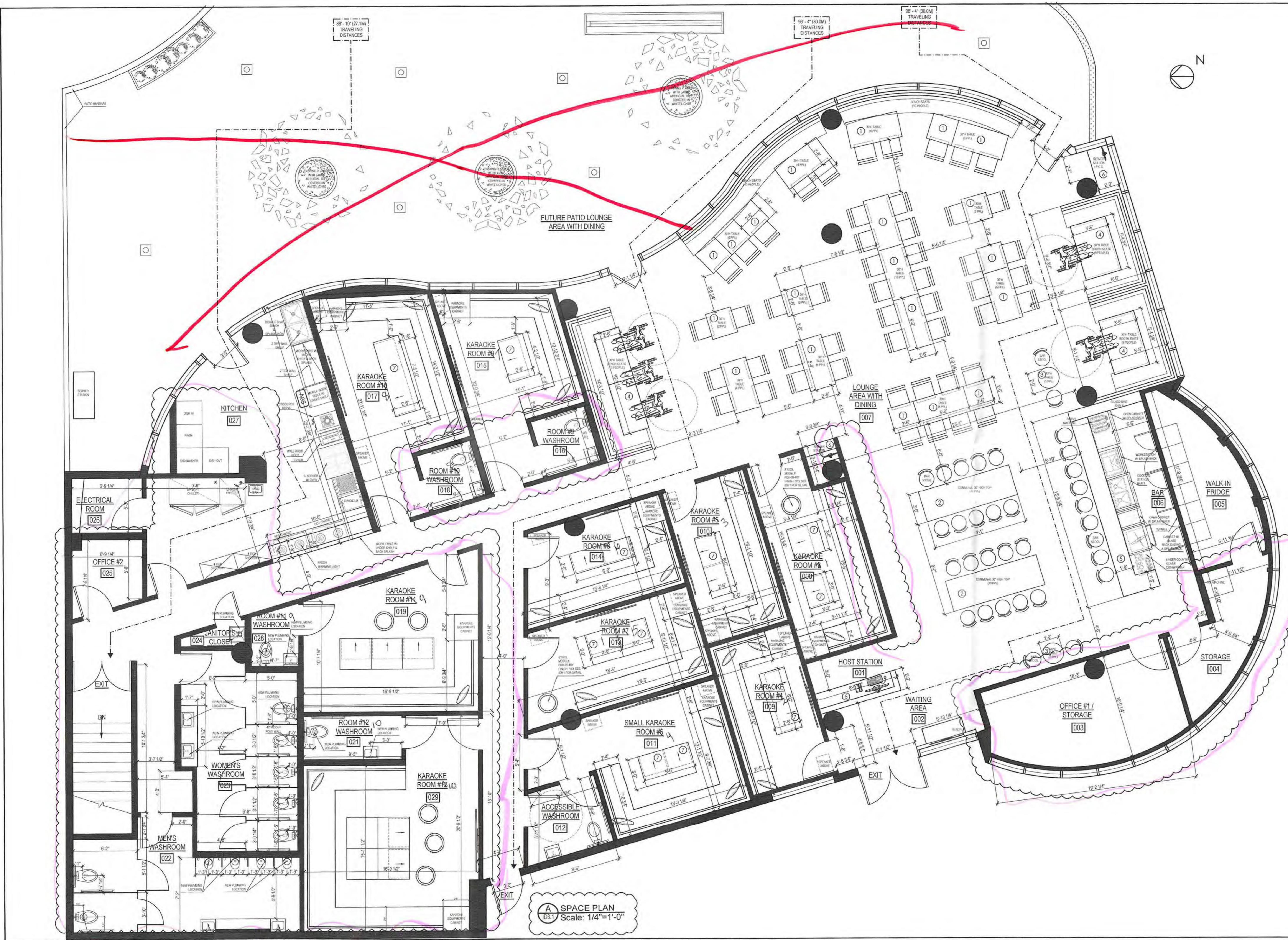
DATE:	APRIL 27 2018
SCALE:	AS NOTED
DRAWN BY:	AVAH CHEN & MELISSA HAGG
PROJECT NUMBER:	18.016

GENERAL NOTES

DRAWING SUB-HISTORY:

No.	Date	Description:
01	08.19.18	IFP
02	07.24.18	IFP
03	08.02.18	IFP
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10	02.07.19	IFP

DRAWING NO: **ID2.1**



A SPACE PLAN
105.1 Scale: 1/4" = 1'-0"

GENERAL NOTES

SYMBOL:	DESCRIPTION:
←	EMERGENCY EXIT PATHWAY AND TRAVELING DISTANCES.

TABLE TOP AND COUNTER TOP FINISHES NOTES

SYMBOL:	DESCRIPTION:
①	30" HEIGHT DINING ROOM TABLE TOPS TO BE FINISHED IN BLACK
②	36" HEIGHT DINING ROOM TABLE TOPS TO BE FINISHED IN BLACK
③	42" HEIGHT DINING ROOM TABLE TOPS TO BE FINISHED IN BLACK
④	30" HEIGHT DINING ROOM BOOTH TABLE TOPS TO BE FINISHED IN WHITE SILESTONE (TTI - MODEL#: ETERNAL STATUARIO)
⑤	BAR/RECEPTION COUNTER TOPS TO BE FINISHED IN BLACK MARBLE (CT2 - MODEL#: BLACK CARMANAH), COUNTER FRONTS TO BE WHITE MARBLE OR ONYX STONE (CT1)
⑥	SERVER STATIONS TO BE FINISHED IN DARK WOOD PLASTIC LAMINATE (M2 - MODEL#: ASIAN NIGHT 7949K-18)
⑦	KARAOKE TABLE TOPS TO BE FINISHED IN WHITE SILESTONE (TTI - MODEL#: ETERNAL STATUARIO)

Separate permits are required for the outdoor seating area.

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CLIENT:
RAYMOND HUYNH -
KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West
Broadway Vancouver,
BC

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CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT:
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BY-LAW NO. 3375
DP - 2020 - 00230
APPROVED SUBJECT TO CONDITIONS BY THE
DATE: APR 07 2020

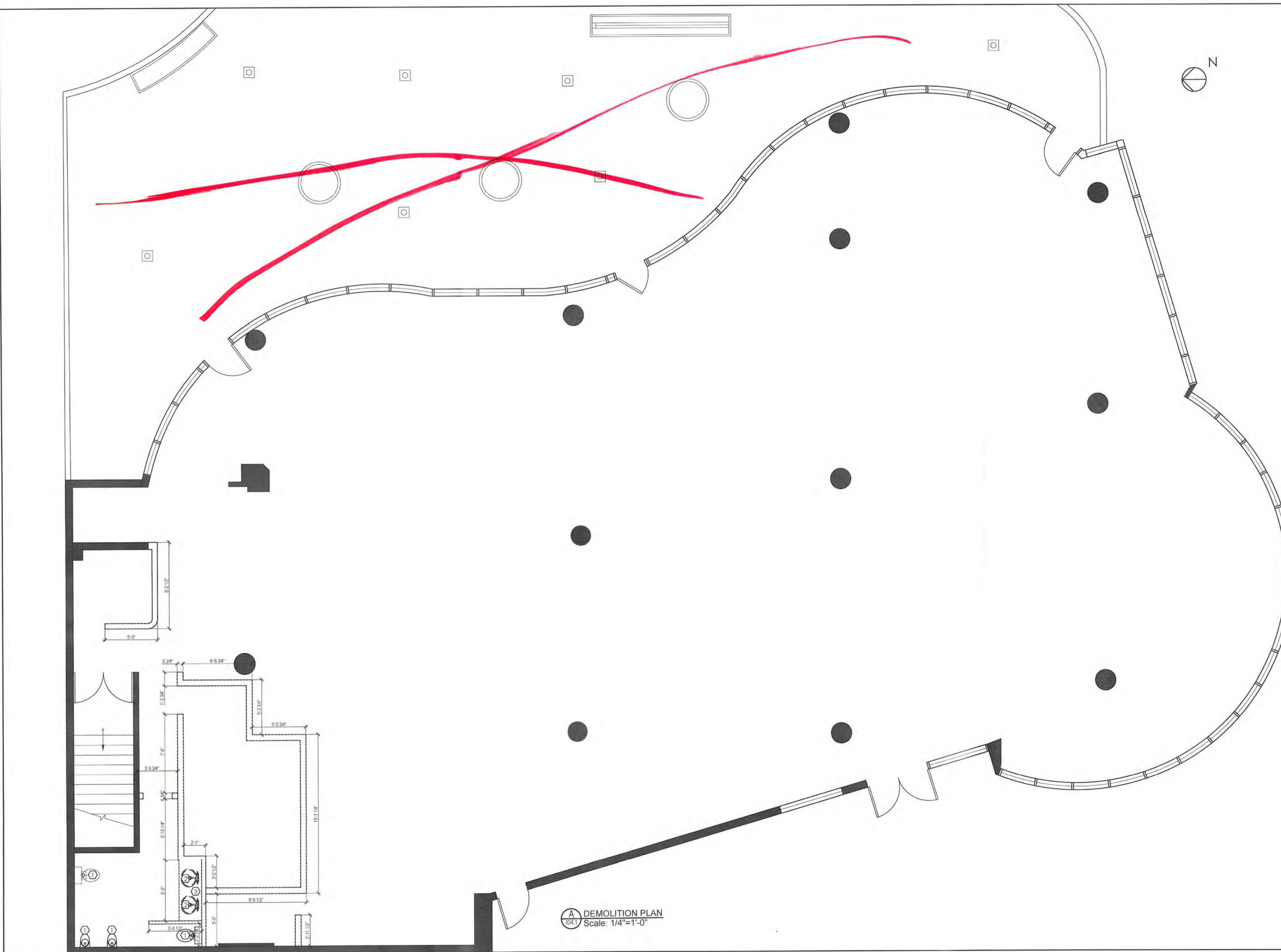
RECEIVED
CITY OF VANCOUVER
MAR 20 2020
DEVELOPMENT
BUILDINGS & LICENSING

DATE: APRIL 27 2018
SCALE: AS SHOWN
DRAWN BY: AVAN CHEN & MELISSA HAQQ
PROJECT NUMBER: 18.016
DRAWING TITLE: SPACE PLAN

DRAWING ISSUE HISTORY:

No:	Date:	Description:
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09	12.20.18	IFP
10	02.07.19	IFP

DRAWING NO. ID3.1



DEMOLITION GENERAL NOTES

1. CONFIRM THAT ALL MATERIALS, FIXTURES, FITTINGS, ETC. ARE ON SITE PRIOR TO START OF DEMOLITION.
2. PATCH AND REPAIR REMAINING SURFACES INCLUDING BASE OF WALL, WHERE DEMOLITION HAS OCCURRED AND MAKE READY TO RECEIVE NEW FINISHES.
3. DRYWALL CONTRACTOR TO PROTECT EXISTING BUILDING AND CONTENTS DURING ENTIRE CONSTRUCTION PERIOD. POLY TO BE USED WHERE REQUIRED, ELEVATOR FRAME PROTECTED, AND CARPET MATS USED AT ALL ENTRANCES TO CONSTRUCTION AREA.
4. ALL DEBRIS TO BE REMOVED FROM SITE ON A REGULAR BASIS, PREMISES TO BE KEPT CLEAN AT ALL TIMES.
5. "LUMBER WRAP" TO BE USED TO PROTECT EXISTING FLOOR FINISHES WHERE APPLICABLE, TAPE TO FLOOR TO REDUCE TRIPPING HAZARDS.
6. ENSURE CONTINUOUS SAFE PASSAGE OF BUILDING OCCUPANTS AROUND ALL AREAS OF DEMOLITION AND CONSTRUCTION.
7. REMOVE AND RE-INSTALL ANY TENANT SIGNAGE AND/OR WALL MOUNTED ACCESSORIES UNLESS OTHERWISE NOTED, COORDINATE WITH GENERAL CONTRACTOR, TENANT OR BUILDING LANDLORD.

DEMOLITION LEGEND

SYMBOL:	DESCRIPTION:
	Existing construction, glazing, millwork & miscellaneous items to be removed unless noted otherwise, patch, repair and make good as required at adjacent & affected surfaces.
	Base building walls to remain as is.
	Existing door and frame to remain.

DEMOLITION KEY NOTES

SYMBOL:	DESCRIPTION:
①	Existing toilet and urinal to be removed; Cap off plumbing, patch and make good to receive new finishes.
②	Existing sink to be removed; Cap off plumbing, patch and make good to receive new finishes.
③	Existing millwork to be removed; Patch and make good to receive new finishes.

Separate permits are required for the outdoor seating area.

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DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
 1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR TO CONSTRUCTION.

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
 DATE: 04/27/2018
 NOTE: Contractors will build as per these working drawings.

CITY OF VANCOUVER
 ZONING AND DEVELOPMENT BYLAW NO. 3275
DP - 2020 - 00230
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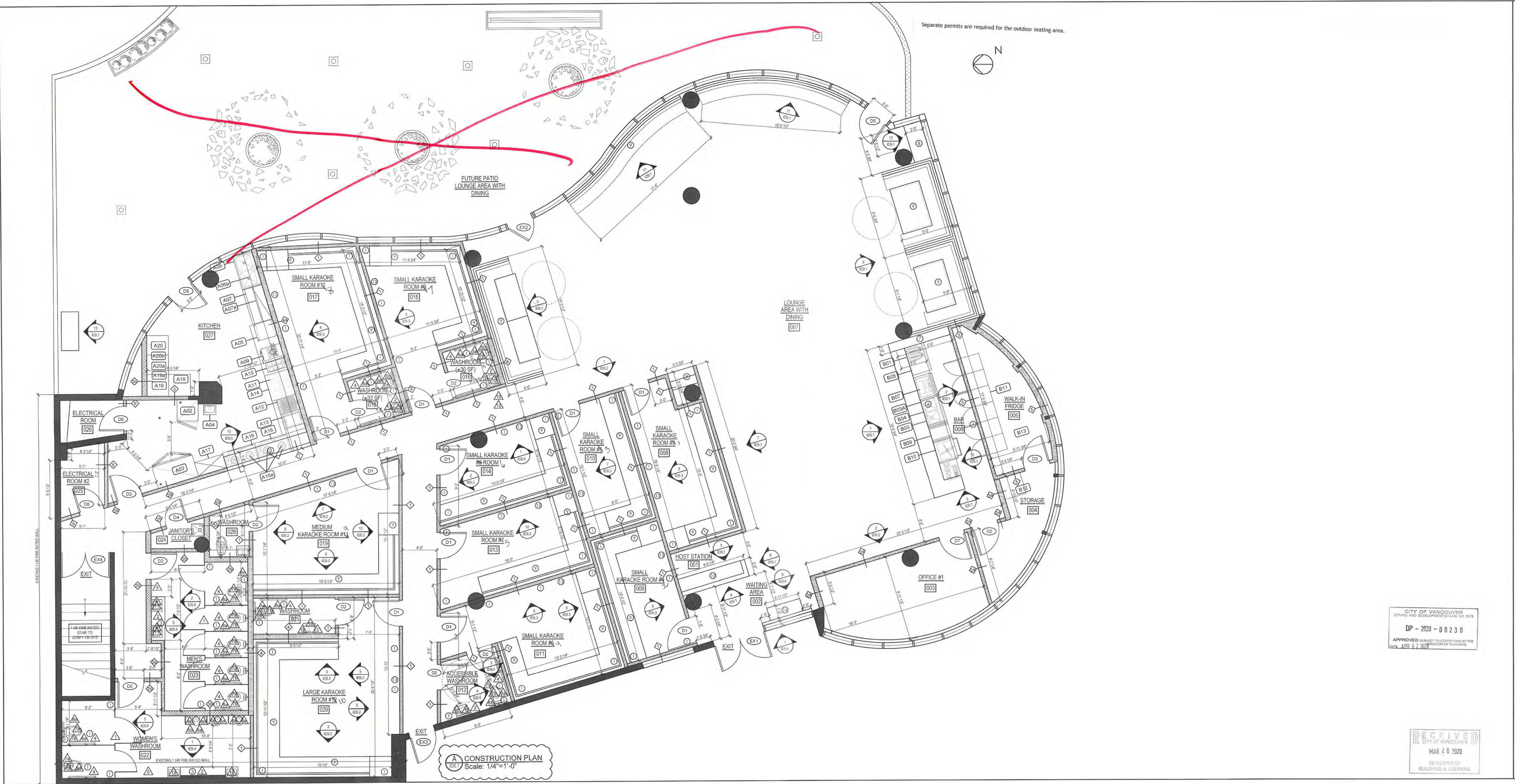
A DEMOLITION PLAN
 Scale: 1/4"=1'-0"

DATE: APRIL 27 2018
 SCALE: AS NOTED
 DRAWN BY: AVAN CHEN & MELISSA HAGG
 PROJECT NUMBER: 18.016
 DRAWING TITLE: **DEMOLITION PLAN**

DRAWING ISSUE HISTORY:

NO.	Date:	Description:
01	06.19.18	IJP
02	07.24.18	IJP
03	08.02.18	IJP
04	09.04.18	Issued for review
05	09.17.18	IJP
06	10.17.18	IJP
07	11.09.18	Issued for construction
08	12.18.18	Issued for construction
09	12.20.18	IJP
10	02.07.19	IJP

DRAWING NO. **ID4.1**



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DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
 1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR TO CONSTRUCTION.

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
 DATE: 04/27/2018
 NOTE: Contractors will build as per these working drawings.

CITY OF VANCOUVER
 ZONING AND DEVELOPMENT BYLAW NO. 2578
DP - 2020 - 00230
 APPROVED SUBJECT TO CONDITIONS BY THE
 DEPARTMENT OF PLANNING
 DATE: APR 07 2020

DATE: APR 27 2018
 SCALE: AS NOTED
 DRAWN BY: AVAN CHEN & MELISSA HAGG
 PROJECT NUMBER: 18.016
 DRAWING TITLE: **CONSTRUCTION PLAN**

DRAWING ISSUE HISTORY:

NO.	Date	Description
01	06.19.18	IFP
02	07.24.18	IFP
03	08.02.18	IFP
04	09.04.18	Issued for review
05	09.17.18	IFP
06	10.17.18	IFP
07	11.09.18	Issued for construction
08	12.18.18	Issued for construction
09	12.20.18	IFP
10	02.07.19	IFP

DRAWING NO: **ID5.1**

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CONSTRUCTION PLAN
 ID5.1
 Scale: 1/4"=1'-0"

KITCHEN PLUMBING & APPLIANCE SCHEDULE	
SYMBOL:	DESCRIPTION:
A02	UPRIGHT FREEZER W/ 2 FULL DOOR DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A03	UPRIGHT CHILLER W/ 2 FULL DOORS DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A04	JANITORIAL HAND SINK W/ LOWER MOP SINK DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A05	MULTI WORK FILLER W/ LOWER MOP SINK DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A06	DOUBLE SINK W/ W/ 2 SINKS DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A06a	WALL MOUNTED SINK DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A07	WALL MOUNTED SINK DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A07a	WALL MOUNTED SINK DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A09	WALL MOUNTED SINK DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A10	TUB FILL GAS FILTER DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A11	3/4" RANGE W/ 4 BURNERS AND STANDARD DISHWASHER DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A12	3/4" CHAMFERED DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A13	3/4" CHAMFERED DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A14	CANOPY RANGE Hood DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A16	HOT PLATE W/ 2 BURNERS DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A16a	FRESH WASHING LEADS DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A17	4 BURNER RANGE DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A18	CLEAN DISH TABLE DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A19	DOOR TYPE 1 DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A20	ENGLISH SINK DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A20a	COSMETIC SPRAY NOZZLE TRAY DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN
A20b	WORK BAR DESCRIPTION: KITCHEN MANUFACTURER: KITCHEN MODEL: KITCHEN COLOUR: KITCHEN LOCATION: KITCHEN

BAR PLUMBING & APPLIANCE SCHEDULE	
SYMBOL:	DESCRIPTION:
B01	WALL MOUNTED SINK DESCRIPTION: BAR MANUFACTURER: BAR MODEL: BAR COLOUR: BAR LOCATION: BAR
B03	DOUBLE SINK DESCRIPTION: BAR MANUFACTURER: BAR MODEL: BAR COLOUR: BAR LOCATION: BAR
B03a	DOUBLE SINK DESCRIPTION: BAR MANUFACTURER: BAR MODEL: BAR COLOUR: BAR LOCATION: BAR
B04	FLOUR BRUSH DRAWER DESCRIPTION: BAR MANUFACTURER: BAR MODEL: BAR COLOUR: BAR LOCATION: BAR
B05	SINK DESCRIPTION: BAR MANUFACTURER: BAR MODEL: BAR COLOUR: BAR LOCATION: BAR
B07	COFFEE STATION DESCRIPTION: BAR MANUFACTURER: BAR MODEL: BAR COLOUR: BAR LOCATION: BAR
B09	CUSTOM W/ 2 BURNERS AND 2 BURNER DESCRIPTION: BAR MANUFACTURER: BAR MODEL: BAR COLOUR: BAR LOCATION: BAR
B10	WALL MOUNTED SINK DESCRIPTION: BAR MANUFACTURER: BAR MODEL: BAR COLOUR: BAR LOCATION: BAR
B11	CUSTOM W/ 2 BURNERS AND 2 BURNER DESCRIPTION: BAR MANUFACTURER: BAR MODEL: BAR COLOUR: BAR LOCATION: BAR
B12	WALL MOUNTED SINK DESCRIPTION: BAR MANUFACTURER: BAR MODEL: BAR COLOUR: BAR LOCATION: BAR
B13	WALL MOUNTED SINK DESCRIPTION: BAR MANUFACTURER: BAR MODEL: BAR COLOUR: BAR LOCATION: BAR

PARTITION LEGEND		
Type:	Symbol:	Description:
Existing Drywall	[Symbol]	BASE BUILDING WALLS TO REMAIN AS IS.
New Drywall Partition to u/s of Slab Ceiling; Wall Height To Be Determined On Site	[Symbol]	New interior drywall partition to u/s of existing slab ceiling. 3-5/8" Steel studs @ 16" O.C., 5/8" GWB on one or both sides, R12 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. With Roxul acoustic fire batt insulation. All the electrical outlets to be sealed. Ready for new finish. See #B&C/D9.5 elevation for details.
New Drywall Partition to u/s of Slab Ceiling; Wall Height To Be Determined On Site	[Symbol]	New interior drywall partition to u/s of Slab Ceiling. 3-5/8" Steel studs @ 16" O.C., 5/8" GWB on both sides, R12 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. Ready for new finish. See #B&C/D9.5 elevation for details.
New Drywall Partition to u/s of new drywall or T-bar ceiling; Wall Height To Be Determined On Site	[Symbol]	New interior drywall partition to u/s of new drywall or T-bar ceiling. 3-5/8" Steel studs @ 16" O.C., 5/8" GWB on both sides, R12 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. Ready for new finish. See #B&C/D9.5 elevation for details.
New Drywall Partition to u/s of Slab Ceiling; Wall Height To Be Determined On Site	[Symbol]	New interior drywall partition to u/s of Slab Ceiling. 5" Steel studs @ 16" O.C., 5/8" GWB on both sides, R12 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. Ready for new finish.
New Drywall Partition to u/s of new drywall or T-bar ceiling; Wall Height To Be Determined On Site	[Symbol]	New interior drywall partition to u/s of new drywall or T-bar ceiling. 5" Steel studs @ 16" O.C., 5/8" GWB on both sides, R12 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. Ready for new finish.
New Drywall Partition to u/s of Slab Ceiling; Wall Height To Be Determined On Site	[Symbol]	New interior drywall partition to u/s of existing slab ceiling. 5" Steel studs @ 16" O.C., 5/8" GWB on both sides, R12 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. With Roxul acoustic fire batt insulation. All the electrical outlets to be sealed. Ready for new finish.
New Drywall Partition to u/s of Slab Ceiling; Wall Height To Be Determined On Site	[Symbol]	New interior partition for walk-in fridge to be determined.
New Drywall Partition to u/s of New drywall or T-bar ceiling; Wall Height To Be Determined On Site; 1H FR.	[Symbol]	New interior drywall partition to u/s of new drywall or T-bar ceiling. 3-5/8" Steel studs @ 16" O.C., 5/8" GWB on both sides, R12 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. 1H FR. Ready for new finish. See #B&C/D9.5 elevation for details; ULC W415
New 40-1/2" H Pony Wall & New 48" H Bulkhead Ceiling Above (31-1/2" Opening Height)	[Symbol]	New 40-1/2" H Pony Wall & New 48" H Bulkhead Ceiling Above. 3-5/8" Steel studs @ 16" O.C., 5/8" GWB on both sides, R12 Batt. Friction fit insulation throughout. Taped, Filled & Sanded Each side. See #15/D9.5 Section for details

DOOR SCHEDULE		
Symbol:	Elevation:	Description:
EX1	[Symbol]	Existing Double Glass Door to remain. • Paint Grade • Door Size: 6'-0"W x 7'-0"H • Existing door handle hardware to remain. • Self closing door hardware.
EX2	[Symbol]	Existing Glass Door to remain. • Door Size: 3'-0" x 7'-0" • Existing door handle hardware to remain.
EX3	[Symbol]	Existing Door to remain. • Door Size: 3'-0" x 7'-0" • Existing door handle hardware to remain. • Self closing door hardware.
EX4	[Symbol]	Existing Door to remain. • Door Size: 5'-4" x 7'-0" • Existing door handle hardware to remain. • Self closing door hardware. • Fire Rating: 45 min
D1	[Symbol]	New Interior Glass Door with 2'-0" X 6'-0" Glass recess (10mm tempered glass) • Paint grade prehung solid core door. • Door Size: 2'-10" Width; 8'-0" Height. • Schlage or series jupiter passage set 626; See hardware schedule (H1).
D2	[Symbol]	New Interior Door • Paint grade prehung solid core door. • Door Size: 3'-0" Width; 8'-0" Height. • Schlage or series jupiter passage set 626; See hardware schedule (H1).
D3	[Symbol]	Walk-in fridge Door to be determined. • Door Size: 3'-0" x 8'-0"
D4	[Symbol]	New Interior Door • PAINT GRADE • DOOR SIZE: 3'-0" W X 8'-0" H • SELF-CLOSING • Fire Rating: 45 min
D5	[Symbol]	New Exterior Glass Door to match Existing Exterior Glass Door "EX2" (10mm double glazed tempered glass) • Door Size: 3'-0" x 7'-0" • Door handle hardware to match existing exterior glass door hardware.
D6	[Symbol]	New Interior Door • Paint grade prehung solid core door. • Door Size: 3'-0" Width; 8'-0" Height. • Schlage or series jupiter passage set 626; See hardware schedule (H1). • Fire Rating: 45 min
D7	[Symbol]	New Interior Door • Paint grade prehung solid core door. • Door Size: 2'-10" Width; 8'-0" Height. • Schlage or series jupiter passage set 626; See hardware schedule (H1).

BASE BUILDING SLAB HEIGHT: 114'-80" A.F.F. (SITE VERTY)
** Refer to elevation and detail drawings for millwork pieces listed below in design drawing package for design intent. Millworker to submit shop drawings for design to review and to approve prior to actual fabrication. Drywall contractor to provide backing as required to suit millwork installation.

CONSTRUCTION GENERAL NOTES	
1.	RESTAURANT AS CLASS 2 RESTAURANT FOR PART 11 UPGRADE.
2.	ALL FLOOR SLAB PENETRATIONS MUST BE FIRE CAULKED.
3.	PATIO UNDER OCCUPANT LOAD AS FUTURE.
4.	DRYWALL CONTRACTOR TO PROTECT EXISTING BUILDING AND CONTENTS DURING ENTIRE CONSTRUCTION PERIOD. POLY TO BE USED WHERE REQUIRED AND CARPET MATS USED AT ALL ENTRANCES TO CONSTRUCTION AREA.
5.	JOB SITE TO BE MAINTAINED IN A NEAT AND TIDY CONDITION AT ALL TIMES "LUMBER WALK" TO BE USED TO PROTECT EXISTING FLOOR FINISHES WHERE APPLICABLE. TAPE TO FLOOR TO REDUCE TRIPPING HAZARDS.
6.	ELECTRICAL ROOM EQUIPMENT WILL BE PROVIDED BY THE CLIENT.
7.	ALL KARAOKE ROOM OUTLET BOX TO BE INSTALLED WITH QUIETPUTTY - MOLDABLE SOUND DAMPING PUTTY ON SOUND PROOF DRYWALL CERTAINTED 1/2 IN X 4-FT X 8-FT SILENTX DRYWALL.

CONSTRUCTION KEY NOTES	
SYMBOL:	DESCRIPTION:
1	3/4" plywood backing to be installed behind drywall for wall mounted TV, speaker, grab bar, washroom partition panel, washroom wall mounted sink, wall mounted speaker and millwork if needed.
2	New kitchen pass through counter millwork. See ID9.5 elevation for details.
3	New washroom countertop. See ID9.2 elevation for details.
4	The existing wall of north exit stair enclosure to verify a min 1H FFR with ULC or Appendix D.
5	To be provided with graspable pull on the outside at least 140 mm long near the latch side of the door.
6	New bar counter and millwork. See ID9.1 elevation for details.
7	New glass wine shelf. See ID9.1 elevation for details.
8	New server station See ID9.1 elevation for details.
9	New custom seating and table millwork provided by client.
10	New host station counter millwork provided by client.
11	Spare.
12	Spare.
13	3" pipe for TV and karaoke machine cable access. see the elevation drawing for exact height and location.
14	New waiting area and entrance millwork.

HARDWARE SCHEDULE	
SYMBOL:	DESCRIPTION:
H1	SCHLAGE AL SERIES JUPITER PASSAGE SET OR 613 DESCRIPTION: SCHLAGE AL SERIES JUPITER PASSAGE SET OR 613 MANUFACTURER: SCHLAGE MODEL: AL SERIES JUPITER COLOUR: SATIN CHROME BRASS LOCATION: SEE

GENERAL PLUMBING & APPLIANCE SCHEDULE			
SYMBOL:	DESCRIPTION:	SYMBOL:	DESCRIPTION:
A1	SOUND ABATED PARTITION DESCRIPTION: SOUND ABATED PARTITION MANUFACTURER: CAMDEN WASHROOM MODEL: REFR TO ELEVATION COLOUR: BLACK LOCATION: WASHROOM	A2	TOILET FRESH VALVE DESCRIPTION: TOILET FRESH VALVE MANUFACTURER: BETA MODEL: BETA COLOUR: ALL WASHROOMS LOCATION: ALL WASHROOMS
A3	JOHN DEPRENDR DESCRIPTION: JOHN DEPRENDR MANUFACTURER: BETA MODEL: BETA COLOUR: WASHROOM	A4	3/4" X 4" ALUMINUM BAR DESCRIPTION: 3/4" X 4" ALUMINUM BAR MANUFACTURER: GIBCO MODEL: GIBCO COLOUR: STAINLESS STEEL LOCATION: ALL WASHROOM STALL AND WASHROOM
A5	PAPER DEPRENDR DISPOSAL DESCRIPTION: PAPER DEPRENDR DISPOSAL MANUFACTURER: GIBCO MODEL: GIBCO COLOUR: WASHROOM	A6	2" DIA BAR DESCRIPTION: 2" DIA BAR MANUFACTURER: GIBCO MODEL: GIBCO COLOUR: STAINLESS STEEL LOCATION: ALL WASHROOM STALL AND WASHROOM
A7	TOILET TRIPLE DISPENSER DESCRIPTION: TOILET TRIPLE DISPENSER MANUFACTURER: GIBCO MODEL: GIBCO COLOUR: STAINLESS STEEL LOCATION: WASHROOM	A8	TWO HANDE VALVE DESCRIPTION: TWO HANDE VALVE MANUFACTURER: GIBCO MODEL: GIBCO COLOUR: STAINLESS STEEL LOCATION: WASHROOM
A9	WALL MOUNTED SINK DESCRIPTION: WALL MOUNTED SINK MANUFACTURER: GIBCO MODEL: GIBCO COLOUR: WASHROOM	A10	REFRESH SINK FAUCET DESCRIPTION: REFRESH SINK FAUCET MANUFACTURER: GIBCO MODEL: GIBCO COLOUR: WASHROOM
A11	WALL MOUNTED SINK DESCRIPTION: WALL MOUNTED SINK MANUFACTURER: GIBCO MODEL: GIBCO COLOUR: WASHROOM	A12	UNDERCOUNTER SINK DESCRIPTION: UNDERCOUNTER SINK MANUFACTURER: GIBCO MODEL: GIBCO COLOUR: WASHROOM
A13	WALL MOUNTED SINK DESCRIPTION: WALL MOUNTED SINK MANUFACTURER: GIBCO MODEL: GIBCO COLOUR: WASHROOM	A14	REFRESH SINK BASIN DESCRIPTION: REFRESH SINK BASIN MANUFACTURER: GIBCO MODEL: GIBCO COLOUR: WASHROOM
A15	WALL MOUNTED SINK DESCRIPTION: WALL MOUNTED SINK MANUFACTURER: GIBCO MODEL: GIBCO COLOUR: WASHROOM	A16	WALL MOUNTED SINK DESCRIPTION: WALL MOUNTED SINK MANUFACTURER: GIBCO MODEL: GIBCO COLOUR: WASHROOM

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DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR TO CONSTRUCTION.

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

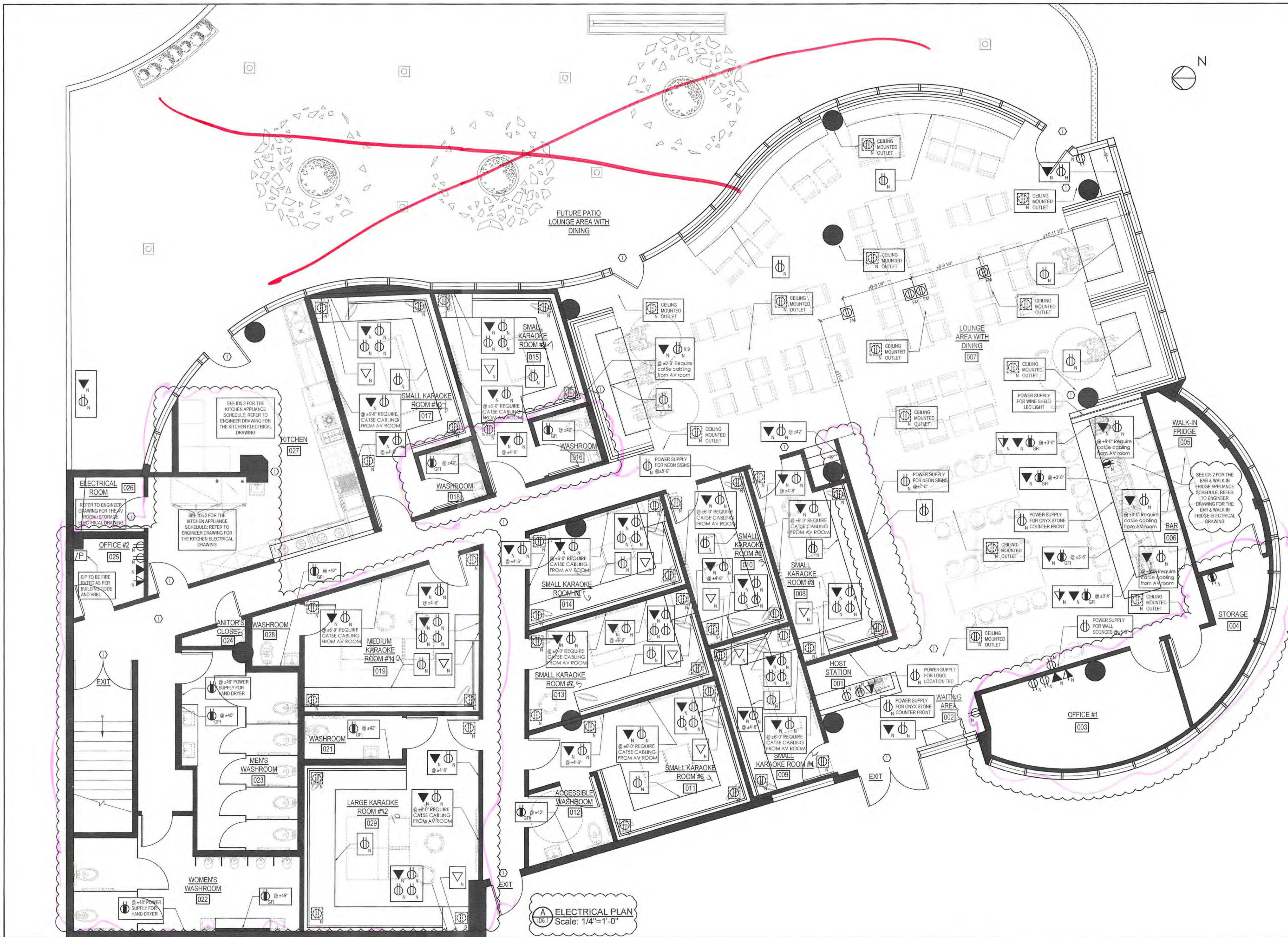
DATE: APR. 27 2018
SCALE: AS NOTED
DRAWN BY: AYAN CHEN & MELISSA HAQQ
PROJECT NUMBER: 18.014
DRAWING TITLE: CONSTRUCTION PLAN NOTES

DRAWING ISSUE HISTORY:		
No:	Date:	Description:
01	05.19.18	IFP
02	07.24.18	IFP
03	08.02.18	IFP
04	09.04.18	Issued for review
05	09.17.18	IFP
06	10.17.18	IFP
07	11.09.18	Issued for construction
08	12.18.18	Issued for construction
09	12.20.18	IFP
10	02.07.19	IFP

DRAWING NO.: **ID5.2**

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BYLAW NO. 5559
DP - 2020 - 0 0 2 3 0
APPROVED SUBJECT TO DEPARTMENT OF PLANNING
DATE: APR. 0 2 2020

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ELECTRICAL GENERAL NOTES

1. ELECTRICAL DRAWINGS IS FOR DESIGN INTENT ONLY. REFER TO ENGINEER ELECTRICAL PLAN FOR THE EXACT ELECTRICAL DRAWINGS.
2. ALL WALL MOUNTED OUTLETS @ 12" A.F.F. UNLESS NOTED OUTLETS SHOWN ON DRAWINGS ARE DEDICATED TO SPECIFIC LOCATIONS. SUB-CONTRACTOR SHALL CONFORM TO THE CURRENT BC BUILDING CODE FOR OTHER ELECTRICAL REQUIREMENT.
3. ALL EXISTING OUTLETS TO REMAIN, UNLESS OTHERWISE NOTED.
4. CONTRACTOR IS TO REVIEW DRAWINGS & SITE CONDITIONS. REPORT DISCREPANCIES OR CONFLICTS TO DESIGNER PRIOR TO STARTING WORK.
5. EXPOSED WIRING AND DATA TO BE IN CONDUIT, DISCREETLY PLACED TO DESIGNER REVIEW AND APPROVAL.
6. DATA OUTLETS AND WIRING TO MATCH EXISTING SYSTEM. PROVIDE PATCH CABLES TO SERVER AREA.
7. ALL OUTLETS AND RECEPTACLES ARE TO BE MOUNTED VERTICALLY AT STANDARD HEIGHT, UNLESS OTHERWISE NOTED.
8. ALL NEW OUTLETS AND SWITCHES ON WALLS TO MATCH EXISTING.
9. ELECTRICAL CONTRACTOR IS TO LOCATE EMERGENCY LIGHTING AND OTHER ELECTRICAL AS REQUIRED TO SUIT. EMERGENCY LIGHT IS TO BE CENTERED IN HALLWAY.
10. SEE THE KARAOKE ROOM ELEVATION FOR SPEAKER WIRE LOCATION.

ELECTRICAL LEGEND

SYMBOL:	DESCRIPTION:
	Duplex Receptacle.
	GFI Duplex Receptacle on Separate Circuit.
	20Amp, Separate Circuit Duplex Receptacle.
	Telephone / Data outlet.
	LAN Sockets for Data outlet with CAT5e Cabling.
	Analog Telephone outlet.
	Ceiling Mounted Duplex Receptacle.
	Floor Mounted Duplex Receptacle: Brass floor box with cover

Notes: • All existing and new communication to be relabelled and verified.

NETWORK ROOM LEGEND

SYMBOL:	DESCRIPTION:
	Existing electrical panel to remain.

Notes: • All Network room equipment exact location to be determined on site by electrical contractor.

ELECTRICAL KEY NOTES

SYMBOL:	DESCRIPTION:
	Locate emergency lighting and other electrical as required to suit. Emergency light to be on center of existing hallway.

* E - Denote Existing to Remain. * RE - Denote Relocated.
 * N - Denote New. * R - Denote Removed.
 * CH - Denote New at 45" AFF, Counter Height

Separate permits are required for the outdoor seating area.

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 www.concretecashmere.com

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DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
**#200-1001 West
 Broadway Vancouver,
 BC**

NOTES:
 1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR TO CONSTRUCTION.

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
 DATE: 04/27/2018
 NOTE: Contractors will build as per these working drawings.

CITY OF VANCOUVER
 ZONING AND DEVELOPMENT BY-LAW NO. 2573
 DP - 2020 - 0230
 APPROVED SUBJECT TO CONDITIONS BY THE
 DEPT. OF PLANNING
 APR. 02 2020

RECEIVED
 CITY OF VANCOUVER
 MAR 20 2020
 DEVELOPMENT
 BUILDINGS & LICENSING

DATE: APRIL 27 2018
 SCALE: AS SHOWN
 DRAWN BY: AYAN CHEN & MELISSA HAQIQ
 PROJECT NUMBER: 18.016
 DRAWING TITLE:
ELECTRICAL PLAN

DRAWING ISSUE HISTORY:

No.	Date	Description
01	06.19.18	IFP
02	07.24.18	IFP
03	08.02.18	IFP
04	09.04.18	Issued for review
05	09.17.18	IFP
06	10.17.18	IFP
07	11.09.18	Issued for construction
08	12.18.18	Issued for construction
09	12.20.18	IFP
10	02.07.19	IFP

DRAWING NO. **ID6.1**



A REFLECTED CEILING PLAN
Scale: 1/4"=1'-0"

CEILING & LIGHTING NOTES

1. REFLECTED CEILING PLAN REFER TO ELECTRICAL ENGINEER DRAWINGS AND FIRE PROTECTION DRAWINGS.
2. ALL AIR SUPPLY & AIR RETURN TO REMAIN OR RELOCATED TO MEET BUILDING CODE. CONTRACTORS TO VERIFY LOCATION ON SITE.
3. CONTRACTOR TO CONFIRM SITE CONDITIONS PRIOR ANY CONSTRUCTION AND ADVISE DESIGNER OF ANY DISCREPANCIES.
4. ALL LIGHTING IS TO BE WIRED AS PER ASHREA REQUIREMENTS IN ORDER TO MEET CODE.
5. EXIT SIGNS MUST BE <SW AS PER ASHREA REQUIREMENTS.
6. ADD OR REVISE EMERGENCY LIGHTS AND EXIT SIGNS TO SUIT RENOVATIONS AND TO MEET CODE REQUIREMENTS.
7. OCCUPANCY SENSOR SWITCH TO MEET CITY OF SURREY REQUIREMENTS.
8. MECHANICAL CONTRACTOR TO VERIFY AIR BALANCE AS PER LOCAL BY LAW AND CODES THROUGHOUT WHOLE SPACE.

REFLECTED CEILING LEGEND

Symbol:	Description:
	New drywall ceiling; Ceiling height: 10'-0" • Finishes: New paint - P14
	New drywall ceiling; Ceiling height: 12'-0" • Finishes: New paint - P14
	Open ceiling; Ceiling height: 14'-8" • Finishes: New paint - P14
	New T-Bar ceiling; Ceiling height: 10'-0" • New Zx4 Ceiling tile.
	New walk-in fridge drywall ceiling; Ceiling height: 8'-0" • Finishes: New paint - P14
	5' recessed lighting fixture with dimmable led.
	New suspended dimmable track lighting fixture; Total track lighting length: 135 ft
	New 2 X 4 fluorescent lighting fixture.
	Etc pendant lamp dia 40 cm Color: gold Model#: PL077-40
	Hand-beaten brass pendant lamp premium Color: black shell + gold inside Model#: PL006-1
	Existing air supply; New paint finishes.
	Existing air return; New paint finishes.
	New Thermostat.
	New Sprinkler - as required by code and layout.
	New Motion occupancy sensor light switch. • Manufacturer: Lutron • Color: White
	New dimmable lighting switch. • Manufacturer: Lutron • Color: White
	New dimmable Leviton decora Master lighting switch. • Manufacturer: Leviton • Color: White

* E - Denote Existing to Remain. * RE - Denote Relocated.
* N - Denote New. * R - Denote Removed.

REFLECTED CEILING NOTES

SYMBOL:	DESCRIPTION:
	HAVC contractor to verify if AC is needed.

Separate permits are required for the outdoor seating area.

CITY OF VANCOUVER
ZONING AND DEVELOPMENT PLAN NO. 3575
DP - 2020 - 00230
APPROVED SUBJECT TO CORRECTIVE BY THE
CITY OF VANCOUVER
APR 2 2020

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DEVELOPMENT
BUILDINGS & LICENSING

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DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR TO CONSTRUCTION.

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE: APRIL 27 2018
SCALE: AS NOTED
DRAWN BY: AVAH CHEN & MELISSA HAGG
PROJECT NUMBER: 18016

REFLECTED CEILING PLAN

DRAWING ISSUE HISTORY:

No.	Date	Description
01	06-19-18	IFP
02	07-24-18	IFP
03	08-02-18	IFP
04	09-04-18	Issued for review
05	09-17-18	IFP
06	10-17-18	IFP
07	11-09-18	Issued for construction
08	12-18-18	Issued for construction
09	12-20-18	IFP
10	02-07-19	IFP

DRAWING NO. **ID7.1**



A FINISHES PLAN
Scale: 1/4" = 1'-0"

MATERIAL QUANTITY CALCULATION NOTES

T1	DESCRIPTION: NEW TILE WALL MANUFACTURER: GUANGDONG JINBAI CERAMICS COLOUR: SEATTLE - 60228 - 24" x 24" LOCATION: SMALL KARAOKE ROOMS QUANTITY: 1528 SQ/FT + WASTE = 1710 SQ/FT
T2	DESCRIPTION: NEW TILE WALL MANUFACTURER: GUANGDONG JINBAI CERAMICS COLOUR: SANDSTONE - 12P133 - 24" x 48" LOCATION: LARGE KARAOKE ROOMS QUANTITY: 1480 SQ/FT + WASTE = 1548 SQ/FT
T3	DESCRIPTION: NEW TILE WALL MANUFACTURER: GUANGDONG JINBAI CERAMICS MODEL: J67P9204 - 600mm x 600mm LOCATION: WASHROOM QUANTITY: 1954 SQ/FT + WASTE = 2110 SQ/FT
T4	DESCRIPTION: NEW ACCENT TILE WALL STONE TILE MANUFACTURER: ARVEX GLASS HERRINGBONE COLOUR: WASHROOM MODEL: 40 SQ/FT + WASTE = 45 SQ/FT
T5	DESCRIPTION: NEW TILE WALL PROVIDED BY THE CLIENT DRINK AREA LOCATION: 140 SQ/FT + WASTE = 154 SQ/FT

FINISHES GENERAL NOTES

- SUBMIT DRAW-DOWNS OF ALL PAINT FINISHES FOR APPROVAL.
- EXISTING FLOOR AND WALLS TO MAKE GOOD AFTER DEMOLITION.
- ALL OPEN AND DRYWALL CEILING TO BE FINISH IN PT4 UNLESS OTHERWISE NOTED.
- RUBBER BASE TO BE INSTALLED THROUGH OUT ALL THE SPACE EXCEPT TILE WALLS.

FINISHES KEY NOTES

EX	EXISTING FLOORING TO REMAIN.
F1	MECHANICAL POLISH SEMI GLOSS CONCRETE FLOORS.
CT1	DESCRIPTION: NEW ONYX STONE COUNTER TOP LOCATION: HOST STATION AND BAR
CT2	DESCRIPTION: NEW BLACK MARBLE COUNTER TOP MANUFACTURER: MARGRANTE MODEL: BLACK CARMANAH LOCATION: HOST STATION AND BAR
TT1	DESCRIPTION: NEW SLEDSHOE TABLE TOP MANUFACTURER: ETERNAL STAMANO MODEL: DINING AREA AND KARAOKE ROOM TABLE TOPS & WASHROOM COUNTERTOP
T1	DESCRIPTION: NEW TILE WALL MANUFACTURER: GUANGDONG JINBAI CERAMICS MODEL: SEATTLE - 60228 - 24" x 24" LOCATION: SMALL KARAOKE ROOMS
T2	DESCRIPTION: NEW TILE WALL MANUFACTURER: GUANGDONG JINBAI CERAMICS MODEL: SANDSTONE - 12P133 - 24" x 48" LOCATION: LARGE KARAOKE ROOMS
T3	DESCRIPTION: NEW TILE WALL MANUFACTURER: GUANGDONG JINBAI CERAMICS MODEL: J67P9204 - 600mm x 600mm LOCATION: WASHROOM
T4	DESCRIPTION: NEW ACCENT TILE WALL STONE TILE MANUFACTURER: ARVEX GLASS HERRINGBONE LOCATION: WASHROOM
T5	DESCRIPTION: NEW TILE WALL PROVIDED BY THE CLIENT LOCATION: DRINK AREA
B1	DESCRIPTION: RUBBER BASEBOARD MANUFACTURER: JENKINS MODEL: 20 CHARCOAL W/SG LOCATION: THROUGHOUT ALL SPACE
PT1	NEW GENERAL WALL PAINT MANUFACTURER: BENJAMIN MOORE MODEL: A1-T02 LOCATION: THROUGHOUT ALL SPACE UNLESS OTHERWISE NOTED.
PT2	NEW GENERAL TRIM AND INTERIOR DOOR PAINT MANUFACTURER: BENJAMIN MOORE MODEL: HC-166 LOCATION: ALL DOOR AND DOOR CASHO.
PT3	NEW WALL PAINT MANUFACTURER: BENJAMIN MOORE MODEL: CC-142 LOCATION: SMALL KARAOKE ROOMS.
PT4	NEW CEILING PAINT MANUFACTURER: BENJAMIN MOORE MODEL: 2130-10 LOCATION: ALL OPEN CEILING AND DRYWALL CEILING.
FR1	FIBERGLASS REINFORCED PANELS GRAY 408 MANUFACTURER: DEXCEL MODEL: MFC1204-48000900 LOCATION: KITCHEN

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DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR TO CONSTRUCTION.

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

Separate permits are required for the outdoor seating area.

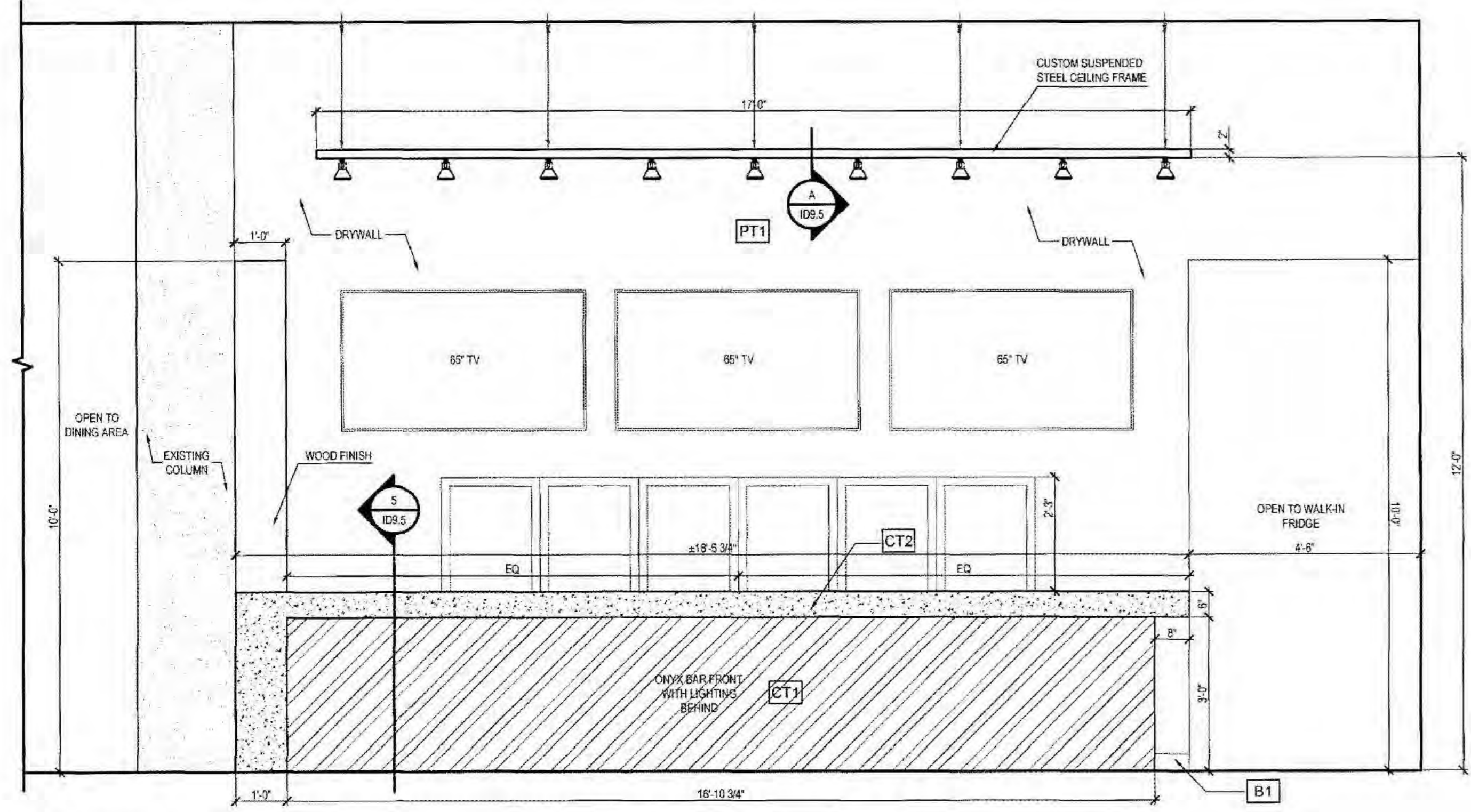
CITY OF VANCOUVER
ZONING AND DEVELOPMENT BY-LAW NO. 3375
DP - 2020 - 00230
APPROVED SUBJECT TO CONDITIONS BY THE
DATE: APR 27 2020

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DEVELOPMENT BUILDINGS & LICENSING

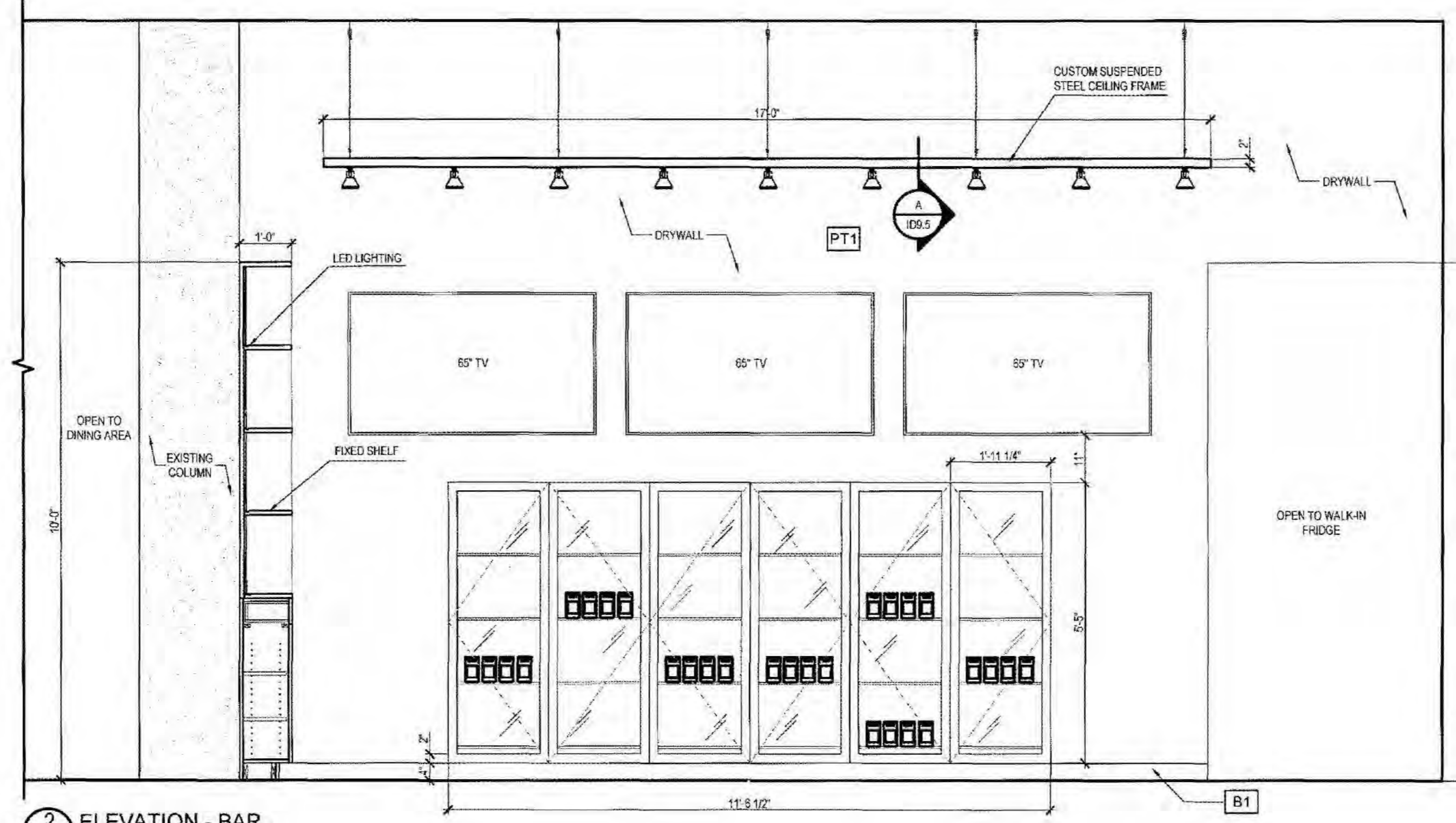
DATE: APRIL 27 2018
SCALE: AS NOTED
DRAWN BY: AVAN CHEN & MELISSA HAGG
PROJECT NUMBER: 18.016
DRAWING TITLE: FINISHES PLAN

NO.	Date	Description
01	06.19.18	IFP
02	07.24.18	IFP
03	08.02.18	IFP
04	09.04.18	Issued for review
05	09.17.18	IFP
06	10.17.18	IFP
07	11.09.18	Issued for construction
08	12.18.18	Issued for construction
09	12.20.18	IFP
10	02.07.19	IFP

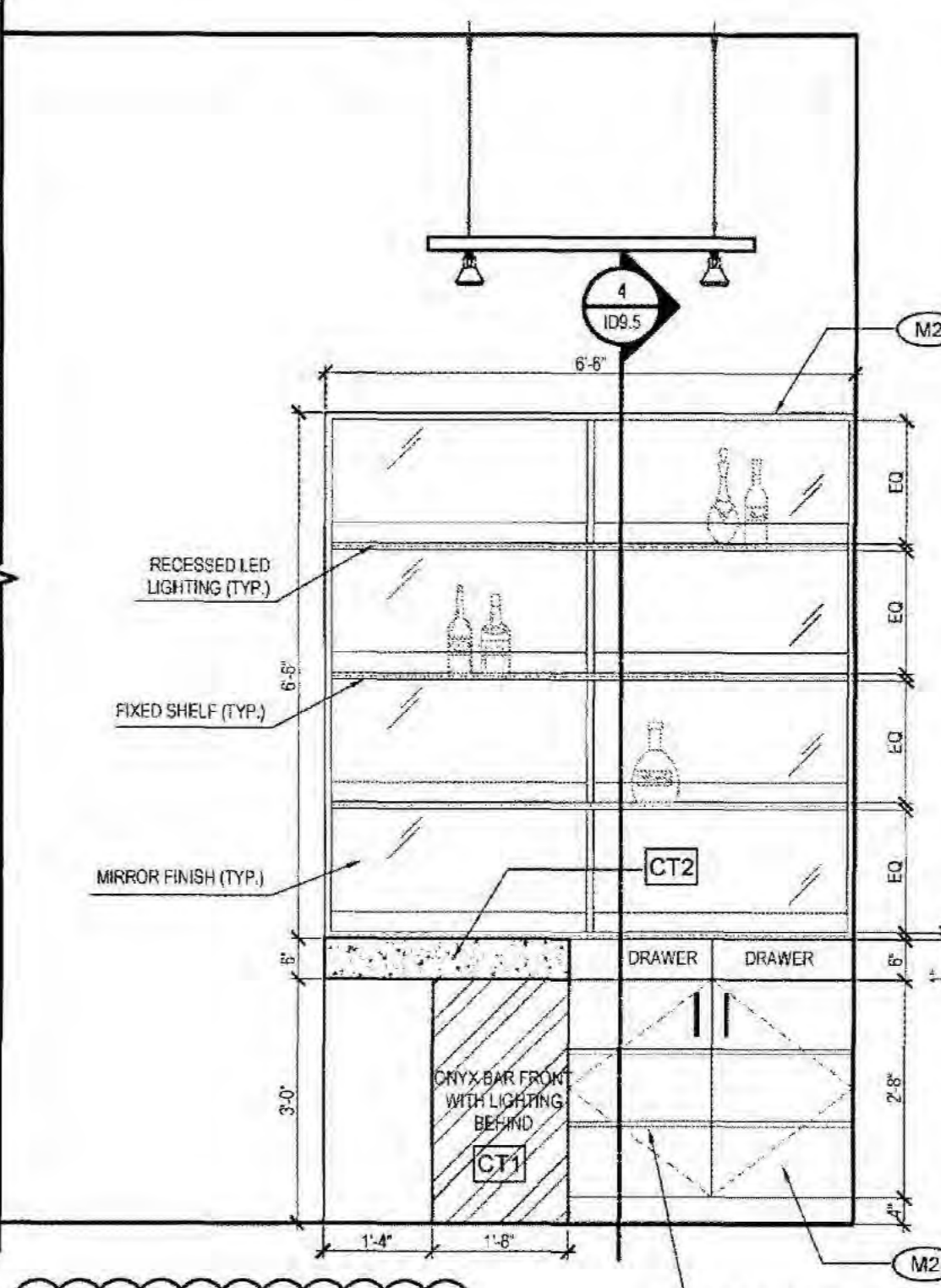
DRAWING NO: **ID8.1**



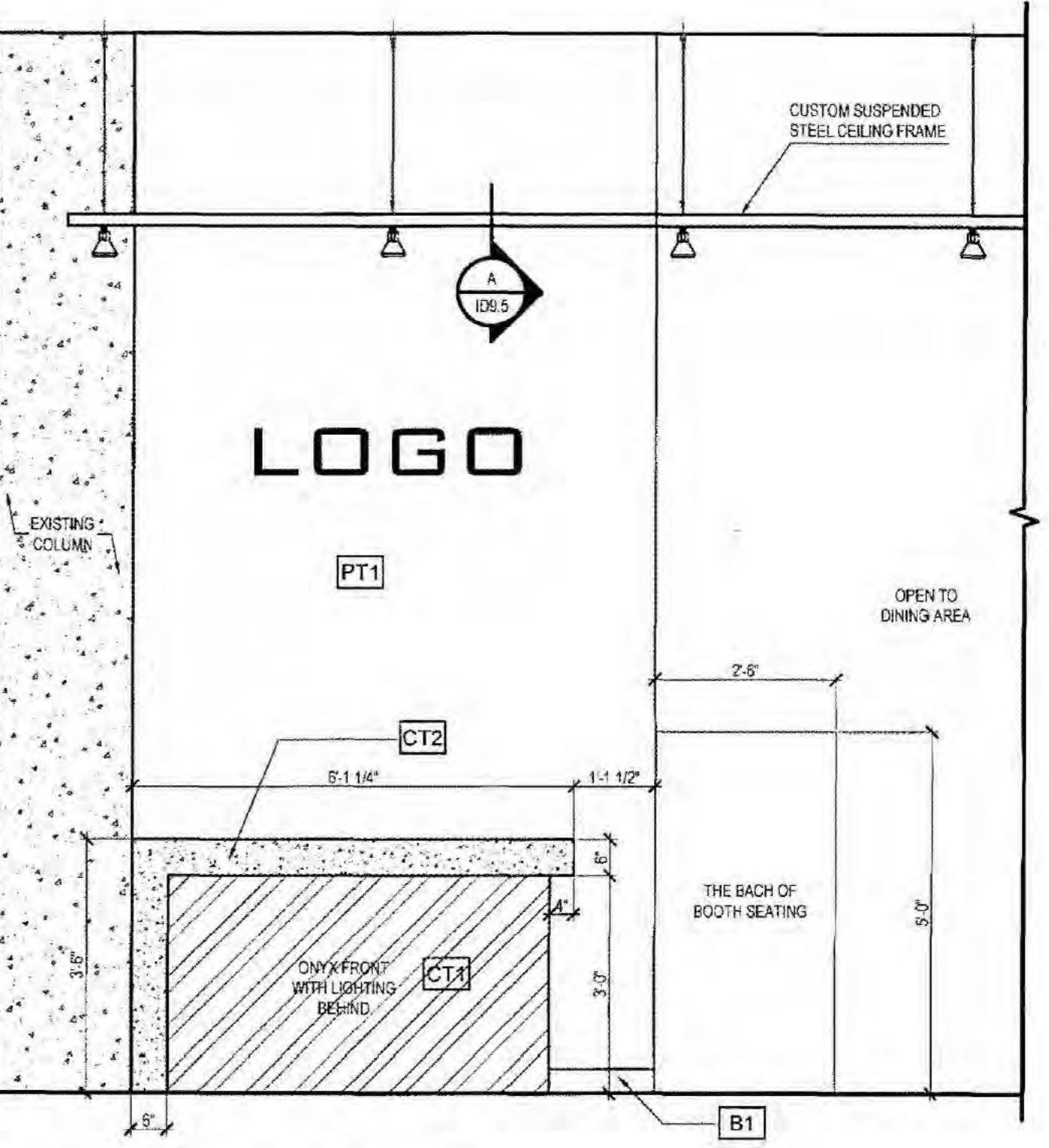
1 ELEVATION - BAR
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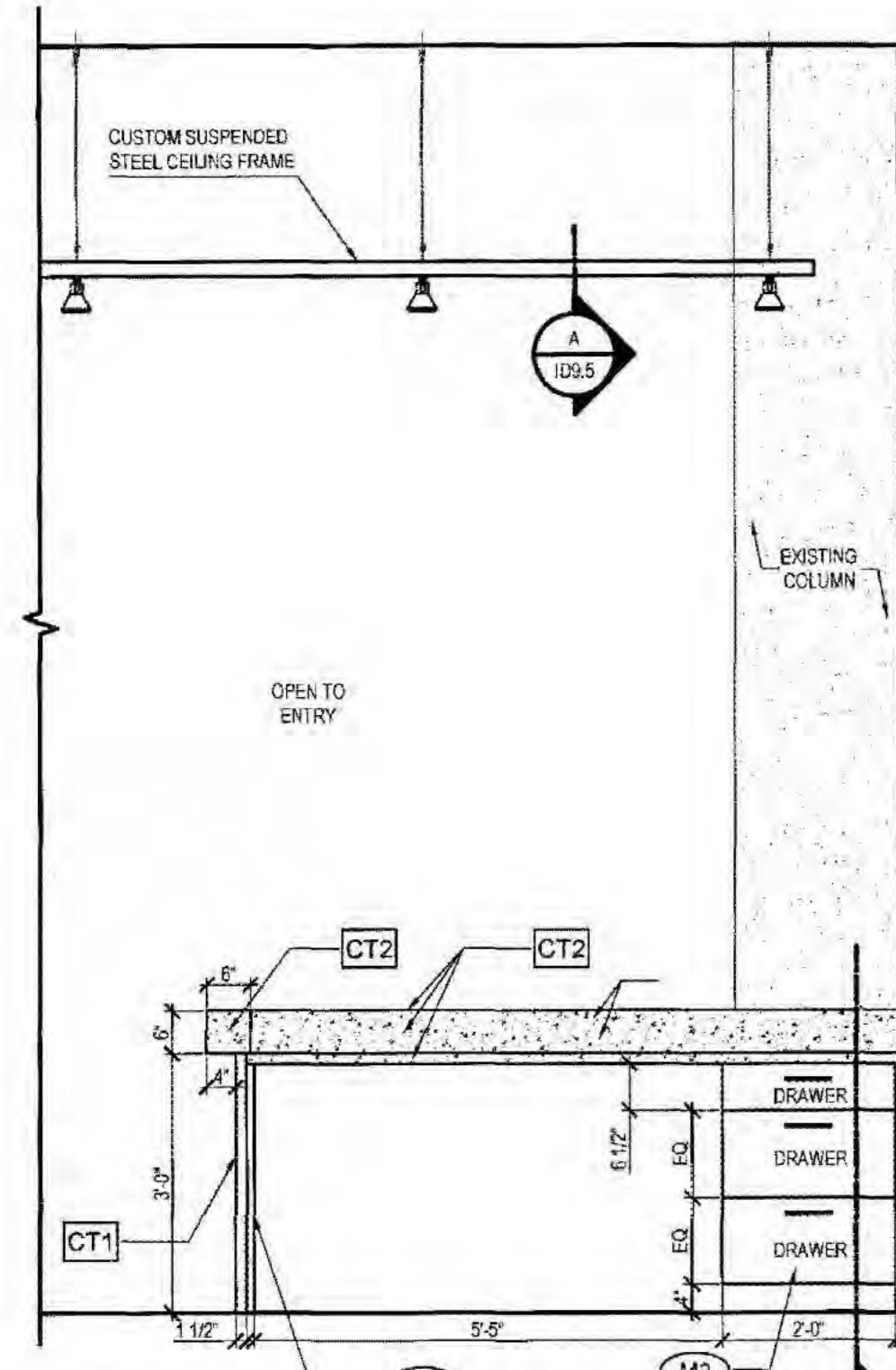
2 ELEVATION - BAR
Scale: 1/2"=1'-0"



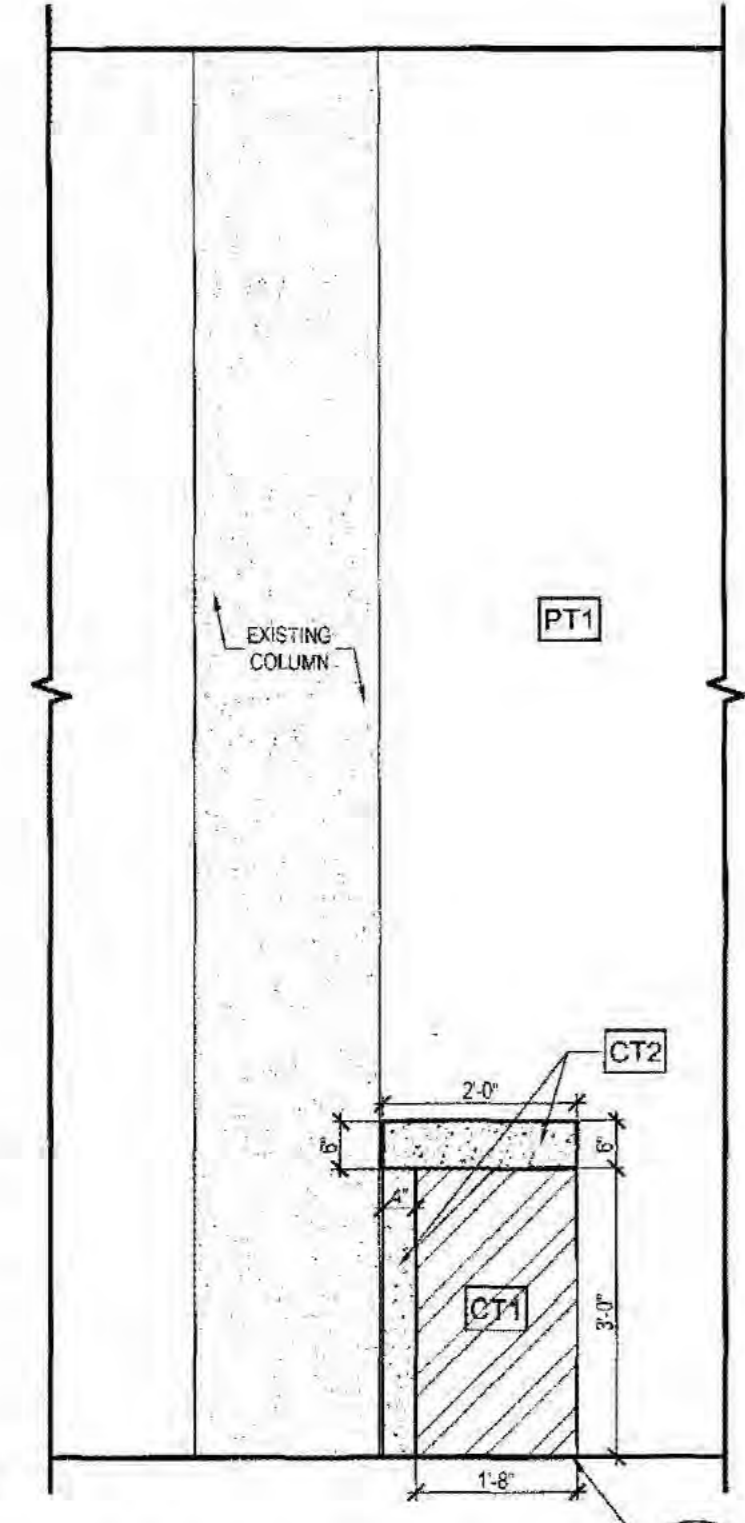
3 ELEVATION - BAR
Scale: 1/2"=1'-0"



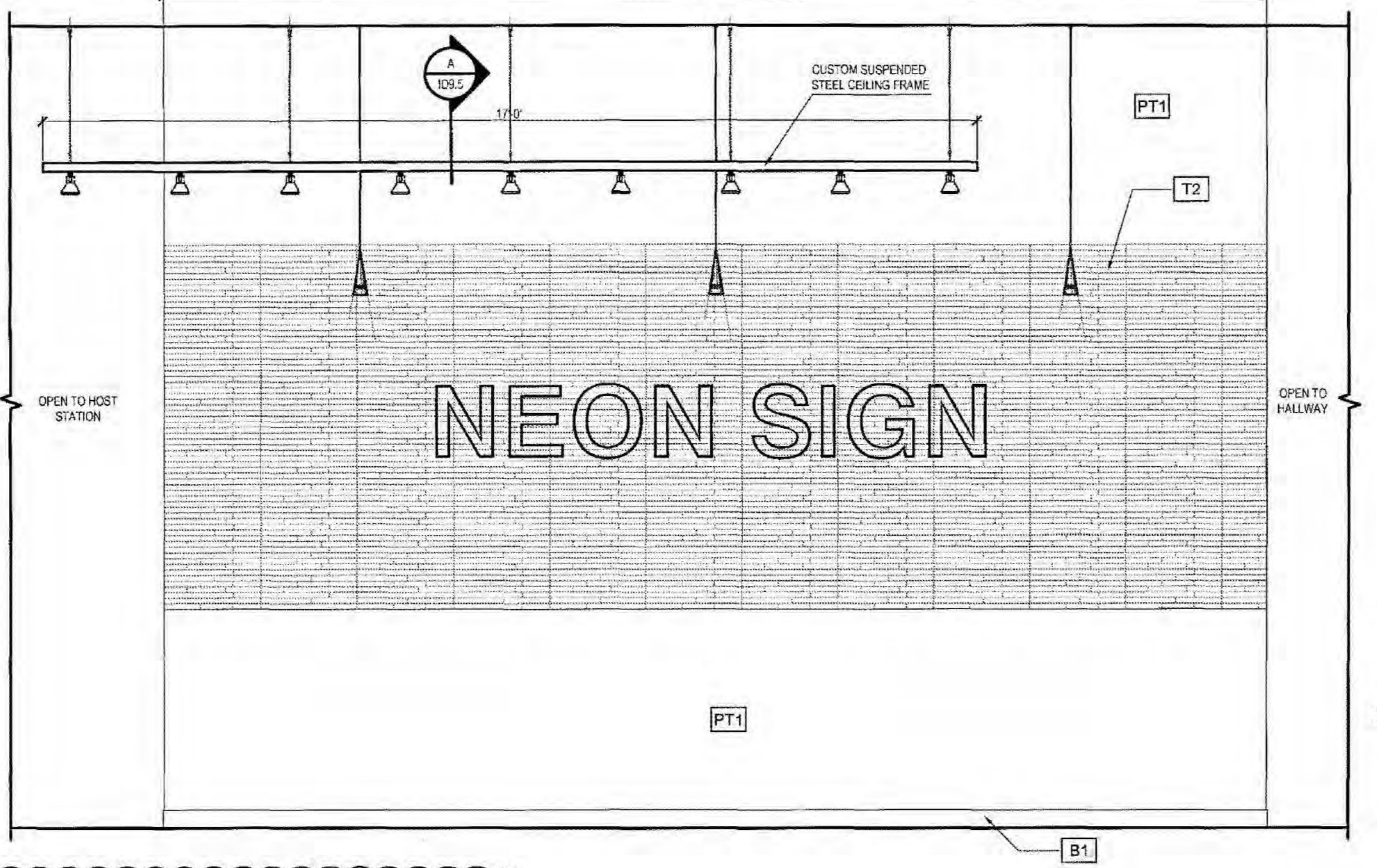
4 ELEVATION - HOST STATION
Scale: 1/2"=1'-0"



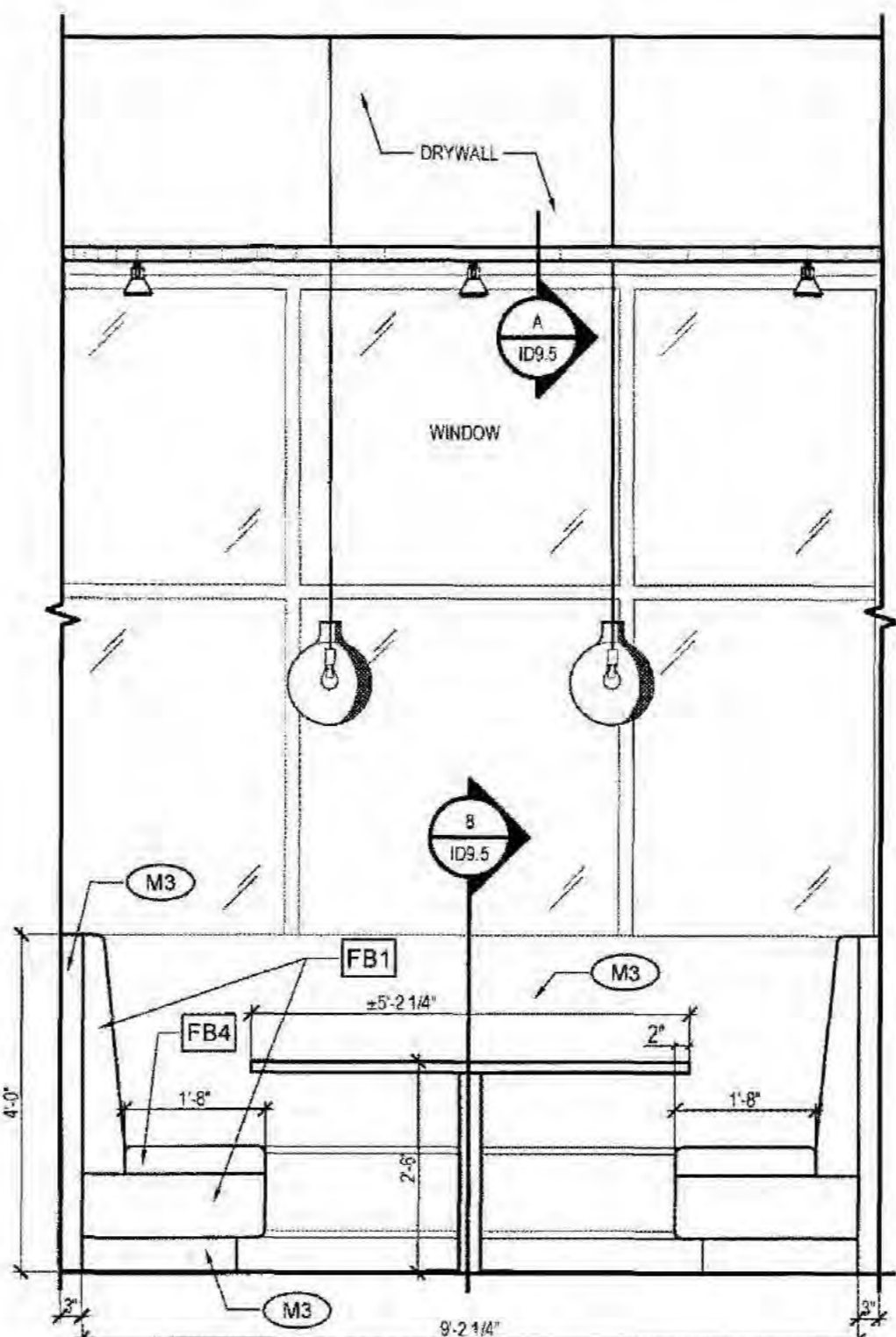
5 ELEVATION - HOST STATION
Scale: 1/2"=1'-0"



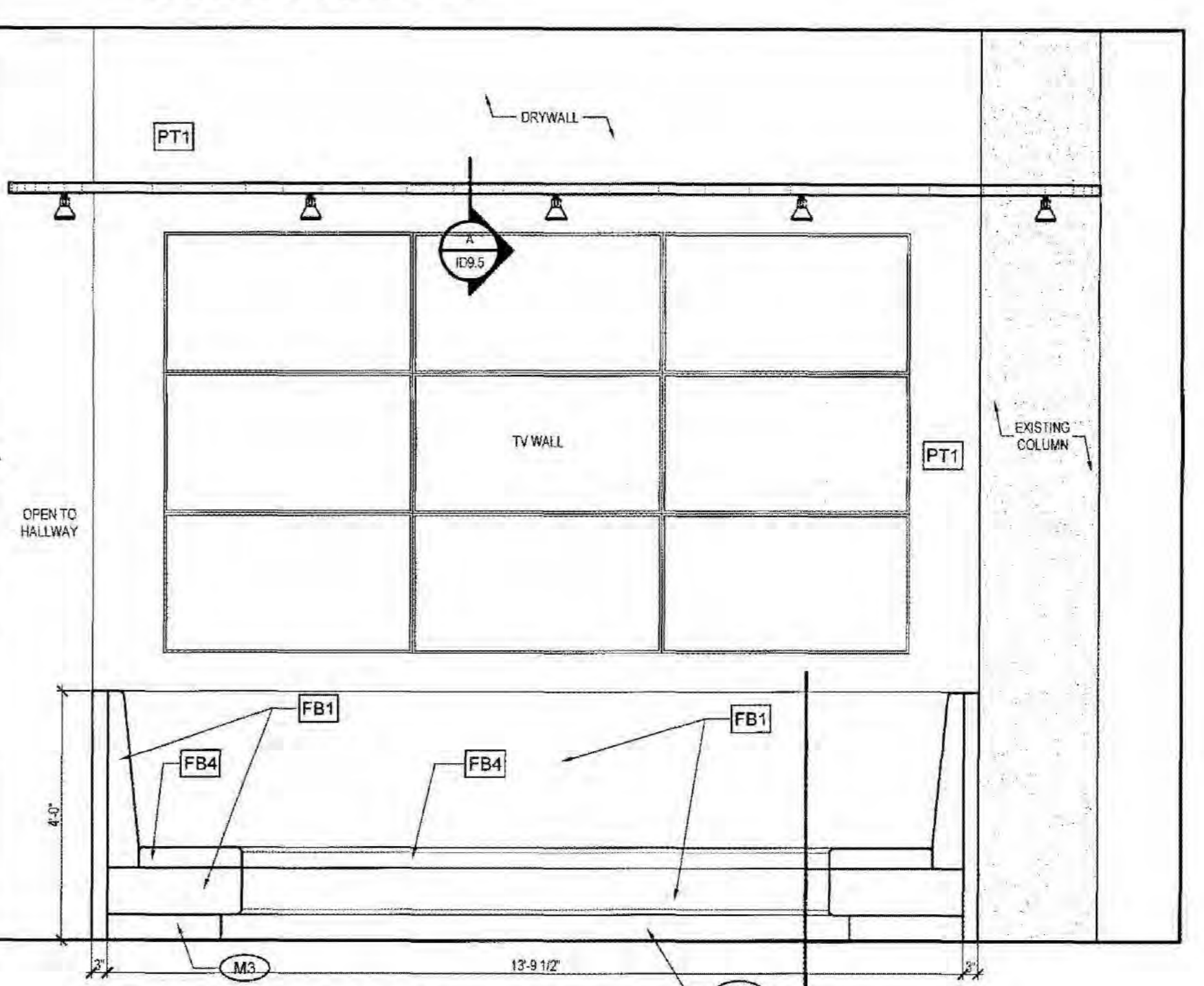
6 ELEVATION - HOST STATION
Scale: 1/2"=1'-0"



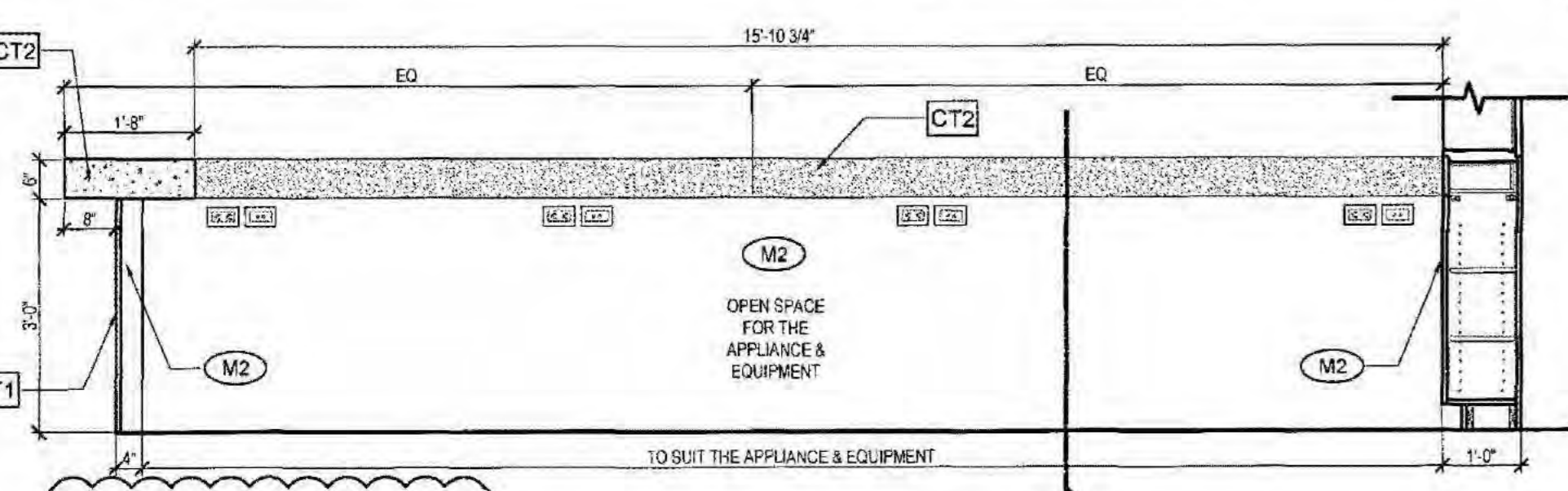
7 ELEVATION - BOOTH SEATING 2 PPL
Scale: 1/2"=1'-0"



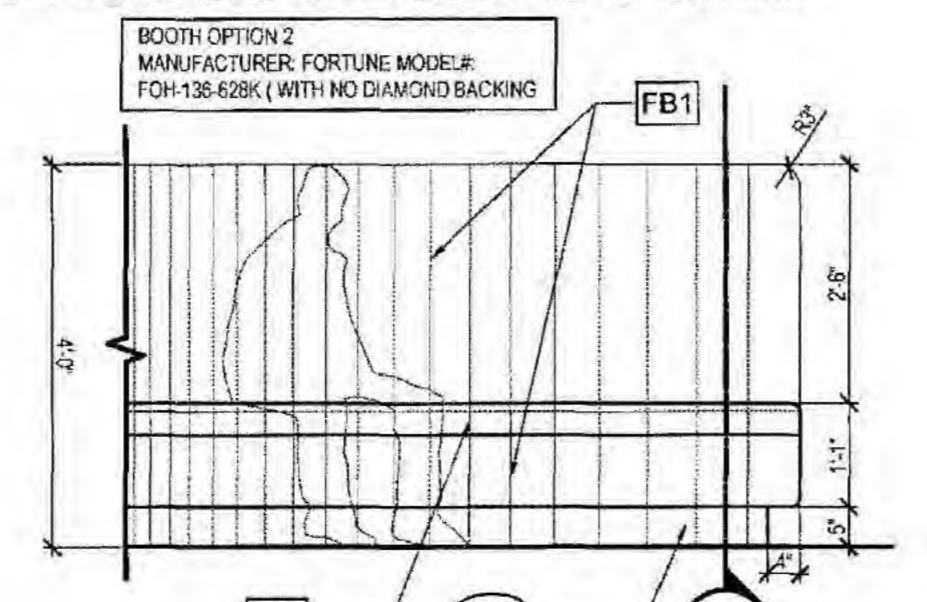
8 ELEVATION - BOOTH SEATING 9 PPL
Scale: 1/2"=1'-0"



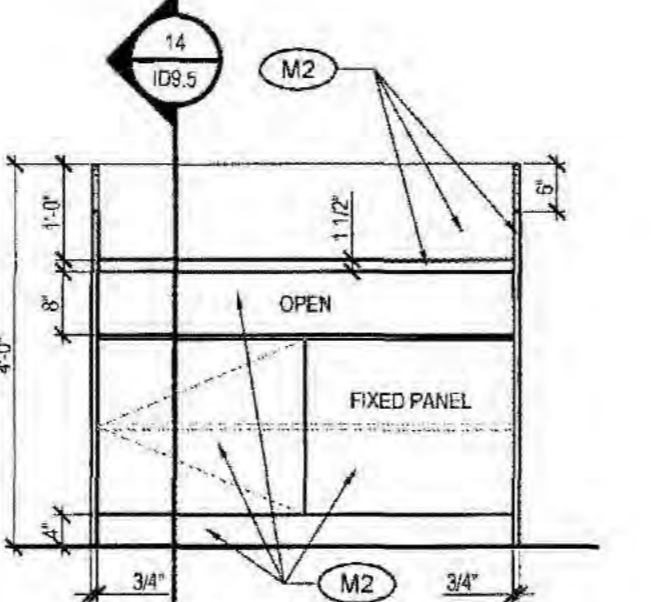
9 ELEVATION - BOOTH SEATING 10 PPL
Scale: 1/2"=1'-0"



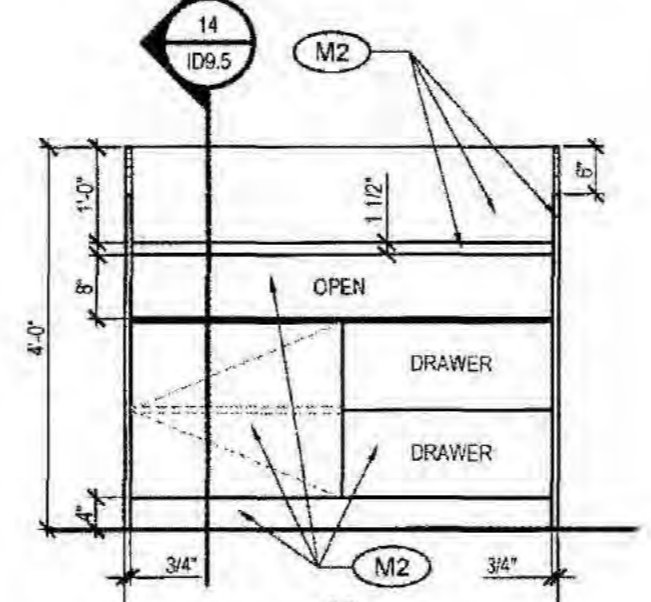
10 ELEVATION - BAR
Scale: 1/2"=1'-0"



11 ELEVATION - BENCH SEATING
Scale: 1/2"=1'-0"



12 ELEVATION - SERVER STATION
Scale: 1/2"=1'-0"



13 ELEVATION - PATIO SERVER STATION
Scale: 1/2"=1'-0"



MILLWORK GENERAL NOTES

- REFER TO ID8.1 FINISHES KEY NOTES FOR FINISH DETAILS.
- ALL THE MILLWORK TO BE FINISHED IN M2, UNLESS OTHERWISE NOTED.
- ALL THE CABINET DOOR AND DRAWER PULL HARDWARE REFER TO MILLWORK KEY NOTES CH1, UNLESS OTHERWISE NOTED.
- REFER TO ID8.0 FINISHES KEY NOTES FOR WALL PAINT COLOR AND STONE COUNTERTOP FINISHES.

MILLWORK KEY NOTES

SYMBOL:	DESCRIPTION:
(M1)	SPARE
(M2)	LAMINATE MANUFACTURER: WILSONART MODEL#: WILSONART ASAN HD 274K-1E LOCATION: BOOTH SURROUND
(M3)	TABLE LEG AND BASE MANUFACTURER: WILSONART MODEL#: PROUDER MODERN WORKER ALUM LOCATION: BOOTH TABLE LEG AND BASE; BOOTH SEATING BACK

FINISHES KEY NOTES

SYMBOL:	DESCRIPTION:
(FB1)	BOOTH SEATING FABRIC MANUFACTURER: GLOBAL MODEL#: F002 GRAVITATION LOCATION: BOOTH SEATING
(FB2)	STOOL FABRIC MANUFACTURER: GLOBAL MODEL#: PCS CLAW LOCATION: LARGE KARAOKE ROOM; BOOTH DEVELOPMENT
(FB3)	STOOL FABRIC MANUFACTURER: GLOBAL MODEL#: PCS PACIFIC LOCATION: SMALL KARAOKE ROOM; STOOLS
(FB4)	BOOTH SEATING BASE MANUFACTURER: GLOBAL MODEL#: F002 BLACK LOCATION: BOOTH SEATING BASE

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DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR TO CONSTRUCTION.

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE: APRIL 27 2018
SCALE: AS NOTED
DRAWN BY: AVAN CHEN & MARISSA HAGG
PROJ. SECT NUMBER: 18.014
DRAWING FILE: ELEVATION

DRAWING ISSUE HISTORY:

No:	Date:	Description:
01	06.19.18	IFP
02	07.24.18	IFP
03	08.02.18	IFP
04	08.04.18	Issued for review
05	09.17.18	IFP
06	10.17.18	IFP
07	11.09.18	Issued for construction
08	12.18.18	issued for construction
09	12.20.18	IFP
10	02.07.19	IFP

DRAWING NO. **ID9.1**

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CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
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CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
 DATE: 04/27/2018
 NOTE: Contractors will build as per these working drawings.

DATE: APRIL 27 2018
 SCALE: AS NOTED
 DRAWN BY: AVAN CHEN & MELISSA HAQQ
 PROJECT NUMBER: 18.014
 DRAWING TITLE: ELEVATION

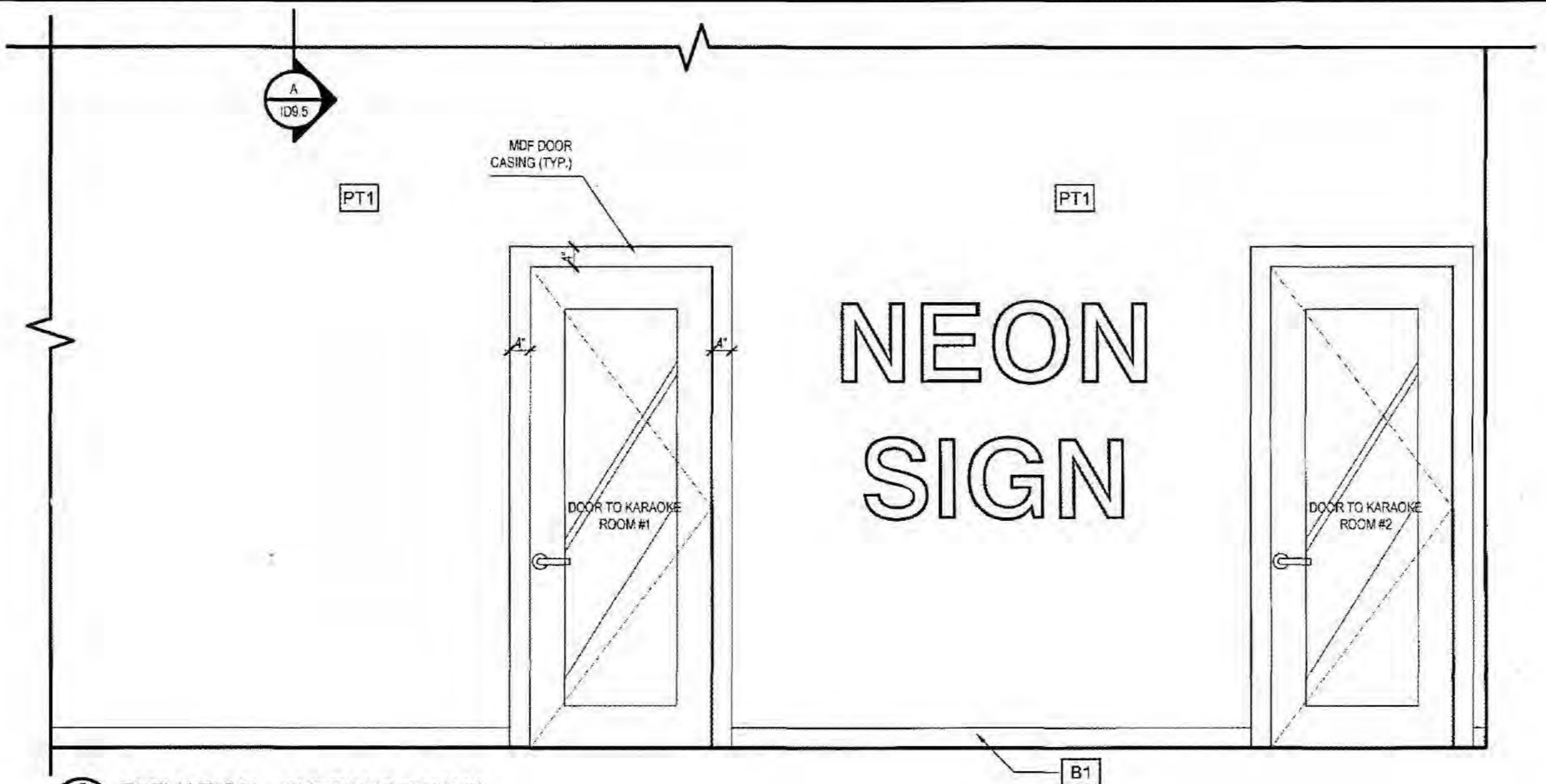
DRAWING ISSUE HISTORY:

No.	Date	Description
01	06.19.18	IFP
02	07.24.18	IFP
03	08.02.18	IFP
04	09.04.18	Issued for review
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07	11.09.18	Issued for construction
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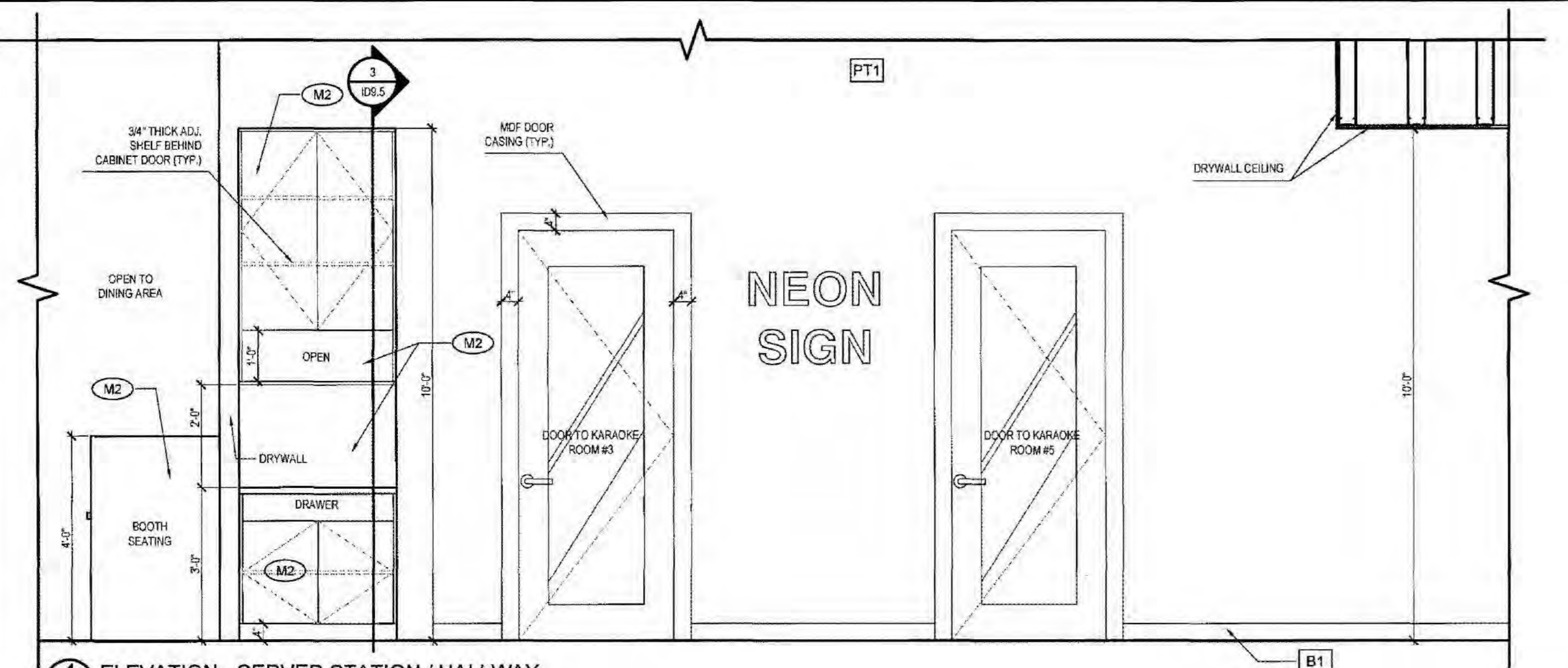
CITY OF VANCOUVER
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DP - 2020 - 0 0 2 3 0
 APPROVED SUBJECT TO CONDITIONS BY THE
 DATE: APR 02 2020

RECEIVED
 CITY OF VANCOUVER
 MAR 20 2020
 DEVELOPMENT BUILDINGS & LICENSING

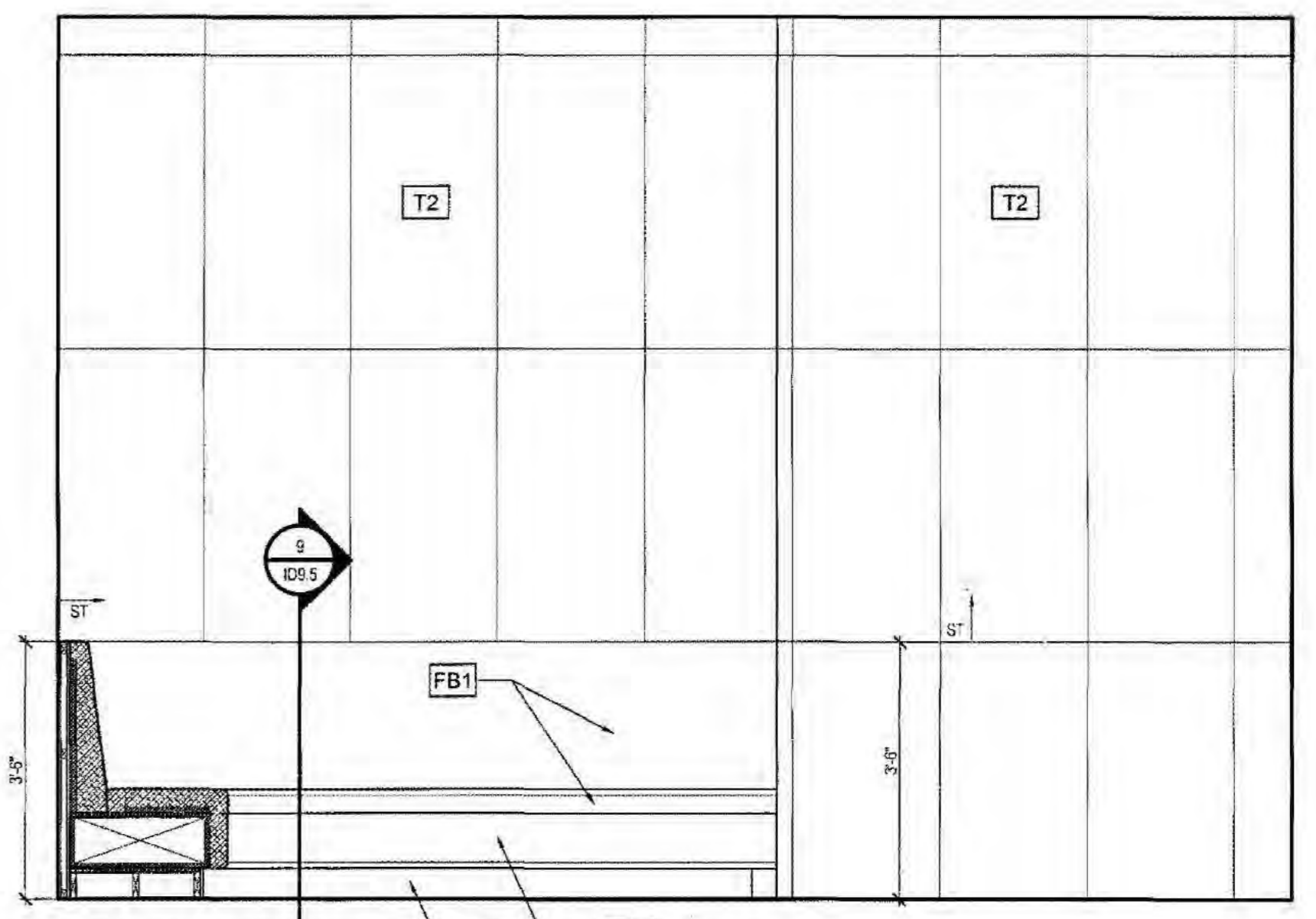
MILLWORK GENERAL NOTES
 • REFER TO ID9.1 FINISHES & MILLWORK KEY NOTES AND MILLWORK GENERAL NOTES FOR FINISH DETAILS.



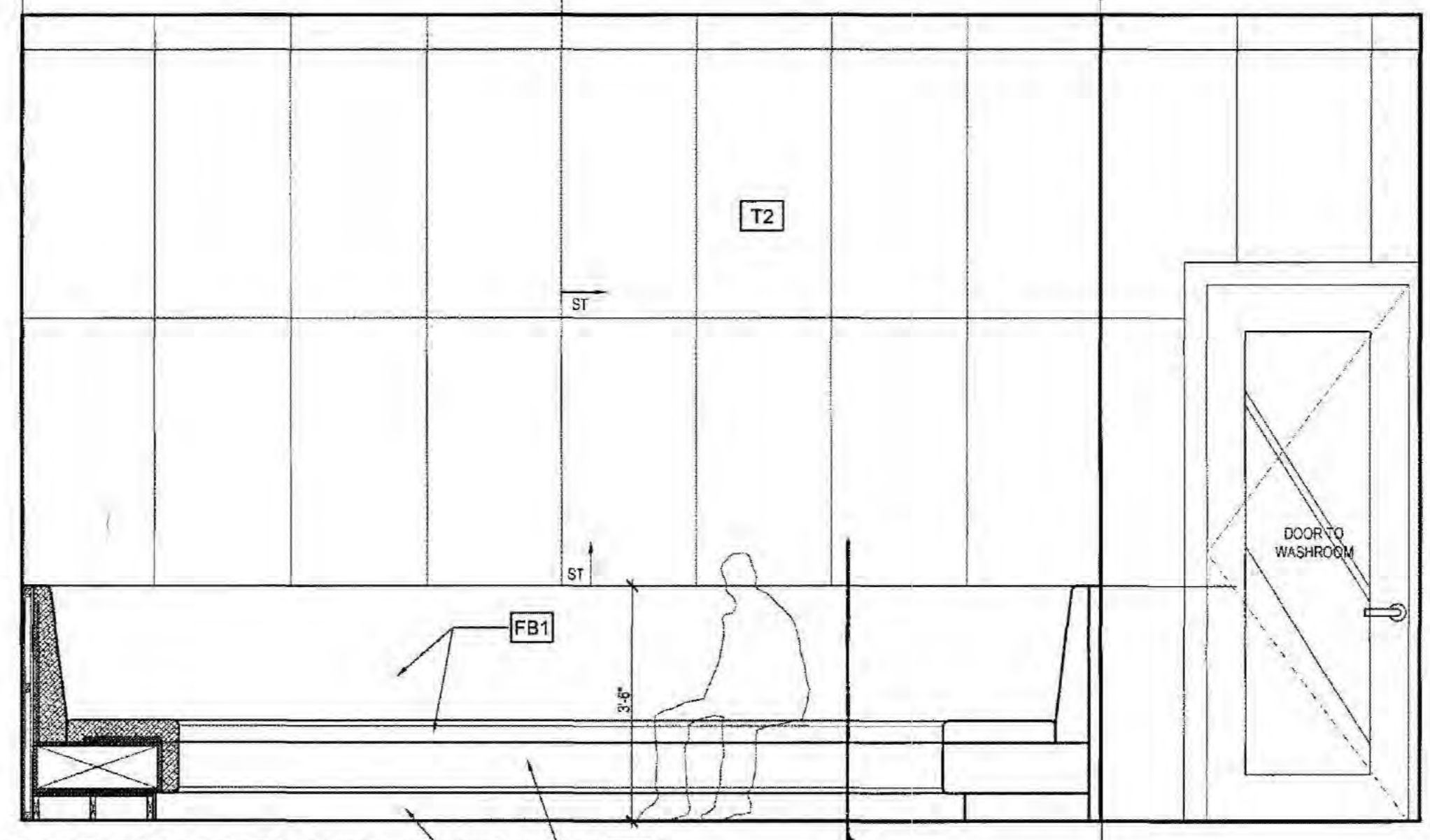
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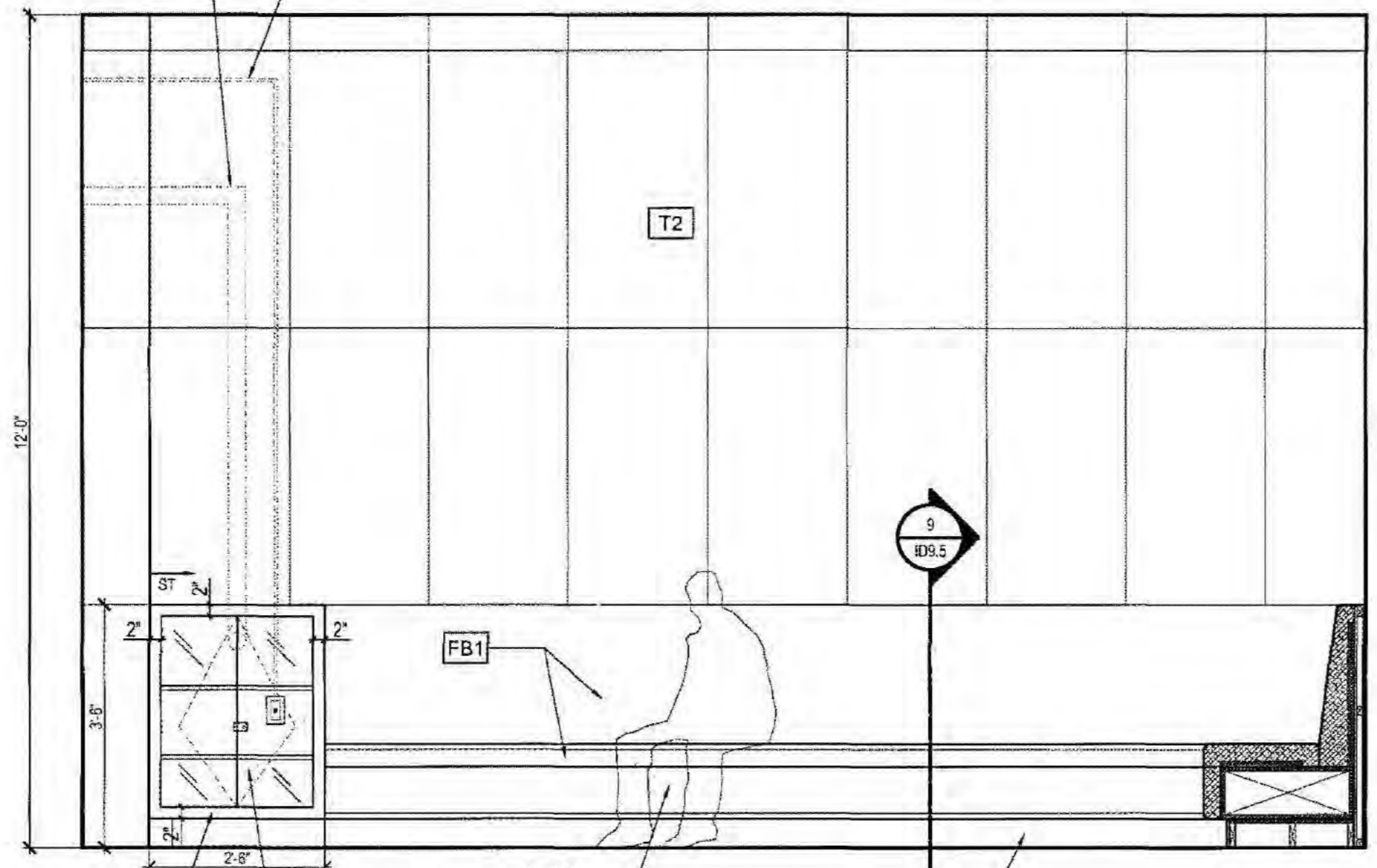
1 ELEVATION - SERVER STATION / HALLWAY
 Scale: 1/2"=1'-0"



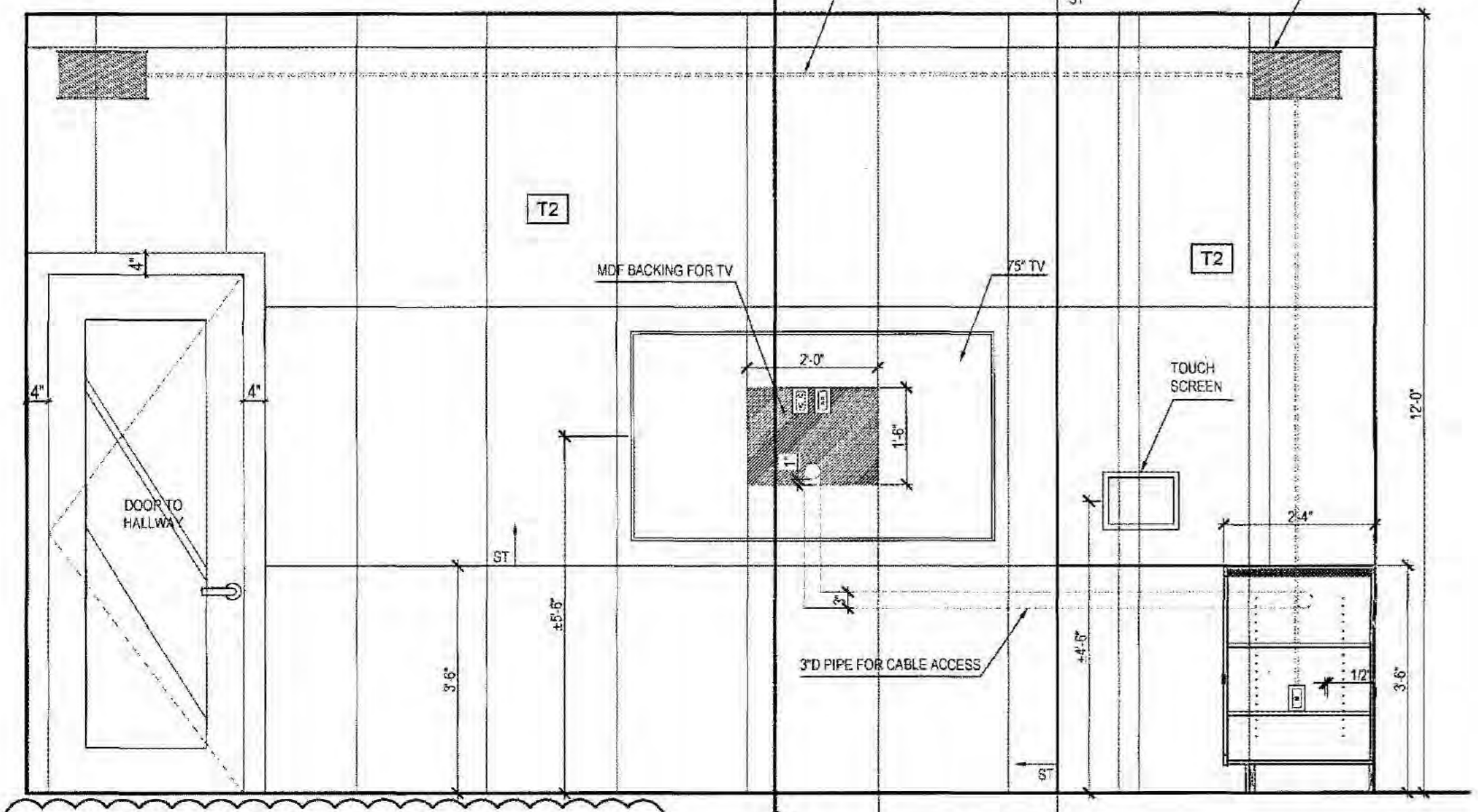
6 ELEVATION - LARGE KARAOKE ROOM #12
 Scale: 1/2"=1'-0"



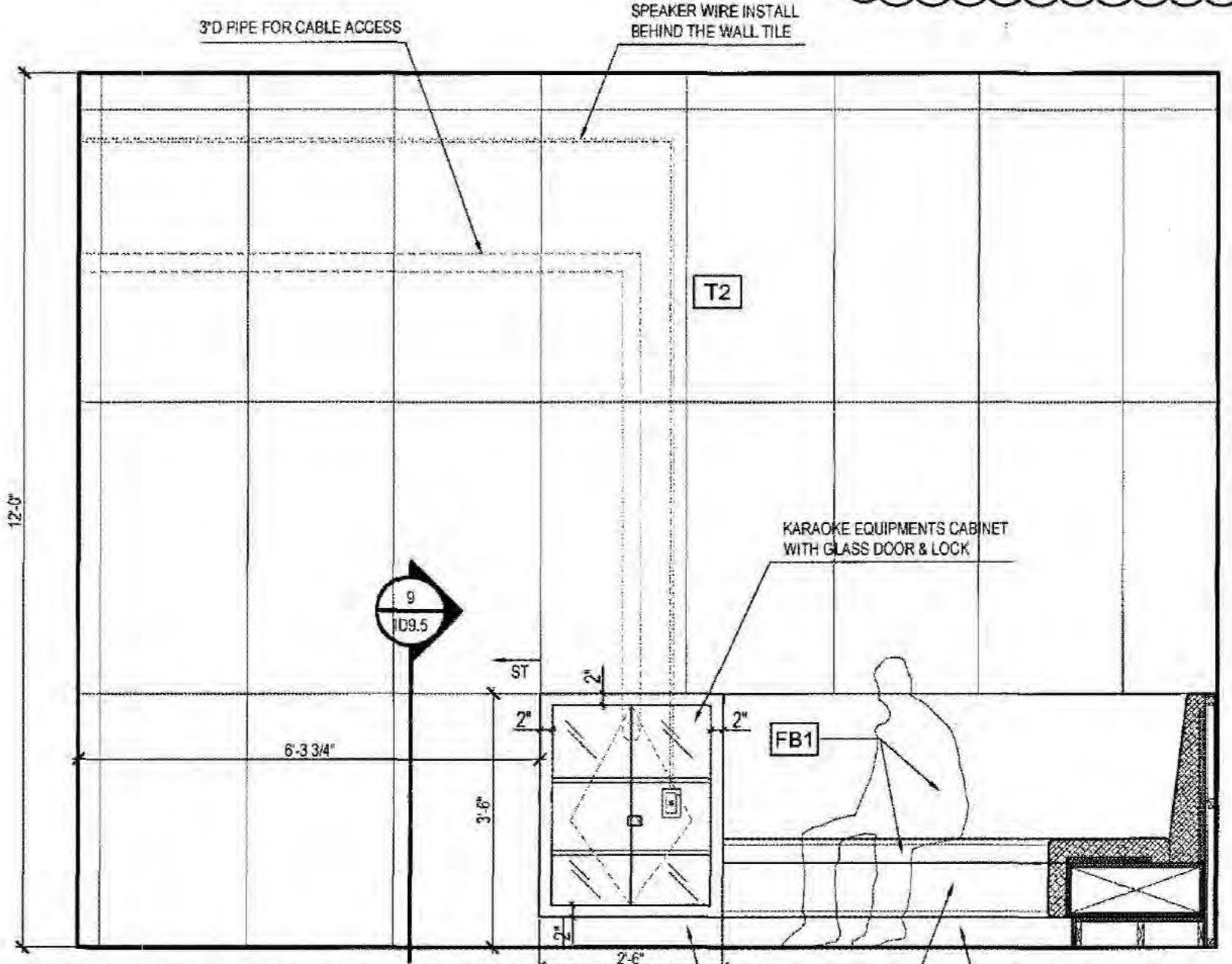
5 ELEVATION - LARGE KARAOKE ROOM #12
 Scale: 1/2"=1'-0"



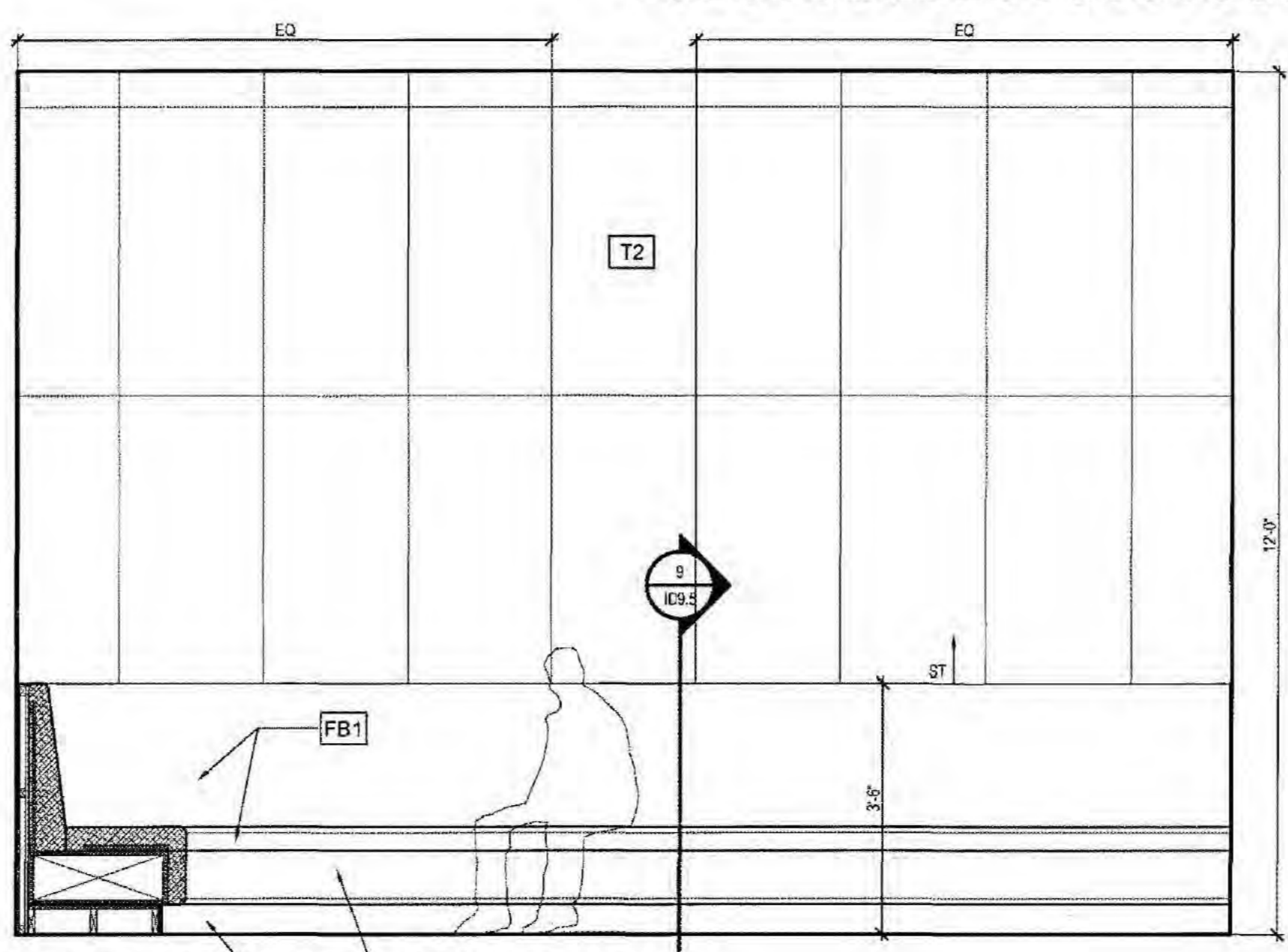
4 ELEVATION - LARGE KARAOKE ROOM #12
 Scale: 1/2"=1'-0"



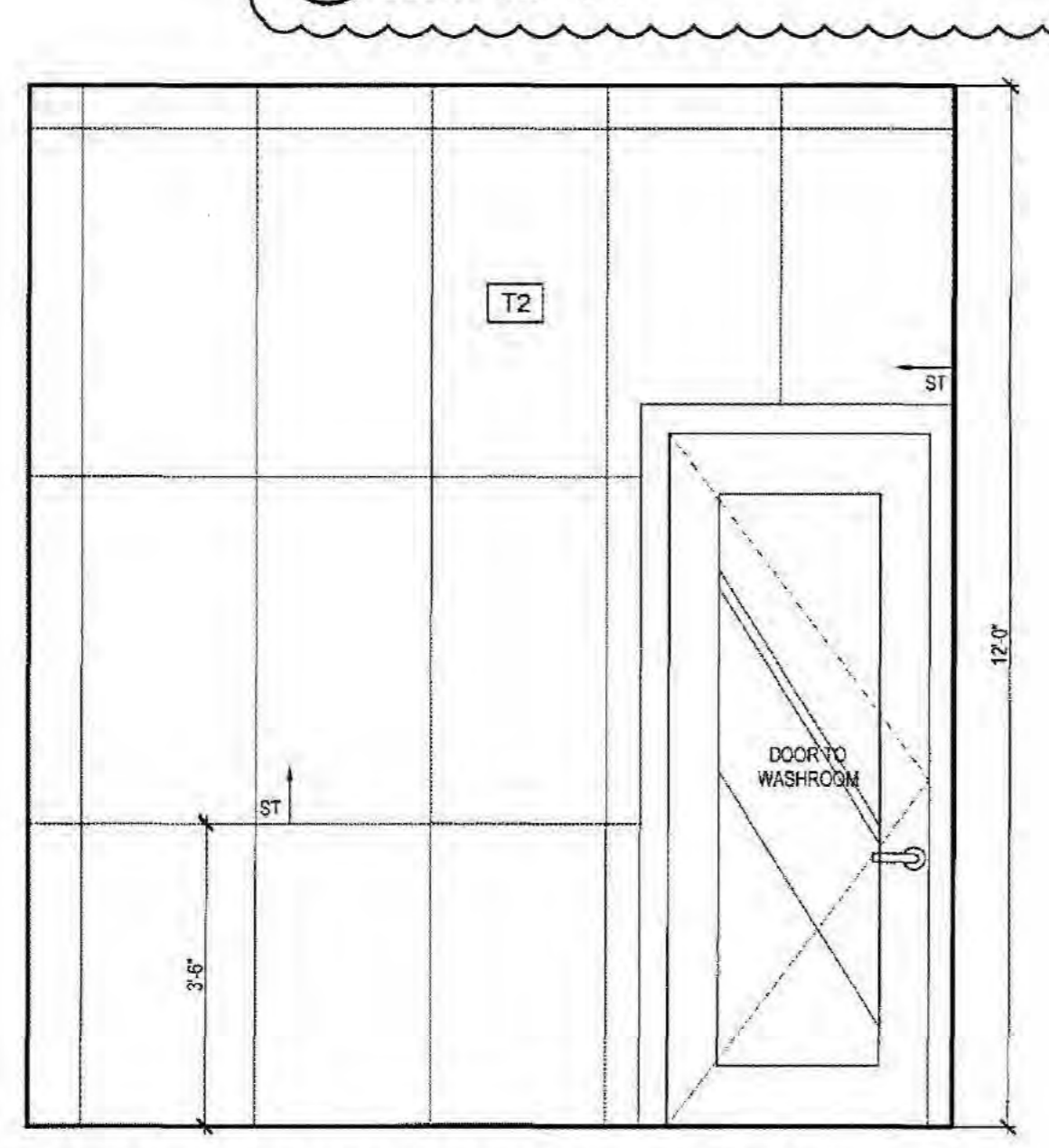
3 ELEVATION - LARGE KARAOKE ROOM #12
 Scale: 1/2"=1'-0"



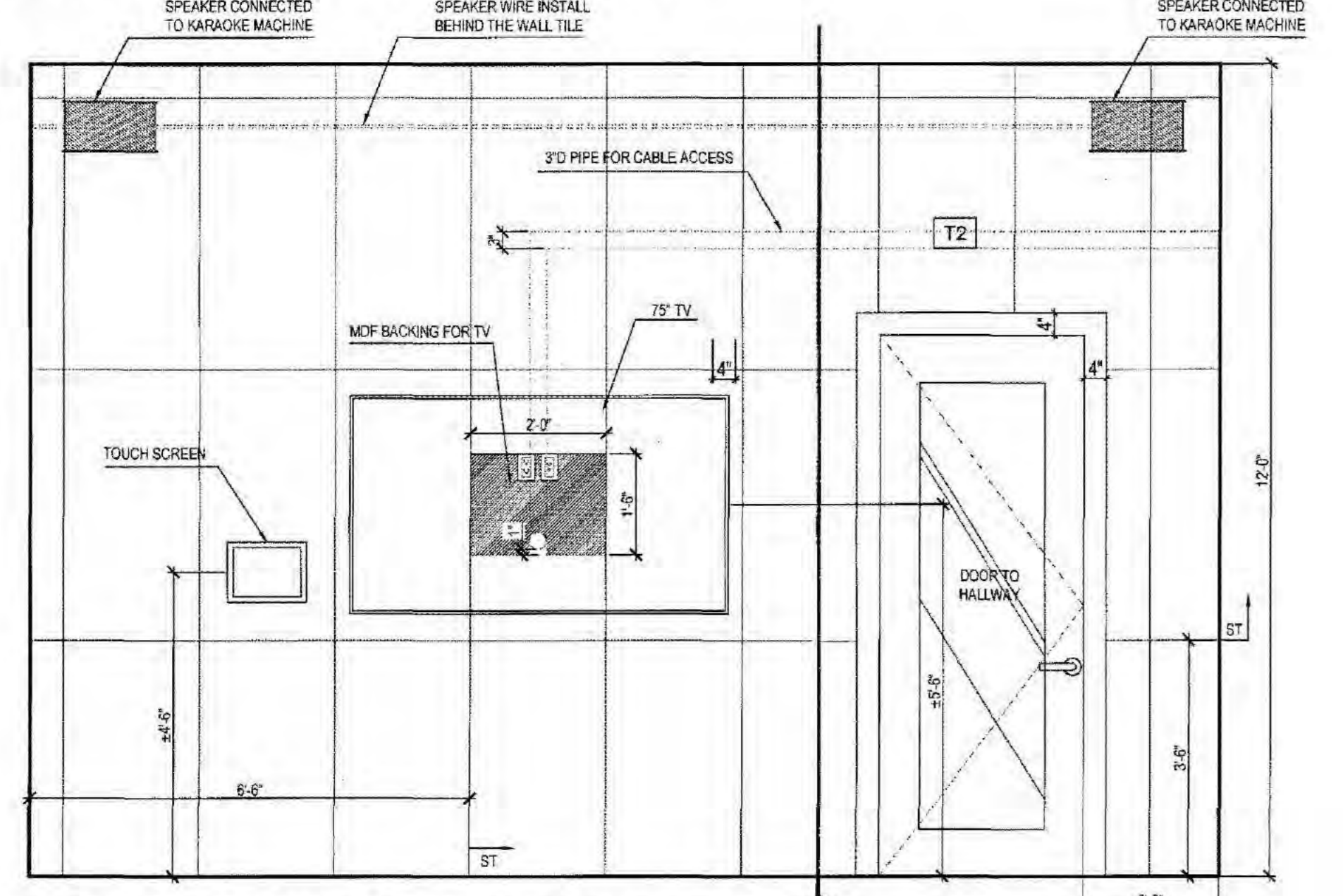
10 ELEVATION - LARGE KARAOKE ROOM #11
 Scale: 1/2"=1'-0"



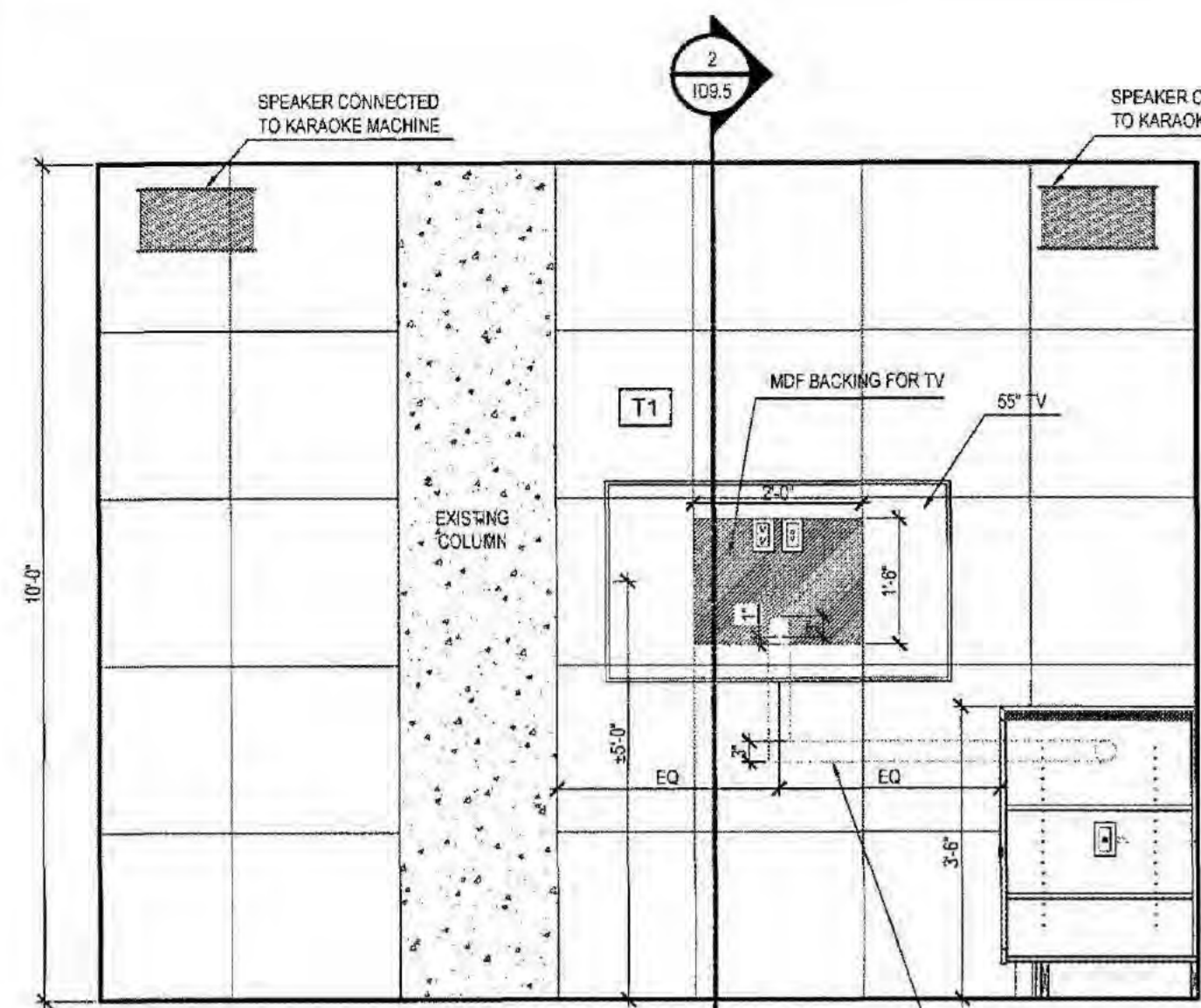
9 ELEVATION - LARGE KARAOKE ROOM #11
 Scale: 1/2"=1'-0"



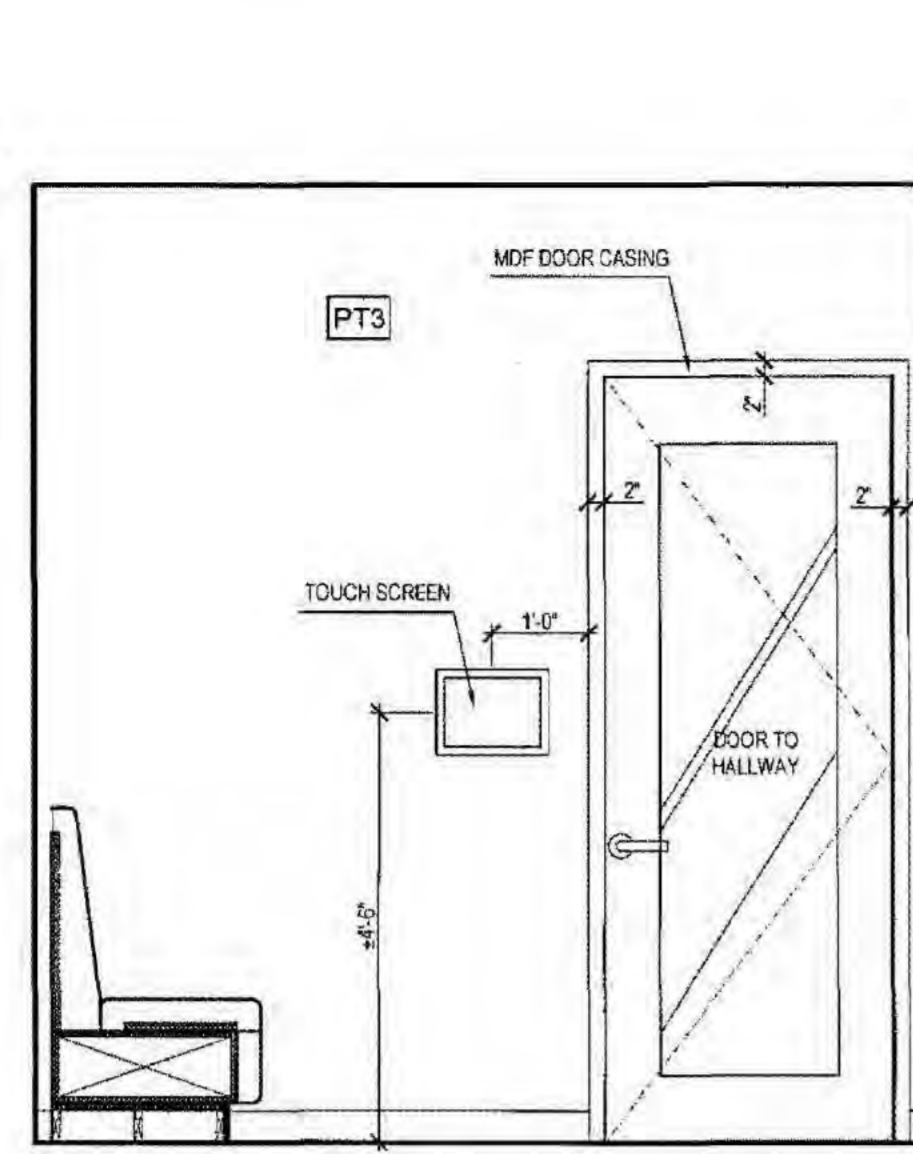
8 ELEVATION - LARGE KARAOKE ROOM #11
 Scale: 1/2"=1'-0"



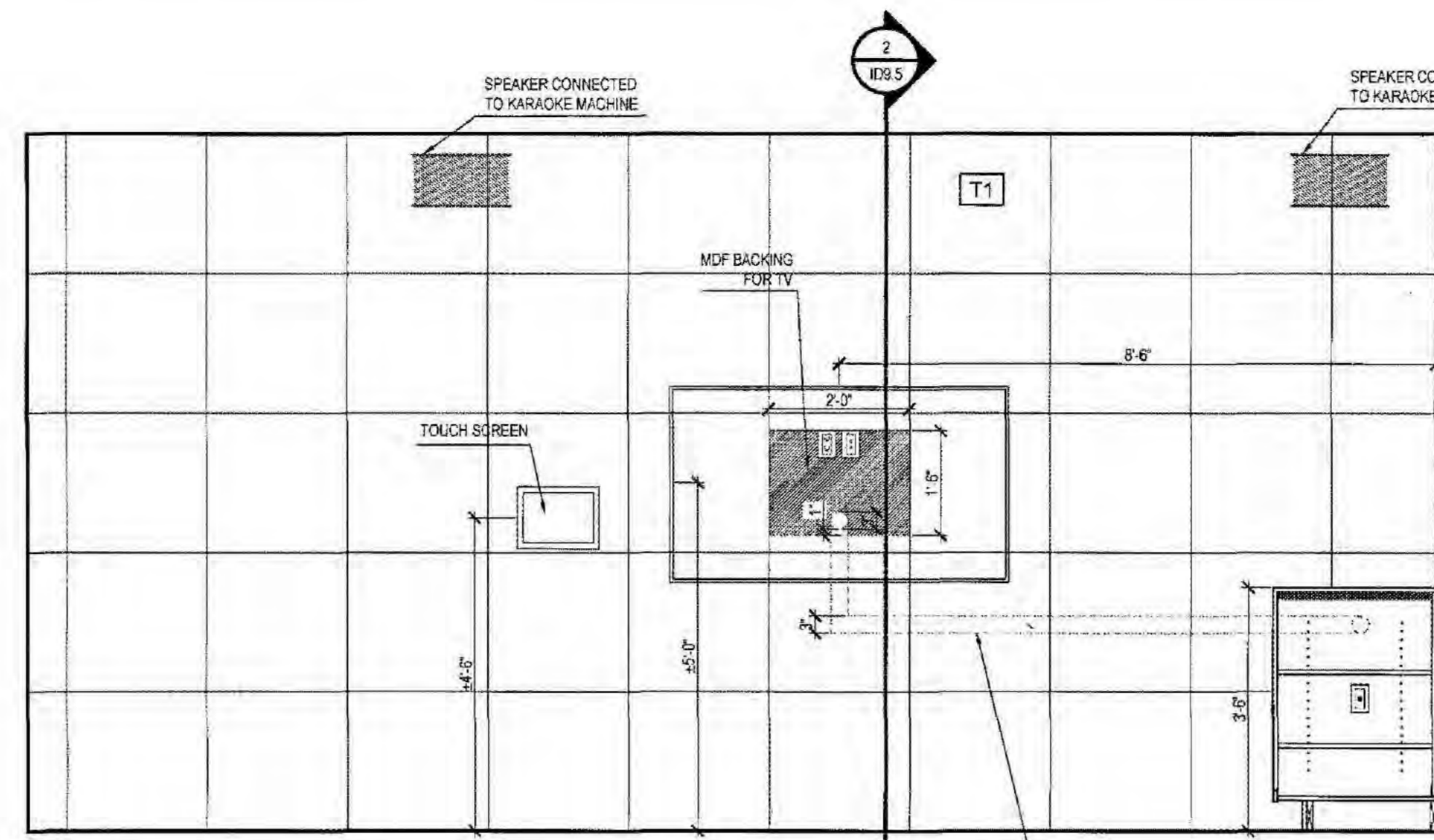
7 ELEVATION - LARGE KARAOKE ROOM #11
 Scale: 1/2"=1'-0"



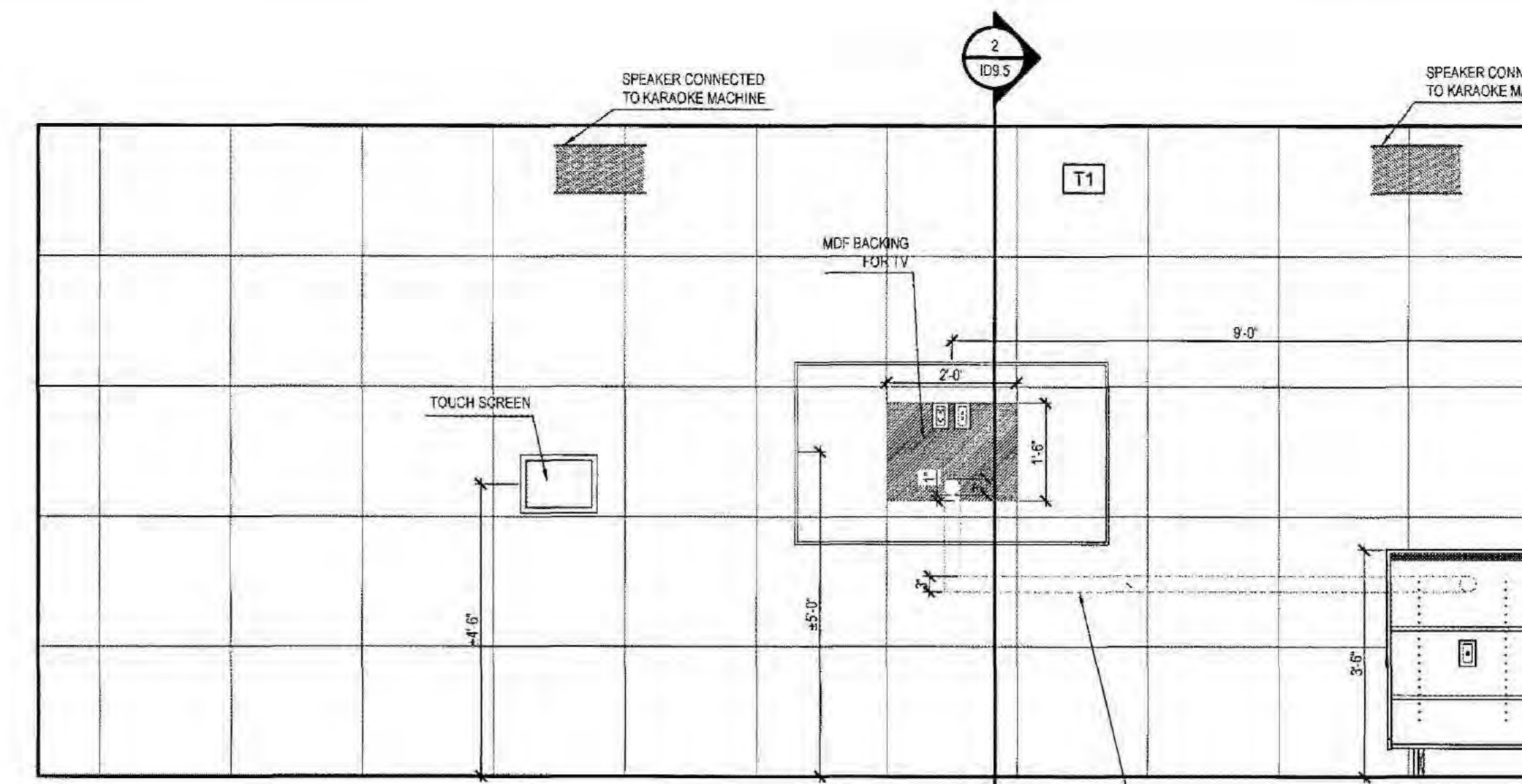
1 ELEVATION - SMALL KARAOKE ROOM #8
Scale: 1/2"=1'-0"



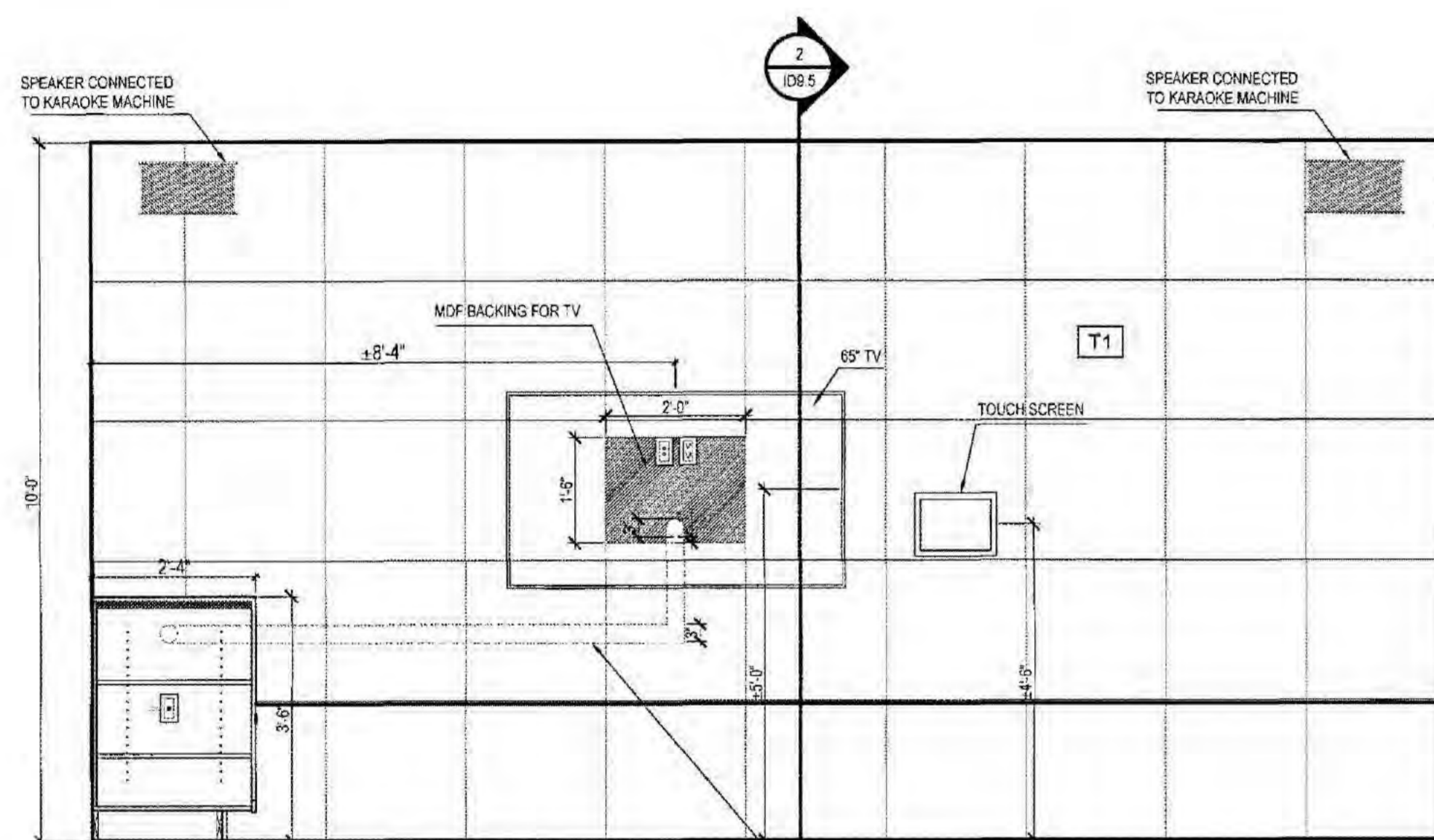
2 ELEVATION - SMALL KARAOKE ROOM #8
Scale: 1/2"=1'-0"



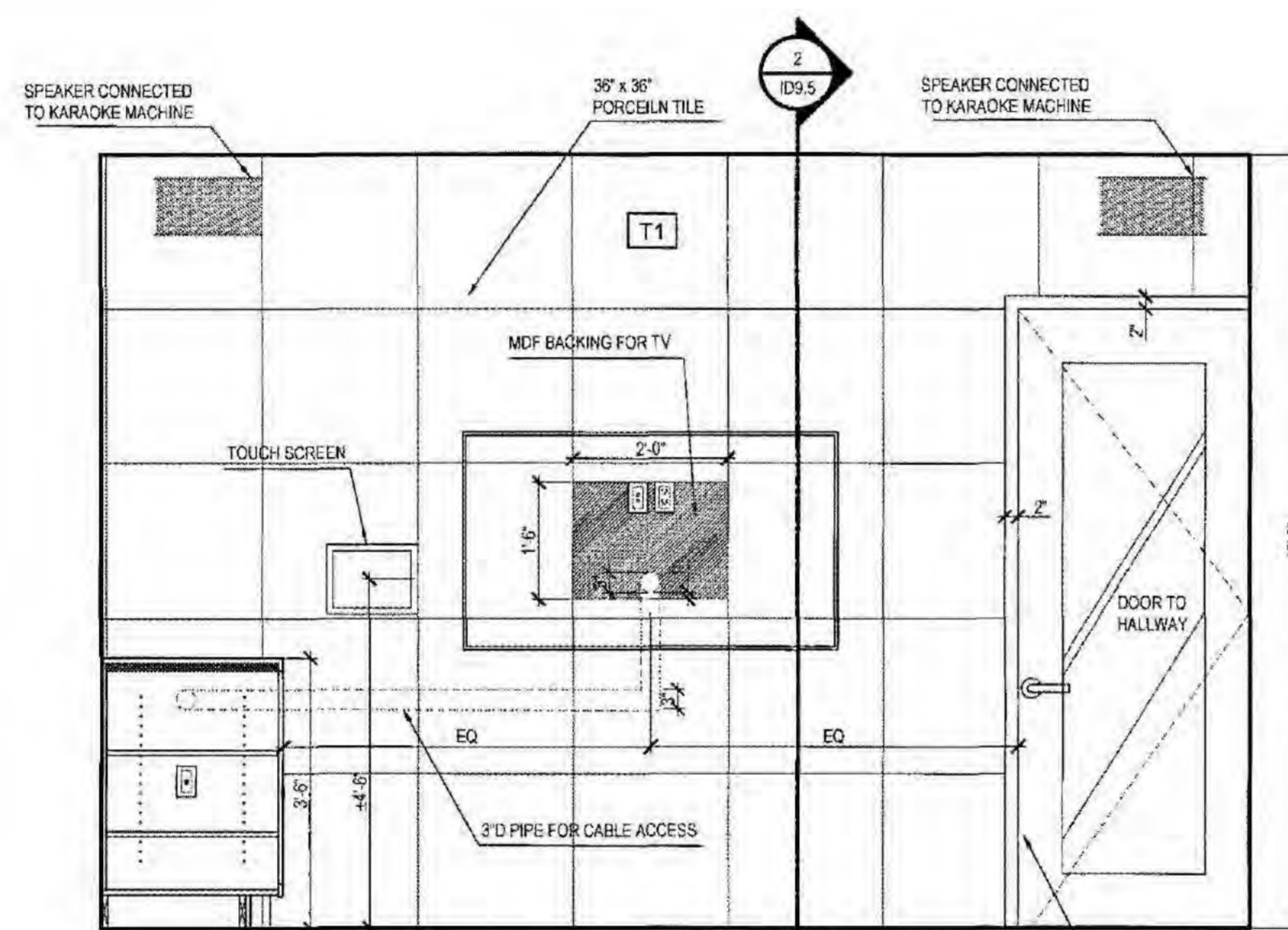
3 ELEVATION - SMALL KARAOKE ROOM #9
Scale: 1/2"=1'-0"



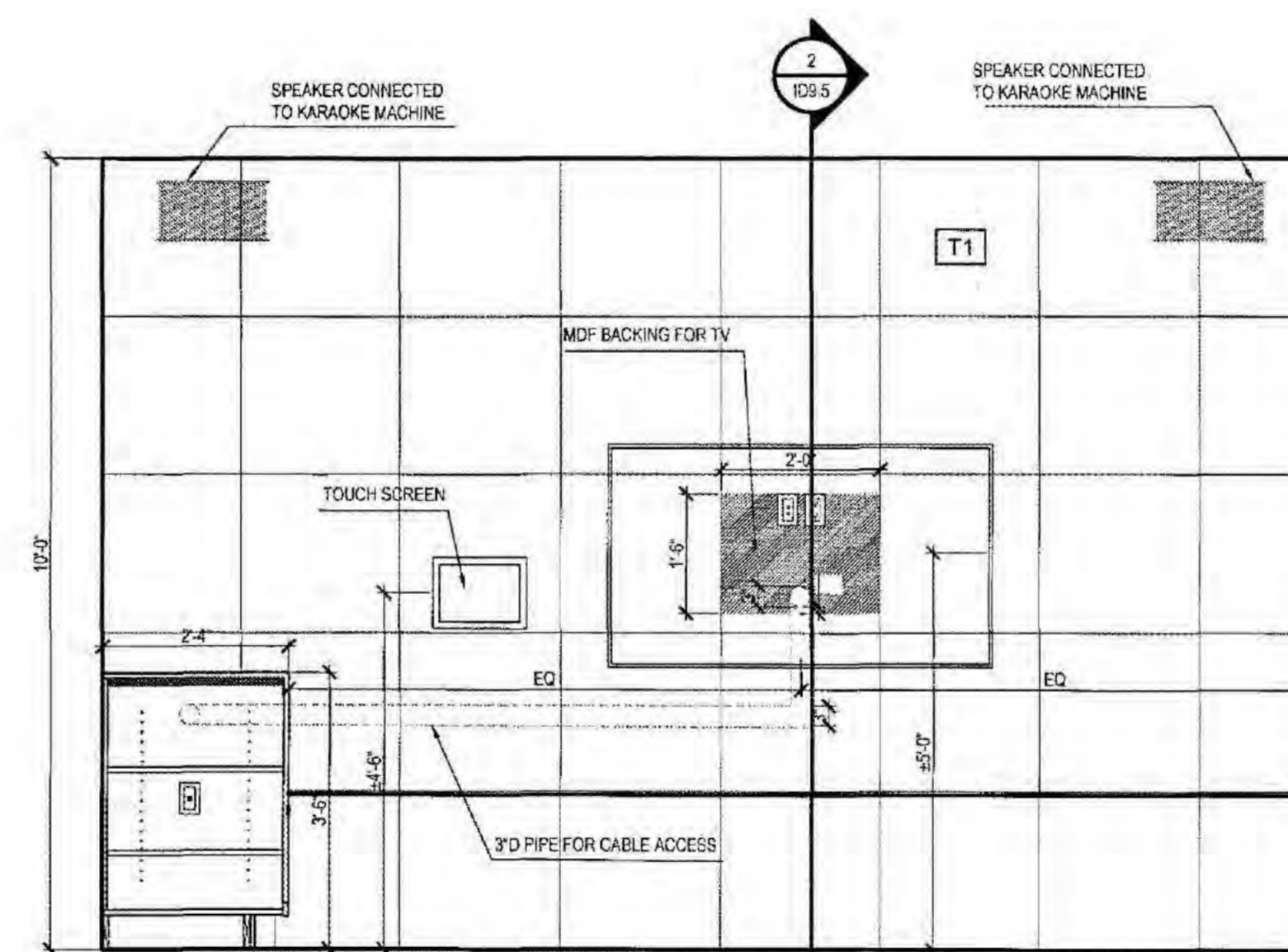
4 ELEVATION - SMALL KARAOKE ROOM #10
Scale: 1/2"=1'-0"



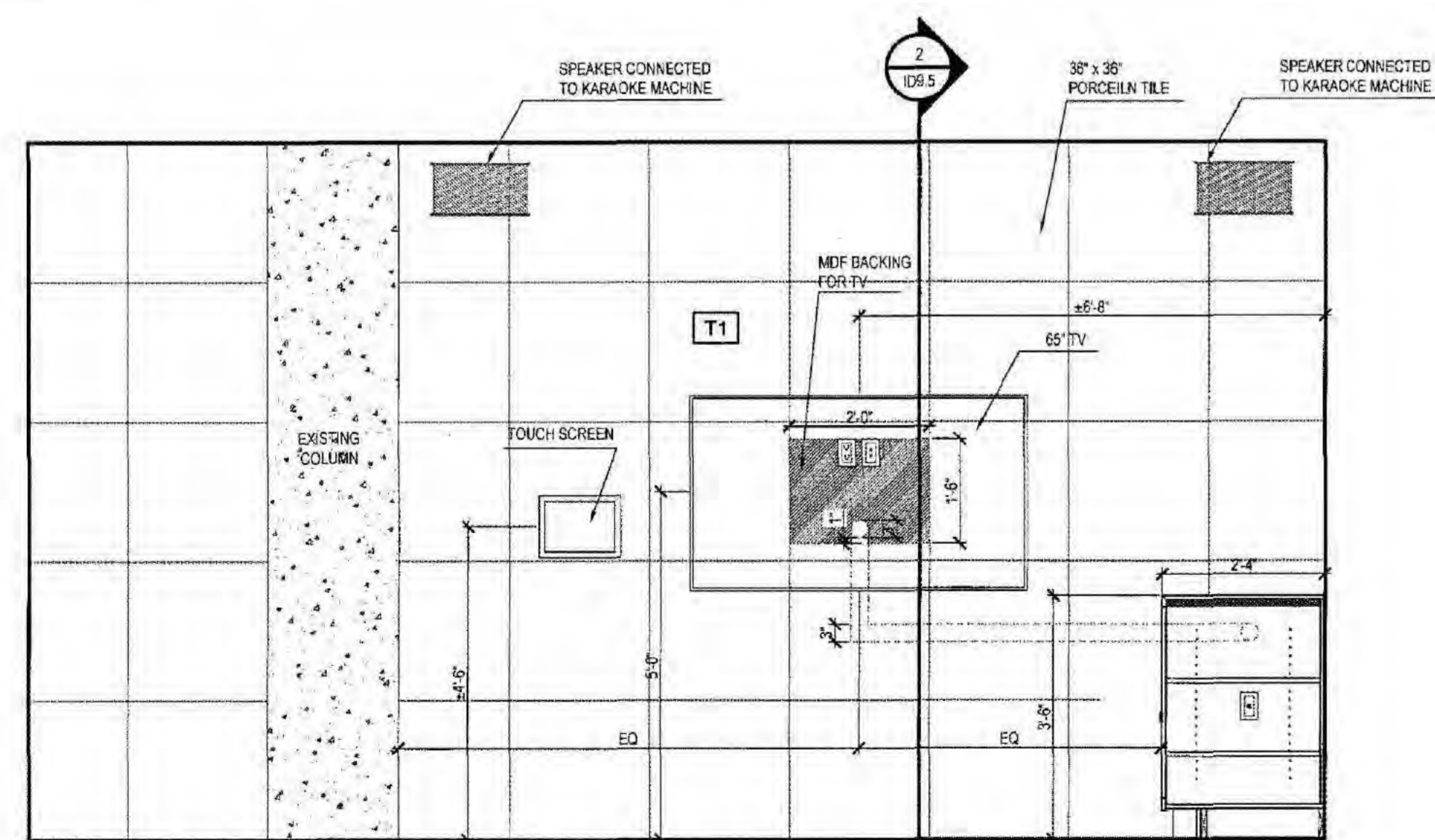
5 ELEVATION - SMALL KARAOKE ROOM #3
Scale: 1/2"=1'-0"



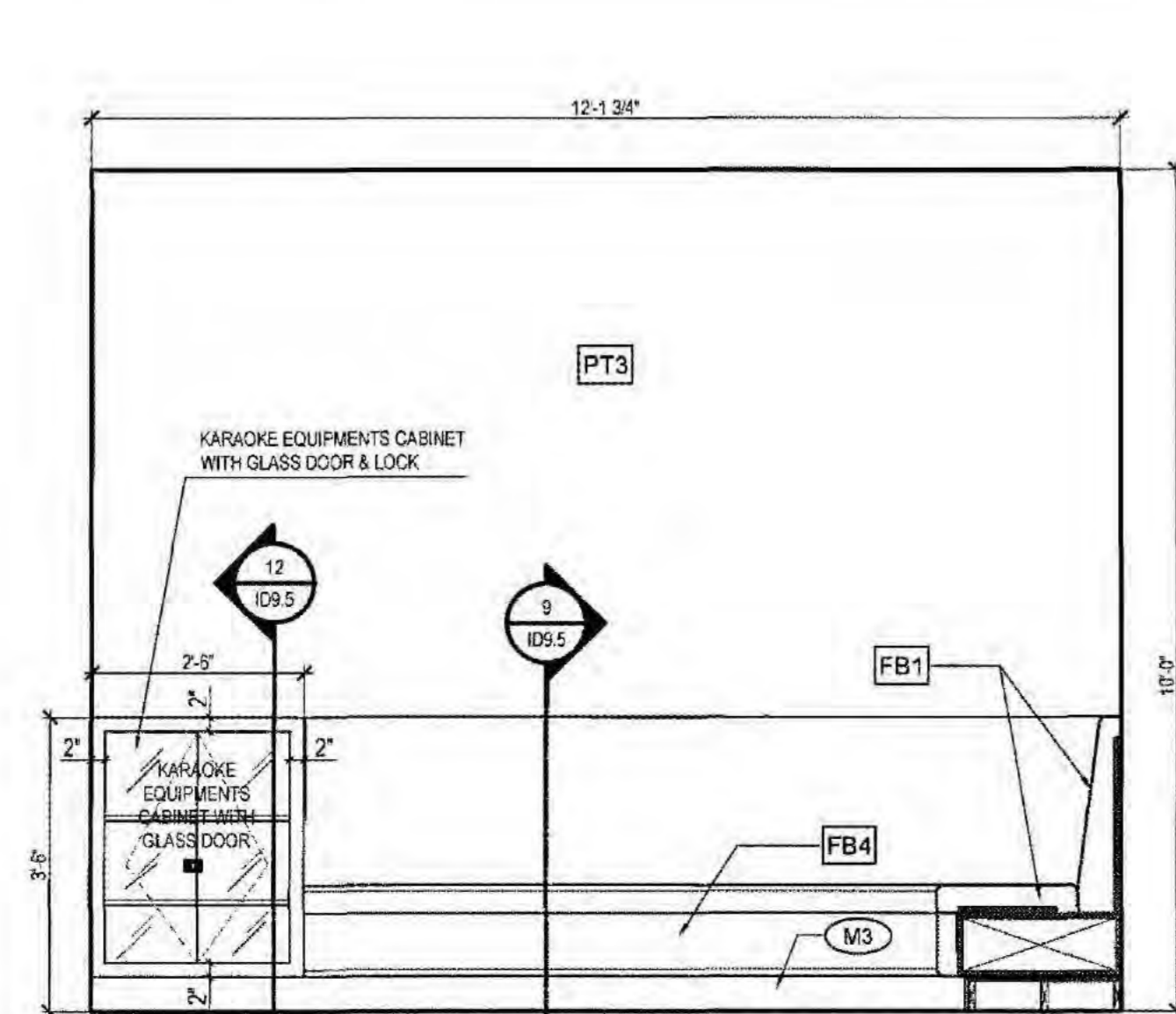
6 ELEVATION - SMALL KARAOKE ROOM #4
Scale: 1/2"=1'-0"



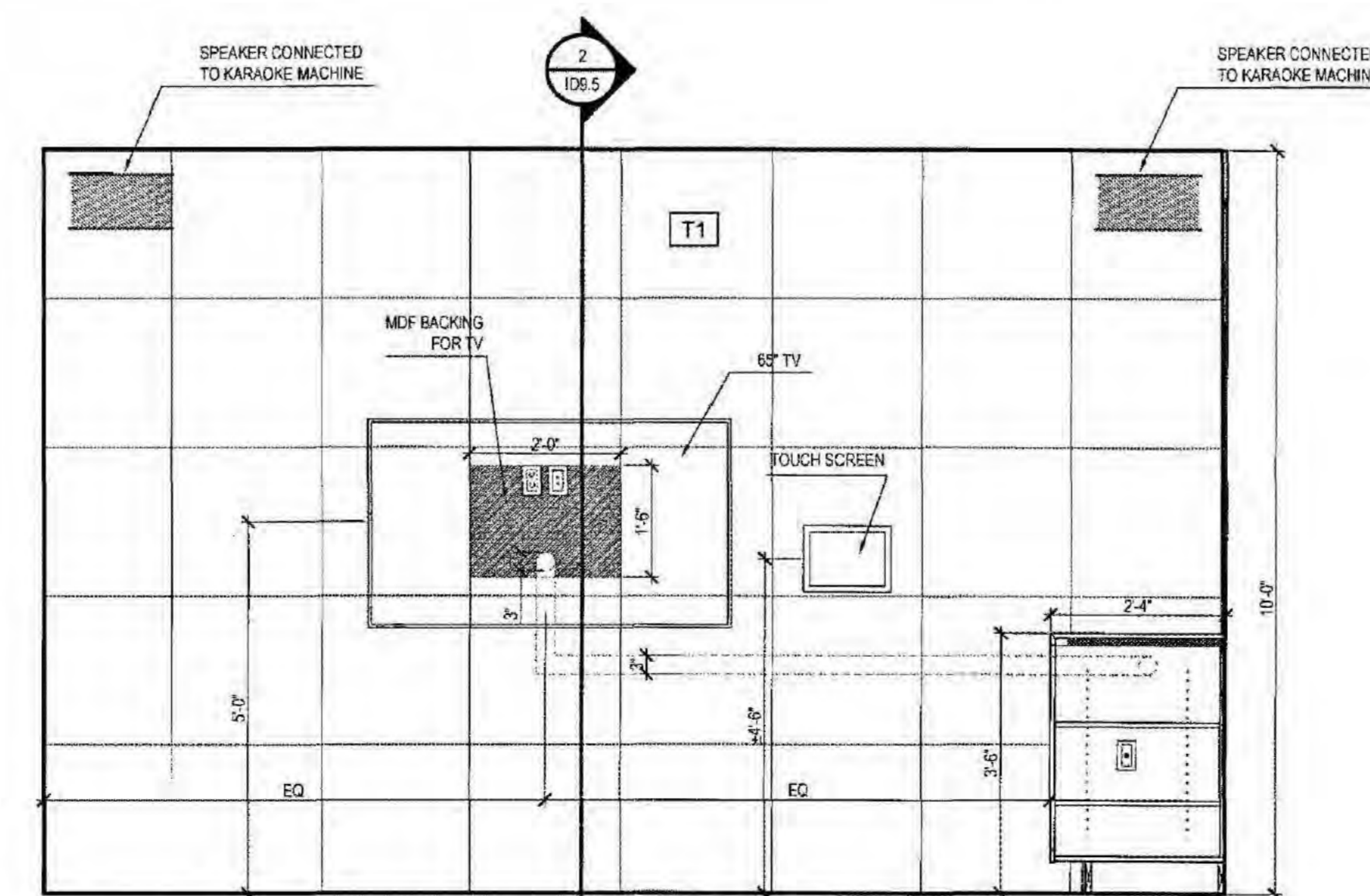
7 ELEVATION - SMALL KARAOKE ROOM #5
Scale: 1/2"=1'-0"



8 ELEVATION - SMALL KARAOKE ROOM #6
Scale: 1/2"=1'-0"



9 ELEVATION - SMALL KARAOKE ROOM #6
Scale: 1/2"=1'-0"



10 ELEVATION - SMALL KARAOKE ROOM #7
Scale: 1/2"=1'-0"

MILLWORK GENERAL NOTES
* REFER TO ID.1 FINISHES & MILLWORK KEY NOTES AND MILLWORK GENERAL NOTES FOR FINISH DETAILS.

Architeller
690-838 West Hastings Street
Vancouver, BC V6C 0A6
E: dwong@architeller.com
T: 604.773.2068

CONCRETE
Cashmere
DESIGNS
E: info@concretecashmere.com
T: +1(604).506.9234
www.concretecashmere.com

This drawing and proposal are provided to guide the contractor in the provision of general design. Contractor is to ensure that all codes and local ordinances are complied with, it is the contractor's responsibility to provide all engineering required for health and safety code compliance. All mechanical, electrical and structural detail and specifications are to be specified by others. Any further documents must be confirmed in writing and approved by Concrete Cashmere Design. This drawing is the exclusive property of Concrete Cashmere Design and cannot be used or reproduced without written permission. Written permission shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions prior to any work being commissioned or executed. Please refer any question in respect to dimensions to Concrete Cashmere Design.

DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR TO CONSTRUCTION.

CLIENT'S APPROVAL FOR CONSTRUCTION

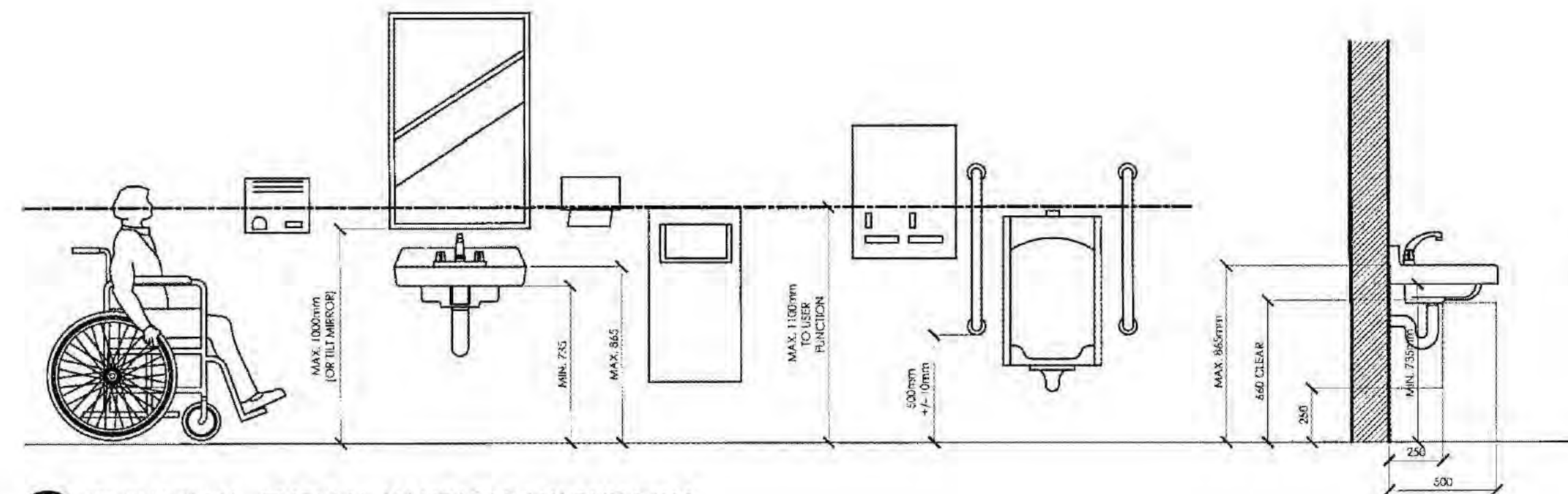
CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BY-LAW NO. 3315
DP - 2020 - 00230
APPROVED SUBJECT TO CONDITIONS BY THE DATE APR 07 2020 DEPARTMENT OF PLANNING

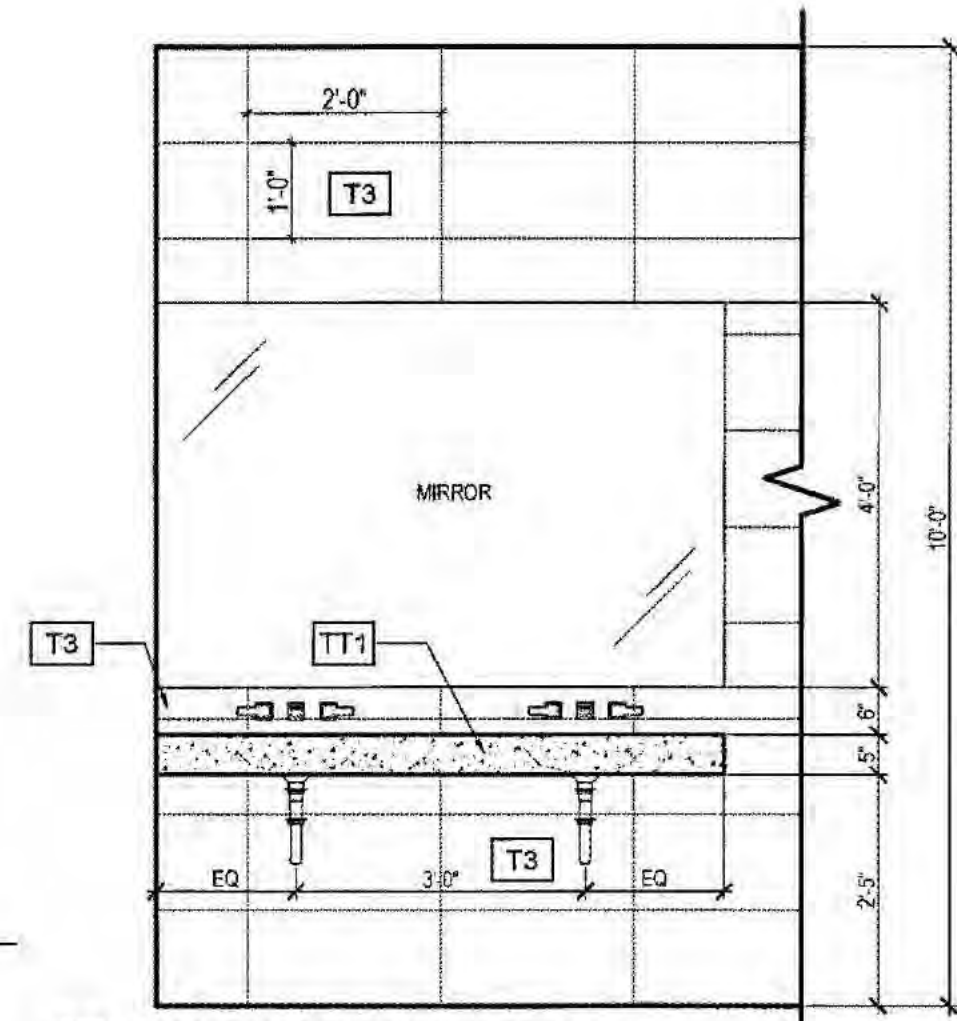
RECEIVED
CITY OF VANCOUVER
MAR 20 2020
DEVELOPMENT BUILDINGS & LICENSING

DATE	DESCRIPTION
08.19.18	IFP
07.24.18	IFP
08.02.18	IFP
09.04.18	Issued for review
09.17.18	IFP
10.17.18	IFP
11.09.18	Issued for construction
12.18.18	Issued for construction
12.20.18	IFP
02.07.19	IFP

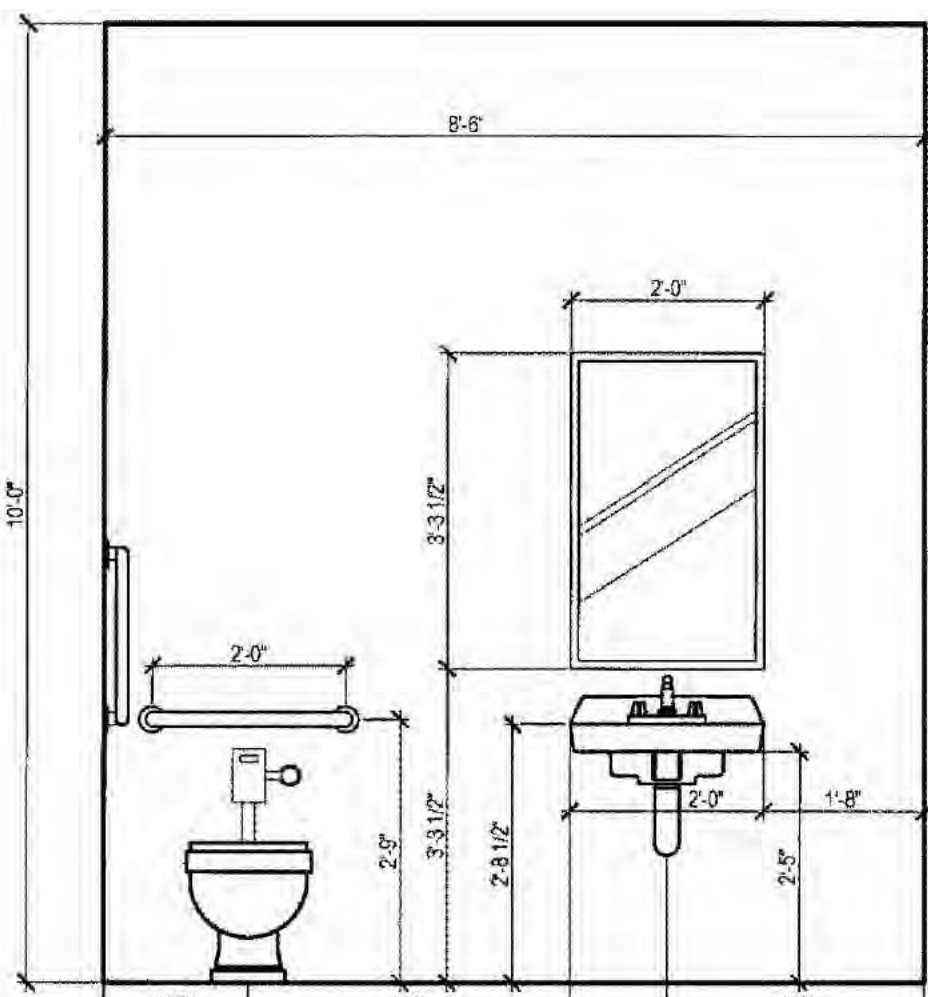
DRAWING NO. **ID9.3**



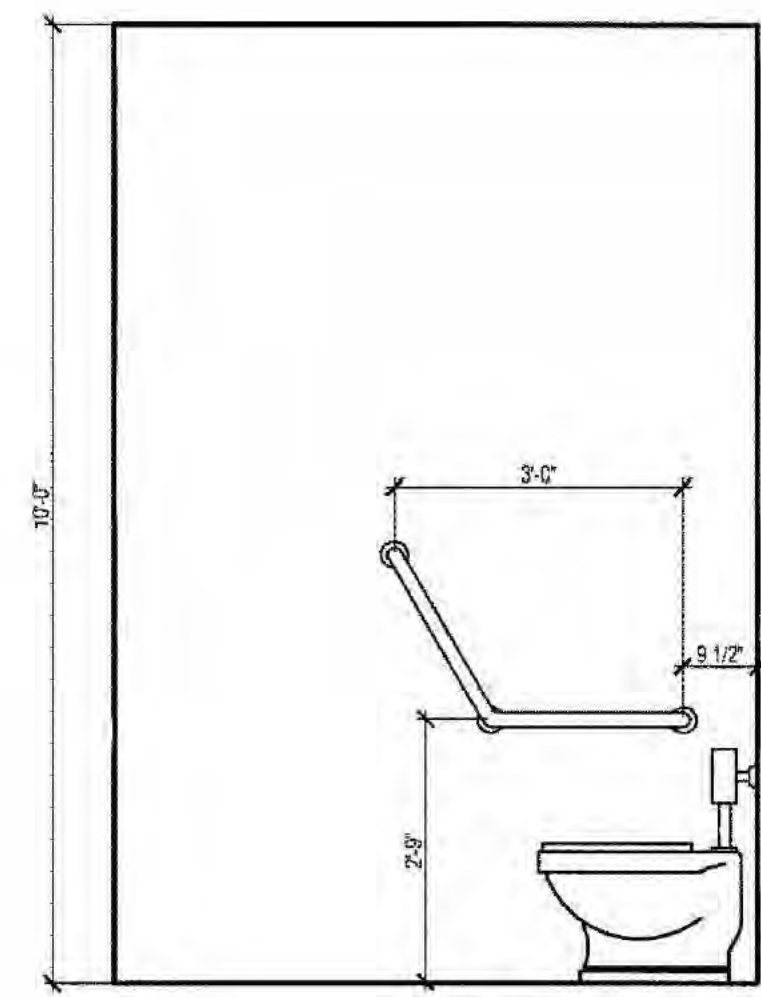
1 ELEVATION - TYPICAL HANDICAP WASHROOM
Scale: 1/2"=1'-0"



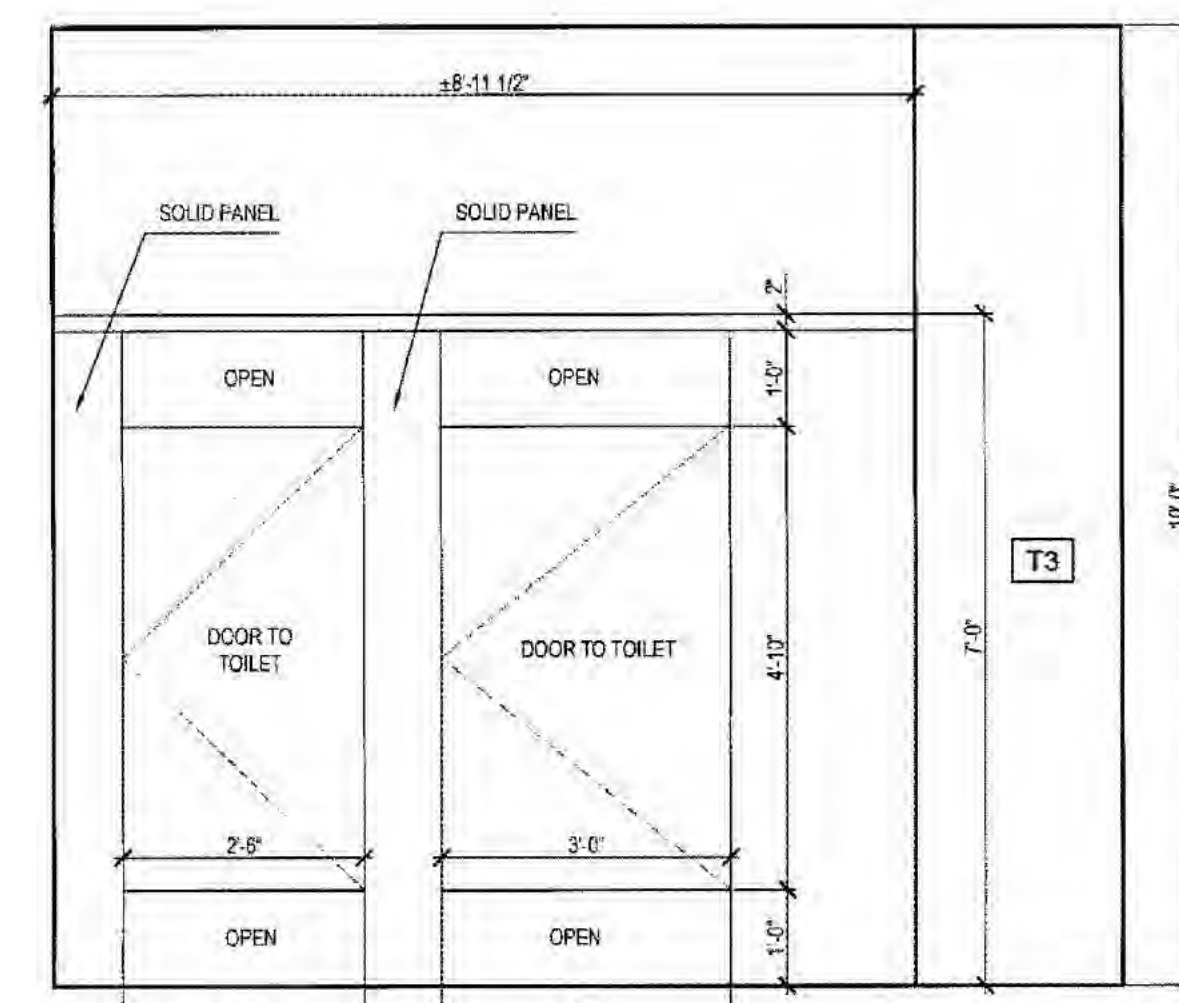
2 ELEVATION - SINKS
Scale: 1/2"=1'-0"



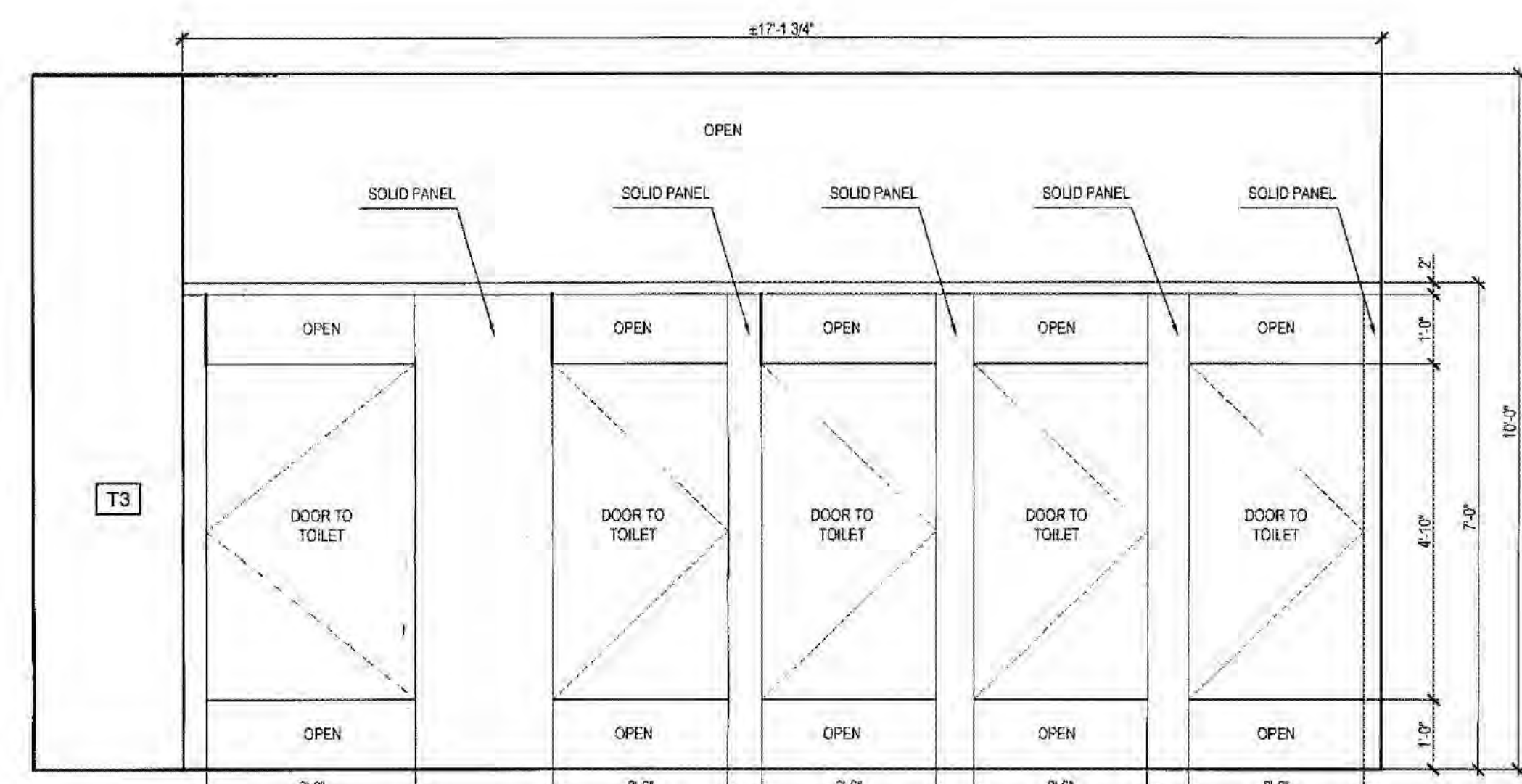
3 ELEVATION - ACCESSIBLE WASHROOM
Scale: 1/2"=1'-0"



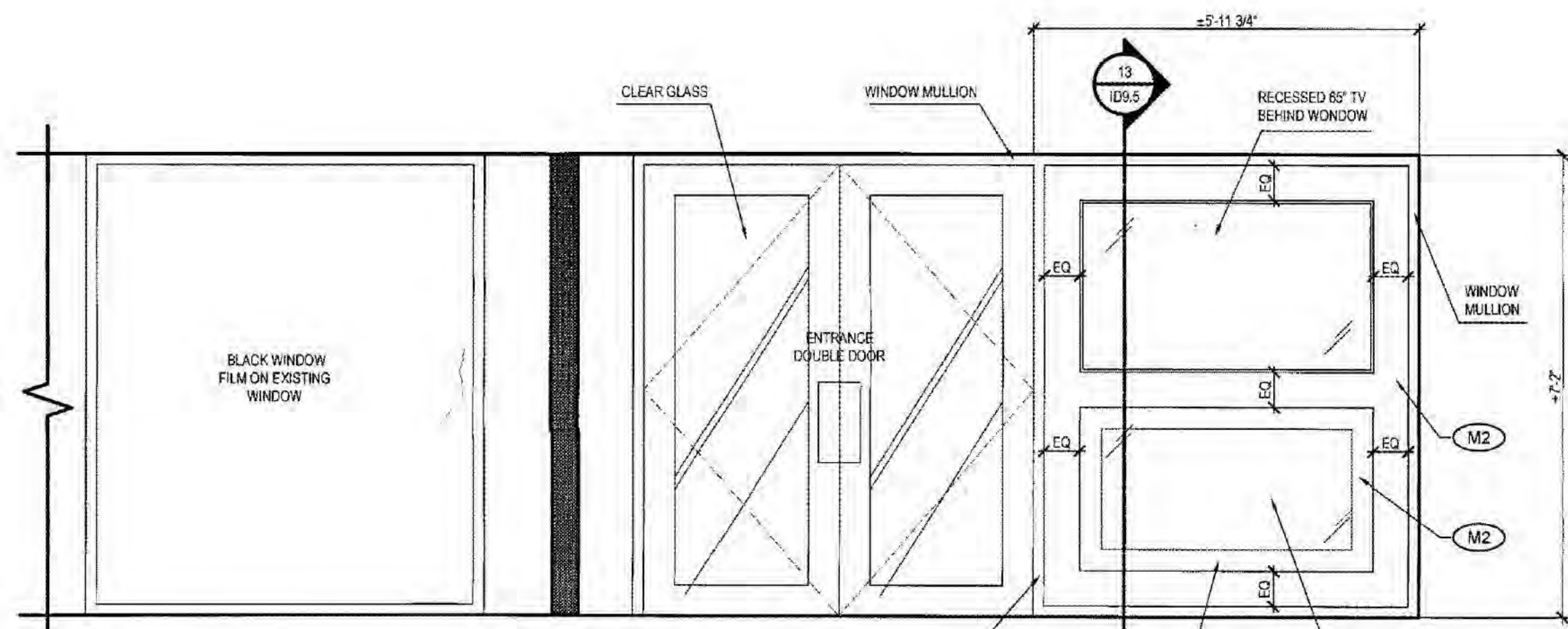
4 ELEVATION - ACCESSIBLE WASHROOM
Scale: 1/2"=1'-0"



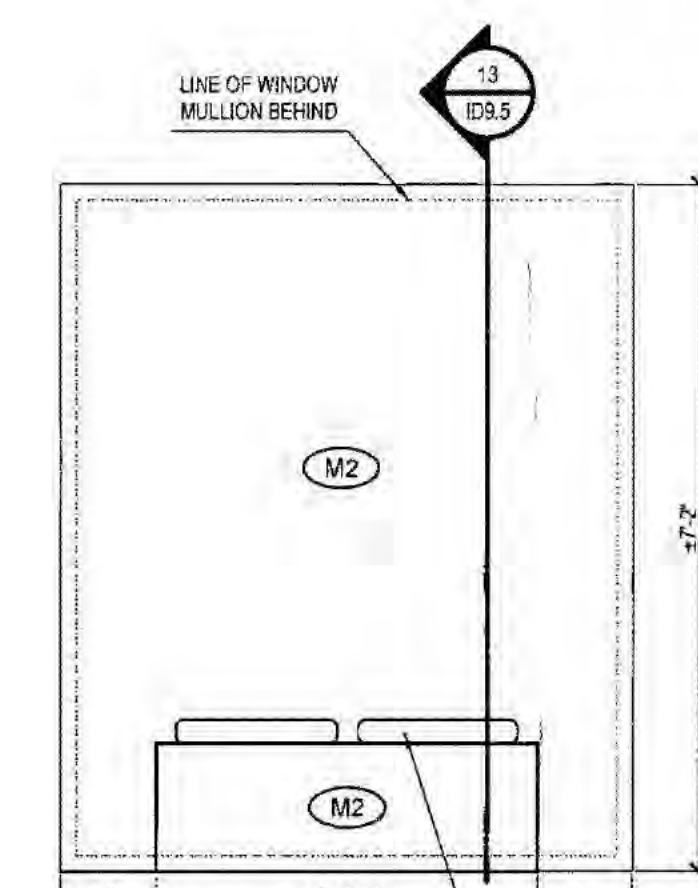
5 ELEVATION - TOILET PARTITION
Scale: 1/2"=1'-0"



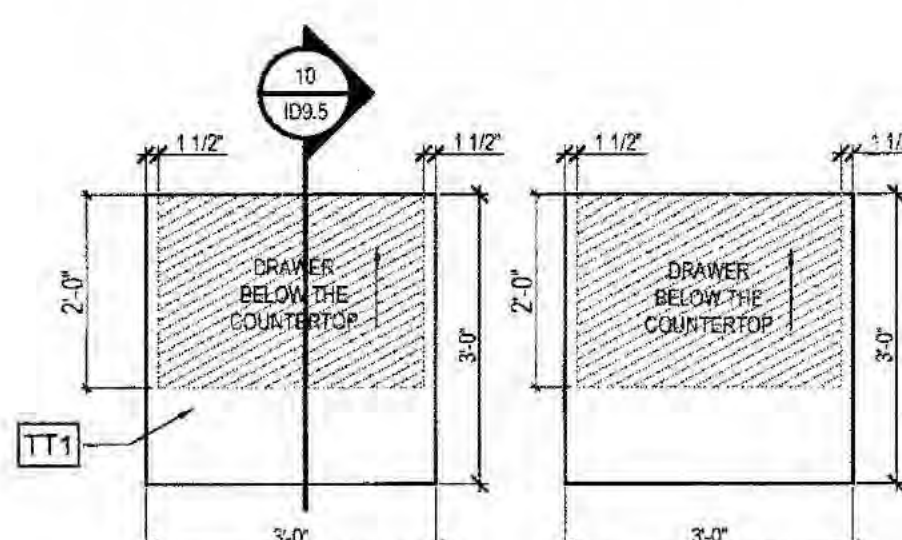
6 ELEVATION - TOILET PARTITION
Scale: 1/2"=1'-0"



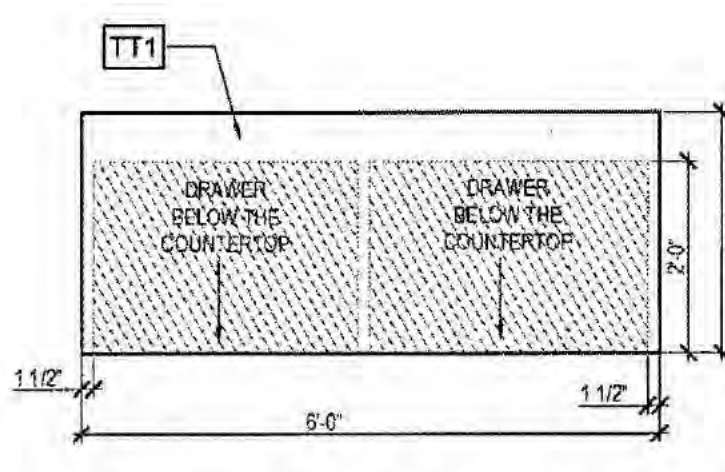
7 ELEVATION - FRONT ENTRY
Scale: 1/2"=1'-0"



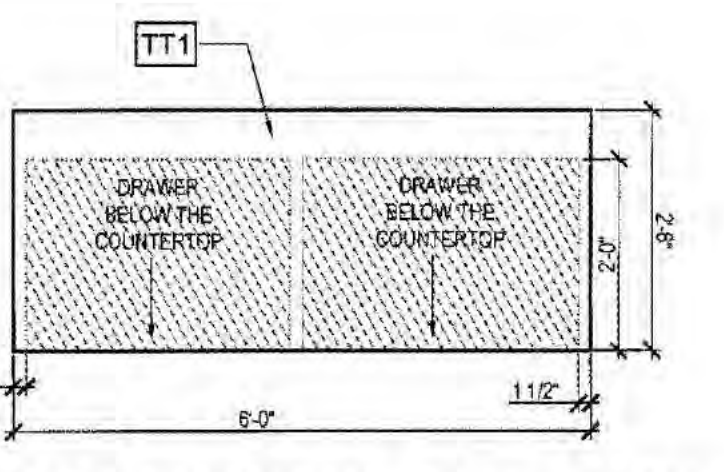
8 ELEVATION - FRONT ENTRY
Scale: 1/2"=1'-0"



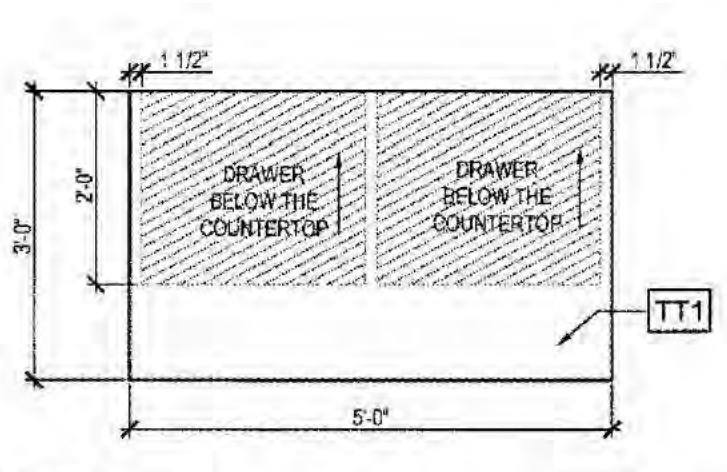
9 CUSTOM TABLE PLAN - ROOM #3
Scale: 1/2"=1'-0"



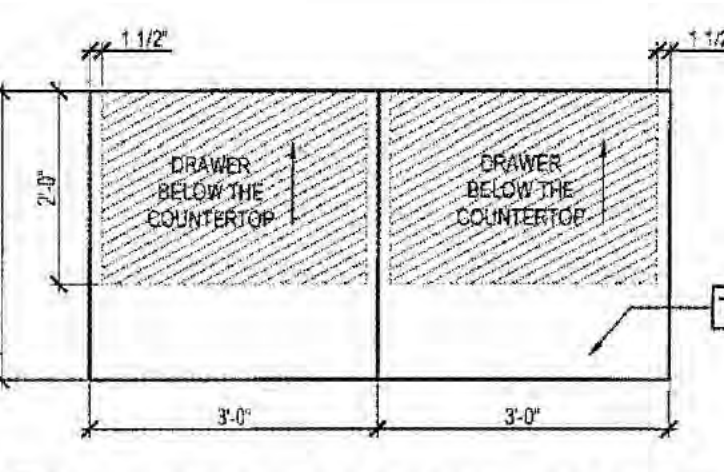
10 CUSTOM TABLE PLAN - ROOM #4
Scale: 1/2"=1'-0"



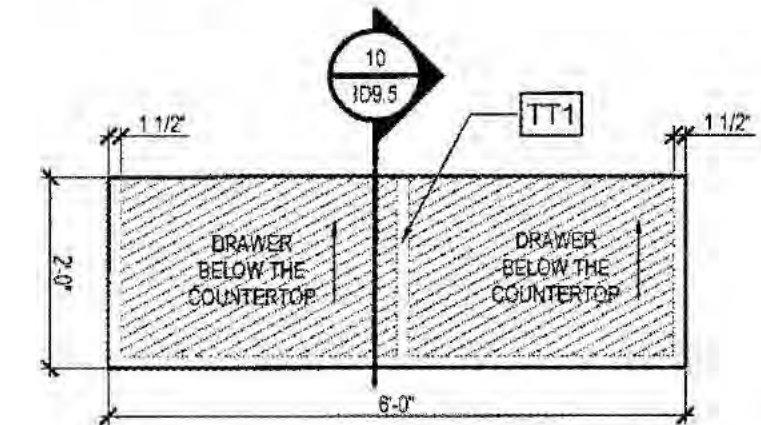
11 CUSTOM TABLE PLAN - ROOM #5
Scale: 1/2"=1'-0"



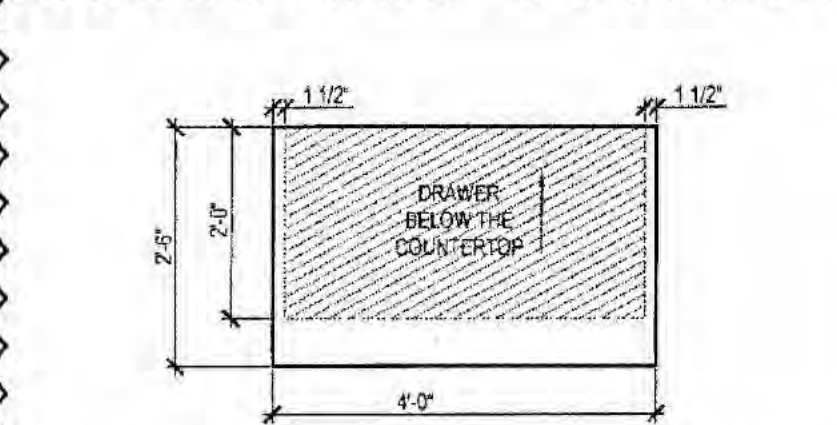
12 CUSTOM TABLE PLAN - ROOM #6
Scale: 1/2"=1'-0"



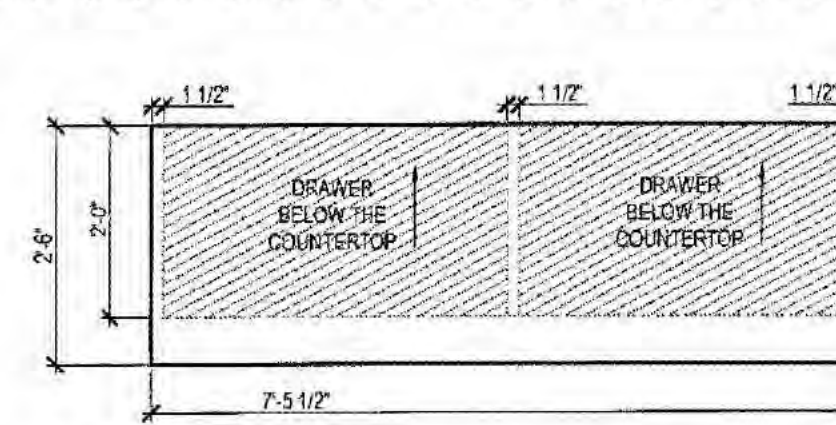
13 CUSTOM TABLE PLAN - ROOM #7
Scale: 1/2"=1'-0"



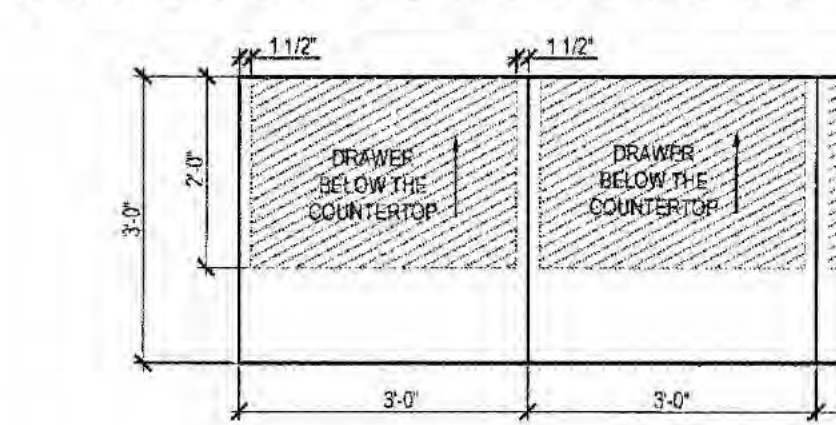
14 CUSTOM TABLE PLAN - ROOM #8
Scale: 1/2"=1'-0"



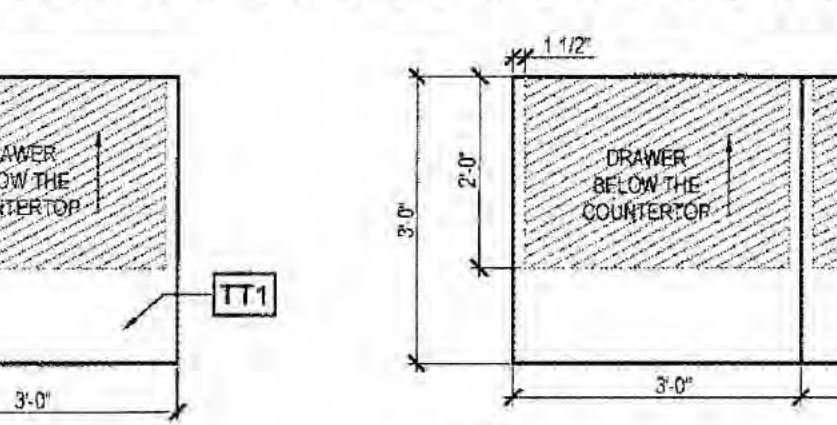
15 CUSTOM TABLE PLAN - ROOM #9
Scale: 1/2"=1'-0"



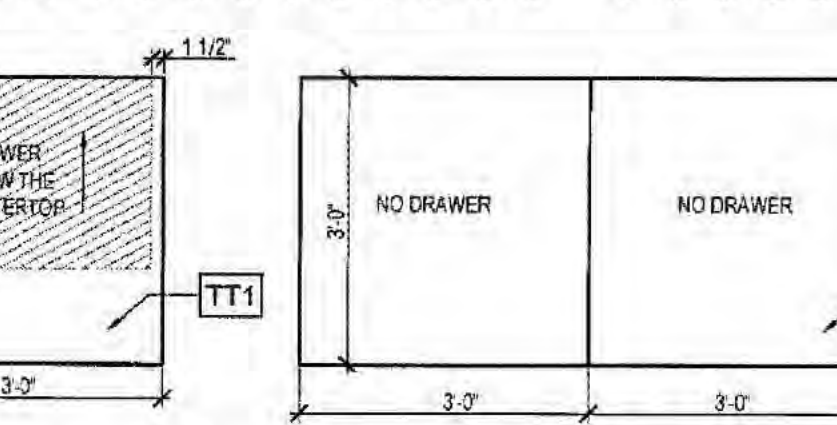
16 CUSTOM TABLE PLAN - ROOM #10
Scale: 1/2"=1'-0"



17 CUSTOM TABLE PLAN - ROOM #11
Scale: 1/2"=1'-0"



18 CUSTOM TABLE PLAN - ROOM #12
Scale: 1/2"=1'-0"



19 CUSTOM TABLE PLAN - ROOM #13
Scale: 1/2"=1'-0"

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BY-LAW NO. 3878
DP - 2020 - 00230
APPROVED SUBJECT TO CONDITIONS BY THE
DIRECTOR OF PLANNING
DATE: APR 17 2020

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CITY OF VANCOUVER
MAR 26 2020
DEVELOPMENT
BUILDINGS & LICENSING

MILLWORK GENERAL NOTES
REFER TO (D9.1) FINISHES & MILLWORK KEY NOTES AND MILLWORK
GENERAL NOTES FOR FINISH DETAILS.

Architeler
680 - 838 West Hastings Street
Vancouver, BC V6C 0A6
E: dwong@architeler.com
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CONCRETE
Cashmere
DESIGNS
E: info@concretecashmere.com
T: +1 (604) 506-9234
www.concretecashmere.com

This drawing and proposal are provided to guide the contractor in the provision of general design. Contractor is to ensure that all codes and local ordinances are complied with, it is the contractor's responsibility to provide all engineering required for Health and Safety code compliance. All mechanical, electrical, and plumbing work and specifications are to be specified by others. Any further documents must be confirmed in writing and approved by Concrete Cashmere Design. This drawing is the exclusive property of Concrete Cashmere Design and cannot be used or reproduced without written permission. When dimensions shall have precedence over notes and dimensions. Contractor shall verify and be responsible for all dimensions and conditions prior to any work being commenced or executed. Please refer any question in respect to dimensions to Concrete Cashmere Design.

DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR TO CONSTRUCTION.

CLIENT'S APPROVAL FOR CONSTRUCTION

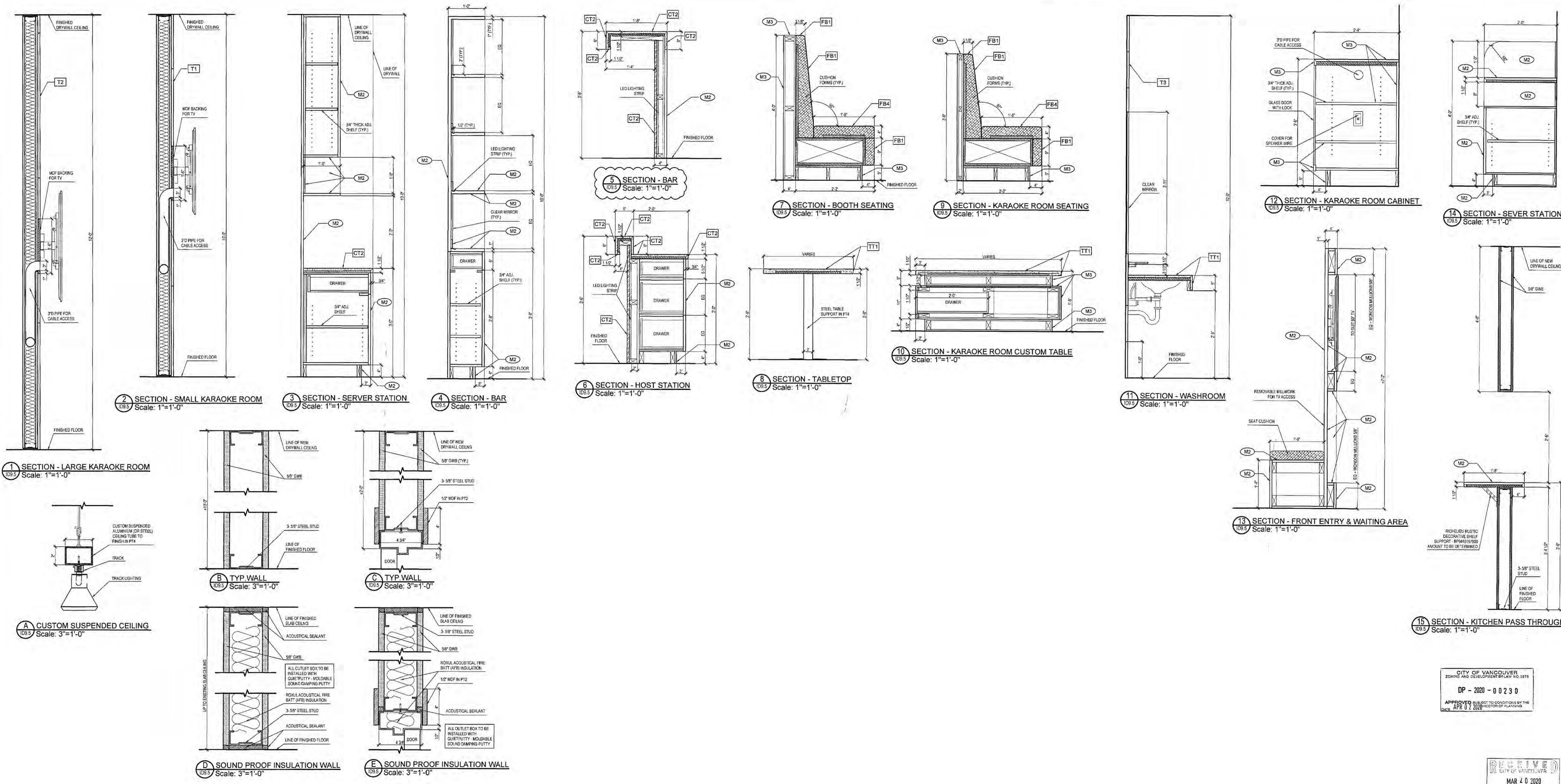
CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE: APRIL 27 2018
SCALE: AS NOTED
DRAWN BY: AYAN CHEN & JESSICA HAGG
PROJECT NUMBER: 18016
DRAWING TITLE: ELEVATION

DRAWING ISSUE HISTORY:

No.	Date	Description
01	08.18.18	IFP
02	07.24.18	IFP
03	08.02.18	IFP
04	09.04.18	Issued for review
05	09.17.18	IFP
06	10.17.18	IFP
07	11.09.18	Issued for construction
08	12.16.18	Issued for construction
09	12.20.18	IFP
10	02.07.19	IFP

DRAWING NO. **ID9.4**



The drawing and proposal are provided to guide the contractor in the provision of general design. Contractor is to ensure that all codes and local ordinances are complied with. It is the contractor's responsibility to provide all engineering required for health and safety code compliance. All mechanical, electrical and structural detail and specifications are to be specified by others. Any further documents must be confirmed in writing and approved by Concrete Cashmere Design. This drawing is the exclusive property of Concrete Cashmere Design and cannot be used or reproduced without written permission. Within dimensions shall have precedence over noted dimensions. Contractor shall verify and be responsible for all dimensions and conditions prior to any work being commenced or executed. Please refer any question in respect to dimensions to Concrete Cashmere Design.

DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR TO CONSTRUCTION.

CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE: APRIL 27 2018
SCALE: AS NOTED
DRAWN BY: AVAN CHEN & MELISSA HADJO
PROJECT NUMBER: 18016

DETAIL

NO.	Date	Description
01	06.19.18	IFP
02	07.24.18	IFP
03	08.02.18	IFP
04	09.04.18	Issued for review
05	09.17.18	IFP
06	10.17.18	IFP
07	11.09.18	Issued for construction
08	12.18.18	Issued for construction
09	12.20.18	IFP
10	02.07.19	IFP

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BY-LAW NO. 1875
DP - 2020 - 00230
APPROVED SUBJECT TO CONDITIONS BY THE
DATE APR 07 2020 DIRECTOR OF PLANNING

RECEIVED
CITY OF VANCOUVER
MAR 4 0 2020
DEVELOPMENT BUILDINGS & PLANNING



DEVELOPMENT, BUILDINGS, AND LICENSING
Development Services
Development Review Branch

Please complete and submit this form, along with a cheque (payable to the City of Vancouver, including Development Permit Number on memo line) to the following address:

c/o Permit Extension & Renewal Coordinator
Development Services, West Annex
515 West 10th Avenue
Vancouver, BC V5Z 4A8

To pay in person, please complete and bring this form, along with payment, to concierge at the Development and Building Services Centre (Ground Floor - West Annex, 515 West 10th Avenue).

Date: NOV. 26th, 2021

Property Address: #200-1001 W. BROADWAY Development Permit #: DP-2020-00230
DP-2020-00238

I am requesting: an extension/renewal of the validity an extension to the time limitation

Considerations
or Rationale
for Request:

Contact Name: RAYMOND HUYNH

Company Name: 1111539 BC LTD.

Mailing Address: s.22(1)

Address Line 1

~~VANCOUVER BC~~, s.22(1) s.22(1)

Address Line 2

VANCOUVER BC s.22(1)

City

Province

Postal Code

Phone Number: s.22(1) Alternate: _____

Email Address: s.22(1)

INTERNAL USE ONLY

Date Payment Processed: December 2, 2021 Receipt Number: R360097 If applicable, Cheque # ↓

Amount Received: \$ 780.00 Staff Initials: ss

Please send original form to Permit Extension & Renewal Coordinator

May 20, 2022

c/o Raymond Huynh
1111539 BC Ltd.

s.22(1)

Vancouver, BC s.22(1)

RE 1001 W BROADWAY
Development Permit Number DP-2020-00230 & DP-2020-00238

Thank you for your request for an extension of the time limitation of the above-noted Development Permit.

On behalf of the Director of Planning, your request is granted, to retain the use of a Neighbourhood Public House (Liquor Establishment Class-4), with Karaoke, as per Council Resolution dated February 12, 2020, and including the use of an outdoor seating area in conjunction with the Neighbourhood Public House, in this existing commercial building on this site, for a further period of time **expiring on September 14, 2022**, unless extended in writing by the Director of Planning and subject to the following conditions:

- Food service is to be provided while the establishment is operating and to be available on the patio when open;
- The applicant must obtain approvals for, and adhere to, all applicable Provincial Liquor Licensing requirements;
- The establishment will monitor the activity of patrons outside the establishment, particularly at closing time, to ensure orderly dispersal and to ensure that the patrons do not disturb the peace, quiet and enjoyment of the neighbourhood;
- There is to be no amplified music on the outdoor seating area at anytime;
- The outdoor seating area must be closed and cleared of customers by 11:00 p.m.;
- A maximum of 182 persons capacity for the outdoor patio;
- No music or entertainment permitted on the patio;
- Applicant to adhere to the Good Neighbour Agreement dated February 18, 2020, and signed by Raymond Huynh;

- The outdoor seating area must comply with the applicable provisions of the Health By-law, smoking in and around the outdoor patio area is not permitted;
- Operator/Owner of the premise must ensure that the operation is in compliance with all relevant sections of the Noise Control By-law No. 6555;
- Operator must comply with the Health By-law in regards to smoking restrictions;
- A Neighbourhood Liaison shall be made available to whom complaints may be directed about any aspects of this operation. The Neighbourhood Liaisons are: Ryan Roopnarine and Raymond Huynh, who can be reached at 604.336.9330 or Info@privevancouver.com;
- The Letter of Operation received March 24, 2022 forms part of this permit approval; and
- The site shall comply with relevant Provincial and City by-law with respect to COVID-19 (Novel Coronavirus) Orders, Notices and Guidance.

Note to Applicant: It is the applicant's responsibility to submit an application for an extension on or before the expiry date, or a new development application will be required.

Please note that this approval, given under the Zoning and Development By-law, does not in any way represent or guarantee compliance with any other by-law of the City of Vancouver.

Yours truly,



Samantha Senechal
Permit Extension/Renewal Coordinator
Development Review Branch

Samantha.Senechal@vancouver.ca
(604) 873-7717

November 1, 2023

c/o Raymond Huynh
1111539 B.C. LTD
PRIVE
1001 W BROADWAY
Vancouver, BC V6H 4B1

Dear Raymond Huynh:

RE 1001 W BROADWAY
Development Permit Number DP-2020-00230 & DP-2020-00238

Thank you for your request for an extension of the time limitation of the above-noted Development Permits.

On behalf of the Director of Planning, your request is granted, to retain the use of the Neighbourhood Public House, (Liquor Establishment Class-4), with Karaoke, and including the use of the Outdoor Seating Area, as per Council Resolution dated February 12, 2020, in this existing commercial building on this site for a further period of time, **expiring on September 14, 2024**, unless extended in writing by the Director of Planning and subject to the following conditions:

- Operator/Owner of the premise must ensure that the operation is in compliance with all relevant sections of the Noise Control By-law No. 6555;
- The establishment will monitor the activity of patrons outside the establishment, particularly at closing time, to ensure orderly dispersal and to ensure that the patrons do not disturb the peace, quiet and enjoyment of the neighbourhood;
- Patron participation including Karaoke, is prohibited between 12:00 a.m. (midnight) and 9:00 a.m.;
- The applicant must obtain approvals for, and adhere to, all applicable Provincial Liquor Licensing requirements;
- A neighbourhood liaison shall be made available to whom complaints may be directed about any aspects of this operation. The Neighbourhood Liaisons are: Ryan Roopnarine and Raymond Huynh, who can be reached at 604.336.9330 or Info@privevancouver.com;

• The Letter of Operation received March 24, 2022 forms part of this permit approval;

• Food service to be available while the establishment is operating and available on the patio when open;

• A maximum interior capacity of 319 persons;

• Standard hours of operation limited to 11:00 a.m. to 12:00 a.m. (midnight), Sunday to Thursday, 11:00 a.m. to 1:00 a.m., Friday and Saturday for a minimum of six months;

• Applicant to adhere to the Good Neighbour Agreement dated February 18, 2020, and signed by Raymond Huynh;

• The outdoor seating area must comply with the applicable provisions of the Health By-law, smoking in and around the outdoor patio area is not permitted;

• The outdoor patio ceasing all liquor service and vacated by 11:00 p.m. nightly;

• A maximum of 182 persons capacity for the outdoor patio;

• No amplified music or entertainment permitted on the outdoor seating area at anytime; and

• The site shall comply with relevant Provincial and City by-law with respect to COVID-19 (Novel Coronavirus) Orders, Notices and Guidance.

Note to Applicant: It is the applicant's responsibility to submit an application for an extension on or before the expiry date, or a new development application will be required.

Please note that this approval, given under the Zoning and Development By-law, does not in any way represent or guarantee compliance with any other by-law of the City of Vancouver.

Yours truly,



Ariene Tio,
Permit Extension/Renewal Coordinator

ariene.tio@vancouver.ca
(604) 873-7717

Raymond Huynh
Privé Kitchen + Bar
Mar 18th, 2020

City of Vancouver
Building Permit Department
453 West 12th Ave
Vancouver, BC V6C 0A6

To whom it may concern:

Privé Kitchen + Bar located at Unit 200 – 1001 West Broadway will serve pub style food and drinks for casual dining and karaoke patron participation entertainment. There will be live sports programming entertainment on the televisions in the dining area daily. The hours of operations are 11:00 am to 1:00 am from Sunday to Thursday and 11:00 am to 2:00 on Friday and Saturday. The restaurant will have a full kitchen to prepare and serve as a food primary establishment that also serves alcohol. There will be 20 to 30 employees however only 10 -12 staff will be working at a time. The location has a connected outdoor patio that will be open seasonally with a maximum occupancy (based on area) of 182 people. The patio will be a garden style lounge. Inside the restaurant there are 12 private dining rooms of various sizes with Karaoke interactive entertainment, combined with the dining area there is a maximum occupancy (based on area) of 361 people. The karaoke will end at midnight as it is patron participation entertainment. We will provide private accessible washrooms for the larger Karaoke rooms to add to the exclusivity of the private room experience. We are currently operating as a food primary license but are waiting for our liquor primary license to get approved. Once we are approved, we are planning to keep our kitchen open and will be serving food from opening to close.

Sincerely,
Raymond Huynh
Business Owner



DP-2020-00238: Issued (Development Review Branch - Addition / Alteration - To use the existing outc
 1001 W BROADWAY, Vancouver, BC V6H 4B1 (Raymond Huynh)

Issue Date: Apr 3, 2020

Created Date:

Expiration Date: Sep 14, 2024


Completed Date:

Applicant / Location	Details	Application Documents	Processes	Subjobs	Reviews	Fees & Payments	Terms	Conditions	Warnings	Notifications	File Notes	Time	
Mar 20, 2020	04(b) - Alt or Change Use Non 1/2 FD - Conditional					3,300.00		3,300.00	0.00			3,300.00	0.00
Oct 6, 2021	13(b) - Renewal Time Limited - Other					780.00		780.00	-780.00			0.00	0.00
Aug 8, 2022	13(b) - Renewal Time Limited - Other					819.00		819.00	-819.00			0.00	0.00
Sep 7, 2022	13(b) - Renewal Time Limited - Other					819.00		819.00	-819.00			0.00	0.00
Aug 9, 2023	13(b) - Renewal Time Limited - Other					860.00		860.00	-860.00			0.00	0.00
											Balance:	0.00	

Payment Distributions

+ New Export

Date	Receipt	Payer	Fee Description	Method	Reference / Reason	Amount
Mar 20, 2020	→ R268407	Raymond Huynh	04(b) - Alt or Change Us...	Tempest POS	Tempest Batch: 113965 Receipt: 19	3,300.00

 DP-2020-00230: Issued (Development Review Branch - Addition / Alteration - Interior alterations and
1001 W BROADWAY, Vancouver, BC V6H 4B1 (Raymond Huynh)

Issue Date: Created Date:
Expiration Date: Completed Date:

+	Applicant / Location	Details	✓ Application Documents	Processes	✓ Subjobs	✓ Reviews	Fees & Payments	✓ Terms	Conditions	⚠ Warnings	Notifications	✓ File Notes
	Mar 18, 2020	04(b) - Alt or Change Use Non 1/2 FD - Condi...				7,700.00		7,700.00	0.00		7,700.00	0.00
	Oct 6, 2021	13(b) - Renewal Time Limited - Other				780.00		780.00	0.00		780.00	0.00
	Aug 8, 2022	13(b) - Renewal Time Limited - Other				819.00		819.00	-819.00		0.00	0.00
	Aug 9, 2023	13(b) - Renewal Time Limited - Other				860.00		860.00	0.00		860.00	0.00
											Balance:	0.00

Payment Distributions

  Export

Date	Receipt #	Payer	Fee Description	Method	Reference / Reason	Amount
Mar 20, 2020	→ R268406	RAYMOND HUYNH	04(b) - Alt or Change Us...	Tempest POS	Tempest Batch: 113965 Receipt: 19	7,700.00
Dec 2, 2021	→ R360097	Raymond Huynh	13(b) - Renewal Time Li...	Credit Card	1638481360xrhDKcaLBFXnB6m	780.00
Sep 13, 2023	→ R473589	Raymond Huynh	13(b) - Renewal Time Li...	Tempest POS	Tempest Batch: 147202 Receipt: 17	860.00

As Of: Jul 11, 2024 16:50:27

Development Permit: DP-2020-00230: Issued

Address Change Requested?	No
Amendment In Progress	
Applicant Role	Tenant
Approval Type	Conditional
Being Converted to Strata Title Ownership	No
Building Permit Required	No
Completed Date	
Contaminated Soil information related to property	No
Contaminated Soils on Property	No
Decision Date	
Description	<p>Development Review Branch - Addition / Alteration - Interior alterations and to change the use from a Restaurant Class-2 to a Neighbourhood Public House, (Liquor Establishment Class-4), with Karaoke, as per Council Resolution dated February 12, 2020, in this existing commercial building on this site. The approval is for a limited period of time expiring on September 14, 2021, unless extended in writing by the Director of Planning.</p> <p>Including the Acoustical Report dated September 10, 2018, from Bap Acoustics.</p>
Enforcement Related	N
Expiration Date	Sep 14, 2024 00:00:00
Fee Discount	No Discount
Fee Estimate	N
Fee Items Last Changed Date	Mar 18, 2020 20:51:52
Green Building Flag	
Green Building Standard Other	
Invoice Due Date	
Issue Date	Apr 2, 2020 00:00:00
Job Location	
Location Type	Addressed
My Reference Number	
Non-Profit Organization Number	
Parent Job (Internal ID)	
PRISM BU Permit Number	

PRISM DB Permit Number
PRISM DE Permit Number
Reason for Withdrawal
Requested Address
Temporary Use End Date
Temporary Use Start Date
Type Of Work
Work Description

Sep 14, 2024 00:00:00

Mar 26, 2020 00:00:00

Addition / Alteration

Interior alterations and to change the use from a Restaurant Class-2 to a Neighbourhood Public House, (Liquor Establishment Class-4), with Karaoke, as per Council Resolution dated February 12, 2020, in this existing commercial building on this site. The approval is for a limited period of time expiring on September 14, 2021, unless extended in writing by the Director of Planning.

Including the Acoustical Report dated September 10, 2018, from Bap Acoustics.

zzzMetric Discount

Notes

General Note (Unlocked)

From: So, Mandy <mandy.so@vancouver.ca>

Sent: Monday, August 08, 2022 1:31 PM

To: Tio, Arlene <arlene.tio@vancouver.ca>

Cc: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>

Subject: RE: 1001 W Broadway (DP-2020-00230 & DP-2020-00238) - PRIVE

Hi Arlene,

I appreciate the information. Please extend the DP for a year as per Analiza's suggestion. Thanks.

Mandy So

Manager, Development Review Branch

Development, Building & Licensing

Ph: 604.871.6080

mandy.so@vancouver.ca

From: Tio, Arlene <arlene.tio@vancouver.ca>

Sent: Monday, August 8, 2022 10:34 AM

To: So, Mandy <mandy.so@vancouver.ca>

Cc: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>

Subject: 1001 W Broadway (DP-2020-00230 & DP-2020-00238) - PRIVE

Good morning Mandy,

We discussed the above address in the last DP meeting and we had some concerns with the above establishment. I checked with Analiza re the above address to find out how PRIVE is doing in terms of noise complaints lately. The latest noise complaint was received in July 2022 with regards to noise on the patio and the citizen thinks its from the outdoor speakers.

General Note (Unlocked)

Processes

Completeness Check (Completed on Mar 18, 2020 20:57:15 by Claudia Hicks with outcome "Complete Online Submission")

Actual Start Date

Amendment

Applicant Contacted

N

Date Completed

Mar 18, 2020 20:57:15

Description

Engineering Assistant

N

Not Accepted Reason

Outcome

Complete Online Submission

Override Review Condition

N

RequiredInformation

Response To Additional Info Request

Scheduled Complete Date

Scheduled Start Date

Mar 18, 2020 20:47:38

Staff Assigned Id List

Traffic & Data Management

N

UMB - Engineering Assistant

N

Assignments

Claudia Hicks

Analiza was in touch with Raymond and the operator was cooperative when the PUI approached him with the compliant. As per Raymond there was there was an event during that time and with the hot weather, they opened the doors. He will make sure the doors will be closed going forward. Raymond still has not confirmed with the PUI whether he has outdoors speakers on the patio or not; however, Analiza is not too worried about that as she had made it clear that the extension of the DP is dependent on how the establishment operates and the operator is very well aware of this.

PUI also mentioned she prefers we extend PRIVE for one year for now until they have proven themselves, then a longer extension is ok.

Thank you Mandy.

Regards,

(Last updated on Sep 1, 2022 08:43:22 by Arlene Tio)

PUI only willing to support 1 year extension. VPD is also ok with extension as long as conditions stay the same.

(Last updated on Nov 1, 2023 13:14:25 by Arlene Tio)

Relationships

Shadow Process: 120291176

Enter Permit Application (Completed on Mar 24, 2020 12:56:08 by Claudia Hicks with outcome "Submit")

Actual Start Date	
Date Completed	Mar 24, 2020 12:56:08
Description	
Outcome	Submit
Scheduled Complete Date	
Scheduled Start Date	Mar 18, 2020 20:57:15
Staff Assigned Id List	
ToDoListGoToPresentationName	

Assignments

- Claudia Hicks
- Raymond Huynh

Relationships

Shadow Process: 120291515

Completeness Check (Completed on Mar 24, 2020 12:56:18 by Claudia Hicks with outcome "Checked")

Actual Start Date	
Amendment	
Applicant Contacted	N
Date Completed	Mar 24, 2020 12:56:18
Description	
Engineering Assistant	N
Not Accepted Reason	
Outcome	Checked
Override Review Condition	N
RequiredInformation	
Response To Additional Info Request	
Scheduled Complete Date	
Scheduled Start Date	Mar 24, 2020 12:56:08
Staff Assigned Id List	
Traffic & Data Management	N

UMB - Engineering Assistant N

Assignments

Claudia Hicks

Relationships

Shadow Process: 120520381

Select Review Groups (Completed on Mar 24, 2020 12:56:43 by Claudia Hicks with outcome "Selected")

Actual Start Date

Addressing N

Arboricultural

Archaeological Site N

Bonus Density Review N

Building Line N

Building Permit Project Coordinator N

Building Policy N

Comments

Community Care Facilities Licensing N

Contaminated Site

Cultural Spaces N

Date Completed Mar 24, 2020 12:56:43

Description

Development Permit Project Coordinator Y

Development Review Manager N

ECO Review N

Economic Development

Electrical Plan Review N

Energy Utility N

Engineering N

Environmental Review N

Facilities N

Fire and Rescue Services N

Flood Risk N

Heritage N

Housing Policy and Projects	N
Housing Regulation	N
Landscape	N
Landscape Setback	N
Latecomer	
Legal Services	N
Licensing	Y
Mechanical	N
Outcome	Selected
Park Board	N
Parks Maintenance	N
Peat Risk	N
Plumbing Plan Review	N
Police	N
Policy Planner	N
Project Facilitator	N
Public Art	
Real Estate Services	N
Rezoning Planner	N
Scheduled Complete Date	
Scheduled Start Date	Mar 24, 2020 12:56:18
Social Policy and Projects	N
Soil Liquefaction	N
Sprinkler Plan Review	N
SRA Designation	N
Staff Assigned Id List	
Subdivision	N
Sustainability	N
Unstable Soil	N
Urban Development Planner	N
Urban Forestry	N
Vancouver Coastal Health	N

Weather Protection	Y
zzzBonus Density	N
zzzOfficial Development Plan	N

Assignments

Claudia Hicks

Relationships

Shadow Process: 120520440

Reviews Complete (Completed on Mar 26, 2020 16:26:36 by Claudia Hicks with outcome "Incorrect Stream Selected")

Actual Start Date	
Date Completed	Mar 26, 2020 16:26:36
Description	Review Subjob Complete
Outcome	Incorrect Stream Selected
Scheduled Complete Date	
Scheduled Start Date	

Completeness Check (Completed on Mar 26, 2020 16:27:26 by Claudia Hicks with outcome "Checked")

Actual Start Date	
Amendment	
Applicant Contacted	N
Date Completed	Mar 26, 2020 16:27:26
Description	
Engineering Assistant	N
Not Accepted Reason	
Outcome	Checked
Override Review Condition	N
RequiredInformation	
Response To Additional Info Request	
Scheduled Complete Date	
Scheduled Start Date	Mar 26, 2020 16:26:36
Staff Assigned Id List	
Traffic & Data Management	N
UMB - Engineering Assistant	N

Assignments

Claudia Hicks

Relationships

Shadow Process: 120655010

Select Review Groups (Completed on Mar 26, 2020 16:27:55 by Claudia Hicks with outcome "Selected")

Actual Start Date	
Addressing	N
Arboricultural	
Archaeological Site	N
Bonus Density Review	N
Building Line	N
Building Permit Project Coordinator	N
Building Policy	N
Comments	
Community Care Facilities Licensing	N
Contaminated Site	
Cultural Spaces	N
Date Completed	Mar 26, 2020 16:27:55
Description	
Development Permit Project Coordinator	Y
Development Review Manager	N
ECO Review	N
Economic Development	
Electrical Plan Review	N
Energy Utility	N
Engineering	N
Environmental Review	N
Facilities	N
Fire and Rescue Services	N
Flood Risk	N
Heritage	N
Housing Policy and Projects	N
Housing Regulation	N

Landscape	N
Landscape Setback	N
Latecomer	
Legal Services	N
Licensing	N
Mechanical	N
Outcome	Selected
Park Board	N
Parks Maintenance	N
Peat Risk	N
Plumbing Plan Review	N
Police	N
Policy Planner	N
Project Facilitator	N
Public Art	
Real Estate Services	N
Rezoning Planner	N
Scheduled Complete Date	
Scheduled Start Date	Mar 26, 2020 16:27:26
Social Policy and Projects	N
Soil Liquefaction	N
Sprinkler Plan Review	N
SRA Designation	N
Staff Assigned Id List	
Subdivision	N
Sustainability	N
Unstable Soil	N
Urban Development Planner	N
Urban Forestry	N
Vancouver Coastal Health	N
Weather Protection	N
zzzBonus Density	N

Assignments

Claudia Hicks

Relationships

Shadow Process: 120655168

Draft Recommendation (Completed on Mar 26, 2020 16:28:05 by Claudia Hicks with outcome "Recommendation Drafted")

Actual Start Date

Comments

Date Completed

Mar 26, 2020 16:28:05

Description

Outcome

Recommendation Drafted

Scheduled Complete Date

Scheduled Start Date

Mar 24, 2020 12:56:43

Staff Assigned Id List

Assignments

Claudia Hicks

Relationships

Shadow Process: 120520488

Draft Recommendation (Completed on Mar 26, 2020 16:28:11 by Claudia Hicks with outcome "Recommendation Drafted")

Actual Start Date

Comments

Date Completed

Mar 26, 2020 16:28:11

Description

Outcome

Recommendation Drafted

Scheduled Complete Date

Scheduled Start Date

Mar 26, 2020 16:27:55

Staff Assigned Id List

Assignments

Claudia Hicks

Relationships

Shadow Process: 120655216

Reviews Complete (Completed on Mar 26, 2020 16:28:39 by Claudia Hicks with

outcome "Complete")	
Actual Start Date	
Date Completed	Mar 26, 2020 16:28:39
Description	Review Subjob 2 Complete
Outcome	Complete
Scheduled Complete Date	
Scheduled Start Date	

Make Decision (Completed on Mar 27, 2020 09:49:46 by Joe Bosnjak with outcome "Defer or Clarify")

Actual Start Date	
Additional Information	
Addressing	N
Applicant Contacted	N
Approved Amendment Description	
Archaeological Site	N
Building Line	N
Building Permit Project Coordinator	N
Building Policy	N
Comments	
Community Care Facilities Licensing	N
Cultural Spaces	N
Date Completed	Mar 27, 2020 09:49:46
Description	
Development Permit Project Coordinator	N
Development Review Manager	N
ECO Review	N
Electrical Plan Review	N
Energy Utility	N
Engineering	N
Engineering Assistant	N
Engineering Coordination Lead	N
Enhanced Airtightness	
Environmental Review	N

Facilities	N
FASE Officer	
Fire and Rescue Services	N
Flood Risk	N
Heritage	N
Housing Policy and Projects	N
Landscape	N
Landscape Setback	N
Legal Services	N
Licensing	N
Mechanical	N
Outcome	Defer or Clarify
Park Board	N
Parking Management Branch	
Parks Maintenance	N
Peat Risk	N
Plumbing Plan Review	N
Police	N
Policy Planner	N
Project and Quality Management	N
Project Facilitator	N
Real Estate Services	N
Required Information	
Rezoning Planner	N
Scheduled Complete Date	
Scheduled Start Date	Mar 26, 2020 16:28:39
Social Policy and Projects	N
Soil Liquefaction	N
Sprinkler Plan Review	N
SRA Designation	N
Staff Assigned Id List	
Street Activities	

Street Activities Coordinator	N
Street Activities Manager	N
Street Activities Supervisor	N
Street Furniture Manager	N
Subdivision	N
Sustainability	N
Traffic & Data Management	N
Traffic and Data Management	
Transportation Design	
UMB - Engineering Assistant	N
Unstable Soil	N
Urban Development Planner	N
Urban Forestry	N
Vancouver Coastal Health	N
Weather Protection	N
zzzBonus Density	N
zzzOfficial Development Plan	N

Assignments

- David Jung
- Joe Bosnjak
- John Greer
- Mandy So
- Michelle Au
- Sonia Erichsen
- Tony Chen

Relationships

Shadow Process: 120655448

Draft Recommendation (Completed on Mar 27, 2020 10:15:38 by Claudia Hicks with outcome "Recommendation Drafted")

Actual Start Date

Comments

Date Completed

Mar 27, 2020 10:15:38

Description

Outcome

Recommendation Drafted

Scheduled Complete Date

Scheduled Start Date

Mar 27, 2020 09:49:46

Staff Assigned Id List

Assignments

Claudia Hicks

Relationships

Shadow Process: 120675501

Make Decision (Completed on Apr 2, 2020 11:52:54 by Mandy So with outcome "Approved - without Conditions")

Actual Start Date

Additional Information

Addressing

N

Applicant Contacted

N

Approved Amendment Description

Archaeological Site

N

Building Line

N

Building Permit Project Coordinator

N

Building Policy

N

Comments

Community Care Facilities Licensing

N

Cultural Spaces

N

Date Completed

Apr 2, 2020 11:52:54

Description

Development Permit Project Coordinator

N

Development Review Manager

N

ECO Review

N

Electrical Plan Review

N

Energy Utility

N

Engineering

N

Engineering Assistant

N

Engineering Coordination Lead

N

Enhanced Airtightness

Environmental Review	N
Facilities	N
FASE Officer	
Fire and Rescue Services	N
Flood Risk	N
Heritage	N
Housing Policy and Projects	N
Landscape	N
Landscape Setback	N
Legal Services	N
Licensing	N
Mechanical	N
Outcome	Approved - without Conditions
Park Board	N
Parking Management Branch	
Parks Maintenance	N
Peat Risk	N
Plumbing Plan Review	N
Police	N
Policy Planner	N
Project and Quality Management	N
Project Facilitator	N
Real Estate Services	N
Required Information	
Rezoning Planner	N
Scheduled Complete Date	
Scheduled Start Date	Mar 27, 2020 14:05:18
Social Policy and Projects	N
Soil Liquefaction	N
Sprinkler Plan Review	N
SRA Designation	N
Staff Assigned Id List	

Street Activities	
Street Activities Coordinator	N
Street Activities Manager	N
Street Activities Supervisor	N
Street Furniture Manager	N
Subdivision	N
Sustainability	N
Traffic & Data Management	N
Traffic and Data Management	
Transportation Design	
UMB - Engineering Assistant	N
Unstable Soil	N
Urban Development Planner	N
Urban Forestry	N
Vancouver Coastal Health	N
Weather Protection	N
zzzBonus Density	N
zzzOfficial Development Plan	N

Assignments

- Joe Bosnjak
- John Greer
- Mandy So
- Michelle Au
- Sonia Erichsen
- Tony Chen

Relationships

Shadow Process: 120709101

Issue Development Permit (Completed on Apr 2, 2020 12:05:51 by Claudia Hicks with outcome "Issued")

Actual Start Date

Date Completed

Apr 2, 2020 12:05:51

Description

Outcome

Issued

Override Description
Override Outstanding Conditions
Scheduled Complete Date
Scheduled Start Date

N

Apr 2, 2020 11:52:54

Assignments

Claudia Hicks

Relationships

Checklist: Create DCL Item on Details Tab: Create DCL Item on Details Tab as "Required" or "Exemption"

Completed Date

Apr 2, 2020 12:05:52

Completed?

Y

Description

Create DCL Item on Details Tab as "Required" or "Exemption"

Mandatory?

Y

Name

Create DCL Item on Details Tab

Sort Order

1

Print Development Permit (Completed on Apr 2, 2020 12:05:51 by Claudia Hicks with outcome "Printed")

Actual Start Date

Date Completed

Apr 2, 2020 12:05:51

Description

Outcome

Printed

Scheduled Complete Date

Scheduled Start Date

Relationships

Development Permit Document: 121147169

Revisions

Revision 1 created on Apr 2, 2020 12:05:56 by Claudia Hicks

Request Permit Amendment (Completed on Jun 4, 2020 06:31:04 by Claudia Hicks with outcome "Requested")

Actual Start Date

Amendment Description

Liquor Establishment Class 4

Comments

Date Completed

Jun 4, 2020 06:31:04

Description

Outcome
Scheduled Complete Date
Scheduled Start Date
Staff Assigned Id List

Requested
Jun 4, 2020 06:30:55

Assignments

Claudia Hicks

Relationships

Shadow Process: 124342524

Review Amendment (Completed on Jun 4, 2020 06:31:47 by Claudia Hicks with outcome "Accepted - Issue Change Notice")

Actual Start Date
Change Description
Comments
Date Completed
Description
Message To Applicant

Liquor Establishment Class 4
Jun 4, 2020 06:31:47

Outcome
Scheduled Complete Date
Scheduled Start Date
Staff Assigned Id List

Accepted - Issue Change Notice
Jun 4, 2020 06:31:04

Assignments

Claudia Hicks

Relationships

Shadow Process: 124342526

Print Development Permit (Completed on Jun 4, 2020 06:31:47 by Claudia Hicks with outcome "Printed")

Actual Start Date
Date Completed
Description
Outcome
Scheduled Complete Date
Scheduled Start Date

Jun 4, 2020 06:31:47
Printed

Relationships

Development Permit Document: 124342551

Revisions

Revision 1 created on Jun 4, 2020 06:31:55 by Claudia Hicks

Reminder (Completed on Oct 1, 2021 14:47:59 by Natalie Macpherson with outcome "Acknowledged")

Actual Start Date

Comments

Emailed to pick up drawings

Date Completed

Oct 1, 2021 14:47:59

Description

Note

Outcome

Acknowledged

Scheduled Complete Date

Scheduled Start Date

Oct 1, 2021 14:47:50

Staff Assigned Id List

Assignments

Natalie Macpherson

Relationships

Shadow Process: 156382953

Request Permit Extension / Renewal (Completed on Oct 6, 2021 13:11:15 by Samantha Senechal with outcome "Requested")

Actual Start Date

Comments

Date Completed

Oct 6, 2021 13:11:15

Description

Outcome

Requested

Scheduled Complete Date

Scheduled Start Date

Oct 6, 2021 13:11:12

Staff Assigned Id List

Relationships

Shadow Process: 156651502

Reminder (Completed on Oct 13, 2021 08:26:04 by Natalie Macpherson with outcome "Acknowledged")

Actual Start Date

Comments

Requested to be recycled by email from Raymond on 10/12/2021.

Date Completed

Oct 13, 2021 08:26:04

Description

Note

Outcome

Acknowledged

Scheduled Complete Date

Scheduled Start Date

Oct 13, 2021 08:20:13

Staff Assigned Id List

Assignments

Natalie Macpherson

Relationships

Shadow Process: 157140320

Review Time Limited DP (Completed on Oct 26, 2021 11:44:06 by Lynn Wong with outcome "Extension Supported")

Actual Start Date

Applicant Contacted

N

Comments

Date Completed

Oct 26, 2021 11:44:06

Description

DP Reminder Letter sent to apply for extensions for DP-2020-00230 & DP-2020-00238 (under CF-2021-014109)

Outcome

Extension Supported

Scheduled Complete Date

Scheduled Start Date

Jul 16, 2021 01:04:00

Staff Assigned Id List

Assignments

Lynn Wong

Relationships

Shadow Process: 151728822

Pay Fees (Completed on Dec 2, 2021 13:43:10 by Raymond Huynh45030851 with outcome "Paid")

Actual Start Date

Comments

CreatedByProcessId

156651495

Date Completed

Dec 2, 2021 13:43:10

Description

Outcome

Paid

Route Order

Scheduled Complete Date

Scheduled Start Date

Oct 6, 2021 13:11:16

Staff Assigned Id List

Assignments

Raymond Huynh

Relationships

Shadow Process: 156651504

Review Extension / Renewal Request (Completed on May 20, 2022 15:52:52 by Samantha Senechal with outcome "Granted")

Actual Start Date

Applicant Contacted

N

Comments

Date Completed

May 20, 2022 15:52:52

Description

Extension granted until September 14, 2022

ExtensionDetails

New Expiration Date

Sep 14, 2022 00:00:00

Outcome

Granted

Scheduled Complete Date

Scheduled Start Date

Dec 2, 2021 13:43:10

Staff Assigned Id List

Assignments

Samantha Senechal

Relationships

Shadow Process: 161780806

Print Development Permit (Completed on May 20, 2022 15:52:52 by Samantha Senechal with outcome "Printed")

Actual Start Date

Date Completed

May 20, 2022 15:52:52

Description

Outcome

Printed

Scheduled Complete Date

Scheduled Start Date

Relationships

Revisions

Revision 1 created on May 20, 2022 15:52:53 by Samantha Senechal

Expire Permit (Completed on May 20, 2022 15:53:25 by Samantha Senechal with outcome "Extend")

Actual Start Date	
Applicant Contacted	N
Date Completed	May 20, 2022 15:53:25
Description	Expire Permit
Outcome	Extend
Scheduled Complete Date	
Scheduled Start Date	Sep 14, 2022 00:00:00
Staff Assigned Id List	
ToDoListGoToPresentationName	

Relationships

Shadow Process: 155294771

Request Permit Extension / Renewal (Completed on Aug 8, 2022 10:38:25 by Arlene Tio with outcome "Requested")

Actual Start Date	
Comments	
Date Completed	Aug 8, 2022 10:38:25
Description	
Outcome	Requested
Scheduled Complete Date	
Scheduled Start Date	Aug 8, 2022 10:38:19
Staff Assigned Id List	

Relationships

Shadow Process: 180878176

Review Time Limited DP (Completed on Aug 30, 2022 13:55:22 by Lynn Wong with outcome "Extension Supported")

Actual Start Date	
Applicant Contacted	N
Comments	
Date Completed	Aug 30, 2022 13:55:22

Description	DP Reminder Letter sent to apply for extensions for DP-2020-00230 & DP-2020-00238 (under CF-2022-009340).
Outcome	Extension Supported
Scheduled Complete Date	
Scheduled Start Date	Jul 16, 2022 01:25:21
Staff Assigned Id List	

Assignments

Lynn Wong

Relationships

Shadow Process: 179466975

Pay Fees (Completed on Sep 7, 2022 11:34:21 by Arlene Tio with outcome "Paid")

Actual Start Date	
Comments	
CreatedByProcessId	180878169
Date Completed	Sep 7, 2022 11:34:21
Description	
Outcome	Paid
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Aug 8, 2022 10:38:25
Staff Assigned Id List	

Assignments

Arlene Tio

Raymond Huynh

Relationships

Shadow Process: 180878178

Review Extension / Renewal Request (Completed on Oct 5, 2022 09:53:51 by Arlene Tio with outcome "Granted")

Actual Start Date	
Applicant Contacted	N
Comments	
Date Completed	Oct 5, 2022 09:53:51
Description	Extended until September 14, 2023
ExtensionDetails	

New Expiration Date Sep 14, 2023 00:00:00
Outcome Granted
Scheduled Complete Date
Scheduled Start Date Sep 7, 2022 11:34:21
Staff Assigned Id List

Assignments

Arlene Tio

Relationships

Shadow Process: 182693224

Print Development Permit (Completed on Oct 5, 2022 09:53:51 by Arlene Tio with outcome "Printed")

Actual Start Date
Date Completed Oct 5, 2022 09:53:51
Description
Outcome Printed
Scheduled Complete Date
Scheduled Start Date

Relationships

Development Permit Document: 184383340

Revisions

Revision 1 created on Oct 5, 2022 09:53:52 by Arlene Tio

Reminder (Completed on Oct 5, 2022 09:55:02 by Arlene Tio with outcome "Acknowledged")

Actual Start Date
Comments Final reminder sent to pick up permit
Date Completed Oct 5, 2022 09:55:02
Description EXTEND 1 YR PER MANDY & ANALIZA
Note
Outcome Acknowledged
Scheduled Complete Date
Scheduled Start Date Aug 27, 2020 12:57:48
Staff Assigned Id List

Relationships

Shadow Process: 129329543

Expire Permit (Completed on Oct 5, 2022 09:55:15 by Arlene Tio with outcome "Extend")

Actual Start Date	
Applicant Contacted	N
Date Completed	Oct 5, 2022 09:55:15
Description	Expire Permit
Outcome	Extend
Scheduled Complete Date	
Scheduled Start Date	Sep 15, 2022 01:39:45
Staff Assigned Id List	
ToDoListGoToPresentationName	

Assignments

Arlene Tio

Relationships

Shadow Process: 183206406

Request Permit Extension / Renewal (Completed on Aug 9, 2023 11:45:17 by Arlene Tio with outcome "Requested")

Actual Start Date	
Comments	
Date Completed	Aug 9, 2023 11:45:17
Description	
Outcome	Requested
Scheduled Complete Date	
Scheduled Start Date	Aug 9, 2023 11:45:14
Staff Assigned Id List	

Relationships

Shadow Process: 208858520

Review Time Limited DP (Completed on Aug 24, 2023 15:13:57 by Lynn Wong with outcome "Extension Supported")

Actual Start Date	
Applicant Contacted	N
Comments	
Date Completed	Aug 24, 2023 15:13:57

Description	DP Reminder Letter sent to apply for extensions for DP-2020-00230 & DP-2020-00238 (under CF-2023-009356)
Outcome	Extension Supported
Scheduled Complete Date	
Scheduled Start Date	Jul 16, 2023 03:24:19
Staff Assigned Id List	
Assignments	
Lynn Wong	
Relationships	
Shadow Process: 207201420	
Pay Fees (Completed on Sep 13, 2023 15:28:14 by POS Interface with outcome "Paid")	
Actual Start Date	
Comments	
CreatedByProcessId	208858498
Date Completed	Sep 13, 2023 15:28:14
Description	
Outcome	Paid
Route Order	
Scheduled Complete Date	
Scheduled Start Date	Aug 9, 2023 11:45:18
Staff Assigned Id List	
Assignments	
POS Interface	
Raymond Huynh	
Relationships	
Shadow Process: 208858522	
Review Extension / Renewal Request (Completed on Nov 1, 2023 13:10:43 by Arlene Tio with outcome "Granted")	
Actual Start Date	
Applicant Contacted	N
Comments	
Date Completed	Nov 1, 2023 13:10:43
Description	Extension granted until September 14, 2024

ExtensionDetails

New Expiration Date

Sep 14, 2024 00:00:00

Outcome

Granted

Scheduled Complete Date

Scheduled Start Date

Sep 13, 2023 15:28:14

Staff Assigned Id List

Assignments

Arlene Tio

Relationships

Shadow Process: 211191514

Print Development Permit (Completed on Nov 1, 2023 13:10:43 by Arlene Tio with outcome "Printed")

Actual Start Date

Date Completed

Nov 1, 2023 13:10:43

Description

Outcome

Printed

Scheduled Complete Date

Scheduled Start Date

Relationships

Development Permit Document: 214950097

Revisions

Revision 1 created on Nov 1, 2023 13:10:44 by Arlene Tio

Expire Permit (Completed on Nov 1, 2023 13:10:56 by Arlene Tio with outcome "Extend")

Actual Start Date

Applicant Contacted

N

Date Completed

Nov 1, 2023 13:10:56

Description

Expire Permit

Outcome

Extend

Scheduled Complete Date

Scheduled Start Date

Sep 15, 2023 03:41:41

Staff Assigned Id List

ToDoListGoToPresentationName

Assignments

Arlene Tio

Relationships

Shadow Process: 211298001

Make Decision

Actual Start Date	
Additional Information	
Addressing	N
Applicant Contacted	N
Approved Amendment Description	
Archaeological Site	N
Building Line	N
Building Permit Project Coordinator	N
Building Policy	N
Comments	
Community Care Facilities Licensing	N
Cultural Spaces	N
Date Completed	
Description	
Development Permit Project Coordinator	N
Development Review Manager	N
ECO Review	N
Electrical Plan Review	N
Energy Utility	N
Engineering	N
Engineering Assistant	N
Engineering Coordination Lead	N
Enhanced Airtightness	
Environmental Review	N
Facilities	N
FASE Officer	
Fire and Rescue Services	N
Flood Risk	N

Heritage	N
Housing Policy and Projects	N
Landscape	N
Landscape Setback	N
Legal Services	N
Licensing	N
Mechanical	N
Outcome	
Park Board	N
Parking Management Branch	
Parks Maintenance	N
Peat Risk	N
Plumbing Plan Review	N
Police	N
Policy Planner	N
Project and Quality Management	N
Project Facilitator	N
Real Estate Services	N
Required Information	
Rezoning Planner	N
Scheduled Complete Date	
Scheduled Start Date	Mar 27, 2020 10:15:38
Social Policy and Projects	N
Soil Liquefaction	N
Sprinkler Plan Review	N
SRA Designation	N
Staff Assigned Id List	
Street Activities	
Street Activities Coordinator	N
Street Activities Manager	N
Street Activities Supervisor	N
Street Furniture Manager	N

Subdivision	N
Sustainability	N
Traffic & Data Management	N
Traffic and Data Management	
Transportation Design	
UMB - Engineering Assistant	N
Unstable Soil	N
Urban Development Planner	N
Urban Forestry	N
Vancouver Coastal Health	N
Weather Protection	N
zzzBonus Density	N
zzzOfficial Development Plan	N
Reminder	
Actual Start Date	
Comments	Final reminder sent to pick up permit.
Date Completed	
Description	
Note	
Outcome	
Scheduled Complete Date	
Scheduled Start Date	Aug 27, 2020 12:58:53
Staff Assigned Id List	
Reminder	
Actual Start Date	
Comments	DO NOT DELETE
Date Completed	
Description	Sept 7 - emailed circulation: Tanya, Gage, Analiza
Note	
Outcome	
Scheduled Complete Date	
Scheduled Start Date	Sep 7, 2022 15:25:01

Staff Assigned Id List

Reminder

Actual Start Date

Comments

do not delete

Date Completed

Description

Fee also covers DP-2020-00238.
2nd extension. chk with pui regarding extension time.

Oct 13 - waiting for analiza, tanya

Note

Outcome

Scheduled Complete Date

Scheduled Start Date

Aug 9, 2023 11:45:32

Staff Assigned Id List

Instance security

Address Maintenance

Read, Modify

Authenticated Web Read

Read

Development Permit Internal Read

Read, Modify

Development Permit Internal Update

Read, Modify

PI Read

Read

PI Update

Read, Modify

Public Web

Read

User Admin Read

Read

User Admin Update

Read, Modify

www000038409

Read, Modify

Relationships

Applicant Customer: Raymond Huynh s.22(1)

Application Document: 120291395

Application Document: 120291432

Application Document: 120342447

Application Document: 120342448

Application Document: 120342449

Application Document: 120346524

Application Document: 120349771

Application Document: 120349774
Application Document: 120665096
Authorization Financial Profile: Development Permit (Permitting and Inspections (PI))
Development Permit Document: 214950097
Development Permit Subjob (DE): DP-2020-00238: Issued
Electronic Document: 120349777
Electronic Document: 120349788
Electronic Document: 120652146
Electronic Document: 124342587
Electronic Document: 131239071
Electronic Document: 131240115
Electronic Document: 162493547
Electronic Document: 162507808
Electronic Document: 162908213
Electronic Document: 165467243
Electronic Document: 174029210
Electronic Document: 175348607
Electronic Document: 175370227
Electronic Document: 182643325
Electronic Document: 182755453
Electronic Document: 182755457
Electronic Document: 183506309
Electronic Document: 184382769
Electronic Document: 211965925
Electronic Document: 213635055
Electronic Document: 214941157
Electronic Document: 214941859
Electronic Document: 214949211

Fee Display: 120291114
Fee Item Code: 04(b) - Alt or Change Use Non Single Detached House/Duplex -
Conditional
Hours 0
Minutes 0

Value

6464.00

File Owner: Claudia Hicks

Parcel: 009-773 614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

Permit Term: (1) Operator/Owner of the premise must ensure that the operation is in compliance with all relevant sect

Permit Term: (10) The approval is for a limited period of time expiring on September 14, 2021, unless extended in writ

Permit Term: (11) Separate permits are required for the outdoor seating area, and is not part of the approval.

Permit Term: (12) The site shall comply with relevant Provincial and City by-law with respect to COVID-19 (Novel Coron

Permit Term: (2) Patron participation including Karaoke, is prohibited between 12:00 a.m. (midnight) and 9:00 a.m.

Permit Term: (3) The applicant must obtain approvals for, and adhere to, all applicable Provincial Liquor Licensing r

Permit Term: (4) A neighbourhood liaison shall be made available to whom complaints may be directed about any aspects

Permit Term: (5) Food service to be available while the establishment is operating.

Permit Term: (6) A maximum interior capacity of 319 persons.

Permit Term: (7) Standard hours of operation limited to 11:00 a.m. to 12:00 a.m. (midnight), Sunday to Thursday, 11:0

Permit Term: (8) Applicant to adhere to the Good Neighbour Agreement dated February 18, 2020, and signed by Raymond H

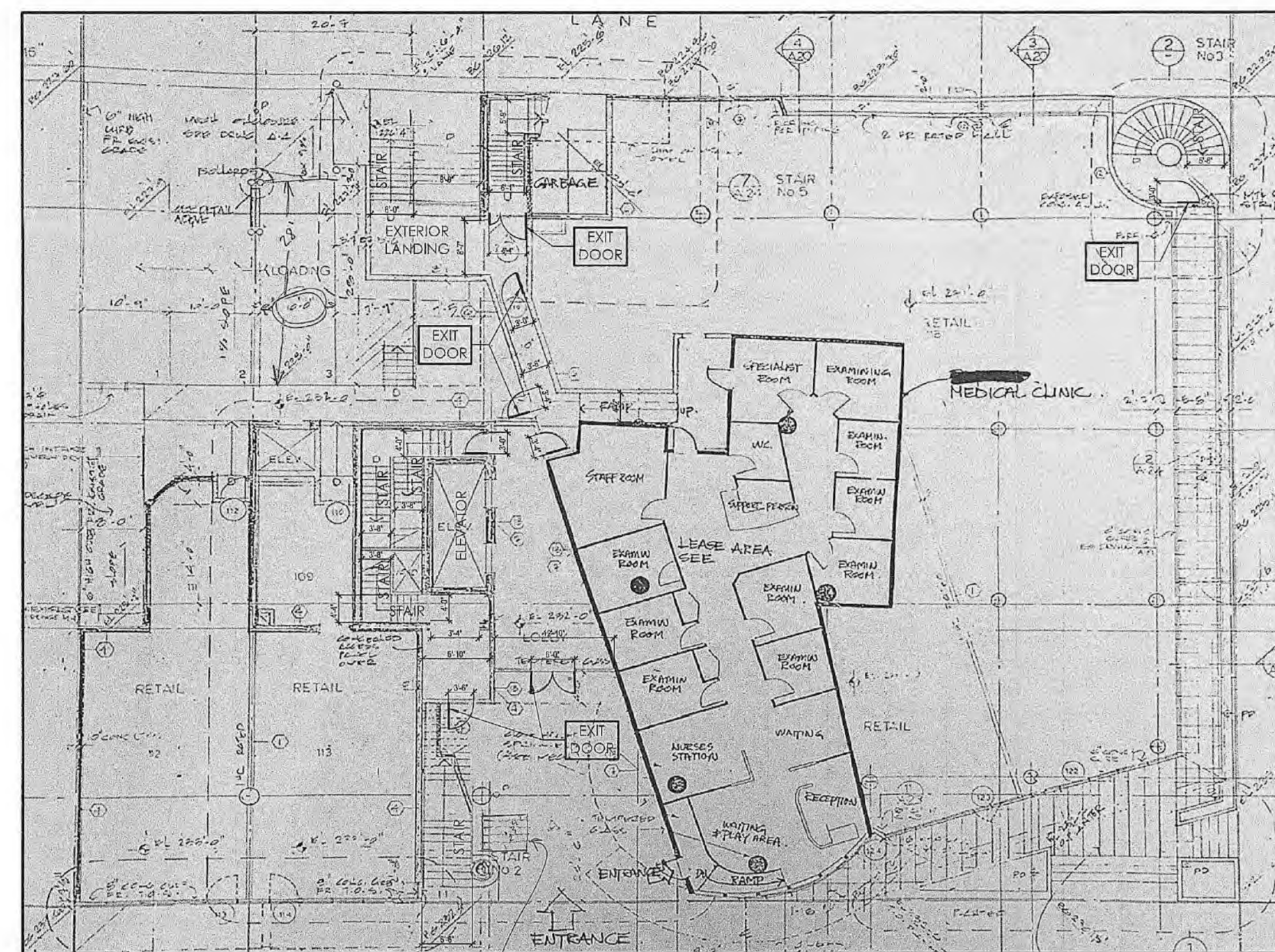
Permit Term: (9) Operator must comply with the Health By-law in regards to smoking restrictions.

Processing Stream: Development Review Branch

Review Application: DP-2020-00230-REVIEW-1: Completed

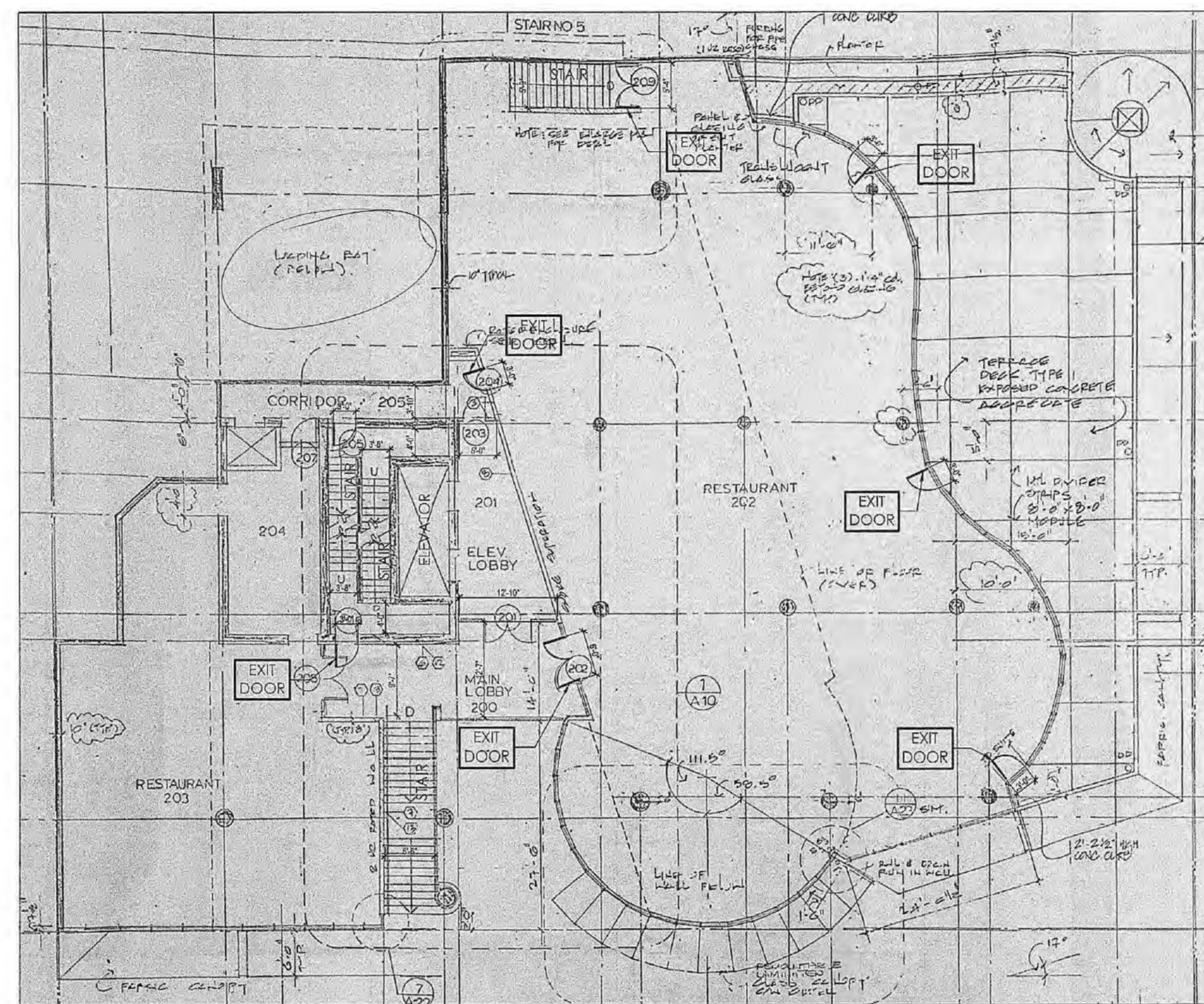
Review Application: DP-2020-00230-REVIEW-2: Completed

Use: Service Uses: Not Applicable



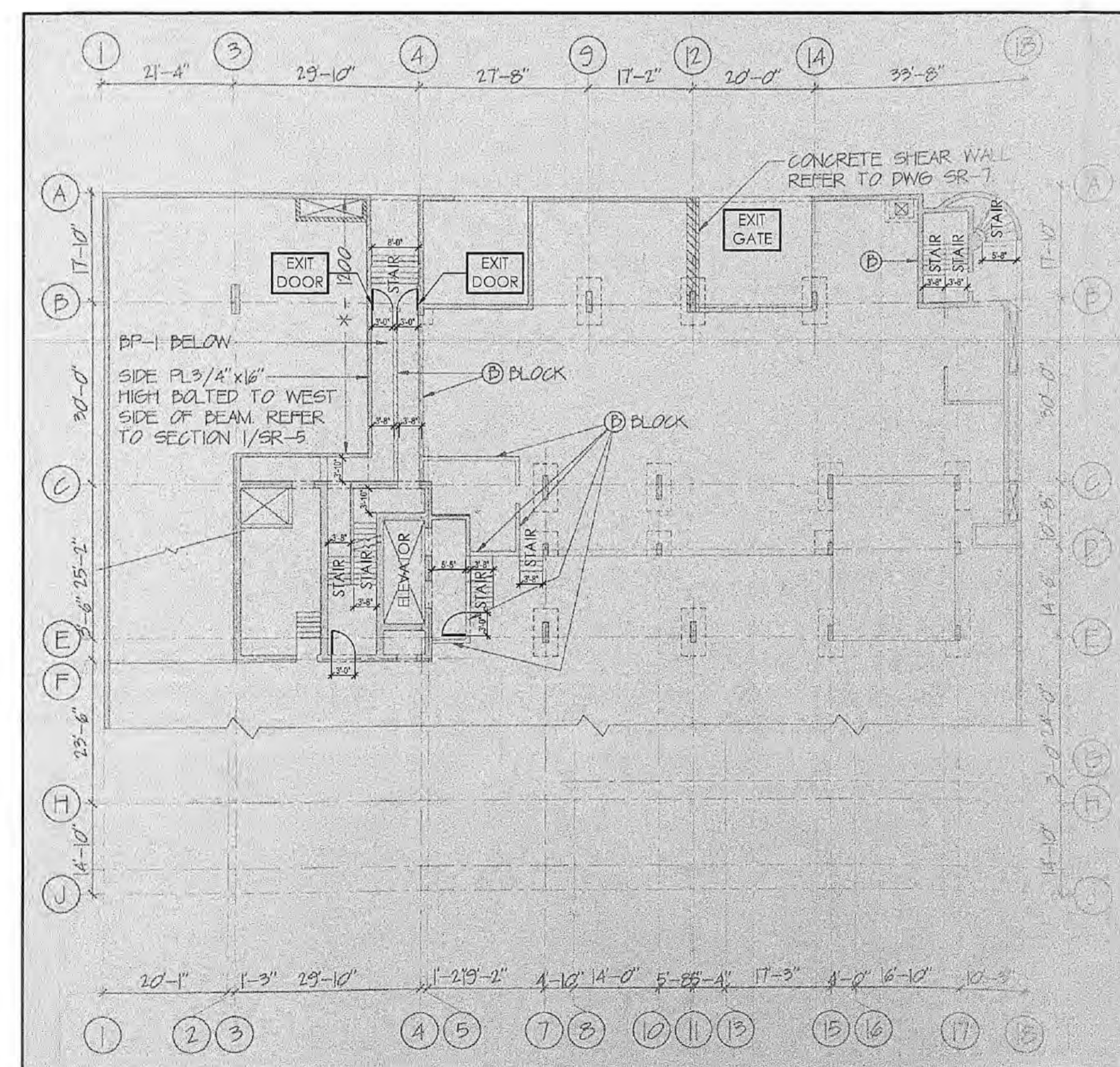
A GROUND FLOOR SITE PLAN
Scale: NTS

5'4" = 10'
5'33" = 10'
Possible Class B Rm. Spaces
 $21.5' \times 5.74' = 4.03 \times 10 = 40.3'$ long landing Bay
5.73 (14.7) by scale = required length on plan for 28' long Class B landing Bay
10' 2.6'



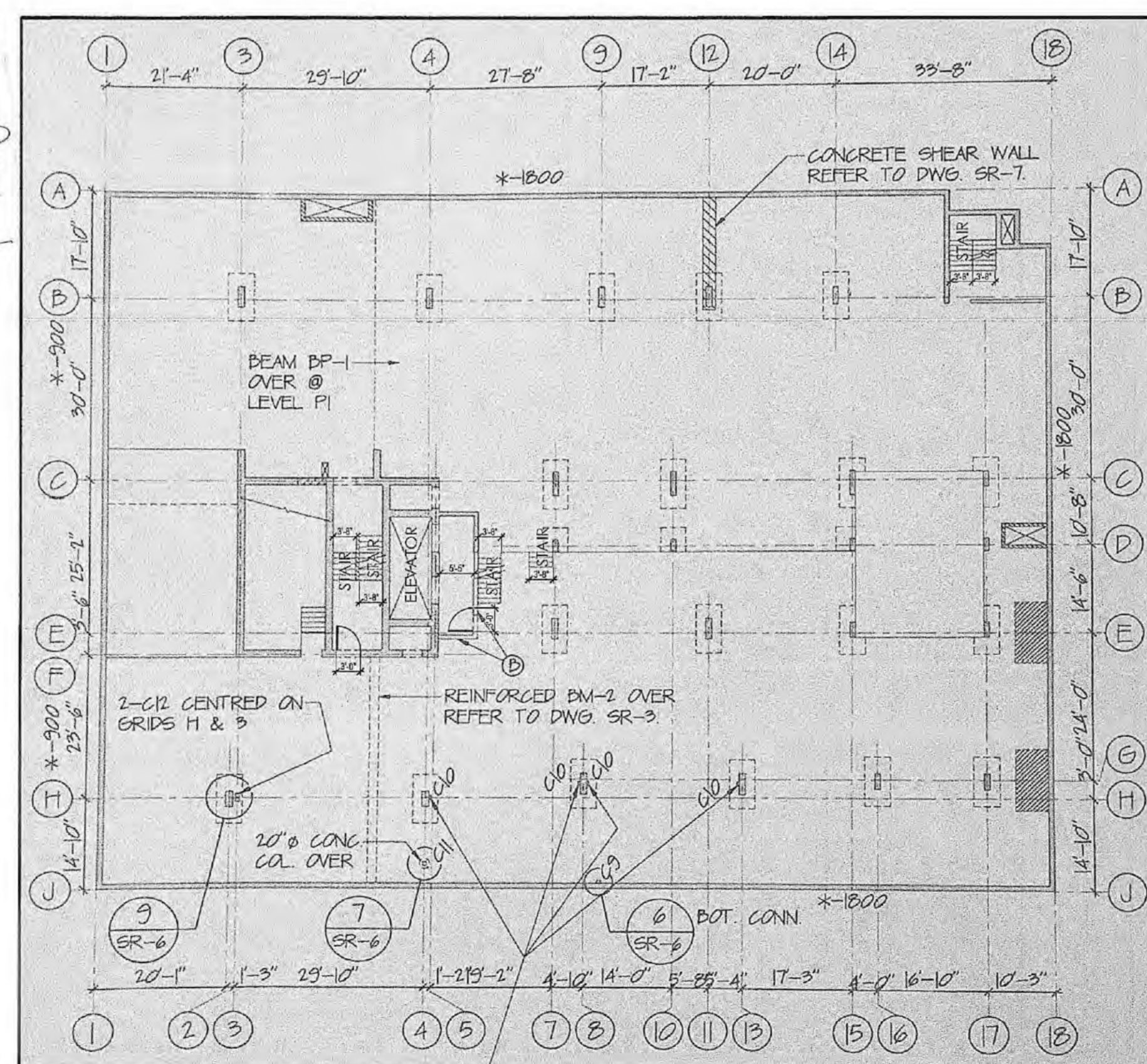
B SECOND FLOOR SITE PLAN
Scale: NTS

reference only

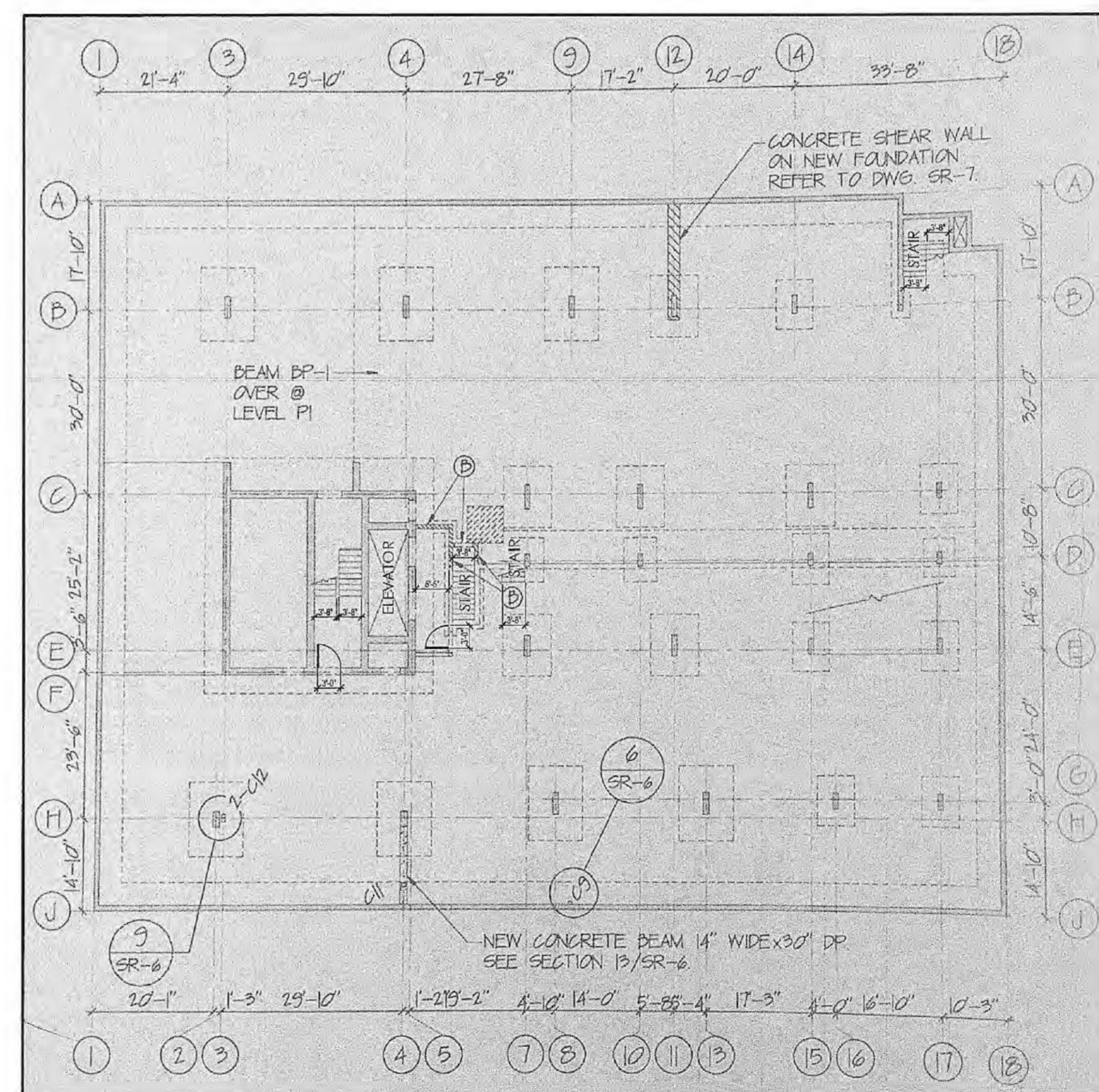


C PARKING LEVEL 1 SITE PLAN
Scale: NTS

Class B Bikes
5.33' (5.8) (3.2) (3.2)
10' 1' 6' 1.6'
Side width length offset
Vehicle Parking
13 spaces
incl. 1 Dr.



D PARKING LEVEL 2 & 3 SITE PLAN
Scale: NTS



E PARKING LEVEL 4 & 5 SITE PLAN
Scale: NTS

CITY OF VANCOUVER
ZONING AND DEVELOPMENT BY-LAW NO. 3873
DP - 2018 - 00574
APPROVED SUBJECT TO CONDITIONS BY THE
SEP 14 2018 DIRECTOR OF PLANNING

RECEIVED
CITY OF VANCOUVER
JUN 22 2018
DEVELOPMENT
BUILDINGS & LICENSING

Architelier
architecture + real estate
680 - 838 West Hastings Street
Vancouver, BC V6C 0A6
E: chong@architelier.com
T: 604.773.0268

CONCRETE
Cashmere
DESIGNS

E: info@concretecashmere.com
T: 41604.506.9234
www.concretecashmere.com

This drawing and proposal are provided to guide the contractor in the provision of general design. Contractor is to ensure that all codes and local ordinances are complied with, it is the contractor's responsibility to provide all engineering required for Health and Safety code compliance. All mechanical, electrical and structural detail and specifications are to be specified by others. Any further documents must be confirmed in writing and approved by Concrete Cashmere Designs. This drawing is the property of Concrete Cashmere Designs and shall not be used or reproduced without written permission. Within dimensions that have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions prior to any work being commenced or executed. Please refer any questions in regard to dimensions to Concrete Cashmere Designs.

DRAWINGS ARE FOR DESIGN INTENT ONLY. Sub-Contractor to verify all site measurements and codes as per location and city bylaws prior to starting construction.

CLIENT:
RAYMOND HUYNH - KARAOKE LOUNGE PATIO

PROJECT ADDRESS:
#200-1001 West Broadway Vancouver, BC

NOTES:
1. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY EACH TRADE PRIOR TO CONSTRUCTION.



CLIENT'S APPROVAL FOR CONSTRUCTION

CLIENT
DATE: 04/27/2018
NOTE: Contractors will build as per these working drawings.

DATE: APRIL 27 2018
SCALE: AS NOTED
DRAWN BY: AVAN CHEN & MELISSA HAGG
PROJECT NUMBER: 18.01.6
DRAWING TITLE: **SITE PLAN**

DRAWING ISSUE HISTORY:

No:	Date:	Description:
01	06.20.18	IFP
02		
03		
04		
05		
06		
07		
08		
09		
10		

DRAWING NO. **ID1.1a**



DEVELOPMENT, BUILDINGS, AND LICENSING
Development Services
Development Review Branch

Please complete and submit this form, along with a cheque (payable to the City of Vancouver, including Development Permit Number on memo line) to the following address:

c/o Permit Extension & Renewal Coordinator
Development Services, West Annex
515 West 10th Avenue
Vancouver, BC V5Z 4A8

To pay in person, please complete and bring this form, along with payment, to conclerge at the Development and Building Services Centre (Ground Floor - West Annex, 515 West 10th Avenue).

Date: NOV. 26th, 2021

Property Address: #200-1001 W. BROADWAY Development Permit #: DP-2020-00230
DP-2020-00238

I am requesting: an extension/renewal of the validity an extension to the time limitation

Considerations
or Rationale
for Request:

Contact Name: RAYMOND HUYNH

Company Name: 111539 BC LTD.

Mailing Address: s.22(1)

Address Line 1

~~VANCOUVER BC~~ s.22(1)

Address Line 2

VANCOUVER BC s.22(1)

City

Province

Postal Code

Phone Number: s.22(1) Alternate: _____

Email Address: s.22(1)

INTERNAL USE ONLY

Date Payment Processed: December 2, 2021 Receipt Number: R360097 If applicable, Cheque # ↓

Amount Received: \$ 780.00 Staff Initials: ss

Please send original form to Permit Extension & Renewal Coordinator

May 20, 2022

c/o Raymond Huynh
1111539 BC Ltd.

s.22(1)

Vancouver, BC s.22(1)

RE 1001 W BROADWAY
Development Permit Number DP-2020-00230 & DP-2020-00238

Thank you for your request for an extension of the time limitation of the above-noted Development Permit.

On behalf of the Director of Planning, your request is granted, to retain the use of a Neighbourhood Public House (Liquor Establishment Class-4), with Karaoke, as per Council Resolution dated February 12, 2020, and including the use of an outdoor seating area in conjunction with the Neighbourhood Public House, in this existing commercial building on this site, for a further period of time **expiring on September 14, 2022**, unless extended in writing by the Director of Planning and subject to the following conditions:

- Food service is to be provided while the establishment is operating and to be available on the patio when open;
- The applicant must obtain approvals for, and adhere to, all applicable Provincial Liquor Licensing requirements;
- The establishment will monitor the activity of patrons outside the establishment, particularly at closing time, to ensure orderly dispersal and to ensure that the patrons do not disturb the peace, quiet and enjoyment of the neighbourhood;
- There is to be no amplified music on the outdoor seating area at anytime;
- The outdoor seating area must be closed and cleared of customers by 11:00 p.m.;
- A maximum of 182 persons capacity for the outdoor patio;
- No music or entertainment permitted on the patio;
- Applicant to adhere to the Good Neighbour Agreement dated February 18, 2020, and signed by Raymond Huynh;

- The outdoor seating area must comply with the applicable provisions of the Health By-law, smoking in and around the outdoor patio area is not permitted;
- Operator/Owner of the premise must ensure that the operation is in compliance with all relevant sections of the Noise Control By-law No. 6555;
- Operator must comply with the Health By-law in regards to smoking restrictions;
- A Neighbourhood Liaison shall be made available to whom complaints may be directed about any aspects of this operation. The Neighbourhood Liaisons are: Ryan Roopnarine and Raymond Huynh, who can be reached at 604.336.9330 or Info@privevancouver.com;
- The Letter of Operation received March 24, 2022 forms part of this permit approval; and
- The site shall comply with relevant Provincial and City by-law with respect to COVID-19 (Novel Coronavirus) Orders, Notices and Guidance.

Note to Applicant: It is the applicant's responsibility to submit an application for an extension on or before the expiry date, or a new development application will be required.

Please note that this approval, given under the Zoning and Development By-law, does not in any way represent or guarantee compliance with any other by-law of the City of Vancouver.

Yours truly,



Samantha Senechal
Permit Extension/Renewal Coordinator
Development Review Branch

Samantha.Senechal@vancouver.ca
(604) 873-7717

November 1, 2023

c/o Raymond Huynh
1111539 B.C. LTD
PRIVE
1001 W BROADWAY
Vancouver, BC V6H 4B1

Dear Raymond Huynh:

RE 1001 W BROADWAY – UNIT 200
Development Permit Number DP-2020-00230 & DP-2020-00238

Thank you for your request for an extension of the time limitation of the above-noted Development Permits.

On behalf of the Director of Planning, your request is granted, to retain the use of the Neighbourhood Public House, (Liquor Establishment Class-4), with Karaoke, and including the use of the Outdoor Seating Area, as per Council Resolution dated February 12, 2020, in this existing commercial building on this site for a further period of time, **expiring on September 14, 2024**, unless extended in writing by the Director of Planning and subject to the following conditions:

- Operator/Owner of the premise must ensure that the operation is in compliance with all relevant sections of the Noise Control By-law No. 6555;
- The establishment will monitor the activity of patrons outside the establishment, particularly at closing time, to ensure orderly dispersal and to ensure that the patrons do not disturb the peace, quiet and enjoyment of the neighbourhood;
- Patron participation including Karaoke, is prohibited between 12:00 a.m. (midnight) and 9:00 a.m.;
- The applicant must obtain approvals for, and adhere to, all applicable Provincial Liquor Licensing requirements;
- A neighbourhood liaison shall be made available to whom complaints may be directed about any aspects of this operation. The Neighbourhood Liaisons are: Ryan Roopnarine and Raymond Huynh, who can be reached at 604.336.9330 or Info@privevancouver.com;

• The Letter of Operation received March 24, 2022 forms part of this permit approval;

• Food service to be available while the establishment is operating and available on the patio when open;

• A maximum interior capacity of 319 persons;

• Standard hours of operation limited to 11:00 a.m. to 12:00 a.m. (midnight), Sunday to Thursday, 11:00 a.m. to 1:00 a.m., Friday and Saturday for a minimum of six months;

• Applicant to adhere to the Good Neighbour Agreement dated February 18, 2020, and signed by Raymond Huynh;

• The outdoor seating area must comply with the applicable provisions of the Health By-law, smoking in and around the outdoor patio area is not permitted;

• The outdoor patio ceasing all liquor service and vacated by 11:00 p.m. nightly;

• A maximum of 182 persons capacity for the outdoor patio;

• No amplified music or entertainment permitted on the outdoor seating area at anytime; and

• The site shall comply with relevant Provincial and City by-law with respect to COVID-19 (Novel Coronavirus) Orders, Notices and Guidance.

Note to Applicant: It is the applicant's responsibility to submit an application for an extension on or before the expiry date, or a new development application will be required.

Please note that this approval, given under the Zoning and Development By-law, does not in any way represent or guarantee compliance with any other by-law of the City of Vancouver.

Yours truly,



Ariene Tio,
Permit Extension/Renewal Coordinator

ariene.tio@vancouver.ca
(604) 873-7717



PLANNING AND DEVELOPMENT SERVICES
 Mailing Address:
 453 West 12th Avenue, Vancouver BC V5Y 1V4
 tel: 604.873.7611

Development and / or Building Application Form

To help expedite submission of your application, please fill out BOTH sides of this information sheet prior to attending the Application Preview counter located in the Development and Building Services Centre, Ground Floor, 515 West 10th Avenue (West Annex, City Hall).

JOB LOCATION (Correct and complete addressing is important. Complete this section carefully.)

Address: 1001 WEST BROADWAY Specifics: _____

Floor Level: 2 Suite No: 200

Legal Description:

Lot(s) 13 Block(s) 335 District Lot(s) 526 Plan Number(s) VAP590

Are you aware of the presence of any contaminated soils on the subject property? Yes No

Are you aware of the existence of any contaminated soils studies, reports, soil agreements, or Ministry of Environment orders or letters with respect to the subject property? Yes No

Is the building being converted to strata-title ownership? Yes No

Note: If you intend to convert an existing building to strata title ownership, please contact Subdivision and Strata Title staff at 604.871.6627 for information on the strata conversion process in advance of the issuance of any permits.

This area must be completed by the person signing the application form

Your Name: RAYMOND HUYNH

Mailing Address: s.22(1)

City: VANCOUVER Postal Code: s.22(1)

E-mail Address: s.22(1)

Phone Number: s.22(1) Fax Number: N/A

Company Name: 111539 BC LTD

Business License Account Number: 18-538801-RT

You are the:

01 Property Owner
 02 Contractor
 03 Certified Professional
 04 Design Professional
 05 Tenant
 06 Agent for Owner
 07 Agent for Tenant
 08 Consultant
 09 Non-profit Association
 Cert. No: _____
 10 Civic Department
 98 Other

Note: Contractors/design professionals/consultants **MUST** have a valid Business License to do work in the City of Vancouver. You may obtain current business license account numbers from the Business License Counter.

Complete the following for ALL applications

Property Owner's Name: ROSEBUD PROPERTIES LTD.

Address: #508 - 1001 WEST BROADWAY City: VANCOUVER

Postal Code: V6H 4B1 Phone Number: 604-738-4777

Is the owner aware of this application? Yes No

Contractor's Name: BEN & DEREK CONTRACTING MANAGEMENT LTD

Address: s.22(1) City: BURNABY

Postal Code: s.22(1) Phone Number: s.22(1)

Business License Account Number: _____

Tenant's Name: RAYMOND HUYNH

Address: s.22(1) City: VANCOUVER

Postal Code: s.22(1) Phone Number: s.22(1)

Job Contact: RAYMOND HUYNH

Address: s.22(1) City: VANCOUVER

Postal Code: s.22(1) Phone Number: s.22(1)

Qualified Professional Contact Name (required for Salvage & Abatement): DANIEL WONG

Address: 680-888 W. HASTINGS ST. City: VANCOUVER Postal Code: V6C 0A6

Phone Number: 604-506-9234 Business License Account Number: _____

This application is to: (Check applicable boxes)

001 Construct a new building(s)
 002 Add to an existing building
 003 Alter the interior/exterior
 004 Add to a building and alter the existing portion
 005 Add to a building and change the use
 006 Add to the building, alter existing portion and change use
 007 Interior/exterior alterations and change of use
 008 Enclose an area of an existing building (balcony enclosures)
 011 Project/Site Permit
 014 Change of use
 015 Retain use
 016 Alter grade (raise or lower grade)
 022 Alterations to legalize a suite
 023 Alterations for a new suite
 026 Demolish
 Commercial
 Fire damaged building
 Non-rental one-family dwelling
 Heritage building
 Residential rental building
 028 Temporary tents
 030 Construct a garage/carport
 031 Add/alter/demo garage/carport
 038 Construct partial - framing, etc.
 040 Excavate - valid for project address et al.
 041 Move building from another site
 042 Move building on the same site
 043 Install a pool, fence, tennis court, boat ramp, sign, or similar
 044 Upgrade seismic and/or sprinkler
 045 Mechanical kitchen exhaust, roof top unit, satellite dish
 046 Prefabricated structure placed on site
 047 Fire damage repair
 048 Flood damage repair
 050 Landscape only
 053 Building envelope repair

Is this a new tenant? Yes No

What is the existing use? FOOD PRIMARY RESTAURANT

What is the proposed use? LIQUOR PRIMARY RESTAURANT

How many storeys? 1

How many levels of underground parking? 2

How many new rooftop units? _____

Describe work to be done:
 (Complete carefully, Your application will be based on your written description.)

WE WILL NOT BE DOING ANY WORK TO THE SPACE. WE ARE CHANGING FROM A FOOD PRIMARY RESTAURANT TO A LIQUOR PRIMARY RESTAURANT.

What is the value of the work proposed? (Include cost of plans, material and labour)
 \$ N/A

Will any of the following be altered/repaired/installed? Select all that apply:

Electrical Gas Drain Tile
 Plumbing Sprinkler Fire Alarm

Sprinkler Contractor's Name: _____

Note: If the sprinkler contractor noted on this application changes, please notify the City of Vancouver in writing within 24 hours.

Special Sprinkler Inspection Number SP _____

Complete the following for all residential buildings

	Existing	Proposed
Total number of dwelling units:	_____	_____
Total number of housekeeping units:	_____	_____
Total number of sleeping units:	_____	_____

Complete the following related permit information

Development Permit/Application Number DE _____

Minor Amendment Number DE _____

Building Permit/Application Number BU _____

Board of Variance Appeal Number Z _____

Combined Permit Application Number DB _____

Office Use Only

Office Use Only	Invoice #
BU _____	_____
DE _____	_____

Office Use Only

BU (WWOP?) _____

DE _____

DT _____

BG _____ f/m _____

ENV. PROT. Site Profile _____

SUBTOTAL _____

SP _____

TOTAL _____

As owner or owner's agent, I have verified that the information contained within this document and associated applications and plans is correct, and describes a use, a building or a work which complies with all relevant by-laws and statutes. I understand that personal information contained in this form will not be released to the public except as required by law; however, all associated applications and plans will be made publicly available during the development or building application process. I acknowledge that responsibility for by-law compliance rests with the owner and the owner's employees, agents and contractors. I will indemnify and save harmless the City of Vancouver, its officials, employees and agents against all claims, liabilities and expenses of every kind, in respect to anything done or not done pursuant to this application or fact sheet or ensuing permit, including negligence and/or the failure to observe all by-laws, acts or regulations.

SIGNED AT VANCOUVER, B.C. THIS 19 DAY OF MARCH 2020


 SIGNATURE OF APPLICANT



BUSINESS LICENCE – OPERATING / GOOD NEIGHBOUR AGREEMENT
Liquor Primary – Liquor Establishment Class 5
1111539 BC Ltd.

Date: FEB. 19th, 2020

Business Address: #200 - 1001 WEST BROADWAY

Building Owner/Agent: ROSEBUD PROPERTIES LTD.

Telephone Number: 604-336-9330

Business Owner(s) Full Name(s) RAYMOND HUYNH

- 1. _____
- 2. _____
- 3. _____

Business Name: 1111539 BC LTD.

Director Name(s): RAYMOND HUYNH



PART I

Noise and Disorder:

1. Consideration will be given to possible noise impacts on neighbours and necessary steps will be taken to address these impacts should they occur. RM ML
2. The Licensed Establishment shall undertake to monitor patrons smoking outside the premises to minimize possible impacts to pedestrians and the neighbourhood as outlined in Section 2.2 of the Health By-law No. 9535. RM ML
3. The Licensed Establishment shall undertake to monitor and promote the orderly conduct of patrons immediately outside the premises, particularly those congregating outside during open hours, and to discourage patrons from engaging in behaviour that may disturb the peace, quiet and enjoyment of the neighbourhood. Examples of reasonable measures include installing adequate lighting outside the establishment and in the parking lot, supervising your parking areas, adding sound proofing, making structural changes to allow indoor line-up areas, and posting signs at the exit doors asking the patrons not to disturb the neighbours. RM ML
4. In those instances where patrons are lining up on the public sidewalks the Licensed Establishment's staff shall ensure that the patrons are lined up in an orderly fashion allowing for the free flow of pedestrians along the sidewalk, not blocking lane ways or driveways and not spilling onto the roadway. RM ML
5. The Licensed Establishment shall keep all doors and windows closed except for the purpose of entering or exiting when music is being played inside the establishment. RM ML
6. The Licensed Establishment shall pursue the installation of a security camera system which records during business hours if one is not already installed. RM ML
7. The Licensed Establishment will attempt to ensure any line up for admission is contained inside their establishment. Creation of "false" lineups is not permitted. RM ML
8. The Licensed Establishment has an option to participate in a "Bar Watch Program" with the police and the Municipality to ensure noise and other related issues are addressed as needed. RM ML
9. The Licensed Establishment will collectively prohibit any individual(s) that have previously caused a disturbance or nuisance and noted by the police, municipality or the establishment from continued attempts to enter the establishment. RM ML

10. The Licensed Establishment will monitor the activity of patrons outside the Pub particularly at closing time, to ensure orderly dispersal and to ensure that the patrons do not disturb the peace, quiet, and enjoyment of the neighbourhood. Under such situations that the presence of staff does not facilitate orderly dispersal, and should circumstances require, staff will contact the police to request its assistance in facilitating the dispersal.

RMT/ML

Criminal Activity:

1. The Licensed Establishment shall make every reasonable effort to scrutinize patrons as they enter the building to ensure that no items of contraband, including weapons and controlled substances, are brought onto the premises.
2. The Licensed Establishment will eject/remove anyone found to be in possession of drugs, any person selling, attempting to sell or suspected of selling drugs, any person entering or attempting to enter the premises with any weapon, and any person presenting or facilitating the presentation of false identification. The Licensed Establishment will eject/remove from the premises any person who refuses to cooperate with security and in so doing poses a threat of bodily harm, any person who causes a disturbance that creates a threat of bodily harm, or any person who engages in illegal activity in the Licensed Establishment.
3. The Licensed Establishment shall not tolerate any criminal activity within the Establishment.
4. The Licensed Establishment shall discourage, within the Establishment, the wearing or display of gang colours or any items which are intended to signify membership in a gang.

RMT/ML

RMT/ML

RMT/ML

RMT/ML

Cleanliness:

1. The Licensed Establishment shall assign staff to inspect the outside of the premises each night of operation to ensure that there is no litter, garbage or other foreign objects associated with the premises left within the general area of the Licensed Establishment.
2. The Licensed Establishment will make all reasonable attempts to prevent patrons from exiting the establishment with bottles, cans, glassware, and/or plastic ware.

RMT/ML

RMT/ML

Service and Sale of Alcohol:

1. All staff serving liquor will have a valid "Serving it Right" certificate and will be trained in serving practices to ensure that patrons are not over served.

RMT/ML

2. Patrons will be allowed the opportunity to purchase non-alcoholic beverages at a price which is less than the price of alcoholic beverages.

RMT/MS

Cooperation and Communication with Neighbours, City and Police:

1. There will be complete support for, and cooperation with, the Vancouver Police Department Licensed Premises Checks.
2. When incidents occur which require police involvement all staff will cooperate with police officers and will not impede or obstruct the investigation in any way.
3. The Pub recognizes its role as a responsible corporate citizen and responsible neighbour within the community, and agrees to work with the City and its departments.
4. Any proposed changes to these guidelines will first be discussed and resolved with the Chief Licence Inspector or Licence Coordinator, Licences and Inspections Department, City of Vancouver.

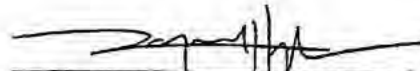
RMT/MS

RMT/MS

RMT/MS

RMT/MS

I, the undersigned, will comply with Part I of this document. It is also my intent to comply with Part II of this document to the best of my ability. I understand that Part II of this document is completely voluntary, and I have initialled each paragraph of this section I completely agree with and endorse.


(SIGNATURE OF APPLICANT)

PART II

I understand that as the Business Licence Holder, I will be responsible for the management of the premises in a responsible manner including employee actions. I also understand that my Business Licence may be reviewed for possible suspension if:

- a) I am convicted of any offence under any statute of Canada or the Province of British Columbia;
- b) I am convicted of any offence under any by-law of the City relevant to my licensed premise;
- c) I have been guilty of gross misconduct with respect to the licensed premise; or
- d) The business' is harmful to the health or safety of persons under the age of 16.

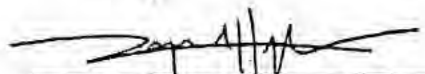
I consent to the City of Vancouver using the following address for the purpose of affecting service of Business Licence related documents on myself or any company named in this Business Licence Application-Operator's Agreement:

Street: s.22(1) Suite #: s.22(1)
City: VANCOUVER BC Postal Code: s.22(1)
Phone #: s.22(1) Fax #: N/A

(If applicable) I also confirm that the following individual, Barrister/Solicitor or Accountant is my authorized "address for service" to receive all Business Licence related documents on my behalf and any company named in this Business Licence Application-Operator's Agreement:

Name: N/A
Firm: _____
Address (if different from above): _____
Phone #: _____ Fax #: _____

In the event that either of my addresses changes, I will, through written notification to the Chief Licence Inspector, City of Vancouver, provide all new information regarding any changes to my addresses at least 14 days prior to the effective date of change. In the event I do not provide any written notification of any changes of my addresses, then all Business Licence related documents must be served by the City of Vancouver at the above noted addresses.


(SIGNATURE OF APPLICANT)

As Of: Jul 11, 2024 16:49:47

Development Permit: DP-2020-00238: Issued

Address Change Requested?	No
Amendment In Progress	
Applicant Role	Tenant
Approval Type	Conditional
Being Converted to Strata Title Ownership	No
Building Permit Required	No
Completed Date	
Contaminated Soil information related to property	No
Contaminated Soils on Property	No
Decision Date	
Description	Development Review Branch - Addition / Alteration - To use the existing outdoor seating area in conjunction with the Neighbourhood Public House, (Liquor Primary Class-4), with Karaoke, as per Council Resolution dated February 12, 2020, in this existing commercial building on this site. The approval is for a limited period of time expiring on September 14, 2021, unless extended in writing by the Director of Planning.
Enforcement Related	N
Expiration Date	Sep 14, 2024 00:00:00
Fee Discount	No Discount
Fee Estimate	N
Fee Items Last Changed Date	Mar 20, 2020 09:54:11
Green Building Flag	
Green Building Standard Other	
Invoice Due Date	
Issue Date	Apr 3, 2020 00:00:00
Job Location	
Location Type	Addressed
My Reference Number	
Non-Profit Organization Number	
Parent Job (Internal ID)	120291113
PRISM BU Permit Number	
PRISM DB Permit Number	

PRISM DE Permit Number

Reason for Withdrawal

Requested Address

Temporary Use End Date

Temporary Use Start Date

Type Of Work

Work Description

Sep 14, 2024 00:00:00

Mar 26, 2020 00:00:00

Addition / Alteration

To use the existing outdoor seating area in conjunction with the Neighbourhood Public House, (Liquor Primary Class-4), with Karaoke, as per Council Resolution dated February 12, 2020, in this existing commercial building on this site. The approval is for a limited period of time expiring on September 14, 2021, unless extended in writing by the Director of Planning.

zzzMetric Discount

Notes

General Note (Unlocked)

From: So, Mandy <mandy.so@vancouver.ca>
Sent: Monday, August 08, 2022 1:31 PM
To: Tio, Arlene <arlene.tio@vancouver.ca>
Cc: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Subject: RE: 1001 W Broadway (DP-2020-00230 & DP-2020-00238) - PRIVE

Hi Arlene,

I appreciate the information. Please extend the DP for a year as per Analiza's suggestion. Thanks.

Mandy So
Manager, Development Review Branch
Development, Building & Licensing
Ph: 604.871.6080
mandy.so@vancouver.ca

From: Tio, Arlene <arlene.tio@vancouver.ca>
Sent: Monday, August 8, 2022 10:34 AM
To: So, Mandy <mandy.so@vancouver.ca>
Cc: Abello-Lee, Analiza <analiza.abello-lee@vancouver.ca>
Subject: 1001 W Broadway (DP-2020-00230 & DP-2020-00238) - PRIVE

Good morning Mandy,

We discussed the above address in the last DP meeting and we had some concerns with the above establishment. I checked with Analiza re the above address to find out how PRIVE is doing in terms of noise complaints lately. The latest noise complaint was received in July 2022 with regards to noise on the patio and the citizen thinks its from the outdoor speakers.

Analiza was in touch with Raymond and the operator was cooperative when the PUI approached him with the complaint. As per Raymond there was there was an event during that time and with the hot weather, they opened the doors. He will make sure the

doors will be closed going forward. Raymond still has not confirmed with the PUI whether he has outdoors speakers on the patio or not; however, Analiza is not too worried about that as she had made it clear that the extension of the DP is dependent on how the establishment operates and the operator is very well aware of this.

PUI also mentioned she prefers we extend PRIVE for one year for now until they have proven themselves, then a longer extension is ok.

Thank you Mandy.

Regards,

(Last updated on Sep 7, 2022 12:33:29 by Arlene Tio)

PUI only willing to support 1 year extension. VPD is also ok with extension as long as conditions stay the same.

(Last updated on Nov 1, 2023 13:14:57 by Arlene Tio)

General Note (Unlocked)

Processes

Completeness Check (Completed on Mar 20, 2020 09:58:52 by Claudia Hicks with outcome "Complete Online Submission")

Actual Start Date

Amendment

Applicant Contacted

N

Date Completed

Mar 20, 2020 09:58:52

Description

Engineering Assistant

N

Not Accepted Reason

Outcome

Complete Online Submission

Override Review Condition

N

RequiredInformation

Response To Additional Info Request

Scheduled Complete Date

Scheduled Start Date

Mar 20, 2020 09:44:29

Staff Assigned Id List

Traffic & Data Management

N

UMB - Engineering Assistant

N

Assignments

Claudia Hicks

Relationships

Shadow Process: 120357245

Enter Permit Application (Completed on Mar 24, 2020 13:00:09 by Claudia Hicks with outcome "Submit")

Actual Start Date	
Date Completed	Mar 24, 2020 13:00:09
Description	
Outcome	Submit
Scheduled Complete Date	
Scheduled Start Date	Mar 20, 2020 09:58:52
Staff Assigned Id List	
ToDoListGoToPresentationName	

Assignments

Claudia Hicks
Raymond Huynh

Relationships

Shadow Process: 120358247

Completeness Check (Completed on Mar 24, 2020 13:00:17 by Claudia Hicks with outcome "Checked")

Actual Start Date	
Amendment	
Applicant Contacted	N
Date Completed	Mar 24, 2020 13:00:17
Description	
Engineering Assistant	N
Not Accepted Reason	
Outcome	Checked
Override Review Condition	N
RequiredInformation	
Response To Additional Info Request	
Scheduled Complete Date	
Scheduled Start Date	Mar 24, 2020 13:00:09
Staff Assigned Id List	
Traffic & Data Management	N
UMB - Engineering Assistant	N

Assignments

Claudia Hicks

Relationships

Shadow Process: 120520731

Select Review Groups (Completed on Mar 24, 2020 13:00:35 by Claudia Hicks with outcome "Selected")

Actual Start Date

Addressing N

Arboricultural

Archaeological Site N

Bonus Density Review N

Building Line N

Building Permit Project Coordinator N

Building Policy N

Comments

Community Care Facilities Licensing N

Contaminated Site

Cultural Spaces N

Date Completed Mar 24, 2020 13:00:35

Description

Development Permit Project Coordinator Y

Development Review Manager N

ECO Review N

Economic Development

Electrical Plan Review N

Energy Utility N

Engineering N

Environmental Review N

Facilities N

Fire and Rescue Services N

Flood Risk N

Heritage N

Housing Policy and Projects N

Housing Regulation N

Landscape	N
Landscape Setback	N
Latecomer	
Legal Services	N
Licensing	Y
Mechanical	N
Outcome	Selected
Park Board	N
Parks Maintenance	N
Peat Risk	N
Plumbing Plan Review	N
Police	N
Policy Planner	N
Project Facilitator	N
Public Art	
Real Estate Services	N
Rezoning Planner	N
Scheduled Complete Date	
Scheduled Start Date	Mar 24, 2020 13:00:17
Social Policy and Projects	N
Soil Liquefaction	N
Sprinkler Plan Review	N
SRA Designation	N
Staff Assigned Id List	
Subdivision	N
Sustainability	N
Unstable Soil	N
Urban Development Planner	N
Urban Forestry	N
Vancouver Coastal Health	N
Weather Protection	N
zzzBonus Density	N

Assignments

Claudia Hicks

Relationships

Shadow Process: 120520799

Draft Recommendation (Completed on Mar 26, 2020 16:24:18 by Claudia Hicks with outcome "Recommendation Drafted")

Actual Start Date

Comments

Date Completed

Mar 26, 2020 16:24:18

Description

Outcome

Recommendation Drafted

Scheduled Complete Date

Scheduled Start Date

Mar 24, 2020 13:00:35

Staff Assigned Id List

Assignments

Claudia Hicks

Relationships

Shadow Process: 120520817

Reviews Complete (Completed on Mar 26, 2020 16:24:18 by Claudia Hicks with outcome "Complete")

Actual Start Date

Date Completed

Mar 26, 2020 16:24:18

Description

Review Subjob 1 Complete

Outcome

Complete

Scheduled Complete Date

Scheduled Start Date

Change Status (Completed on Mar 27, 2020 12:37:04 by Bianca Maritz with outcome "To Submitted Status")

Actual Start Date

Date Completed

Mar 27, 2020 12:37:04

Description

Outcome

To Submitted Status

Prevent Checklist Creation

Y

Reason For Change INC0121488. Need to change the BP required to No
 Scheduled Complete Date
 Scheduled Start Date Mar 27, 2020 12:36:07
 Staff Assigned Id List
 ToDoListGoToPresentationName

Assignments

Bianca Maritz

Relationships

Shadow Process: 120701341

Change Status (Completed on Mar 27, 2020 12:40:12 by Bianca Maritz with outcome "To Preparing Recommendation Status")

Actual Start Date
 Date Completed Mar 27, 2020 12:40:12
 Description
 Outcome To Preparing Recommendation Status
 Prevent Checklist Creation Y
 Reason For Change INC0121488. Need to change status back to Preparing Recommendations as per Rebecca Doel's instructions.
 Scheduled Complete Date
 Scheduled Start Date Mar 27, 2020 12:39:08
 Staff Assigned Id List
 ToDoListGoToPresentationName

Assignments

Bianca Maritz

Relationships

Shadow Process: 120701497

Make Decision (Completed on Apr 2, 2020 11:49:42 by Mandy So with outcome "Defer or Clarify")

Actual Start Date
 Additional Information
 Addressing N
 Applicant Contacted N
 Approved Amendment Description
 Archaeological Site N

Building Line	N
Building Permit Project Coordinator	N
Building Policy	N
Comments	
Community Care Facilities Licensing	N
Cultural Spaces	N
Date Completed	Apr 2, 2020 11:49:42
Description	waiting for plans
Development Permit Project Coordinator	N
Development Review Manager	N
ECO Review	N
Electrical Plan Review	N
Energy Utility	N
Engineering	N
Engineering Assistant	N
Engineering Coordination Lead	N
Enhanced Airtightness	
Environmental Review	N
Facilities	N
FASE Officer	
Fire and Rescue Services	N
Flood Risk	N
Heritage	N
Housing Policy and Projects	N
Landscape	N
Landscape Setback	N
Legal Services	N
Licensing	N
Mechanical	N
Outcome	Defer or Clarify
Park Board	N
Parking Management Branch	

Parks Maintenance	N
Peat Risk	N
Plumbing Plan Review	N
Police	N
Policy Planner	N
Project and Quality Management	N
Project Facilitator	N
Real Estate Services	N
Required Information	
Rezoning Planner	N
Scheduled Complete Date	
Scheduled Start Date	Mar 26, 2020 16:24:18
Social Policy and Projects	N
Soil Liquefaction	N
Sprinkler Plan Review	N
SRA Designation	N
Staff Assigned Id List	
Street Activities	
Street Activities Coordinator	N
Street Activities Manager	N
Street Activities Supervisor	N
Street Furniture Manager	N
Subdivision	N
Sustainability	N
Traffic & Data Management	N
Traffic and Data Management	
Transportation Design	
UMB - Engineering Assistant	N
Unstable Soil	N
Urban Development Planner	N
Urban Forestry	N
Vancouver Coastal Health	N

Weather Protection	N
zzzBonus Density	N
zzzOfficial Development Plan	N

Assignments

Joe Bosnjak
 John Greer
 Mandy So
 Michelle Au
 Sonia Erichsen
 Tony Chen

Relationships

Shadow Process: 120654954

Draft Recommendation (Completed on Apr 3, 2020 09:00:33 by Claudia Hicks with outcome "Recommendation Drafted")

Actual Start Date	
Comments	
Date Completed	Apr 3, 2020 09:00:33
Description	
Outcome	Recommendation Drafted
Scheduled Complete Date	
Scheduled Start Date	Apr 2, 2020 11:49:42
Staff Assigned Id List	

Assignments

Claudia Hicks

Relationships

Shadow Process: 121144889

Make Decision (Completed on Apr 3, 2020 11:17:09 by Mandy So with outcome "Approved - without Conditions")

Actual Start Date	
Additional Information	
Addressing	N
Applicant Contacted	N
Approved Amendment Description	
Archaeological Site	N

Building Line	N
Building Permit Project Coordinator	N
Building Policy	N
Comments	
Community Care Facilities Licensing	N
Cultural Spaces	N
Date Completed	Apr 3, 2020 11:17:09
Description	
Development Permit Project Coordinator	N
Development Review Manager	N
ECO Review	N
Electrical Plan Review	N
Energy Utility	N
Engineering	N
Engineering Assistant	N
Engineering Coordination Lead	N
Enhanced Airtightness	
Environmental Review	N
Facilities	N
FASE Officer	
Fire and Rescue Services	N
Flood Risk	N
Heritage	N
Housing Policy and Projects	N
Landscape	N
Landscape Setback	N
Legal Services	N
Licensing	N
Mechanical	N
Outcome	Approved - without Conditions
Park Board	N
Parking Management Branch	

Parks Maintenance	N
Peat Risk	N
Plumbing Plan Review	N
Police	N
Policy Planner	N
Project and Quality Management	N
Project Facilitator	N
Real Estate Services	N
Required Information	
Rezoning Planner	N
Scheduled Complete Date	
Scheduled Start Date	Apr 3, 2020 09:00:33
Social Policy and Projects	N
Soil Liquefaction	N
Sprinkler Plan Review	N
SRA Designation	N
Staff Assigned Id List	
Street Activities	
Street Activities Coordinator	N
Street Activities Manager	N
Street Activities Supervisor	N
Street Furniture Manager	N
Subdivision	N
Sustainability	N
Traffic & Data Management	N
Traffic and Data Management	
Transportation Design	
UMB - Engineering Assistant	N
Unstable Soil	N
Urban Development Planner	N
Urban Forestry	N
Vancouver Coastal Health	N

Weather Protection	N
zzzBonus Density	N
zzzOfficial Development Plan	N

Assignments

David Jung
 Joe Bosnjak
 John Greer
 Mandy So
 Michelle Au
 Sonia Erichsen
 Tony Chen

Relationships

Shadow Process: 121192778

Issue Development Permit (Completed on Apr 3, 2020 11:20:46 by Claudia Hicks with outcome "Issued")

Actual Start Date	
Date Completed	Apr 3, 2020 11:20:46
Description	
Outcome	Issued
Override Description	
Override Outstanding Conditions	N
Scheduled Complete Date	
Scheduled Start Date	Apr 3, 2020 11:17:10

Assignments

Claudia Hicks

Relationships

Checklist: Create DCL Item on Details Tab: Create DCL Item on Details Tab as "Required" or "Exemption"

Completed Date	Apr 3, 2020 11:20:46
Completed?	Y
Description	Create DCL Item on Details Tab as "Required" or "Exemption"
Mandatory?	Y
Name	Create DCL Item on Details Tab
Sort Order	1

Print Development Permit (Completed on Apr 3, 2020 11:20:46 by Claudia Hicks with outcome "Printed")

Actual Start Date	
Date Completed	Apr 3, 2020 11:20:46
Description	
Outcome	Printed
Scheduled Complete Date	
Scheduled Start Date	

Relationships

Development Permit Document: 121203807

Revisions

Revision 1 created on Apr 3, 2020 11:20:53 by Claudia Hicks

Request Permit Amendment (Completed on Jun 4, 2020 06:32:20 by Claudia Hicks with outcome "Requested")

Actual Start Date	
Amendment Description	Liquor Establishment Class 4
Comments	
Date Completed	Jun 4, 2020 06:32:20
Description	
Outcome	Requested
Scheduled Complete Date	
Scheduled Start Date	Jun 4, 2020 06:32:13
Staff Assigned Id List	

Assignments

Claudia Hicks

Relationships

Shadow Process: 124342558

Review Amendment (Completed on Jun 4, 2020 06:32:43 by Claudia Hicks with outcome "Accepted - Issue Change Notice")

Actual Start Date	
Change Description	Liquor Establishment Class 4
Comments	
Date Completed	Jun 4, 2020 06:32:43
Description	

Message To Applicant

Outcome

Accepted - Issue Change Notice

Scheduled Complete Date

Scheduled Start Date

Jun 4, 2020 06:32:20

Staff Assigned Id List

Assignments

Claudia Hicks

Relationships

Shadow Process: 124342560

Print Development Permit (Completed on Jun 4, 2020 06:32:43 by Claudia Hicks with outcome "Printed")

Actual Start Date

Date Completed

Jun 4, 2020 06:32:43

Description

Outcome

Printed

Scheduled Complete Date

Scheduled Start Date

Relationships

Development Permit Document: 124342577

Revisions

Revision 1 created on Jun 4, 2020 06:32:48 by Claudia Hicks

Request Permit Extension / Renewal (Completed on Oct 6, 2021 13:12:30 by Samantha Senechal with outcome "Requested")

Actual Start Date

Comments

Date Completed

Oct 6, 2021 13:12:30

Description

Outcome

Requested

Scheduled Complete Date

Scheduled Start Date

Oct 6, 2021 13:12:26

Staff Assigned Id List

Relationships

Shadow Process: 156651632

Pay Fees (Completed on Oct 6, 2021 13:13:31 by Samantha Senechal with outcome

"Paid")

Actual Start Date

Comments

CreatedByProcessId

156651625

Date Completed

Oct 6, 2021 13:13:31

Description

Fees paid under main DP-2020-00230

Outcome

Paid

Route Order

Scheduled Complete Date

Scheduled Start Date

Oct 6, 2021 13:12:30

Staff Assigned Id List

Assignments

Raymond Huynh

Samantha Senechal

Relationships

Shadow Process: 156651634

Review Time Limited DP (Completed on Oct 26, 2021 11:39:20 by Lynn Wong with outcome "Extension Supported")

Actual Start Date

Applicant Contacted

N

Comments

Date Completed

Oct 26, 2021 11:39:20

Description

DP Reminder Letter sent to apply for extensions for DP-2020-00230 & DP-2020-00238 (under CF-2021-014109)

Outcome

Extension Supported

Scheduled Complete Date

Scheduled Start Date

Jul 16, 2021 01:04:00

Staff Assigned Id List

Assignments

Lynn Wong

Relationships

Shadow Process: 151728820

Review Extension / Renewal Request (Completed on May 20, 2022 15:53:01 by Samantha Senechal with outcome "Granted")

Actual Start Date

Applicant Contacted	N
Comments	
Date Completed	May 20, 2022 15:53:01
Description	Extension granted until September 14, 2022
ExtensionDetails	
New Expiration Date	Sep 14, 2022 00:00:00
Outcome	Granted
Scheduled Complete Date	
Scheduled Start Date	Oct 6, 2021 13:13:31
Staff Assigned Id List	

Assignments

Samantha Senechal

Relationships

Shadow Process: 156651695

Print Development Permit (Completed on May 20, 2022 15:53:01 by Samantha Senechal with outcome "Printed")

Actual Start Date	
Date Completed	May 20, 2022 15:53:01
Description	
Outcome	Printed
Scheduled Complete Date	
Scheduled Start Date	

Relationships

Development Permit Document: 175370349

Revisions

Revision 1 created on May 20, 2022 15:53:02 by Samantha Senechal

Expire Permit (Completed on May 20, 2022 15:53:14 by Samantha Senechal with outcome "Extend")

Actual Start Date	
Applicant Contacted	N
Date Completed	May 20, 2022 15:53:14
Description	Expire Permit
Outcome	Extend

Scheduled Complete Date

Scheduled Start Date

Sep 14, 2022 00:00:00

Staff Assigned Id List

ToDoListGoToPresentationName

Assignments

Samantha Senechal

Relationships

Shadow Process: 155294763

Request Permit Extension / Renewal (Completed on Aug 8, 2022 10:40:30 by Arlene Tio with outcome "Requested")

Actual Start Date

Comments

Date Completed

Aug 8, 2022 10:40:30

Description

Outcome

Requested

Scheduled Complete Date

Scheduled Start Date

Aug 8, 2022 10:40:25

Staff Assigned Id List

Relationships

Shadow Process: 180878399

Review Time Limited DP (Completed on Aug 30, 2022 13:55:46 by Lynn Wong with outcome "Extension Supported")

Actual Start Date

Applicant Contacted

N

Comments

Date Completed

Aug 30, 2022 13:55:46

Description

DP Reminder Letter sent to apply for extensions for DP-2020-00230 & DP-2020-00238 (under CF-2022-009340).

Outcome

Extension Supported

Scheduled Complete Date

Scheduled Start Date

Jul 16, 2022 01:25:21

Staff Assigned Id List

Assignments

Lynn Wong

Relationships

Shadow Process: 179466973

Request Permit Extension / Renewal (Completed on Sep 7, 2022 12:35:00 by Arlene Tio with outcome "Requested")

Actual Start Date

Comments

Date Completed

Sep 7, 2022 12:35:00

Description

Outcome

Requested

Scheduled Complete Date

Scheduled Start Date

Sep 7, 2022 12:34:55

Staff Assigned Id List

Relationships

Shadow Process: 182703604

Pay Fees (Completed on Sep 7, 2022 12:47:53 by Arlene Tio with outcome "Paid")

Actual Start Date

Comments

CreatedByProcessId

180878392

Date Completed

Sep 7, 2022 12:47:53

Description

Outcome

Paid

Route Order

Scheduled Complete Date

Scheduled Start Date

Aug 8, 2022 10:40:30

Staff Assigned Id List

Assignments

Arlene Tio

Raymond Huynh

Relationships

Shadow Process: 180878401

Review Extension / Renewal Request (Completed on Oct 5, 2022 10:08:30 by Arlene Tio with outcome "Granted")

Actual Start Date

Applicant Contacted

N

Comments

Date Completed

Oct 5, 2022 10:08:30

Description

Extended until September 14, 2023
Extend for 1 YR per Mandy and Analiza

ExtensionDetails

New Expiration Date

Sep 14, 2023 00:00:00

Outcome

Granted

Scheduled Complete Date

Scheduled Start Date

Sep 7, 2022 12:47:53

Staff Assigned Id List

Assignments

Arlene Tio

Relationships

Shadow Process: 182705397

Print Development Permit (Completed on Oct 5, 2022 10:08:30 by Arlene Tio with outcome "Printed")

Actual Start Date

Date Completed

Oct 5, 2022 10:08:30

Description

Outcome

Printed

Scheduled Complete Date

Scheduled Start Date

Relationships

Development Permit Document: 184385251

Revisions

Revision 1 created on Oct 5, 2022 10:08:31 by Arlene Tio

Expire Permit (Completed on Oct 5, 2022 10:09:02 by Arlene Tio with outcome "Extend")

Actual Start Date

Applicant Contacted

N

Date Completed

Oct 5, 2022 10:09:02

Description

Expire Permit

Outcome

Extend

Scheduled Complete Date

Scheduled Start Date

Sep 15, 2022 01:39:42

Staff Assigned Id List

ToDoListGoToPresentationName

Assignments

Arlene Tio

Relationships

Shadow Process: 183206402

Request Permit Extension / Renewal (Completed on Aug 9, 2023 11:53:39 by Arlene Tio with outcome "Requested")

Actual Start Date

Comments

Date Completed

Aug 9, 2023 11:53:39

Description

Outcome

Requested

Scheduled Complete Date

Scheduled Start Date

Aug 9, 2023 11:53:33

Staff Assigned Id List

Relationships

Shadow Process: 208859919

Review Time Limited DP (Completed on Aug 24, 2023 15:15:18 by Lynn Wong with outcome "Extension Supported")

Actual Start Date

Applicant Contacted

N

Comments

Date Completed

Aug 24, 2023 15:15:18

Description

DP Reminder Letter sent to apply for extensions for DP-2020-00230 & DP-2020-00238 (under CF-2023-009356)

Outcome

Extension Supported

Scheduled Complete Date

Scheduled Start Date

Jul 16, 2023 03:24:11

Staff Assigned Id List

Assignments

Lynn Wong

Relationships

Shadow Process: 207201417

Pay Fees (Completed on Oct 16, 2023 15:02:19 by Arlene Tio with outcome "Paid")

Actual Start Date
Comments
CreatedByProcessId 208859912
Date Completed Oct 16, 2023 15:02:19
Description fee paid under DP-2020-00230
Outcome Paid
Route Order
Scheduled Complete Date
Scheduled Start Date Aug 9, 2023 11:53:39
Staff Assigned Id List

Assignments

Arlene Tio

Relationships

Shadow Process: 208859921

Review Extension / Renewal Request (Completed on Nov 1, 2023 13:13:23 by Arlene Tio with outcome "Granted")

Actual Start Date
Applicant Contacted N
Comments
Date Completed Nov 1, 2023 13:13:23
Description Extension granted until September 14, 2024
ExtensionDetails
New Expiration Date Sep 14, 2024 00:00:00
Outcome Granted
Scheduled Complete Date
Scheduled Start Date Oct 16, 2023 15:02:19
Staff Assigned Id List

Assignments

Arlene Tio

Relationships

Shadow Process: 213592903

Print Development Permit (Completed on Nov 1, 2023 13:13:23 by Arlene Tio with outcome "Printed")

Actual Start Date

Date Completed

Nov 1, 2023 13:13:23

Description

Outcome

Printed

Scheduled Complete Date

Scheduled Start Date

Relationships

Development Permit Document: 214950577

Revisions

Revision 1 created on Nov 1, 2023 13:13:25 by Arlene Tio

Expire Permit (Completed on Nov 1, 2023 13:13:36 by Arlene Tio with outcome "Extend")

Actual Start Date

Applicant Contacted

N

Date Completed

Nov 1, 2023 13:13:36

Description

Expire Permit

Outcome

Extend

Scheduled Complete Date

Scheduled Start Date

Sep 15, 2023 03:43:47

Staff Assigned Id List

ToDoListGoToPresentationName

Assignments

Arlene Tio

Relationships

Shadow Process: 211298004

Reminder

Actual Start Date

Comments

Final reminder sent to pick up permit.

Date Completed

Description

Note

Outcome

Scheduled Complete Date

Scheduled Start Date

Aug 27, 2020 12:45:04

Staff Assigned Id List

Assignments

Bhupinder Puar

Relationships

Shadow Process: 129328212

Reminder

Actual Start Date

Comments

DO NOT DELETE

Date Completed

Description

Sept 20 - circulation complete
Sept 7 - waiting for Gage to comment
Sept 1 - emailed link for renewal form
Aug 8 - EXTEND 1 YR PER MANDY
Aug 8 - touched base with Analiza. She prefers 1 yr extension for now. Arlene emailed Mandy (cc PUI)

Note

Outcome

Scheduled Complete Date

Scheduled Start Date

Aug 8, 2022 10:39:11

Staff Assigned Id List

Reminder

Actual Start Date

Comments

do not delete

Date Completed

Description

Fee created under DP-2020-00230
2nd extension. chk with pui regarding extension time.

Oct 13 - waiting for analiza, tanya

Note

Outcome

Scheduled Complete Date

Scheduled Start Date

Aug 9, 2023 11:46:33

Staff Assigned Id List

Instance security

Address Maintenance	Read, Modify
Authenticated Web Read	Read
Development Permit Internal Read	Read, Modify
Development Permit Internal Update	Read, Modify
PI Read	Read
PI Update	Read, Modify
Public Web	Read
User Admin Read	Read
User Admin Update	Read, Modify
www000038409	Read, Modify

Relationships

- Applicant Customer: Raymond Huynh s.22(1)
- Application Document: 120358977
- Application Document: 120359831
- Application Document: 120359848
- Application Document: 120360392
- Application Document: 120360432
- Application Document: 120360498
- Application Document: 121155578
- Authorization Financial Profile: Development Permit (Permitting and Inspections (PI))
- Development Permit Document: 214950577
- Electronic Document: 120359571
- Electronic Document: 120359774
- Electronic Document: 120652020
- Electronic Document: 124342585
- Electronic Document: 131241750
- Electronic Document: 162493655
- Electronic Document: 162908281
- Electronic Document: 175348674
- Electronic Document: 175349305
- Electronic Document: 175349411
- Electronic Document: 175370300

Electronic Document: 175370458

Electronic Document: 182643480

Electronic Document: 182755521

Electronic Document: 182755530

Electronic Document: 183506428

Electronic Document: 184384940

Electronic Document: 211965990

Electronic Document: 213635082

Electronic Document: 214941201

Electronic Document: 214941885

Electronic Document: 214950487

Fee Display: 120357185

Fee Item Code: 04(b) - Alt or Change Use Non Single Detached House/Duplex - Conditional

Hours	0
Minutes	0
Value	2348.00

File Owner: Claudia Hicks

Parcel: 009-773-614 - Parcel: 1001 W BROADWAY, Vancouver, BC V6H 4B1

Permit Term: (1) The outdoor patio ceasing all liquor service and vacated by 11:00 p.m. nightly.

Permit Term: (10) The approval is for a limited period of time expiring on September 14, 2021, unless extended in writ

Permit Term: (11) The site shall comply with relevant Provincial and City by-law with respect to COVID-19 (Novel Coron

Permit Term: (2) The applicant must obtain approvals for, and adhere to, all applicable Provincial Liquor Licensing r

Permit Term: (3) A neighbourhood liaison shall be made available to whom complaints may be directed about any aspects

Permit Term: (4) Food service to be available on the patio when open.

Permit Term: (5) A maximum of 182 persons capacity for the outdoor patio.

Permit Term: (6) No music or entertainment permitted on the patio.

Permit Term: (7) Applicant to adhere to the Good Neighbour Agreement dated February 18, 2020, and signed by Raymond H

Permit Term: (8) Operator/Owner of the premise must ensure that the operation is in compliance with all relevant sect

Permit Term: (9) Operator must comply with the Health By-law in regards to smoking restrictions.

Processing Stream: Development Review Branch

Review Application: DP-2020-00238-REVIEW-1: Completed

Use: Cultural/Recreational Uses: Not Applicable

Use: Service Uses: Restaurant - Class 2