



PROPERTY INFORMATION

Legal Description:

Strata Plan VAS2182
District Lot 185
Group 1 N.W.D.

Civic Addresses:

Lot 185: 2030 Barclay Street

PROJECT TEAM

DEVELOPER

MARCON BARCLAY (GP) LTD.
Suite 5645 - 199th Street, Langley BC, V3A 1H9
(604) 530.5646

DESIGN ARCHITECT

HENRIQUEZ PARTNERS ARCHITECTS
598 W. Georgia Street, Vancouver BC, V6B 2A3
(604) 687.5681

ARCHITECT

SHIFT ARCHITECTURE INC.
Suite 200 - 1000 W. 3rd Street, North Vancouver BC, V7P 3J6
(604) 988.7501

BUILDING CODE

LMDG BUILDING CODE CONSULTANTS LTD.
780 Beatty Street, Vancouver BC, V6B 2M1
(604) 682.7146

STRUCTURAL

BRYSON MARKULIN ZICKMANTEL STRUCTURAL ENGINEERS
510 Burrard Street, Vancouver BC, V6C 3A8
(604) 685.9533

MECHANICAL

NORMAN DISNEY & YOUNG
608 - 1166 Alberni Street, Vancouver BC, V6E 3Z3
(604) 734.9338

ELECTRICAL

NEMETZ (S/A) & ASSOCIATES LTD.
2009 W. 4th Avenue, Vancouver BC, V6J 1N3
(604) 736.6562

LANDSCAPE ARCHITECT

PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC.
1201 W. Pender Street, Vancouver BC, V6E 2V2
(604) 688.6111

SURVEY

BUTLER SUNDEVICK
4 - 19089 94th Avenue, Surrey BC, V4N 3S4
(604) 513.9611

DRAWING LIST

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A1.02	CONTEXT IMAGES
A1.03	SITE PLAN
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LOCATION PLAN



PROJECT STATISTICS

ZONING CALCULATIONS

SITE AREA	
12976 sf (1205.51 sm)	

LOT COVERAGE		
Allowable	6488.00 sf	50%
Proposed	5641.89 sf	43%

SETBACKS				
	North	East	South	West
Allowable	3.70m (12'-0")	2.10m (6'-10")*	2.10m (6'-10")*	2.10m (6'-10")*
Proposed	3.81m (12'-6")	2.45m (8'-0")	7.80m (25'-7")	2.62m (8'-7")

*Section 4.17.1 of the zoning bylaw requires 4.5m (14'-9")

SETBACKS - ADJACENT TOWERS			
	North	East	South
Allowable	24.40m (80'-0")	24.40m (80'-0")	24.40m (80'-0")
North Tower Proposed	28.25m (92'-8")	24.40m (80'-0")	24.40m (80'-0")
South Tower Proposed	24.40m (80'-0")	24.40m (80'-0")	24.40m (80'-0")

BUILDING HEIGHT	
Allowable	18.3m (60'-0")*
Proposed	58m (190'-0")

*Conditional approval 58m (190'-0")

AREA CALCULATIONS

Floor Level	FSR Area	Exclusions	GFA	RES. Net	Circulation	Unit Count
Level 1	4683.52	958.37	5641.89	3461.62	1221.90	4
Level 2	3788.66	162.15	3950.81	3514.90	273.76	
Level 3	3972.57	80.00	4052.57	3519.74	452.83	2
Level 4	4037.53	112.69	4150.22	3422.61	614.92	2
Level 5	3997.53	152.69	4150.22	3543.87	453.66	2
Level 6	3997.53	152.69	4150.22	3543.87	453.66	2
Level 7	3997.53	152.69	4150.22	3543.87	453.66	2
Level 8	4037.53	112.69	4150.22	3422.61	614.92	2
Level 9	3997.53	152.69	4150.22	3543.87	453.66	2
Level 10	2741.57	55.23	2796.80	2288.01	453.66	1
Total (sq.ft.)	39251.50	2091.89	41343.39	33804.97	5446.53	19
Total (sq.m.)	3646.58	194.34	3840.92	3140.58	506.00	

(Exclusions include Amenity, Insulte Storage & Thermal Wall)
(All areas are in square feet unless note otherwise)

UNIT MIX SUMMARY

Unit Type	Area (sq.ft.)	Type	Unit Count	Total Unit Area	Ratio	Percent
CH1- 2 Storey	1714	3 bed + den	2	3428	0.11	11%
CH2- 2 Storey	1802	3 bed + den	2	3604	0.11	11%
Unit B1	1823	2 bed + den	12	21876	0.63	63%
Unit B2	1661	2 bed	2	3322	0.11	11%
Unit B3	2341	3 bed + den	1	2341	0.05	5%
Total	9,441		19	34,771	1.00	100%

FLOOR SPACE RATIO (FSR)

Site Area	12976	Outright + Heritage	Total FSR
Allowable FSR	39,252	2.75 + 0.275	3.025
Proposed FSR	39,252		3.025

BALCONY AREAS

Allowable (12%)	Proposed
4710	4215

PARKING INFORMATION

Type	Required	Provided
Residential	30	37
Visitor	N/A	3
Loading	N/A	N/A
Bicycle	24	24

DESIGN RATIONALE

The existing building on the site has been operated as a hotel, which means that the zero rate of change provisions in the area for rental accommodation does not apply. Therefore, the site can be developed as a market condominium project. The concept is to develop a project that caters to families with all of the units in the 2,000 sf range and having 2 bedrooms and a den typically, with private outdoor spaces.

The project contains 19 residential units broken down into a number of discreet elements in order to give a more human scale and better relate to the surrounding buildings. Inspired by most of the buildings in the West End, the proposed architecture is unabashedly modern, but residential scaled windows and warm textured materials, including masonry, gives the appropriate character for this area of the city.

Project Title
2030 BARCLAY

2030 Barclay Street
Vancouver, BC

MARCON

Client/Owner
MARCON DEVELOPMENTS

5645 199 Street
Langley BC V3A 1H9

Sheet Title
COVER SHEET

Drawn By
Reviewed by

Author
Approver

Project Number
1706

Plot Date
Issue Date
2018/07/25

Scale
Issue/Revision

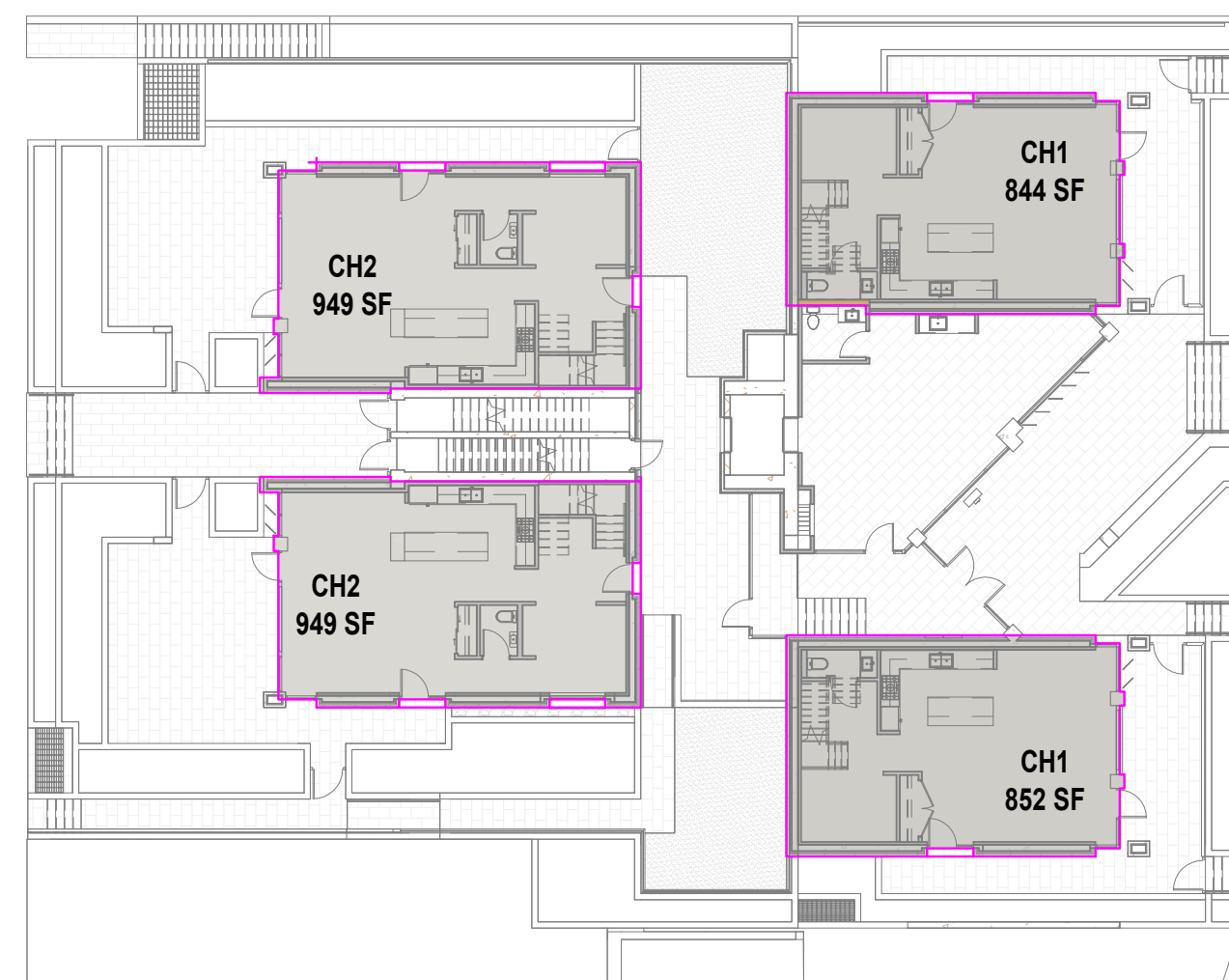
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Sheet Number

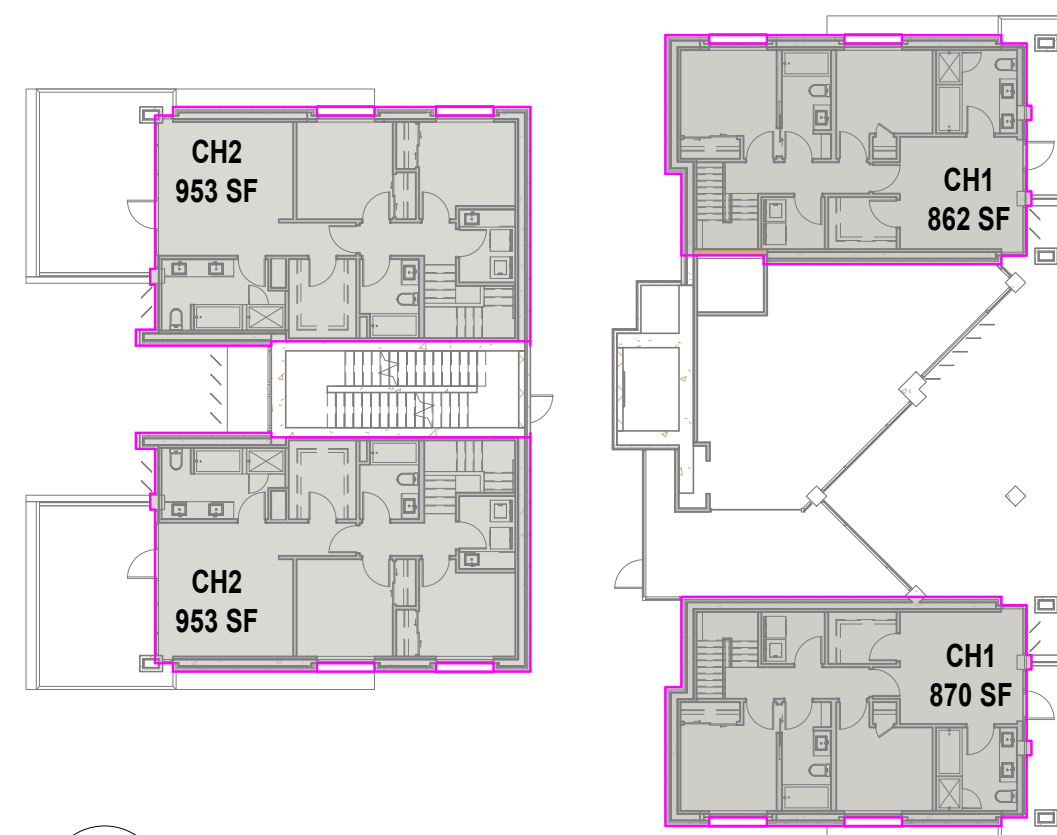
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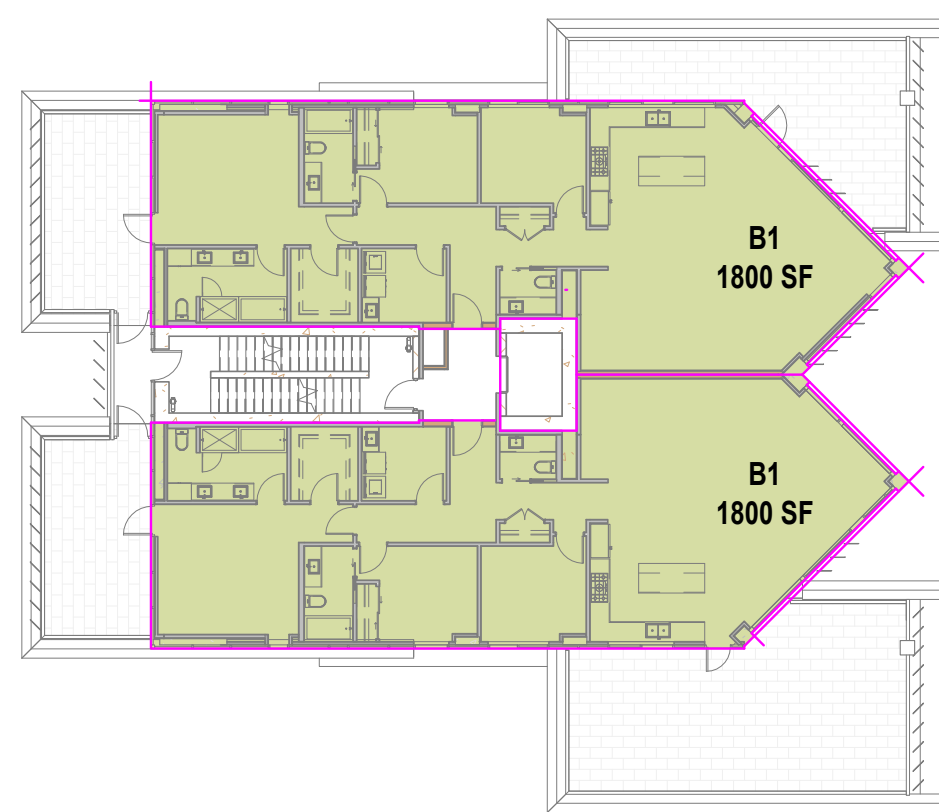
ISSUED FOR DP - 2018-07-25



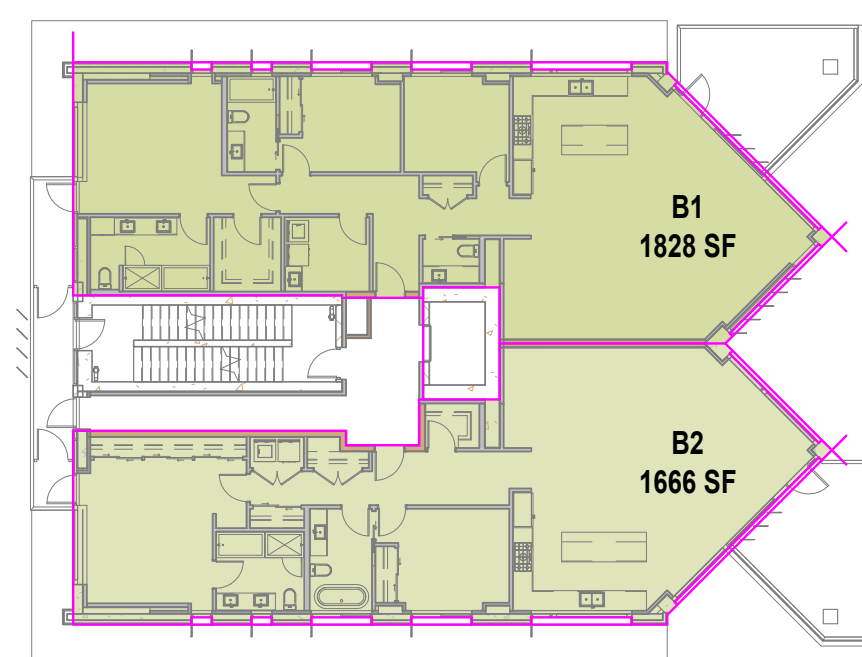
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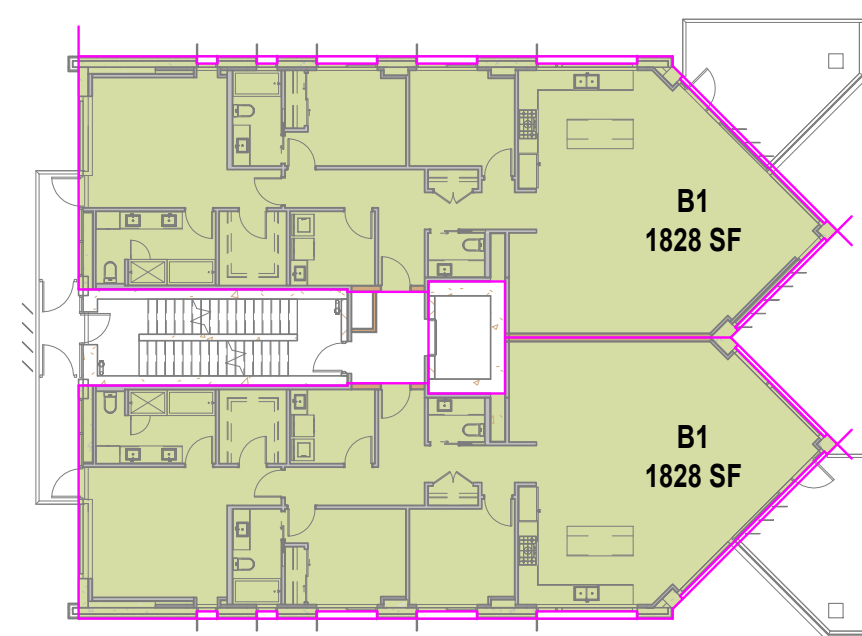
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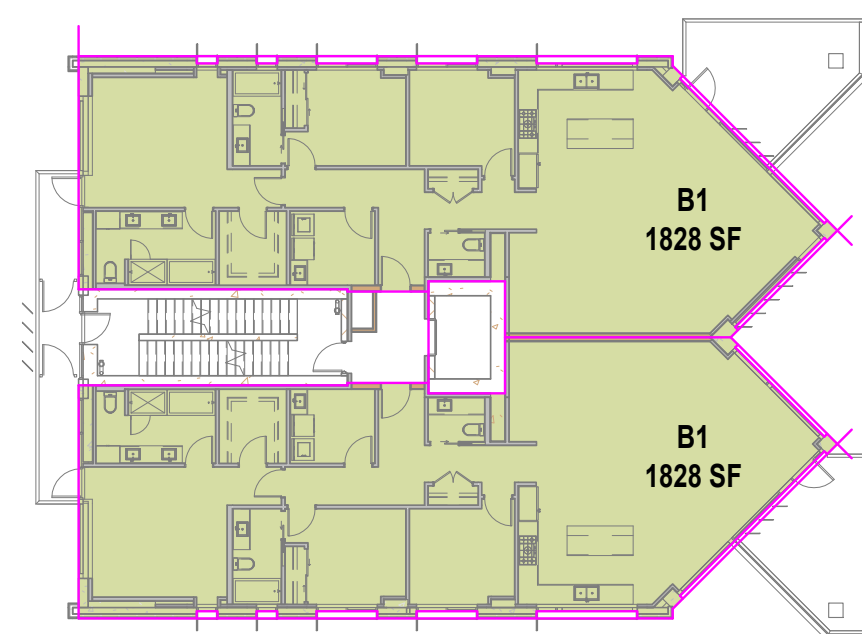
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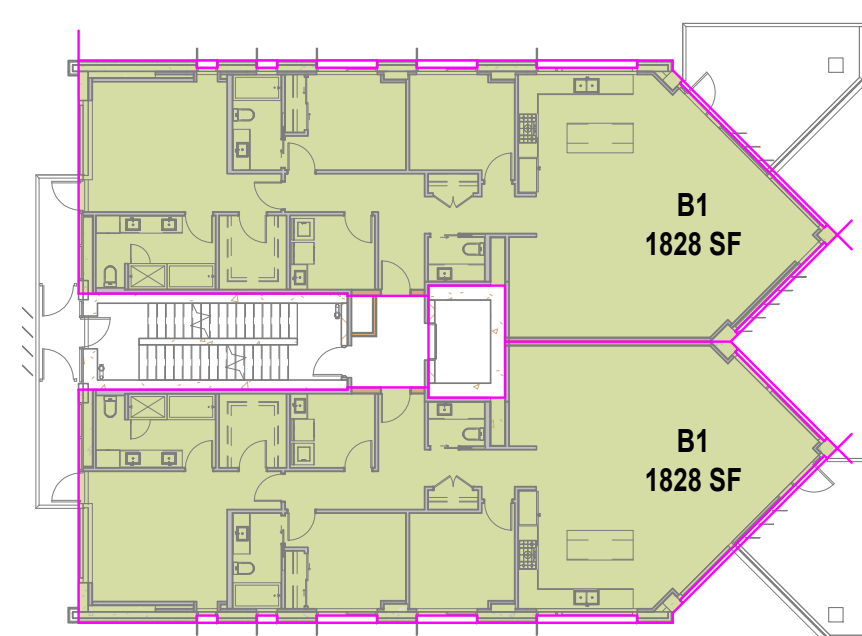
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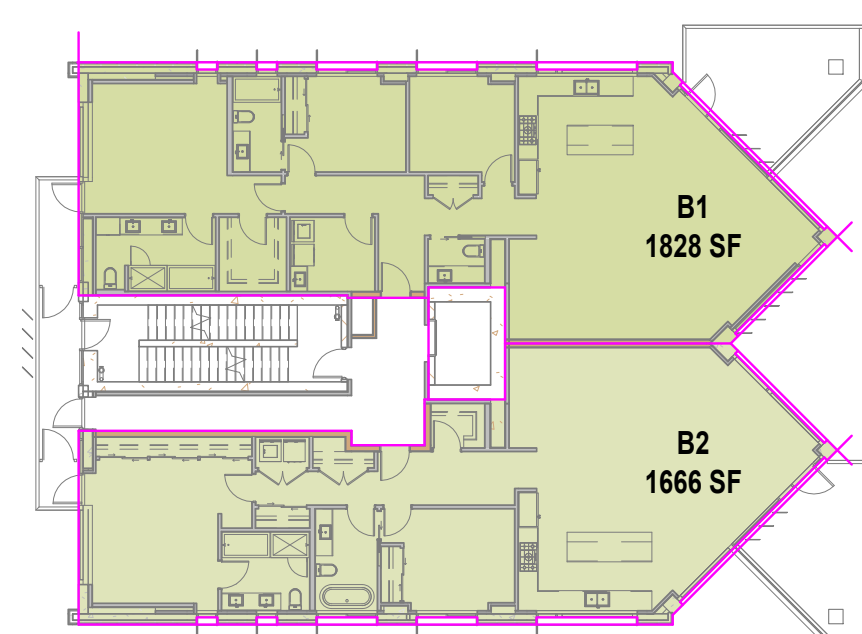
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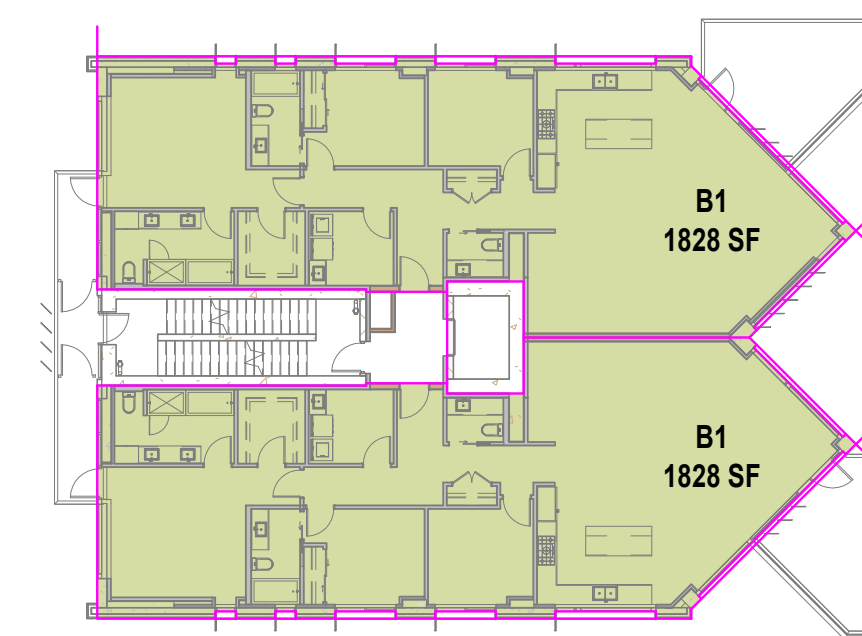
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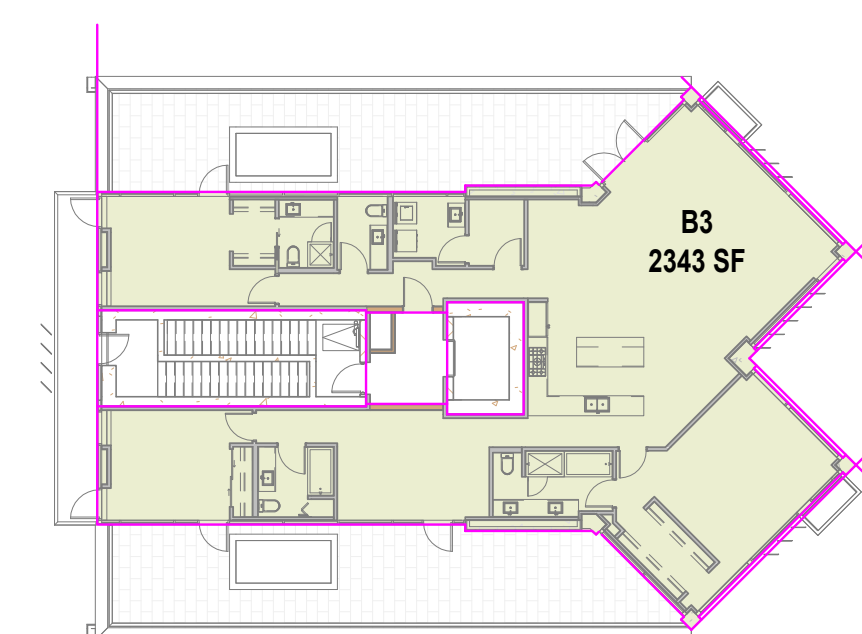
7 LEVEL 7
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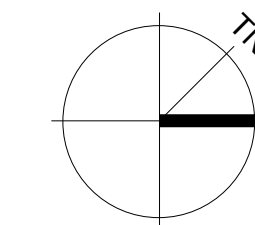
8 LEVEL 8
1" = 20'-0"



9 LEVEL 9
1" = 20'-0"



10 LEVEL 10
1" = 20'-0"



AREA SCHEDULE (UNITS ONLY)

Level	Name	Number	Area
Not Placed	B3	305	Not Placed
LEVEL 1	CH1	102	852 SF
LEVEL 1	CH1	101	844 SF
LEVEL 1	CH2	104	949 SF
LEVEL 1	CH2	103	949 SF
LEVEL 2	CH1	107	870 SF
LEVEL 2	CH1	108	862 SF
LEVEL 2	CH2	105	953 SF
LEVEL 2	CH2	106	953 SF
LEVEL 3	B1	301	1800 SF
LEVEL 3	B1	302	1800 SF
LEVEL 4	B1	317	1828 SF
LEVEL 4	B2	318	1666 SF
LEVEL 5	B1	313	1828 SF
LEVEL 5	B1	314	1828 SF
LEVEL 6	B1	315	1828 SF
LEVEL 6	B1	316	1828 SF
LEVEL 7	B1	319	1828 SF
LEVEL 7	B1	320	1828 SF
LEVEL 8	B1	321	1828 SF
LEVEL 8	B2	322	1666 SF
LEVEL 9	B1	323	1828 SF
LEVEL 9	B1	324	1828 SF
LEVEL 10	B3	306	2343 SF
Grand total			34783 SF

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A	2018/07/25	Issued For DP

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2030 BARCLAY

2030 Barclay Street
Vancouver, BC

MARCON

Client/Owner
MARCON DEVELOPMENTS

5645 199 Street
Langley BC V3A 1H9

Sheet Title
UNIT AREAS

Drawn By
Reviewed by

Author
Approver

Project Number
1706

Plot Date

Issue Date
2018/07/25

Scale

1" = 20'-0"

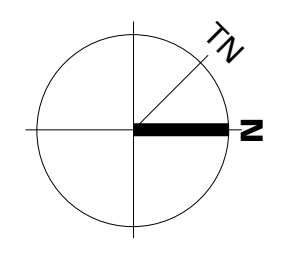
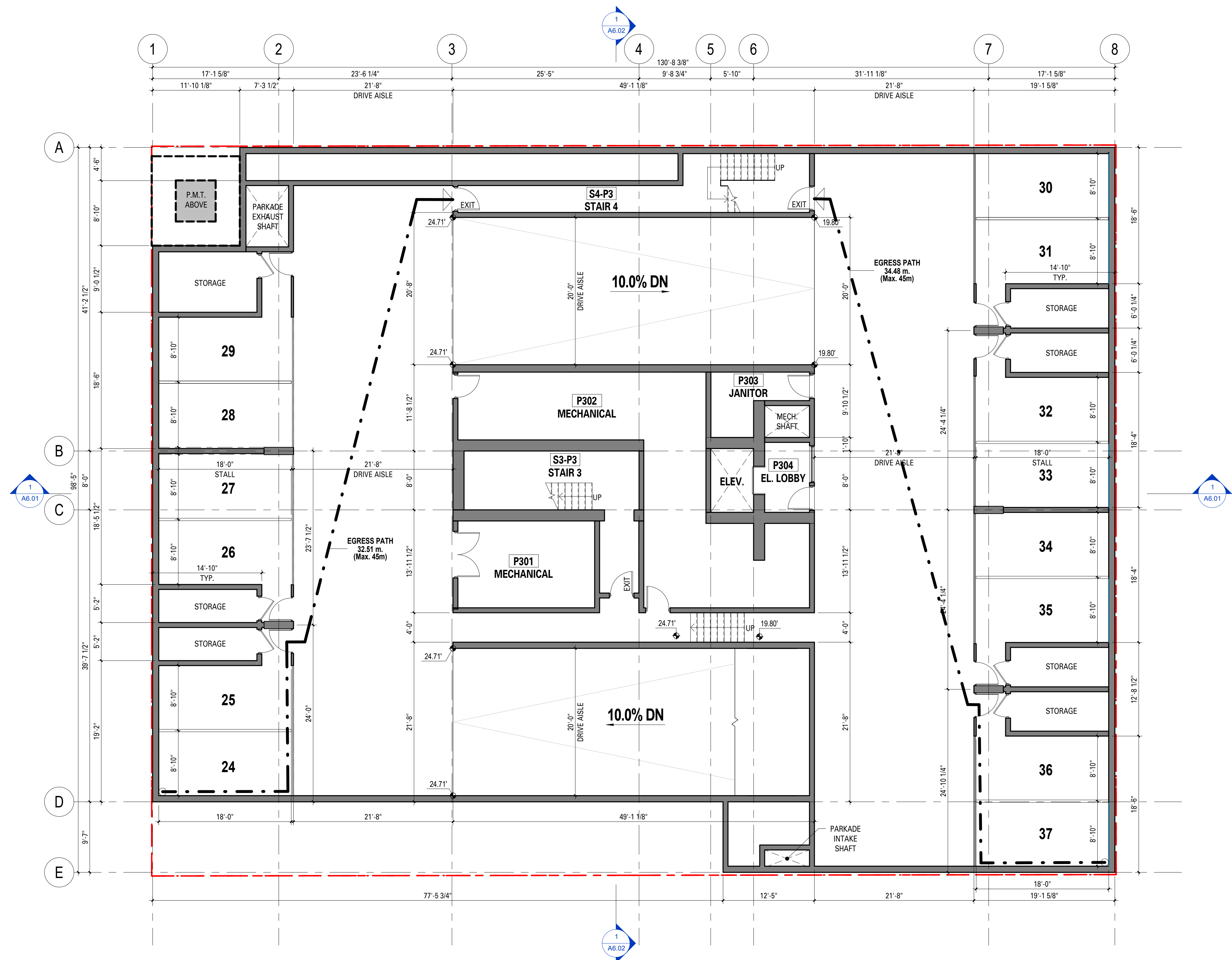
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A1.05

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RESIDENTIAL PARKING CALCULATIONS

Residential Parking (19 Units)	Totals
0.5 per Unit (0 to 538sf)	0
0.6 per Unit (538sf +)	11
+ 1 stall per 2153sf of gross floor area	19
Total	30
(Max. Small Car = 25%)	7

Accessibility	
1 per first 7 units	1
.0034 per additional unit	0
Total	1

Bicycle Parking	
Class A = 1.25 / Unit	24
Req'd Horz. = 50%	12
Max. Vert. = 30%	7
Min. Lockers = 20%	5
Class B = 6 minimum total	6

PARKING SCHEDULE (TOTALS)	
Description	Count
RESIDENTIAL ACCESSIBLE STALL	1
REGULAR STALL	36
RESIDENTIAL: 37	
VISITOR ACCESSIBLE STALL	1
REGULAR STALL	2
VISITOR: 3	
Grand total: 40	

PARKING SCHEDULE (BICYCLE)	
Description	Count
BICYCLE LOCKER (VERTICAL)	5
BICYCLE STALL (HORIZONTAL)	19
Grand total: 24	

Project Title
2030 BARCLAY

2030 Barclay Street
Vancouver, BC



Client/Owner
MARCON DEVELOPMENTS

5645 199 Street
Langley BC V3A 1H9

Sheet Title
LEVEL P3 PLAN

Drawn By
Reviewed by

Author
Approver

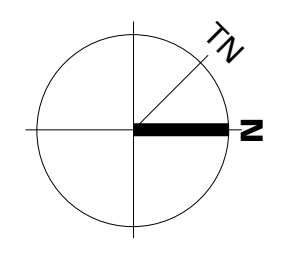
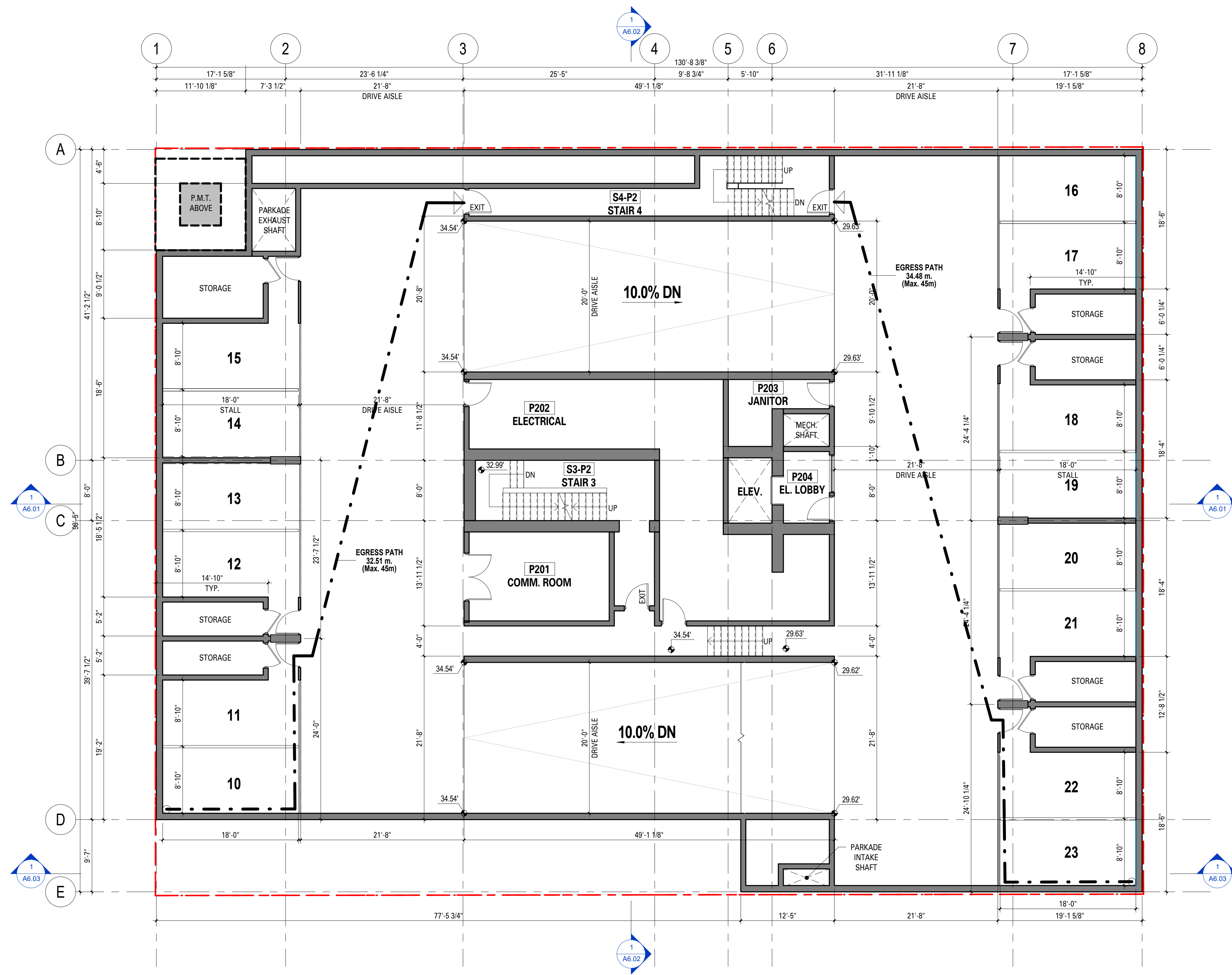
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Issue Date
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A2.01



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RESIDENTIAL PARKING CALCULATIONS

Residential Parking (19 Units)	Totals
0.5 per Unit (0 to 538sf)	0
0.6 per Unit (538sf +)	11
+ 1 stall per 2153sf of gross floor area	19
Total	30
(Max. Small Car = 25%)	7

Accessibility	
1 per first 7 units	1
.0034 per additional unit	0
Total	1

Bicycle Parking	
Class A = 1.25 / Unit	24
Req'd Horiz. = 50%	12
Max. Vert. = 30%	7
Min. Lockers = 20%	5
Class B = 6 minimum total	6

PARKING SCHEDULE (TOTALS)	
Description	Count
RESIDENTIAL	
ACCESSIBLE STALL	1
REGULAR STALL	36
RESIDENTIAL: 37	
VISITOR	
ACCESSIBLE STALL	1
REGULAR STALL	2
VISITOR: 3	
Grand total: 40	

PARKING SCHEDULE (BICYCLE)	
Description	Count
BICYCLE LOCKER (VERTICAL)	5
BICYCLE STALL (HORIZONTAL)	19
Grand total: 24	

Project Title
2030 BARCLAY

2030 Barclay Street
Vancouver, BC



Client/Owner
MARCON DEVELOPMENTS

5645 199 Street
Langley BC V3A 1H9

Sheet Title
LEVEL P2 PLAN

Drawn By
Reviewed by

GC
Approver

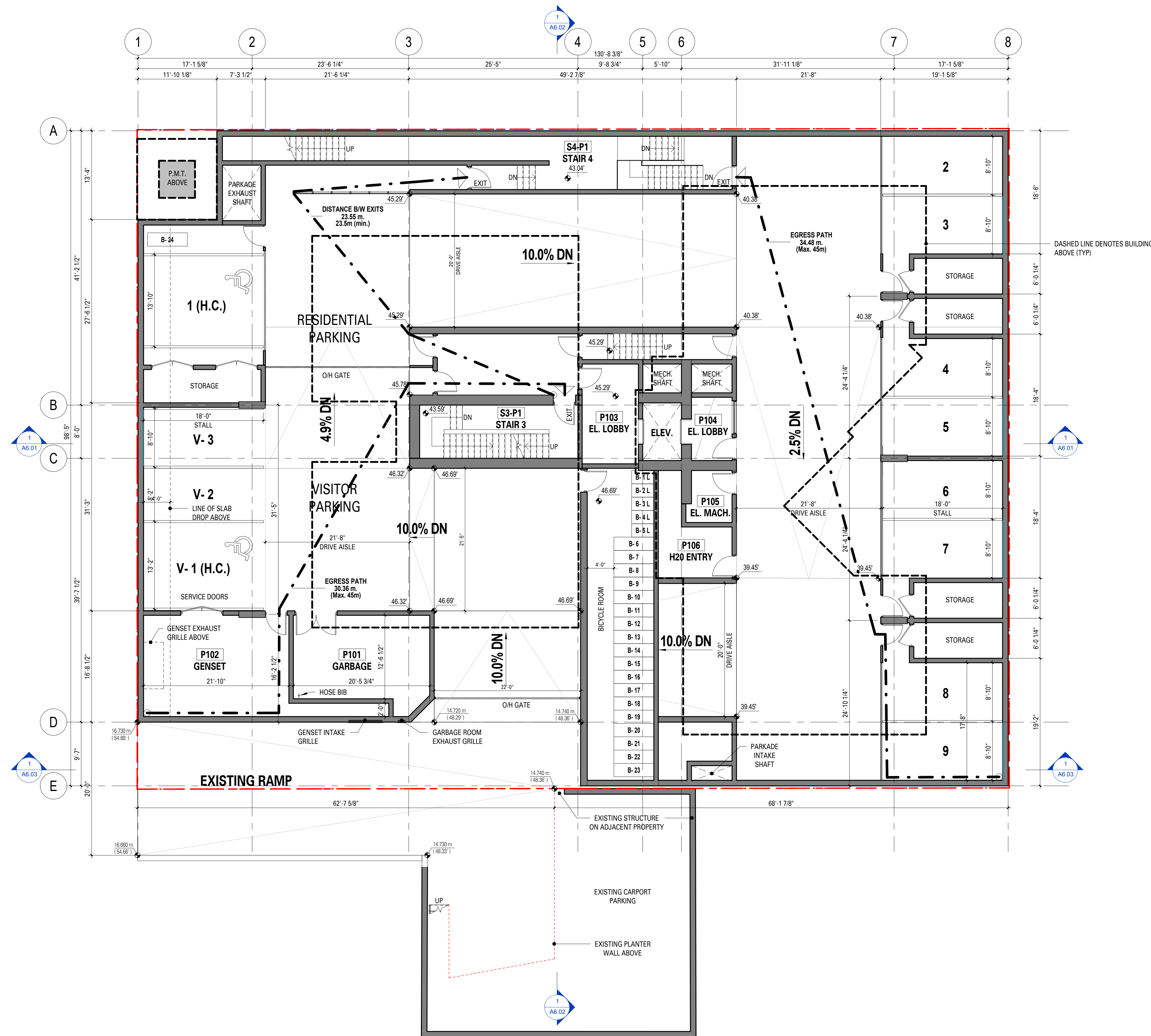
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A

Sheet Number

A2.02



REQUIRED HEADROOM:
 PROVIDE ACCESS ROUTE WITH MINIMUM CLEAR HEADROOM OF 2300mm (7'-6 1/2") TO ALL ACCESSIBLE PARKING STALLS. ALL OTHER AREAS INCLUDING PARKING STALLS REQUIRE MINIMUM CLEAR HEADROOM OF 2000mm (6'-7").

PARKADE FINISHES GENERAL NOTES:
 1. PARKADE WALLS AND COLUMNS TO BE PAINTED WHITE TO FULL HEIGHT - TYPICAL. OWNER TO PROVIDE ALTERNATE COLOURS FOR SPECIFIC ACCENT LOCATIONS.

ELECTRIC VEHICLE CHARGING REQUIREMENTS:
 A MINIMUM OF 20% OF ALL PARKING STALLS TO BE PROVIDED WITH ELECTRICAL OUTLETS SUITABLE FOR THE CHARGING OF ELECTRICAL VEHICLES.

CAPACITY OF ELECTRICAL ROOM IN RELATION TO ELECTRIC VEHICLE CHARGING:
 THE ELECTRICAL ROOM IN A MULTI-FAMILY BUILDING, OR IN THE MULTI-FAMILY COMPONENT OF A MIXED USE BUILDING, THAT IN EITHER CASE INCLUDES THREE OR MORE DWELLING UNITS, MUST INCLUDE SUFFICIENT SPACE FOR THE FUTURE INSTALLATION OF ELECTRICAL EQUIPMENT NECESSARY TO PROVIDE A RECEPTACLE TO ACCOMMODATE USE BY ELECTRIC CHARGING EQUIPMENT FOR 100% OF THE PARKING STALLS THAT ARE FOR USE BY OWNERS OR OCCUPIERS OF THE BUILDING OR OF THE RESIDENTIAL COMPONENT OF THE BUILDING.*

BICYCLE PARKING ROOM TYPICAL NOTES:
 1. A MINIMUM OF 50% OF BICYCLE PARKING STALLS TO BE PLACED HORIZONTALLY ON THE FLOOR AS PER THE CITY OF VANCOUVER BICYCLE PARKING BYLAW 6.3.13.
 2. A MAXIMUM OF 30% OF BICYCLE PARKING STALLS TO BE VERTICAL AS PER THE CITY OF VANCOUVER BICYCLE PARKING BYLAW 6.3.13.
 3. EACH BICYCLE STALL MUST HAVE AN ELECTRICAL OUTLET OR AN ELECTRICAL DUPLEX OUTLET FOR EVERY TWO STALLS.
 4. METAL ENCLOSURES AND DOORS TO MEET THE MINIMUM REQUIREMENTS OF VANCOUVER'S PARKING BYLAW SECTIONS 6.3.4.

RESIDENTIAL PARKING CALCULATIONS

Residential Parking (19 Units)	Totals
0.5 per Unit (0 to 538sf)	0
0.6 per Unit (538sf +)	11
+ 1 stall per 2153sf of gross floor area	19
Total	30
(Max. Small Car = 25%)	7

Accessibility

1 per first 7 units	1
.0034 per additional unit	0
Total	1

Bicycle Parking

Class A = 1.25 / Unit	24
Req'd Horz. = 50%	12
Max. Vert. = 30%	7
Min. Lockers = 20%	5
Class B = 6 minimum total	6

PARKING SCHEDULE (TOTALS)

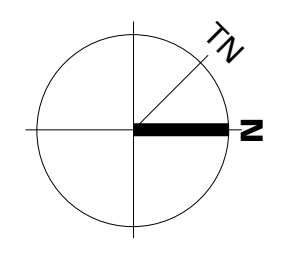
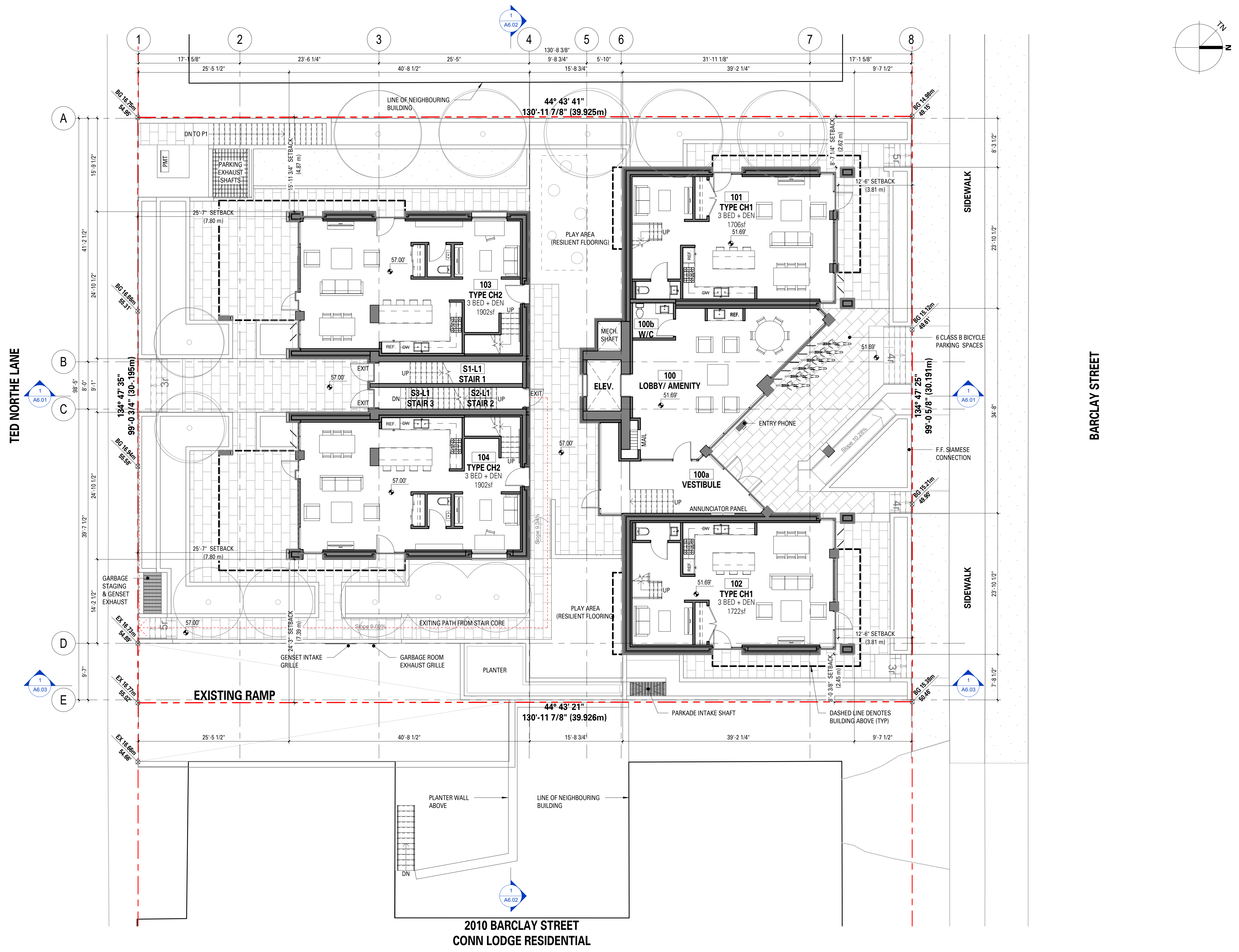
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PARKING SCHEDULE (BICYCLE)

Description	Count
BICYCLE LOCKER (VERTICAL)	5
BICYCLE STALL (HORIZONTAL)	19
Grand total: 24	

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2030 BARCLAY

2030 Barclay Street
Vancouver, BC

MARCON

Client/Owner
MARCON DEVELOPMENTS
5645 199 Street
Langley BC V3A 1H9

Sheet Title
LEVEL 1 PLAN

Drawn By
Reviewed by

Author
Approver

Project Number
1706

Plot Date
Issue Date
2018/07/25

Scale
Issue/Revision
1/8" = 1'-0" **A**

Sheet Number

**2010 BARCLAY STREET
CONN LODGE RESIDENTIAL**

A2.04



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2030 BARCLAY

2030 Barclay Street
Vancouver, BC

Client/Owner
MARCON DEVELOPMENTS

5645 199 Street
Langley BC V3A 1H9

Sheet Title
LEVEL 2 PLAN

Drawn By
Reviewed by

Author
Approver

Project Number
1706

Plot Date
Issue Date
2018/07/25

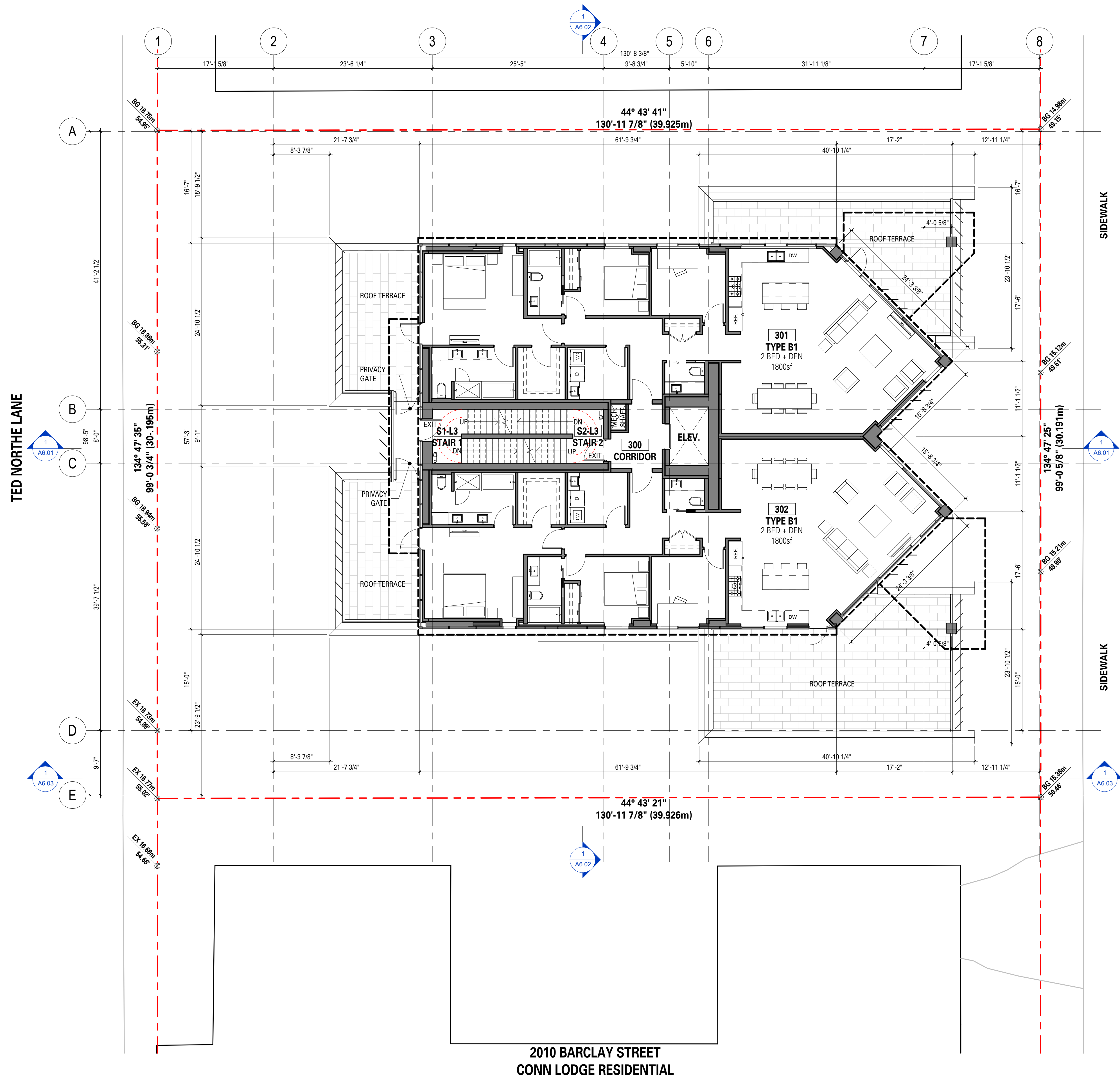
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Sheet Number
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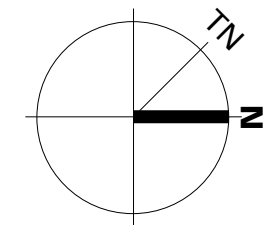
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2010 BARCLAY STREET
CONN LODGE RESIDENTIAL



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2030 Barclay Street
Vancouver, BC

MARCON

Client/Owner
MARCON DEVELOPMENTS

5645 199 Street
Langley BC V3A 1H9

Sheet Title
LEVEL 3 PLAN

Drawn By
Reviewed by

Author
Approver

Project Number
1706

Plot Date
2018/07/25

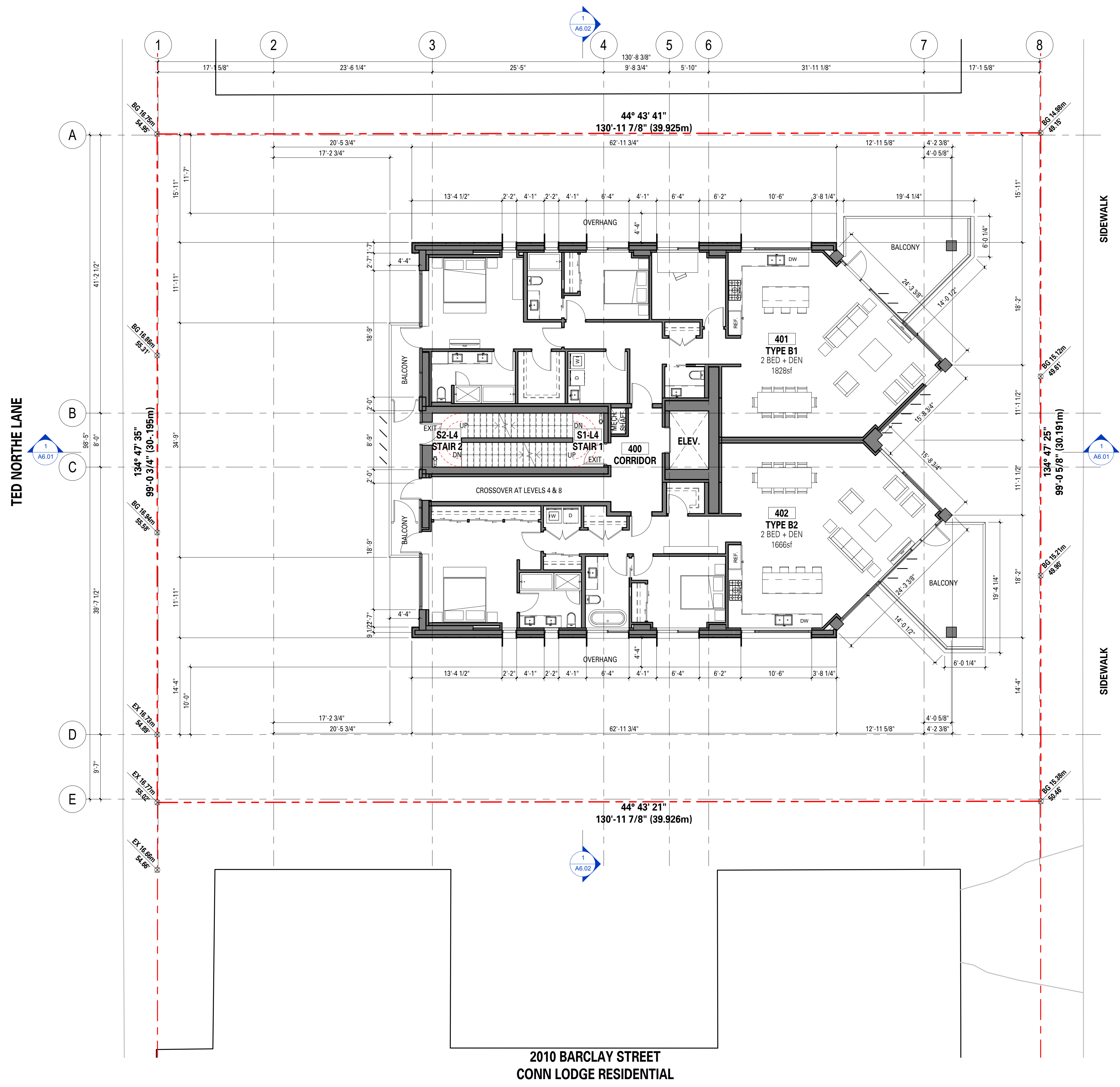
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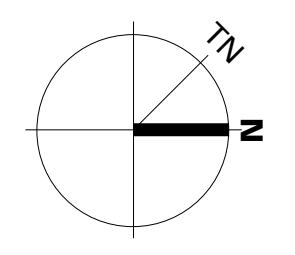
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Sheet Number

A2.06



2010 BARCLAY STREET
CONN LODGE RESIDENTIAL



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No.	Date	Revision Notes
A	2018/07/25	Issued For DP

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Project Title
2030 BARCLAY

2030 Barclay Street
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MARCON

Client/Owner
MARCON DEVELOPMENTS
5645 199 Street
Langley BC V3A 1H9

Sheet Title
**LEVEL 4 PLAN - LEVEL 8
SIMILAR**

Drawn By
Reviewed by

Author
Approver

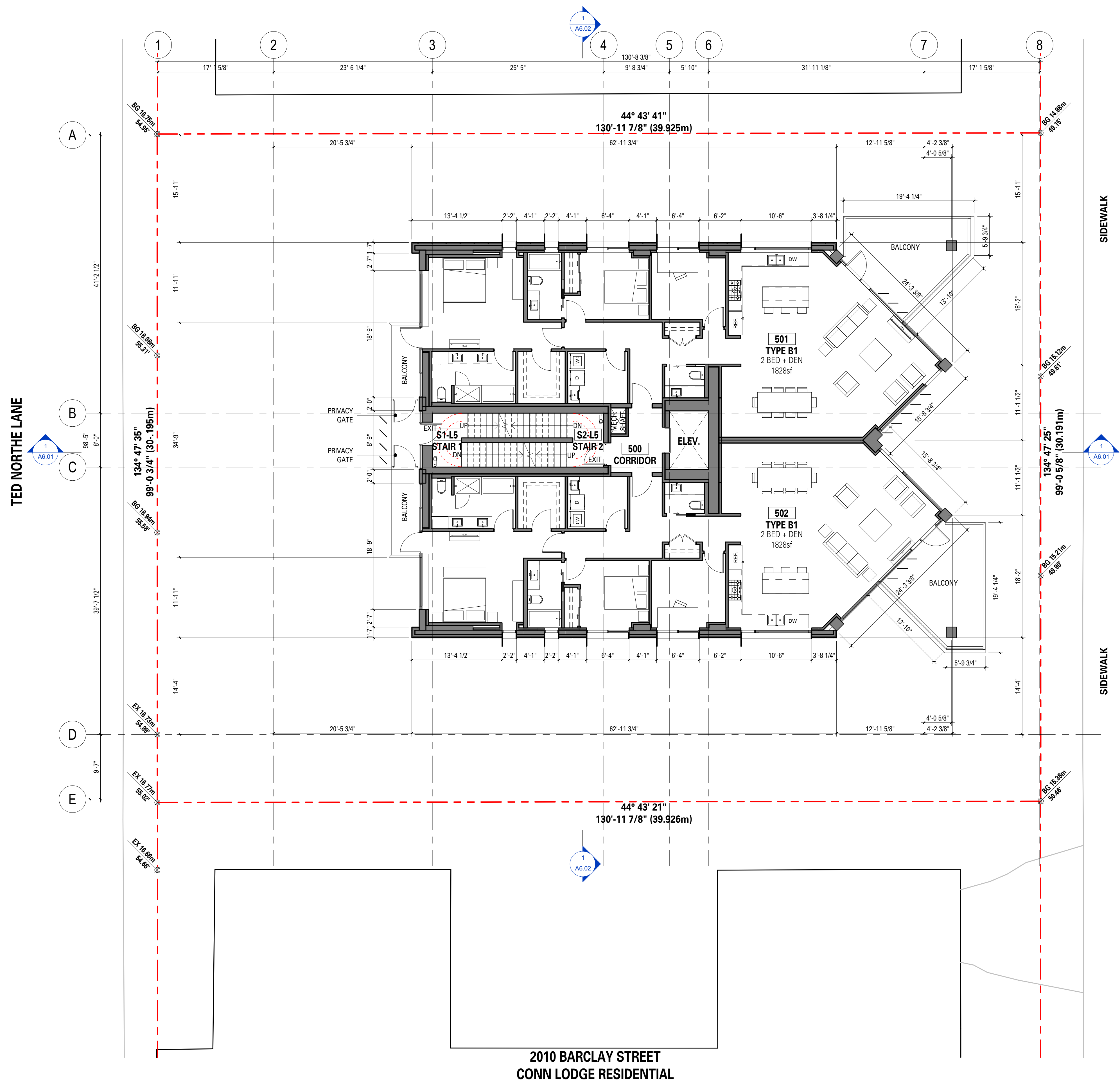
Project Number
1706

Plot Date
Issue Date
2018/07/25

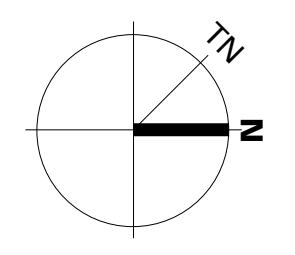
Scale
Issue/Revision
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A2.07



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5645 199 Street
Langley BC V3A 1H9

Sheet Title
**LEVEL 5 PLAN - LEVELS 6, 7 & 9
SIMILAR**

Drawn By
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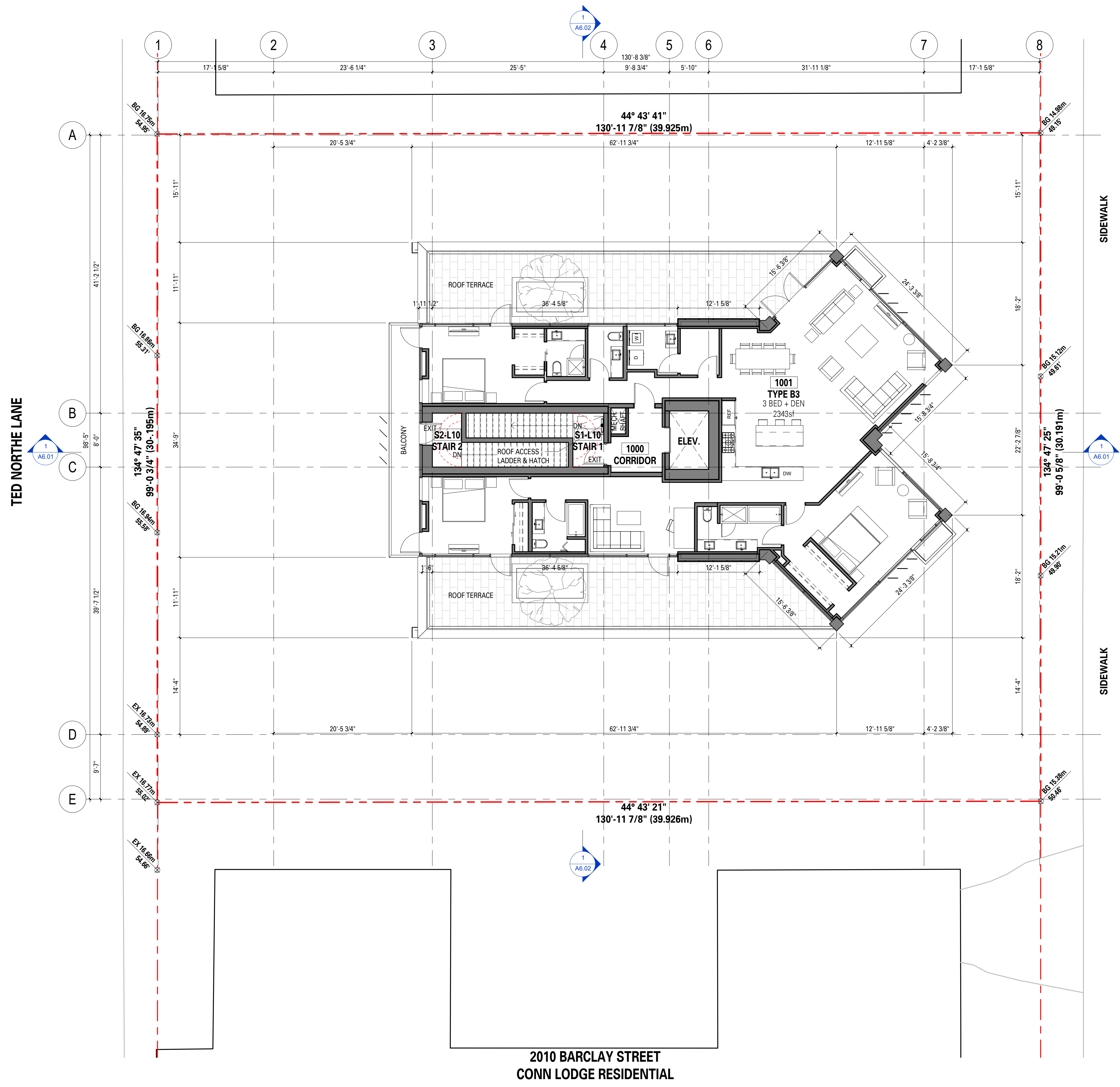
Project Number
1706

Plot Date
Issue Date
2018/07/25

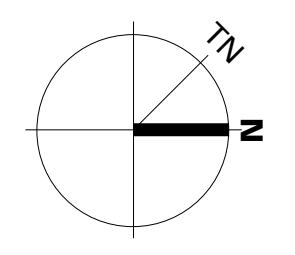
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A2.08



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MARCON DEVELOPMENTS
5645 199 Street
Langley BC V3A 1H9

Sheet Title
LEVEL 10 PLAN

Drawn By
Reviewed by

Author
Approver

Project Number
1706

Plot Date
2018/07/25

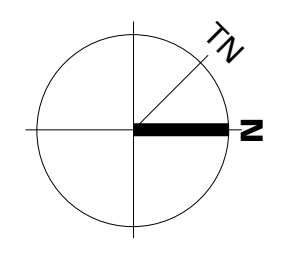
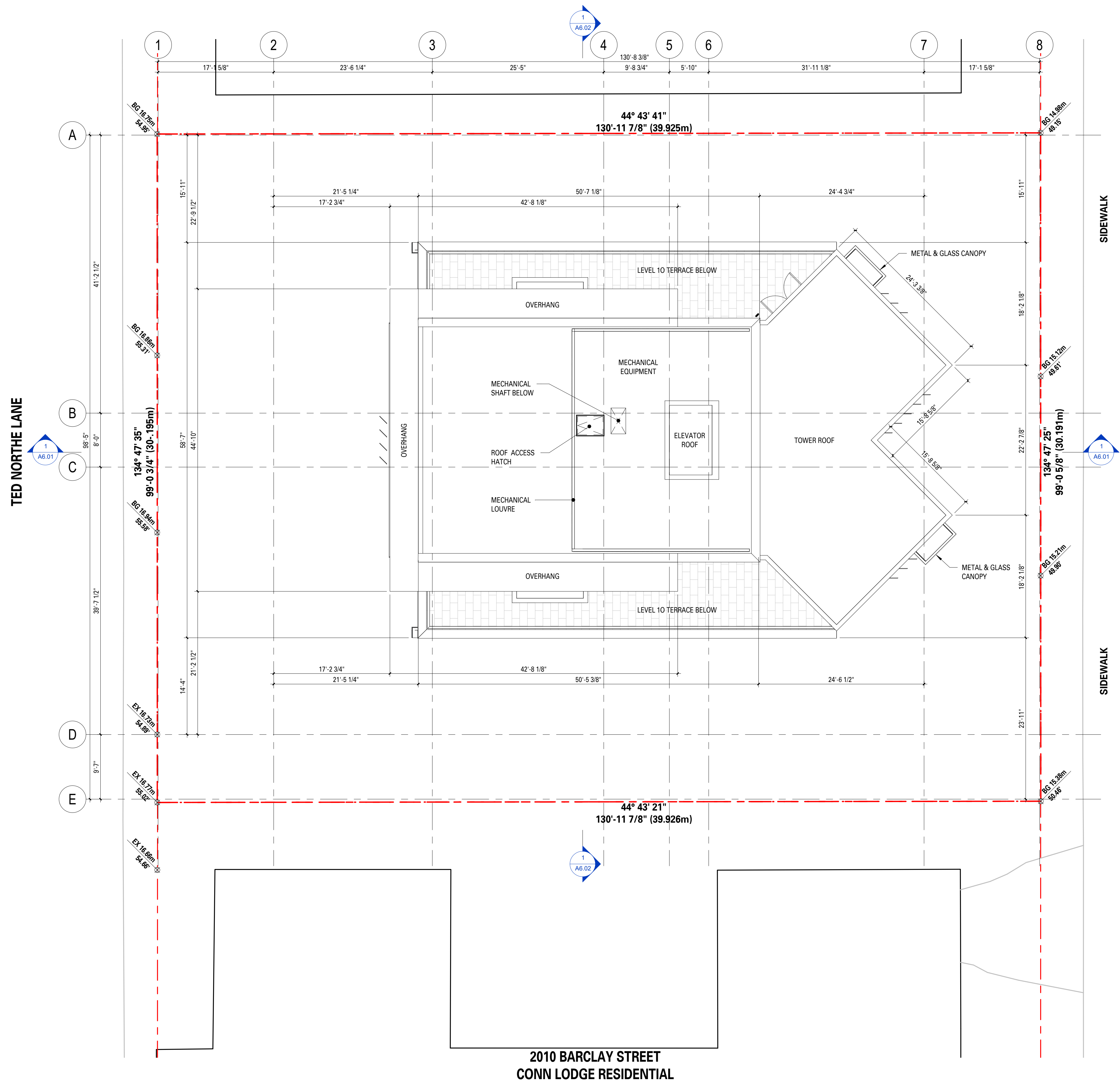
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A2.09



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5645 199 Street
Langley BC V3A 1H9

Sheet Title
ROOF PLAN

Drawn By
Reviewed by

Author
Approver

Project Number
1706

Plot Date
Issue Date
2018/07/25

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1/8" = 1'-0" **A**

Sheet Number
A2.10

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Client/Owner
MARCON DEVELOPMENTS

5645 199 Street
Langley BC V3A 1H9

Sheet Title
NORTH ELEVATION

Drawn By
Reviewed by

Author
Approver

Project Number
1706

Plot Date
Issue Date
2018/07/25

Scale
Issue/Revision
A

Sheet Number

A5.01

MATERIALS

ITEM	MATERIAL
CL-01	STANDING SEAM METAL PANEL CLADDING C/W FLASHINGS - SHERWIN WILLIAMS 'CITYSCAPE - 7067'
CO-01	ARCHITECTURAL CONCRETE WITH SEMI TRANSPARENT STAIN - SHERWIN WILLIAMS 'ACIER 9170'
CO-02	PRECAST COLOURED CONCRETE CAP - TO MATCH BRICK
CO-03	PRECAST COLOURED CONCRETE SILL - TO MATCH BRICK
DW-01	WINDOW WALL SYSTEM - FRAME TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING
DW-02	WINDOW WALL SYSTEM - BACK PAINTED GLASS SPANDREL TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING
DW-03	WINDOW - VINYL - COLOUR TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING
DW-04	METAL SECTIONAL OVERHEAD SECURITY DOOR - PAINTED TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
FIN-01	HEAVY GAUGE METAL FLASHING - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'

ITEM	MATERIAL
HG-01	GUARDRAIL (ALUMINUM & GLASS) - POWDER COAT - SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MA-01	FACE BRICK, NORMAN MODULE, 1/2 BOND - MUTUAL MATERIALS 'IMPERIAL RED' SMOOTH - MORTAR COLOUR TO MATCH
MM-01	METAL CANOPY C/W FROSTED GLASS INLAY - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-02	GALVANIZED & PAINTED STEEL SUNSHADE - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-03	PRIVACY / SECURITY GATE - POWDER COATED ALUMINUM - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-04	GALVANIZED & PAINTED STEEL FINNS - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-05	GALVANIZED & PAINTED STEEL SLAB EXTENSIONS - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-06	ALUMINUM MECHANICAL LOUVRE - POWDER COAT - SHERWIN WILLIAMS 'CITYSCAPE - 7067'

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Project Title
2030 BARCLAY

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Vancouver, BC

MARCON

Client/Owner
MARCON DEVELOPMENTS

5645 199 Street
Langley BC V3A 1H9

Sheet Title
EAST ELEVATION

Drawn By
Reviewed by

Author
Approver

Project Number
1706

Plot Date
Issue Date
2018/07/25

Scale
Issue/Revision
A

Sheet Number

A5.02

25/07/18 11:42:44 AM



MATERIALS

ITEM	MATERIAL
CL-01	STANDING SEAM METAL PANEL CLADDING C/W FLASHINGS - SHERWIN WILLIAMS 'CITYSCAPE - 7067'
CO-01	ARCHITECTURAL CONCRETE WITH SEMI TRANSPARENT STAIN - SHERWIN WILLIAMS 'ACIER 9170'
CO-02	PRECAST COLOURED CONCRETE CAP - TO MATCH BRICK
CO-03	PRECAST COLOURED CONCRETE SILL - TO MATCH BRICK
DW-01	WINDOW WALL SYSTEM - FRAME TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING
DW-02	WINDOW WALL SYSTEM - BACK PAINTED GLASS SPANDREL TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING
DW-03	WINDOW - VINYL - COLOUR TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING
DW-04	METAL SECTIONAL OVERHEAD SECURITY DOOR - PAINTED TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
FIN-01	HEAVY GAUGE METAL FLASHING - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'

ITEM	MATERIAL
HG-01	GUARDRAIL (ALUMINUM & GLASS) - POWDER COAT - SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MA-01	FACE BRICK, NORMAN MODULE, 1/2 BOND - MUTUAL MATERIALS 'IMPERIAL RED' SMOOTH - MORTAR COLOUR TO MATCH
MM-01	METAL CANOPY C/W FROSTED GLASS INLAY - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-02	GALVANIZED & PAINTED STEEL SUNSHADE - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-03	PRIVACY / SECURITY GATE - POWDER COATED ALUMINUM - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-04	GALVANIZED & PAINTED STEEL FINIS - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-05	GALVANIZED & PAINTED STEEL SLAB EXTENSIONS - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-06	ALUMINUM MECHANICAL LOUVRE - POWDER COAT - SHERWIN WILLIAMS 'CITYSCAPE - 7067'

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Project Title
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Client/Owner
MARCON DEVELOPMENTS

5645 199 Street
Langley BC V3A 1H9

Sheet Title
SOUTH ELEVATION

Drawn By
Reviewed by

Author
Approver

Project Number
1706

Plot Date
Issue Date
2018/07/25

Scale
1/8" = 1'-0"
Issue/Revision
A

Sheet Number

A5.03

25/07/18 11:42:56 AM



MATERIALS

ITEM	MATERIAL
CL-01	STANDING SEAM METAL PANEL CLADDING C/W FLASHINGS - SHERWIN WILLIAMS 'CITYSCAPE - 7067'
CO-01	ARCHITECTURAL CONCRETE WITH SEMI TRANSPARENT STAIN - SHERWIN WILLIAMS 'ACIER 9170'
CO-02	PRECAST COLOURED CONCRETE CAP - TO MATCH BRICK
CO-03	PRECAST COLOURED CONCRETE SILL - TO MATCH BRICK
DW-01	WINDOW WALL SYSTEM - FRAME TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING
DW-02	WINDOW WALL SYSTEM - BACK PAINTED GLASS SPANDREL TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING
DW-03	WINDOW - VINYL - COLOUR TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING
DW-04	METAL SECTIONAL OVERHEAD SECURITY DOOR - PAINTED TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
FIN-01	HEAVY GAUGE METAL FLASHING - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'

ITEM	MATERIAL
HG-01	GUARDRAIL (ALUMINUM & GLASS) - POWDER COAT - SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MA-01	FACE BRICK, NORMAN MODULE, 1/2 BOND - MUTUAL MATERIALS 'IMPERIAL RED' SMOOTH - MORTAR COLOUR TO MATCH
MM-01	METAL CANOPY C/W FROSTED GLASS INLAY - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-02	GALVANIZED & PAINTED STEEL SUNSHADE - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-03	PRIVACY / SECURITY GATE - POWDER COATED ALUMINUM - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-04	GALVANIZED & PAINTED STEEL FINNS - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-05	GALVANIZED & PAINTED STEEL SLAB EXTENSIONS - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-06	ALUMINUM MECHANICAL LOUVRE - POWDER COAT - SHERWIN WILLIAMS 'CITYSCAPE - 7067'

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Project Title
2030 BARCLAY

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Vancouver, BC

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Client/Owner
MARCON DEVELOPMENTS

5645 199 Street
Langley BC V3A 1H9

Sheet Title
WEST ELEVATION

Drawn By
Reviewed by

Author
Approver

Project Number
1706

Plot Date
Issue Date
2018/07/25

Scale
1/8" = 1'-0"
Issue/Revision
A

Sheet Number

A5.04

MATERIALS

ITEM	MATERIAL
CL-01	STANDING SEAM METAL PANEL CLADDING C/W FLASHINGS - SHERWIN WILLIAMS 'CITYSCAPE - 7067'
CO-01	ARCHITECTURAL CONCRETE WITH SEMI TRANSPARENT STAIN - SHERWIN WILLIAMS 'ACIER 9170'
CO-02	PRECAST COLOURED CONCRETE CAP - TO MATCH BRICK
CO-03	PRECAST COLOURED CONCRETE SILL - TO MATCH BRICK
DW-01	WINDOW WALL SYSTEM - FRAME TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING
DW-02	WINDOW WALL SYSTEM - BACK PAINTED GLASS SPANDREL TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING
DW-03	WINDOW - VINYL - COLOUR TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING
DW-04	METAL SECTIONAL OVERHEAD SECURITY DOOR - PAINTED TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
FIN-01	HEAVY GAUGE METAL FLASHING - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'

ITEM	MATERIAL
HG-01	GUARDRAIL (ALUMINUM & GLASS) - POWDER COAT - SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MA-01	FACE BRICK, NORMAN MODULE, 1/2 BOND - MUTUAL MATERIALS 'IMPERIAL RED' SMOOTH - MORTAR COLOUR TO MATCH
MM-01	METAL CANOPY C/W FROSTED GLASS INLAY - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-02	GALVANIZED & PAINTED STEEL SUNSHADE - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-03	PRIVACY / SECURITY GATE - POWDER COATED ALUMINUM - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-04	GALVANIZED & PAINTED STEEL FINNS - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-05	GALVANIZED & PAINTED STEEL SLAB EXTENSIONS - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'
MM-06	ALUMINUM MECHANICAL LOUVRE - POWDER COAT - SHERWIN WILLIAMS 'CITYSCAPE - 7067'



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2030 BARCLAY

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5645 199 Street
Langley BC V3A 1H9

Sheet Title
BUILDING SECTION - NORTH / SOUTH

Drawn By
Reviewed by

Author
Approver

Project Number
1706

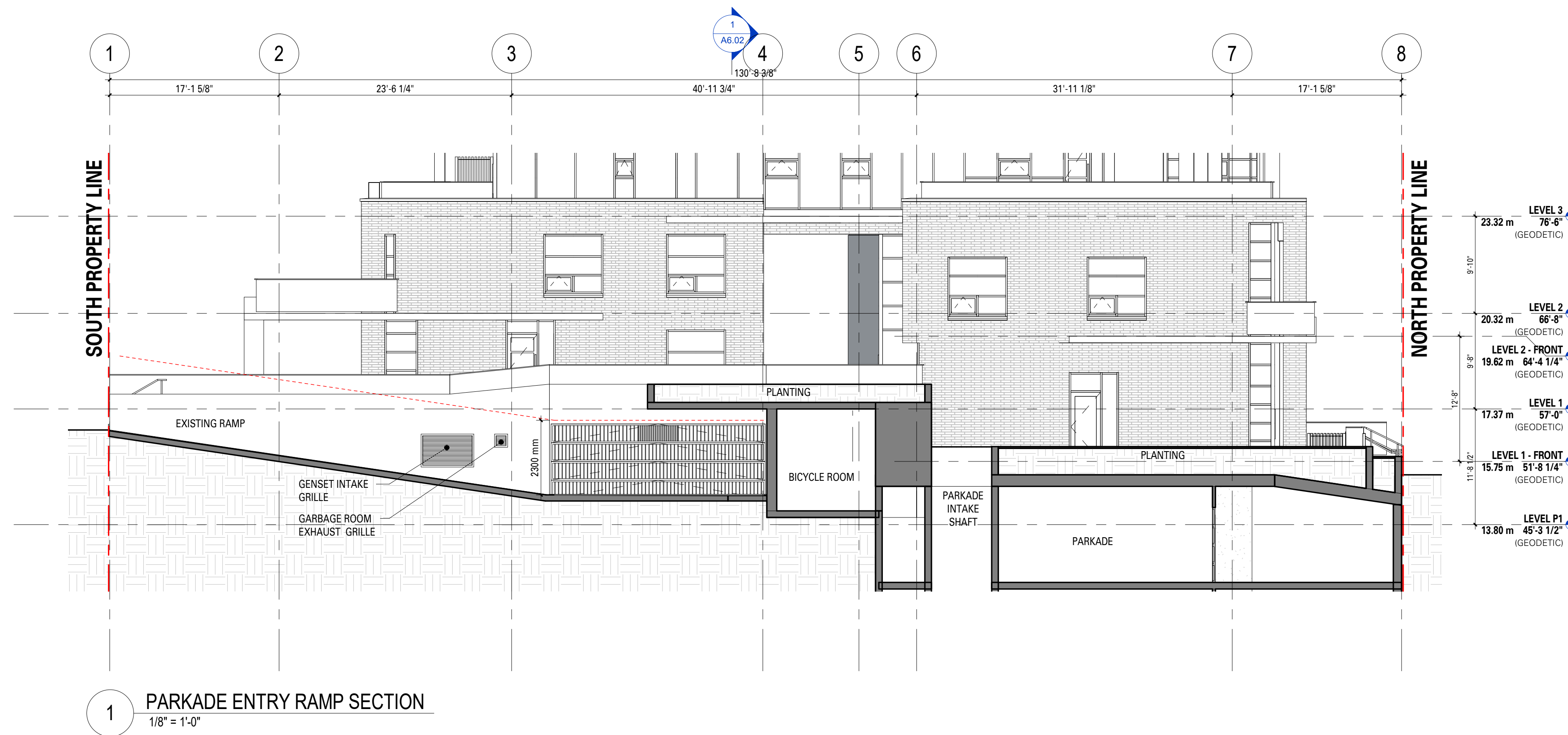
Plot Date
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2018/07/25

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Sheet Number

A6.01

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1 PARKADE ENTRY RAMP SECTION
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5645 199 Street
Langley BC V3A 1H9

Sheet Title
BUILDING SECTION - PARTIALS

Drawn By
Reviewed by

Author
Approver

Project Number
1706

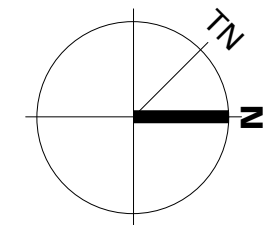
Plot Date
Issue Date
2018/07/25

Scale
Issue/Revision
1/8" = 1'-0" **A**

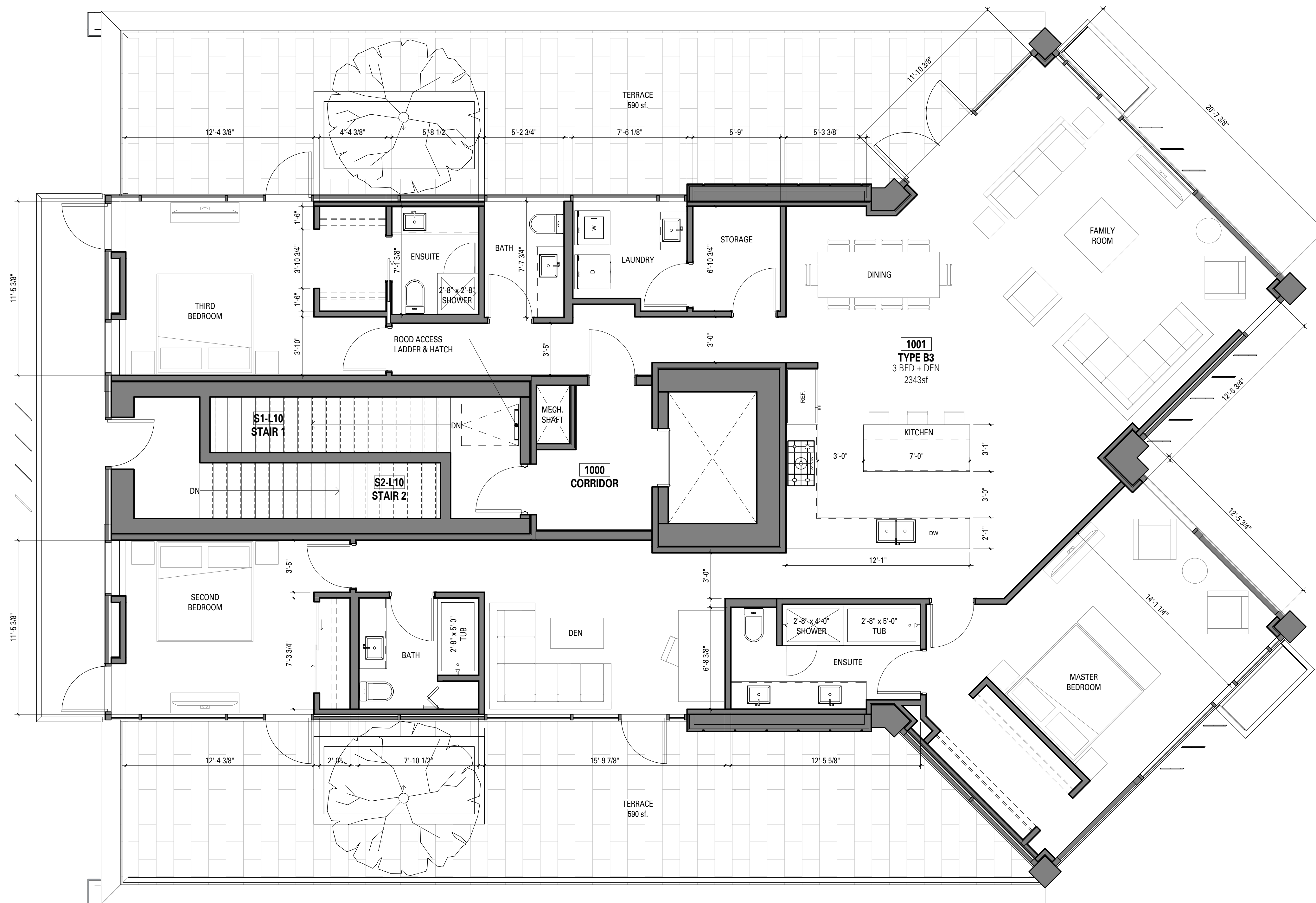
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2030 BARCLAY

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MARCON DEVELOPMENTS

5645 199 Street
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Sheet Title
UNIT PLANS - TYPE B3

Drawn By
Reviewed by

Author
Approver

Project Number
1706

Plot Date
Issue Date
2018/07/25

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Issue/Revision
1/4" = 1'-0" A

Sheet Number

A7.06

2 UNIT TYPE B3 - PENTHOUSE
1/4" = 1'-0"