

File No.: 04-1000-20-2024-391

October 22, 2024

s.22(1)

Dear s.22(1)

Re: **Request for Access to Records under the Freedom of Information and Protection of Privacy Act (the "Act")**

I am responding to your request of June 26, 2024 under the *Freedom of Information and Protection of Privacy Act* for:

Record of the proposed budget for the construction of 525 Powell Street and the City's contribution to the construction costs. Date range: December 23, 2023 to April 15, 2024.

All responsive records are attached. Some information in the records has been severed (blacked out) under s.17(1) of the Act. You can read or download this section here: http://www.bclaws.ca/EPLibraries/bclaws_new/document/ID/freeside/96165_00.

Please note, Non-Market Housing Development & Operations staff have advised that the attached records reflect the proposed budget submitted to the City for construction costs only.

Additionally, staff have advised that the City's contribution to the construction costs has been in the form of waiving development cost charges/levies for affordable housing projects (see the following link for more information: <https://guidelines.vancouver.ca/bulletins/bulletin-development-cost-levies.pdf>), environmental cost estimate to remediate (approximately \$997,000), and the land (appraised cost of approximately \$5 million, provided to the project over a long term lease with a nominal rent value).

Under section 52 of the Act, and within 30 business days of receipt of this letter, you may ask the Information & Privacy Commissioner to review any matter related to the City's response to your FOI request by writing to: Office of the Information & Privacy Commissioner, info@oipc.bc.ca or by phoning 250-387-5629.

If you request a review, please provide the Commissioner's office with: 1) the request number (2024-391); 2) a copy of this letter; 3) a copy of your original request; and 4) detailed reasons why you are seeking the review.

Yours truly,

[Signed by Cobi Falconer]

Cobi Falconer, MAS, MLIS, CIPP/C
Director, Access to Information & Privacy

If you have any questions, please email us at foi@vancouver.ca and we will respond to you as soon as possible. You may also contact 3-1-1 (604-873-7000) if you require accommodation or do not have access to email.

Encl. (Response Package)

:kt



CORE TWO

COST MANAGEMENT- CLASS 'C' COST PLAN REPORT

525 Powell Street

525 Powell Street, Vancouver, BC

PREPARED FOR:
City of Vancouver

November 7, 2023

520-601 WEST BROADWAY, VANCOUVER, BC V5Z 4C2

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1.0 INTRODUCTION

1.1 Instructions Received

This report has been prepared by Core Two Management Group Ltd ("Core Two") at the request of the City of Vancouver. Core Two has been appointed to provide a Class 'C' estimate based on design notes and drawings received October 18, 24 and 26, 2023 from Stantec for the 525 Powell Street project to be located at 525 Powell Street, Vancouver, BC

1.2 Contacts

Should you have any queries regarding the content of this report, please do not hesitate to contact the following:

Angela Lai, Managing Partner, FRICS, PQS (F), P.GSC, LEED AP (O+M)



Tel: 604-760-3402
Email: angelalai@coretwo.ca

1.3 Purpose of the Report

The purpose of this report is to provide an estimate of the construction cost for new construction work based on the information made available to Core Two on October 18, 24 and 26, 2023 from Stantec.

The estimate produced is a determination of the fair market value for the construction of the project and is not necessarily a prediction of the lowest bid.

We recommend the following:

- The design and client team review and comment on the estimate;
- The design and client team review in detail the exclusions and assumptions list including the key cost considerations of the estimate;
- Value engineering to be considered should there be any budget concerns.

<i>Rev</i>	<i>Originator</i>	<i>Approved</i>	<i>Date</i>
0	Melissa Lee	Angela Lai	November 7, 2023

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2.0 EXECUTIVE SUMMARY

2.1 Project Background

The project consists of the construction of a ten-storey project to be located at 525 Powell Street, Vancouver, BC. The facility will comprise residential and a CRU space. The project will provide a gross floor area of approximately 11,481 m² (123,575 ft²) with hard/soft landscaping surrounding the building and one level of below grade parking.

There are two options being costed:

- Option 1 (Concrete Structure) – The building structure will be a concrete structure.
- Option 2 (Hybrid Structure (Structural Steel and Mass Timber)) – The building structure will be a hybrid structure (structural steel, mass timber and concrete).

The exterior cladding comprises fiber cement panels, aluminum composite metal panel, brick veneer, and curtain walling and a 2-ply roofing membrane and roof pavers for the roof covering. The interior finishes are steel stud walls with painted gypsum wallboard and wall tiles. Floor finishes comprise traffic coating, tiles, luxury vinyl plank, carpet tiles non-slip vinyl sheet flooring, epoxy coating, and sealed concrete.

The mechanical system consists of an HVAC system with controls, standard plumbing, and fire protection system. The electrical system comprises power and distribution, lighting, communications services, a fire alarm system, and an access control system.

2.2 Financial overview

The Class 'C' estimates for the two options are as follows (exclusive of applicable taxes and items detailed in Section 5.0 of this cost plan report):

	Amount
Option 1 (CONCRETE STRUCTURE)	s.17(1)
Option 2 (HYBRID STRUCTURE (STRUCTURAL STEEL AND MASS TIMBER))	

Please note the following:

- The above total excludes allowance for escalation between now and the respective start on site date;
- The estimate assumes a stipulated sum procurement method;
- The estimate assumes a competitive bid process with at least 3 to 5 bidders;
- A detailed breakdown of approximate areas is provided in Appendix 4;
- Refer to Section 12.0 for our view of primary risks.

2.3 Key project parameters

Construction Cost Status	Option 1 (CONCRETE STRUCTURE)	Option 2 (HYBRID STRUCTURE (STRUCTURAL STEEL AND MASS TIMBER))
Current Estimate (incl. contingencies)	s.17(1)	s.17(1)
Current Cost/sf (Net building cost excluding site work and allowances)		
Current Cost/sf (Net construction cost including site work and excluding allowances)		
Current Cost/sf (Total estimated construction cost)		
Project Specifics		
GFA (m ²)	11,481 m ²	11,481 m ²
GFA (sf)	123,575 ft ²	123,575 ft ²
Escalation	Excluded	Excluded
Design Contingency	10%	10%
Construction Contingency	5%	5%

3.0 SUMMARY OF PROJECT COST ESTIMATE

3.1 Summary of Project Costs (Option Cost Comparison)

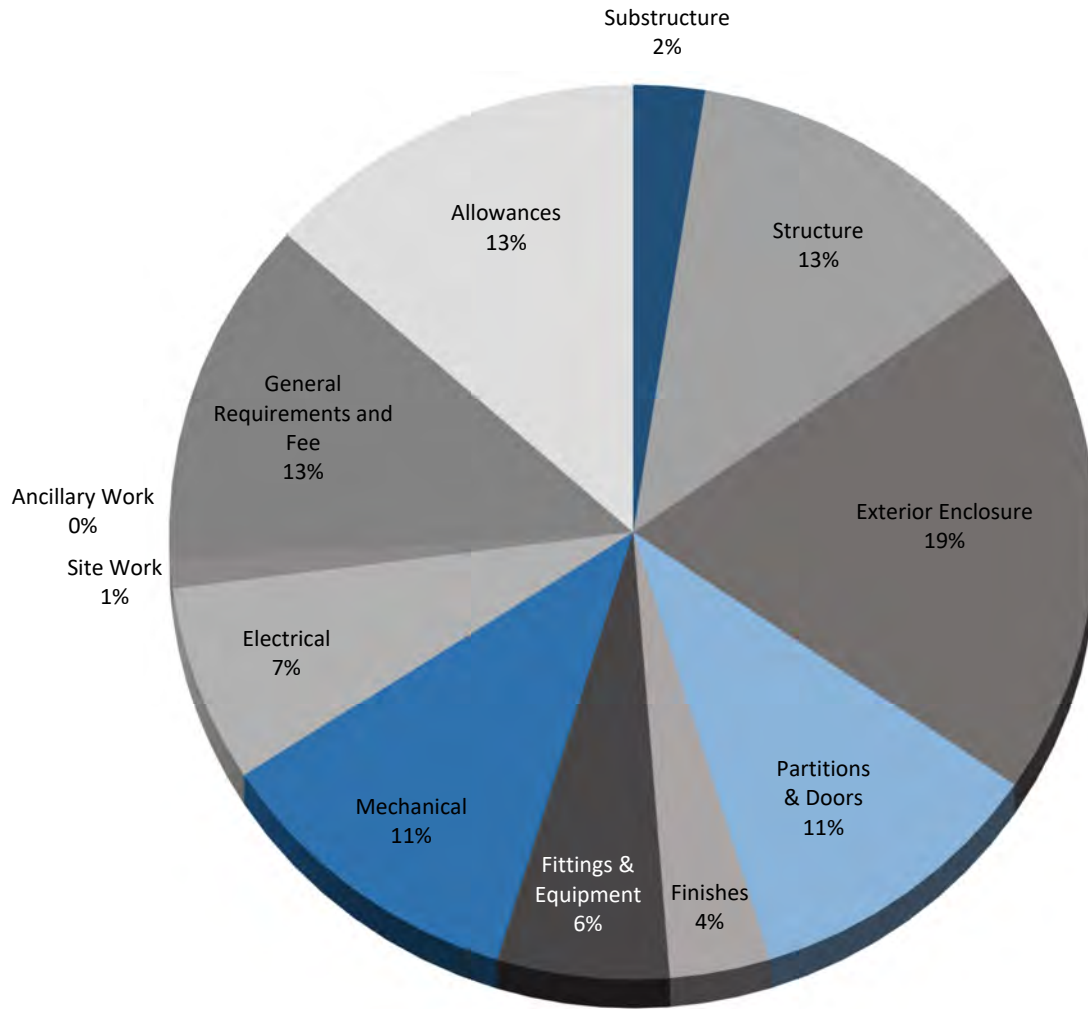
Code	Element	Option 1 (CONCRETE STRUCTURE)		Option 2 (HYBRID STRUCTURE (STRUCTURAL STEEL AND MASS TIMBER))	
		Estimated Cost (\$)	Cost/GFA (\$/ft ²)	Estimated Cost (\$)	Cost/GFA (\$/ft ²)
A1	Substructure	s.17(1)	s.17(1)	s.17(1)	s.17(1)
A2	Structure				
A3	Exterior Enclosure				
B1	Partitions & Doors				
B2	Finishes				
B3	Fittings & Equipment				
C1	Mechanical				
C2	Electrical				
Z1	General Requirements & Fees				
	Net Building Cost				
D1	Site Work				
D2	Ancillary Work				
Z1	General Requirements & Fees				
	Net Construction				
Z2	Allowances				
	Total Estimated Construction Cost				

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3.2 Key cost drivers

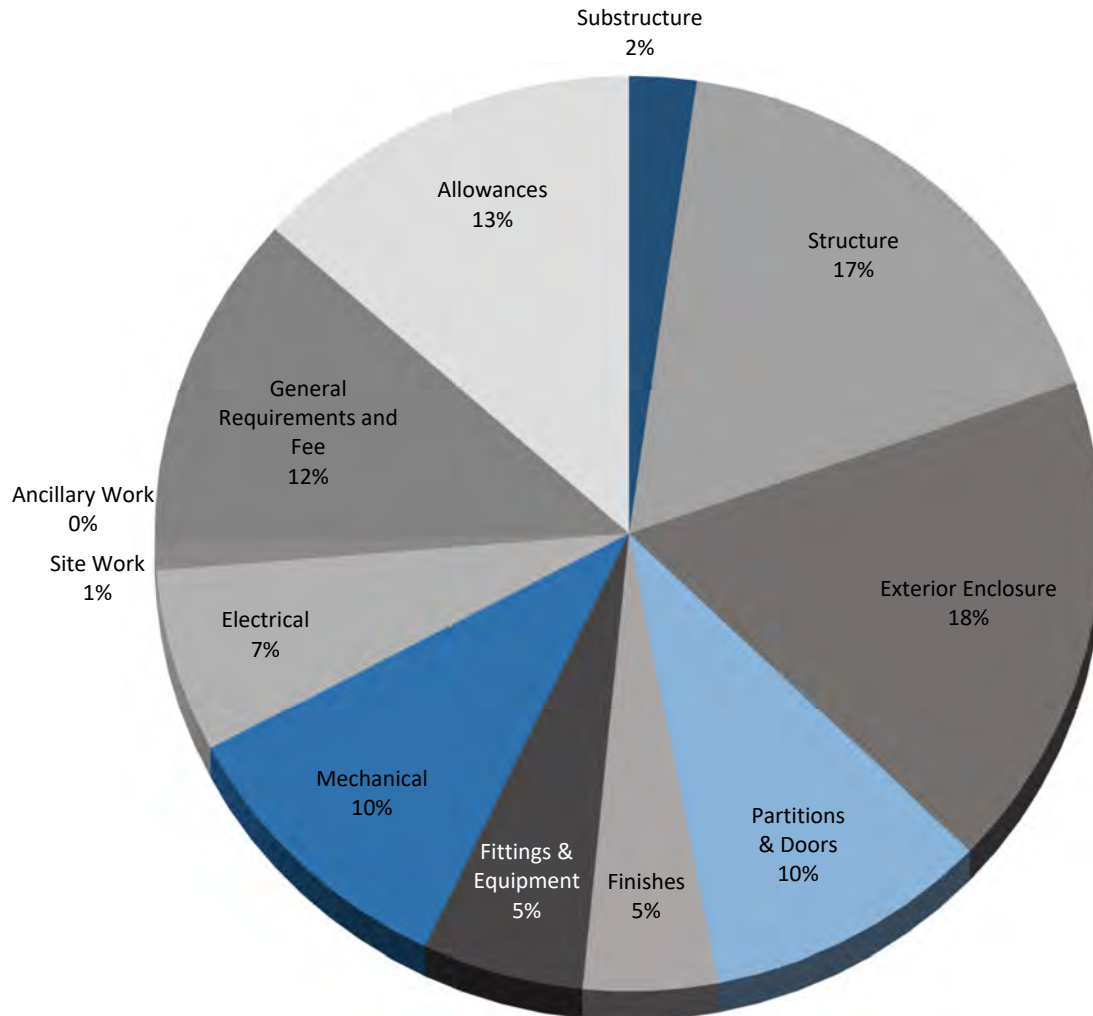
The chart below reflects the percentage split between the various elements:

Option 1 (Concrete Structure)



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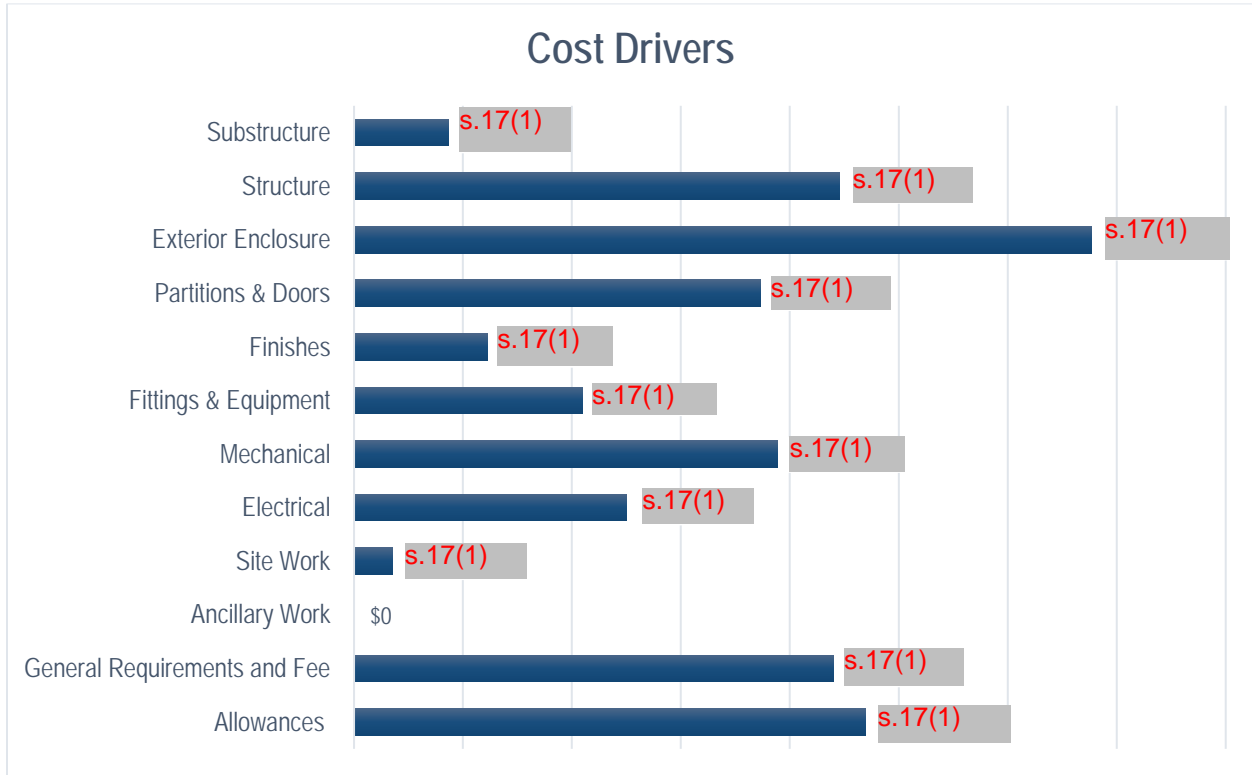
Option 2 (Hybrid Structure (Structural Steel and Mass Timber))



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The following chart reflects the key cost drivers:

Option 1 (Concrete Structure)

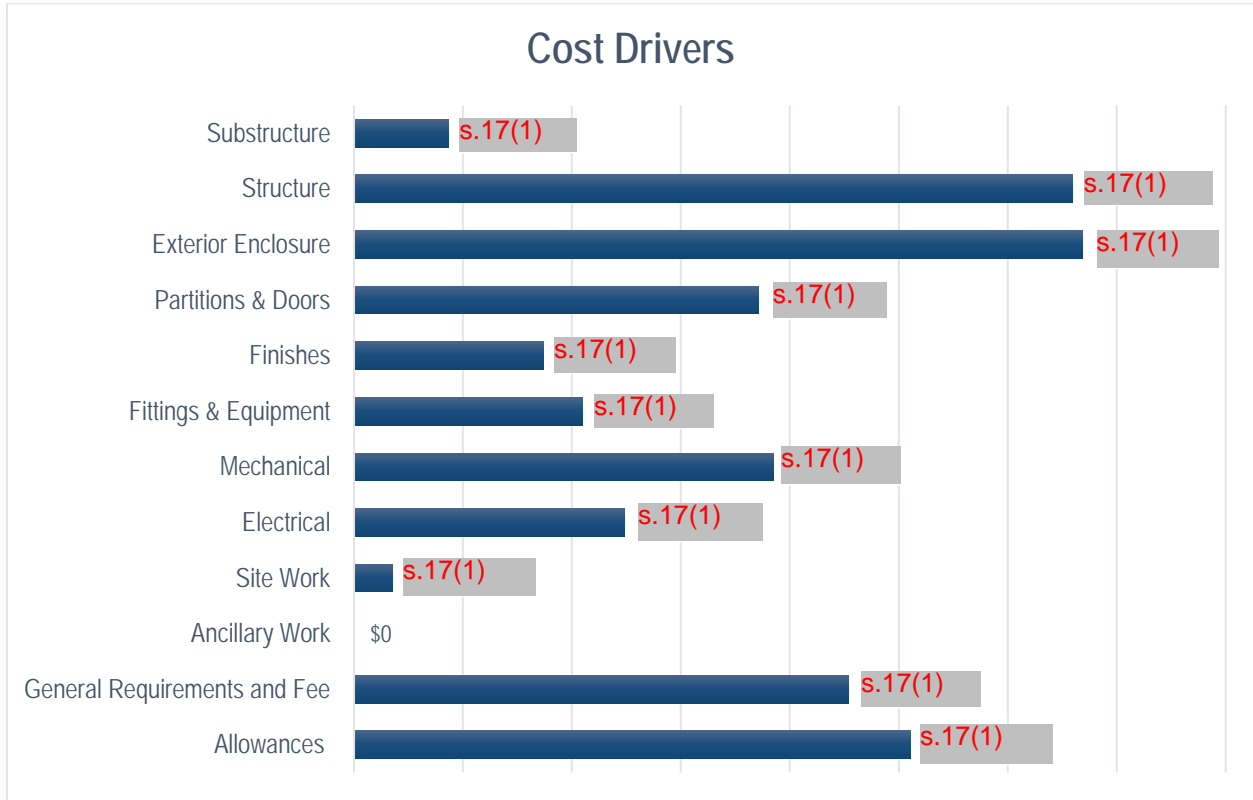


The following are the 3 top cost drivers for the project:

- Exterior Enclosure - 19% of the total estimated construction cost;
- Allowances- 13% of the total estimated construction cost;
- General Requirements - 13% of the total estimated construction cost.

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Option 2 (Hybrid Structure (Structural Steel and Mass Timber))



The following are the 3 top cost drivers for the project:

- Exterior Enclosure - 18% of the total estimated construction cost;
- Structure - 17% of the total estimated construction cost;
- Allowances- 13% of the total estimated construction cost.

4.0 BASIS AND ASSUMPTIONS

4.1 Information used

- This estimate has been prepared from design notes and drawings received October 18, 24 and 26, 2023 from Stateg;
- Refer to Section 6.0 for a full list of information used for this estimate;
- Area schedule not verified by the architect.

4.2 Assumptions

- The Class 'C' estimate assumes a stipulated sum procurement method in an open competitive market with a minimum of 3 to 5 bids;
- Gross floor areas (GFA) have been measured in accordance with the guidelines established by the Canadian Institute of Quantity Surveyors (CIQS);
- The estimate assumes that the site will be accessible and available for carrying out the work for at least 8 continuous workhours in a day;
- Structural (both options)
 - Standard foundation system c/w concrete pad and strip footings, elevator pit, sump pits, perimeter weeping tile;
 - Shotcrete shoring around South, West, and East of Parkade structure;
 - Sloped excavation on North of Parkade structure;
 - Underpinning to existing structure along East of property line;
 - Below grade Parkade structure is concrete frame structure complete with concrete slab on grade, suspended concrete flat slab, columns, and core/shear walls;
 - Concrete firewall along East of property line;
- Structural - Concrete option
 - Above grade building structure is concrete frame structure complete with suspended concrete flat slab, transfer slab/slab bands, columns, and core/shear walls;
- Structural - Hybrid Structure (Structural Steel and Mass Timber) option
 - Above grade building structure from Ground to Level 2 slab is concrete frame structure complete with suspended concrete flat slab, transfer slab/slab bands, columns, and core/shear walls up to Level 2;
 - Above grade building structure from Level 3 to Roof is mass timber structure complete with 5-ply 175mm thick CLT panels supported by HSS steel columns and concrete core/shear walls;
- Mechanical & Electrical
 - Central hot water generation system via electric resistance hot water heaters;
 - Heating and cooling in residential suites and amenity area;
 - In-suite HRV/ERV provides ventilation;
 - Heating and cooling from air-source heat pump PTAC units installed on exterior wall;
 - Electric resistance baseboards in bedrooms without PTAC units;
 - Ventilation is provided by one fan per floor;
 - VRF to retail unit;
 - DDC controls for main mechanical equipment, localized controls within suites;
 - Power Substation set;
 - Power distribution includes meter centers, secondary transformer, suite panelboards, and associated feeders;
 - Standby generator;
 - EV charging system for wiring, conduit, and outlet only;
 - Site connections are within 10 meters from the property line;
 - Access control system to common areas only;
- Architectural
 - Double glazed fiberglass windows;
 - Double glazed aluminum framed suite balcony doors.

5.0 EXCLUSIONS

The following are excluded but are known to have a cost impact and therefore need to be covered by other budgets within the overall Project Cost Budget. The list is intended only as a guide and cannot be relied upon to be exhaustive:

- Goods and Services Tax (GST)
- Land costs;
- Project insurances;
- Professional fees and disbursements;
- Legal fees and disbursements;
- Project Management Fees
- Planning/building control fees, statutory fees, site surveys and environmental audits;
- Developer's risk allowance/overall project contingency;
- Client finance costs and insurances;
- Owner's administration expenses;
- Local Authority charges and road closures;
- Planning, administrative and financing costs;
- Building permits and development cost charges;
- Temporary facilities for user groups during construction;
- Removal and/or handling of hazardous/contaminated material;
- Demolition of existing structure and site;
- Unforeseen ground conditions and associated extras;
- Environmental remediation;
- Phasing of the works and an accelerated schedule;
- Decanting & moving;
- Project commissioning;
- Erratic market conditions, such as lack of bidders, proprietary specifications;
- Overtime premium;
- Loose furnishings and equipment;
- Artwork/ murals;
- Fittings to CRU space;
- Offsite works;
- Re and re sidewalk and public ROW;
- Special foundation system (i.e., raft/ piled foundation system);
- Secant/H-pile shoring (assumed shotcrete shoring in the estimate);
- Rock excavation;
- Insulation underneath slab on grade except on heat treatment room;
- Waterproofing system underneath slab on grade;
- Under slab drainage system;
- Tank lining to Parkade;
- Storm detention tank in Parkade;
- Green roof system;
- Roof leak detection system;
- Wall protection/railings (allowed only for corner guards);
- Office and IT equipment;
- Window washing equipment;
- Extensive site cut and fill;
- Site stormwater detention tank;
- Utility connection fees;
- Relocation of existing M&E incoming services;
- EV charger;
- Vista switch (assumed by BC Hydro);
- Incoming power and communication cabling (by the Utility company);
- 24/7 site security requirements;
- Cost escalation past November 2023;

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- Change in design information from that noted in Section 6.0.

6.0 DOCUMENTS REVIEWED

The list below confirms the information received and reviewed in the preparation of the estimate:

DOCUMENT NAME	CONSULTANT	DESCRIPTION	DATED
Drawings / Plans			
Architectural Drawings	Stantec	Preliminary	June 22, 2023
Others			
Report	Stantec	Building Systems for Class C Costing	October 18, 2023
Email	Stantec	Level 1 Area Marked Up Drawing	October 26, 2023
Email	WSP	Mechanical Systems Description	October 24, 2023

7.0 TAXES

The estimate includes the Provincial Sales Tax (P.S.T.) where applicable.

The estimate excludes the Goods & Services Tax (G.S.T.).

8.0 CONTINGENCIES

8.1 Design Contingency

A design contingency of 10% has been included in the estimate to cover further modifications to the drawings and specifications.

8.2 Construction Contingency

An allowance of 5% has been included in the estimate for unforeseen conditions and changes occurring during the construction period of the project. This amount may be expended due to site conditions or if there are co-ordination modifications to the drawings and specifications.

9.0 RISKS

The following represent our current view of the key risks that may affect the financial robustness of this cost estimate. Whilst the list is not exhaustive, it has been produced as a checklist to be actively managed so that these risks can be avoided/mitigated:

- Market conditions (see Section 6.0);
- Schedule;
- Influence of third parties e.g., City approvals;
- Design and specification co-ordination;
- Procurement delivery method;
- Special foundation system, if found to be required;
- Hazardous materials abatement, if found to be required;
- Remediation of contaminated soil, if found to be required;
- Rock excavation, if found to be required;
- Using secant and/or H-pile shoring in lieu of shotcrete shoring;
- Tight project site;
- Disruptions to traffic;
- Potential cost increase for mechanical/ electrical equipment with long lead times;
- Upward material cost trends.

10.0 RELIANCE UPON THE REPORT

Core Two recommends that City of Vancouver and design team review this cost plan report in detail, with particular reference to the exclusions, basis and assumptions, contingencies, and cash allowances. If the project is over budget or there are general budgeting issues relating to specific elements, value engineering should be considered.

Requests for modifications of any apparent errors or omissions to this document must be made to Core Two within ten (10) working days of receipt of this estimate. Otherwise, it will be understood that the contents have been concurred with and accepted with no further changes required. Please note this this does not include design changes from the design information used within this report or value engineering, both of which would be additional scope.

APPENDIX 1

EXECUTIVE SUMMARY



525 Powell Street - Option 1 (Concrete Structure) & Option 2 (Hybrid Structure (Structural Steel and Mass Timber))
 Class C Estimate Rev.0

EXECUTIVE SUMMARY

	Option 1 (Concrete Structure)			Option 2 (Hybrid Structure (Structural Steel and Mass Timber))		
	BUDGET	\$/ft ²	\$/m ²	BUDGET	\$/ft ²	\$/m ²
1 Net Building Cost (Excluding Site Development Work)	s.17(1)			s.17(1)		
2 General Requirements						
3 Fee						
Net Building Cost (Excluding Site Work)						
4 Site Development Work						
5 General Requirements						
6 Fee						
Net Building Cost (Including Site Work)						
7 Design Allowance/Design Reserve						
8 Construction Allowance (Post Contract Contingency)						
9 Escalation (Excluded)						
Net Building Cost (Including Site Work and Allowances)						
10 Goods and Services Tax						
Total Construction Cost						
<i>Gross Floor Area</i>		123,575 sf	11,481 m ²		123,575 sf	11,481 m ²

APPENDIX 2

DETAILED ESTIMATE

(OPTION 1 – CONCRETE STRUCTURE)



TOTAL		m ²			ft ²			Amount \$	Total Cost \$	%
		Ratio G.F.A.	Element Quantity	Unit	Average Unit Cost	Element Quantity	Unit			
A1	SUBSTRUCTURE		11,481	m ²	s.17(1)	123,575	ft ²	s.17(1)	s.17(1)	2.9%
A11.1	Standard Foundations	1.12	12,892	m ²		138,768	ft ²	s.17(1)		
A11.2	Special Foundations	0.00	0	m ²		0	ft ²			
A12	Basement Excavation	0.48	5,561	m ³		7,274	cy			
A2	STRUCTURE		11,481	m ²		123,575	ft ²		s.17(1)	14.9%
A21	Lowest Floor Construction	0.14	1,614	m ²		17,373	ft ²			
A22.1	Upper Floor Construction	0.98	11,278	m ²		121,395	ft ²			
A22.2	Stair Construction	0.04	510	risr		510	risr			
A23	Roof Construction	0.14	1,664	m ²		17,911	ft ²			
A3	EXTERIOR ENCLOSURE		11,481	m ²		123,575	ft ²		s.17(1)	22.7%
A31	Structural Walls Below Grade	0.05	630	m ²		6,781	ft ²			
A32.1	Walls Above Grade	0.44	5,016	m ²		53,990	ft ²			
A32.2	Structural Walls Above Grade	0.08	958	m ²		10,312	ft ²			
A33.1	Windows & Louvres	0.12	1,432	m ²		15,416	ft ²			
A33.3	Doors	0.01	86	lvs.		86	lvs.			
A34.1	Roof Covering	0.14	1,664	m ²		17,911	ft ²			
A34.2	Skylights	0.00	0	no.		0	no.			
A35	Projections	0.13	1,526	m ²		16,429	no.			
B1	PARTITIONS & DOORS		11,481	m ²		123,575	ft ²		s.17(1)	12.5%
B11.1	Fixed Partitions	1.34	15,384	m ²		165,589	ft ²			
B11.2	Moveable Partitions	0.00	0	m ²		0	ft ²			
B11.3	Structural Partitions	0.21	2,423	m ²		26,081	ft ²			
B12	Doors	0.08	917	lvs.		917	lvs.			
B2	FINISHES		11,481	m ²		123,575	ft ²		s.17(1)	4.1%
B21	Floor Finishes	0.99	11,369	m ²		122,371	ft ²			
B22	Ceiling Finishes	0.87	10,045	m ²		108,128	ft ²			
B23	Wall Finishes	2.96	33,957	m ²		365,509	ft ²			
B3	FITTINGS & EQUIPMENT		11,481	m ²		123,575	ft ²		s.17(1)	7.0%
B31.1	Metals	1.00	11,481	m ²		123,575	ft ²			
B31.2	Millwork	1.00	11,481	m ²		123,575	ft ²			
B31.3	Specialties	1.00	11,481	m ²		123,575	ft ²			
B32	Equipment	1.00	11,481	m ²		123,575	ft ²			
B33.1	Elevators	0.00	24	stop		24	stop			
C1	MECHANICAL		11,481	m ²		123,575	ft ²		s.17(1)	13.0%
C11	Plumbing and Drainage	1.00	11,481	m ²		123,575	ft ²			
C12	Fire Protection	1.00	11,481	m ²		123,575	ft ²			
C13	HVAC	1.00	11,481	m ²		123,575	ft ²			
C14	Controls	1.00	11,481	m ²		123,575	ft ²			
C2	ELECTRICAL		11,481	m ²		123,575	ft ²		s.17(1)	8.4%
C21	Service & Distribution	1.00	11,481	m ²		123,575	ft ²			
C22	Lighting, Devices & Heating	1.00	11,481	m ²		123,575	ft ²			
C23	Systems & Ancillaries	1.00	11,481	m ²		123,575	ft ²			
Z1	GENERAL REQUIREMENTS & FEES		11,481	m ²		123,575	ft ²		s.17(1)	14.5%
Z11	General Requirements	12%								
Z12	Fee	5%								
NET BUILDING COST			11,481	m²		123,575	ft²		s.17(1)	100%



TOTAL		m ²			ft ²			Amount \$	Total Cost \$	%
		Ratio G.F.A.	Element		Average Unit Cost	Element				
Element		Quantity	Unit		Quantity	Unit				
NET BUILDING COST									s.17(1)	
D1 SITE WORK		11,481	m ²		123,575	ft ²				
D11.1	Site Preparation	1.00	11,481	m ²	s.17(1)	123,575	ft ²	s.17(1)		
D11.2	Hard Surfaces	1.00	11,481	m ²		123,575	ft ²			
D11.3	Site Improvements	1.00	11,481	m ²		123,575	ft ²			
D11.4	Landscaping	1.00	11,481	m ²		123,575	ft ²			
D12	Mechanical Site Services	1.00	11,481	m ²		123,575	ft ²			
D13	Electrical Site Services	1.00	11,481	m ²		123,575	ft ²			
D2 ANCILLARY WORK		11,481	m ²		123,575	ft ²				0
D21.1	Demolition	0.00	0	sum		0	sum			
D22	Off Site	0.00	0	sum		0	sum			
Z1 GENERAL REQUIREMENTS & FEES		11,481	m ²		123,575	ft ²				s.17(1)
Z11	General Requirements	12%								
Z12	Fee	5%								
NET CONSTRUCTION COST		11,481	m ²		123,575	ft ²				s.17(1)
Z2 ALLOWANCES		11,481	m ²		123,575	ft ²				
Z21	Design Allowance	10%								
Z23	Construction Allowance	5%								
SUBTOTAL CONSTRUCTION COST		11,481	m ²		123,575	ft ²				s.17(1)
Goods & Services Tax		0%								0
TOTAL CONSTRUCTION COST		11,481	m ²		123,575	ft ²				s.17(1)
Z31 Escalation Allowance (Excluded)		0%								0
ESCALATED CONSTRUCTION COST		11,481	m ²		123,575	ft ²				s.17(1)

GFA: 1,411 m²

Parkade		m ²			ft ²			Amount \$	Total Cost \$	%
		Ratio G.F.A.	Element Quantity	Unit	Average Unit Cost	Element Quantity	Unit			
A1	SUBSTRUCTURE		1,411	m ²	s.17(1)	15,187	ft ²	s.17(1)	s.17(1)	24.2%
A11.1	Standard Foundations	1.00	1,411	m ²		15,188	ft ²	s.17(1)		
A11.2	Special Foundations	0.00	0	m ²		0	ft ²			
A12	Basement Excavation	3.94	5,561	m ³		7,274	cy			
A2	STRUCTURE		1,411	m ²		15,187	ft ²		s.17(1)	9.9%
A21	Lowest Floor Construction	1.00	1,411	m ²		15,188	ft ²			
A22.1	Upper Floor Construction	0.00	0	m ²		0	ft ²			
A22.2	Stair Construction	0.04	60	risr		60	risr			
A23	Roof Construction	0.10	145	m ²		1,561	ft ²			
A3	EXTERIOR ENCLOSURE		1,411	m ²		15,187	ft ²		s.17(1)	12.3%
A31	Structural Walls Below Grade	0.45	630	m ²		6,781	ft ²			
A32.1	Walls Above Grade	0.00	0	m ²		0	ft ²			
A32.2	Structural Walls Above Grade	0.00	0	m ²		0	ft ²			
A33.1	Windows & Louvres	0.00	0	m ²		0	ft ²			
A33.3	Doors	0.00	1	lvs.		1	lvs.			
A34.1	Roof Covering	0.10	145	m ²		1,561	ft ²			
A34.2	Skylights	0.00	0	no.		0	ft ²			
A35	Projections	0.00	0	m ²		0	ft ²			
B1	PARTITIONS & DOORS		1,411	m ²		15,187	ft ²		s.17(1)	10.9%
B11.1	Fixed Partitions	0.12	173	m ²		1,865	ft ²			
B11.2	Moveable Partitions	0.00	0	m ²		0	ft ²			
B11.3	Structural Partitions	0.26	366	m ²		3,940	ft ²			
B12	Doors	0.01	12	lvs.		12	lvs.			
B2	FINISHES		1,411	m ²		15,187	ft ²		s.17(1)	4.1%
B21	Floor Finishes	0.94	1,321	m ²		14,224	ft ²			
B22	Ceiling Finishes	0.94	1,321	m ²		14,224	ft ²			
B23	Wall Finishes	0.81	1,141	m ²		12,277	ft ²			
B3	FITTINGS & EQUIPMENT		1,411	m ²		15,187	ft ²		s.17(1)	3.5%
B31.1	Metals	1.00	1,411	m ²		15,187	ft ²			
B31.2	Millwork	0.00	0	m ²		0	ft ²			
B31.3	Specialties	1.00	1,411	m ²		15,187	ft ²			
B32	Equipment	0.00	0	m ²		0	ft ²			
B33.1	Elevators	0.00	2	stop		2	stop			
C1	MECHANICAL		1,411	m ²		15,187	ft ²		s.17(1)	10.8%
C11	Plumbing and Drainage	1.00	1,411	m ²		15,187	ft ²			
C12	Fire Protection	1.00	1,411	m ²		15,187	ft ²			
C13	HVAC	1.00	1,411	m ²		15,187	ft ²			
C14	Controls	1.00	1,411	m ²		15,187	ft ²			
C2	ELECTRICAL		1,411	m ²		15,187	ft ²		s.17(1)	9.8%
C21	Service & Distribution	1.00	1,411	m ²		15,187	ft ²			
C22	Lighting, Devices & Heating	1.00	1,411	m ²		15,187	ft ²			
C23	Systems & Ancillaries	1.00	1,411	m ²		15,187	ft ²			
Z1	GENERAL REQUIREMENTS & FEES		1,411	m ²		15,187	ft ²		s.17(1)	14.5%
Z11	General Requirements	12%								
Z12	Fee	5%								
NET BUILDING COST			1,411	m ²		15,187	ft ²		s.17(1)	100.0%

COST CONSULTANTS

Parkade		m ²			ft ²			Amount \$	Total Cost \$	%
		Element	Quantity	Unit	Average Unit Cost	Element	Quantity			
NET BUILDING COST									s.17(1)	
D1 SITE WORK			1,411	m ²	0.00	15,187	ft ²	0.00		0
D11.1	Site Preparation	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D11.2	Hard Surfaces	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D11.3	Site Improvements	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D11.4	Landscaping	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D12	Mechanical Site Services	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D13	Electrical Site Services	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D2 ANCILLARY WORK			1,411	m ²	0.00	15,187	ft ²	0.00		0
D21.1	Demolition	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D21.2	Off Site	0.00	0	m ²	0.00	0	ft ²	0.00	0	
Z1 GENERAL REQUIREMENTS & FEES			1,411	m ²	0.00	15,187	ft ²	0.00		0
Z11	General Requirements	12%							0	
Z12	Fee	5%							0	
NET CONSTRUCTION COST			1,411	m ²	s.17(1)	15,187	ft ²	s.17(1)		s.17(1)
Z2 ALLOWANCES			1,411	m ²		15,187	ft ²			
Z21	Design Allowance	10%							s.17(1)	
Z23	Construction Allowance	5%								
SUBTOTAL CONSTRUCTION COST			1,411	m ²		15,187	ft ²			s.17(1)
Goods & Services Tax		0%								0
TOTAL CONSTRUCTION COST			1,411	m ²		15,187	ft ²			s.17(1)
Z31	Escalation Allowance	0%								0
ESCALATED CONSTRUCTION COST			1,411	m ²		15,187	ft ²			s.17(1)

GFA: 10,184 m²

Residential		m ²			ft ²			Amount \$	Total Cost \$	%
		Ratio G.F.A.	Element Quantity	Unit	Average Unit Cost	Element Quantity	Unit			
A1	SUBSTRUCTURE		10,184	m ²	s.17(1)	109,618	ft ²	s.17(1)	s.17(1)	1.3%
A11.1	Standard Foundations	1.00	10,184	m ²		109,620	ft ²	s.17(1)		
A11.2	Special Foundations	0.00	0	m ²		0	ft ²			
A12	Basement Excavation	0.00	0	m ³		0	cy			
A2	STRUCTURE		10,184	m ²		109,618	ft ²		s.17(1)	14.0%
A21	Lowest Floor Construction	0.01	81	m ²		872	ft ²			
A22.1	Upper Floor Construction	0.99	10,103	m ²		108,748	ft ²			
A22.2	Stair Construction	0.04	414	risr		414	risr			
A23	Roof Construction	0.12	1,176	m ²		12,658	ft ²			
A3	EXTERIOR ENCLOSURE		10,184	m ²		109,618	ft ²		s.17(1)	22.9%
A31	Structural Walls Below Grade	0.00	0	m ²		0	ft ²			
A32.1	Walls Above Grade	0.43	4,365	m ²		46,980	ft ²			
A32.2	Structural Walls Above Grade	0.08	841	m ²		9,052	ft ²			
A33.1	Windows & Louvres	0.14	1,432	m ²		15,416	ft ²			
A33.3	Doors	0.01	72	lvs.		72	lvs.			
A34.1	Roof Covering	0.12	1,176	m ²		12,658	ft ²			
A34.2	Skylights	0.00	0	no.		0	no.			
A35	Projections	0.14	1,394	m ²		15,009	ft ²			
B1	PARTITIONS & DOORS		10,184	m ²		109,618	ft ²		s.17(1)	13.1%
B11.1	Fixed Partitions	1.47	14,977	m ²		161,209	ft ²			
B11.2	Moveable Partitions	0.00	0	m ²		0	ft ²			
B11.3	Structural Partitions	0.18	1,852	m ²		19,935	ft ²			
B12	Doors	0.09	897	lvs.		897	lvs.			
B2	FINISHES		10,184	m ²		109,618	ft ²		s.17(1)	4.4%
B21	Floor Finishes	0.86	8,751	m ²		94,190	ft ²			
B22	Ceiling Finishes	0.86	8,724	m ²		93,904	ft ²			
B23	Wall Finishes	3.22	32,816	m ²		353,233	ft ²			
B3	FITTINGS & EQUIPMENT		10,184	m ²		109,618	ft ²		s.17(1)	7.8%
B31.1	Metals	1.00	10,184	m ²		109,618	ft ²			
B31.2	Millwork	1.00	10,184	m ²		109,618	ft ²			
B31.3	Specialties	1.00	10,184	m ²		109,618	ft ²			
B32	Equipment	1.00	10,184	m ²		109,618	ft ²			
B33.1	Elevators	0.00	22	stop		22	stop			
C1	MECHANICAL		10,184	m ²		109,618	ft ²		s.17(1)	13.5%
C11	Plumbing and Drainage	1.00	10,184	m ²		109,618	ft ²			
C12	Fire Protection	1.00	10,184	m ²		109,618	ft ²			
C13	HVAC	1.00	10,184	m ²		109,618	ft ²			
C14	Controls	1.00	10,184	m ²		109,618	ft ²			
C2	ELECTRICAL		10,184	m ²		109,618	ft ²		s.17(1)	8.3%
C21	Service & Distribution	1.00	10,184	m ²		109,618	ft ²			
C22	Lighting, Devices & Heating	1.00	10,184	m ²		109,618	ft ²			
C23	Systems & Ancillaries	1.00	10,184	m ²		109,618	ft ²			
Z1	GENERAL REQUIREMENTS & FEES		10,184	m ²		109,618	ft ²		s.17(1)	14.5%
Z11	General Requirements	12%								
Z12	Fee	5%								
NET BUILDING COST			10,184	m²		109,618	ft²		s.17(1)	100.0%

COST CONSULTANTS

Residential		m ²			ft ²			Amount \$	Total Cost \$	%
		Element	Quantity	Unit	Average Unit Cost	Element	Quantity			
NET BUILDING COST									s.17(1)	
D1 SITE WORK			10,184	m ²	0.00	109,618	ft ²	0.00		0
D11.1	Site Preparation	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D11.2	Hard Surfaces	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D11.3	Site Improvements	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D11.4	Landscaping	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D12	Mechanical Site Services	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D13	Electrical Site Services	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D2 ANCILLARY WORK			10,184	m ²	0.00	109,618	ft ²	0.00		0
D21.1	Demolition	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D21.2	Off Site	0.00	0	m ²	0.00	0	ft ²	0.00	0	
Z1 GENERAL REQUIREMENTS & FEES			10,184	m ²	0.00	109,618	ft ²	0.00		0
Z11	General Requirements	12%							0	
Z12	Fee	5%							0	
NET CONSTRUCTION COST			10,184	m ²	s.17(1)	109,618	ft ²	s.17(1)		s.17(1)
Z2 ALLOWANCES			10,184	m ²		109,618	ft ²		s.17(1)	
Z21	Design Allowance	10%							s.17(1)	
Z23	Construction Allowance	5%							s.17(1)	
SUBTOTAL CONSTRUCTION COST			10,184	m ²		109,618	ft ²			s.17(1)
Goods & Services Tax		0%								0
TOTAL CONSTRUCTION COST			10,184	m ²		109,618	ft ²			s.17(1)
Z31	Escalation Allowance	0%								0
ESCALATED CONSTRUCTION COST			10,184	m ²		109,618	ft ²			s.17(1)

GFA: 1,297 m²

CRU	Element	Ratio G.F.A.	m ²		ft ²		Amount \$	Total Cost \$	%
			Element	Average	Element	Average			
			Quantity	Unit	Quantity	Unit			
A1	SUBSTRUCTURE		1,297	m ²	13,957	ft ²		s.17(1)	1.9%
A11.1	Standard Foundations	1.00	1,297	m ²	13,961	ft ²	s.17(1)		
A11.2	Special Foundations	0.00	0	m ²	0	ft ²			
A12	Basement Excavation	0.00	0	m ³	0	cy			
A2	STRUCTURE		1,297	m ²	13,957	ft ²		s.17(1)	29.4%
A21	Lowest Floor Construction	0.09	122	m ²	1,313	ft ²			
A22.1	Upper Floor Construction	0.91	1,175	m ²	12,648	ft ²			
A22.2	Stair Construction	0.03	36	risr	36	risr			
A23	Roof Construction	0.26	343	m ²	3,692	ft ²			
A3	EXTERIOR ENCLOSURE		1,297	m ²	13,957	ft ²		s.17(1)	29.4%
A31	Structural Walls Below Grade	0.00	0	m ²	0	ft ²			
A32.1	Walls Above Grade	0.50	651	m ²	7,011	ft ²			
A32.2	Structural Walls Above Grade	0.09	117	m ²	1,259	ft ²			
A33.1	Windows & Louvres	0.00	0	m ²	0	ft ²			
A33.3	Doors	0.01	13	lvs.	13	lvs.			
A34.1	Roof Covering	0.26	343	m ²	3,692	ft ²			
A34.2	Skylights	0.00	0	no.	0	no.			
A35	Projections	0.10	132	m ²	1,421	ft ²			
B1	PARTITIONS & DOORS		1,297	m ²	13,957	ft ²		s.17(1)	6.7%
B11.1	Fixed Partitions	0.18	234	m ²	2,515	ft ²			
B11.2	Moveable Partitions	0.00	0	m ²	0	ft ²			
B11.3	Structural Partitions	0.16	205	m ²	2,207	ft ²			
B12	Doors	0.01	8	lvs.	8	lvs.			
B2	FINISHES		1,297	m ²	13,957	ft ²		s.17(1)	0.3%
B21	Floor Finishes	1.00	1,297	m ²	13,957	ft ²			
B22	Ceiling Finishes	0.00	0	m ²	0	ft ²			
B23	Wall Finishes	0.00	0	m ²	0	ft ²			
B3	FITTINGS & EQUIPMENT		1,297	m ²	13,957	ft ²		s.17(1)	0.9%
B31.1	Metals	1.00	1,297	m ²	13,957	ft ²			
B31.2	Millwork	0.00	0	m ²	0	ft ²			
B31.3	Specialties	1.00	1,297	m ²	13,957	ft ²			
B32	Equipment	1.00	1,297	m ²	13,957	ft ²			
B33.1	Elevators	0.00	0	stop	0	stop			
C1	MECHANICAL		1,297	m ²	13,957	ft ²		s.17(1)	8.9%
C11	Plumbing and Drainage	1.00	1,297	m ²	13,957	ft ²			
C12	Fire Protection	1.00	1,297	m ²	13,957	ft ²			
C13	HVAC	1.00	1,297	m ²	13,957	ft ²			
C14	Controls	1.00	1,297	m ²	13,957	ft ²			
C2	ELECTRICAL		1,297	m ²	13,957	ft ²		s.17(1)	8.0%
C21	Service & Distribution	1.00	1,297	m ²	13,957	ft ²			
C22	Lighting, Devices & Heating	1.00	1,297	m ²	13,957	ft ²			
C23	Systems & Ancillaries	1.00	1,297	m ²	13,957	ft ²			
Z1	GENERAL REQUIREMENTS & FEES		1,297	m ²	13,957	ft ²		s.17(1)	14.5%
Z11	General Requirements	12%							
Z12	Fee	5%							
NET BUILDING COST			1,297	m ²	13,957	ft ²		s.17(1)	100.0%

COST CONSULTANTS

CRU		m ²			ft ²			Amount \$	Total Cost \$	%
Element	Ratio G.F.A.	Element		Average	Element		Average			
		Quantity	Unit	Unit Cost	Quantity	Unit	Unit Cost			
NET BUILDING COST									s.17(1)	
D1 SITE WORK		1,297	m ²	0.00	13,957	ft ²	0.00		0	
D11.1	Site Preparation	0.00	0 m ²	0.00	0 ft ²	0.00	0	0		
D11.2	Hard Surfaces	0.00	0 m ²	0.00	0 ft ²	0.00	0	0		
D11.3	Site Improvements	0.00	0 m ²	0.00	0 ft ²	0.00	0	0		
D11.4	Landscaping	0.00	0 m ²	0.00	0 ft ²	0.00	0	0		
D12	Mechanical Site Services	0.00	0 m ²	0.00	0 ft ²	0.00	0	0		
D13	Electrical Site Services	0.00	0 m ²	0.00	0 ft ²	0.00	0	0		
D2 ANCILLARY WORK		1,297	m ²	0.00	13,957	ft ²	0.00		0	
D21.1	Demolition	0.00	0 m ²	0.00	0 ft ²	0.00	0	0		
D22	Off Site	0.00	0 m ²	0.00	0 ft ²	0.00	0	0		
Z1 GENERAL REQUIREMENTS & FEES		1,297	m ²	0.00	13,957	ft ²	0.00		0	
Z11	General Requirements	12%						0		
Z12	Fee	5%						0		
NET CONSTRUCTION COST			1,297 m ²	s.17(1)	13,957 ft ²	s.17(1)			s.17(1)	
Z2 ALLOWANCES			1,297 m ²		13,957 ft ²				s.17(1)	
Z21	Design Allowance	10%								
Z23	Construction Allowance	5%								
SUBTOTAL CONSTRUCTION COST			1,297 m ²		13,957 ft ²				s.17(1)	
Goods & Services Tax		0%							0	
TOTAL CONSTRUCTION COST			1,297 m ²		13,957 ft ²				s.17(1)	
Z31	Escalation Allowance	0%							0	
ESCALATED CONSTRUCTION COST			1,297 m ²		13,957 ft ²				s.17(1)	

GFA: 1,962 m²

Site Work		m ²			ft ²			Amount \$	Total Cost \$	%	
		Element	Ratio G.F.A.	Quantity	Unit	Average Unit Cost	Quantity				Unit
A1	SUBSTRUCTURE		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%
A11.1	Standard Foundations	0.00	0	m ²	0.00	0	ft ²	0.00	0		
A11.2	Special Foundations	0.00	0	m ²	0.00	0	ft ²	0.00	0		
A12	Basement Excavation	0.00	0	m ³	0.00	0	cy	0.00	0		
A2	STRUCTURE		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%
A21	Lowest Floor Construction	0.00	0	m ²	0.00	0	ft ²	0.00	0		
A22.1	Upper Floor Construction	0.00	0	m ²	0.00	0	ft ²	0.00	0		
A22.2	Stair Construction	0.00	0	risr	0.00	0	risr	0.00	0		
A23	Roof Construction	0.00	0	m ²	0.00	0	ft ²	0.00	0		
A3	EXTERIOR ENCLOSURE		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%
A31	Structural Walls Below Grade	0.00	0	m ²	0.00	0	ft ²	0.00	0		
A32.1	Walls Above Grade	0.00	0	m ²	0.00	0	ft ²	0.00	0		
A32.2	Structural Walls Above Grade	0.00	0	m ²	0.00	0	ft ²	0.00	0		
A32.3	Curtain Walls	0.00	0	m ²	0.00	0	ft ²	0.00	0		
A33.1	Windows & Louvres	0.00	0	m ²	0.00	0	ft ²	0.00	0		
A33.3	Doors	0.00	0	lvs.	0.00	0	lvs.	0.00	0		
A34.1	Roof Covering	0.00	0	m ²	0.00	0	ft ²	0.00	0		
A34.2	Skylights	0.00	0	m ²	0.00	0	ft ²	0.00	0		
A35	Projections	0.00	0	m ²	0.00	0	ft ²	0.00	0		
B1	PARTITIONS & DOORS		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%
B11.1	Fixed Partitions	0.00	0	m ²	0.00	0	ft ²	0.00	0		
B11.2	Moveable Partitions	0.00	0	m ²	0.00	0	ft ²	0.00	0		
B11.3	Structural Partitions	0.00	0	m ²	0.00	0	ft ²	0.00	0		
B12	Doors	0.00	0	lvs.	0.00	0	lvs.	0.00	0		
B2	FINISHES		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%
B21	Floor Finishes	0.00	0	m ²	0.00	0	ft ²	0.00	0		
B22	Ceiling Finishes	0.00	0	m ²	0.00	0	ft ²	0.00	0		
B23	Wall Finishes	0.00	0	m ²	0.00	0	ft ²	0.00	0		
B3	FITTINGS & EQUIPMENT		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%
B31.1	Metals	0.00	0	m ²	0.00	0	ft ²	0.00	0		
B31.2	Millwork	0.00	0	m ²	0.00	0	ft ²	0.00	0		
B31.3	Specialties	0.00	0	m ²	0.00	0	ft ²	0.00	0		
B32	Equipment	0.00	0	m ²	0.00	0	ft ²	0.00	0		
B33.1	Elevators	0.00	0	stop	0.00	0	stop	0.00	0		
C1	MECHANICAL		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%
C11	Plumbing and Drainage	0.00	0	m ²	0.00	0	ft ²	0.00	0		
C12	Fire Protection	0.00	0	m ²	0.00	0	ft ²	0.00	0		
C13	HVAC	0.00	0	m ²	0.00	0	ft ²	0.00	0		
C14	Controls	0.00	0	m ²	0.00	0	ft ²	0.00	0		
C2	ELECTRICAL		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%
C21	Service & Distribution	0.00	0	m ²	0.00	0	ft ²	0.00	0		
C22	Lighting, Devices & Heating	0.00	0	m ²	0.00	0	ft ²	0.00	0		
C23	Systems & Ancillaries	0.00	0	m ²	0.00	0	ft ²	0.00	0		
Z1	GENERAL REQUIREMENTS & FEES		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%
Z11	General Requirements	12%							0		
Z12	Fee	5%							0		
NET BUILDING COST			1,962	m²	0.00	21,116	ft²	0.00		0	0.0%

COST CONSULTANTS

Site Work		m ²			ft ²			Amount \$	Total Cost \$	%
		Element	Ratio G.F.A.	Quantity	Unit	Average Unit Cost	Element			
NET BUILDING COST										0
D1 SITE WORK			1,962	m ²	s.17(1)	21,116	ft ²	s.17(1)		s.17(1)
D11.1	Site Preparation	1.00	1,962	m ²		21,116	ft ²		s.17(1)	
D11.2	Hard Surfaces	0.85	1,673	m ²		18,009	ft ²			
D11.3	Site Improvements	0.88	1,723	m ²		18,548	ft ²			
D11.4	Landscaping	0.03	50	m ²		538	ft ²			
D12	Mechanical Site Services	1.00	1,962	m ²		21,116	ft ²			
D13	Electrical Site Services	1.00	1,962	m ²		21,116	ft ²			
D2 ANCILLARY WORK			1,962	m ²	0.00	21,116	ft ²	0.00		0
D21.1	Demolition	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D21.2	Off Site	0.00	0	m ²	0.00	0	ft ²	0.00	0	
Z1 GENERAL REQUIREMENTS & FEES			1,962	m ²	s.17(1)	21,116	ft ²	s.17(1)		s.17(1)
Z11	General Requirements	12%							s.17(1)	
Z12	Fee	5%								
NET CONSTRUCTION COST			1,962	m ²		21,116	ft ²			s.17(1)
Z2 ALLOWANCES			1,962	m ²		21,116	ft ²			
Z21	Design Allowance	10%							s.17(1)	
Z23	Construction Allowance	5%								
SUBTOTAL CONSTRUCTION COST			1,962	m ²		21,116	ft ²			s.17(1)
Goods & Services Tax		0%								0
TOTAL CONSTRUCTION COST			1,962	m ²		21,116	ft ²			s.17(1)
Z31	Escalation Allowance	0%								0
ESCALATED CONSTRUCTION COST			1,962	m ²		21,116	ft ²			s.17(1)

Description	Quantity	Unit	Rate	Amount
A1 SUBSTRUCTURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
<i>A11.1 Standard Foundations</i>				
Parkade Allow for standard foundation system (c/w pad and strip footings, elevator pit, sump pits, perimeter weeping tile, etc.) - Shared Cost	1,411	m ²	s.17(1)	
Residential Allow for standard foundation system (c/w pad and strip footings, elevator pit, sump pits, perimeter weeping tile, etc.) - Shared Cost	10,184	m ²	s.17(1)	
CRU Allow for standard foundation system (c/w pad and strip footings, elevator pit, sump pits, perimeter weeping tile, etc.) - Shared Cost	1,297	m ²	s.17(1)	
Total Standard Foundations				s.17(1)

Description	Quantity	Unit	Rate	Amount
A1 SUBSTRUCTURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
<i>A12 Basement Excavation</i>				
<u>Parkade</u>				
<u>Bulk Excavation and Fill (Basement)</u>				
Basement (bulk) excavation including disposal off-site, clean soil - remediation of contaminated soil excluded	5,017	m ³	s.17(1)	s.17(1)
Additional basement (bulk) excavation including disposal off-site, sloped excavation for working space, along N of building	272	m ³		
Imported backfill to working space along N of building, allow imported granular fill	272	m ³		
Allow for temporary ramp forming during basement construction	1	sum		
Dewatering during basement construction	1	sum		
Erosion and sedimentation control during building construction	1	sum		
<u>Temporary Shoring</u>				
Allow for shotcrete shoring c/w soil anchors along S, W, and E of Building, assumed no shotcrete shoring required N of building, sloped excavation allowed in the estimate	429	m ²		
<u>Underpinning</u>				
Allow for underpinning to existing structure E of property line	1	sum	s.17(1)	s.17(1)
<u>Note: Remediation of contaminated soil excluded, allowed for bulk excavation of clean soil in the estimate</u>				
Total Basement Excavation				s.17(1)

Description	Quantity	Unit	Rate	Amount
A2 STRUCTURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
<i>A21 Lowest Floor Construction</i>				
Parkade				
Concrete slab on grade, 125mm thick - P1 - Concrete supply, 35MPa - Place concrete (pump) - Edge form to slab on grade, cast against foundation walls - Rebar - Expansion joint/control joint - Concrete finish (screed, trowel, cure & protect) - Poly vapour barrier, 10 mil - Rigid insulation underneath slab - assumed not required - Waterproofing underneath slab - assumed not required - Excavation & disposal, allowed clean soil - Granular base, compacted, allow 150mm thick	1,411	m ²	s.17(1)	
Extra over for slab on grade vehicular ramp at Parkade entrance - P1	59	m ²	s.17(1)	s.17(1)
Extra over for sloping slab to drain - P1	1,411	m ²		
Slab thickening to slab on grade to receive block walls - P1	51	m		
Allow for floor trench c/w gratings - P1	7	m		
Precast wheel stops - P1	6	no.		
Allow for housekeeping pads - P1	1	sum		
Residential				
Concrete slab on grade, 125mm thick - L1 - Concrete supply, 35MPa - Place concrete (pump) - Edge form to slab on grade, cast against foundation walls - Rebar - Expansion joint/control joint - Concrete finish (screed, trowel, cure & protect) - Poly vapour barrier, 10 mil - Rigid insulation underneath slab - assumed not required - Waterproofing underneath slab - assumed not required - Excavation & disposal, allowed clean soil - Granular base, compacted, allow 150mm thick	81	m ²	s.17(1)	
Slab thickening to slab on grade to receive block walls - L1	11	m	s.17(1)	s.17(1)
EO for built-up slab to heat treatment room - L1	11	m ²		
Allow for housekeeping pads - L1	1	sum		



Description	Quantity	Unit	Rate	Amount
CRU Concrete slab on grade, 125mm thick - L1 - Concrete supply, 35MPa - Place concrete (pump) - Edge form to slab on grade, cast against foundation walls - Rebar - Expansion joint/control joint - Concrete finish (screed, trowel, cure & protect) - Poly vapour barrier, 10 mil - Rigid insulation underneath slab - assumed not required - Waterproofing underneath slab - assumed not required - Excavation & disposal, allowed clean soil - Granular base, compacted, allow 150mm thick	122	m ²	s.17(1)	
Slab thickening to slab on grade to receive block walls - L1	5	m	s.17(1)	
Total Lowest Floor Construction				s.17(1)

Description	Quantity	Unit	Rate	Amount
A2 STRUCTURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
<i>A22.1 Upper Floor Construction</i>				
Residential				
<u>Concrete Floor Construction - L1</u>				
Suspended concrete flat floor slab, 250mm thick - L1	208	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Suspended concrete slab band, allow 2200mm x 500mm deep - L1	17	m	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab band - incl. in susp. slab				
- Formwork to edge of susp. slab band				
- Rebar				
EO for built-up slab to heat treatment room - L1	15	m ²	s.17(1)	
Concrete columns, allow 300 x 900mm x +/-3250mm high - L1	6	no.		
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - L1	6	no.	s.17(1)	
<u>Concrete Floor Construction - Mezzanine</u>				
Suspended concrete flat floor slab, 240mm thick - Mezzanine	383	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Suspended concrete slab band, allow 2200mm x 500mm deep - Mezzanine	48	m	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab band - incl. in susp. slab				
- Formwork to edge of susp. slab band				
- Rebar				
Concrete columns, allow 300 x 900mm x +/-2.5mm high - Mezzanine	6	no.	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - Mezzanine	6	no.	s.17(1)	

Description	Quantity	Unit	Rate	Amount
<u>Concrete Floor Construction - L2</u>				
Suspended concrete transfer flat floor slab, allow 950mm thick - L2	1,173	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Suspended concrete slab band, allow 2200mm x 1100mm deep - L2	217	m	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab band - incl. in susp. slab				
- Formwork to edge of susp. slab band				
- Rebar				
Allow for step forming between interior and exterior slab - L2	102	m	s.17(1)	
Concrete columns, allow 300 x 900mm x +/-3300mm high - L2	10	no.		
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Concrete columns, allow 300 x 900mm x +/-6000mm high (double height from L1) - L2	8	no.	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Concrete columns, allow 800 x 800mm x +/-6000mm high (double height from L1) - L2	1	no.	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - L2	19	no.	s.17(1)	
<u>Concrete Floor Construction - L3 (typical to L7): 5 floors</u>				
Suspended concrete floor slab, 200mm thick - L3 to L7	5,867	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Allow for step forming between interior and exterior slab - L3 to L7	102	m	s.17(1)	
Concrete columns, allow 300 x 750mm x +/-2500mm high - L3 to L7	135	no.		
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - L3 to L7	135	no.	s.17(1)	

Description	Quantity	Unit	Rate	Amount
<u>Concrete Floor Construction - L8</u>				
Suspended concrete floor slab, 200mm thick - L8 - Concrete supply, 35 MPa - Place concrete (pump) - Formwork to soffit of susp. slab - Formwork to edge of susp. slab - Rebar - Concrete finish (screed, trowel, cure & protect)	1,115	m ²	s.17(1)	
Allow for step forming between interior and exterior slab - L8	35	m	s.17(1)	
Concrete columns, allow 300 x 600mm x +/-2500mm high - L8 - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to columns - Rebar	25	no.		
Allow for shear rails at column - L8	25	no.	s.17(1)	
<u>Concrete Floor Construction - L9</u>				
Suspended concrete flat floor slab, 200mm thick - L9 - Concrete supply, 35 MPa - Place concrete (pump) - Formwork to soffit of susp. slab - Formwork to edge of susp. slab - Rebar - Concrete finish (screed, trowel, cure & protect)	1,115	m ²	s.17(1)	
Allow for step forming between interior and exterior slab - L9	35	m	s.17(1)	
Concrete columns, allow 300 x 600mm x +/-2500mm high - L9 - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to columns - Rebar	25	no.		
Allow for shear rails at column - L9	25	no.	s.17(1)	
<u>Concrete Floor Construction - Amenity at Roof Level</u>				
Suspended concrete flat floor slab, 200mm thick - Amenity at Roof Level - Concrete supply, 35 MPa - Place concrete (pump) - Formwork to soffit of susp. slab - Formwork to edge of susp. slab - Rebar - Concrete finish (screed, trowel, cure & protect)	242	m ²	s.17(1)	
Allow for step forming between interior and exterior slab - Amenity at Roof Level	59	m	s.17(1)	
Concrete columns, allow 300 x 600mm x +/-3100mm high - Amenity at Roof Level - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to columns - Rebar	6	no.		
Allow for shear rails at column - Amenity at Roof Level	6	no.	s.17(1)	
<u>Miscellaneous Upper Floor Construction</u>				
Allow for elevator divider beams	1	sum	s.17(1)	
Allow for housekeeping pads	1	sum		

Description	Quantity	Unit	Rate	Amount
CRU				
<u>Concrete Floor Construction - L1</u>				
Suspended concrete flat floor slab, 250mm thick - L1	931	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Suspended concrete slab band, allow 2200mm x 500mm deep - L1	112	m	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab band - incl. in susp. slab				
- Formwork to edge of susp. slab band				
- Rebar				
Concrete columns, allow 300 x 900mm x +/-3250mm high - L1	15	no.	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - L1	15	no.	s.17(1)	
<u>Concrete Floor Construction - Mezzanine</u>				
Suspended concrete flat floor slab, 240mm thick - Mezzanine	244	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Suspended concrete slab band, allow 2200mm x 500mm deep - Mezzanine	30	m	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab band - incl. in susp. slab				
- Formwork to edge of susp. slab band				
- Rebar				
Concrete columns, allow 300 x 900mm x +/-2.5mm high - Mezzanine	4	no.	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - Mezzanine	4	no.	s.17(1)	
<u>Miscellaneous Upper Floor Construction</u>				
Allow for housekeeping pads	1	sum	s.17(1)	
Total Upper Floor Construction				s.17(1)

Description	Quantity	Unit	Rate	Amount
A2 STRUCTURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
<i>A22.2 Stair Construction</i>				
Parkade				
Concrete core exit stairs, P1	20	riser	s.17(1)	
Concrete service stairs, P1	40	riser		
Residential				
Concrete core exit stairs, L1 to Amenity Roof	360	riser	s.17(1)	
Concrete service stairs, L1	54	riser		
CRU				
Concrete core exit stairs, L1	36	riser	s.17(1)	
Total Stair Construction				s.17(1)

Description	Quantity	Unit	Rate	Amount
A2 STRUCTURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
A23 Roof Construction				
Parkade				
<u>Concrete Roof Construction - L1</u>				
Suspended concrete flat roof slab, allow 300mm thick - L1 Roof Deck (Above Parkade)	145	m ²	s.17(1)	
<ul style="list-style-type: none"> - Concrete supply, 35 MPa - Place concrete (pump) - Formwork to soffit of susp. slab - Formwork to edge of susp. Slab, cast against basement walls - Rebar - Concrete finish (screed, trowel, cure & protect) 				
Extra over for sloping top of suspended roof slab to drain - L1 (Parkade Roof Deck)	145	m ²	s.17(1)	
Suspended concrete slab band, allow 2200mm x 500mm deep - L1 Roof Deck (Above Parkade)	13	m	s.17(1)	
<ul style="list-style-type: none"> - Concrete supply, 35 MPa - Place concrete (pump) - Formwork to soffit of susp. slab band - incl. in susp. slab - Formwork to edge of susp. slab band - Rebar 				
Concrete columns, allow 300 x 900mm x +/-3250mm high - L1 Roof Deck (Above Parkade)	1	no.	s.17(1)	
<ul style="list-style-type: none"> - Concrete supply, 45 Mpa - Place concrete (pump) - Formwork to columns - Rebar 				
Allow for shear rails at column - L1 Roof Deck (Above Parkade)	1	no.	s.17(1)	
<u>Miscellaneous Roof Construction</u>				
Allow for elevator divider beams	1	sum	s.17(1)	
Allow for roof curb/penetrations	1	sum		
Residential				
<u>Concrete Roof Construction - L8</u>				
Suspended concrete flat roof slab, allow 250mm thick - L8 Roof Deck	58	m ²	s.17(1)	
<ul style="list-style-type: none"> - Concrete supply, 35 MPa - Place concrete (pump) - Formwork to soffit of susp. slab - Formwork to edge of susp. Slab, cast against basement walls - Rebar - Concrete finish (screed, trowel, cure & protect) 				
Extra over for sloping top of suspended roof slab to drain - L8 Roof Deck	58	m ²	s.17(1)	
Concrete columns, allow 300 x 600mm x +/-2500mm high - L8 Roof Deck	2	no.		
<ul style="list-style-type: none"> - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to columns - Rebar 				

Description	Quantity	Unit	Rate	Amount
Allow for shear rails at column - L8 Roof Deck	2	no.	s.17(1)	
<u>Concrete Roof Construction - Main Roof</u>				
Suspended concrete flat roof slab, allow 250mm thick - Main Roof	875	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. Slab, cast against basement walls				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Extra over for sloping top of suspended roof slab to drain - Main Roof	875	m ²	s.17(1)	
Concrete columns, allow 300 x 600mm x +/-3100mm high - Main Roof	19	no.		
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - Main Roof	19	no.	s.17(1)	
<u>Concrete Roof Construction - Roof Above Amenity and Core Overrun</u>				
Suspended concrete flat roof slab, allow 250mm thick - Roof Above Amenity and Core Overrun	243	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. Slab, cast against basement walls				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Extra over for sloping top of suspended roof slab to drain - Roof Above Amenity and Core Overrun	243	m ²	s.17(1)	
Concrete columns, allow 300 x 600mm x +/-3100mm high - Roof Above Amenity and Core Overrun	6	no.	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - Roof Above Amenity and Core Overrun	6	no.	s.17(1)	
<u>Miscellaneous Roof Construction</u>				
Allow for elevator hoist beams	1	sum	s.17(1)	
Allow for roof curb/penetrations	1	sum		

Description	Quantity	Unit	Rate	Amount
CRU				
<u>Concrete Roof Construction - Mezzanine Roof Deck</u>				
Suspended concrete flat roof slab, allow 300mm thick - Mezzanine (Above CRU SW Corner Entrance)	5	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Extra over for sloping top of suspended roof slab to drain - Mezzanine (Above CRU SW Corner Entrance)	5	m ²	s.17(1)	
<u>Concrete Roof Construction - L2 Roof Deck</u>				
Suspended concrete transfer flat roof slab, allow 950mm thick - L2 Roof Deck	338	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Extra over for sloping top of suspended roof slab to drain - L2 Roof Deck	338	m ²	s.17(1)	
Suspended concrete slab band, allow 2200mm x 1100mm deep - L2 Roof Deck	57	m	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab band - incl. in susp. slab				
- Formwork to edge of susp. slab band				
- Rebar				
Concrete columns, allow 300 x 900mm x +/-6000mm high (double height from L1) - L2 Roof Deck	3	no.	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - L2 Roof Deck	3	no.	s.17(1)	
<u>Miscellaneous Roof Construction</u>				
Allow for roof curb/penetrations	1	sum	s.17(1)	
Total Roof Construction				s.17(1)

Description	Quantity	Unit	Rate	Amount
A3 EXTERIOR ENCLOSURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
<i>A31 Structural Walls Below Grade</i>				
Parkade				
Concrete basement walls, 300mm thick x +/-3500mm high, along S, W, and E of Parkade	429	m ²	s.17(1)	
- Concrete supply, 35MPa				
- Place concrete (pump)				
- Formwork to sides of basement wall, 1 side only (other side cast against shotcrete shoring)				
- Rebar				
- Prepare shotcrete face to receive basement waterproofing system				
- Waterproofing membrane c/w drainage mat, filter fabric, and rigid insulation - allow				
Concrete basement walls, 300mm thick x +/-3500mm high, along N of Parkade	201	m ²	s.17(1)	
- Concrete supply, 35MPa				
- Place concrete (pump)				
- Formwork to sides of basement wall, 2 sides (no shotcrete shoring)				
- Rebar				
- Waterproofing membrane c/w drainage mat, filter fabric, and rigid insulation - allow				
Total Structural Walls Below Grade				s.17(1)

Description	Quantity	Unit	Rate	Amount	
A3 EXTERIOR ENCLOSURE					
Note: Architect to confirm assumptions and allowances.					
A32.1 Walls Above Grade					
Parkade N/A				Incl. in A32.2	
Residential					
<u>Storefront</u>					
Allowance for double glazed curtain wall	9	m ²	s.17(1)		
Extra over for spandrel panels	4	m ²			
<u>Exterior Cladding</u>					
Allowance for brick veneer c/w insulation, SAM	2,108	m ²			
Allowance for fibre cement panels c/w strapping, insulation, SAM	1,722	m ²			
Allowance for ACM panels c/w strapping, insulation, SAM	457	m ²			
Allowance for glass block for light well	68	m ²			
Extra for edge angle to support brick cladding	775	m			
<u>Back Up Walls</u>					
Allowance for exterior wood stud back up walls - Exterior cladding measured separately - 16mm exterior sheathing - 152mm wind bearing metal studs @ 600mm o.c. - Batt insulation - 6mil vapour barrier - 16mm type X GWB	4,287	m ²			
Note: Arts and Mural - Excluded					
CRU					
<u>Storefront</u>					
Allowance for double glazed curtain wall	260	m ²	s.17(1)		
Extra over for spandrel panels	56	m ²			
<u>Exterior Cladding</u>					
Allowance for brick veneer c/w insulation, SAM	154	m ²			
Allowance for fibre cement panels c/w strapping, insulation, SAM	237	m ²			
Extra for edge angle to support brick cladding	143	m			
<u>Back Up Walls</u>					
Allowance for exterior wood stud back up walls - Exterior cladding measured separately - 16mm exterior sheathing - 152mm wind bearing metal studs @ 600mm o.c. - Batt insulation - 6mil vapour barrier - 16mm type X GWB	392	m ²			
Note: Arts and Mural - Excluded					
Total Walls Above Grade					s.17(1)

Description	Quantity	Unit	Rate	Amount
A3 EXTERIOR ENCLOSURE				
Note: Engineer to confirm assumptions and allowances.				
A32.2 Structural Walls Above Grade				
Parkade				
N/A				
Residential				
<u>Note: Load bearing walls only. Exterior cladding system included in A32.1</u>				
Exterior concrete walls, allow 300mm thick, firewall along E of Building - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Exterior cladding system, insulation, vapour barrier, and drywall included in A32.1	234	m ²	s.17(1)	
Exterior concrete walls, allow 450mm thick, firewall along E of Building, allow 7m L per floor - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Exterior cladding system, insulation, vapour barrier, and drywall included in A32.1	157	m ²	s.17(1)	
Exterior concrete walls, allow 300mm thick, along services stairs in L1 - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Exterior cladding system, insulation, vapour barrier, and drywall included in A32.1	157	m ²	s.17(1)	
Exterior concrete walls, allow 600mm thick, core walls - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Exterior cladding system, insulation, vapour barrier, and drywall included in A32.1	293	m ²	s.17(1)	
CRU				
<u>Note: Load bearing walls only.</u>				
Exterior concrete walls, allow 300mm thick, firewall along E of Building - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Architectural exposed concrete finish, assumed smooth finish	68	m ²	s.17(1)	
Exterior concrete walls, allow 450mm thick, firewall along E of Building, allow 7m L per floor - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Architectural exposed concrete finish, assumed smooth finish	49	m ²	s.17(1)	
Total Structural Walls Above Grade				s.17(1)

Description	Quantity	Unit	Rate	Amount
A3 EXTERIOR ENCLOSURE				
Note: Architect to confirm assumptions and allowances.				
<i>A33.1 Windows & Louvres</i>				
Parkade				
N/A				
Residential				
Allowance for double glazed fibreglass windows	1,432	m ²	s.17(1)	s.17(1)
Extra over for spandrel panels	286	m ²		
Allowance for window openers	241	no.		
CRU				
N/A				
Total Windows & Louvres				s.17(1)

Description	Quantity	Unit	Rate	Amount
A3 EXTERIOR ENCLOSURE				
Note: Architect to confirm assumptions and allowances.				
<i>A33.3 Exterior Doors</i>				
Parkade				
Allowance for overhead Parkade entrance door, automated, metal	1	no.	s.17(1)	
Residential				
Allowance for aluminum framed single swing door c/w hardware	5	lvs		
Allowance fir aluminum framed double swing door c/w hardware	2	prs		
Allowance for overhead door, automated, metal	1	no.		
Allowance for exterior doors, single - Hollow steel door panel, insulated, single - Steel frame - Hardware - Paint to door and frame	5	lvs		
Allowance for exterior doors, double - Hollow steel door panel, insulated, single - Steel frame - Hardware - Paint to door and frame	2	prs	s.17(1)	
Extra for Hardware - Automatic door opener, allowance - Extra for hardware, allowance	1	sum	s.17(1)	
Premium for fire rated doors to stairs - Premium for fire rated doors - Fire rated door/frame label	1	sum	s.17(1)	
Balcony				
Allowance for balcony doors - Double glazed aluminum frame sliding door	53	no.	s.17(1)	
CRU				
Allowance for aluminum framed single swing door c/w hardware	6	lvs		
Allowance fir aluminum framed double swing door c/w hardware	1	prs		
Allowance for overhead door, automated, glass	3	no.		
Allowance for exterior doors, double - Hollow steel door panel, insulated, single - Steel frame - Hardware - Paint to door and frame	1	prs		
Extra for Hardware - Automatic door opener, allowance - Extra for hardware, allowance	1	sum	s.17(1)	
Premium for fire rated doors to stairs - Premium for fire rated doors - Fire rated door/frame label	1	sum	s.17(1)	
Total Exterior Doors				s.17(1)

Description	Quantity	Unit	Rate	Amount	
A3 EXTERIOR ENCLOSURE					
Note: Architect to confirm assumptions and allowances.					
A34.1 Roof Covering					
Parkade					
2-ply SBS waterproof roof membrane c/w roof barrier and drainage mat, to Parkade roof deck	145	m ²	s.17(1)		
Allow for RCABC 10 year guarantee	1	sum			
Roof finish (hard surfaces and softscape included in Site Work)					
Residential					
<u>Roof Membrane System</u>					
2-ply SBS waterproof roof membrane c/w overlay board, insulation (R30), and self-adhered vapour barrier, above L8 Roof deck main roof, roof overrun	1,176	m ²	s.17(1)		
Extra for 2-ply SBS roof membrane upstand, allow 300mm high	1	sum			
Allow for RCABC 10 year guarantee	1	sum			
Allow for roof accessories	1	sum			
<u>L2 Roof Deck Finish (Roof Membrane Measured Separately)</u>					
Allow for unit paving	228	m ²			
<u>L8 Roof Deck Finish- assume none required</u>					
<u>Main Roof Deck (Roof Membrane Measured Separately)</u>					
Allow for unit paving	825	m ²	s.17(1)		
Allow for rubber play surface	50	m ²			
Allow for concrete curb/band	29	m			
<u>Roof Deck Landscaping (Roof Membrane Measured Separately)</u>					
Allow for growing medium, 500mm deep, to receive plants/tress, to L2 roof deck	35	m ²			
Allow for growing medium, 500mm deep, to receive plants, to L8 roof deck	18	m ²			
Allow for growing medium, 500mm deep, to receive plants (on raised prefabricated metal planters) - on main roof deck	29	m ²			
Allow for mulch to plant/tree areas	83	m ²			
Allow for plants	1	sum			
Allow for Misc. landscaping	1	sum			
Irrigation system - Included in Plumbing and Drainage				Included in Plumbing and Drainage	
Green Roof System- excluded					



Description	Quantity	Unit	Rate	Amount
CRU				
2-ply SBS waterproof roof membrane c/w overlay board, insulation (R30), and self-adhered vapour barrier, above mezzanine/ L2 roof	343	m ²	s.17(1)	s.17(1)
Extra for 2-ply SBS roof membrane upstand, allow 300mm high	1	sum		
Allow for RCABC 10 year guarantee	1	sum		
Roof pavers and softscape above CRU roof, included above under residential				
Total Roof Covering				s.17(1)

Description	Quantity	Unit	Rate	Amount
A3 EXTERIOR ENCLOSURE				
Note: Architect to confirm assumptions and allowances.				
<i>A35 Projections</i>				
Parkade				
N/A				Not Applicable
Residential				
<u>Canopy</u>				
Allow for canopy, steel frame c/w roof covering and cladding - Mezzanine above service entrance doors	7	m ²	s.17(1)	s.17(1)
Allow for canopy, steel frame c/w roof covering and cladding - Above L8 and Main roof balconies	17	m ²		
Allow for canopy, steel frame c/w roof covering and cladding - Main Roof above Amenity entrance doors	33	m ²		
Allow for canopy, wood - Main Roof above Amenity entrance doors	32	m ²		
Allowance for canopy structure to roof	22	m ²		
<u>Balcony</u>				
Allow for balconies c/w concrete frame, roof pavers, soffit panels	287	m ²		
Allowance for pavers and membrane to balcony deck (structure under roof construction)	103	m ²		
<u>Railings</u>				
Allowance for glass railings c/w glass, to balconies and roof decks	414	m		
<u>Soffit/ fascia</u>				
Allowance for metal soffit to L1, w/ insulation	121	m ²		
Fascia to L2	15	m ²		
- Fiber-reinforced cementitious fascia				
- Metal flashing				
<u>Planter Walls</u>				
Allow for concrete planters walls, assumed exposed concrete - L2 roof	137	m ²		
Allow for concrete planters walls, assumed exposed concrete - L8 roof	31	m ²		
<u>Parapet Walls</u>				
Allow for concrete parapet walls - L2 roof	59	m ²		
- Cladding- inside assume 2-ply SBS				
- Concrete parapet walls				
- Cladding, brick				
- Cladding, fibre cement panel				
Allow for concrete parapet walls - L8, Main Roof, and Amenity Roof	335	m ²	s.17(1)	
- Cladding- inside assume 2-ply SBS				
- Concrete parapet walls				
- Cladding, brick				
- Cladding, fibre cement panel				
- Cladding, ACM panel				
Allow for concrete parapet walls - core wall overrun	13	m ²	s.17(1)	
- Cladding- inside assume 2-ply SBS				
- Concrete parapet walls				
- Cladding, fibre cement panel				



Description	Quantity	Unit	Rate	Amount
Extra for edge angle to support brick cladding	196	m	s.17(1)	



Description	Quantity	Unit	Rate	Amount
Extra for flashings	371	m	s.17(1)	
<u>Screens</u>				
Allow for RTU screens	182	m ²	s.17(1)	
- Steel frame				
- Roof top unit screens				
- Metal gate to roof top unit screens, allow 2 no.				
Privacy screens	64	m	s.17(1)	
<u>Misc. Projection Items</u>				
Allowance for metal cornice	59	m	s.17(1)	
Allowance for sunshades	152	m		
Allowance for misc. projection items	1	sum		
<u>Note: Arts and Mural - Excluded</u>				
<u>CRU</u>				
<u>Canopy</u>				
Allow for canopy, steel frame c/w glass panels	50	m ²	s.17(1)	
Allowance for steel canopy @ L1	6	m ²		
<u>Parapet Walls</u>				
Allow for concrete parapet walls - Mezzanine roof	2	m ²		
- Cladding- inside assume 2-ply SBS				
- Concrete parapet walls				
- Cladding, brick				
<u>Soffit</u>				
Allowance for metal soffit to L1, w/ insulation	57	m ²	s.17(1)	
<u>Misc. Projections</u>				
Allowance for column cladding, assume ACM panel	16	m ²		
Allowance for misc. projection items	1	sum		
<u>Note: Arts and Mural - Excluded</u>				
Total Projections				s.17(1)

Description	Quantity	Unit	Rate	Amount
B1 PARTITIONS & DOORS				
Note: Architect to confirm assumptions and allowances.				
B11.1 Fixed Partitions				
Parkade				
200mm thick concrete masonry walls, c/w reinforcement and mortar	173	m ²	s.17(1)	
Rough carpentry allowance	1,411	m ²		
Caulking and sealant allowance	1,411	m ²		
Residential				
Allowance for aluminum frame storefront on L1	3	m ²	s.17(1)	
Allowance for interior wall, 152mm	6,586	m ²		
- 16mm type X GWB				
- 16mm type X GWB				
- 152mm steel stud				
- Batt insulation				
- 16mm type X GWB				
- 16mm type X GWB				
Allowance for interior wall, 92mm	6,969	m ²	s.17(1)	
- 16mm type X GWB				
- 16mm type X GWB				
- 92mm steel stud				
- Batt insulation				
- 16mm type X GWB				
- 16mm type X GWB				
Allowance for shaft walls	240	m ²	s.17(1)	
- 25mm type X GWB				
- 64mm C-H metal studs				
- Acoustical batt insulation				
- 16mm type X GWB				
Allowance for interior partitions, to heat treatment room	56	m ²	s.17(1)	
Allowance for Interior furring partition	793	m ²		
- 16mm type X GWB				
- Hat channel				
Allowance for Interior furring partition	329	m ²	s.17(1)	
- 16mm type X GWB				
- 152mm steel stud				
Rough carpentry allowance	10,184	m ²	s.17(1)	
Caulking and sealant allowance	10,184	m ²		



Description	Quantity	Unit	Rate	Amount
CRU				
Allowance for aluminum frame storefront on L1	9	m ²	s.17(1)	
Allowance for interior wall, 152mm	225	m ²		
- 16mm type X GWB				
- 16mm type X GWB				
- 152mm steel stud				
- Batt insulation				
- 16mm type X GWB				
- 16mm type X GWB				
Rough carpentry allowance	1,297	m ²	s.17(1)	
Caulking and sealant allowance	1,297	m ²		
Note: concrete walls and columns - no finishes allowed				
Total Fixed Partitions				s.17(1)

Description	Quantity	Unit	Rate	Amount
B1 PARTITIONS & DOORS				
Note: Engineer to confirm assumptions and allowances.				
B11.3 Structural Partitions				
Parkade				
<u>Note: Load bearing walls only.</u>				
Interior concrete walls, allow 250mm thick, shear walls - P1 - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	110	m ²	s.17(1)	
Interior concrete walls, allow 300mm thick, along service stairs - P1 - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	142	m ²	s.17(1)	
Interior concrete walls, allow 600mm thick, core walls - P1 - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	114	m ²	s.17(1)	
Residential				
<u>Note: Load bearing walls only.</u>				
Interior concrete walls, allow 250mm thick, shear walls - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	386	m ²	s.17(1)	
Interior concrete walls, allow 450mm thick, shear walls - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	14	m ²	s.17(1)	
Interior concrete walls, allow 300mm thick, along service stairs - L1 and Mezzanine - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	159	m ²	s.17(1)	
Interior concrete walls, allow 600mm thick, core walls - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	1,293	m ²	s.17(1)	



Description	Quantity	Unit	Rate	Amount
CRU				
<u>Note: Load bearing walls only.</u>				
Interior concrete walls, allow 250mm thick, shear walls - L1 and Mezzanine - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	64	m ²	s.17(1)	
Interior concrete walls, allow 450mm thick, shear walls - L1 and Mezzanine - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	17	m ²	s.17(1)	
Interior concrete walls, allow 300mm thick, along service stairs - L1 and Mezzanine - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	73	m ²	s.17(1)	
Interior concrete walls, allow 600mm thick, core walls - L1 and Mezzanine - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	51	m ²	s.17(1)	
Total Structural Partitions				s.17(1)

Description	Quantity	Unit	Rate	Amount
B1 PARTITIONS & DOORS				
Note: Architect to confirm assumptions and allowances.				
<i>B12 Interior Doors</i>				
Parkade				
Allowance for hollow metal door, single leaf swing	8	lvs	s.17(1)	
- Hollow metal door panel, single				
- Steel frame				
- Hardware				
- Paint to door and frame				
Allowance for hollow metal door, double leaf swing	4	prs	s.17(1)	
- Hollow metal door panel, double				
- Steel frame				
- Hardware				
- Paint to door and frame				
Extra for Hardware	1	sum	s.17(1)	
- Power operator, allowance				
- Extra for hardware, allowance				
Premium for fire rated doors to stairs	1	sum	s.17(1)	
- Premium for fire rated doors				
- Fire rated door/frame label				
Residential				
<u>Common Area</u>				
Allowance for aluminum double glazed single door	3	lvs	s.17(1)	
Allowance for aluminum double glazed double door	2	prs		
Allowance for hollow metal door, single leaf swing	44	lvs		
- Hollow metal door panel, single				
- Steel frame				
- Hardware				
- Paint to door and frame				
Allowance for hollow metal door, double leaf swing	10	prs	s.17(1)	
- Hollow metal door panel, double				
- Steel frame				
- Hardware				
- Paint to door and frame				
Allowance for solid core wood door, single leaf swing	7	lvs	s.17(1)	
- Solid wood door panel, single				
- Wood frame				
- Hardware				
- Paint to door and frame				
Extra for Hardware	1	sum	s.17(1)	
- Power operator				
- Extra for hardware, allowance				
Premium for fire rated doors	1	sum	s.17(1)	
- Premium for fire rated doors				
- Fire rated door/frame label				



Description	Quantity	Unit	Rate	Amount
<u>Suites</u>				
Allowance for solid core wood entry door, single leaf swing - Solid wood door panel, single - Metal frame - Hardware - Paint to door and frame	156	lvs	s.17(1)	
Allowance for hollow core wood door, single swing - Solid wood door, single, - Wood frame - Hardware - Paint to door and frame	375	lvs	s.17(1)	
Allowance for hollow core wood bypass door, to closet	288	no.	s.17(1)	
Premium for fire rated doors - Premium for fire rated doors, 20 mins - Fire rated door/frame label	1	sum		
<u>CRU</u>				
Allowance for aluminum double glazed double door	1	prs	s.17(1)	
Allowance for hollow metal door, single leaf swing - Hollow metal door panel, single - Steel frame - Hardware - Paint to door and frame	6	lvs		
Extra for Hardware - Power operator - Extra for hardware, allowance	1	sum	s.17(1)	
Premium for fire rated doors - Premium for fire rated doors - Fire rated door/frame label	1	sum	s.17(1)	
Total Interior Doors				s.17(1)

Description	Quantity	Unit	Rate	Amount
B2 FINISHES				
Note: Architect to confirm assumptions and allowances.				
B21 Floor Finishes				
Parkade				
Traffic coating to parkade, assumed	1,008	m ²	s.17(1)	
Porcelain tile to elevator lobby, assumed	27	m ²		
Concrete sealer to rest, assumed	286	m ²		
Allowance for parkade lines and markings	1	sum		
Allowance for baseboard, assumed				
- Tile base to elevator lobby				
- Rest - assume none required				
Allowance for tactile walking surface indicator	1	sum		
Residential				
<u>Common Areas</u>				
Allowance for floor finishes to common areas, assumed				
- Luxury vinyl plank to amenity and office	57	m ²	s.17(1)	
- Ceramic tile to entry vestibule and elevator lobby, and mailroom	57	m ²		
- Carpet tile to corridor	935	m ²		
- Non-slip vinyl sheet flooring to laundry room	22	m ²		
- Concrete sealer to stairs	351	m ²		
- Epoxy flooring to waste room	51	m ²		
- Concrete sealer to bike storage/ storage/ service rooms	498	m ²		
Allowance for floor finish heat treatment room floor	27	m ²		
Baseboards to common areas				
- Tile base to entry vestibule/ lobby and mailroom	72	m		
- Wood baseboards where carpet tiles and LVT	1,204	m		
- Flash cove baseboards where vinyl sheet/ concrete sealer	922	m		
Allowance for tactile walking surface indicator	1	sum		
Allowance for E/O waterproofing membrane, to amenity washroom	1	sum		
Allowance for recessed floor mat to vestibule	1	sum		
<u>Suites</u>				
Floor finishes to suites				
- Luxury vinyl plank to living area	6,073	m ²	s.17(1)	
- Non-slip vinyl sheet flooring to bathrooms	680	m ²		
Allowance for baseboards to suites				
- Wood baseboards to living area	7,740	m	s.17(1)	
- Flash cove baseboard to bath and laundry	1,410	m		
Allowance for E/O waterproofing membrane, to accessible suite bathrooms	96	m ²		
CRU				
Allow for floor finishes, concrete sealer	1,297	m ²	s.17(1)	
Note; Shell and Core finish				
Total Floor Finishes				s.17(1)

Description	Quantity	Unit	Rate	Amount
B2 FINISHES				
Note: Architect to confirm assumptions and allowances.				
<i>B22 Ceiling Finishes</i>				
Parkade				
Spray on insulation to parkade ceiling to underside of heated space	1,131	m ²	s.17(1)	
Allowance for paint to spray insulation	1,131	m ²		
Allowance for gypsum board drop ceiling to elevator lobby, assumed	27	m ²		
Allowance for painting to exposed ceiling, rest	190	m ²		
Residential				
<u>Common Areas</u>				
Allowance for special ceiling finishes	1	sum	s.17(1)	
Allowance for gypsum board drop ceiling to L1 lobby/ vestibule, mailroom	57	m ²		
Allowance for gypsum board drop ceiling to amenity washroom, allow 10m2	10	m ²		
Allowance for ACT to corridor, amenity room, laundry room, and office	1,004	m ²		
Allowance for heat treatment room ceiling finish	27	m ²		
Allowance for paint to rest	873	m ²		
Allowance for GWB bulkhead	1	sum		
<u>Suites</u>				
Allowance for gypsum board dropped ceiling to residential suites - Residential bathroom - Assumed 30% of rest will be dropped ceiling	2,502	m ²	s.17(1)	
Allowance for paint to exposed structure, to rest	4,251	m ²	s.17(1)	
Allowance for GWB bulkhead	1	sum		
CRU				
Ceiling Finishes Exclude- Shell and Core				
Total Ceiling Finishes				s.17(1)

Description	Quantity	Unit	Rate	Amount
B2 FINISHES				
Note: Architect to confirm assumptions and allowances.				
<i>B23 Wall Finishes</i>				
Parkade				
Paint to Parkade walls	893	m ²	s.17(1)	
Paint to Parkade columns	164	m ²		
Allowance for tile to elevator lobby	1	sum		
Residential				
Paint to walls	31,440	m ²	s.17(1)	
Allowance for tile to elevator lobby	1	sum		
Allowance for ceramic tile to bath surround	1,305	m ²		
Allowance for backsplash to kitchen counters, assume 100mm ht	54	m ²		
Wall coverings- assume none required				
Wall protection panels- non required			s.17(1)	-
Allowance for special wall finishes	1	sum		s.17(1)
CRU				
Wall Finishes Exclude- Shell and Core				
Total Wall Finishes				s.17(1)

Description	Quantity	Unit	Rate	Amount
B3 FITTINGS & EQUIPMENT				
Note: Architect to confirm assumptions and allowances.				
<i>B31.1 Metals</i>				
Parkade				
Steel handrails to stairs	35	m	s.17(1)	
Steel guardrails to stairs	6	m		
Allowance for miscellaneous metals	1,411	m ²		
Residential				
Steel handrails to stairs	213	m	s.17(1)	
Steel guardrails to stairs	108	m		
Allowance for miscellaneous metals	10,184	m ²		
CRU				
Steel handrails to stairs	12	m	s.17(1)	
Steel guardrails to stairs	12	m		
Allowance for miscellaneous metals	1,297	m ²		
Total Metals				s.17(1)

Description	Quantity	Unit	Rate	Amount
B3 FITTINGS & EQUIPMENT				
Note: Architect to confirm assumptions and allowances.				
<i>B31.2 Millwork</i>				
Parkade				
Millwork to Parkade - assume none required				None Required
Residential				
Allowance millwork to amenity area	1	sum	s.17(1)	
- Mail center				
- Office millwork, allow				
- Amenity millwork, allow				
- Amenity kitchen base cabinet c/w plastic laminate countertop				
- Amenity kitchen overhead cabinet				
- Amenity laundry room base counter plastic laminate countertops				
- Amenity washroom vanity, plastic laminate countertop				
Allowance for millwork to residential suites	156	units	s.17(1)	
- Kitchen, base cabinet w/ plastic laminate countertop				
- Kitchen, O/H cupboard				
- Kitchen, island				
- Bathroom vanity				
- Kitchen, base cabinet with plastic laminate countertop, accessible				
- Kitchen, O/H cupboard, accessible				
- Kitchen, full ht cabinet, accessible				
- Bathroom vanity, plastic laminate, accessible				
- Closet rods and shelves				
- 4 tiers shelves				
CRU				
Millwork Excluded				Excluded
Total Millwork				s.17(1)

Description	Quantity	Unit	Rate	Amount
B3 FITTINGS & EQUIPMENT				
Note: Architect to confirm assumptions and allowances.				
<i>B31.3 Specialties</i>				
Parkade				
Signage, allowance	1	sum	s.17(1)	
- Interior signage to suite doors				
- Floor number to stairwell				
- Wayfinding signage, allow 3 no. per floor				
Allowance for bike racks	1	sum	s.17(1)	
- Bike lockers, allow 10%				
- Vertical, allow 40%				
- Horizontal, allow 40%				
- Oversized, allow 20%				
Allow for bike repair stand	1	no.	s.17(1)	
Allowance for miscellaneous specialties	1	sum		
Residential				
Allowance for signage	1	sum	s.17(1)	
- Interior signage to suite doors				
- Interior signage to service/ amenity doors				
- Exterior signage to doors				
- Floor number to stairwell				
- Wayfinding signage, allow 3 no. per level				
- Building signage				
- Special signage, excluded				
Allowance for mailboxes	1	sum	s.17(1)	
- Regular sized mailboxes, 156 no.				
- Parcel compartments, 20 no.				
Allowance for L2/ roof amenity space washroom (assumed) accessories, universal washroom	2	sets	s.17(1)	
- Accessible mirror tilted				
- Toilet tissue dispenser				
- Soap dispenser				
- Paper towel holder				
- Waste receptable				
- Coat hook				
- Sanitary napkin disposal				
- Baby change station				
- Hand dryer				
- Horizontal grab bar				
- L shaped grab bar				
Allowance for accessories to amenity kitchen (assumed), L1 and roof	2	sets	s.17(1)	
- Soap dispenser				
- Paper towel holder				
- Waste receptable				
Allowance for accessories to laundry room	1	sets	s.17(1)	
- Soap dispenser				
- Paper towel holder				
- Waste receptable				
Allowance for recessed floor mat	1	sum	s.17(1)	
Allowance PVC corner guards, assumed 1220mm ht	33	no.		



Description	Quantity	Unit	Rate	Amount
Allowance for roof anchors, allow 1 no. per 3.6m of roof perimeter	49	no.	s.17(1)	
Allowance for storage lockers to Mezz rooms	1	sum		
Allowance for miscellaneous specialties	1	sum		
<u>Residential Suites</u>				
Allowance for washroom accessories, residential units	154	sets	s.17(1)	
- Mirror				
- Toilet tissue dispenser				
- Towel bar				
- Shower rod				
- Robe hook				
Allowance for washroom accessories, residential units, accessible	20	sets	s.17(1)	
- Tilt mirror				
- Toilet tissue dispenser				
- Towel bar				
- Robe hook				
- Shower rod				
- Folding shower seat				
- Horizontal grab bar				
- Vertical grab bar				
- L shaped grab bar				
- L shaped grab bar				
Allowance for window blinds-assumed manual	1,432	m ²	s.17(1)	
CRU				
Allowance for signage	1	sum	s.17(1)	
- Interior signage to service/ amenity doors				
- Exterior signage to doors				
- Building signage				
- Special signage, excluded				
Rest specialties exclude				
Total Specialties				s.17(1)

Description	Quantity	Unit	Rate	Amount
B3 FITTINGS & EQUIPMENT				
Note: Architect to confirm assumptions and allowances.				
<i>B32 Equipment</i>				
Parkade N/A				
Residential				
Allowance for garbage compactor	1	sum	s.17(1)	
Allowance for appliances to amenity laundry room, commercial grade - Washing machine, commercial grade - Dryer, commercial grade - Card Reloading Kiosk, allow 1 no.	16	sets		
Allowance for appliances to amenity space, assume residential grade, stainless steel finish - Refrigerator - Electronic range - Range hood - Dishwasher - Microwave	2	set	s.17(1)	
Allowance for appliances to suites - Refrigerator - Electronic range - Range hood - Dishwasher - Microwave, assume not required - Washer - Dryer	136	suites	s.17(1)	
Allowance for appliances to suites, accessible (assumed) - Refrigerator - Cooktop - Hood fan - Wall oven - Dishwasher - Washer - Dryer	20	suites	s.17(1)	
<u>Roof Deck Fittings - Level 2 & L8</u> Assumed none required				Excluded
<u>Roof Deck Fittings - Main Roof</u> Allow for playground equipment to main roof deck - Playground equipment - Concrete pads	1	sum	s.17(1)	
Allow for prefabricated raised metal planters, main roof deck	29	m ²	s.17(1)	
Allow for miscellaneous site furnishings	1	sum		
Loose furniture and equipment				Excluded
CRU				
Allowance for garbage compactor	1	sum	s.17(1)	
Rest equipment exclude				
Total Equipment				s.17(1)



Description	Quantity	Unit	Rate	Amount
B3 FITTINGS & EQUIPMENT				
Note: Architect to confirm assumptions and allowances.				
<i>B33.1 Elevators</i>				
Parkade				
Passenger elevator, 2 cabs, P1	2	stops	s.17(1)	
Residential				
Passenger elevator, 2 cabs, L1 to roof	22	stops	s.17(1)	
Allow for elevator cab finish	2	cabs		
CRU				
N/A				
Total Elevators				s.17(1)

Description	Quantity	Unit	Rate	Amount
C1 MECHANICAL				
<i>C11 Plumbing and Drainage</i>				
Parkade				
Plumbing equipment	1,411	m ²	s.17(1)	s.17(1)
Piping, valves and accessories				
Miscellaneous works				
Residential				
Plumbing equipment	10,184	m ²	s.17(1)	s.17(1)
Piping, valves and accessories				
Plumbing fixtures				
Water closet	172	no	s.17(1)	
Lavatory	172	no		
Bath tub	172	no		
Laundry sink	1	no		
Janitor sink	6	no		
Kitchen sink	156	no		
Water closet (common area)	2	no		
Lavatory (common area)	2	no		
Kitchen sink (common area)	2	no		
Floor drain	156	no		
Roof drain	25	no		
Dishwasher hook up	172	no		
Washer hook up	9	no		
Rough-ins to plumbing fixtures	685	no		
Allowance for irrigation system to softscape area	1	sum	s.17(1)	
CRU				
Note: Shell and core provision only				
Plumbing equipment	1,297	m ²	s.17(1)	
Piping, valves and accessories	1,297	m ²		
Plumbing fixtures-rough-ins only	1	sum		
Total Plumbing and Drainage				s.17(1)



Description	Quantity	Unit	Rate	Amount
C1 MECHANICAL				
<i>C12 Fire Protection</i>				
Parkade Fire protection system	1,411	m ²	s.17(1)	
Residential Fire protection system	10,184	m ²	s.17(1)	
CRU Fire protection system	1,297	m ²	s.17(1)	
Total Fire Protection				s.17(1)

Description	Quantity	Unit	Rate	Amount
C1 MECHANICAL				
<i>C13 HVAC</i>				
Parkade				
HVAC Equipment	1,411	m ²	s.17(1)	s.17(1)
Ductwork and Air Distribution				
Miscellaneous works				
Residential				
HVAC Equipment	10,184	m ²	s.17(1)	
- In-suite HRV/ERV for ventilation				
- Heating and cooling from air-source heat pump PTAC units				
- Fans for ventilation				
- In-room ERV and VRF heat pumps for amenity room				
Piping, Valves and Accessories				s.17(1)
Ductwork and Air Distribution				
Miscellaneous works				
CRU				
Note: Shell and core provision only				
HVAC Equipment (VRF fan coil units for heating and cooling, ventilation by Tenants)	1,297	m ²	s.17(1)	s.17(1)
Piping, Valves and Accessories				
Ductwork and Air Distribution				
Miscellaneous works				
Total HVAC				s.17(1)



Description	Quantity	Unit	Rate	Amount
C1 MECHANICAL				
<i>C14 Controls</i>				
Parkade				
Parkade gas detectors system	1,411	m2	s.17(1)	
Allowance for controls system	1,411	m2		
Residential				
Allowance for controls system	10,184	m2	s.17(1)	
CRU				
Note: Shell and core provision only				
Allowance for controls system	1,297	m2	s.17(1)	
Total Controls				s.17(1)



Description	Quantity	Unit	Rate	Amount
C2 ELECTRICAL				
<i>C21 Service & Distribution</i>				
Parkade				
Allowance for services and distribution comprising of panel boards, secondary transformer, metering and feeder	1,411	m2	s.17(1)	
Residential				
Allowance for services and distribution comprising of panel boards, secondary transformer, metering and feeder	10,184	m2	s.17(1)	
2250kVA Unit substation w/ 4000A 347/600V main distribution				
500kW 600V 3P diesel fuel engine driven generator				
Vista switch (Excluded, assumed by BC Hydro)				
Daycare				
Allowance for services and distribution comprising of panel boards, secondary transformer, metering and feeder	1,297	m2	s.17(1)	
Total Service & Distribution				s.17(1)

Description	Quantity	Unit	Rate	Amount
C2 ELECTRICAL				
<i>C22 Lighting, Devices & Heating</i>				
Parkade				
Lighting fixtures and lighting control	1,411	m ²	s.17(1)	s.17(1)
Branch devices				
Heating (Baseboard heaters)				
Mechanical equipment connection				
Allowance for EV infrastructure (EV ready excluding EV charger)	33	no.	s.17(1)	
Residential				
Lighting fixtures and lighting control	10,184	m ²	s.17(1)	s.17(1)
Exterior accent lighting at Level 1 soffit & columns				
Branch devices				
Heating (Baseboard heaters)				
Mechanical equipment connection				
CRU				
Note: Shell and core provision only				
Lighting fixtures and lighting control	1,297	m ²	s.17(1)	s.17(1)
Branch devices				
Provision for power to CRU frontages for signage				
Heating (Baseboard heaters)				
Mechanical equipment connection				
Total Lighting, Devices & Heating				s.17(1)

Description	Quantity	Unit	Rate	Amount
C2 ELECTRICAL				
<i>C23 Systems & Ancillaries</i>				
Parkade				
Fire alarm system	1,411	m2	s.17(1)	s.17(1)
Communication system				
Access control				
Residential				
Fire alarm system	10,184	m2	s.17(1)	s.17(1)
Communication system				
Access control				
CRU				
Note: Shell and core provision only				
Fire alarm system	1,297	m2	s.17(1)	s.17(1)
Communication system				
Access control				
Total Systems & Ancillaries				s.17(1)

Description	Quantity	Unit	Rate	Amount
D1 SITE WORK				
<i>D11.1 Site Preparation</i>				
<u>Note: Site preparation outside property line - Excluded</u>				
Site clearing, remove existing vegetation - allow	1,962	m ²	s.17(1)	
Remove existing trees, assume none				Excluded
Protection to existing tree, allow	1	sum	s.17(1)	
Rough and finish grading - allow	1,962	m ²		
- Strip topsoil and dispose offsite, allow 300mm deep				
- Allow for imported fill to suit levels				
- Finish grading				
Allowance for dewatering (included in A12 Basement Excavation)				
Allowance for erosion and sedimentation control (included in A12 Basement Excavation)				
Rock excavation - assume not required				Assume not required
Total Site Preparation				s.17(1)

Description	Quantity	Unit	Rate	Amount
D1 SITE WORK				
<i>D11.2 Hard Surfaces</i>				
<u>Note: Hard surfaces outside property line - Excluded</u>				
<u>Hard Surfaces (Above Parkade Roof Deck/ On Grade)</u>				
<u>Note: Roof Waterproofing on Parkade Roof Deck Included in Roof Covering Section</u>				
Allow for void fill to parkade roof deck	1	sum	s.17(1)	s.17(1)
Allow for asphalt paving to driveway	270	m ²		
Allow for unit paving	207	m ²		
Concrete sidewalk	93	m ²		
<u>Miscellaneous Hard Surfaces</u>				
Allow for concrete curb/band	106	m	s.17(1)	s.17(1)
Allow for tying new hard surfaces to existing	1	sum		
Allow for pavement markings	1	sum		
Total Hard Surfaces				s.17(1)

Description	Quantity	Unit	Rate	Amount
D1 SITE WORK				
<i>D11.3 Site Improvements</i>				
<u>Note: Site Improvements outside property line - Excluded</u>				
<u>Site Furnishings</u>				
Allow for wayfinding signage	1	sum	s.17(1)	s.17(1)
Allow for bike racks	1	sum		
Allow for benches	1	sum		
Allow for miscellaneous site furnishings	1	sum		
<u>Fences/Screens</u>				
Allow for metal mesh fence, 1.8m H to South and West	92	m		
<u>Site Playground Equipment</u>				
Assume none required				
Total Site Improvements				s.17(1)

Description	Quantity	Unit	Rate	Amount
D1 SITE WORK				
<i>D11.4 Landscaping</i>				
<u>Note: Landscaping outside property line - Excluded</u>				
<u>Growing Medium</u> Allow for growing medium, 500mm deep, to receive plants/tress, allow 50 m2	1	sum	s.17(1)	
<u>Mulch</u> Allow for mulch to plant/tree areas	1	sum	s.17(1)	
<u>Lawn</u> Assume none				
<u>Plants/Trees</u> Allow for plants	1	sum	s.17(1)	
<u>Miscellaneous Landscaping</u> Allow for Misc. landscaping	1	sum	s.17(1)	
<u>Irrigation</u> Irrigation system - Included in Mechanical Site Services				Included in Mechanical Site Services
Total Landscaping				s.17(1)



Description	Quantity	Unit	Rate	Amount
D1 SITE WORK				
<i>D12 Mechanical Site Services</i>				
Allowance for incoming services:				
Sanitary	1	sum	s.17(1)	s.17(1)
Storm				
Fire/water main				
Gas line				
Irrigation system	1	sum	s.17(1)	
Utility connection fee (Excluded)				
<i>Total Mechanical Site Services</i>				s.17(1)



Description	Quantity	Unit	Rate	Amount
D1 SITE WORK				
<i>D13 Electrical Site Services</i>				
Allowance for incoming services (ducts only)				Excluded
Incoming power duct (within property line)	1	sum	s.17(1)	
Incoming communication duct (within property line)	1	sum		
Site lighting	1	sum		
Total Electrical Site Services				s.17(1)



Description	Quantity	Unit	Rate	Amount
D2 ANCILLARY WORK				
<i>D21.2 Off Sites</i>				
<u>Excluded</u>				
<i>Total Off Sites</i>				-

APPENDIX 3

DETAILED ESTIMATE

(OPTION 2 – HYBRID STRUCTURE (STRUCTURAL STEEL AND MASS TIMBER))



TOTAL		m ²			ft ²			Amount \$	Total Cost \$	%
Element	Ratio G.F.A.	Element		Average	Element		Average			
		Quantity	Unit	Unit Cost	Quantity	Unit	Unit Cost			
A1 SUBSTRUCTURE		11,481	m ²	s.17(1)	123,575	ft ²	s.17(1)		s.17(1)	2.7%
A11.1	Standard Foundations	1.12	12,892	m ²		138,768	ft ²	s.17(1)		
A11.2	Special Foundations	0.00	0	m ²		0	ft ²			
A12	Basement Excavation	0.48	5,561	m ³		7,274	cy			
A2 STRUCTURE		11,481	m ²		123,575	ft ²			s.17(1)	20.3%
A21	Lowest Floor Construction	0.14	1,614	m ²		17,373	ft ²			
A22.1	Upper Floor Construction	0.98	11,278	m ²		121,395	ft ²			
A22.2	Stair Construction	0.04	510	risr		510	risr			
A23	Roof Construction	0.14	1,664	m ²		17,911	ft ²			
A3 EXTERIOR ENCLOSURE		11,481	m ²		123,575	ft ²			s.17(1)	20.6%
A31	Structural Walls Below Grade	0.05	630	m ²		6,781	ft ²			
A32.1	Walls Above Grade	0.44	5,016	m ²		53,990	ft ²			
A32.2	Structural Walls Above Grade	0.08	958	m ²		10,312	ft ²			
A33.1	Windows & Louvres	0.12	1,432	m ²		15,416	ft ²			
A33.3	Doors	0.01	86	lvs.		86	lvs.			
A34.1	Roof Covering	0.14	1,664	m ²		17,911	ft ²			
A34.2	Skylights	0.00	0	no.		0	no.			
A35	Projections	0.13	1,526	m ²		16,429	no.			
B1 PARTITIONS & DOORS		11,481	m ²		123,575	ft ²			s.17(1)	11.4%
B11.1	Fixed Partitions	1.34	15,384	m ²		165,589	ft ²			
B11.2	Moveable Partitions	0.00	0	m ²		0	ft ²			
B11.3	Structural Partitions	0.21	2,423	m ²		26,081	ft ²			
B12	Doors	0.08	917	lvs.		917	lvs.			
B2 FINISHES		11,481	m ²		123,575	ft ²			s.17(1)	5.3%
B21	Floor Finishes	0.99	11,369	m ²		122,371	ft ²			
B22	Ceiling Finishes	0.87	10,045	m ²		108,128	ft ²			
B23	Wall Finishes	2.96	33,957	m ²		365,509	ft ²			
B3 FITTINGS & EQUIPMENT		11,481	m ²		123,575	ft ²			s.17(1)	6.4%
B31.1	Metals	1.00	11,481	m ²		123,575	ft ²			
B31.2	Millwork	1.00	11,481	m ²		123,575	ft ²			
B31.3	Specialties	1.00	11,481	m ²		123,575	ft ²			
B32	Equipment	1.00	11,481	m ²		123,575	ft ²			
B33.1	Elevators	0.00	24	stop		24	stop			
C1 MECHANICAL		11,481	m ²		123,575	ft ²			s.17(1)	11.8%
C11	Plumbing and Drainage	1.00	11,481	m ²		123,575	ft ²			
C12	Fire Protection	1.00	11,481	m ²		123,575	ft ²			
C13	HVAC	1.00	11,481	m ²		123,575	ft ²			
C14	Controls	1.00	11,481	m ²		123,575	ft ²			
C2 ELECTRICAL		11,481	m ²		123,575	ft ²			s.17(1)	7.6%
C21	Service & Distribution	1.00	11,481	m ²		123,575	ft ²			
C22	Lighting, Devices & Heating	1.00	11,481	m ²		123,575	ft ²			
C23	Systems & Ancillaries	1.00	11,481	m ²		123,575	ft ²			
Z1 GENERAL REQUIREMENTS & FEES		11,481	m ²		123,575	ft ²			s.17(1)	13.8%
Z11	General Requirements	11%								
Z12	Fee	5%								
NET BUILDING COST		11,481	m ²		123,575	ft ²			s.17(1)	100%



TOTAL		m ²			ft ²			Amount \$	Total Cost \$	%
Element	Ratio G.F.A.	Element		Average Unit Cost	Element		Average Unit Cost			
		Quantity	Unit		Quantity	Unit				
NET BUILDING COST									s.17(1)	
D1 SITE WORK			11,481	m²	s.17(1)	123,575	ft²	s.17(1)		
D11.1	Site Preparation	1.00	11,481	m ²		123,575	ft ²	s.17(1)		
D11.2	Hard Surfaces	1.00	11,481	m ²		123,575	ft ²			
D11.3	Site Improvements	1.00	11,481	m ²		123,575	ft ²			
D11.4	Landscaping	1.00	11,481	m ²		123,575	ft ²			
D12	Mechanical Site Services	1.00	11,481	m ²		123,575	ft ²			
D13	Electrical Site Services	1.00	11,481	m ²		123,575	ft ²			
D2 ANCILLARY WORK			11,481	m²		123,575	ft²			0
D21.1	Demolition	0.00	0	sum		0	sum	0		
D22	Off Site	0.00	0	sum		0	sum	0		
Z1 GENERAL REQUIREMENTS & FEES			11,481	m²		123,575	ft²		s.17(1)	s.17(1)
Z11	General Requirements	11%						s.17(1)		
Z12	Fee	5%								
NET CONSTRUCTION COST			11,481	m²		123,575	ft²			
Z2 ALLOWANCES			11,481	m²		123,575	ft²			
Z21	Design Allowance	10%								
Z23	Construction Allowance	5%								
SUBTOTAL CONSTRUCTION COST			11,481	m²		123,575	ft²			
Goods & Services Tax		0%								
TOTAL CONSTRUCTION COST			11,481	m²		123,575	ft²			
Z31	Escalation Allowance (Excluded)	0%								
ESCALATED CONSTRUCTION COST			11,481	m²		123,575	ft²			

Parkade		m ²			ft ²			Amount \$	Total Cost \$	%
		Ratio G.F.A.	Element Quantity	Unit	Average Unit Cost	Element Quantity	Unit			
A1	SUBSTRUCTURE		1,411	m ²	s.17(1)	15,187	ft ²	s.17(1)	s.17(1)	24.5%
A11.1	Standard Foundations	1.00	1,411	m ²		15,188	ft ²	s.17(1)		
A11.2	Special Foundations	0.00	0	m ²		0	ft ²			
A12	Basement Excavation	3.94	5,561	m ³		7,274	cy			
A2	STRUCTURE		1,411	m ²		15,187	ft ²		s.17(1)	10.0%
A21	Lowest Floor Construction	1.00	1,411	m ²		15,188	ft ²			
A22.1	Upper Floor Construction	0.00	0	m ²		0	ft ²			
A22.2	Stair Construction	0.04	60	risr		60	risr			
A23	Roof Construction	0.10	145	m ²		1,561	ft ²			
A3	EXTERIOR ENCLOSURE		1,411	m ²		15,187	ft ²		s.17(1)	12.4%
A31	Structural Walls Below Grade	0.45	630	m ²		6,781	ft ²			
A32.1	Walls Above Grade	0.00	0	m ²		0	ft ²			
A32.2	Structural Walls Above Grade	0.00	0	m ²		0	ft ²			
A33.1	Windows & Louvres	0.00	0	m ²		0	ft ²			
A33.3	Doors	0.00	1	lvs.		1	lvs.			
A34.1	Roof Covering	0.10	145	m ²		1,561	ft ²			
A34.2	Skylights	0.00	0	no.		0	ft ²			
A35	Projections	0.00	0	m ²		0	ft ²			
B1	PARTITIONS & DOORS		1,411	m ²		15,187	ft ²		s.17(1)	11.0%
B11.1	Fixed Partitions	0.12	173	m ²		1,865	ft ²			
B11.2	Moveable Partitions	0.00	0	m ²		0	ft ²			
B11.3	Structural Partitions	0.26	366	m ²		3,940	ft ²			
B12	Doors	0.01	12	lvs.		12	lvs.			
B2	FINISHES		1,411	m ²		15,187	ft ²		s.17(1)	4.1%
B21	Floor Finishes	0.94	1,321	m ²		14,224	ft ²			
B22	Ceiling Finishes	0.94	1,321	m ²		14,224	ft ²			
B23	Wall Finishes	0.81	1,141	m ²		12,277	ft ²			
B3	FITTINGS & EQUIPMENT		1,411	m ²		15,187	ft ²		s.17(1)	3.6%
B31.1	Metals	1.00	1,411	m ²		15,187	ft ²			
B31.2	Millwork	0.00	0	m ²		0	ft ²			
B31.3	Specialties	1.00	1,411	m ²		15,187	ft ²			
B32	Equipment	0.00	0	m ²		0	ft ²			
B33.1	Elevators	0.00	2	stop		2	stop			
C1	MECHANICAL		1,411	m ²		15,187	ft ²		s.17(1)	10.8%
C11	Plumbing and Drainage	1.00	1,411	m ²		15,187	ft ²			
C12	Fire Protection	1.00	1,411	m ²		15,187	ft ²			
C13	HVAC	1.00	1,411	m ²		15,187	ft ²			
C14	Controls	1.00	1,411	m ²		15,187	ft ²			
C2	ELECTRICAL		1,411	m ²		15,187	ft ²		s.17(1)	9.8%
C21	Service & Distribution	1.00	1,411	m ²		15,187	ft ²			
C22	Lighting, Devices & Heating	1.00	1,411	m ²		15,187	ft ²			
C23	Systems & Ancillaries	1.00	1,411	m ²		15,187	ft ²			
Z1	GENERAL REQUIREMENTS & FEES		1,411	m ²		15,187	ft ²		s.17(1)	13.8%
Z11	General Requirements	11%								
Z12	Fee	5%								
NET BUILDING COST			1,411	m ²		15,187	ft ²		s.17(1)	100.0%

COST CONSULTANTS

Parkade		m ²			ft ²			Amount \$	Total Cost \$	%	
		Element	Quantity	Unit	Average Unit Cost	Element	Quantity				Unit
Element	Ratio G.F.A.	Quantity	Unit	Average Unit Cost	Element	Quantity	Unit	Average Unit Cost	Amount \$	Total Cost \$	%
NET BUILDING COST										s.17(1)	
D1 SITE WORK		1,411	m ²	0.00	15,187	ft ²	0.00			0	
D11.1	Site Preparation	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D11.2	Hard Surfaces	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D11.3	Site Improvements	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D11.4	Landscaping	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D12	Mechanical Site Services	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D13	Electrical Site Services	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D2 ANCILLARY WORK		1,411	m ²	0.00	15,187	ft ²	0.00			0	
D21.1	Demolition	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D21.2	Off Site	0.00	0	m ²	0.00	0	ft ²	0.00	0		
Z1 GENERAL REQUIREMENTS & FEES		1,411	m ²	0.00	15,187	ft ²	0.00			0	
Z11	General Requirements	11%							0		
Z12	Fee	5%							0		
NET CONSTRUCTION COST										s.17(1)	
Z2 ALLOWANCES		1,411	m ²		15,187	ft ²					
Z21	Design Allowance	10%							s.17(1)		
Z23	Construction Allowance	5%									
SUBTOTAL CONSTRUCTION COST										s.17(1)	
Goods & Services Tax		0%								0	
TOTAL CONSTRUCTION COST										s.17(1)	
Z31	Escalation Allowance	0%								0	
ESCALATED CONSTRUCTION COST										s.17(1)	

Residential		m ²			ft ²			Amount \$	Total Cost \$	%
		Ratio G.F.A.	Element Quantity	Unit	Average Unit Cost	Element Quantity	Unit			
A1	SUBSTRUCTURE		10,184	m ²	s.17(1)	109,618	ft ²	s.17(1)	s.17(1)	1.2%
A11.1	Standard Foundations	1.00	10,184	m ²		109,620	ft ²	s.17(1)		
A11.2	Special Foundations	0.00	0	m ²		0	ft ²			
A12	Basement Excavation	0.00	0	m ²		0	cy			
A2	STRUCTURE		10,184	m ²		109,618	ft ²		s.17(1)	20.5%
A21	Lowest Floor Construction	0.01	81	m ²		872	ft ²			
A22.1	Upper Floor Construction	0.99	10,103	m ²		108,748	ft ²			
A22.2	Stair Construction	0.04	414	risr		414	risr			
A23	Roof Construction	0.12	1,176	m ²		12,658	ft ²			
A3	EXTERIOR ENCLOSURE		10,184	m ²		109,618	ft ²		s.17(1)	20.4%
A31	Structural Walls Below Grade	0.00	0	m ²		0	ft ²			
A32.1	Walls Above Grade	0.43	4,365	m ²		46,980	ft ²			
A32.2	Structural Walls Above Grade	0.08	841	m ²		9,052	ft ²			
A33.1	Windows & Louvres	0.14	1,432	m ²		15,416	ft ²			
A33.3	Doors	0.01	72	lvs.		72	lvs.			
A34.1	Roof Covering	0.12	1,176	m ²		12,658	ft ²			
A34.2	Skylights	0.00	0	no.		0	no.			
A35	Projections	0.14	1,394	m ²		15,009	ft ²			
B1	PARTITIONS & DOORS		10,184	m ²		109,618	ft ²		s.17(1)	11.8%
B11.1	Fixed Partitions	1.47	14,977	m ²		161,209	ft ²			
B11.2	Moveable Partitions	0.00	0	m ²		0	ft ²			
B11.3	Structural Partitions	0.18	1,852	m ²		19,935	ft ²			
B12	Doors	0.09	897	lvs.		897	lvs.			
B2	FINISHES		10,184	m ²		109,618	ft ²		s.17(1)	5.8%
B21	Floor Finishes	0.86	8,751	m ²		94,190	ft ²			
B22	Ceiling Finishes	0.86	8,724	m ²		93,904	ft ²			
B23	Wall Finishes	3.22	32,816	m ²		353,233	ft ²			
B3	FITTINGS & EQUIPMENT		10,184	m ²		109,618	ft ²		s.17(1)	7.1%
B31.1	Metals	1.00	10,184	m ²		109,618	ft ²			
B31.2	Millwork	1.00	10,184	m ²		109,618	ft ²			
B31.3	Specialties	1.00	10,184	m ²		109,618	ft ²			
B32	Equipment	1.00	10,184	m ²		109,618	ft ²			
B33.1	Elevators	0.00	22	stop		22	stop			
C1	MECHANICAL		10,184	m ²		109,618	ft ²		s.17(1)	12.1%
C11	Plumbing and Drainage	1.00	10,184	m ²		109,618	ft ²			
C12	Fire Protection	1.00	10,184	m ²		109,618	ft ²			
C13	HVAC	1.00	10,184	m ²		109,618	ft ²			
C14	Controls	1.00	10,184	m ²		109,618	ft ²			
C2	ELECTRICAL		10,184	m ²		109,618	ft ²		s.17(1)	7.4%
C21	Service & Distribution	1.00	10,184	m ²		109,618	ft ²			
C22	Lighting, Devices & Heating	1.00	10,184	m ²		109,618	ft ²			
C23	Systems & Ancillaries	1.00	10,184	m ²		109,618	ft ²			
Z1	GENERAL REQUIREMENTS & FEES		10,184	m ²		109,618	ft ²		s.17(1)	13.8%
Z11	General Requirements	11%								
Z12	Fee	5%								
NET BUILDING COST			10,184	m²		109,618	ft²		s.17(1)	100.0%

COST CONSULTANTS

Residential		m ²			ft ²			Amount \$	Total Cost \$	%
		Element	Quantity	Unit	Average Unit Cost	Element	Quantity			
NET BUILDING COST									s.17(1)	
D1 SITE WORK			10,184	m ²	0.00	109,618	ft ²	0.00		0
D11.1	Site Preparation	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D11.2	Hard Surfaces	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D11.3	Site Improvements	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D11.4	Landscaping	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D12	Mechanical Site Services	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D13	Electrical Site Services	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D2 ANCILLARY WORK			10,184	m ²	0.00	109,618	ft ²	0.00		0
D21.1	Demolition	0.00	0	m ²	0.00	0	ft ²	0.00	0	
D21.2	Off Site	0.00	0	m ²	0.00	0	ft ²	0.00	0	
Z1 GENERAL REQUIREMENTS & FEES			10,184	m ²	0.00	109,618	ft ²	0.00		0
Z11	General Requirements	11%							0	
Z12	Fee	5%							0	
NET CONSTRUCTION COST			10,184	m ²	s.17(1)	109,618	ft ²	s.17(1)		s.17(1)
Z2 ALLOWANCES			10,184	m ²		109,618	ft ²		s.17(1)	
Z21	Design Allowance	10%								
Z23	Construction Allowance	5%								
SUBTOTAL CONSTRUCTION COST			10,184	m ²		109,618	ft ²			
Goods & Services Tax		0%								
TOTAL CONSTRUCTION COST			10,184	m ²		109,618	ft ²			
Z31	Escalation Allowance	0%								
ESCALATED CONSTRUCTION COST			10,184	m ²		109,618	ft ²			

CRU	Ratio G.F.A.	m ²		ft ²		Amount \$	Total Cost \$	%
		Element		Element				
		Quantity	Unit	Quantity	Unit			
A1 SUBSTRUCTURE		1,297	m ²	s.17(1)	13,957	ft ²	s.17(1)	2.0%
A11.1 Standard Foundations	1.00	1,297	m ²		13,961	ft ²	s.17(1)	
A11.2 Special Foundations	0.00	0	m ²		0	ft ²		
A12 Basement Excavation	0.00	0	m ³		0	cy		
A2 STRUCTURE		1,297	m ²		13,957	ft ²	s.17(1)	27.7%
A21 Lowest Floor Construction	0.09	122	m ²		1,313	ft ²		
A22.1 Upper Floor Construction	0.91	1,175	m ²		12,648	ft ²		
A22.2 Stair Construction	0.03	36	risr		36	risr		
A23 Roof Construction	0.26	343	m ²		3,692	ft ²		
A3 EXTERIOR ENCLOSURE		1,297	m ²		13,957	ft ²	s.17(1)	30.8%
A31 Structural Walls Below Grade	0.00	0	m ²		0	ft ²		
A32.1 Walls Above Grade	0.50	651	m ²		7,011	ft ²		
A32.2 Structural Walls Above Grade	0.09	117	m ²		1,259	ft ²		
A33.1 Windows & Louvres	0.00	0	m ²		0	ft ²		
A33.3 Doors	0.01	13	lvs.		13	lvs.		
A34.1 Roof Covering	0.26	343	m ²		3,692	ft ²		
A34.2 Skylights	0.00	0	no.		0	no.		
A35 Projections	0.10	132	m ²		1,421	ft ²		
B1 PARTITIONS & DOORS		1,297	m ²		13,957	ft ²	s.17(1)	7.0%
B11.1 Fixed Partitions	0.18	234	m ²		2,515	ft ²		
B11.2 Moveable Partitions	0.00	0	m ²		0	ft ²		
B11.3 Structural Partitions	0.16	205	m ²		2,207	ft ²		
B12 Doors	0.01	8	lvs.		8	lvs.		
B2 FINISHES		1,297	m ²		13,957	ft ²	s.17(1)	0.3%
B21 Floor Finishes	1.00	1,297	m ²		13,957	ft ²		
B22 Ceiling Finishes	0.00	0	m ²		0	ft ²		
B23 Wall Finishes	0.00	0	m ²		0	ft ²		
B3 FITTINGS & EQUIPMENT		1,297	m ²		13,957	ft ²	s.17(1)	0.9%
B31.1 Metals	1.00	1,297	m ²		13,957	ft ²		
B31.2 Millwork	0.00	0	m ²		0	ft ²		
B31.3 Specialties	1.00	1,297	m ²		13,957	ft ²		
B32 Equipment	1.00	1,297	m ²		13,957	ft ²		
B33.1 Elevators	0.00	0	stop		0	stop		
C1 MECHANICAL		1,297	m ²		13,957	ft ²	s.17(1)	9.2%
C11 Plumbing and Drainage	1.00	1,297	m ²		13,957	ft ²		
C12 Fire Protection	1.00	1,297	m ²		13,957	ft ²		
C13 HVAC	1.00	1,297	m ²		13,957	ft ²		
C14 Controls	1.00	1,297	m ²		13,957	ft ²		
C2 ELECTRICAL		1,297	m ²		13,957	ft ²	s.17(1)	8.3%
C21 Service & Distribution	1.00	1,297	m ²		13,957	ft ²		
C22 Lighting, Devices & Heating	1.00	1,297	m ²		13,957	ft ²		
C23 Systems & Ancillaries	1.00	1,297	m ²		13,957	ft ²		
Z1 GENERAL REQUIREMENTS & FEES		1,297	m ²		13,957	ft ²	s.17(1)	13.8%
Z11 General Requirements	11%							
Z12 Fee	5%							
NET BUILDING COST		1,297	m ²		13,957	ft ²	s.17(1)	100.0%

COST CONSULTANTS

CRU Element	Ratio G.F.A.	m ²			ft ²			Amount \$	Total Cost \$	%
		Element		Average	Element		Average			
		Quantity	Unit	Unit Cost	Quantity	Unit	Unit Cost			
NET BUILDING COST									s.17(1)	
D1 SITE WORK		1,297	m ²	0.00	13,957	ft ²	0.00			0
D11.1 Site Preparation	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D11.2 Hard Surfaces	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D11.3 Site Improvements	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D11.4 Landscaping	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D12 Mechanical Site Services	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D13 Electrical Site Services	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D2 ANCILLARY WORK		1,297	m ²	0.00	13,957	ft ²	0.00			0
D21.1 Demolition	0.00	0	m ²	0.00	0	ft ²	0.00	0		
D22 Off Site	0.00	0	m ²	0.00	0	ft ²	0.00	0		
Z1 GENERAL REQUIREMENTS & FEES		1,297	m ²	0.00	13,957	ft ²	0.00			0
Z11 General Requirements	11%							0		
Z12 Fee	5%							0		
NET CONSTRUCTION COST		1,297	m ²	s.17(1)	13,957	ft ²	s.17(1)			s.17(1)
Z2 ALLOWANCES		1,297	m ²		13,957	ft ²				s.17(1)
Z21 Design Allowance	10%									
Z23 Construction Allowance	5%									
SUBTOTAL CONSTRUCTION COST		1,297	m ²		13,957	ft ²				
Goods & Services Tax	0%									
TOTAL CONSTRUCTION COST		1,297	m ²		13,957	ft ²				
Z31 Escalation Allowance	0%									
ESCALATED CONSTRUCTION COST		1,297	m ²		13,957	ft ²				

GFA: 1,962 m²

Site Work		m ²			ft ²			Amount \$	Total Cost \$	%	
		Ratio G.F.A.	Element		Average	Element					Average
			Quantity	Unit	Unit Cost	Quantity	Unit				Unit Cost
Element											
A1 SUBSTRUCTURE		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%	
A11.1 Standard Foundations	0.00	0	m ²	0.00	0	ft ²	0.00	0			
A11.2 Special Foundations	0.00	0	m ²	0.00	0	ft ²	0.00	0			
A12 Basement Excavation	0.00	0	m ³	0.00	0	cy	0.00	0			
A2 STRUCTURE		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%	
A21 Lowest Floor Construction	0.00	0	m ²	0.00	0	ft ²	0.00	0			
A22.1 Upper Floor Construction	0.00	0	m ²	0.00	0	ft ²	0.00	0			
A22.2 Stair Construction	0.00	0	risr	0.00	0	risr	0.00	0			
A23 Roof Construction	0.00	0	m ²	0.00	0	ft ²	0.00	0			
A3 EXTERIOR ENCLOSURE		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%	
A31 Structural Walls Below Grade	0.00	0	m ²	0.00	0	ft ²	0.00	0			
A32.1 Walls Above Grade	0.00	0	m ²	0.00	0	ft ²	0.00	0			
A32.2 Structural Walls Above Grade	0.00	0	m ²	0.00	0	ft ²	0.00	0			
A32.3 Curtain Walls	0.00	0	m ²	0.00	0	ft ²	0.00	0			
A33.1 Windows & Louvres	0.00	0	m ²	0.00	0	ft ²	0.00	0			
A33.3 Doors	0.00	0	lvs.	0.00	0	lvs.	0.00	0			
A34.1 Roof Covering	0.00	0	m ²	0.00	0	ft ²	0.00	0			
A34.2 Skylights	0.00	0	m ²	0.00	0	ft ²	0.00	0			
A35 Projections	0.00	0	m ²	0.00	0	ft ²	0.00	0			
B1 PARTITIONS & DOORS		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%	
B11.1 Fixed Partitions	0.00	0	m ²	0.00	0	ft ²	0.00	0			
B11.2 Moveable Partitions	0.00	0	m ²	0.00	0	ft ²	0.00	0			
B11.3 Structural Partitions	0.00	0	m ²	0.00	0	ft ²	0.00	0			
B12 Doors	0.00	0	lvs.	0.00	0	lvs.	0.00	0			
B2 FINISHES		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%	
B21 Floor Finishes	0.00	0	m ²	0.00	0	ft ²	0.00	0			
B22 Ceiling Finishes	0.00	0	m ²	0.00	0	ft ²	0.00	0			
B23 Wall Finishes	0.00	0	m ²	0.00	0	ft ²	0.00	0			
B3 FITTINGS & EQUIPMENT		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%	
B31.1 Metals	0.00	0	m ²	0.00	0	ft ²	0.00	0			
B31.2 Millwork	0.00	0	m ²	0.00	0	ft ²	0.00	0			
B31.3 Specialties	0.00	0	m ²	0.00	0	ft ²	0.00	0			
B32 Equipment	0.00	0	m ²	0.00	0	ft ²	0.00	0			
B33.1 Elevators	0.00	0	stop	0.00	0	stop	0.00	0			
C1 MECHANICAL		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%	
C11 Plumbing and Drainage	0.00	0	m ²	0.00	0	ft ²	0.00	0			
C12 Fire Protection	0.00	0	m ²	0.00	0	ft ²	0.00	0			
C13 HVAC	0.00	0	m ²	0.00	0	ft ²	0.00	0			
C14 Controls	0.00	0	m ²	0.00	0	ft ²	0.00	0			
C2 ELECTRICAL		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%	
C21 Service & Distribution	0.00	0	m ²	0.00	0	ft ²	0.00	0			
C22 Lighting, Devices & Heating	0.00	0	m ²	0.00	0	ft ²	0.00	0			
C23 Systems & Ancillaries	0.00	0	m ²	0.00	0	ft ²	0.00	0			
Z1 GENERAL REQUIREMENTS & FEES		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%	
Z11 General Requirements	11%							0			
Z12 Fee	5%							0			
NET BUILDING COST		1,962	m ²	0.00	21,116	ft ²	0.00		0	0.0%	

COST CONSULTANTS



Site Work		m ²			ft ²			Amount \$	Total Cost \$	%
		Element	Ratio G.F.A.	Quantity	Unit	Average Unit Cost	Element			
NET BUILDING COST									0	
D1 SITE WORK			1,962	m ²	s.17(1)	21,116	ft ²	s.17(1)	s.17(1)	
D11.1	Site Preparation	1.00	1,962	m ²		21,116	ft ²		s.17(1)	
D11.2	Hard Surfaces	0.85	1,673	m ²		18,009	ft ²			
D11.3	Site Improvements	0.88	1,723	m ²		18,548	ft ²			
D11.4	Landscaping	0.03	50	m ²		538	ft ²			
D12	Mechanical Site Services	1.00	1,962	m ²		21,116	ft ²			
D13	Electrical Site Services	1.00	1,962	m ²		21,116	ft ²			
D2 ANCILLARY WORK			1,962	m ²		21,116	ft ²		0	
D21.1	Demolition	0.00	0	m ²		0	ft ²			
D21.2	Off Site	0.00	0	m ²		0	ft ²			
Z1 GENERAL REQUIREMENTS & FEES			1,962	m ²		21,116	ft ²		s.17(1)	
Z11	General Requirements	11%								
Z12	Fee	5%								
NET CONSTRUCTION COST			1,962	m ²		21,116	ft ²		s.17(1)	
Z2 ALLOWANCES			1,962	m ²		21,116	ft ²			
Z21	Design Allowance	10%								
Z23	Construction Allowance	5%								
SUBTOTAL CONSTRUCTION COST			1,962	m ²		21,116	ft ²		s.17(1)	
Goods & Services Tax		0%								
TOTAL CONSTRUCTION COST			1,962	m ²		21,116	ft ²			
Z31	Escalation Allowance	0%								
ESCALATED CONSTRUCTION COST			1,962	m ²		21,116	ft ²			

Description	Quantity	Unit	Rate	Amount
A1 SUBSTRUCTURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
<i>A11.1 Standard Foundations</i>				
Parkade Allow for standard foundation system (c/w pad and strip footings, elevator pit, sump pits, perimeter weeping tile, etc.) - Shared Cost	1,411	m ²	s.17(1)	
Residential Allow for standard foundation system (c/w pad and strip footings, elevator pit, sump pits, perimeter weeping tile, etc.) - Shared Cost	10,184	m ²	s.17(1)	
CRU Allow for standard foundation system (c/w pad and strip footings, elevator pit, sump pits, perimeter weeping tile, etc.) - Shared Cost	1,297	m ²	s.17(1)	
Total Standard Foundations				s.17(1)

Description	Quantity	Unit	Rate	Amount
A1 SUBSTRUCTURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
<i>A12 Basement Excavation</i>				
<u>Parkade</u>				
<u>Bulk Excavation and Fill (Basement)</u>				
Basement (bulk) excavation including disposal off-site, clean soil - remediation of contaminated soil excluded	5,017	m ³	s.17(1)	s.17(1)
Additional basement (bulk) excavation including disposal off-site, sloped excavation for working space, along N of building	272	m ³		
Imported backfill to working space along N of building, allow imported granular fill	272	m ³		
Allow for temporary ramp forming during basement construction	1	sum		
Dewatering during basement construction	1	sum		
Erosion and sedimentation control during building construction	1	sum		
<u>Temporary Shoring</u>				
Allow for shotcrete shoring c/w soil anchors along S, W, and E of Building, assumed no shotcrete shoring required N of building, sloped excavation allowed in the estimate	429	m ²		
<u>Underpinning</u>				
Allow for underpinning to existing structure E of property line	1	sum	s.17(1)	s.17(1)
<u>Note: Remediation of contaminated soil excluded, allowed for bulk excavation of clean soil in the estimate</u>				
Total Basement Excavation				s.17(1)

Description	Quantity	Unit	Rate	Amount
A2 STRUCTURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
<i>A21 Lowest Floor Construction</i>				
Parkade				
Concrete slab on grade, 125mm thick - P1 - Concrete supply, 35MPa - Place concrete (pump) - Edge form to slab on grade, cast against foundation walls - Rebar - Expansion joint/control joint - Concrete finish (screed, trowel, cure & protect) - Poly vapour barrier, 10 mil - Rigid insulation underneath slab - assumed not required - Waterproofing underneath slab - assumed not required - Excavation & disposal, allowed clean soil - Granular base, compacted, allow 150mm thick	1,411	m ²	s.17(1)	
Extra over for slab on grade vehicular ramp at Parkade entrance - P1	59	m ²	s.17(1)	s.17(1)
Extra over for sloping slab to drain - P1	1,411	m ²		
Slab thickening to slab on grade to receive block walls - P1	51	m		
Allow for floor trench c/w gratings - P1	7	m		
Precast wheel stops - P1	6	no.		
Allow for housekeeping pads - P1	1	sum		
Residential				
Concrete slab on grade, 125mm thick - L1 - Concrete supply, 35MPa - Place concrete (pump) - Edge form to slab on grade, cast against foundation walls - Rebar - Expansion joint/control joint - Concrete finish (screed, trowel, cure & protect) - Poly vapour barrier, 10 mil - Rigid insulation underneath slab - assumed not required - Waterproofing underneath slab - assumed not required - Excavation & disposal, allowed clean soil - Granular base, compacted, allow 150mm thick	81	m ²	s.17(1)	
Slab thickening to slab on grade to receive block walls - L1	11	m	s.17(1)	s.17(1)
EO for built-up slab to heat treatment room - L1	11	m ²		
Allow for housekeeping pads - L1	1	sum		



Description	Quantity	Unit	Rate	Amount
CRU Concrete slab on grade, 125mm thick - L1 - Concrete supply, 35MPa - Place concrete (pump) - Edge form to slab on grade, cast against foundation walls - Rebar - Expansion joint/control joint - Concrete finish (screed, trowel, cure & protect) - Poly vapour barrier, 10 mil - Rigid insulation underneath slab - assumed not required - Waterproofing underneath slab - assumed not required - Excavation & disposal, allowed clean soil - Granular base, compacted, allow 150mm thick	122	m ²	s.17(1)	
Slab thickening to slab on grade to receive block walls - L1	5	m	s.17(1)	
Total Lowest Floor Construction				s.17(1)

Description	Quantity	Unit	Rate	Amount
A2 STRUCTURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
<i>A22.1 Upper Floor Construction</i>				
Residential				
<u>Concrete Floor Construction - L1</u>				
Suspended concrete flat floor slab, 250mm thick - L1	208	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Suspended concrete slab band, allow 1800mm x 500mm deep - L1	17	m	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab band - incl. in susp. slab				
- Formwork to edge of susp. slab band				
- Rebar				
EO for built-up slab to heat treatment room - L1	15	m ²	s.17(1)	
Concrete columns, allow 300 x 900mm x +/-3250mm high - L1	6	no.		
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - L1	6	no.	s.17(1)	
<u>Concrete Floor Construction - Mezzanine</u>				
Suspended concrete flat floor slab, 240mm thick - Mezzanine	383	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Suspended concrete slab band, allow 1800mm x 500mm deep - Mezzanine	48	m	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab band - incl. in susp. slab				
- Formwork to edge of susp. slab band				
- Rebar				
Concrete columns, allow 300 x 900mm x +/-2.5mm high - Mezzanine	6	no.	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - Mezzanine	6	no.	s.17(1)	

Description	Quantity	Unit	Rate	Amount
<u>Concrete Floor Construction - L2</u>				
Suspended concrete transfer flat floor slab, allow 750mm thick - L2	1,173	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Suspended concrete slab band, allow 2000mm x 900mm deep - L2	217	m	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab band - incl. in susp. slab				
- Formwork to edge of susp. slab band				
- Rebar				
Allow for step forming between interior and exterior slab - L2	102	m	s.17(1)	
Concrete columns, allow 300 x 900mm x +/-3300mm high - L2	10	no.		
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Concrete columns, allow 300 x 900mm x +/-6000mm high (double height from L1) - L2	8	no.	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Concrete columns, allow 800 x 800mm x +/-6000mm high (double height from L1) - L2	1	no.	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - L2	19	no.	s.17(1)	
<u>CLT Floor Construction - L3 (typical to L7): 5 floors</u>				
Suspended CLT floor structure c/w concrete topping, steel columns, edge angles, struts, and connections, - L3 to L7	5,867	m ²	s.17(1)	
- Allow for CLT floor panels 5-ply (175mm thick) c/w concrete topping, steel columns (5.5 x 3m grid), edge, plates, struts plates, connections				
- 2-layers 15.9mm Type X GWB (measured separately in ceiling finishes)				
Allow for step forming between interior and exterior slab - L3 to L7	102	m	s.17(1)	
<u>CLT Floor Construction - L8</u>				
Suspended CLT floor structure c/w concrete topping, steel columns, edge angles, struts, and connections - L8	1,115	m ²	s.17(1)	
- Allow for CLT floor panels 5-ply (175mm thick) c/w concrete topping, steel columns (5.5 x 3m grid), edge, plates, struts plates, connections				
- 2-layers 15.9mm Type X GWB (measured separately in ceiling finishes)				
Allow for step forming between interior and exterior slab - L8	35	m	s.17(1)	

Description	Quantity	Unit	Rate	Amount
<u>CLT Floor Construction - L9</u>				
Suspended CLT floor structure c/w concrete topping, steel columns, edge angles, struts, and connections - L9	1,115	m ²	s.17(1)	
- Allow for CLT floor panels 5-ply (175mm thick) c/w concrete topping, steel columns (5.5 x 3m grid), edge, plates, struts plates, connections				
- 2-layers 15.9mm Type X GWB (measured separately in ceiling finishes)				
Allow for step forming between interior and exterior slab - L9	35	m	s.17(1)	
<u>CLT Floor Construction - Amenity at Roof Level</u>				
Suspended CLT floor structure c/w concrete topping, steel columns, edge angles, struts, and connections - Amenity at Roof Level	242	m ²	s.17(1)	
- Allow for CLT floor panels 5-ply (175mm thick) c/w concrete topping, steel columns (5.5 x 3m grid), edge, plates, struts plates, connections				
- 2-layers 15.9mm Type X GWB (measured separately in ceiling finishes)				
Allow for step forming between interior and exterior slab - Amenity at Roof Level	59	m	s.17(1)	
<u>Miscellaneous Upper Floor Construction</u>				
Allow for elevator divider beams	1	sum		
Allow for housekeeping pads	1	sum		
CRU				
<u>Concrete Floor Construction - L1</u>				
Suspended concrete flat floor slab, 250mm thick - L1	931	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Suspended concrete slab band, allow 1800mm x 500mm deep - L1	112	m	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab band - incl. in susp. slab				
- Formwork to edge of susp. slab band				
- Rebar				
Concrete columns, allow 300 x 900mm x +/-3250mm high - L1	15	no.	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - L1	15	no.	s.17(1)	
<u>Concrete Floor Construction - Mezzanine</u>				
Suspended concrete flat floor slab, 240mm thick - Mezzanine	244	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				



Description	Quantity	Unit	Rate	Amount
Suspended concrete slab band, allow 1800mm x 500mm deep - Mezzanine - Concrete supply, 35 MPa - Place concrete (pump) - Formwork to soffit of susp. slab band - incl. in susp. slab - Formwork to edge of susp. slab band - Rebar	30	m	s.17(1)	
Concrete columns, allow 300 x 900mm x +/-2.5mm high - Mezzanine - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to columns - Rebar	4	no.	s.17(1)	
Allow for shear rails at column - Mezzanine	4	no.	s.17(1)	
<u>Miscellaneous Upper Floor Construction</u> Allow for housekeeping pads	1	sum	s.17(1)	
Total Upper Floor Construction				s.17(1)

Description	Quantity	Unit	Rate	Amount
A2 STRUCTURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
<i>A22.2 Stair Construction</i>				
Parkade				
Concrete core exit stairs, P1	20	riser	s.17(1)	
Concrete service stairs, P1	40	riser		
Residential				
Concrete core exit stairs, L1 to Amenity Roof	360	riser	s.17(1)	
Concrete service stairs, L1	54	riser		
CRU				
Concrete core exit stairs, L1	36	riser	s.17(1)	
Total Stair Construction				s.17(1)

Description	Quantity	Unit	Rate	Amount
A2 STRUCTURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
A23 Roof Construction				
Parkade				
<u>Concrete Roof Construction - L1</u>				
Suspended concrete flat roof slab, allow 300mm thick - L1 Roof Deck (Above Parkade)	145	m ²	s.17(1)	
<ul style="list-style-type: none"> - Concrete supply, 35 MPa - Place concrete (pump) - Formwork to soffit of susp. slab - Formwork to edge of susp. Slab, cast against basement walls - Rebar - Concrete finish (screed, trowel, cure & protect) 				
Extra over for sloping top of suspended roof slab to drain - L1 (Parkade Roof Deck)	145	m ²	s.17(1)	
<ul style="list-style-type: none"> - Concrete supply, 35 MPa - Place concrete (pump) - Formwork to soffit of susp. slab band - incl. in susp. slab - Formwork to edge of susp. slab band - Rebar 				
Suspended concrete slab band, allow 1800mm x 500mm deep - L1 Roof Deck (Above Parkade)	13	m		
<ul style="list-style-type: none"> - Concrete supply, 35 MPa - Place concrete (pump) - Formwork to soffit of susp. slab band - incl. in susp. slab - Formwork to edge of susp. slab band - Rebar 				
Concrete columns, allow 300 x 900mm x +/-3250mm high - L1 Roof Deck (Above Parkade)	1	no.	s.17(1)	
<ul style="list-style-type: none"> - Concrete supply, 45 Mpa - Place concrete (pump) - Formwork to columns - Rebar 				
Allow for shear rails at column - L1 Roof Deck (Above Parkade)	1	no.	s.17(1)	
<u>Miscellaneous Roof Construction</u>				
Allow for elevator divider beams	1	sum	s.17(1)	
Allow for roof curb/penetrations	1	sum		
Residential				
<u>CLT Roof Construction - L8</u>				
Suspended CLT roof structure steel columns, edge angles, struts, and connections - Amenity at Roof Level	58	m ²	s.17(1)	
<ul style="list-style-type: none"> - Allow for CLT roof panels, allow 5-ply (175mm thick) c/w steel columns (5.5 x 3m grid), edge, plates, struts plates, connections - 2-layers 15.9mm Type X GWB (measured separately in ceiling finishes) 				
<u>CLT Roof Construction - Main Roof</u>				
Suspended CLT roof structure c/w steel columns, edge angles, struts, and connections - Main Roof	875	m ²	s.17(1)	
<ul style="list-style-type: none"> - Allow for CLT roof panels, allow 5-ply (175mm thick) c/w steel columns (5.5 x 3m grid), edge, plates, struts plates, connections - 2-layers 15.9mm Type X GWB (measured separately in ceiling finishes) 				

Description	Quantity	Unit	Rate	Amount
<u>CLT Roof Construction - Roof Above Amenity and Core Overrun</u>				
Suspended CLT roof structure c/w steel columns, edge angles, struts, and connections	243	m ²	s.17(1)	
- Roof Above Amenity and Core Overrun				
- Allow for CLT roof panels, allow 5-ply (175mm thick) c/w steel columns (5.5 x 3m grid), edge, plates, struts plates, connections				
- 2-layers 15.9mm Type X GWB (measured separately in ceiling finishes)				
<u>Miscellaneous Roof Construction</u>				
Allow for elevator hoist beams	1	sum	s.17(1)	
Allow for roof curb/penetrations	1	sum		
<u>CRU</u>				
<u>Concrete Roof Construction - Mezzanine Roof Deck</u>				
Suspended concrete flat roof slab, allow 300mm thick - Mezzanine (Above CRU SW Corner Entrance)	5	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Extra over for sloping top of suspended roof slab to drain - Mezzanine (Above CRU SW Corner Entrance)	5	m ²	s.17(1)	
<u>Concrete Roof Construction - L2 Roof Deck</u>				
Suspended concrete transfer flat roof slab, allow 750mm thick - L2 Roof Deck	338	m ²	s.17(1)	
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab				
- Formwork to edge of susp. slab				
- Rebar				
- Concrete finish (screed, trowel, cure & protect)				
Extra over for sloping top of suspended roof slab to drain - L2 Roof Deck	338	m ²	s.17(1)	
Suspended concrete slab band, allow 1800mm x 900mm deep - L2 Roof Deck	57	m		
- Concrete supply, 35 MPa				
- Place concrete (pump)				
- Formwork to soffit of susp. slab band - incl. in susp. slab				
- Formwork to edge of susp. slab band				
- Rebar				
Concrete columns, allow 300 x 900mm x +/-6000mm high (double height from L1) - L2 Roof Deck	3	no.	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to columns				
- Rebar				
Allow for shear rails at column - L2 Roof Deck	3	no.	s.17(1)	
<u>Miscellaneous Roof Construction</u>				
Allow for roof curb/penetrations	1	sum	s.17(1)	
Total Roof Construction				s.17(1)

Description	Quantity	Unit	Rate	Amount
A3 EXTERIOR ENCLOSURE				
Note: No Structural Drawings provided. Engineer to confirm assumptions and allowances.				
<i>A31 Structural Walls Below Grade</i>				
Parkade				
Concrete basement walls, 300mm thick x +/-3500mm high, along S, W, and E of Parkade	429	m ²	s.17(1)	
- Concrete supply, 35MPa				
- Place concrete (pump)				
- Formwork to sides of basement wall, 1 side only (other side cast against shotcrete shoring)				
- Rebar				
- Prepare shotcrete face to receive basement waterproofing system				
- Waterproofing membrane c/w drainage mat, filter fabric, and rigid insulation - allow				
Concrete basement walls, 300mm thick x +/-3500mm high, along N of Parkade	201	m ²	s.17(1)	
- Concrete supply, 35MPa				
- Place concrete (pump)				
- Formwork to sides of basement wall, 2 sides (no shotcrete shoring)				
- Rebar				
- Waterproofing membrane c/w drainage mat, filter fabric, and rigid insulation - allow				
Total Structural Walls Below Grade				s.17(1)

Description	Quantity	Unit	Rate	Amount
A3 EXTERIOR ENCLOSURE				
Note: Architect to confirm assumptions and allowances.				
A32.1 Walls Above Grade				
Parkade N/A				s.17(1)
Residential				
<u>Storefront</u>				
Allowance for double glazed curtain wall	9	m ²	s.17(1)	s.17(1)
Extra over for spandrel panels	4	m ²		
<u>Exterior Cladding</u>				
Allowance for brick veneer c/w insulation, SAM	2,108	m ²		
Allowance for fibre cement panels c/w strapping, insulation, SAM	1,722	m ²		
Allowance for ACM panels c/w strapping, insulation, SAM	457	m ²		
Allowance for glass block for light well	68	m ²		
Extra for edge angle to support brick cladding	775	m		
<u>Back Up Walls</u>				
Allowance for exterior wood stud back up walls	4,287	m ²		
- Exterior cladding measured separately				
- 16mm exterior sheathing				
- 152mm wind bearing metal studs @ 600mm o.c.				
- Batt insulation				
- 6mil vapour barrier				
- 16mm type X GWB				
Note: Arts and Mural - Excluded				
CRU				
<u>Storefront</u>				
Allowance for double glazed curtain wall	260	m ²	s.17(1)	s.17(1)
Extra over for spandrel panels	56	m ²		
<u>Exterior Cladding</u>				
Allowance for brick veneer c/w insulation, SAM	154	m ²		
Allowance for fibre cement panels c/w strapping, insulation, SAM	237	m ²		
Extra for edge angle to support brick cladding	143	m		
<u>Back Up Walls</u>				
Allowance for exterior wood stud back up walls	392	m ²		
- Exterior cladding measured separately				
- 16mm exterior sheathing				
- 152mm wind bearing metal studs @ 600mm o.c.				
- Batt insulation				
- 6mil vapour barrier				
- 16mm type X GWB				
Note: Arts and Mural - Excluded				
Total Walls Above Grade				s.17(1)

Description	Quantity	Unit	Rate	Amount
A3 EXTERIOR ENCLOSURE				
Note: Engineer to confirm assumptions and allowances.				
<i>A32.2 Structural Walls Above Grade</i>				
Parkade N/A				
Residential				
<u>Note: Load bearing walls only. Exterior cladding system included in A32.1</u>				
Exterior concrete walls, allow 250mm thick, firewall along E of Building - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Exterior cladding system, insulation, vapour barrier, and drywall included in A32.1	234	m ²	s.17(1)	
Exterior concrete walls, allow 450mm thick, firewall along E of Building, allow 7m L per floor - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Exterior cladding system, insulation, vapour barrier, and drywall included in A32.1	157	m ²	s.17(1)	
Exterior concrete walls, allow 300mm thick, along services stairs in L1 - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Exterior cladding system, insulation, vapour barrier, and drywall included in A32.1	157	m ²	s.17(1)	
Exterior concrete walls, allow 600mm thick, core walls - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Exterior cladding system, insulation, vapour barrier, and drywall included in A32.1	293	m ²	s.17(1)	
CRU				
<u>Note: Load bearing walls only. Exterior cladding system included in A32.1</u>				
Exterior concrete walls, allow 250mm thick, firewall along E of Building - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Exterior cladding system, insulation, vapour barrier, and drywall included in A32.1	68	m ²	s.17(1)	
Exterior concrete walls, allow 450mm thick, firewall along E of Building, allow 7m L per floor - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Exterior cladding system, insulation, vapour barrier, and drywall included in A32.1	49	m ²	s.17(1)	
Total Structural Walls Above Grade				s.17(1)

Description	Quantity	Unit	Rate	Amount
A3 EXTERIOR ENCLOSURE				
Note: Architect to confirm assumptions and allowances.				
<i>A33.1 Windows & Louvres</i>				
Parkade				
N/A				
Residential				
Allowance for double glazed fibreglass windows	1,432	m ²	s.17(1)	s.17(1)
Extra over for spandrel panels	286	m ²		
Allowance for window openers	241	no.		
CRU				
N/A				
Total Windows & Louvres				s.17(1)

Description	Quantity	Unit	Rate	Amount
A3 EXTERIOR ENCLOSURE				
Note: Architect to confirm assumptions and allowances.				
<i>A33.3 Exterior Doors</i>				
Parkade				
Allowance for overhead Parkade entrance door, automated, metal	1	no.	s.17(1)	s.17(1)
Residential				
Allowance for aluminum framed single swing door c/w hardware	5	lvs		
Allowance fir aluminum framed double swing door c/w hardware	2	prs		
Allowance for overhead door, automated, metal	1	no.		
Allowance for exterior doors, single	5	lvs		
- Hollow steel door panel, insulated, single				
- Steel frame				
- Hardware				
- Paint to door and frame				
Allowance for exterior doors, double	2	prs	s.17(1)	
- Hollow steel door panel, insulated, single				
- Steel frame				
- Hardware				
- Paint to door and frame				
Extra for Hardware	1	sum	s.17(1)	
- Automatic door opener, allowance				
- Extra for hardware, allowance				
Premium for fire rated doors to stairs	1	sum	s.17(1)	
- Premium for fire rated doors				
- Fire rated door/frame label				
Balcony				
Allowance for balcony doors				
- Double glazed aluminum frame sliding door	53	no.	s.17(1)	
CRU				
Allowance for aluminum framed single swing door c/w hardware	6	lvs	s.17(1)	s.17(1)
Allowance fir aluminum framed double swing door c/w hardware	1	prs		
Allowance for overhead door, automated, glass	3	no.		
Allowance for exterior doors, double	1	prs		
- Hollow steel door panel, insulated, single				
- Steel frame				
- Hardware				
- Paint to door and frame				
Extra for Hardware	1	sum	s.17(1)	
- Automatic door opener, allowance				
- Extra for hardware, allowance				
Premium for fire rated doors to stairs	1	sum	s.17(1)	
- Premium for fire rated doors				
- Fire rated door/frame label				
Total Exterior Doors				s.17(1)

Description	Quantity	Unit	Rate	Amount
A3 EXTERIOR ENCLOSURE				
Note: Architect to confirm assumptions and allowances.				
A34.1 Roof Covering				
Parkade				
2-ply SBS waterproof roof membrane c/w roof barrier and drainage mat, to Parkade roof deck	145	m ²	s.17(1)	
Allow for RCABC 10 year guarantee	1	sum	s.17(1)	
Roof finish (hard surfaces and softscape included in Site Work)				s.17(1)
Residential				
<u>Roof Membrane System</u>				
2-ply SBS waterproof roof membrane c/w overlay board, insulation (R30), and self-adhered vapour barrier, above L8 Roof deck main roof, roof overrun	1,176	m ²	s.17(1)	
Extra for 2-ply SBS roof membrane upstand, allow 300mm high	1	sum	s.17(1)	s.17(1)
Allow for RCABC 10 year guarantee	1	sum		
Allow for roof accessories	1	sum		
<u>L2 Roof Deck Finish (Roof Membrane Measured Separately)</u>				
Allow for unit paving	228	m ²		
<u>L8 Roof Deck Finish- assume none required</u>				
<u>Main Roof Deck (Roof Membrane Measured Separately)</u>				
Allow for unit paving	825	m ²	s.17(1)	s.17(1)
Allow for rubber play surface	50	m ²		
Allow for concrete curb/band	29	m		
<u>Roof Deck Landscaping (Roof Membrane Measured Separately)</u>				
Allow for growing medium, 500mm deep, to receive plants/tress, to L2 roof deck	35	m ²		
Allow for growing medium, 500mm deep, to receive plants, to L8 roof deck	18	m ²		
Allow for growing medium, 500mm deep, to receive plants (on raised prefabricated metal planters) - on main roof deck	29	m ²		
Allow for mulch to plant/tree areas	83	m ²		
Allow for plants	1	sum		
Allow for Misc. landscaping	1	sum		
Irrigation system - Included in Plumbing and Drainage			s.17(1)	
Green Roof System- excluded				



Description	Quantity	Unit	Rate	Amount
CRU				
2-ply SBS waterproof roof membrane c/w overlay board, insulation (R30), and self-adhered vapour barrier, above mezzanine/ L2 roof	343	m ²	s.17(1)	
Extra for 2-ply SBS roof membrane upstand, allow 300mm high	1	sum	s.17(1)	
Allow for RCABC 10 year guarantee	1	sum		
Roof pavers and softscape above CRU roof, included above under residential				
Total Roof Covering				s.17(1)

Description	Quantity	Unit	Rate	Amount
A3 EXTERIOR ENCLOSURE				
Note: Architect to confirm assumptions and allowances.				
A35 Projections				
Parkade				
N/A				Not Applicable
Residential				
<u>Canopy</u>				
Allow for canopy, steel frame c/w roof covering and cladding - Mezzanine above service entrance doors	7	m ²	s.17(1)	
Allow for canopy, steel frame c/w roof covering and cladding - Above L8 and Main roof balconies	17	m ²	s.17(1)	
Allow for canopy, steel frame c/w roof covering and cladding - Main Roof above Amenity entrance doors	33	m ²	s.17(1)	
Allow for canopy, wood - Main Roof above Amenity entrance doors	32	m ²	s.17(1)	
Allowance for canopy structure to roof	22	m ²		
<u>Balcony</u>				
Allow for balconies c/w steel frame, roof pavers, soffit panels	287	m ²	s.17(1)	
Allowance for pavers and membrane to balcony deck (structure under roof construction)	103	m ²		
<u>Railings</u>				
Allowance for glass railings c/w glass, to balconies and roof decks	414	m	s.17(1)	
<u>Soffit/ fascia</u>				
Allowance for metal soffit to L1, w/ insulation	121	m ²	s.17(1)	
Fascia to L2	15	m ²		
- Fiber-reinforced cementitious fascia				
- Metal flashing				
<u>Planter Walls</u>				
Allow for concrete planters walls, assumed exposed concrete - L2 roof	137	m ²	s.17(1)	s.17(1)
Allow for planter walls - L8 roof	31	m ²		
<u>Parapet Walls</u>				
Allow for concrete parapet walls - L2 roof	59	m ²		
- Cladding- inside assume 2-ply SBS				
- Concrete parapet walls				
- Cladding, brick				
- Cladding, fibre cement panel				
Allow for concrete parapet walls - L8, Main Roof, and Amenity Roof	335	m ²	s.17(1)	
- Cladding- inside assume 2-ply SBS				
- Steel stud walls				
- Cladding, brick				
- Cladding, fibre cement panel				
- Cladding, ACM panel				
Allow for concrete parapet walls - core wall overrun	13	m ²	s.17(1)	
- Cladding- inside assume 2-ply SBS				
- Concrete parapet walls				
- Cladding, fibre cement panel				

Description	Quantity	Unit	Rate	Amount
Extra for edge angle to support brick cladding	196	m	s.17(1)	s.17(1)
Extra for flashings	371	m		
<u>Screens</u>				
Allow for RTU screens	182	m ²		
- Steel frame				
- Roof top unit screens				
- Metal gate to roof top unit screens, allow 2 no.				
Privacy screens	64	m	s.17(1)	s.17(1)
<u>Misc. Projection Items</u>				
Allowance for metal cornice	59	m		
Allowance for sunshades	152	m		
Allowance for misc. projection items	1	sum		
<u>Note: Arts and Mural - Excluded</u>				
CRU				
<u>Canopy</u>				
Allow for canopy, steel frame c/w glass panels	50	m ²	s.17(1)	s.17(1)
Allowance for steel canopy @ L1	6	m ²		
<u>Parapet Walls</u>				
Allow for concrete parapet walls - Mezzanine roof	2	m ²		
- Cladding- inside assume 2-ply SBS				
- Concrete parapet walls				
- Cladding, brick				
<u>Soffit</u>				
Allowance for metal soffit to L1, w/ insulation	57	m ²	s.17(1)	s.17(1)
<u>Misc. Projections</u>				
Allowance for column cladding, assume ACM panel	16	m ²		
Allowance for misc. projection items	1	sum		
<u>Note: Arts and Mural - Excluded</u>				
Total Projections				s.17(1)

Description	Quantity	Unit	Rate	Amount
B1 PARTITIONS & DOORS				
Note: Architect to confirm assumptions and allowances.				
<i>B11.1 Fixed Partitions</i>				
Parkade				
200mm thick concrete masonry walls, c/w reinforcement and mortar	173	m ²	s.17(1)	s.17(1)
Rough carpentry allowance	1,411	m ²		
Caulking and sealant allowance	1,411	m ²		
Residential				
Allowance for aluminum frame storefront on L1	3	m ²	s.17(1)	s.17(1)
Allowance for interior wall, 152mm	6,586	m ²		
- 16mm type X GWB				
- 16mm type X GWB				
- 152mm steel stud				
- Batt insulation				
- 16mm type X GWB				
- 16mm type X GWB				
Allowance for interior wall, 92mm	6,969	m ²	s.17(1)	
- 16mm type X GWB				
- 16mm type X GWB				
- 92mm steel stud				
- Batt insulation				
- 16mm type X GWB				
- 16mm type X GWB				
Allowance for shaft walls	240	m ²	s.17(1)	
- 25mm type X GWB				
- 64mm C-H metal studs				
- Acoustical batt insulation				
- 16mm type X GWB				
Allowance for interior partitions, to heat treatment room	56	m ²	s.17(1)	s.17(1)
Allowance for Interior furring partition	793	m ²		
- 16mm type X GWB				
- Hat channel				
Allowance for Interior furring partition	329	m ²		
- 16mm type X GWB				
- 152mm steel stud				
Rough carpentry allowance	10,184	m ²		
Caulking and sealant allowance	10,184	m ²		



Description	Quantity	Unit	Rate	Amount
CRU				
Allowance for aluminum frame storefront on L1	9	m ²	s.17(1)	s.17(1)
Allowance for interior wall, 152mm	225	m ²		
- 16mm type X GWB				
- 16mm type X GWB				
- 152mm steel stud				
- Batt insulation				
- 16mm type X GWB				
- 16mm type X GWB				
Rough carpentry allowance	1,297	m ²	s.17(1)	s.17(1)
Caulking and sealant allowance	1,297	m ²		
Note: concrete walls and columns - no finishes allowed				
Total Fixed Partitions				s.17(1)

Description	Quantity	Unit	Rate	Amount
B1 PARTITIONS & DOORS				
Note: Engineer to confirm assumptions and allowances.				
B11.3 Structural Partitions				
Parkade				
<u>Note: Load bearing walls only.</u>				
Interior concrete walls, allow 250mm thick, shear walls - P1	110	m ²	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to concrete walls				
- Rebar				
- Furring stud, drywall, insulation, etc. included in B11.1				
Interior concrete walls, allow 300mm thick, along service stairs - P1	142	m ²	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to concrete walls				
- Rebar				
- Furring stud, drywall, insulation, etc. included in B11.1				
Interior concrete walls, allow 600mm thick, core walls - P1	114	m ²	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to concrete walls				
- Rebar				
- Furring stud, drywall, insulation, etc. included in B11.1				
Residential				
<u>Note: Load bearing walls only.</u>				
Interior concrete walls, allow 250mm thick, shear walls	386	m ²	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to concrete walls				
- Rebar				
- Furring stud, drywall, insulation, etc. included in B11.1				
Interior concrete walls, allow 450mm thick, shear walls	14	m ²	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to concrete walls				
- Rebar				
- Furring stud, drywall, insulation, etc. included in B11.1				
Interior concrete walls, allow 300mm thick, along service stairs - L1 and Mezzanine	159	m ²	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to concrete walls				
- Rebar				
- Furring stud, drywall, insulation, etc. included in B11.1				
Interior concrete walls, allow 600mm thick, core walls	1,293	m ²	s.17(1)	
- Concrete supply, 45 MPa				
- Place concrete (pump)				
- Formwork to concrete walls				
- Rebar				
- Furring stud, drywall, insulation, etc. included in B11.1				



Description	Quantity	Unit	Rate	Amount
CRU				
<u>Note: Load bearing walls only.</u>				
Interior concrete walls, allow 250mm thick, shear walls - L1 and Mezzanine - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	64	m ²	s.17(1)	
Interior concrete walls, allow 450mm thick, shear walls - L1 and Mezzanine - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	17	m ²	s.17(1)	
Interior concrete walls, allow 300mm thick, along service stairs - L1 and Mezzanine - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	73	m ²	s.17(1)	
Interior concrete walls, allow 600mm thick, core walls - L1 and Mezzanine - Concrete supply, 45 MPa - Place concrete (pump) - Formwork to concrete walls - Rebar - Furring stud, drywall, insulation, etc. included in B11.1	51	m ²	s.17(1)	
Total Structural Partitions				s.17(1)

Description	Quantity	Unit	Rate	Amount
B1 PARTITIONS & DOORS				
Note: Architect to confirm assumptions and allowances.				
<i>B12 Interior Doors</i>				
Parkade				
Allowance for hollow metal door, single leaf swing - Hollow metal door panel, single - Steel frame - Hardware - Paint to door and frame	8	lvs	s.17(1)	
Allowance for hollow metal door, double leaf swing - Hollow metal door panel, double - Steel frame - Hardware - Paint to door and frame	4	prs	s.17(1)	
Extra for Hardware - Power operator, allowance - Extra for hardware, allowance	1	sum	s.17(1)	
Premium for fire rated doors to stairs - Premium for fire rated doors - Fire rated door/frame label	1	sum	s.17(1)	
Residential				
<u>Common Area</u>				
Allowance for aluminum double glazed single door	3	lvs	s.17(1)	s.17(1)
Allowance for aluminum double glazed double door	2	prs		
Allowance for hollow metal door, single leaf swing - Hollow metal door panel, single - Steel frame - Hardware - Paint to door and frame	44	lvs		
Allowance for hollow metal door, double leaf swing - Hollow metal door panel, double - Steel frame - Hardware - Paint to door and frame	10	prs	s.17(1)	
Allowance for solid core wood door, single leaf swing - Solid wood door panel, single - Wood frame - Hardware - Paint to door and frame	7	lvs	s.17(1)	
Extra for Hardware - Power operator - Extra for hardware, allowance	1	sum	s.17(1)	
Premium for fire rated doors - Premium for fire rated doors - Fire rated door/frame label	1	sum	s.17(1)	



Description	Quantity	Unit	Rate	Amount
<u>Suites</u>				
Allowance for solid core wood entry door, single leaf swing - Solid wood door panel, single - Metal frame - Hardware - Paint to door and frame	156	lvs	s.17(1)	
Allowance for hollow core wood door, single swing - Solid wood door, single, - Wood frame - Hardware - Paint to door and frame	375	lvs	s.17(1)	
Allowance for hollow core wood bypass door, to closet	288	no.	s.17(1)	s.17(1)
Premium for fire rated doors - Premium for fire rated doors, 20 mins - Fire rated door/frame label	1	sum		
<u>CRU</u>				
Allowance for aluminum double glazed double door	1	prs	s.17(1)	s.17(1)
Allowance for hollow metal door, single leaf swing - Hollow metal door panel, single - Steel frame - Hardware - Paint to door and frame	6	lvs		
Extra for Hardware - Power operator - Extra for hardware, allowance	1	sum	s.17(1)	
Premium for fire rated doors - Premium for fire rated doors - Fire rated door/frame label	1	sum	s.17(1)	
Total Interior Doors				s.17(1)

Description	Quantity	Unit	Rate	Amount
B2 FINISHES				
Note: Architect to confirm assumptions and allowances.				
B21 Floor Finishes				
Parkade				
Traffic coating to parkade, assumed	1,008	m ²	s.17(1)	s.17(1)
Porcelain tile to elevator lobby, assumed	27	m ²		
Concrete sealer to rest, assumed	286	m ²		
Allowance for parkade lines and markings	1	sum		
Allowance for baseboard, assumed				
- Tile base to elevator lobby				
- Rest - assume none required				
Allowance for tactile walking surface indicator	1	sum		
Residential				
<u>Common Areas</u>				
Allowance for floor finishes to common areas, assumed				
- Luxury vinyl plank to amenity and office	57	m ²	s.17(1)	s.17(1)
- Ceramic tile to entry vestibule and elevator lobby, and mailroom	57	m ²		
- Carpet tile to corridor	935	m ²		
- Non-slip vinyl sheet flooring to laundry room	22	m ²		
- Concrete sealer to stairs	351	m ²		
- Epoxy flooring to waste room	51	m ²		
- Concrete sealer to bike storage/ storage/ service rooms	498	m ²		
Allowance for floor finish heat treatment room floor	27	m ²		
Baseboards to common areas				
- Tile base to entry vestibule/ lobby and mailroom	72	m		
- Wood baseboards where carpet tiles and LVT	1,204	m		
- Flash cove baseboards where vinyl sheet/ concrete sealer	922	m		
Allowance for tactile walking surface indicator	1	sum		
Allowance for E/O waterproofing membrane, to amenity washroom	1	sum		
Allowance for recessed floor mat to vestibule	1	sum		
<u>Suites</u>				
Floor finishes to suites				
- Luxury vinyl plank to living area	6,073	m ²		
- Non-slip vinyl sheet flooring to bathrooms	680	m ²		
Allowance for baseboards to suites				
- Wood baseboards to living area	7,740	m		
- Flash cove baseboard to bath and laundry	1,410	m		
Allowance for E/O waterproofing membrane, to accessible suite bathrooms	96	m ²		
CRU				
Allow for floor finishes, concrete sealer	1,297	m ²		
Note; Shell and Core finish				
Total Floor Finishes				s.17(1)

Description	Quantity	Unit	Rate	Amount
B2 FINISHES				
Note: Architect to confirm assumptions and allowances.				
<i>B22 Ceiling Finishes</i>				
Parkade				
Spray on insulation to parkade ceiling to underside of heated space	1,131	m ²	s.17(1)	s.17(1)
Allowance for paint to spray insulation	1,131	m ²		
Allowance for gypsum board drop ceiling to elevator lobby, assumed	27	m ²		
Allowance for painting to exposed ceiling, rest	190	m ²		
Residential				
<u>Ceiling Finishes to U/S of Structure</u>				
Allowance for ceiling to u/s CLT roof and floor	9,515	m ²	s.17(1)	
- Resilient metal channels				
- 16mm type 'X' GWB				
- 16mm type 'X' GWB				
<u>Common Areas</u>				
Allowance for special ceiling finishes	1	sum	s.17(1)	s.17(1)
Allowance for gypsum board drop ceiling to L1 lobby/ vestibule, mailroom	57	m ²		
Allowance for gypsum board drop ceiling to amenity washroom, allow 10m2	10	m ²		
Allowance for ACT to corridor, amenity room, laundry room, and office	1,004	m ²		
Allowance for heat treatment room ceiling finish	27	m ²		
Allowance for paint to rest	873	m ²		
Allowance for GWB bulkhead	1	sum		
<u>Suites</u>				
Allowance for gypsum board dropped ceiling to residential suites	2,502	m ²		
- Residential bathroom				
- Assumed 30% of rest will be dropped ceiling				
Allowance for paint to underside of gypsum board, to rest	4,251	m ²		
Allowance for GWB bulkhead	1	sum		
CRU				
Ceiling Finishes Exclude- Shell and Core				
Total Ceiling Finishes				s.17(1)

Description	Quantity	Unit	Rate	Amount
B2 FINISHES				
Note: Architect to confirm assumptions and allowances.				
<i>B23 Wall Finishes</i>				
Parkade				
Paint to Parkade walls	893	m ²	s.17(1)	s.17(1)
Paint to Parkade columns	164	m ²		
Allowance for tile to elevator lobby	1	sum		
Residential				
Paint to walls	31,440	m ²		
Allowance for tile to elevator lobby	1	sum		
Allowance for ceramic tile to bath surround	1,305	m ²		
Allowance for backsplash to kitchen counters, assume 100mm ht	54	m ²		
Wall coverings- assume none required				
Wall protection panels- non required			s.17(1)	-
Allowance for special wall finishes	1	sum		s.17(1)
CRU				
Wall Finishes Exclude- Shell and Core				
Total Wall Finishes				s.17(1)

Description	Quantity	Unit	Rate	Amount
B3 FITTINGS & EQUIPMENT				
Note: Architect to confirm assumptions and allowances.				
<i>B31.1 Metals</i>				
Parkade				
Steel handrails to stairs	35	m	s.17(1)	s.17(1)
Steel guardrails to stairs	6	m		
Allowance for miscellaneous metals	1,411	m ²		
Residential				
Steel handrails to stairs	213	m	s.17(1)	s.17(1)
Steel guardrails to stairs	108	m		
Allowance for miscellaneous metals	10,184	m ²		
CRU				
Steel handrails to stairs	12	m	s.17(1)	s.17(1)
Steel guardrails to stairs	12	m		
Allowance for miscellaneous metals	1,297	m ²		
Total Metals				s.17(1)

Description	Quantity	Unit	Rate	Amount
B3 FITTINGS & EQUIPMENT				
Note: Architect to confirm assumptions and allowances.				
<i>B31.2 Millwork</i>				
Parkade				
Millwork to Parkade - assume none required				None Required
Residential				
Allowance millwork to amenity area	1	sum	s.17(1)	
- Mail center				
- Office millwork, allow				
- Amenity millwork, allow				
- Amenity kitchen base cabinet c/w plastic laminate countertop				
- Amenity kitchen overhead cabinet				
- Amenity laundry room base counter plastic laminate countertops				
- Amenity washroom vanity, plastic laminate countertop				
Allowance for millwork to residential suites	156	units	s.17(1)	
- Kitchen, base cabinet w/ plastic laminate countertop				
- Kitchen, O/H cupboard				
- Kitchen, island				
- Bathroom vanity				
- Kitchen, base cabinet with plastic laminate countertop, accessible				
- Kitchen, O/H cupboard, accessible				
- Kitchen, full ht cabinet, accessible				
- Bathroom vanity, plastic laminate, accessible				
- Closet rods and shelves				
- 4 tiers shelves				
CRU				
Millwork Excluded				Excluded
Total Millwork				s.17(1)

Description	Quantity	Unit	Rate	Amount
B3 FITTINGS & EQUIPMENT				
Note: Architect to confirm assumptions and allowances.				
<i>B31.3 Specialties</i>				
Parkade				
Signage, allowance	1	sum	s.17(1)	
- Interior signage to suite doors				
- Floor number to stairwell				
- Wayfinding signage, allow 3 no. per floor				
Allowance for bike racks	1	sum	s.17(1)	
- Bike lockers, allow 10%				
- Vertical, allow 40%				
- Horizontal, allow 40%				
- Oversized, allow 20%				
Allow for bike repair stand	1	no.	s.17(1)	s.17(1)
Allowance for miscellaneous specialties	1	sum		
Residential				
Allowance for signage	1	sum		
- Interior signage to suite doors				
- Interior signage to service/ amenity doors				
- Exterior signage to doors				
- Floor number to stairwell				
- Wayfinding signage, allow 3 no. per level				
- Building signage				
- Special signage, excluded				
Allowance for mailboxes	1	sum	s.17(1)	
- Regular sized mailboxes, 156 no.				
- Parcel compartments, 20 no.				
Allowance for L2/ roof amenity space washroom (assumed) accessories, universal washroom	2	sets	s.17(1)	
- Accessible mirror tilted				
- Toilet tissue dispenser				
- Soap dispenser				
- Paper towel holder				
- Waste receptable				
- Coat hook				
- Sanitary napkin disposal				
- Baby change station				
- Hand dryer				
- Horizontal grab bar				
- L shaped grab bar				
Allowance for accessories to amenity kitchen (assumed), L1 and roof	2	sets	s.17(1)	
- Soap dispenser				
- Paper towel holder				
- Waste receptable				
Allowance for accessories to laundry room	1	sets	s.17(1)	
- Soap dispenser				
- Paper towel holder				
- Waste receptable				
Allowance for recessed floor mat	1	sum	s.17(1)	
Allowance PVC corner guards, assumed 1220mm ht	33	no.		

Description	Quantity	Unit	Rate	Amount
Allowance for roof anchors, allow 1 no. per 3.6m of roof perimeter	49	no.	s.17(1)	s.17(1)
Allowance for storage lockers to Mezz rooms	1	sum		
Allowance for miscellaneous specialties	1	sum		
<u>Residential Suites</u>				
Allowance for washroom accessories, residential units	154	sets		
- Mirror				
- Toilet tissue dispenser				
- Towel bar				
- Shower rod				
- Robe hook				
Allowance for washroom accessories, residential units, accessible	20	sets	s.17(1)	
- Tilt mirror				
- Toilet tissue dispenser				
- Towel bar				
- Robe hook				
- Shower rod				
- Folding shower seat				
- Horizontal grab bar				
- Vertical grab bar				
- L shaped grab bar				
- L shaped grab bar				
Allowance for window blinds-assumed manual	1,432	m ²	s.17(1)	
CRU				
Allowance for signage	1	sum	s.17(1)	
- Interior signage to service/ amenity doors				
- Exterior signage to doors				
- Building signage				
- Special signage, excluded				
Rest specialties exclude				
Total Specialties				s.17(1)

Description	Quantity	Unit	Rate	Amount
B3 FITTINGS & EQUIPMENT				
Note: Architect to confirm assumptions and allowances.				
<i>B32 Equipment</i>				
Parkade N/A				
Residential				
Allowance for garbage compactor	1	sum	s.17(1)	s.17(1)
Allowance for appliances to amenity laundry room, commercial grade - Washing machine, commercial grade - Dryer, commercial grade - Card Reloading Kiosk, allow 1 no.	16	sets		
Allowance for appliances to amenity space, assume residential grade, stainless steel finish - Refrigerator - Electronic range - Range hood - Dishwasher - Microwave	2	set	s.17(1)	
Allowance for appliances to suites - Refrigerator - Electronic range - Range hood - Dishwasher - Microwave, assume not required - Washer - Dryer	136	suites	s.17(1)	
Allowance for appliances to suites, accessible (assumed) - Refrigerator - Cooktop - Hood fan - Wall oven - Dishwasher - Washer - Dryer	20	suites	s.17(1)	
<u>Roof Deck Fittings - Level 2 & L8</u> Assumed none required				Excluded
<u>Roof Deck Fittings - Main Roof</u> Allow for playground equipment to main roof deck - Playground equipment - Concrete pads	1	sum	s.17(1)	
Allow for prefabricated raised metal planters, main roof deck	29	m ²	s.17(1)	
Allow for miscellaneous site furnishings	1	sum		
Loose furniture and equipment				Excluded
CRU				
Allowance for garbage compactor	1	sum	s.17(1)	
Rest equipment exclude				
Total Equipment				s.17(1)

Description	Quantity	Unit	Rate	Amount
B3 FITTINGS & EQUIPMENT				
Note: Architect to confirm assumptions and allowances.				
<i>B33.1 Elevators</i>				
Parkade				
Passenger elevator, 2 cabs, P1	2	stops	s.17(1)	s.17(1)
Residential				
Passenger elevator, 2 cabs, L1 to roof	22	stops		
Allow for elevator cab finish	2	cabs		
CRU				
N/A				
Total Elevators				s.17(1)

Description	Quantity	Unit	Rate	Amount
C1 MECHANICAL				
<i>C11 Plumbing and Drainage</i>				
Parkade				
Plumbing equipment	1,411	m ²	s.17(1)	s.17(1)
Piping, valves and accessories				
Miscellaneous works				
Residential				
Plumbing equipment	10,184	m ²	s.17(1)	
Piping, valves and accessories				
Plumbing fixtures				
Water closet	172	no	s.17(1)	
Lavatory	172	no		
Bath tub	172	no		
Laundry sink	1	no		
Janitor sink	6	no		
Kitchen sink	156	no		
Water closet (common area)	2	no		
Lavatory (common area)	2	no		
Kitchen sink (common area)	2	no		
Floor drain	156	no		
Roof drain	25	no		
Dishwasher hook up	172	no		
Washer hook up	9	no		
Rough-ins to plumbing fixtures	685	no		
Allowance for irrigation system to softscape area	1	sum		
CRU				
Note: Shell and core provision only				
Plumbing equipment	1,297	m ²		
Piping, valves and accessories	1,297	m ²		
Plumbing fixtures-rough-ins only	1	sum		
Total Plumbing and Drainage				s.17(1)



Description	Quantity	Unit	Rate	Amount
C1 MECHANICAL				
<i>C12 Fire Protection</i>				
Parkade Fire protection system	1,411	m ²	s.17(1)	
Residential Fire protection system	10,184	m ²	s.17(1)	
CRU Fire protection system	1,297	m ²	s.17(1)	
Total Fire Protection				s.17(1)

Description	Quantity	Unit	Rate	Amount
C1 MECHANICAL				
<i>C13 HVAC</i>				
Parkade				
HVAC Equipment	1,411	m ²	s.17(1)	s.17(1)
Ductwork and Air Distribution				
Miscellaneous works				
Residential				
HVAC Equipment	10,184	m ²	s.17(1)	
- In-suite HRV/ERV for ventilation				
- Heating and cooling from air-source heat pump PTAC units				
- Fans for ventilation				
- In-room ERV and VRF heat pumps for amenity room				
Piping, Valves and Accessories				s.17(1)
Ductwork and Air Distribution				
Miscellaneous works				
CRU				
Note: Shell and core provision only				
HVAC Equipment (VRF fan coil units for heating and cooling, ventilation by Tenants)	1,297	m ²	s.17(1)	
Piping, Valves and Accessories				s.17(1)
Ductwork and Air Distribution				
Miscellaneous works				
Total HVAC				s.17(1)



Description	Quantity	Unit	Rate	Amount
C1 MECHANICAL				
<i>C14 Controls</i>				
Parkade				
Parkade gas detectors system	1,411	m2	s.17(1)	
Allowance for controls system	1,411	m2		
Residential				
Allowance for controls system	10,184	m2	s.17(1)	
CRU				
Note: Shell and core provision only				
Allowance for controls system	1,297	m2	s.17(1)	
Total Controls				s.17(1)



Description	Quantity	Unit	Rate	Amount
C2 ELECTRICAL				
<i>C21 Service & Distribution</i>				
Parkade				
Allowance for services and distribution comprising of panel boards, secondary transformer, metering and feeder	1,411	m2	s.17(1)	
Residential				
Allowance for services and distribution comprising of panel boards, secondary transformer, metering and feeder	10,184	m2	s.17(1)	
2250kVA Unit substation w/ 4000A 347/600V main distribution				
500kW 600V 3P diesel fuel engine driven generator				
Vista switch (Excluded, assumed by BC Hydro)				
Daycare				
Allowance for services and distribution comprising of panel boards, secondary transformer, metering and feeder	1,297	m2	s.17(1)	
Total Service & Distribution				s.17(1)

Description	Quantity	Unit	Rate	Amount
C2 ELECTRICAL				
<i>C22 Lighting, Devices & Heating</i>				
Parkade				
Lighting fixtures and lighting control	1,411	m ²	s.17(1)	
Branch devices				s.17(1)
Heating (Baseboard heaters)				
Mechanical equipment connection				
Allowance for EV infrastructure (EV ready excluding EV charger)	33	no.	s.17(1)	
Residential				
Lighting fixtures and lighting control	10,184	m ²	s.17(1)	s.17(1)
Exterior accent lighting at Level 1 soffit & columns				
Branch devices				
Heating (Baseboard heaters)				
Mechanical equipment connection				
CRU				
Note: Shell and core provision only				
Lighting fixtures and lighting control	1,297	m ²	s.17(1)	s.17(1)
Branch devices				
Provision for power to CRU frontages for signage				
Heating (Baseboard heaters)				
Mechanical equipment connection				
Total Lighting, Devices & Heating				s.17(1)



Description	Quantity	Unit	Rate	Amount
C2 ELECTRICAL				
<i>C23 Systems & Ancillaries</i>				
Parkade				
Fire alarm system	1,411	m2	s.17(1)	s.17(1)
Communication system				
Access control				
Residential				
Fire alarm system	10,184	m2	s.17(1)	s.17(1)
Communication system				
Access control				
CRU				
Note: Shell and core provision only				
Fire alarm system	1,297	m2	s.17(1)	s.17(1)
Communication system				
Access control				
Total Systems & Ancillaries				s.17(1)

Description	Quantity	Unit	Rate	Amount
D1 SITE WORK				
<i>D11.1 Site Preparation</i>				
<u>Note: Site preparation outside property line - Excluded</u>				
Site clearing, remove existing vegetation - allow	1,962	m ²	s.17(1)	
Remove existing trees, assume none				Excluded
Protection to existing tree, allow	1	sum	s.17(1)	
Rough and finish grading - allow	1,962	m ²		
- Strip topsoil and dispose offsite, allow 300mm deep				
- Allow for imported fill to suit levels				
- Finish grading				
Allowance for dewatering (included in A12 Basement Excavation)				
Allowance for erosion and sedimentation control (included in A12 Basement Excavation)				
Rock excavation - assume not required				Assume not required
Total Site Preparation				s.17(1)

Description	Quantity	Unit	Rate	Amount
D1 SITE WORK				
<i>D11.2 Hard Surfaces</i>				
<u>Note: Hard surfaces outside property line - Excluded</u>				
<u>Hard Surfaces (Above Parkade Roof Deck/ On Grade)</u>				
<u>Note: Roof Waterproofing on Parkade Roof Deck Included in Roof Covering Section</u>				
Allow for void fill to parkade roof deck	1	sum	s.17(1)	s.17(1)
Allow for asphalt paving to driveway	270	m ²		
Allow for unit paving	207	m ²		
Concrete sidewalk	93	m ²		
<u>Miscellaneous Hard Surfaces</u>				
Allow for concrete curb/band	106	m		
Allow for tying new hard surfaces to existing	1	sum		
Allow for pavement markings	1	sum		
Total Hard Surfaces				s.17(1)

Description	Quantity	Unit	Rate	Amount
D1 SITE WORK				
<i>D11.3 Site Improvements</i>				
<u>Note: Site Improvements outside property line - Excluded</u>				
<u>Site Furnishings</u>				
Allow for wayfinding signage	1	sum	s.17(1)	s.17(1)
Allow for bike racks	1	sum		
Allow for benches	1	sum		
Allow for miscellaneous site furnishings	1	sum		
<u>Fences/Screens</u>				
Allow for metal mesh fence, 1.8m H to South and West	92	m		
<u>Site Playground Equipment</u>				
Assume none required				
Total Site Improvements				s.17(1)

Description	Quantity	Unit	Rate	Amount
D1 SITE WORK				
<i>D11.4 Landscaping</i>				
<u>Note: Landscaping outside property line - Excluded</u>				
<u>Growing Medium</u> Allow for growing medium, 500mm deep, to receive plants/tress, allow 50 m2	1	sum	s.17(1)	
<u>Mulch</u> Allow for mulch to plant/tree areas	1	sum	s.17(1)	
<u>Lawn</u> Assume none				
<u>Plants/Trees</u> Allow for plants	1	sum	s.17(1)	
<u>Miscellaneous Landscaping</u> Allow for Misc. landscaping	1	sum	s.17(1)	
<u>Irrigation</u> Irrigation system - Included in Mechanical Site Services			s.17(1)	
Total Landscaping				s.17(1)



Description	Quantity	Unit	Rate	Amount
D1 SITE WORK				
<i>D12 Mechanical Site Services</i>				
Allowance for incoming services:				
Sanitary	1	sum	s.17(1)	s.17(1)
Storm				
Fire/water main				
Gas line				
Irrigation system	1	sum	s.17(1)	
Utility connection fee (Excluded)				
Total Mechanical Site Services				s.17(1)



Description	Quantity	Unit	Rate	Amount
D1 SITE WORK				
<i>D13 Electrical Site Services</i>				
Allowance for incoming services (ducts only)				Excluded
Incoming power duct (within property line)	1	sum	s.17(1)	s.17(1)
Incoming communication duct (within property line)	1	sum		
Site lighting	1	sum		
Total Electrical Site Services				s.17(1)



Description	Quantity	Unit	Rate	Amount
D2 ANCILLARY WORK				
<i>D21.2 Off Sites</i>				
Excluded				
<i>Total Off Sites</i>				-

APPENDIX 4

SCHEDULE OF APPROXIMATE FLOOR AREAS

AREA SCHEDULE (METRIC)

	m ²							m
	Parkade	Residential	CRU	Circulation	Shaft	Int.&Ext. Walls	GFA	Per.
Below Grade								
P1	1,258	-	-	64	14	75	1,411	180
Below Grade Total	1,258	-	-	64	14	75	1,411	180
Above Grade								
L1	-	107	980	153	17	85	1,342	172
Mezz	-	209	195	116	19	86	625	169
L2	-	864	-	153	23	134	1,173	189
L3-L7	-	4,417	-	650	114	686	5,867	946
L8	-	837	-	121	23	134	1,115	174
L9	-	837	-	121	23	134	1,115	174
Roof	-	141	-	51	14	35	242	84
Above Grade Total	-	7,413	1,175	1,365	232	1,295	11,481	1,907
Project Total	1,258	7,413	1,175	1,428	247	1,370	12,891	2,087

Residential		
Residential		
Residential Units		6,753
Resi. Unit-Living Area	6,073	
Resi. Unit-Bathroom	680	
Mallroom		5
Office		8
Amenity Space		49
Laundry Room		22
Waste Room		51
Bike Storage/ Storage		207
Heat Treatment Room		27
Services		291
		7,413
Circulation		
Lobby/ Vestibule		52
Corridor- Loading		-
Corridor		935
Stairs		351
		1,337
Shaft		
Elevator Shaft		159
Mechanical Shaft		41
Lightwell		32
		232
Int.&Ext. Walls		
Int.&Ext. Walls		1,201
		1,201
Total Residential GFA		10,184

Grossing Factor - Total		
Net	9,846	76%
Circulation	1,428	11%
Shaft	247	2%
Int. & Ext. Walls	1,370	11%
Total	12,891	100%

Grossing Factor - Residential		
Net	7,413	73%
Circulation	1,337	13%
Shaft	232	2%
Int. & Ext. Walls	1,201	12%
Total	10,184	100%

Grossing Factor - CRU		
Net	1,175	91%
Circulation	27	2%
Shaft	-	0%
Int. & Ext. Walls	94	7%
Total	1,297	100%

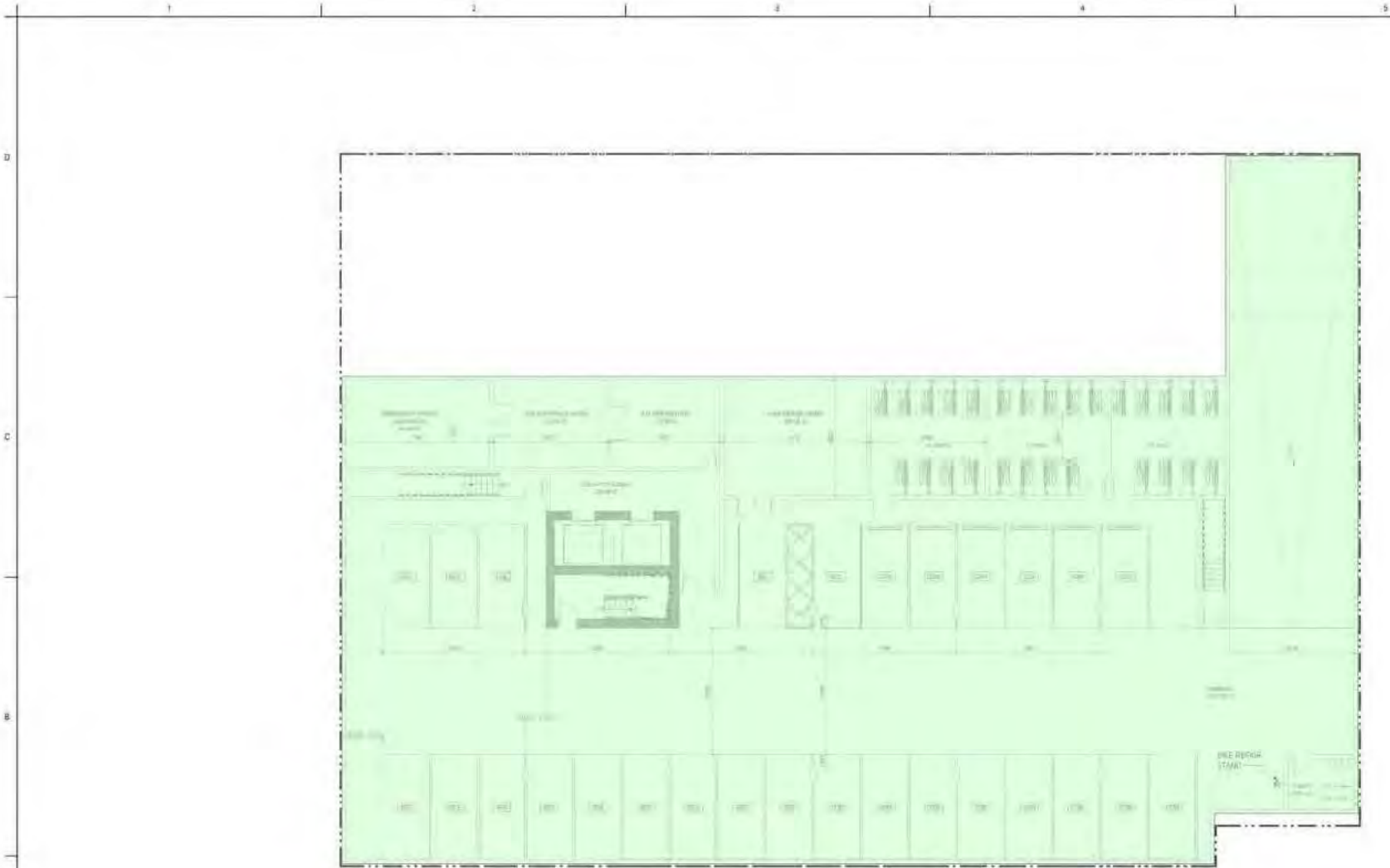
Grossing Factor - Parkade		
Net	1,258	89%
Circulation	64	5%
Shaft	14	1%
Int. & Ext. Walls	75	5%
Total	1,411	100%

AREA SCHEDULE (METRIC)

	m ²							m
	Parkade	Residential	CRU	Circulation	Shaft	Int.&Ext. Walls	GFA	Per.
Below Grade								
P1	1,258	-	-	64	14	75	1,411	180
Below Grade Total	1,258	-	-	64	14	75	1,411	180
Above Grade								
L1	-	107	980	153	17	85	1,342	172
Mezz	-	209	195	116	19	86	625	169
L2	-	864	-	153	23	134	1,173	189
L3-L7	-	4,417	-	650	114	686	5,867	946
L8	-	837	-	121	23	134	1,115	174
L9	-	837	-	121	23	134	1,115	174
Roof	-	141	-	51	14	35	242	84
Above Grade Total	-	7,413	1,175	1,365	232	1,295	11,481	1,907
Project Total	1,258	7,413	1,175	1,428	247	1,370	12,891	2,087

CRU		
CRU		
CRU	1,148	
CRU- Waste Room	27	
		1,175
Circulation		
CRU-Vestibule	7	
CRU-Corridor	20	
		27
Int.&Ext. Walls		
Int.&Ext. Walls	94	
		94
Total CRU GFA		1,297

Parkade		
Parkade		
Parking Area	1,008	
Bike Storage	118	
Services	131	
		1,258
Circulation		
Elevator Lobby	27	
Stairs	36	
		64
Shaft		
Elevator Shaft	14	
		14
Int.&Ext. Walls		
Int.&Ext. Walls	75	
		75
Total Parkade GFA		1,411

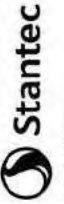


1
A201

FLOOR PLAN - P1

1:100

1410.9 SQ M



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1100 11 Douglas Street
2nd Floor Vancouver, BC
V6C 3K9
www.stantec.com

Consultant

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Permit/Spec	Date	Remarks

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CITY OF VANCOUVER

S25 Powell

S25 Powell Street
Vancouver, BC

Project No. 1432807
Phase 1 - 100

Title
FLOOR PLAN P1

Revision
Drawing No. **A201**

P1

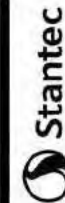


1
A202
1/400

FLOOR PLAN - LEVEL 1

L1 - RESIDENTIAL
 L1 - CRU

285.9 SQ M
 1056.3 SQ M



Stantec Architecture Ltd.
 1100 - 12 Avenue Street
 Vancouver, BC V6Z 2Y1
 Tel: 604 681 5600
 www.stantec.com

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525 Powell Street
Vancouver, BC

Project No.: 4432207

Revision No.

SCALE: 1/400

DATE: 2024

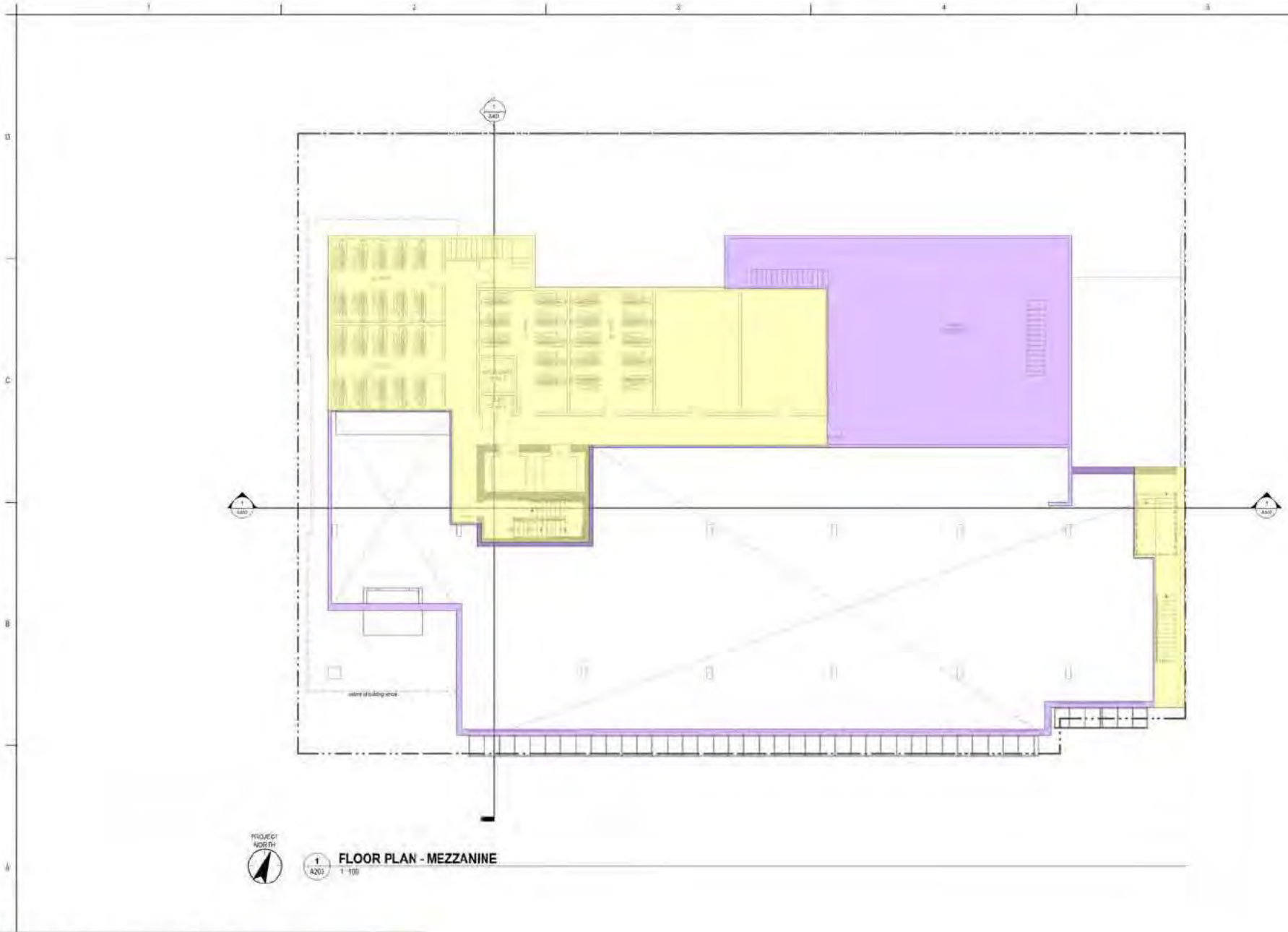
TITLE:

FLOOR PLAN L1

PROJECT:

Drawing no.

A202



PROJECT NORTH

1
A203
1:100

FLOOR PLAN - MEZZANINE

- MEZZ-RESIDENTIAL 384.4 SQ M
- MEZZ-CRU 240.3 SQ M

Rev.	Description	Date

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 525 Powell
 525 Powell Street
 Vancouver, BC

Project No.: 4432071
 Drawing No.: 100

Title
**FLOOR PLAN
 MEZZANINE**

Revision:
 Drawing No. **A203**

Issued/Revision	By	Date	Revised

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FLOOR PLAN - LEVEL 2

1/100

Level	Room	Area	Count
LEVEL 2	LOBBY	883.20 M ²	1
LEVEL 2	LOBBY	883.20 M ²	4
LEVEL 2	TR. RECP.	2274.00 M ²	2
LEVEL 2	HARBORFRONT SPACE	527.43 M ²	1
LEVEL 2	CONF.	179.00 M ²	1
LEVEL 2	R.F.C.	12.60 M ²	1
LEVEL 2	MECHANICAL	482.00 M ²	1
LEVEL 2	STORAGE	207.40 M ²	2
LEVEL 2	STORAGE	1747.40 M ²	1
LEVEL 2	STORAGE	888.80 M ²	1

- 1.000 - LOBBY
- 1.001 - LOBBY
- 1.002 - LOBBY
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1173.4 SQ M

Consultant	Rev.	Description	Date
	1	Issue for Review	2024-03-20
	2	Issue for Review	2024-03-20
	3	Issue for Review	2024-03-20
	4	Issue for Review	2024-03-20
	5	Issue for Review	2024-03-20
	6	Issue for Review	2024-03-20
	7	Issue for Review	2024-03-20
	8	Issue for Review	2024-03-20
	9	Issue for Review	2024-03-20
	10	Issue for Review	2024-03-20

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 525 Powell
 525 Powell Street
 Vancouver, BC

Project #/Title: 443/2021
 Scale: As indicated

Title
FLOOR PLAN L3-7

Revision:
Drawing No. **A205**



1 FLOOR PLAN - LEVEL 3-7
 1/100

Level	Area	Perimeter	Notes
LEVEL 3	1,881	82,378'	
LEVEL 4	2,981	128,387'	
LEVEL 5	3,981	167,376'	
LEVEL 6	2,981	128,387'	
LEVEL 7	1,881	82,378'	
LEVEL 8	1,881	82,378'	
LEVEL 9	1,881	82,378'	
LEVEL 10	1,881	82,378'	
TOTAL	17,881	738,414'	

- 1st Floor Finish
- 2nd Floor Finish
- 3rd Floor Finish
- 4th Floor Finish
- 5th Floor Finish
- 6th Floor Finish
- 7th Floor Finish
- 8th Floor Finish
- 9th Floor Finish
- 10th Floor Finish

L3-L7 **1173.4 SQ M**



2 LEVEL 8
1:100

Level	Area	Room	Area	Notes
LEVEL 1	11,800	444,000 sq ft	1	
LEVEL 2	12,480	337,000 sq ft	2	
LEVEL 3	11,800	329,000 sq ft	3	
LEVEL 4	12,480	350,000 sq ft	4	
LEVEL 5	12,480	350,000 sq ft	5	
LEVEL 6	12,480	350,000 sq ft	6	
LEVEL 7	12,480	350,000 sq ft	7	
LEVEL 8	11,153	305,000 sq ft	8	
TOTAL	88,200	2,485,000 sq ft	32	

- 100% GLASS
- 100% METAL
- 100% WOOD
- 100% CONCRETE
- 100% BRICK
- 100% STONE

Author	Checked	Date	Revised

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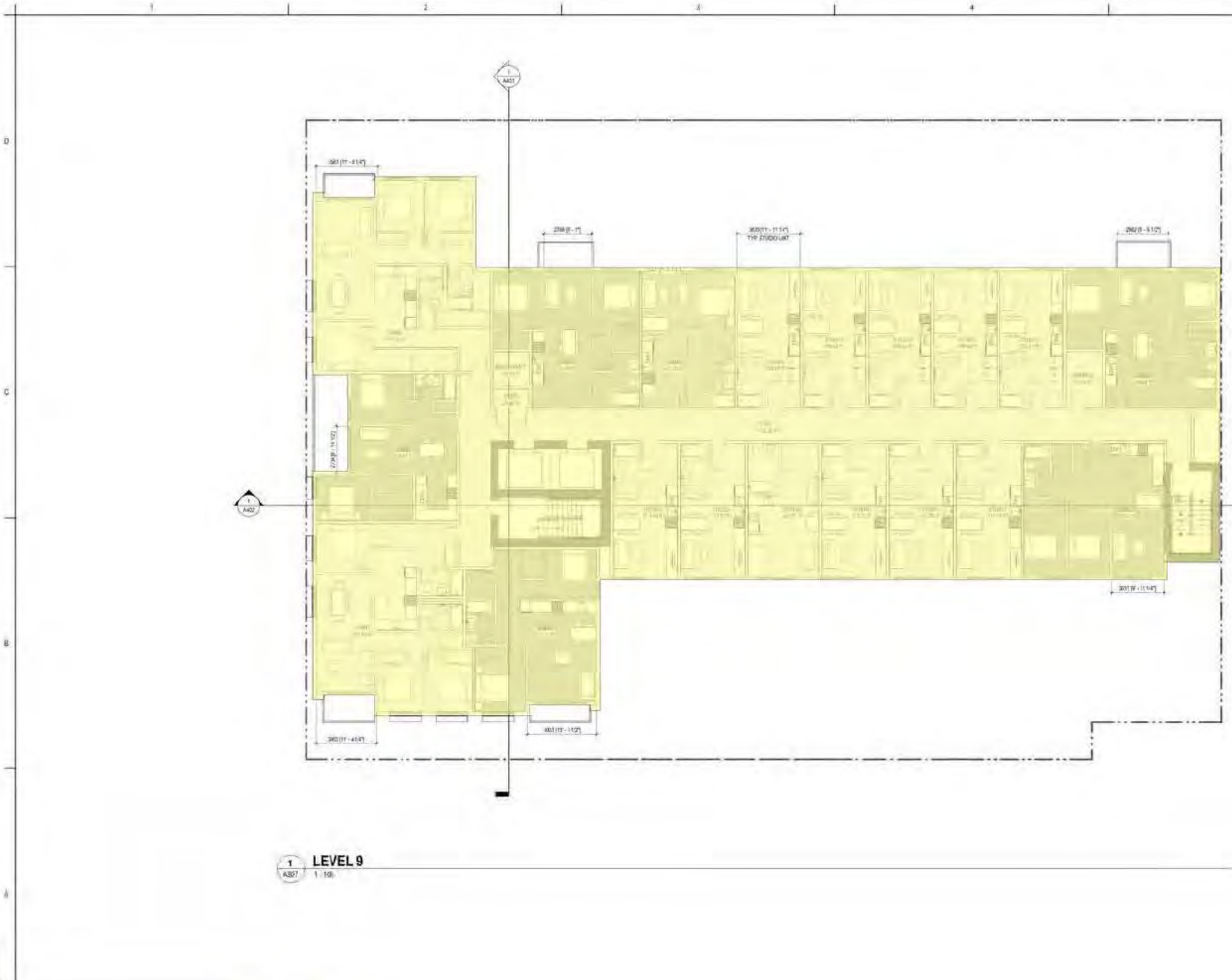
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S25 Powell Street
Vancouver, BC

Project No.: 4432307

Scale: As indicated

Title:
FLOOR PLAN L8

Revision:
Drawing No.:
A206



1 LEVEL 9
A307 1/16"

1115.3 SQ M



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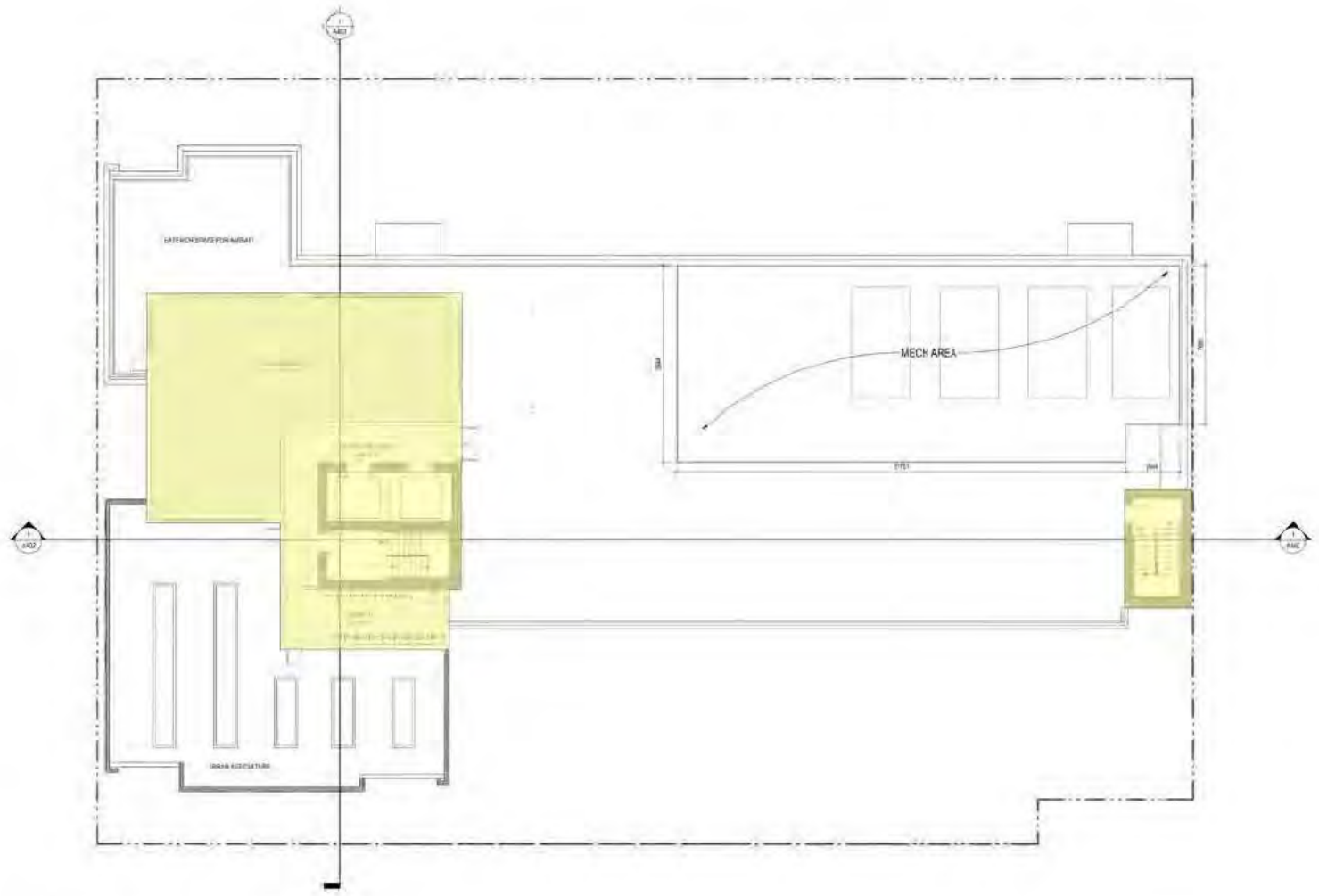
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Scale: 1/16"

Title:

FLOOR PLAN L9

Drawing No.

A207



PROJECT
 NORTH
 1
 A01
ROOF - AMENITY
 F-100

ROOF/ROOFSPACE				
Room	Area	Unit	Count	Notes
ROOF - AMENITY - AMENITY SPACE	728.72	SQ FT	1	
ROOF - AMENITY - MECHANICAL	164.00	SQ FT	1	
ROOF - AMENITY - LOBBY	128.75	SQ FT	1	
ROOF - AMENITY - LOBBY	128.75	SQ FT	1	

- ROOF STRUCTURE
- FLOOR FINISH
- CEILING FINISH
- WALL FINISH
- DOOR
- WINDOW
- GLASS PARTITION
- GLASS CURTAIN WALL

Consultant:

Project/Phase:	Rev:

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Project File: 443207
 Scale: As indicated
 Title: FLOOR PLAN ROOFTOP

Revision:
 Drawing No. **A208**

ROOF

242.4 SQ M

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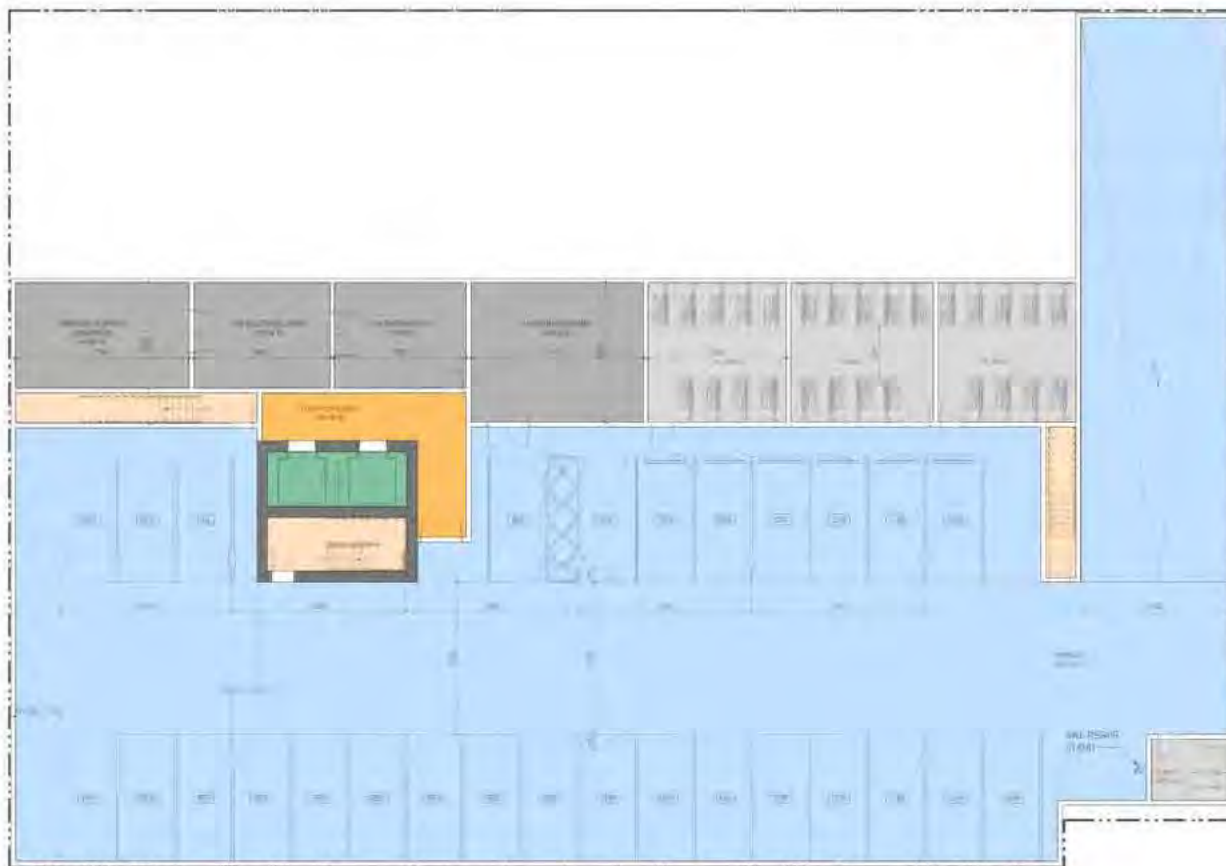
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Vancouver, BC

Project No.: 144326071

Scale: 1:100

Title:
FLOOR PLAN P1

Revision:
Drawing No:
A201



PROJECT

Description	Area (SQ M)
DOR PLAN - P1	1008.3 SQ M

- PARKING AREA 1008.3 SQ M
- BIKE STORAGE 118.0 SQ M
- SERVICES 131.2 SQ M
- STAIR 36.5 SQ M
- ELEV LOBBY 27.4 SQ M
- ELEV SHAFT 14.5 SQ M



CRU	952.6 SQ M
CRU VESTIBULE	7.3 SQ M
CRU- WASTE	27.5 SQ M
RESI- WASTE	51.5 SQ M
RESI- OFFICE	8.3 SQ M
RESI- MAILROOM	5.4 SQ M
RESI- HEAT TREATMENT ROOM	26.6 SQ M
RESI- SERVICE	15.5 SQ M
RESI- LOBBY/ VESTIBULE	47.3 SQ M
CRU- CORRIDOR	20.0 SQ M
RESI- CORRIDOR	12.7 SQ M
RESI- STAIRS	61.1 SQ M
RESI- MECH SHAFT	2.4 SQ M
RESI- ELEV SHAFT	14.5 SQ M

IN - LEVEL 1

Consultant

Project/Phase	Rev	Date	By	Checked

Permit/Code

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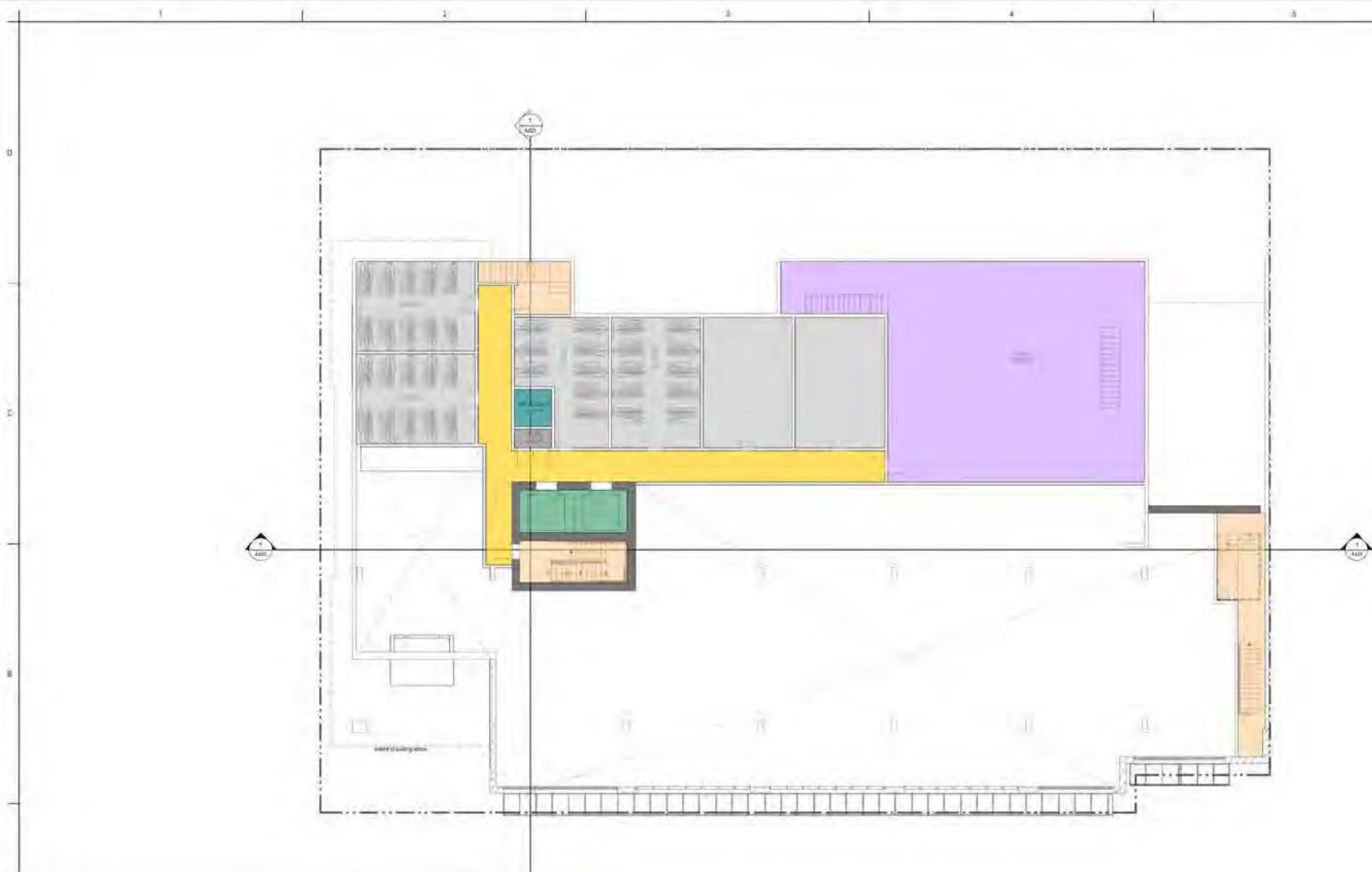
525 Powell
 525 Powell Street
 Vancouver, BC

Project No: 144326071
 Scale: 1:100
 Date: 11/14/2023

Title
FLOOR PLAN LI

Revision:
 Drawing No.

A202



	CRU	195.0 SQ M	
	RESI- BIKE STORAGE/ STORAGE	206.6 SQ M	
	RESI- SERVICE	2.2 SQ M	
	RESI- CORRIDOR	63.2 SQ M	
	RESI- STAIRS	52.8 SQ M	
	RESI- ELEV SHAFT	14.5 SQ M	
	RESI- MECH SHAFT	4.3 SQ M	

Consultant:

	By	Date	Version

Issued/Revised:

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	RESI- UNIT AREA	713.5 SQ M
	RESI- BATH	79.7 SQ M
	RESI- AMENITY SPACE	49.0 SQ M
	RESI- SERVICE	21.8 SQ M
	RESI- CORRIDOR	126.9 SQ M
	RESI- STAIRS	26.3 SQ M
	RESI- ELEV SHAFT	14.5 SQ M
	RESI- LIGHT WELL	4.0 SQ M
	RESI- MECH SHAFT	4.3 SQ M

LAN - LEVEL 2

Area	Area	Count
1006.00 SF	2	
763.00 SF	4	
527.40 SF	2	
170.00 SF	1	
128.00 SF	1	
81.00 SF	1	
57.00 SF	2	
27.00 SF	10	
18.00 SF	24	

	STORAGE
	MECH
	STAIRS
	AMENITY SPACE
	CORRIDOR
	MECH SHAFT

Consultant:

Name	Role	Signature

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Scope: As indicated

Author: [blank]
Date: [blank]
Scale: [blank]
Drawing No: [blank]

Revised: [blank]
Drawing No: [blank]

A205



- RESI- UNIT AREA 774.3 SQ M
- RESI- BATH 86.4 SQ M
- RESI- SERVICE 22.8 SQ M
- RESI- CORRIDOR 103.6 SQ M
- RESI- STAIRS 26.3 SQ M
- RESI- ELEV SHAFT 14.5 SQ M
- RESI- LIGHT WELL 4.0 SQ M
- RESI- MECH SHAFT 4.3 SQ M

FLOOR PLAN - LEVEL 3-7

LI-T USER AREA			
	Name	Area	Color
1	1 BED	183.50 SF	
2	2 BED	258.00 SF	
3	3 BED	297.00 SF	
4	CONC	110.26 SF	
5	MECH SHAFT	40.00 SF	
6	SERVICE	217.98 SF	
7	STORAGE	107.11 SF	
8	STORAGE	100.00 SF	
9			
10			
11			
12			

- STAIRS
- ELEV SHAFT
- MECH SHAFT
- SERVICE
- STORAGE

Consultant

Author	Checked	Design	Drawn

Permit/Seal

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 purposes. This document has not been
 completed or checked and is for general
 information or commentary.



Category	Area (SQ M)
RESI- UNIT AREA	743.8 SQ M
RESI- BATH	84.4 SQ M
RESI- SERVICE	9.0 SQ M
RESI- CORRIDOR	94.6 SQ M
RESI- STAIRS	26.3 SQ M
RESI- ELEV SHAFT	14.5 SQ M
RESI- LIGHT WELL	4.0 SQ M
RESI- MECH SHAFT	4.3 SQ M

LEVEL 8
1/100

Room No.	Room Name	Area	Count
01	RES	1448.81 SQ M	1
02	RES	2017.14 SQ M	18
03	RES	2088.81 SQ M	24
04	RES	1102.21 SQ M	1
05	MECH SHAFT	45.00 SQ M	1
06	SERVICE	77.42 SQ M	1
07	ELEV SHAFT	14.50 SQ M	1
08	STAIR	26.30 SQ M	2

Symbol	Description
(Green)	RESIDENTIAL UNIT
(Yellow)	RESIDENTIAL BATH
(Orange)	RESIDENTIAL SERVICE
(Light Green)	RESIDENTIAL CORRIDOR
(Dark Green)	RESIDENTIAL STAIRS
(Light Yellow)	RESIDENTIAL ELEV SHAFT
(Light Green)	RESIDENTIAL LIGHT WELL
(Dark Green)	RESIDENTIAL MECH SHAFT

Consultant

ISSUED/REVISION	BY	DATE

Permit/Seal

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Client/Project: **CITY OF VANCOUVER**
Drawing No: **525 Powell**
S25 Powell Street, Vancouver, BC

Project No: 144328071
Scale: 1/100

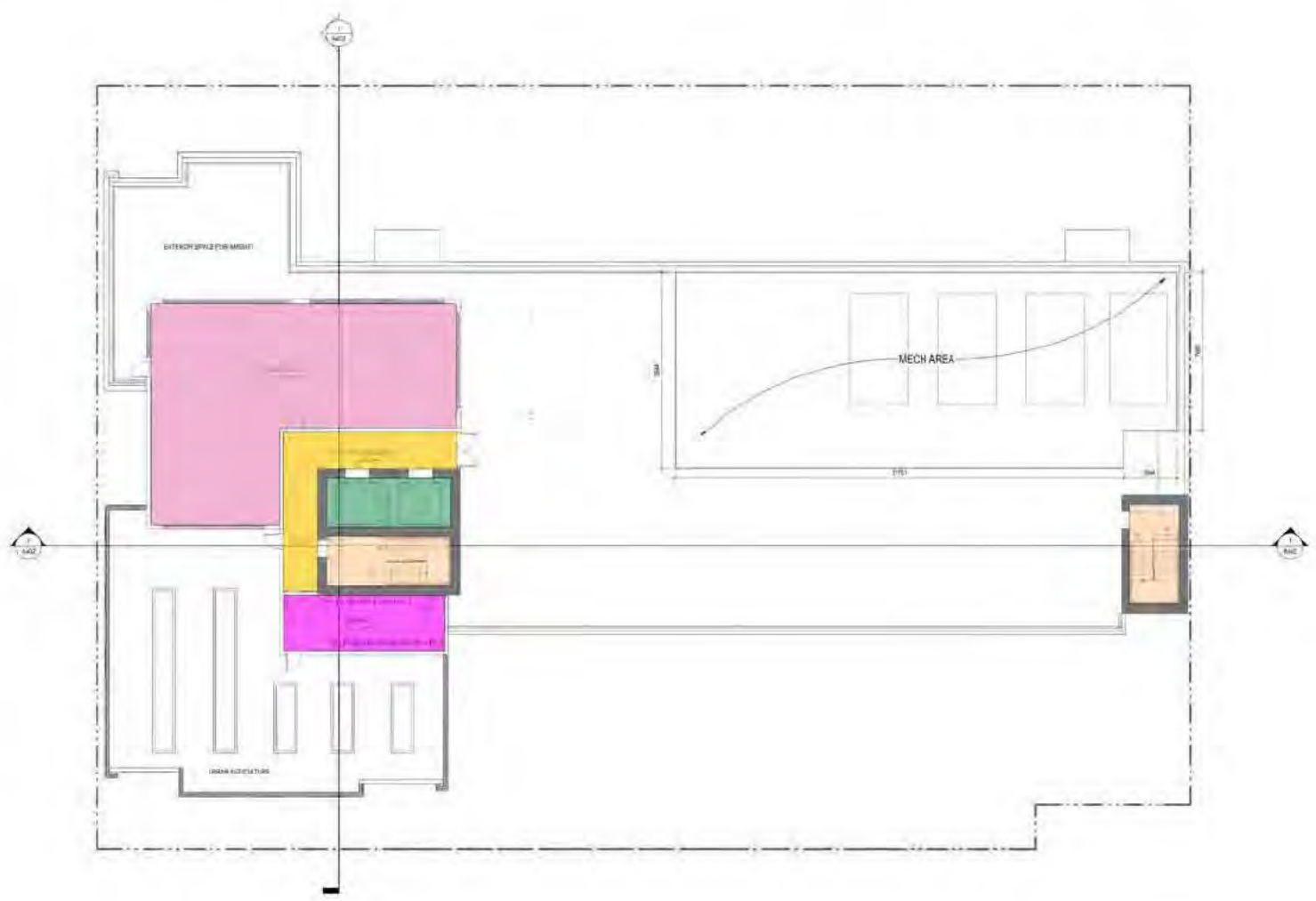
Title: **FLOOR PLAN L9**

Revision:
Drawing No: **A207**



Area Type	Area
RESI- UNIT AREA	743.8 SQ M
RESI- BATH	84.4 SQ M
RESI- SERVICE	9.0 SQ M
RESI- CORRIDOR	94.6 SQ M
RESI- STAIRS	26.3 SQ M
RESI- ELEV SHAFT	14.5 SQ M
RESI- LIGHT WELL	4.0 SQ M
RESI- MECH SHAFT	4.3 SQ M

L9



PROJECT NORTH
 1
 A208
ROOF - AMENITY
 1 : 100

- RESI- AMENITY SPACE
- RESI- LAUNDRY
- RESI- STAIRS
- RESI- LOBBY/ CORRIDOR
- RESI- ELEV SHAFT

Area	Area (SQ M)
RESI- AMENITY SPACE	119.7 SQ M
RESI- LAUNDRY	21.8 SQ M
RESI- STAIRS	26.3 SQ M
RESI- LOBBY/ CORRIDOR	24.9 SQ M
RESI- ELEV SHAFT	14.5 SQ M

- EXISTING ROOF
- EXISTING WALL
- EXISTING FLOOR
- EXISTING CEILING
- EXISTING MECH
- EXISTING STRUCTURE

Consultant:

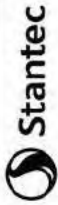
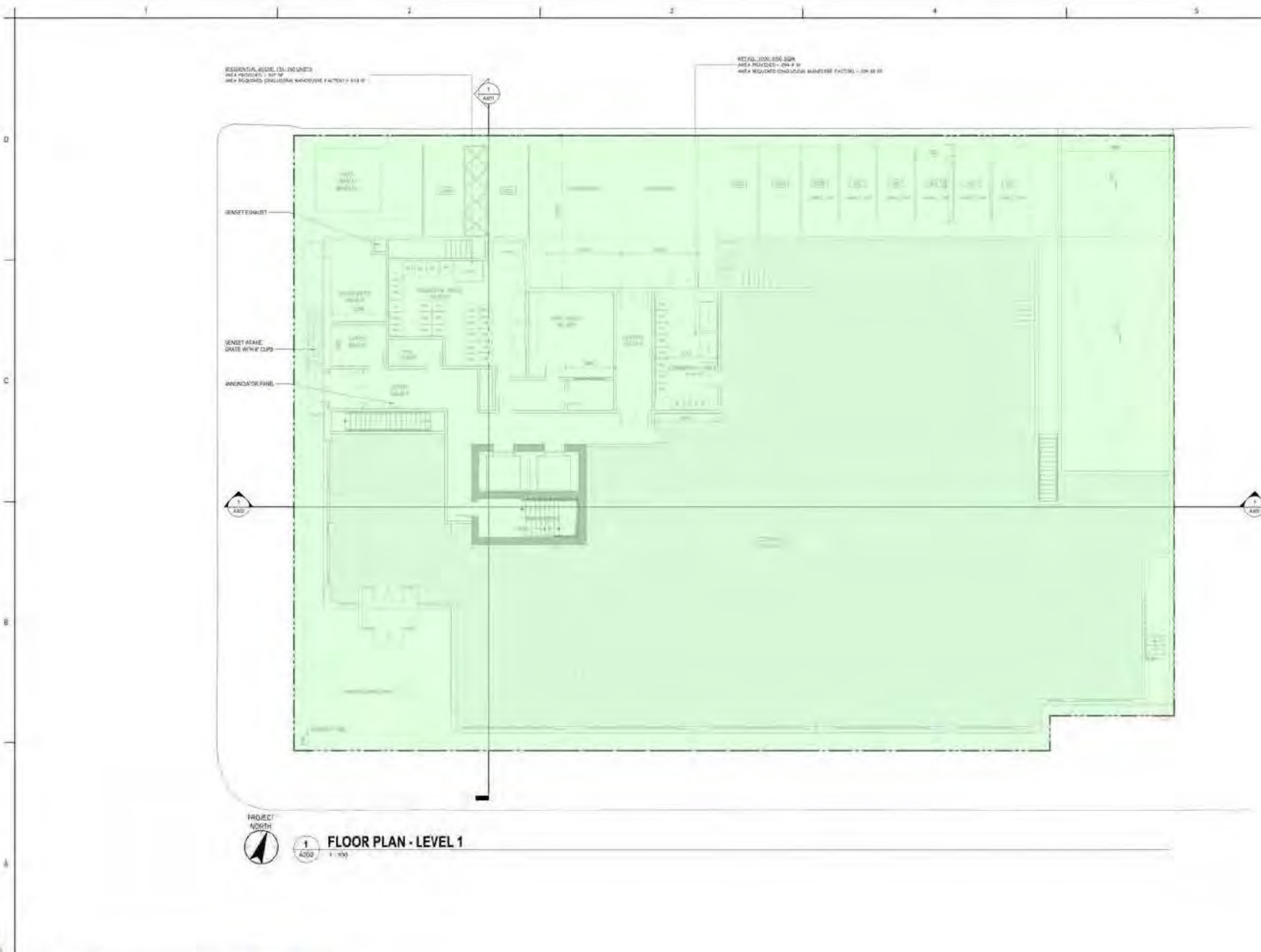
Project/Client:	City of Vancouver
Project No.:	14432971
Scale:	As indicated
Title:	FLOOR PLAN ROOFTOP
Revision:	
Drawing No.:	A208

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 CONSTRUCTION**
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Client/Project:
CITY OF VANCOUVER
 525 Powell
 325 Pender Street
 Vancouver, BC

APPENDIX 5

ASSUMED SITE AREA EXTENT



Stantec
 1100 10 Dwyer Street
 Vancouver, BC V6A 3R9
 Tel: 604 261-3800 • Fax: 604 261-3801
 www.stantec.com

Consultant

Issued/Revision	By	Date

Permit/Seal

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PROJECT
 4009

FLOOR PLAN - LEVEL 1

1:100

SITE AREA **1961.7 SQ M**

Client/Project:
CITY OF VANCOUVER

S25 Powell

S25 Powell Street
 Vancouver, BC

Project/Title: **44322071**

Particulars:

Scale: 1:100

Date: 2024.08.08

Drawn by: [Blank]

Checked by: [Blank]

Title:
FLOOR PLAN L1

Revisions:

Drawing no.
A202