**LOCATION PLAN** 

# BARCLAY STREET

#### **PROPERTY INFORMATION**

#### **Legal Description:**

Strata Plan VAS2182 District Lot 185 Group 1 N.W.D.

#### Civic Adresses:

Lot 185: 2030 Barclay Street

#### **PROJECT TEAM**

#### DEVELOPER

MARCON BARCLAY (GP) LTD. Suite 5645 - 199th Street, Langley BC, V3A 1H9 (604) 530.5646

#### **DESIGN ARCHITECT**

#### **HENRIQUEZ PARTNERS ARCHITECTS**

598 W. Georgia Street, Vancouver BC, V6B 2A3 (604) 687.5681

#### **ARCHITECT**

#### SHIFT ARCHITECTURE INC.

Suite 200 - 1000 W. 3rd Street, North Vancouver BC, V7P 3J6 (604) 988.7501

#### **BUILDING CODE**

#### LMDG BUILDING CODE CONSULTANTS LTD.

780 Beatty Street, Vancouver BC, V6B 2M1 (604) 682.7146

### STRUCTURAL

#### BRYSON MARKULIN ZICKMANTEL STRUCTURAL ENGINEERS 510 Burrard Street, Vancouver BC, V6C 3A8

(604) 685.9533

#### **MECHANICAL**

#### **NORMAN DISNEY & YOUNG**

608 - 1166 Alberni Street, Vancouver BC, V6E 3Z3 (604) 734.9338

#### **ELECTRICAL**

#### NEMETZ (S/A) & ASSOCIATES LTD.

2009 W. 4th Avenue, Vancouver BC, V6J 1N3

#### (604) 736.6562

#### LANDSCAPE ARCHITECT

PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC. 1201 W. Pender Street, Vancouver BC, V6E 2V2

#### (604) 688.6111

#### SURVEY

#### **BUTLER SUNDVICK**

4 - 19089 94th Avenue, Surrey BC, V4N 3S4 (604) 513.9611

### **PROJECT STATISTICS**

ZONING CALCULATIONS

SITE AREA

| 129/0 81 (1202.3   | 71 31117   |  |  | Allowable   | 0488.00 \$1  | JU70  |
|--|--|--|--|---|--|---|
|  |  |  |  | Proposed  | 5641.89 sf   | 43%   |
| SETBACKS   | North  | East   | South  | West  |  |   |
| Allowable  | 3.70m (12'-0")   | 2.10m (6'-10")   | 2.10m (6'-10")*  | 2.10m (6'-10")  |  |   |
| Proposed   | 3.81m (12'-6")   | 2.45m (8'-0")  | 7.80m (25'-7")   | 2.62m (8'-7")   |  |   |
| Section 4.17.1 of t  | he zoning bylaw require  | s 4.5m (14'-9")  |  |   |  |   |
| SETBACKS - ADJ   | ACENT TOWERS   |  |  | BUILDING HEIGHT   |  |   |
| Allowable  |  | 24.40m (80'-0")  |  | Allowable   | 18.3m (60'-0")*  |   |
| North Tower Pro  | oposed   | 28.25m (92'-8")  |  | Proposed  | 58m (190'-0")  |   |
| South Tower Pro  | oposed   | 24.4m (80'-0")   |  | *Conditional approval   | 58m (190'-0")  |   |
| Floor Level  |  |  |  |   |  |   |
| Level 1  | FSR Area   | Exclusions   | GFA  | RES. Ne   | t Circulation  | Unit Cou  |
| Level 2  | 4683.52  | A CONTRACTOR OF THE PARTY OF TH | A STATE OF S |   | A LIGHT OF THE PARTY OF THE PAR | Unit Cou  |
|  |  | 958.37   | A STATE OF S | 3461.62   | 1221.90  | JUST THE LANGE OF THE PARTY OF |
| Level 3  | 4683.52  | 958.37<br>162.15   | 5641.89<br>3950.81   | 3461.62<br>3514.90  | 2 1221.90<br>2 273.76  | AND PROPERTY OF THE PROPERTY OF   |
|  | 4683.52<br>3788.66   | 958.37<br>162.15<br>80.00  | 5641.89<br>3950.81   | 3461.62<br>3514.90<br>3519.74   | 2 1221.90<br>0 273.76<br>4 452.83  | 4   |
| Level 3<br>Level 4<br>Level 5                                  | 4683.52<br>3788.66<br>3972.57  | 958.37<br>162.15<br>80.00<br>112.69  | 5641.89<br>3950.81<br>4052.57  | 3461.62<br>3514.90<br>3519.74<br>3422.6   | 2 1221.90<br>0 273.76<br>4 452.83<br>1 614.92  | 4   |
| Level 4  | 4683.52<br>3788.66<br>3972.57<br>4037.53   | 958.37<br>162.15<br>80.00<br>112.69<br>152.69  | 5641.89<br>3950.81<br>4052.57<br>4150.22   | 3461.62<br>3514.90<br>3519.74<br>3422.6<br>3543.87  | 2 1221.90<br>2 273.76<br>4 452.83<br>6 614.92<br>7 453.66  | 4<br>2<br>2   |
| Level 4<br>Level 5<br>Level 6                                  | 4683.52<br>3788.66<br>3972.57<br>4037.53<br>3997.53                                  | 958.37<br>162.15<br>80.00<br>112.69<br>152.69  | 5641.89<br>3950.81<br>4052.57<br>4150.22<br>4150.22  | 3461.62<br>3514.90<br>3519.74<br>3422.67<br>3543.87   | 2 1221.90<br>273.76<br>4 452.83<br>614.92<br>7 453.66  | 4<br>2<br>2<br>2  |
| Level 4<br>Level 5   | 4683.52<br>3788.66<br>3972.57<br>4037.53<br>3997.53<br>3997.53                       | 958.37<br>162.15<br>80.00<br>112.69<br>152.69<br>152.69  | 5641.89<br>3950.81<br>4052.57<br>4150.22<br>4150.22  | 3461.62<br>3514.90<br>3519.74<br>3422.61<br>3543.87<br>3543.87                                  | 2 1221.90<br>273.76<br>4 452.83<br>1 614.92<br>7 453.66<br>7 453.66  | 4<br>2<br>2<br>2<br>2<br>2  |
| Level 4<br>Level 5<br>Level 6<br>Level 7                       | 4683.52<br>3788.66<br>3972.57<br>4037.53<br>3997.53<br>3997.53                       | 958.37<br>162.15<br>80.00<br>112.69<br>152.69<br>152.69<br>112.69  | 5641.89<br>3950.81<br>4052.57<br>4150.22<br>4150.22<br>4150.22   | 3461.62<br>3514.90<br>3519.74<br>3422.62<br>3543.87<br>3543.87<br>343.87                        | 2 1221.90<br>273.76<br>4 452.83<br>1 614.92<br>7 453.66<br>7 453.66<br>7 453.66  | 2<br>2<br>2<br>2<br>2<br>2  |
| Level 4<br>Level 5<br>Level 6<br>Level 7<br>Level 8            | 4683.52<br>3788.66<br>3972.57<br>4037.53<br>3997.53<br>3997.53<br>4037.53            | 958.37<br>162.15<br>80.00<br>112.69<br>152.69<br>152.69<br>112.69  | 5641.89<br>3950.81<br>4052.57<br>4150.22<br>4150.22<br>4150.22<br>4150.22  | 3461.62<br>3514.90<br>3519.74<br>3422.61<br>3543.87<br>3543.87<br>3543.87<br>3543.87            | 2 1221.90<br>273.76<br>4 452.83<br>1 614.92<br>7 453.66<br>7 453.66<br>7 453.66<br>1 614.92<br>7 453.66  | 4<br>2<br>2<br>2<br>2<br>2<br>2<br>2  |
| Level 4<br>Level 5<br>Level 6<br>Level 7<br>Level 8<br>Level 9 | 4683.52<br>3788.66<br>3972.57<br>4037.53<br>3997.53<br>3997.53<br>4037.53<br>3997.53 | 958.37<br>162.15<br>80.00<br>112.69<br>152.69<br>152.69<br>112.69<br>152.69  | 5641.89<br>3950.81<br>4052.57<br>4150.22<br>4150.22<br>4150.22<br>4150.22<br>4150.22   | 3461.62<br>3514.90<br>3519.74<br>3422.67<br>3543.87<br>3543.87<br>3422.67<br>3543.87<br>2288.07 | 2 1221.90<br>273.76<br>4 452.83<br>6 614.92<br>7 453.66<br>7 453.66<br>1 614.92<br>7 453.66<br>1 453.66  | 2<br>2<br>2<br>2<br>2<br>2<br>2<br>2  |

#### **UNIT MIX SUMMARY**

Total (sq.m.) 3646.58

(Exclusions include Amenity, Insuite Storage & Thermal Wall)

(All areas are in square feet unless note otherwise)

| Unit Type     | Area (sq.ft.) | Туре                                    | Unit Count | Total Unit Area | Ratio | Percent |
|---------------|---------------|---|------------|-----------------|-------|---------|
| CH1- 2 Storey | 1714          | 3 bed + den                             | 2          | 3428            | 0.11  | 11%     |
| CH2- 2 Storey | 1902          | 3 bed + den                             | 2          | 3804            | 0.11  | 11%     |
| Unit B1       | 1823          | 2 bed + den                             | 12         | 21876           | 0.63  | 63%     |
| Unit B2       | 1661          | 2 bed                                   | 2          | 3322            | 0.11  | 11%     |
| Unit B3       | 2341          | 3 bed + den                             | 1          | 2341            | 0.05  | 5%      |
| Total         | 9,441         | 100 200 200 200 200 200 200 200 200 200 | 19         | 34,771          | 1.00  | 100%    |

3840.92

3140.58

506.00

## FLOOR SPACE RATIO (FSR)

Loading

| Site Area     | 12976  | Outright + Heritage | Total FSR |
|---------------|--------|---------------------|-----------|
| Allowable FSR | 39,252 | 2.75 + 0.275        | 3.025     |
| Proposed FSR  | 39,252 |                     | 3.025     |

## PARKING INFORMATION

#### DDAWING LICT

| <u>DRAW</u> | <u>ING LIST</u>                        |
|-------------|--|
| A0.00       | COVER SHEET                            |
| A1.01       | CONTEXT & FIRE PLAN                    |
| A1.02       | CONTEXT IMAGES                         |
| A1.03       | SITE PLAN                              |
| A1.04       | SHADOW STUDIES                         |
| A1.05       | UNIT AREAS                             |
| A1.06       | PERSPECTIVES                           |
| A2.01       | LEVEL P3 PLAN                          |
| A2.02       | LEVEL P2 PLAN                          |
| A2.03       | LEVEL P1 PLAN                          |
| A2.04       | LEVEL 1 PLAN                           |
| A2.05       | LEVEL 2 PLAN                           |
| A2.06       | LEVEL 3 PLAN                           |
| A2.07       | LEVEL 4 PLAN - LEVEL 8 SIMILAR         |
| A2.08       | LEVEL 5 PLAN - LEVELS 6, 7 & 9 SIMILAR |
| A2.09       | LEVEL 10 PLAN                          |
| A2.10       | ROOF PLAN                              |
| A5.01       | NORTH ELEVATION                        |
| A5.02       | EAST ELEVATION                         |
| A5.03       | SOUTH ELEVATION                        |
| A5.04       | WEST ELEVATION                         |
| A6.01       | BUILDING SECTION - NORTH / SOUTH       |
| A6.02       | BUILDING SECTION - EAST / WEST         |
| A6.03       | BUILDING SECTION - PARTIALS            |
| A7.01       | UNIT PLANS - CITY HOME C1              |
| A7.02       | UNIT PLANS - CITY HOME C2              |
| A7.04       | UNIT PLANS - TYPE B1                   |
| A7.05       | UNIT PLANS - TYPE B2                   |
| A7.06       | UNIT PLANS - TYPE B3                   |
| FSR 0.00    | FSR SUMMARY                            |
| FSR 1.00    | ALL OVERLAYS                           |
| FSR 1.01    | FSR OVERLAYS - LEVEL 1                 |
| FSR 1.02    | FSR OVERLAYS - LEVEL 2                 |
| FSR 1.03    | FSR OVERLAYS - LEVEL 3                 |
| FSR 1.04    | FSR OVERLAYS - LEVEL 4                 |
| FSR 1.05    | FSR OVERLAYS - LEVEL 5                 |
| FSR 1.06    | FSR OVERLAYS - LEVEL 6                 |
|             |  |

FSR 1.07 FSR OVERLAYS - LEVEL 7

FSR 1.08 FSR OVERLAYS - LEVEL 8

FSR 1.09 FSR OVERLAYS - LEVEL 9

FSR 1.10 FSR OVERLAYS - LEVEL 10

## **DESIGN RATIONALE**

The existing building on the site has been operated as a hotel, which means that the zero rate of change provisions in the area for rental accommodation does not apply. Therefore, the site can be developed as a market condominium project. The concept is to develop a project that caters to families with all of the units in the 2,000 sf range and having 2 bedrooms and a den typically, with private outdoor spaces.

The project contains 19 residential units broken down into a number of discreet elements in order to give a more human scale and better relate to the surrounding buildings. Inspired by most of the buildings in the West End, the proposed architecture is unabashedly modern, but residential scaled windows and warm textured materials, including masonry, gives the appropriate character for this area of the city.

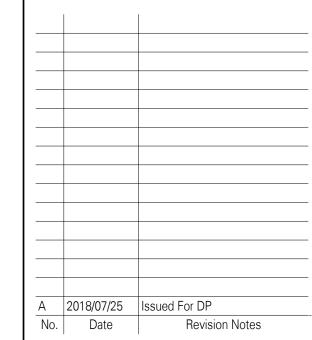
# **ARCHITECTURE**

200,1000 West 3rd Street North Vancouver, BC V7P 3J6 T 604.988.7501 | shiftarchitecture.ca

598 W Georgia Street Vancouver BC Canada V6B 2A3

604 687 5681

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Project Title 2030 BARCLAY

2030 Barclay Street Vancouver, BC

## MARCON

Client/Owner

#### MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

**COVER SHEET** 

Drawn By Reviewed by

Project Number

Plot Date

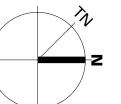
2018/07/25

As indicated

Sheet Number

Issue Date

ISSN





North Vancouver, BC V7P 3J6

T 604.988.7501 | shiftarchitecture.ca

Henriquez Partners Architect

200,1000 West 3rd Street

Henriquez Partners Architects

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| Α    | 2018/07/25 | Issued For DP   |
| No.  | Date       | Revision Notes  |
| IVO. | Date       | TICVISION NOTES |

Project Title
2030 BARCLAY

2030 Barclay Street Vancouver, BC

## MARCON

Client/Owner

MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

CONTEXT & FIRE PLAN

Drawn By Author
Reviewed by Approver

Project Number
1706

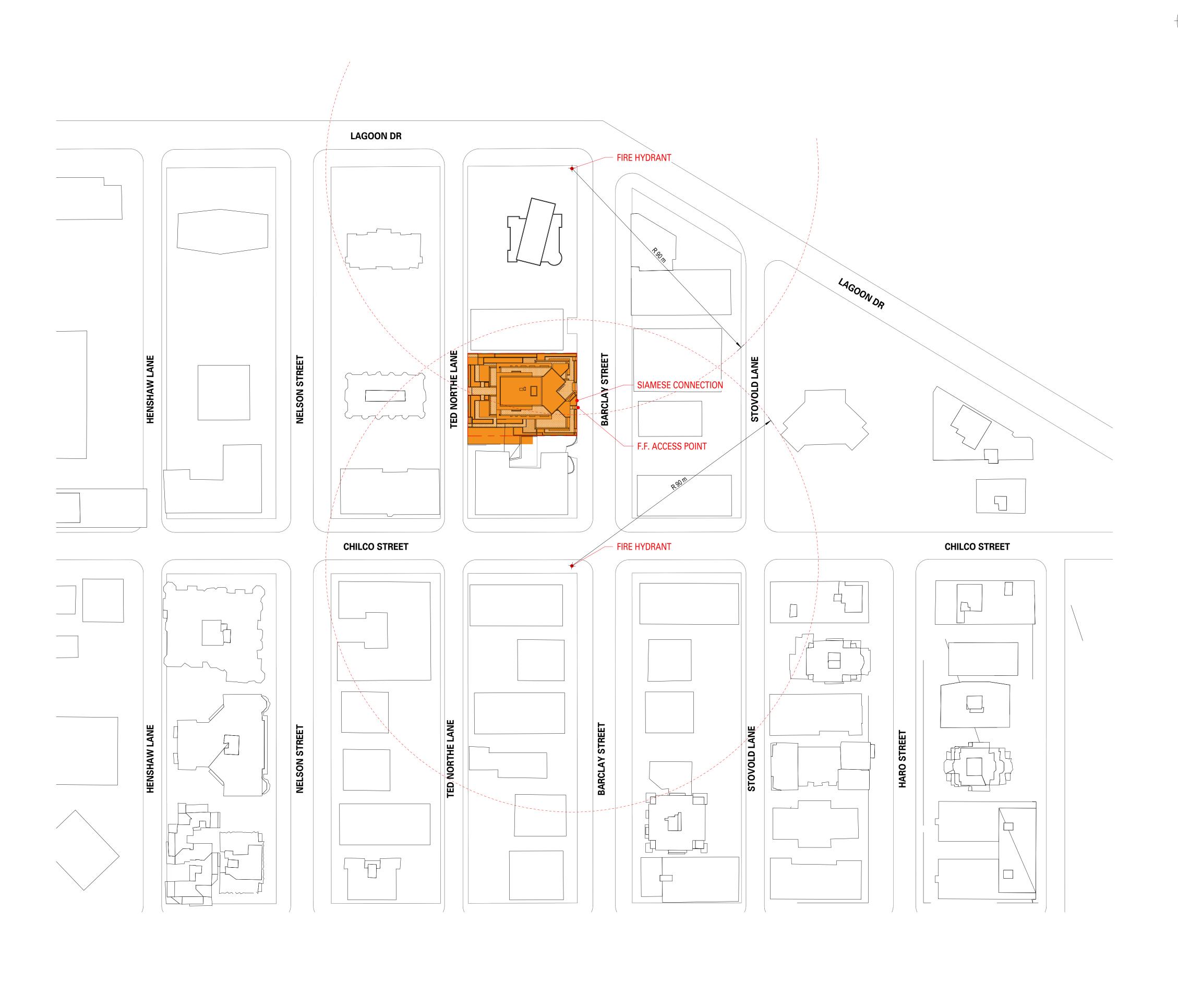
Plot Date

Issue Date 2018/07/25

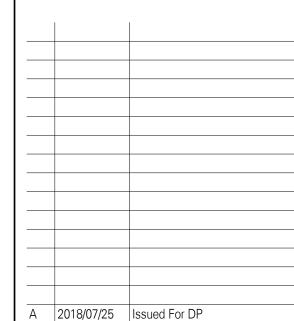
Scale
1" = 60'-0"

Sheet Number

A1.01



**ARCHITECTURE** 



No. Date





2030 Barclay Street Vancouver, BC



MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9 Sheet Title

Client/Owner

CONTEXT IMAGES

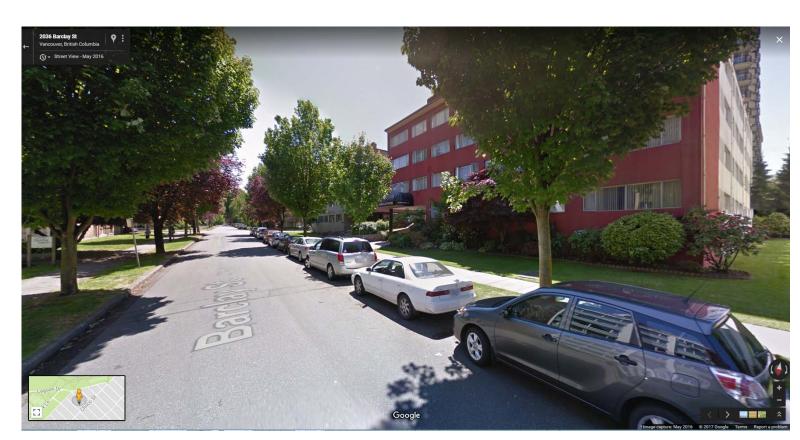
Drawn By Author Reviewed by Approver

Project Number **1706** 

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Sheet Number





VIEW FROM BARCLAY STREET LOOKING EAST



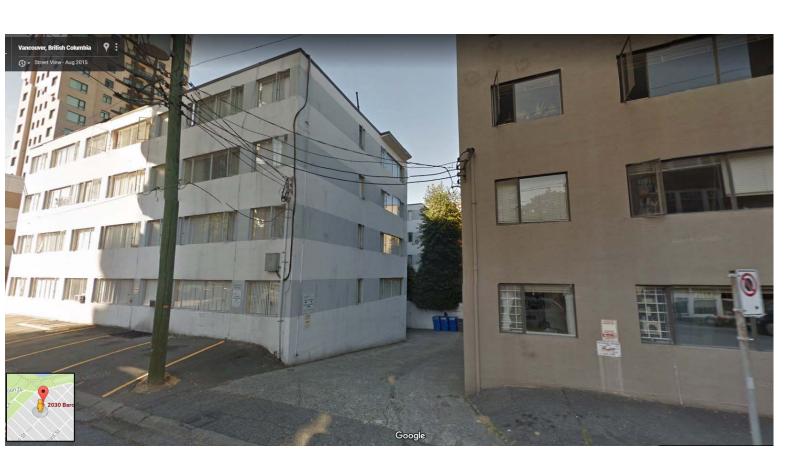
VIEW FROM BARCLAY STREET LOOKING SOUTH



VIEW FROM BARCLAY STREET LOOKING WEST



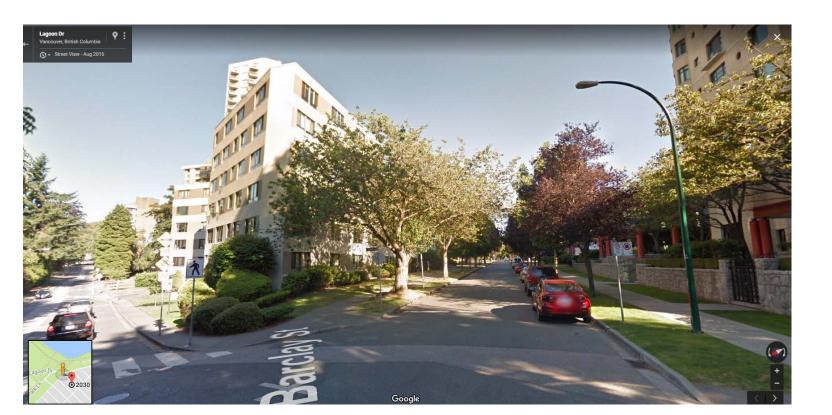
VIEW FROM TED NORTHE LANE LOOKING EAST



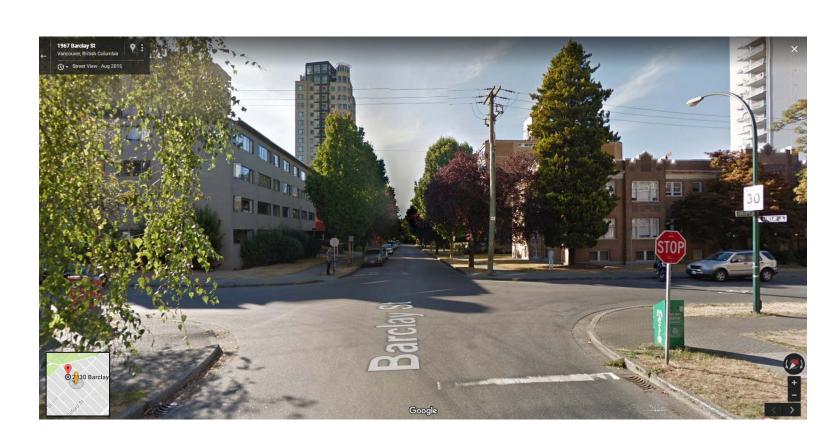
VIEW FROM TED NORTHE LANE LOOKING NORTH



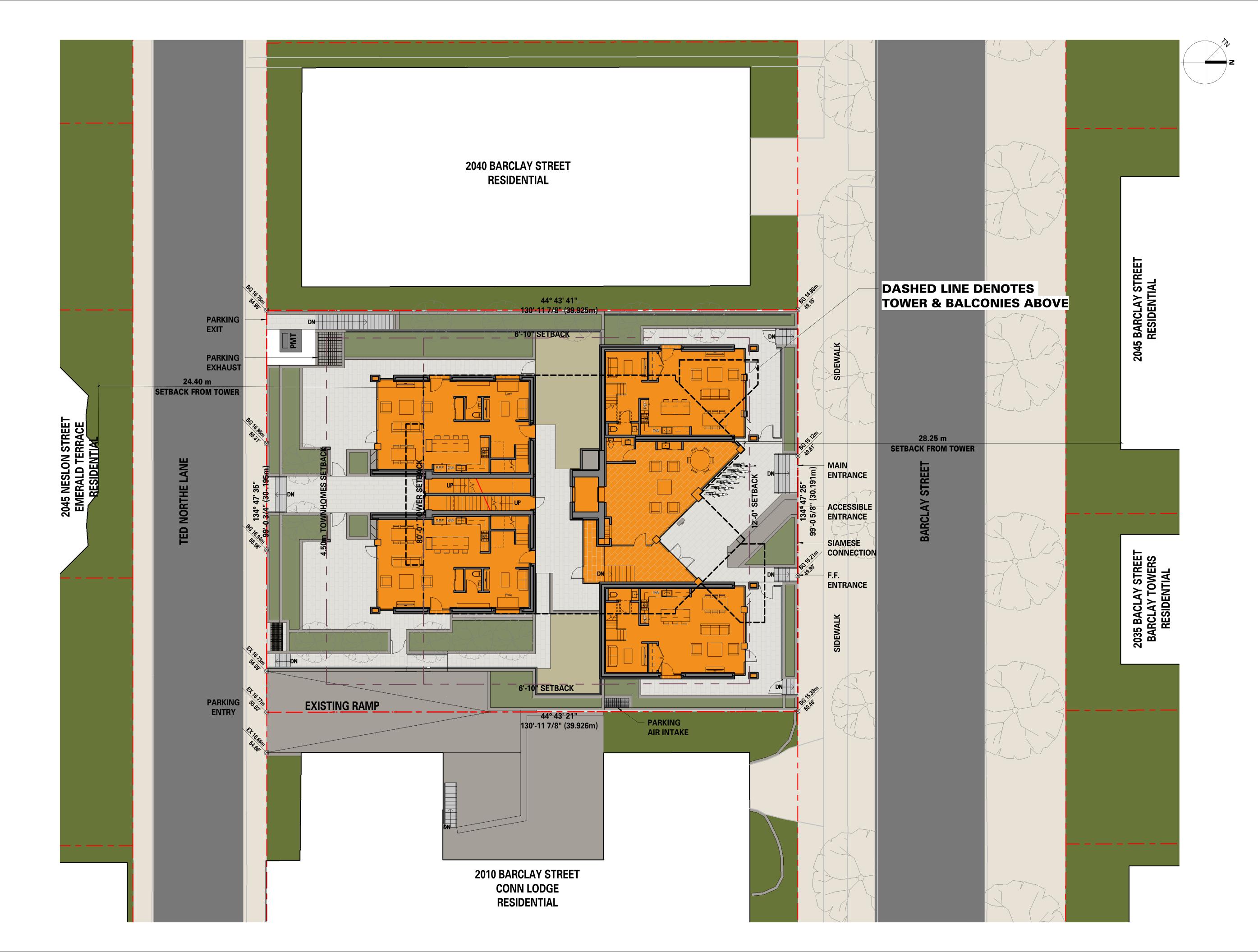
VIEW FROM TED NORTHE LANE LOOKING WEST



VIEW FROM LAGOON DRIVE LOOKING EAST



VIEW FROM CHILCO STREET LOOKING WEST

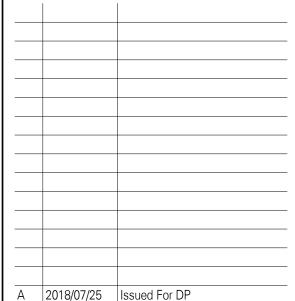




Henriquez Partners Architect

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Vancouver BC Canada V6B 2A3
T 604 687 5681

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Revision Notes

No. Date

Project Title

2030 Barclay Street Vancouver, BC

2030 BARCLAY

## MARCON

Client/Owner

MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

Sheet Title
SITE PLAN

Reviewed by
Project Number

Drawn By

1706

Plot Date

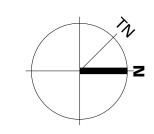
2018/07/25

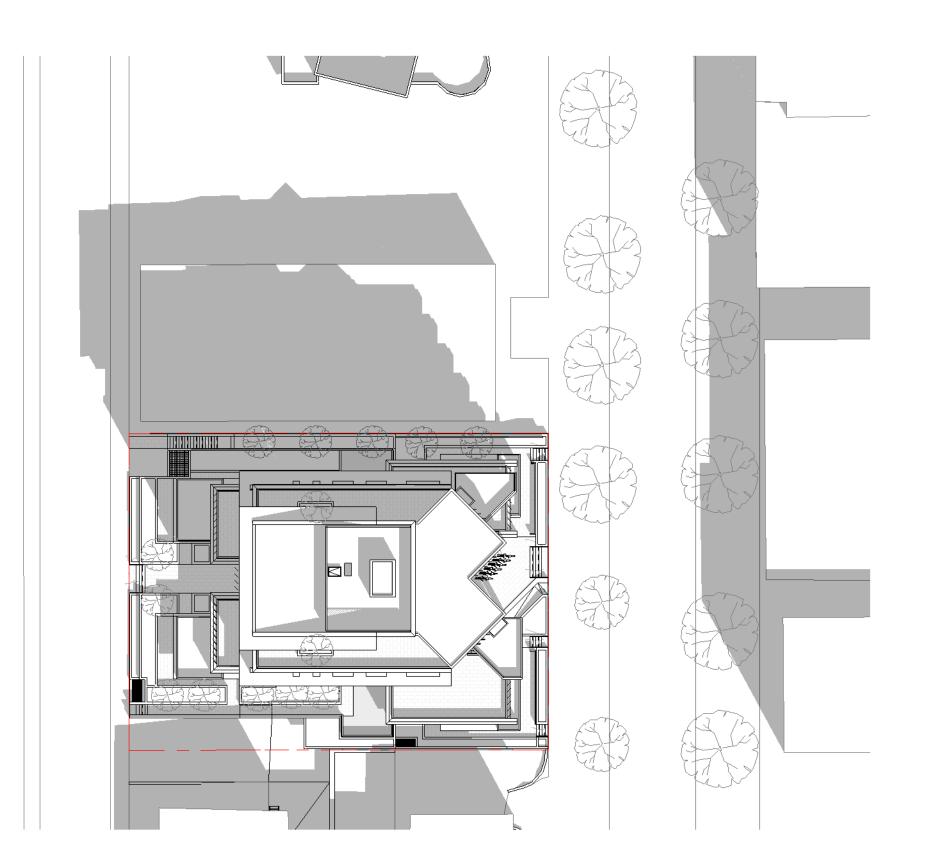
3/32" = 1'-0"

Sheet Number

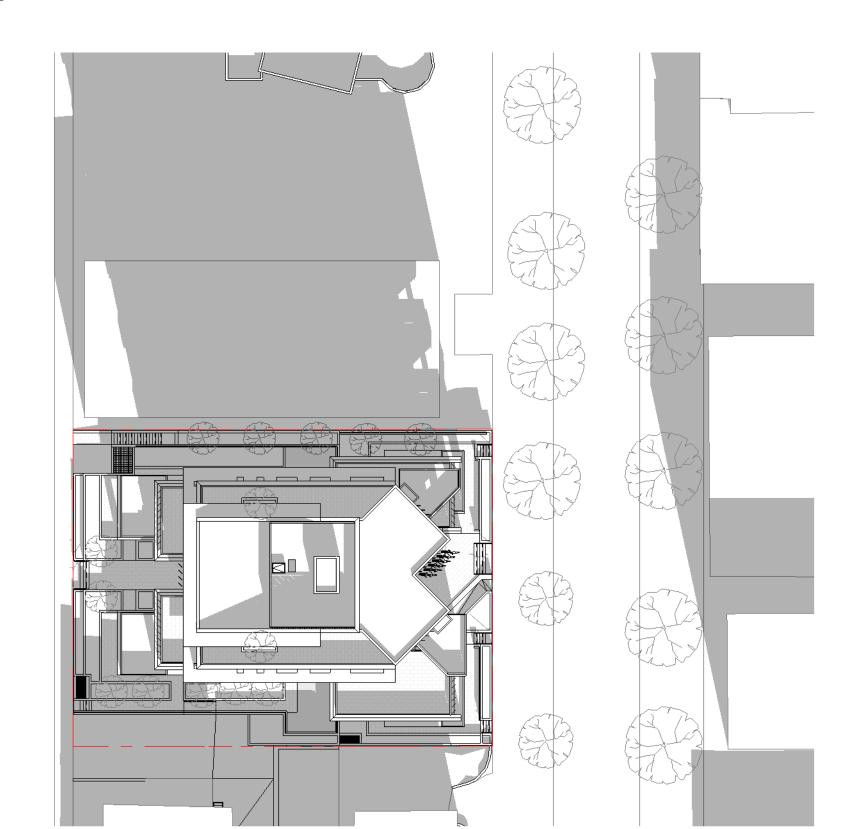
A 4 00

Issue Date

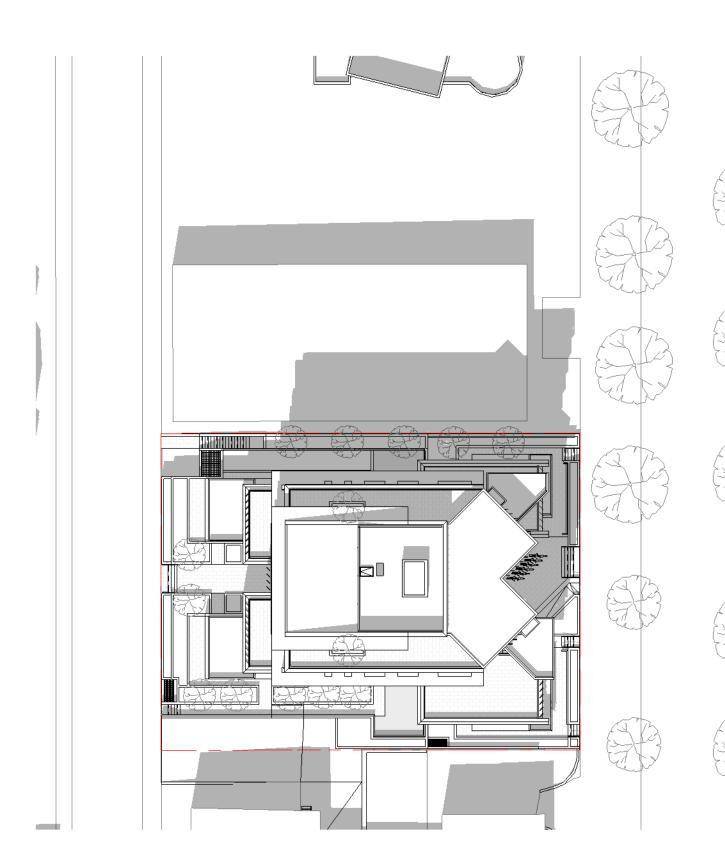




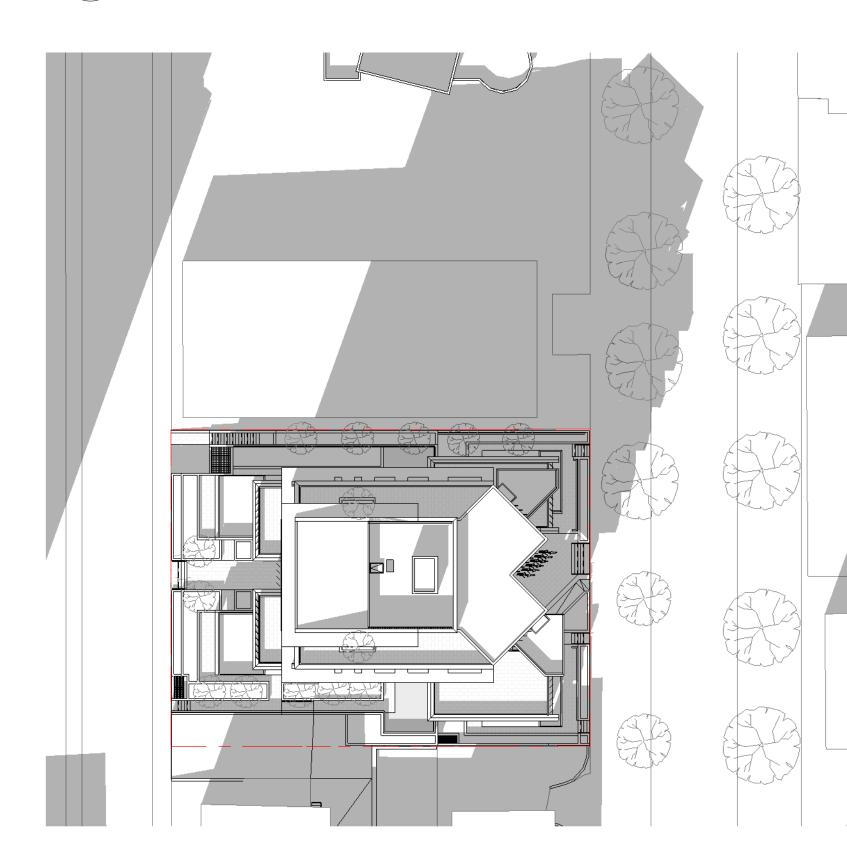
1 SHADOW STUDY - JUNE 21st (10am)



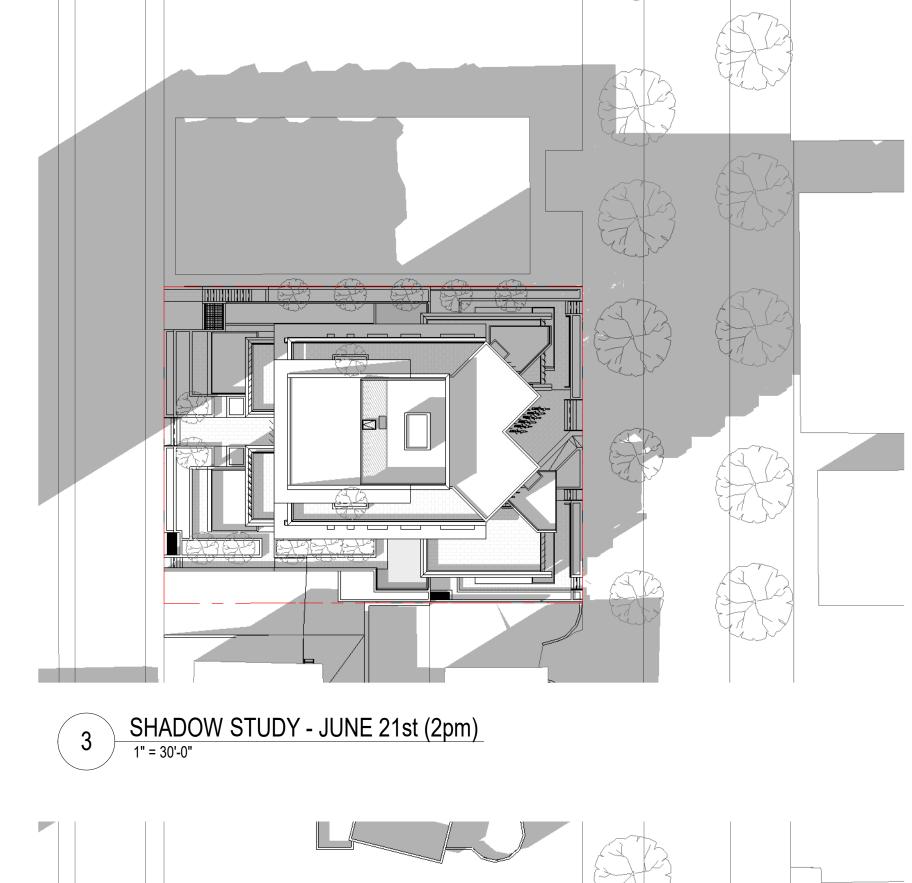
4 SHADOW STUDY - SEPT / MARCH 21st (10am)

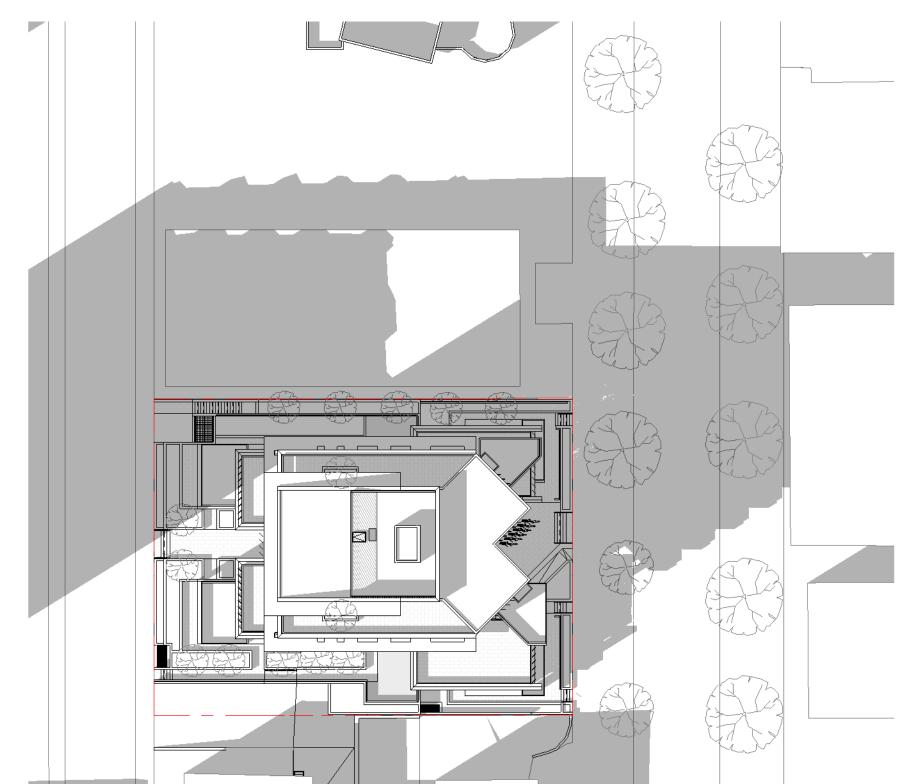


2 SHADOW STUDY - JUNE 21st (12pm)
1" = 30'-0"



5 SHADOW STUDY - SEPT / MARCH 21st (12pm)





6 SHADOW STUDY - SEPT / MARCH 21st (2pm)

SHFT

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Henriquez Partners Archite

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|-----|------------|----------------|
| No. | Date       | Revision Notes |

SSUED FOR DP - 2018-07-25

Project Title
2030 BARCLAY

2030 Barclay Street Vancouver, BC

## MARCON

Client/Owner

MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

Sheet Title

SHADOW STUDIES

Drawn By Author
Reviewed by Approver

Project Number **1706** 

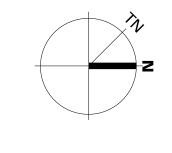
Plot Date Issue Date 2018/07/25

ale Issue.

1" = 30'-0"

Sheet Number

A1.04



1828 SF

1828 SF

2343 SF

LEVEL 9

LEVEL 10

1" = 20'-0"

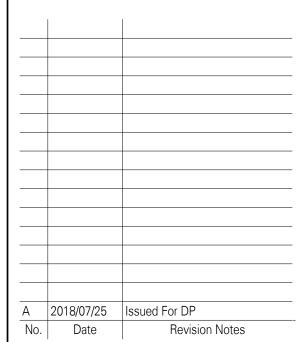
1" = 20'-0"

**ARCHITECTURE** 200,1000 West 3rd Street North Vancouver, BC V7P 3J6

T 604.988.7501 | shiftarchitecture.ca

> **Henriquez Partners Architects** 598 W Georgia Street Vancouver BC Canada V6B 2A3 T 604 687 5681

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Project Title

2030 BARCLAY

2030 Barclay Street Vancouver, BC

# MARCON

Client/Owner MARCON DEVELOPMENTS

AREA SCHEDULE (UNITS ONLY)

Level Name Number Area

305

101

317

313

314

320

321

323

Not Placed

852 SF

844 SF

949 SF

949 SF

870 SF

862 SF

953 SF

953 SF

1800 SF

1800 SF

1828 SF

1666 SF

1828 SF

1666 SF

1828 SF

1828 SF

2343 SF

34783 SF

Not Placed B3

LEVEL 1 CH1

LEVEL 1 CH1

LEVEL 3 B1

LEVEL 3 B1

LEVEL 4 B1

LEVEL 4 B2

LEVEL 5 B1

LEVEL 5 B1

LEVEL 6 B1

LEVEL 6 B1

LEVEL 7 B1

LEVEL 8 B1

LEVEL 8 B2

LEVEL 9 B1

**Grand total** 

LEVEL 9 B1 324

LEVEL 10 B3 306

LEVEL 7

LEVEL 1 CH2 104

LEVEL 1 CH2 103

LEVEL 2 CH1 107

LEVEL 2 CH1 108

LEVEL 2 CH2 105

LEVEL 2 CH2 106

5645 199 Street Langley BC V3A 1H9

Sheet Title

**UNIT AREAS** 

Drawn By Author Reviewed by Approver Project Number 1706 Plot Date

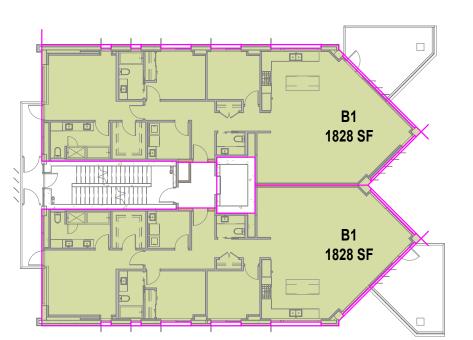
Issue Date

2018/07/25 Issue/Revision 1" = 20'-0"

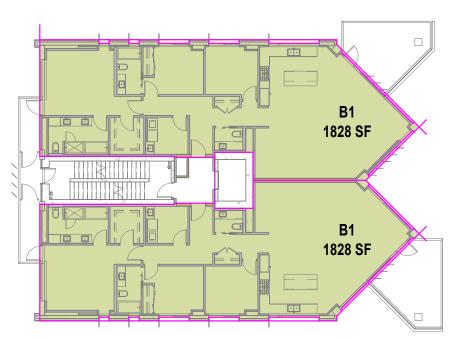
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1828 SF 1828 SF

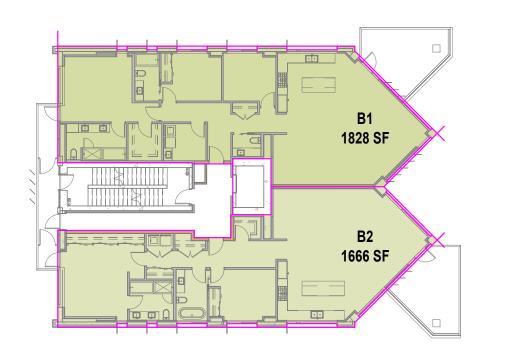
LEVEL 5 1" = 20'-0"



LEVEL 6 1" = 20'-0"



LEVEL 7 1" = 20'-0"



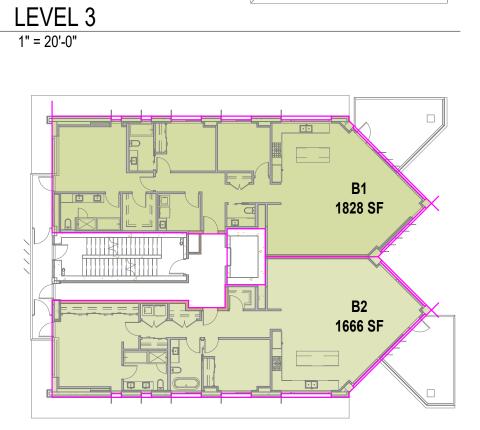
LEVEL 8 1" = 20'-0"



852 SF

1800 SF

1800 SF



4 LEVEL 4
1" = 20'-0"

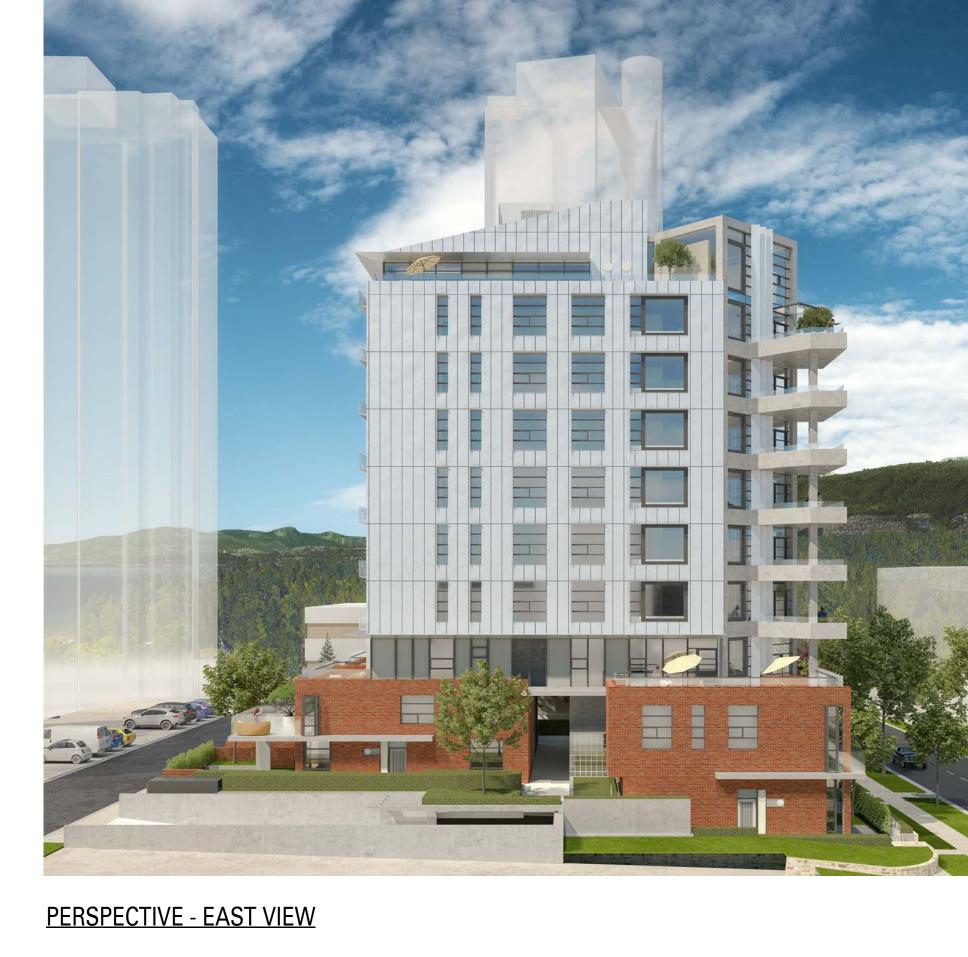
LEVEL 1 1" = 20'-0"

CH2

LEVEL 2

1" = 20'-0"





PERSPECTIVE - NORTH VIEW



PERSPECTIVE - SOUTH VIEW



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| No. | Date       | Revision Notes |
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Project Title
2030 BARCLAY

2030 Barclay Street Vancouver, BC

## MARCON

Client/Owner

#### MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

PERSPECTIVES

Reviewed by

Project Number

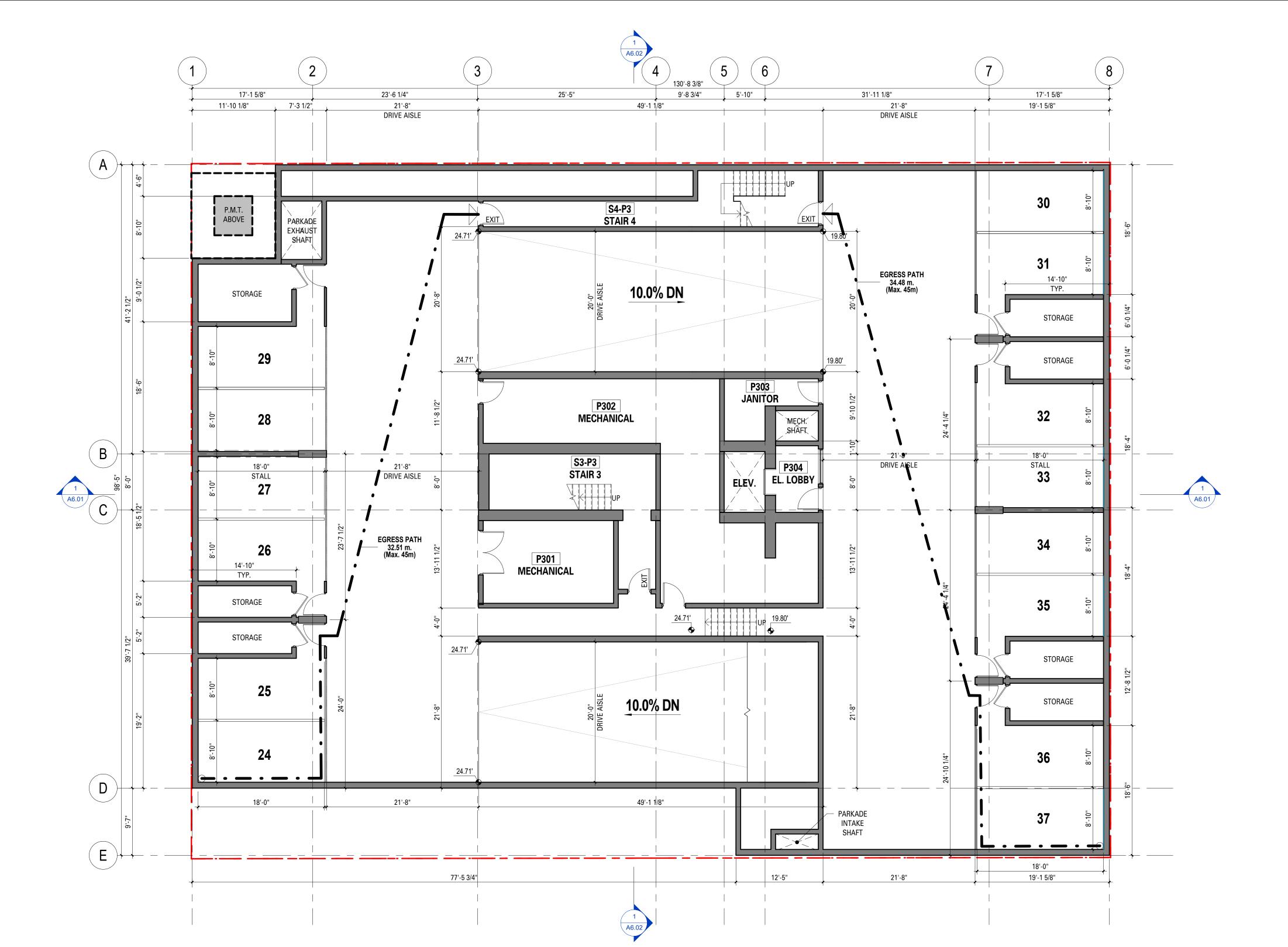
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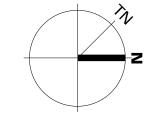
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Sheet Number

A1.06







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|     |            |                |

2018-07-25

FOR DP

RESIDENTIAL PARKING CALCULATIONS

 RESIDENTIAL PARKING CALCULATIONS

 Residential Parking (19 Units)
 Totals

 0.5 per Unit (0 to 538sf)
 0

 0.6 per Unit (538sf +)
 11

 + 1 stall per 2153sf of gross floor area
 19

 Total
 30

 (Max. Small Car = 25%)
 7

Accessibility

 Total
 1

 Bicycle Parking
 2

 Class A
 = 1.25 / Unit
 24

 Req'd Horz.
 = 50%
 12

 Max. Vert.
 = 30%
 7

 Min. Lockers
 = 20%
 5

1 per first 7 units .0034 per additional unit

| PARKING SCHEDUL  | E (TOTALS) |
|------------------|------------|
| Description      | Coun       |
| RESIDENTIAL      |            |
| ACCESSIBLE STALL | 1          |
| REGULAR STALL    | 36         |
| RESIDENTIAL: 37  |            |
| VISITOR          |            |
| ACCESSIBLE STALL | 1          |
| REGULAR STALL    | 2          |
| VISITOR: 3       | <u>.</u>   |
| Grand total: 40  |            |

|    | PARKING SCHEDULE (BICYCLE) |       |  |
|----|----------------------------|-------|--|
|    | Description                | Count |  |
|    |                            |       |  |
| BI | CYCLE LOCKER (VERTICAL)    | 5     |  |
| BI | CYCLE STALL (HORIZONTAL)   | 19    |  |
| Gr | and total: 24              |       |  |

Project Title
2030 BARCLAY

2030 Barclay Street Vancouver, BC

## MARCON

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Client/Owner

MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

Sheet Title

LEVEL P3 PLAN

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Reviewed by Approver

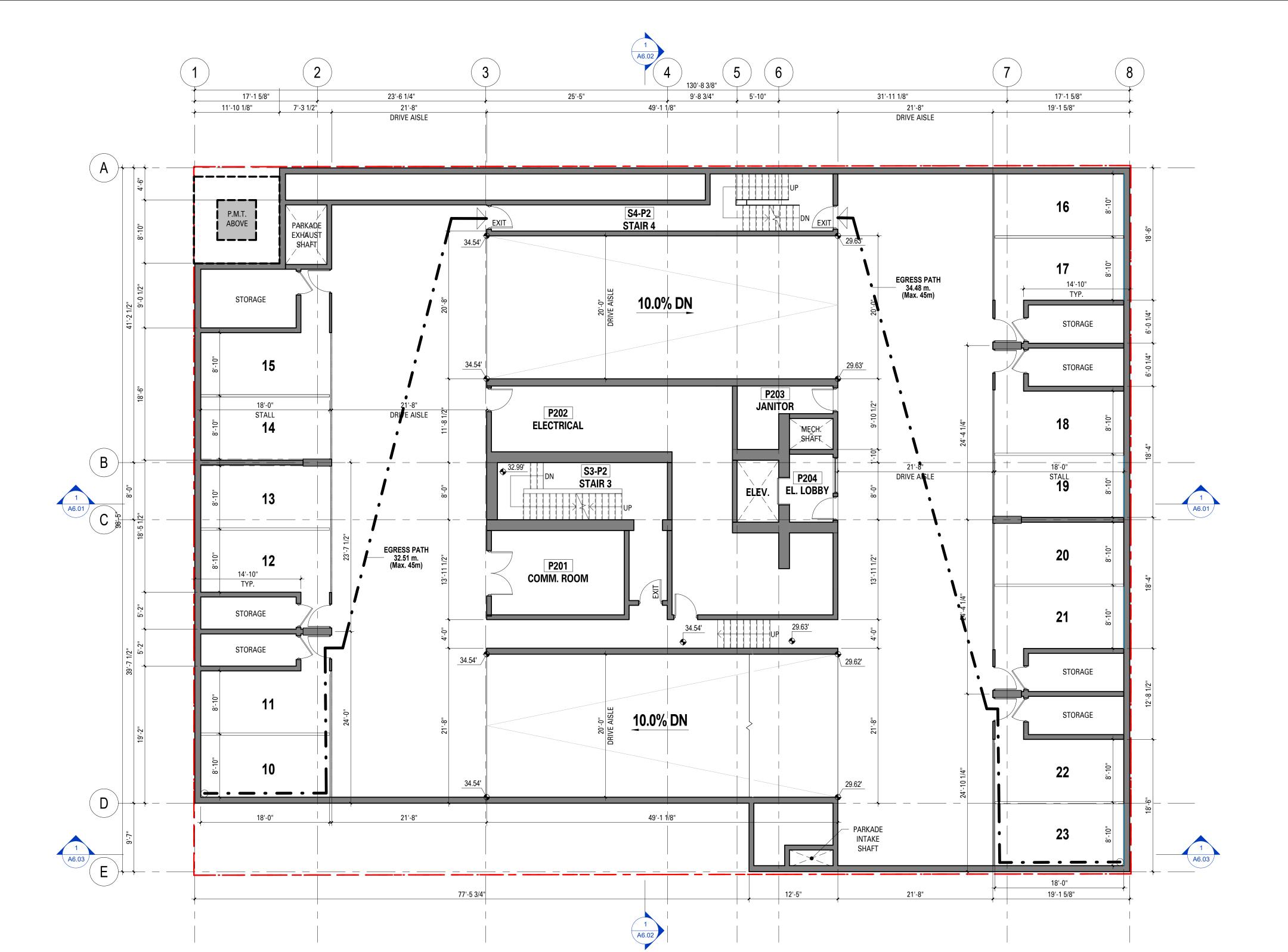
Project Number

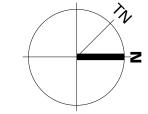
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1/8" = 1'-0"

Sheet Number

A2.01







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2018-07-25

ISSU

**RESIDENTIAL PARKING CALCULATIONS** 

Residential Parking (19 Units) 0.5 per Unit (0 to 538sf) <u>Totals</u> 0.6 per Unit (538sf +) + 1 stall per 2153sf of gross floor area (Max. Small Car = 25%) Accessibility
1 per first 7 units

Bicycle Parking
Class A = 1.25 / Unit Req'd Horz. = 50%Max. Vert. = 30% Min. Lockers = 20% <u>Class B</u> = 6 minimum total

.0034 per additional unit

|                  | E (TOTALS) |
|------------------|------------|
| Description      | Count      |
| RESIDENTIAL      |            |
| ACCESSIBLE STALL | 1          |
| REGULAR STALL    | 36         |
| RESIDENTIAL: 37  | ·          |
| VISITOR          |            |
| ACCESSIBLE STALL | 1          |
| REGULAR STALL 2  |            |

| PARKING SCHEDULE (BIC      | YCLE) |
|----------------------------|-------|
| Description                | Count |
|                            | T     |
| BICYCLE LOCKER (VERTICAL)  | 5     |
| BICYCLE STALL (HORIZONTAL) | 19    |
| Grand total: 24            |       |

Project Title 2030 BARCLAY

2030 Barclay Street Vancouver, BC

## MARCON

Client/Owner MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

**LEVEL P2 PLAN** 

Sheet Title

Drawn By Reviewed by Approver

Project Number 1706 Plot Date Issue Date 2018/07/25

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Project Title **2030 BARCLAY** 

2030 Barclay Street Vancouver, BC

# MARCON

MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

**LEVEL P1 PLAN** 

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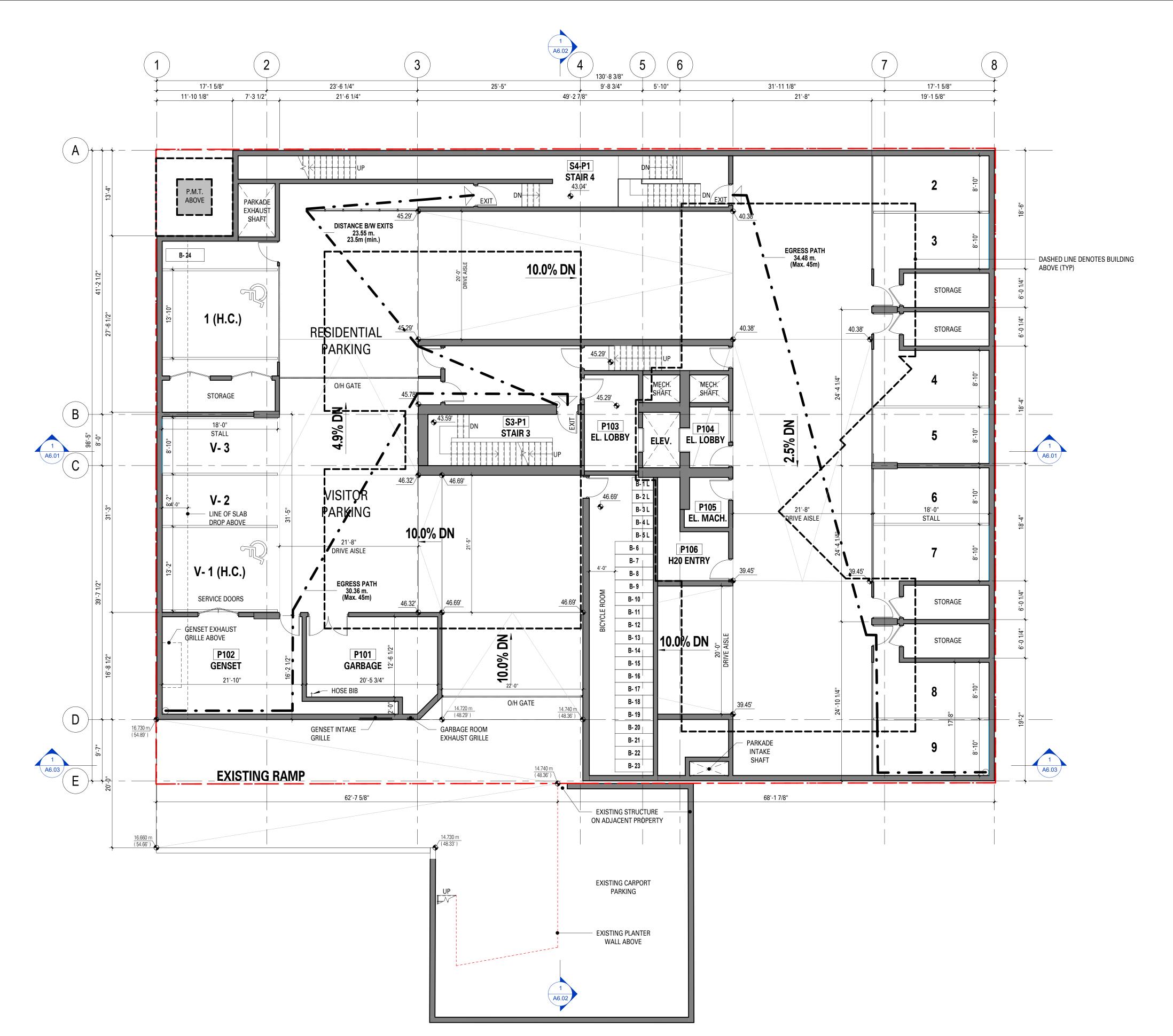
Project Number 1706

Plot Date Issue Date 2018/07/25

Author

Approver

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#### **REQUIRED HEADROOM:**

PROVIDE ACCESS ROUTE WITH MINIMUM CLEAR HEADROOM OF 2300mm (7'-6 1/2") TO ALL ACCESSIBLE PARKING STALLS. ALL OTHER AREAS INCLUDING PARKING STALLS REQUIRE MINIMUM CLEAR HEADROOM OF 2000mm (6'-7").

#### **PARKADE FINISHES GENERAL NOTES:**

1. PARKADE WALLS AND COLUMNS TO BE PAINTED WHITE TO FULL HEIGHT - TYPICAL. OWNER TO PROVIDE ALTERNATE COLOURS FOR SPECIFIC ACCENT LOCATIONS.

#### **ELECTRIC VEHICLE CHARGING REQUIREMENTS:**

A MINIMUM OF 20% OF ALL PARKING STALLS TO BE PROVIDED WITH

ELECTRICAL OUTLETS SUITABLE FOR THE CHARGING OF ELECTRICAL VEHICLES.

#### **CAPACITY OF ELECTRICAL ROOM IN RELATION TO ELECTRIC VEHICLE CHARGING:**

THE ELECTRICAL ROOM IN A MULTI-FAMILY BUILDING, OR IN THE MULTI-FAMILY COMPONENT OF A MIXED USE BUILDING, THAT IN EITHER CASE INCLUDES THREE OR MORE DWELLING UNITS, MUST INCLUDE SUFFICIENT SPACE FOR THE FUTURE INSTALLATION OF ELECTRICAL EQUIPMENT NECESSARY TO PROVIDE A RECEPTACLE TO ACCOMMODATE USE BY ELECTRIC CHARGING EQUIPMENT FOR 100% OF THE PARKING STALLS THAT ARE FOR USE BY OWNERS OR OCCUPIERS OF THE BUILDING OR OF THE RESIDENTIAL COMPONENT OF THE BUILDING."

#### **BICYCLE PARKING ROOM TYPICAL NOTES:**

1. A MINIMUM OF 50% OF BICYCLE PARKING STALLS TO BE PLACED HORIZONTALLY ON THE FLOOR AS PER THE CITY OF VANCOUVER BICYCLE PARKING BYLAW 6.3.13. 2. A MAXIMUM OF 30% OF BICYCLE PARKING STALLS TO BE VERTICAL AS PER THE CITY OF VANCOUVER BICYCLE PARKING BYLAW 6.3.13.

3. EACH BICYCLE STALL MUST HAVE AN ELECTRICAL OUTLET OR AN ELECTRICAL DUPLEX OUTLET FOR EVERY TWO STALLS.

4. METAL ENCLOSURES AND DOORS TO MEET THE MINIMUM REQUIREMENTS OF VANCOUVER'S PARKING BYLAW SECTIONS 6.3.4.

#### **RESIDENTIAL PARKING CALCULATIONS**

| Residential Parking (19 Units)           | <u>Tota</u> |
|--|-------------|
| 0.5 per Unit (0 to 538sf)                | 0           |
| 0.6 per Unit (538sf +)                   | 11          |
| + 1 stall per 2153sf of gross floor area | 19          |
| Total                                    | 30          |
| (Max. Small Car = 25%)                   | 7           |

| Accessibility             |  |
|---------------------------|--|
| 1 per first 7 units       |  |
| .0034 per additional unit |  |
| Total                     |  |

| Bicycle Park | <u>ing</u>        |   |
|--------------|-------------------|---|
| Class A      | = 1.25 / Unit     | 2 |
| Req'd Horz.  | = 50%             | 1 |
| Max. Vert.   | = 30%             | 7 |
| Min. Lockers | = 20%             | 5 |
| Class B      | = 6 minimum total | 6 |

| Description      | Cour |
|------------------|------|
| Description      | Jour |
| RESIDENTIAL      |      |
| ACCESSIBLE STALL | 1    |
| REGULAR STALL    | 36   |
| RESIDENTIAL: 37  |      |
|                  |      |
| VISITOR          |      |
| ACCESSIBLE STALL | 1    |
| REGULAR STALL    | 2    |
| VISITOR: 3       |      |
| Grand total: 40  |      |

| PARKING SCHEDULE (BIC      | YCLE) |
|----------------------------|-------|
| Description                | Count |
|                            |       |
| BICYCLE LOCKER (VERTICAL)  | 5     |
| BICYCLE STALL (HORIZONTAL) | 19    |

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**Revision Notes** 

No. Date

**ARCHITECTURE** 

North Vancouver, BC V7P 3J6

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200,1000 West 3rd Street

MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

**LEVEL 1 PLAN** 

Client/Owner

Drawn By Reviewed by

Project Number

1706

Plot Date Issue Date

Sheet Number

2018/07/25

Issue/Revision

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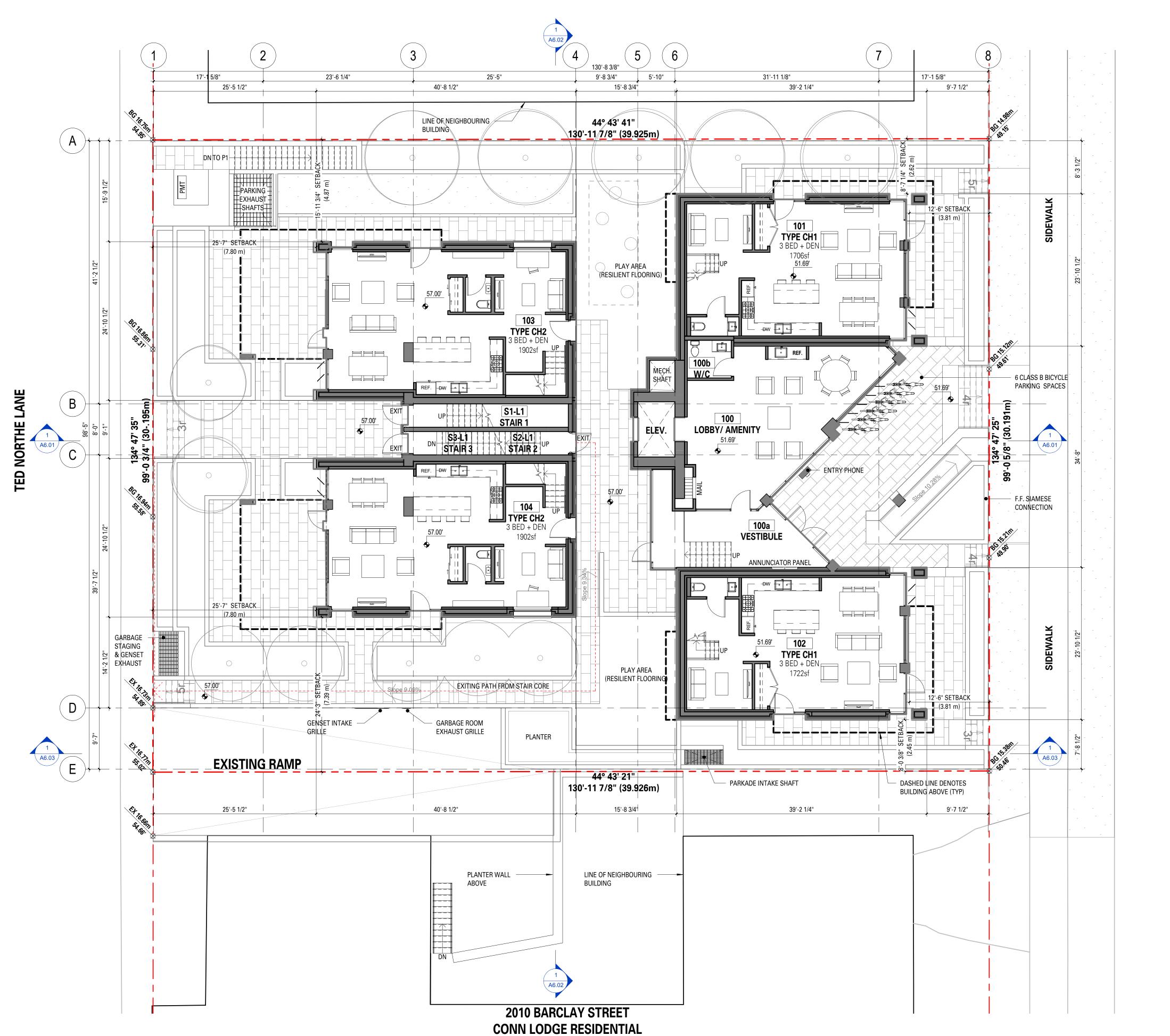
Author

1/8" = 1'-0"

A2.04

2







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| No. | Date       | Revision Notes |

Project Title

2030 Barclay Street Vancouver, BC

2030 BARCLAY

## MARCON

MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

**LEVEL 2 PLAN** 

Drawn By Reviewed by Project Number

Plot Date

Issue Date 2018/07/25

1/8" = 1'-0" Sheet Number





2010 BARCLAY STREET

**CONN LODGE RESIDENTIAL** 

**ARCHITECTURE** 

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No. Date

2030 BARCLAY

5645 199 Street Langley BC V3A 1H9

**LEVEL 3 PLAN** 

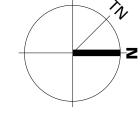
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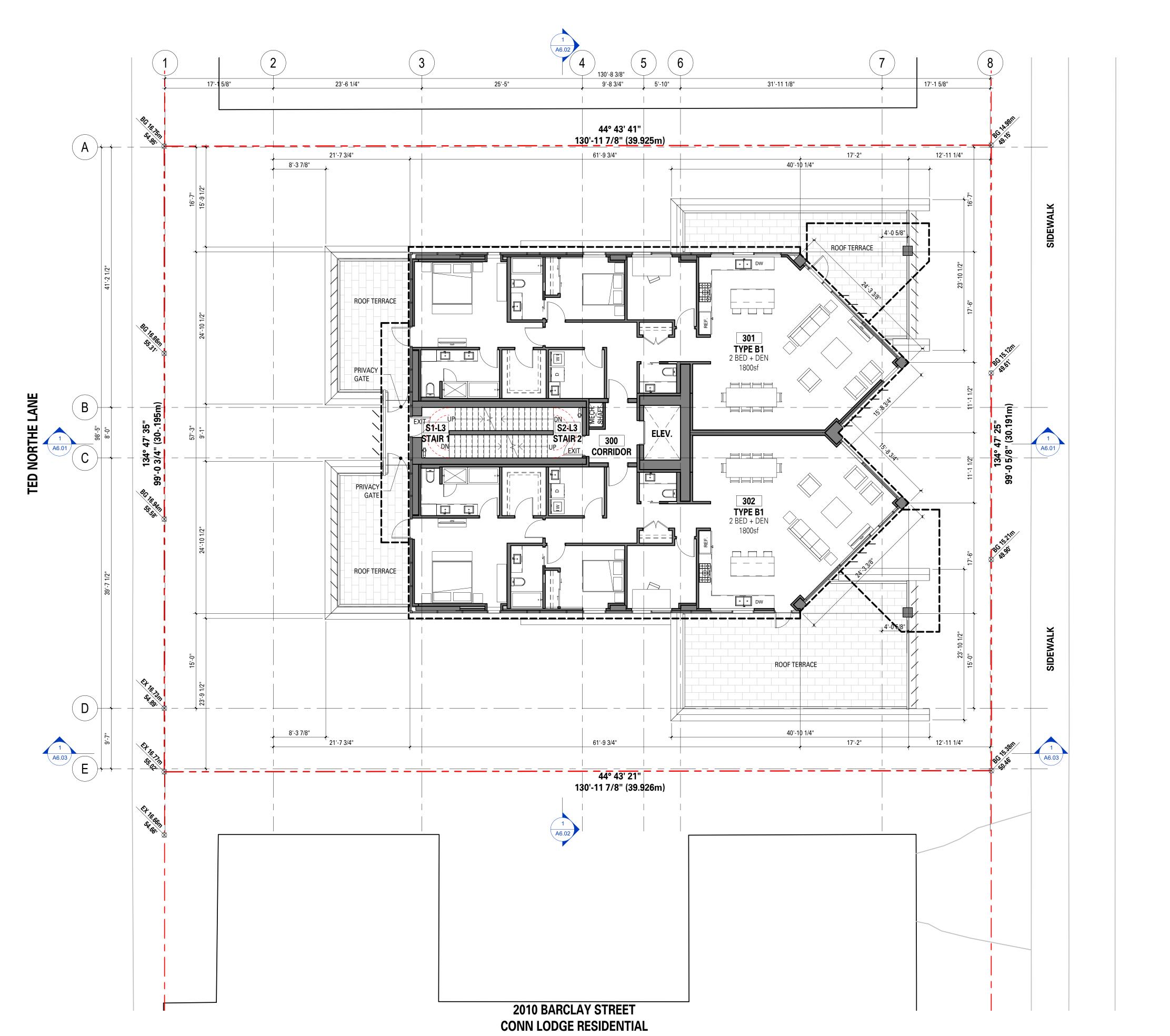
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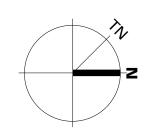
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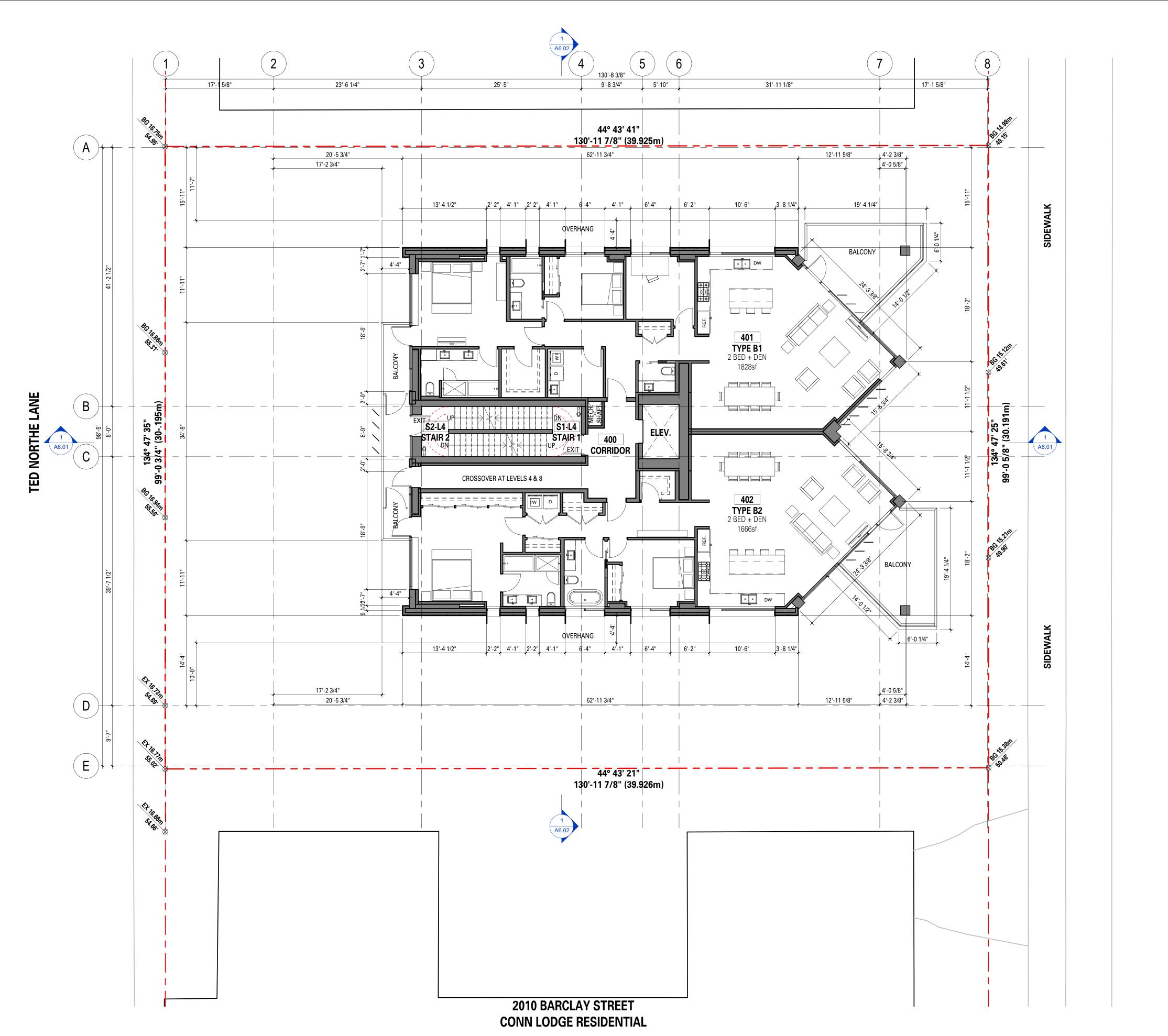
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1/8" = 1'-0"

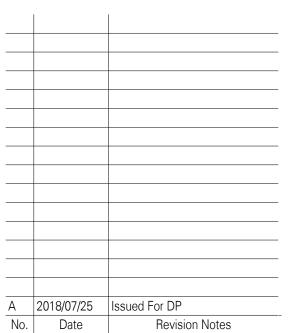
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Project Title

2030 Barclay Street Vancouver, BC

**2030 BARCLAY** 

## MARCON

## MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

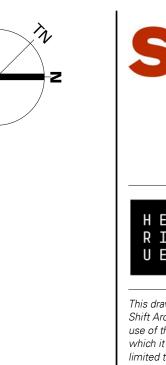
**LEVEL 5 PLAN - LEVELS 6, 7 & 9 SIMILAR** 

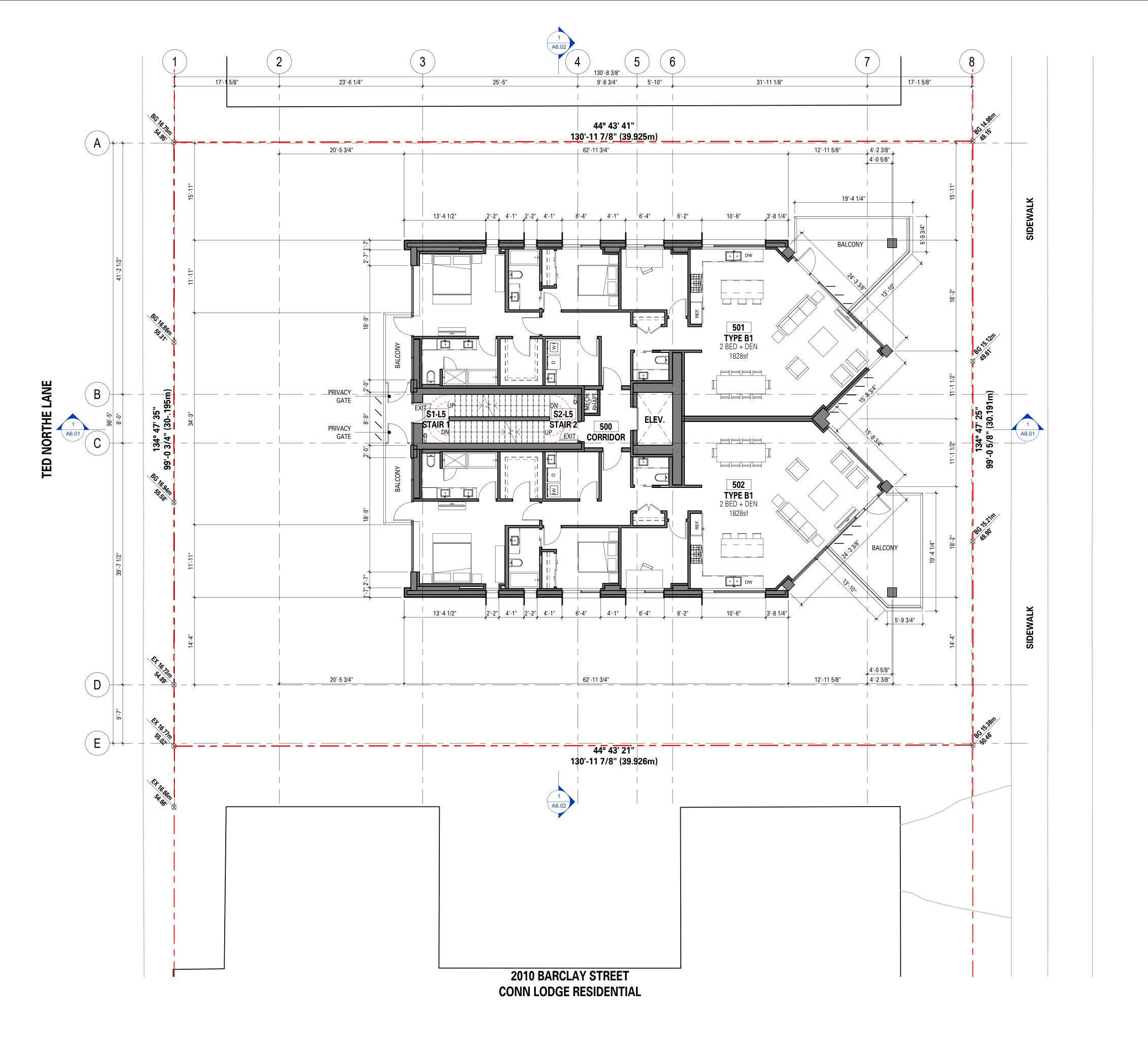
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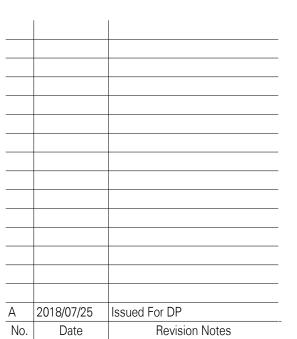




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MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

**LEVEL 10 PLAN** 

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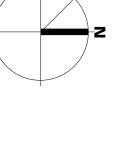
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## MARCON

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5645 199 Street Langley BC V3A 1H9

**ROOF PLAN** 

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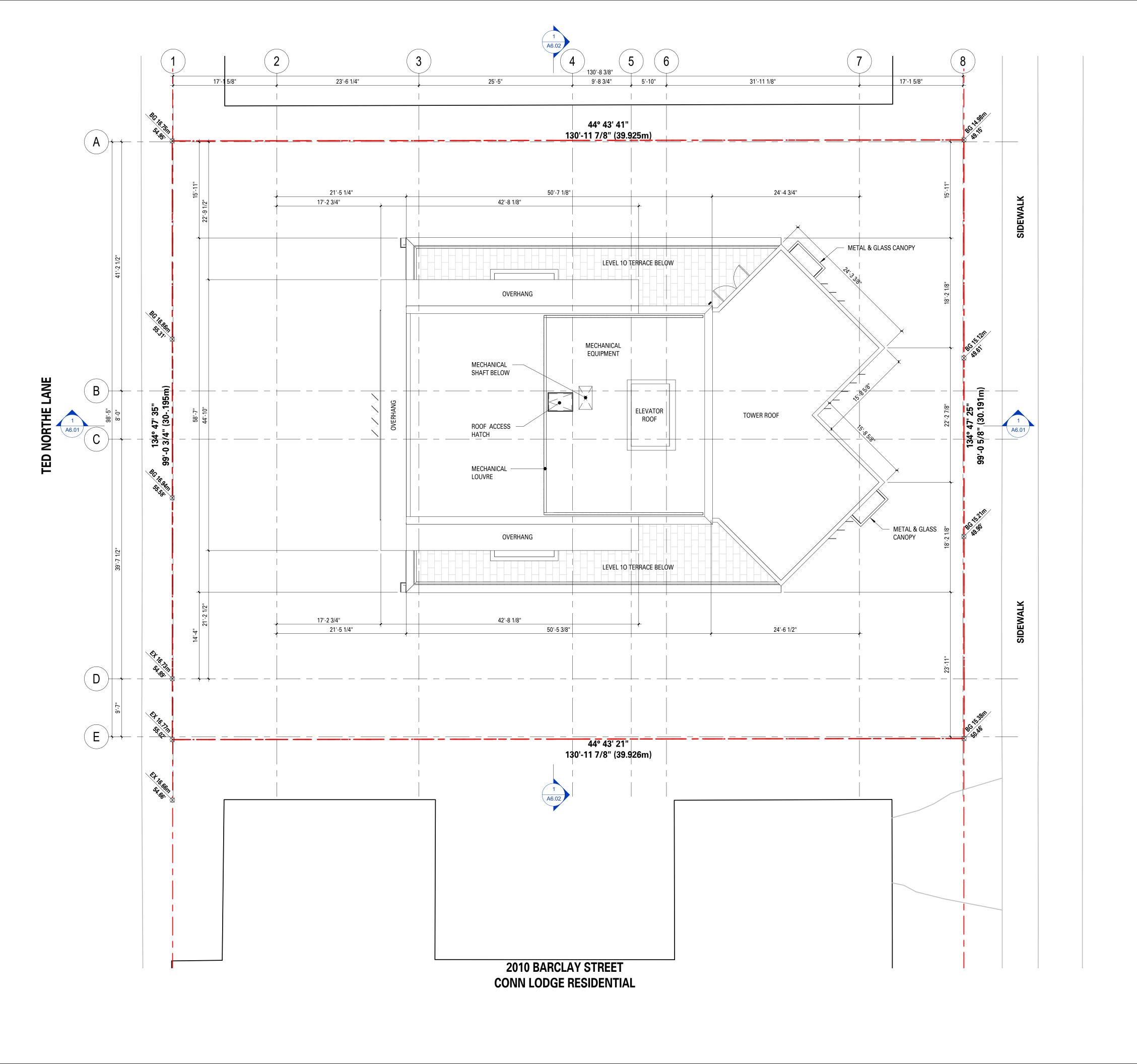
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2030 BARCLAY

2030 Barclay Street Vancouver, BC

## MARCON

MARCON DEVELOPMENTS

Langley BC V3A 1H9

NORTH ELEVATION

Drawn By Reviewed by

Project Number

Issue Date

1/8" = 1'-0"

2018/07/25

WINDOW - VINYL - COLOUR TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING

FIN-01 HEAVY GAUGE METAL FLASHING - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'

METAL SECTIONAL OVERHEAD SECURITY DOOR - PAINTED TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'

DW-03



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Project Title 2030 BARCLAY

2030 Barclay Street Vancouver, BC

## MARCON

Client/Owner

MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

Reviewed by

Project Number 1706

MM-05 GALVANIZED & PAINTED STEEL SLAB EXTENSIONS - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'

MM-06 ALUMINUM MECHANICAL LOUVRE - POWDER COAT - SHERWIN WILLIAMS 'CITYSCAPE - 7067'

Plot Date Issue Date 2018/07/25

1/8" = 1'-0"

Sheet Number



## <u>MATERIALS</u>

| ITEM   | MATERIAL   |  |  |
|--------|--|--|--|
|        |  |  |  |
| CL-01  | STANDING SEAM METAL PANEL CLADDING C/W FLASHINGS - SHERWIN WILLIAMS 'CITYSCAPE - 7067'                           |  |  |
| CO-01  | ARCHITECTURAL CONCRETE WITH SEMI TRANSPARENT STAIN - SHERWIN WILLIAMS 'ACIER 9170'                               |  |  |
| CO-02  | PRECAST COLOURED CONCRETE CAP - TO MATCH BRICK   |  |  |
| CO-03  | PRECAST COLOURED CONCRETE SILL - TO MATCH BRICK  |  |  |
| DW-01  | WINDOW WALL SYSTEM - FRAME TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING                       |  |  |
| DW-02  | WINDOW WALL SYSTEM - BACK PAINTED GLASS SPANDREL TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING |  |  |
| DW-03  | WINDOW - VINYL - COLOUR TO MATCH BENJAMIN MOORE 'GRAY 2121-10' C/W LOW-E DOUBLE GLAZING                          |  |  |
| DW-04  | METAL SECTIONAL OVERHEAD SECURITY DOOR - PAINTED TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'                    |  |  |
| FIN-01 | HEAVY GAUGE METAL FLASHING - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'                                 |  |  |

| MATERIAL   | ITEM  |
|--|-------|
| GUARDRAIL (ALUMINUM & GLASS) - POWDER COAT - SHERWIN WILLIAMS 'CITYSCAPE - 7067'                       | HG-01 |
| FACE BRICK, NORMAN MODULE, 1/2 BOND - MUTUAL MATERIALS 'IMPERIAL RED' SMOOTH - MORTAR COLOUR TO MATCH  | MA-01 |
| METAL CANOPY C/W FROSTED GLASS INLAY - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'             | MM-01 |
| GALVANIZED & PAINTED STEEL SUNSHADE - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'              | MM-02 |
| PRIVACY / SECURITY GATE - POWDER COATED ALUMINUM - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067' | MM-03 |
| GALVANIZED & PAINTED STEEL FINS - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'                  | MM-04 |
| GALVANIZED & PAINTED STEEL SLAB EXTENSIONS - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'       | MM-05 |
| ALUMINUM MECHANICAL LOUVRE - POWDER COAT - SHERWIN WILLIAMS 'CITYSCAPE - 7067'                         | MM-06 |

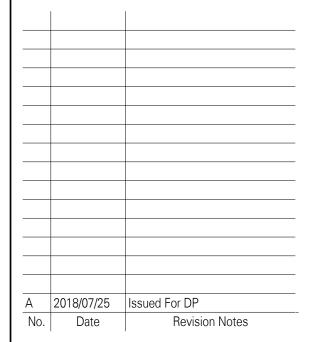


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2030 BARCLAY

2030 Barclay Street Vancouver, BC

## MARCON

Client/Owner

MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

Sheet Title

SOUTH ELEVATION

Drawn By Author
Reviewed by Approver

Project Number **1706** 

1/8" = 1'-0"

Sheet Number

A5.03



METAL SECTIONAL OVERHEAD SECURITY DOOR - PAINTED TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'

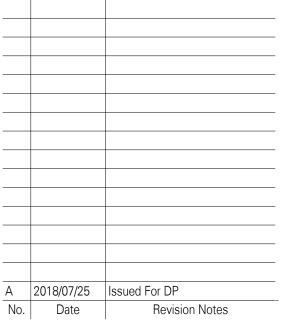
FIN-01 HEAVY GAUGE METAL FLASHING - COLOUR TO MATCH SHERWIN WILLIAMS 'CITYSCAPE - 7067'

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2018-07-25

Project Title 2030 BARCLAY

2030 Barclay Street Vancouver, BC

## MARCON

Client/Owner

MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

**WEST ELEVATION** 

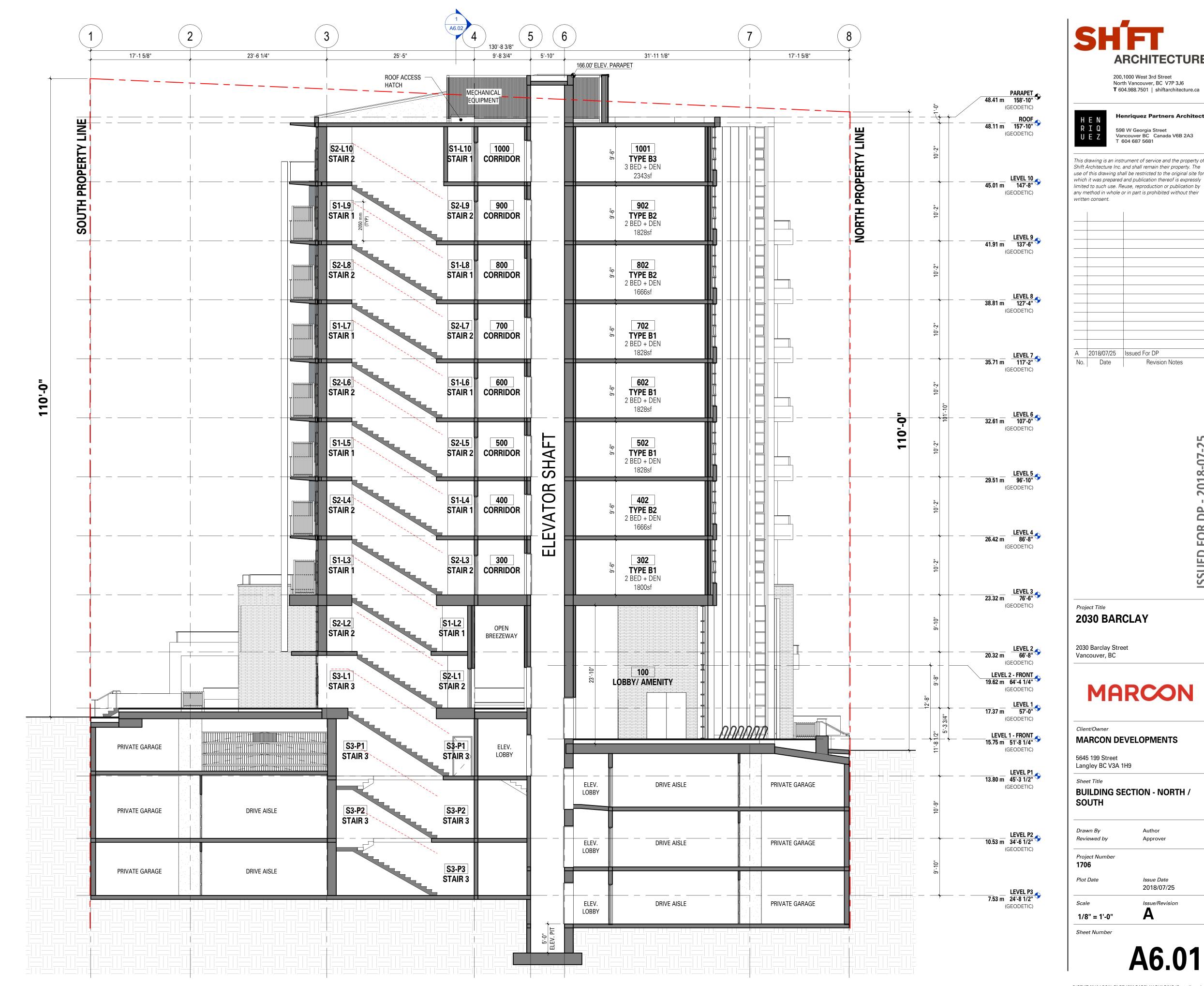
Drawn By Reviewed by

Project Number 1706

MM-06 ALUMINUM MECHANICAL LOUVRE - POWDER COAT - SHERWIN WILLIAMS 'CITYSCAPE - 7067'

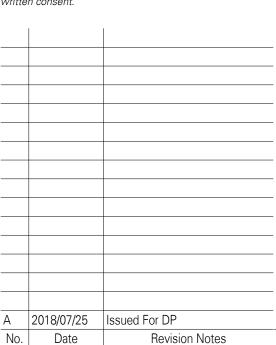
Issue Date 2018/07/25

1/8" = 1'-0"



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Project Title

2030 Barclay Street

## MARCON

Client/Owner MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

**BUILDING SECTION - NORTH /** 

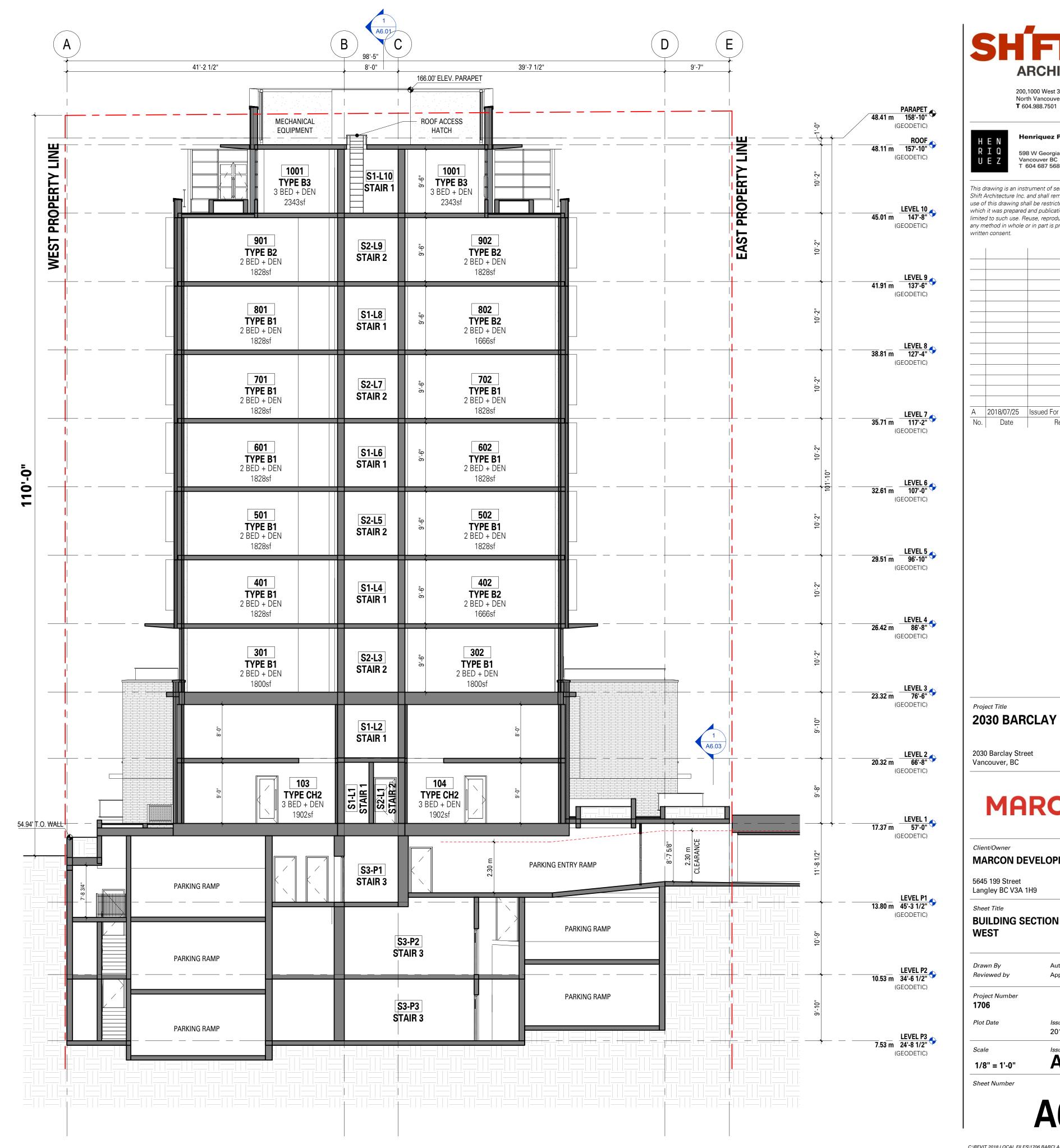
Drawn By Author Reviewed by Approver

Project Number

Issue Date 2018/07/25

1/8" = 1'-0" Sheet Number

Issue/Revision







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Project Title

2030 Barclay Street

## MARCON

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Client/Owner MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

**BUILDING SECTION - EAST /** 

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| No. | Date       | Revision Notes |

ED FOR DP - 2018-07-25

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Project Title **2030 BARCLAY** 

2030 Barclay Street Vancouver, BC

## MARCON

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MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

**BUILDING SECTION - PARTIALS** 

Drawn By Author Reviewed by Approver Project Number

Plot Date

1706

2018/07/25

1/8" = 1'-0"

Sheet Number

Issue Date

Issue/Revision



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**Revision Notes** 

No. Date

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## MARCON

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#### MARCON DEVELOPMENTS

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Sheet Title

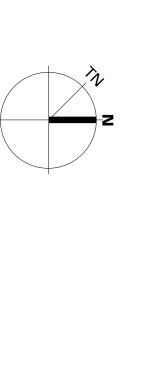
#### **UNIT PLANS - CITY HOME C1**

| Drawn By       | Author     |
|----------------|------------|
| Reviewed by    | Approver   |
| Project Number |            |
| 1706           |            |
| Plot Date      | Issue Date |
|                | 2018/07/25 |

1/4" = 1'-0"

Sheet Number

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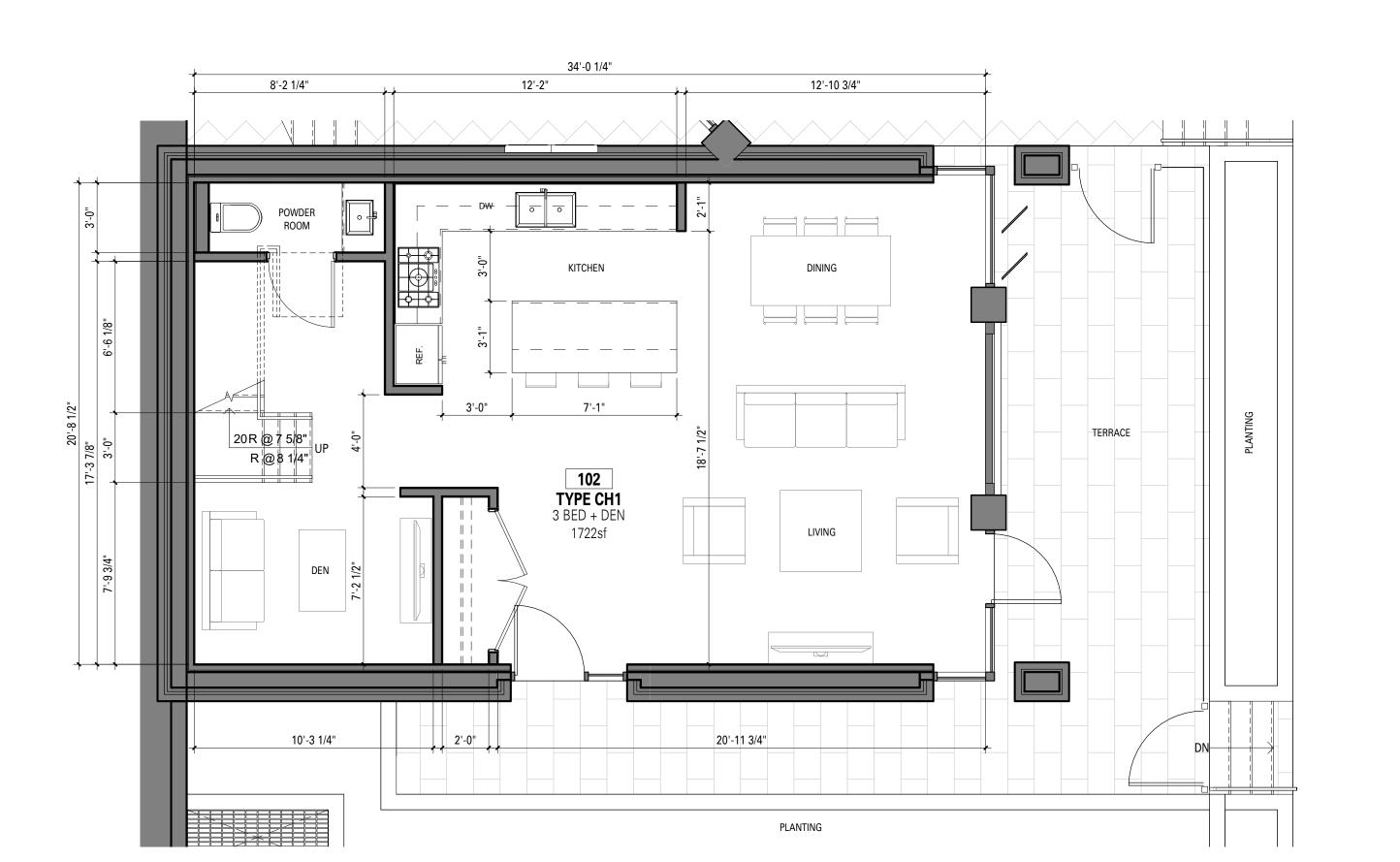
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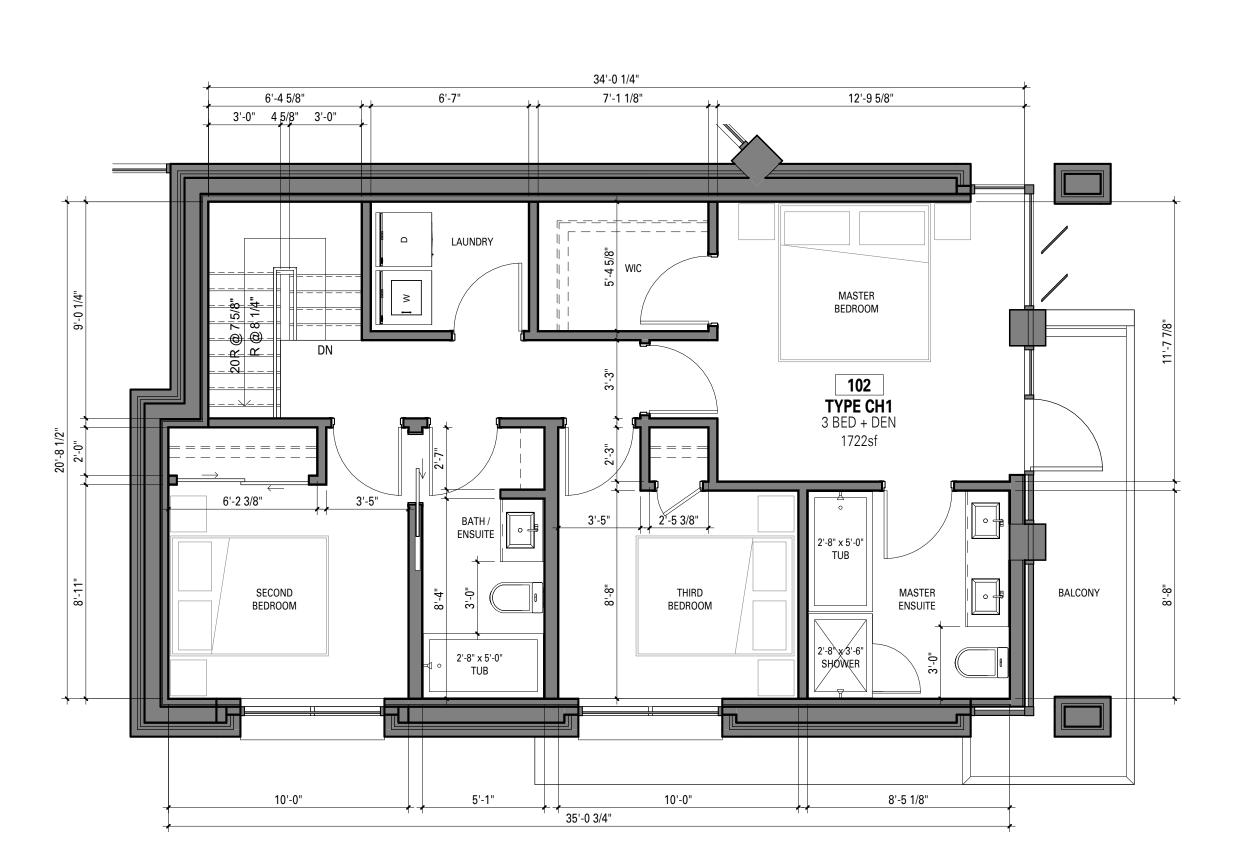
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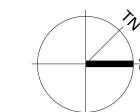
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1 UNIT TYPE CH1 - LEVEL 1



2 UNIT TYPE CH1 - LEVEL 2

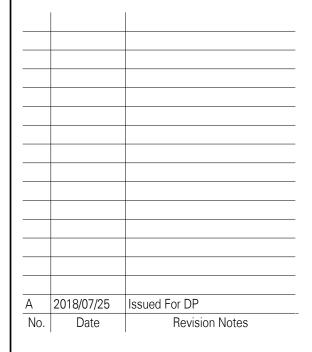




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**2030 BARCLAY** 

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## MARCON

Client/Owner

MARCON DEVELOPMENTS

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**UNIT PLANS - CITY HOME C2** 

Author Drawn By Reviewed by Approver Project Number

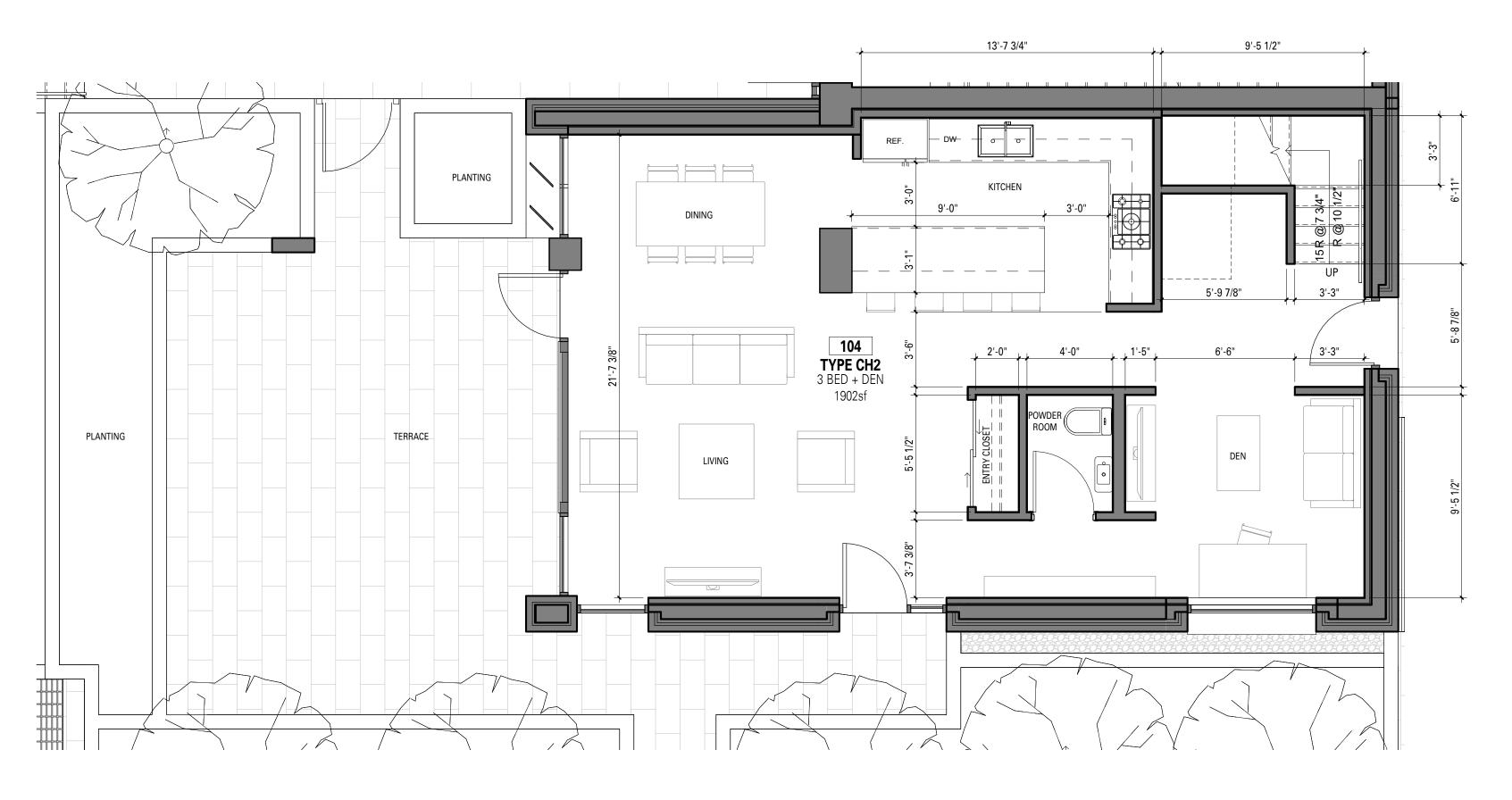
1706 Plot Date

2018/07/25

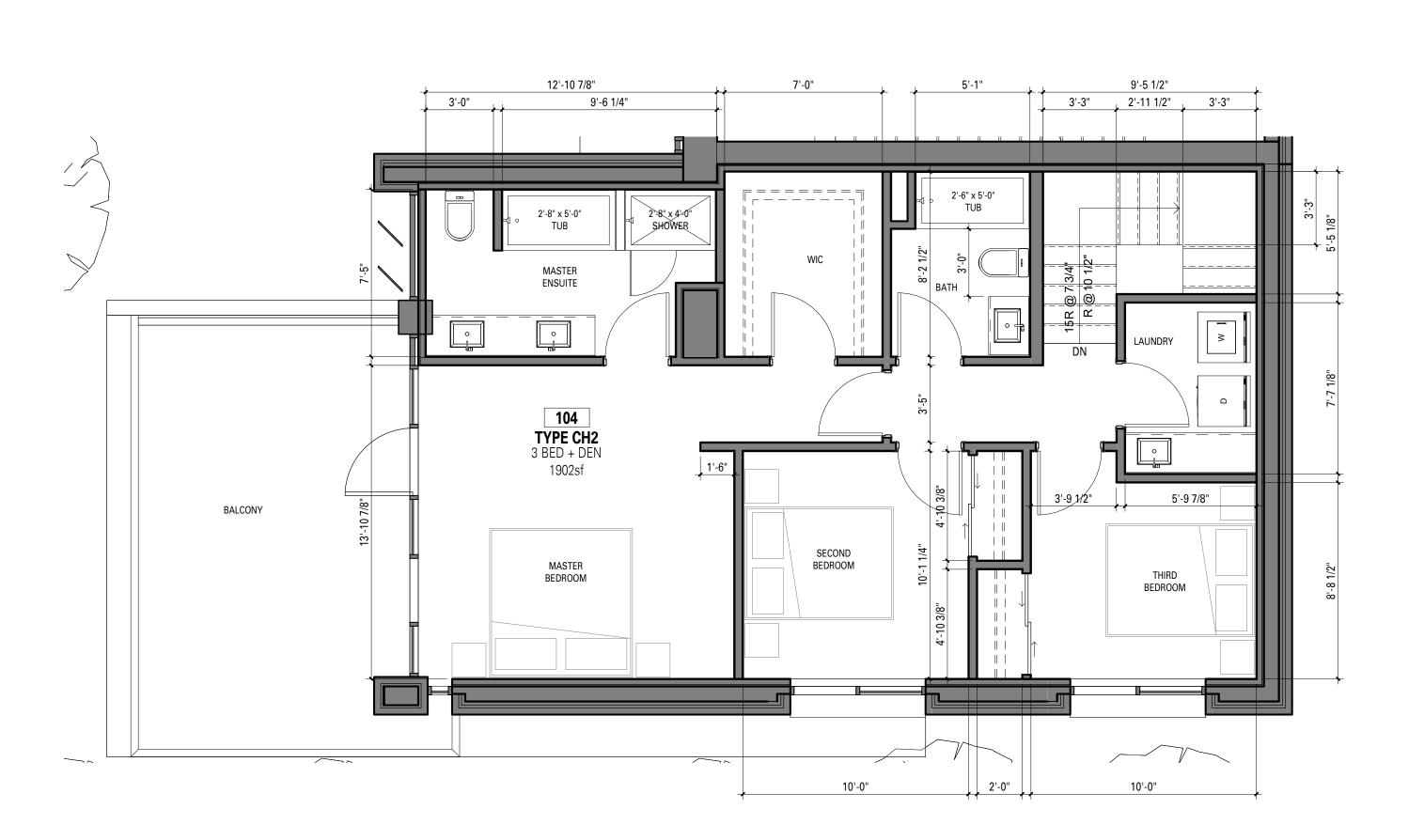
1/4" = 1'-0"

Sheet Number

Issue Date



UNIT TYPE CH2 - LEVEL 1
1/4" = 1'-0"



UNIT TYPE CH2 - LEVEL 2



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Project Title
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## MARCON

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#### MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

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**UNIT PLANS - TYPE B1** 

Drawn By Author
Reviewed by Approver

Project Number **1706** 

Plot Date

Issue Date 2018/07/25

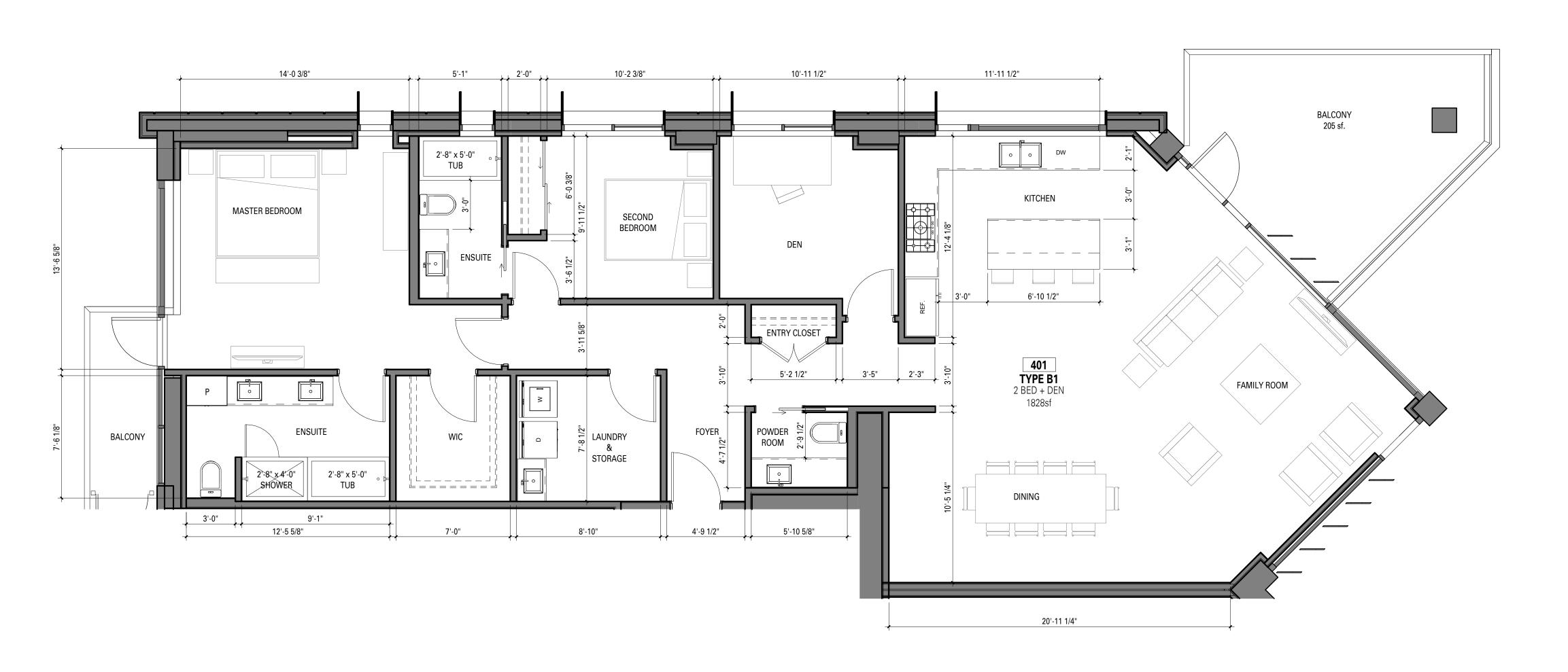
= 1'-0"

1/4" = 1'-0"

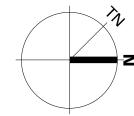
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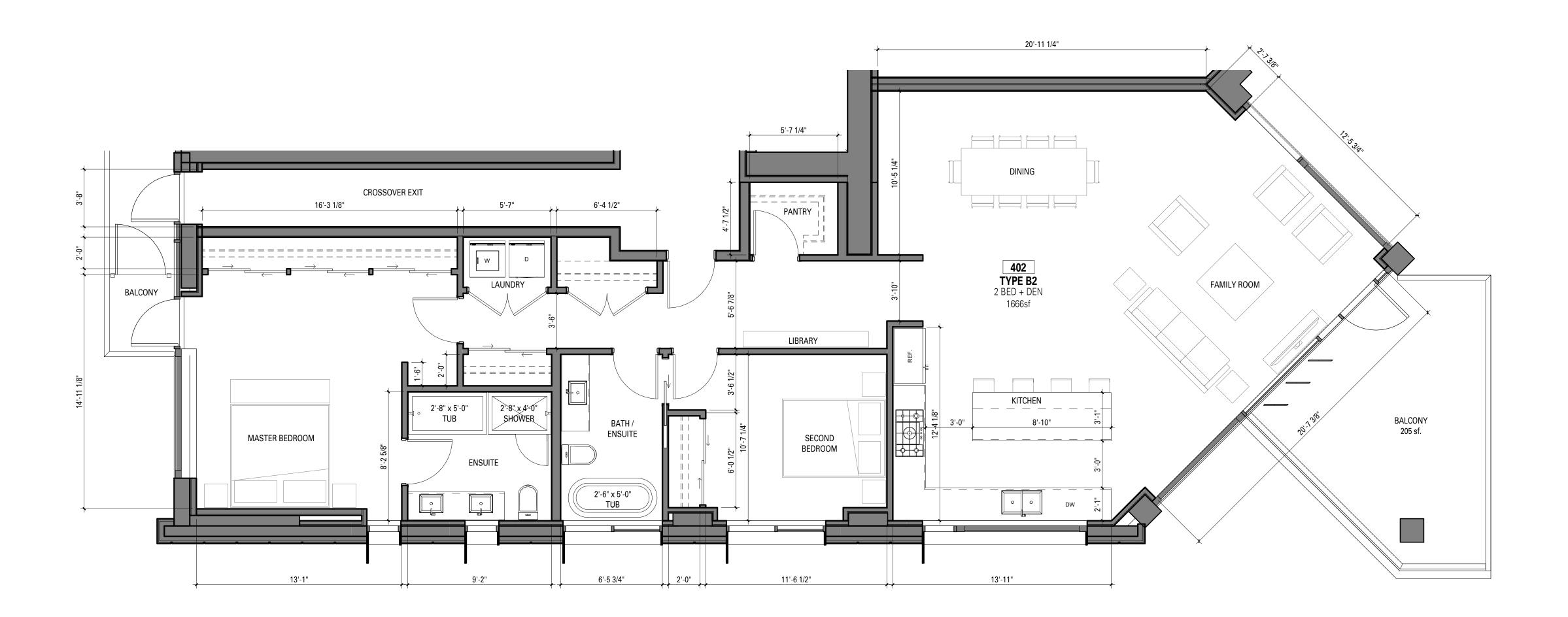
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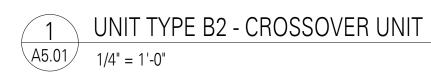
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1 UNIT TYPE B1 - TYPICAL UNIT
1/4" = 1'-0"







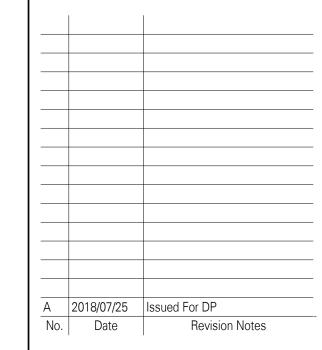
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## MARCON

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#### MARCON DEVELOPMENTS

5645 199 Street Langley BC V3A 1H9

Sheet

**UNIT PLANS - TYPE B2** 

Drawn By Author
Reviewed by Approver

Project Number
1706

Plot Date Issue Date
2018/07/25

1/4" = 1'-0"

Sheet Number

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A7.05





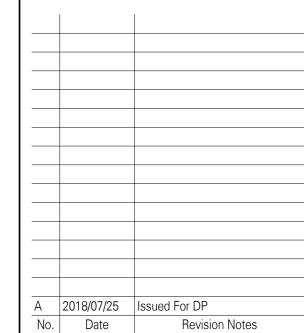
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Project Title
2030 BARCLAY

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## MARCON

Client/Owner

MARCON DEVELOPMENTS

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UNIT PLANS - TYPE B3

Drawn By Author
Reviewed by Approver

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Plot Date

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1/4" = 1'-0"

Sheet Number

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*Issue Date* 2018/07/25

A7.06

