DECEMBER 7, 2017
DP APPLICATION

Aoyuan
Client Address

IBI GROUP
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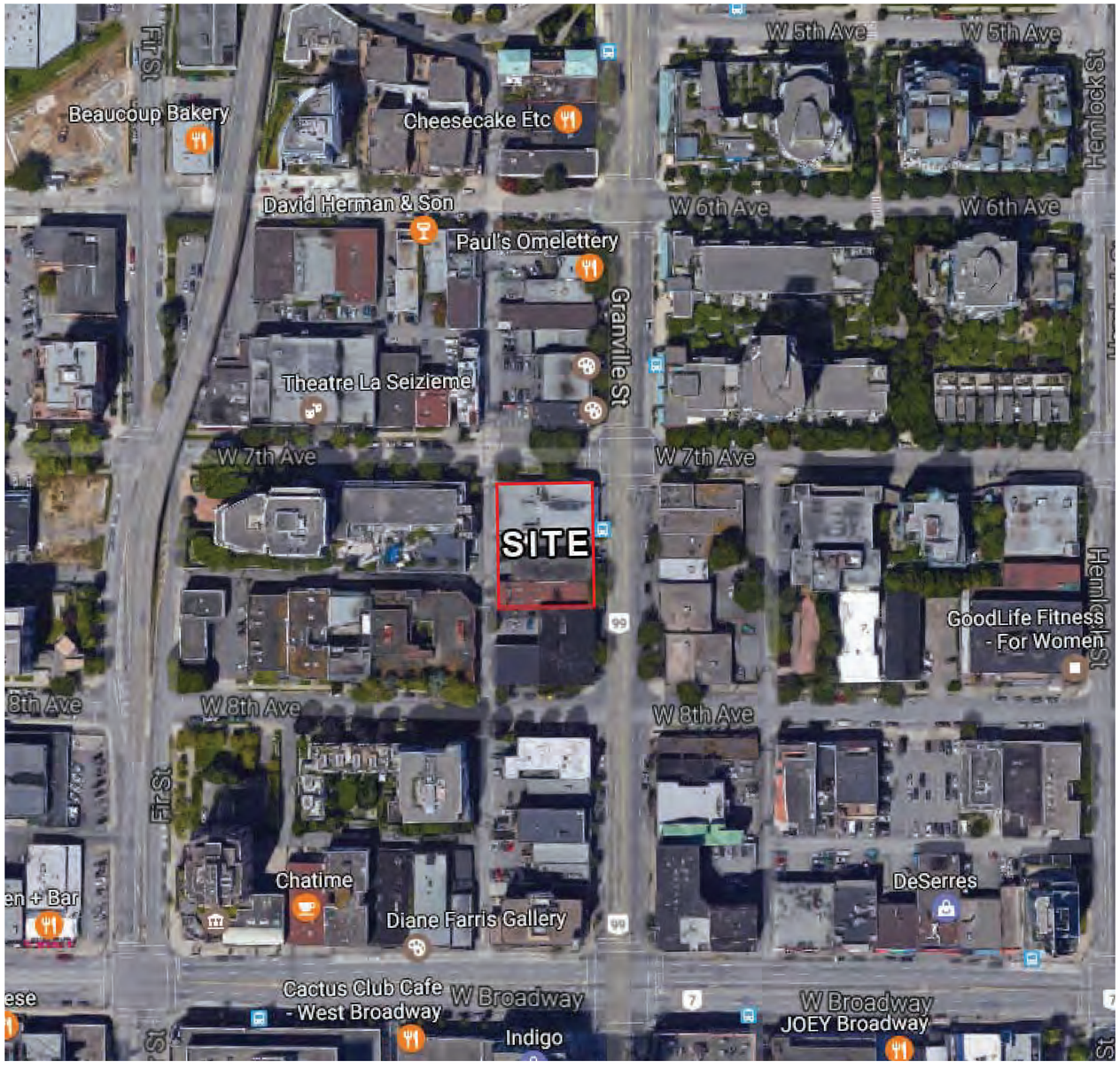
2301-2329 GRANVILLE STREET VANCOUVER



SITE AT GRANVILLE AND WEST 7TH

APPROACHING SITE NORTHBOUND ON GRANVILLE

VIEW OF LANE AT NORTHWEST CORNER OF SITE

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NO.	DATE	DESCRIPTION
2	2017-12-07	ISSUED FOR DP
1	----	DP DRAFT

ISSUES

PRIME CONSULTANT

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IBI GROUP
ARCHITECTS (CANADA) INC.
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tel 604 683 8797 fax 604 683 0492
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PROJECT TITLE
2301 - 2329 Granville Street

PROJECT NO:
DRAWN BY:
CHK'D BY:
SCALE:
DATE: 2017-12-07

SHEET TITLE
CONTEXT PLAN

SHEET NUMBER
A0.01
1 OF 1

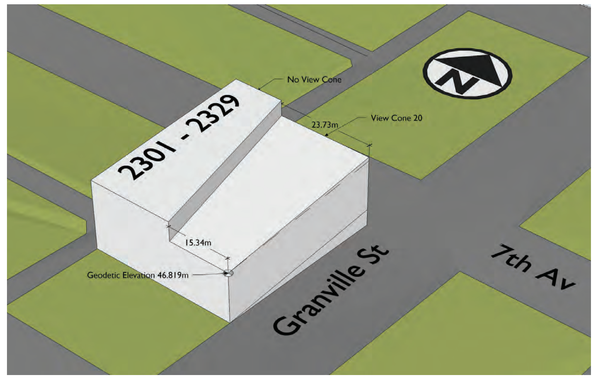
REV:

The proposed form of the building responds to the Granville Street setbacks and View Cone 20-2014 to maintain the corridor view to the North Shore while also respecting historical built form on Granville Street. The building is comprised of three forms stepping up and away from the commercial street along Granville to the eight-storey high portion of the building along the west property boundary.

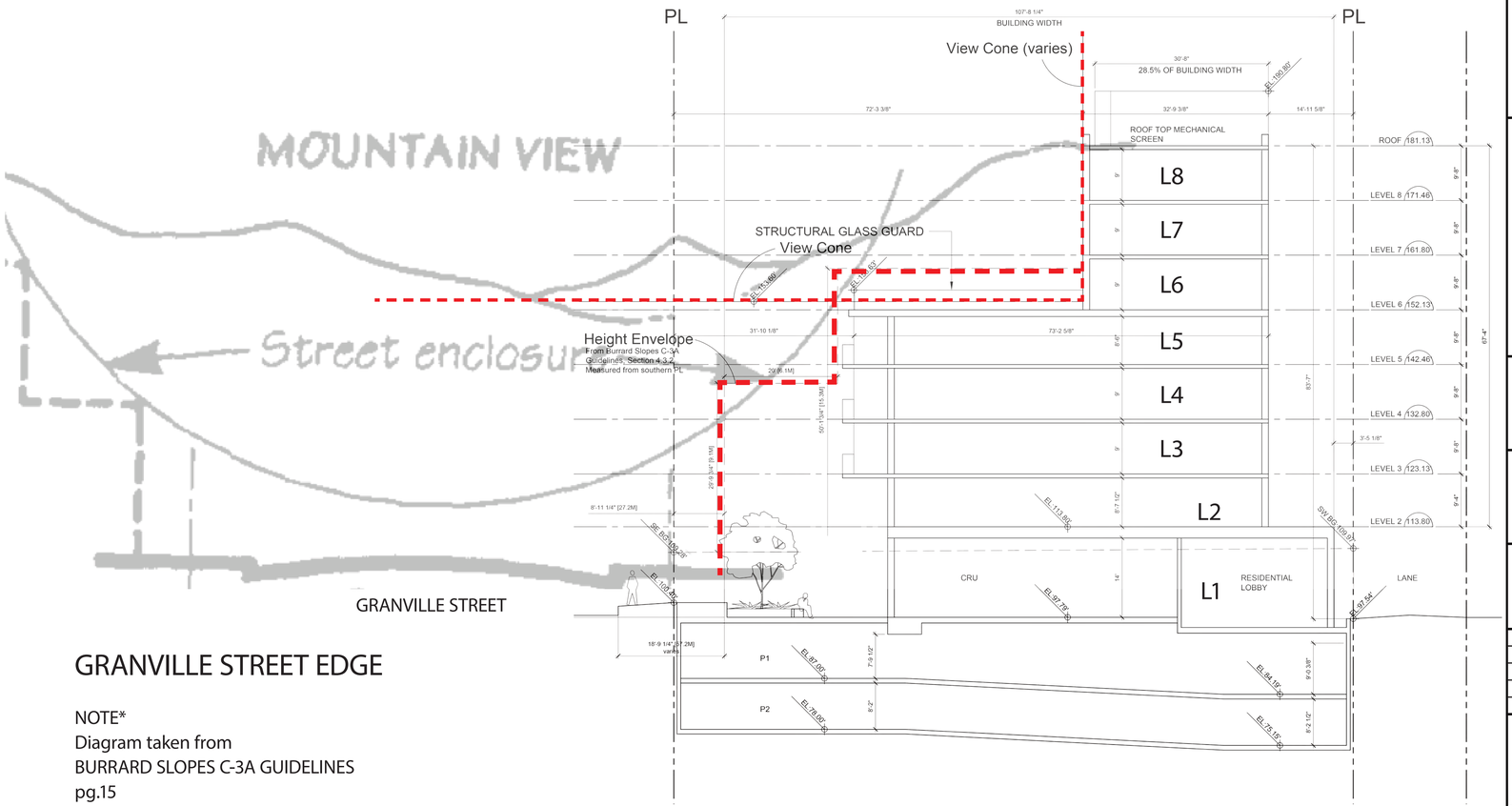
Retail spaces at street level are shaped as separate units to follow Granville's street character and break the building proportion to a pedestrian scale. The design of the store frontages and entries sloping up the street will encourage an active and engaging street. Stone cladding will be used on Granville to give a warm and grand look to the stores.

The residential building mass at the upper levels, stepping back and rotating at the 3rd and 6th storeys in line with the view corridor, create unique and exciting forms that will be animated with the rhythm of smaller balconies and vertical façade elements. As a result of these setbacks tenants will enjoy large patios with lots of sunlight and planters along edges. The west facing façade is a metal panel grid with smaller windows to minimize the west light and heat gain, with the corridors lining up along west wall at these upper levels.

The residential entry lobby will be located at northwest corner of the building. An amenity area and landscaping along the west boundary will activate the lane. Loading and parking access will be tucked back further down the lane.



View Cone Diagram from City of Vancouver
November 3, 2017



GRANVILLE STREET EDGE

NOTE*
Diagram taken from
BURRARD SLOPES C-3A GUIDELINES
pg.15

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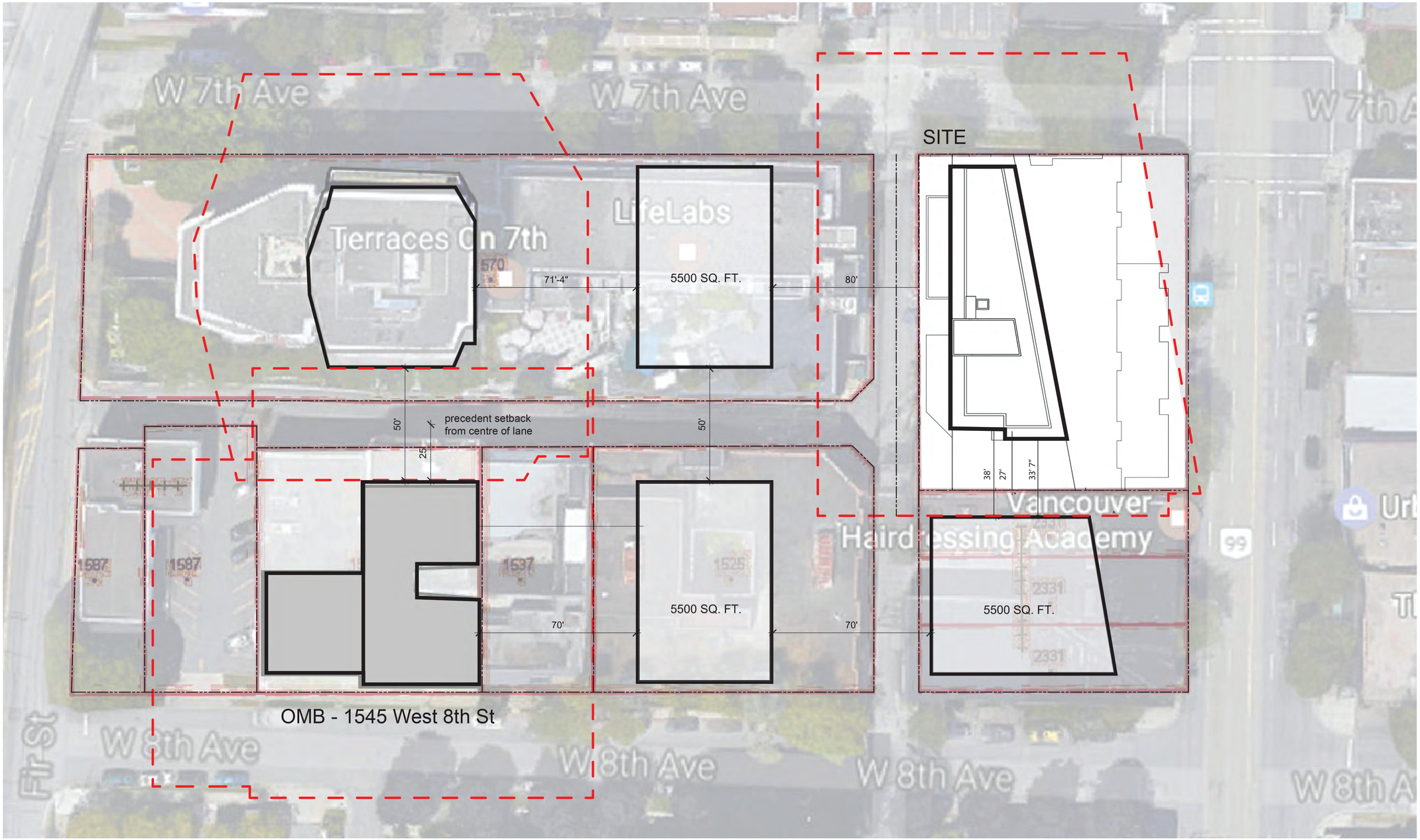
2301 - 2329 Granville Street

PROJECT NO:
DRAWN BY:
CHK'D BY:
SCALE:
DATE: 2017-12-07

SHEET TITLE
DESIGN RATIONALE

SHEET NUMBER
A0.02
1 OF 1

REV:



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PROJECT TITLE
2301 - 2329 Granville Street

PROJECT NO:
DRAWN BY:
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SCALE:
DATE: 2017-12-07

SHEET TITLE
TOWER SETBACK STUDY

SHEET NUMBER
A0.03
1 OF 1

REV:

VIEW FROM GRANVILLE STREET LOOKING SOUTHWEST

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PROJECT TITLE

2301 - 2329 Granville Street

PROJECT NO:

DRAWN BY:

CHK'D BY:

SCALE:

DATE: 2017-12-07

SHEET TITLE

PERSPECTIVE

SHEET NUMBER

A0.04

1 OF 1

REV:

VIEW FROM 7TH AVENUE LOOKING SOUTH

CORNER PLAZA

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PROJECT NO:
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SCALE:
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SHEET TITLE
PERSPECTIVE

SHEET NUMBER
A0.05
1 OF 1

REV:

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PROJECT TITLE
2301 - 2329 Granville Street

PROJECT NO:
DRAWN BY:
CHK'D BY:
SCALE:
DATE: 2017-12-07

SHEET TITLE
BUILDING MATERIALS

SHEET NUMBER
A0.06
1 OF 1

REV:

MARCH 20TH 10AM

MARCH 20TH 12PM

MARCH 20TH 2PM

JUNE 20TH 10AM

JUNE 20TH 12PM

JUNE 20TH 2PM

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PROJECT TITLE
2301 - 2329 Granville Street

PROJECT NO:
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SHEET TITLE
SHADOW STUDY

SHEET NUMBER
A0.07
1 OF 1

REV:

Site Area		17,982
	FSR	Area
FSR and Area Target	3.30	59,341

	Gross Area		Exclusions			FSR Area
Level	Comm.	Res.	Amenity	Storage	Mechanical	
L8		4549		120	27	4,402
L7		5919		160	27	5,732
L6		5919		160	27	5,732
L5		10,143		360	91	9,692
L4		10,143		360	91	9,692
L3		10,143		360	91	9,692
L2		4,997		120	91	4,786
L1	7,776	1,837	239		27	9,613
Total	7,776	53,650	239	1,640		59,341
FSR	0.43	2.98				**3.30**

	Unit Mix			
	3br	2 br	1 br	Total
L8	1	1	1	3
L7	2	1	1	4
L6	2	1	1	4
L5	1	4	4	9
L4	1	4	4	9
L3	1	4	4	9
L2	1	1	1	3
L1				
Total	9	16	16	
FSR	22.0%	39.0%	39.0%	**41**

PARKING REQUIREMENTS		
Residential Parking Required	**Required**	**Provided**
Vancouver Parking Bylaw - Section 4.2.1.13		
0.5 stalls per unit (<538 SF)	2	
0.6 stalls per unit (>538 SF)	23	
plus 1/2153 SF of gross res. area	24	
TOTAL	48	48
Disability Spaces		
1 for first 7 Units	1	
Plus 0.034/Unit (see Section 4.8.4)	1	
Total	2	2

Residential Parking Provided	Regular	Small	HC	Total
P1	2	2	1	5
P2	34	8	1	43
	36	10	2	48

Commercial Parking Required		**Required**	**Provided**
Vancouver Parking Bylaw - Section 4.2.5.1			
1 stall per **1076** SF for first **3229** SF		12	
1 stall per **538** SF for remaining area			
	TOTAL	12	15
Disability Spaces			
1 for first 5382 SF		1	
Plus 0.4/10764 SF		1	
	Total	2	2

Commercial Parking Provided	Regular	Small	HC	Total
P1	13	0	2	15
P2	0	0	0	0
Total	13	0	2	15

BICYCLE SPACE REQUIREMENTS		
Residential Bicycle Spaces Required	**Required**	**Provided**
Residential Class A		
Vancouver Parking Bylaw - Section 6.2.1.2		
1.25 spaces for every dwelling unit	52	52
Residential Class B		
6 spaces for 20 or more units	6	

Residential Bicycle Spaces Provided	Class A Horizontal	Class B	Total
L1	0	6	6
P1	50	0	50
Total	50	6	

Commercial Bicycle Spaces Required	**Required**	**Provided**
Commercial Class A		
Vancouver Parking Bylaw - Section 6.2.4.1		
1 space per **5382** SF	2	2
Commercial Class B		
6 spaces for 10764 SF or more	0	0

Commercial Bicycle Spaces Provided	Class A Horizontal	Class B	Total
L1	0	0	0
P1	2	0	2
Total	2	0	

LOADING REQUIREMENTS		
Residential Loading Required	**Required**	**Provided**
Residential Loading - Section 5.2.1		
Class A Not required	0	0
Class B Not required for less than 100 units	0	0
Class C Not required	0	0
TOTAL	0	0

Commercial Loading Required		**Required**	**Provided**
Commercial Loading - Section 5.2.5			
Class A	Not required	0	0
Class B	1 per 5005 SF plus 1 up to next 20021 SF	2	2
Class C	Not required	0	0
	TOTAL	2	2

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NO.	DATE	APPR	DESCRIPTION
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ibigroup.com

PROJECT TITLE
2301 - 2329 Granville Street

PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	
DATE:	2017/12/05

SHEET TITLE
PROJECT STATS

SHEET NUMBER A0.08
1 OF 1
REV: .----

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Client Address

NO.	DATE	DESCRIPTION
2	2017-12-07	ISSUED FOR DP
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ibigroup.com

PROJECT TITLE
2301 - 2329 Granville Street

PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/32" = 1'-0"
DATE:	2017/12/05

SHEET TITLE
CONTEXT PLAN

SHEET NUMBER
A0.09
1 OF 1

REV:
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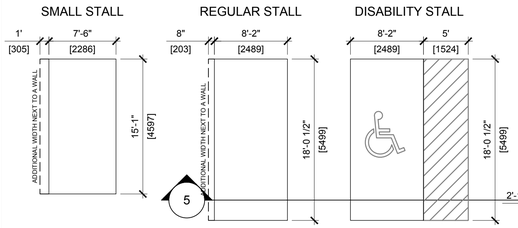
CITY PARKING: VANCOUVER BC, CANADA



PARKING TAG

OCCUPANCY
STALL TYPE
STALL NUMBER

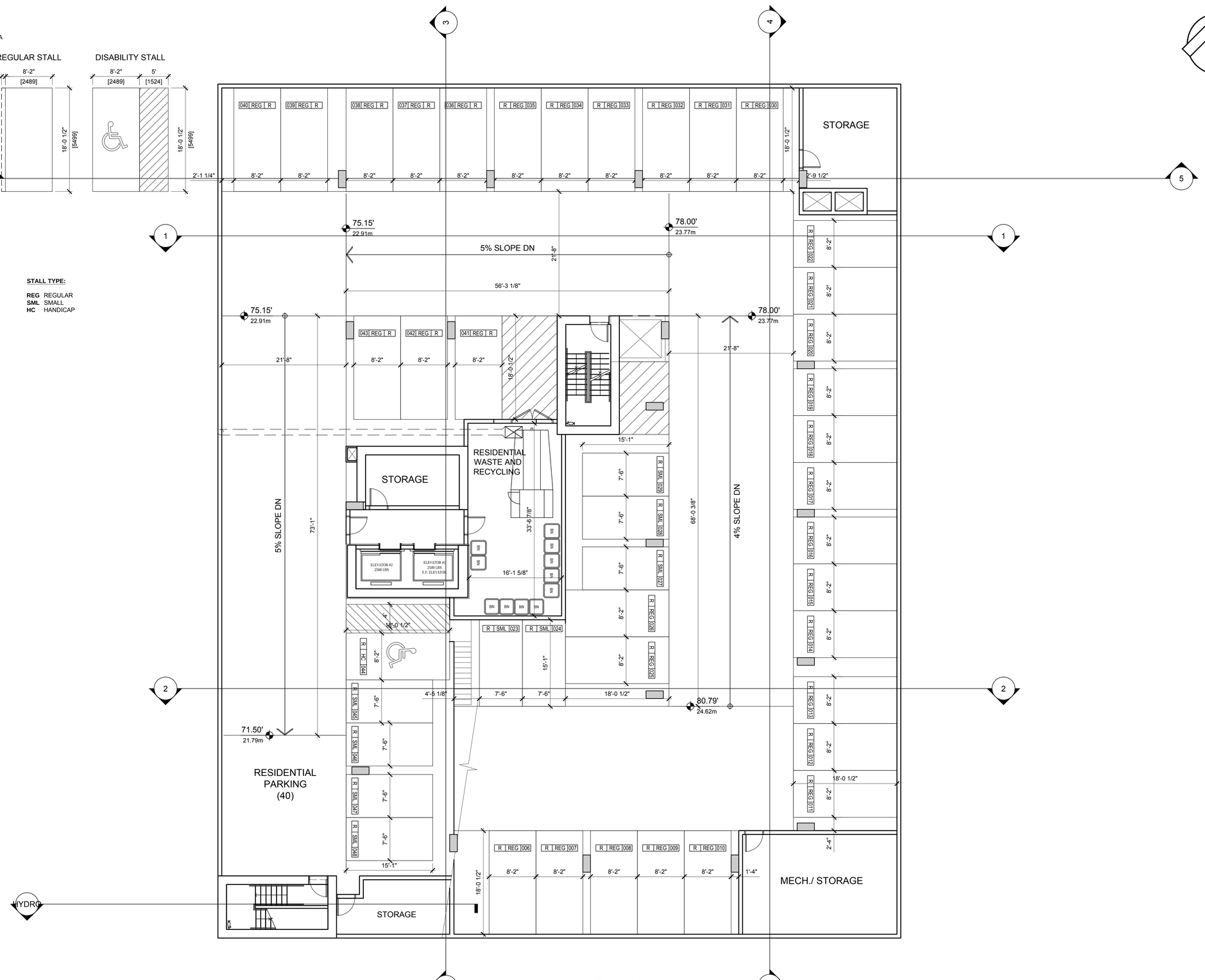
C | REG | 001

OCCUPANCY LEGEND:

C COMMERCIAL (GENERAL)
R RESIDENTIAL (GENERAL)

STALL TYPE:

REG REGULAR
SML SMALL
HC HANDICAP



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Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 683 0492
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PROJECT TITLE

2301 - 2329 Granville Street

PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/8" = 1'-0"
DATE:	2017/12/05

SHEET TITLE

LEVEL P2

SHEET NUMBER

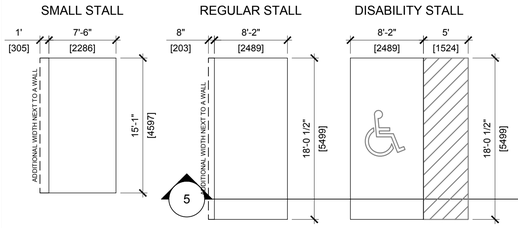
A1.01

1 OF 1

REV: .----

PARKING LEGEND:

CITY PARKING: VANCOUVER BC, CANADA



PARKING TAG

C | REG | 001

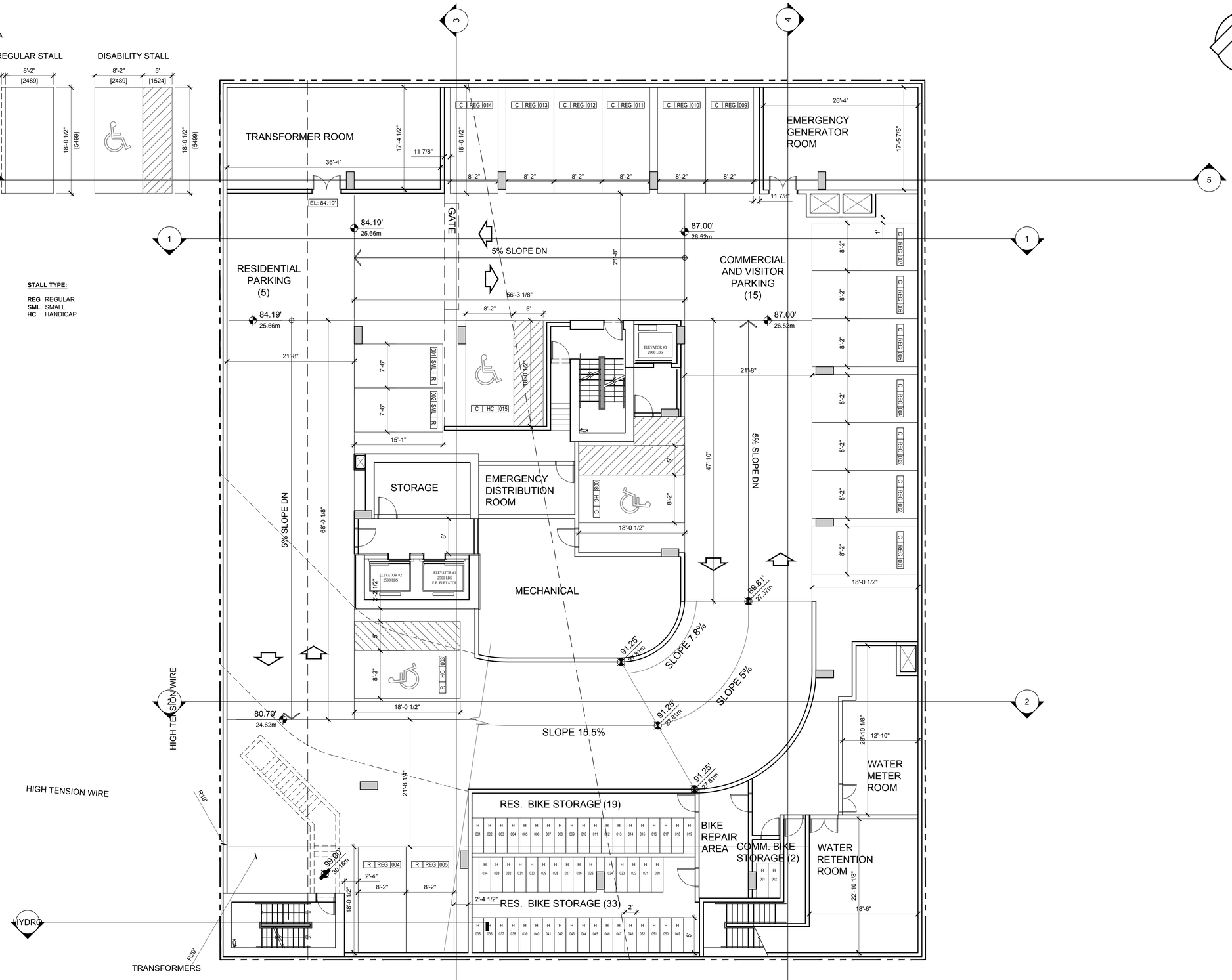
- OCCUPANCY
- STALL TYPE
- STALL NUMBER

OCCUPANCY LEGEND:

C COMMERCIAL (GENERAL)
R RESIDENTIAL (GENERAL)

STALL TYPE:

REG REGULAR
SML SMALL
HC HANDICAP



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PROJECT TITLE

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PROJECT NO:	106550
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SCALE:	1/8" = 1'-0"
DATE:	2017/12/05

SHEET TITLE

LEVEL P1

SHEET NUMBER

A1.02

1 OF 1

REV:

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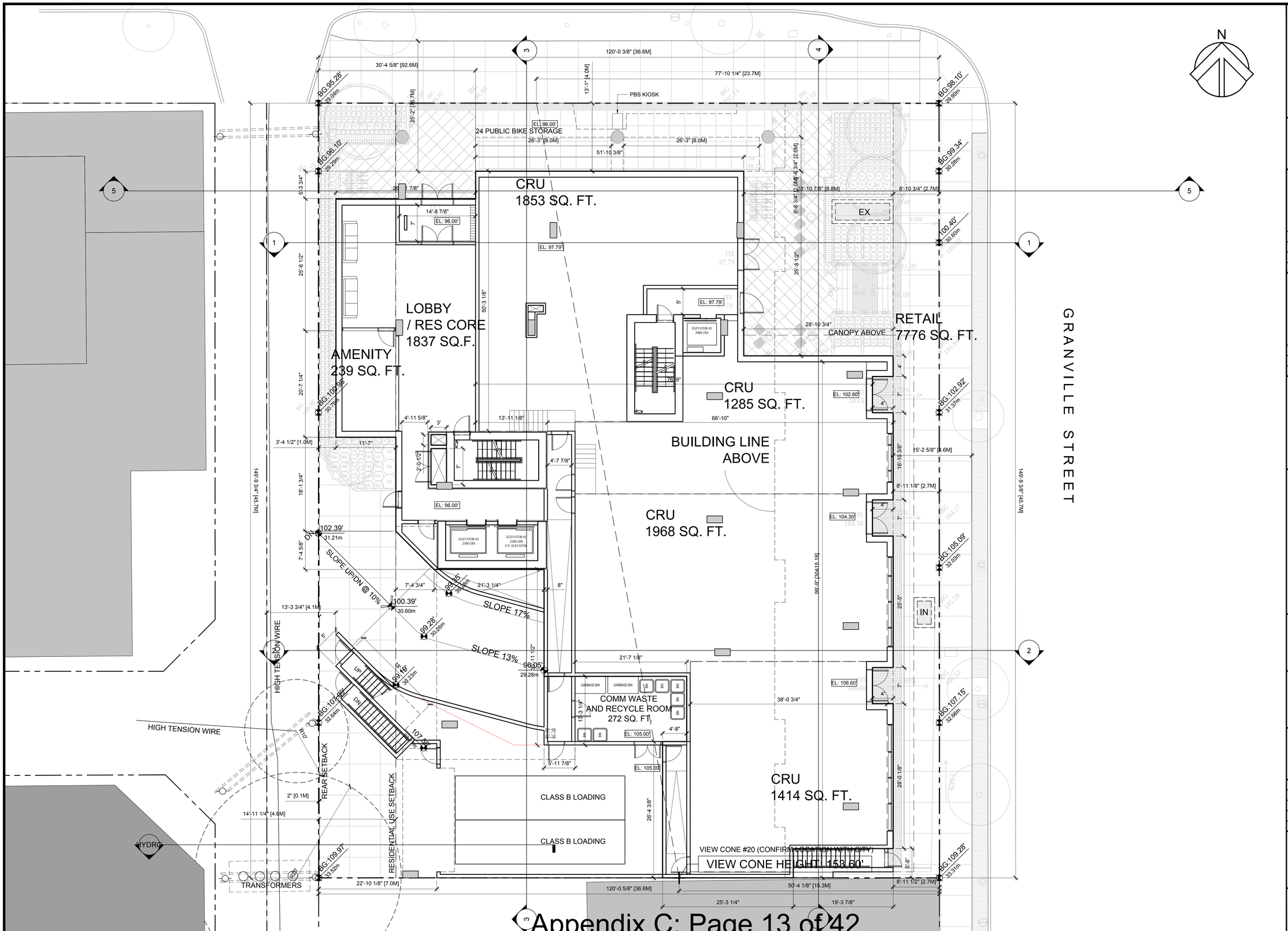

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2301 - 2329 Granville Street

PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/8" = 1'-0"
DATE:	2017/12/04

SHEET TITLE
L1 PLAN

SHEET NUMBER
A1.03
1 OF 1

REV:
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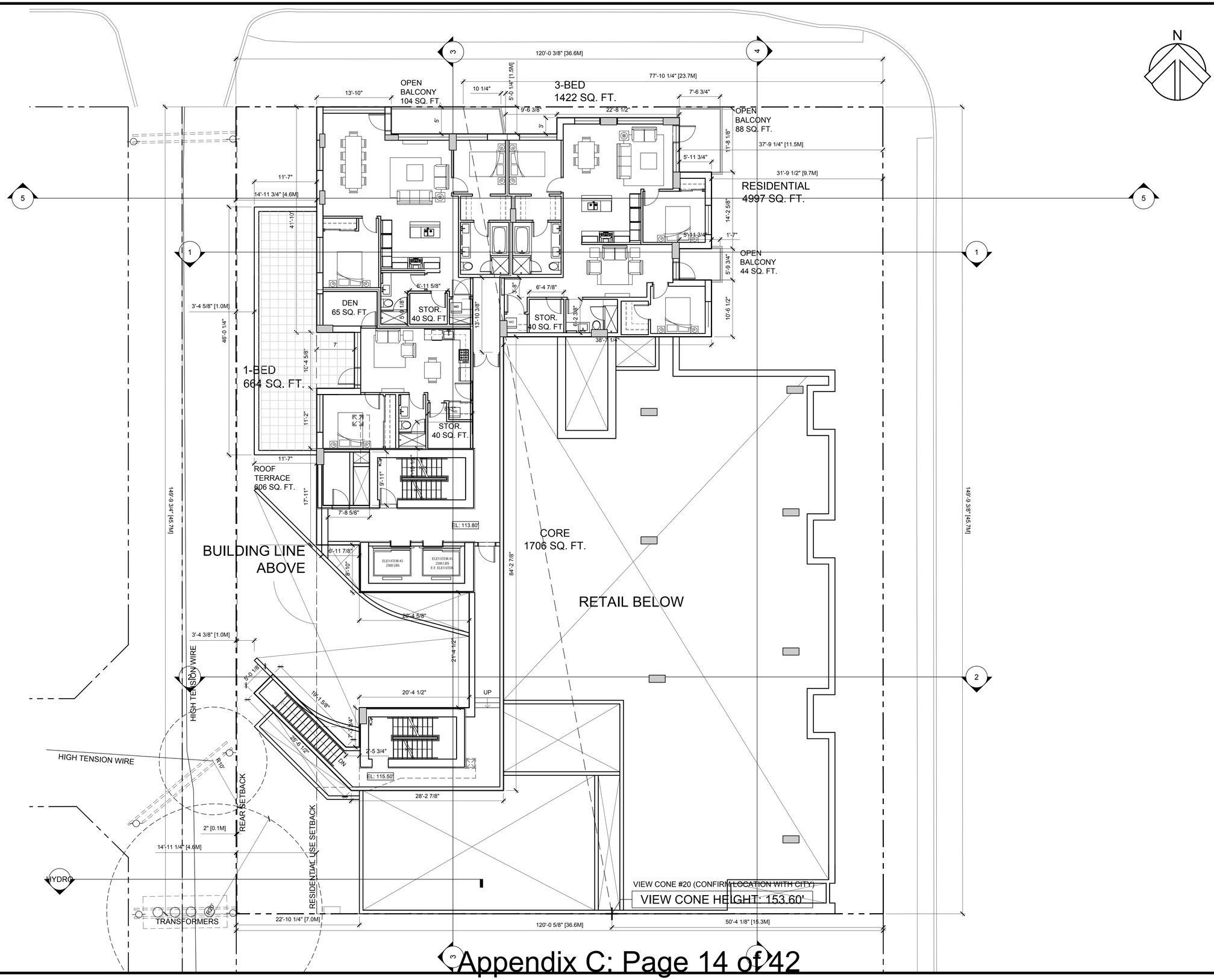

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PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/8" = 1'-0"
DATE:	2017/12/05

SHEET TITLE

L2 PLAN

SHEET NUMBER: A1.04 (1 OF 1)

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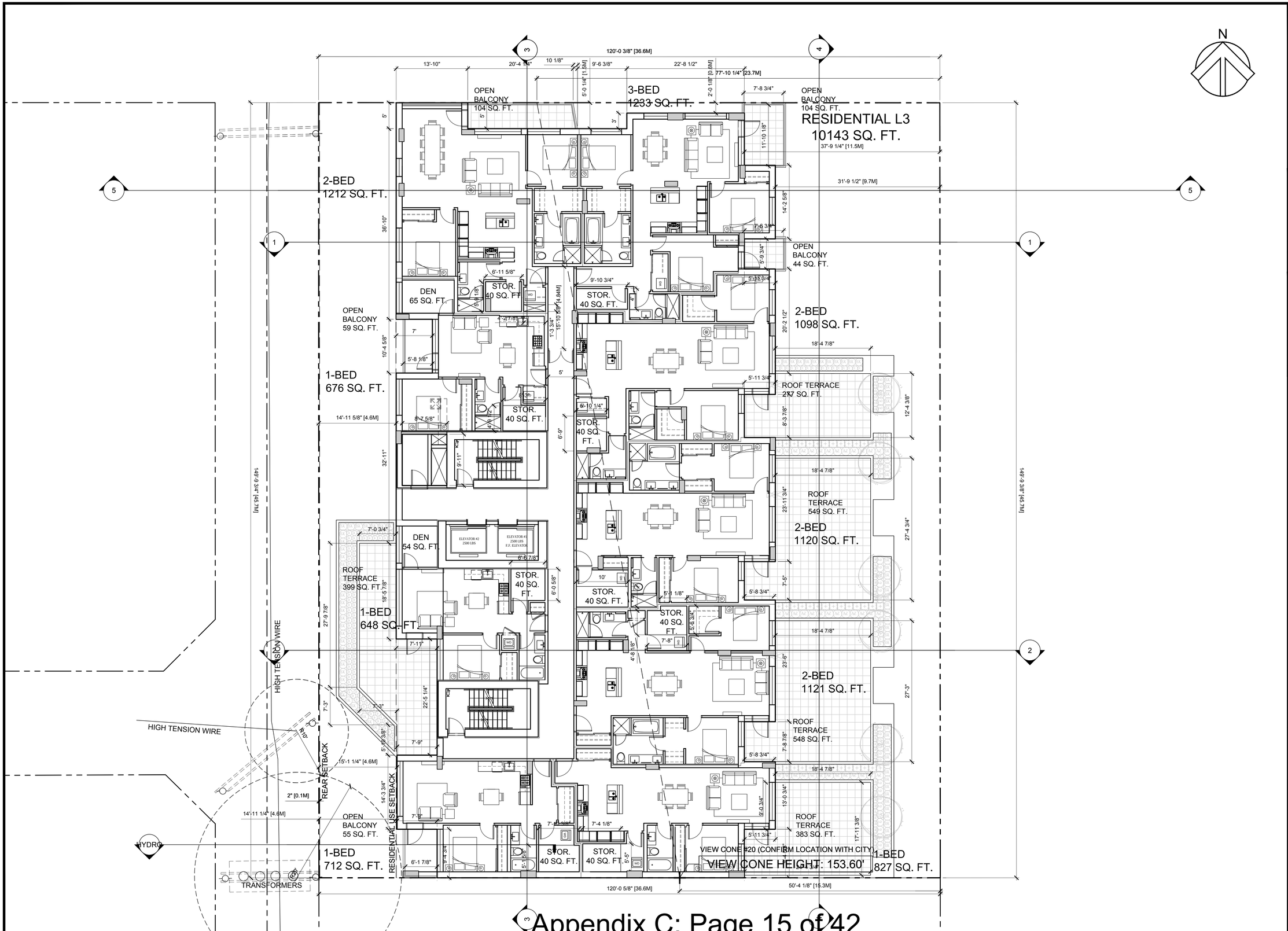

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2301 - 2329 Granville Street

PROJECT NO:	106550
DRAWN BY:	User
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SCALE:	1/8" = 1'-0"
DATE:	2017/12/05

SHEET TITLE
L3 PLAN

SHEET NUMBER
A1.05
1 OF 1

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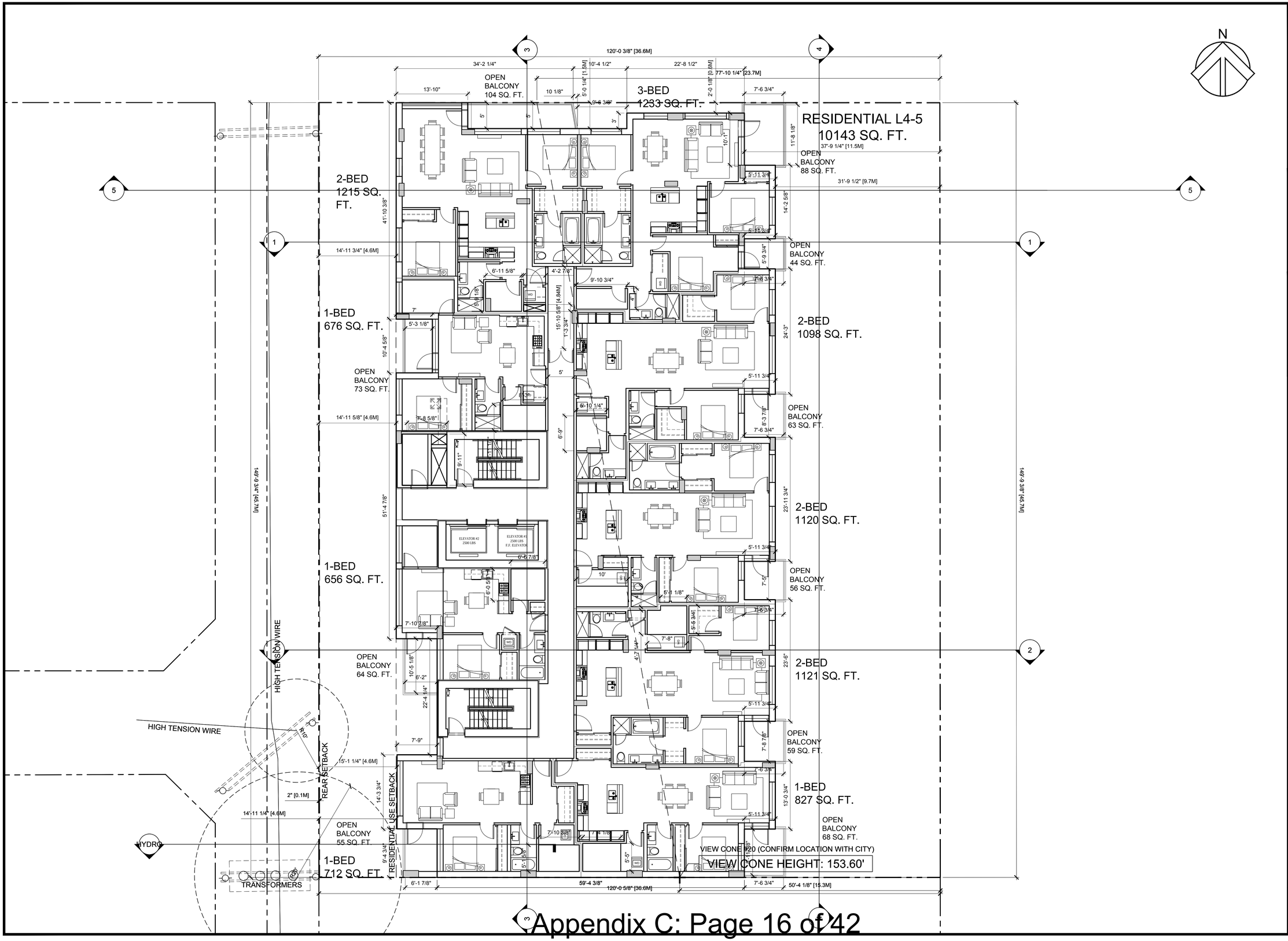

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DATE:	2017/12/05

SHEET TITLE

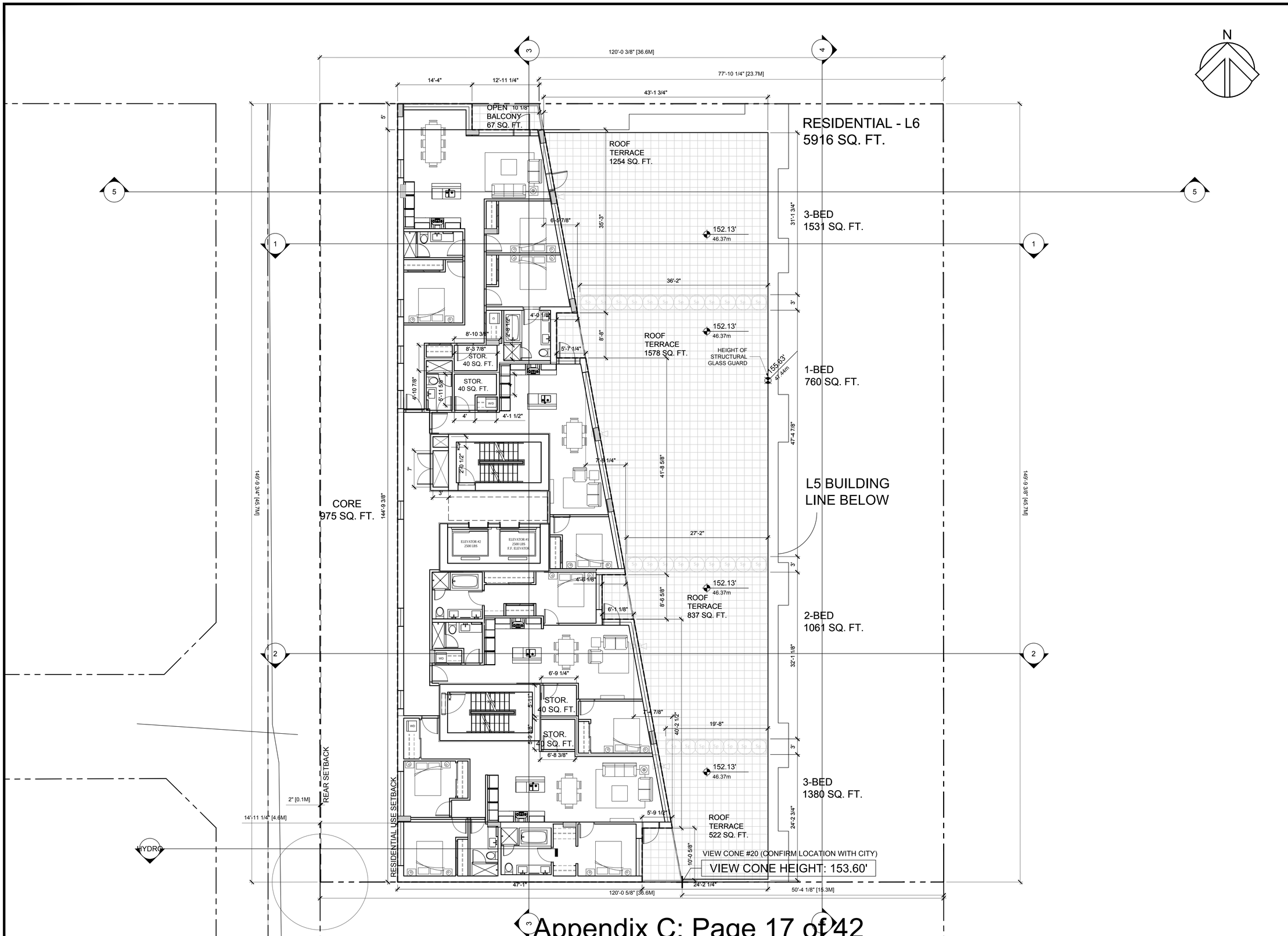
L4-5 PLAN

SHEET NUMBER

A1.06

1 OF 1

REV: .----



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SHEET TITLE
L6 PLAN

SHEET NUMBER
A1.07
1 OF 1

REV:
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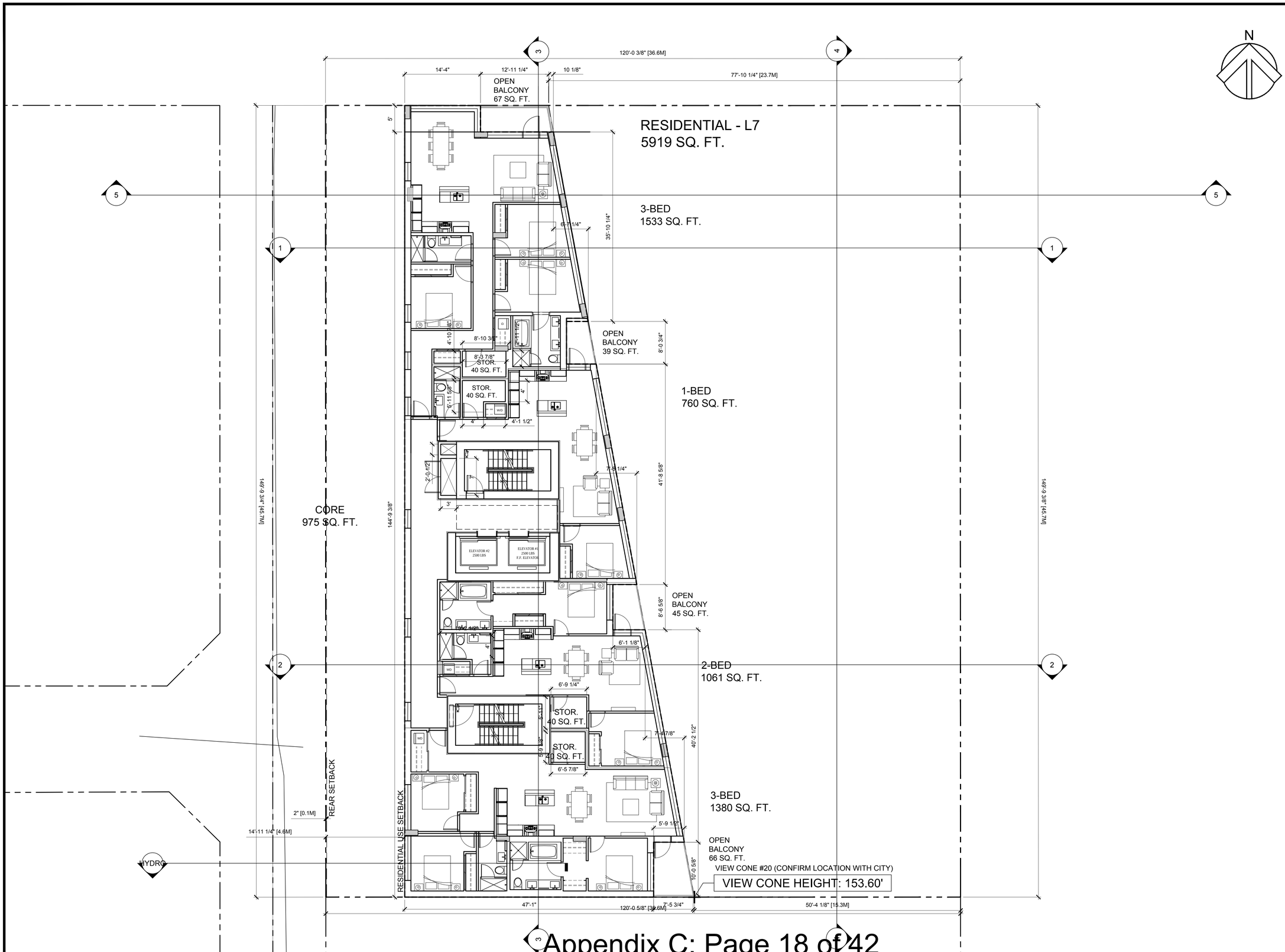

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PROJECT TITLE
2301 - 2329 Granville Street

PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/8" = 1'-0"
DATE:	2017/12/05

SHEET TITLE
L7 PLAN

SHEET NUMBER
A1.08
1 OF 1

REV:
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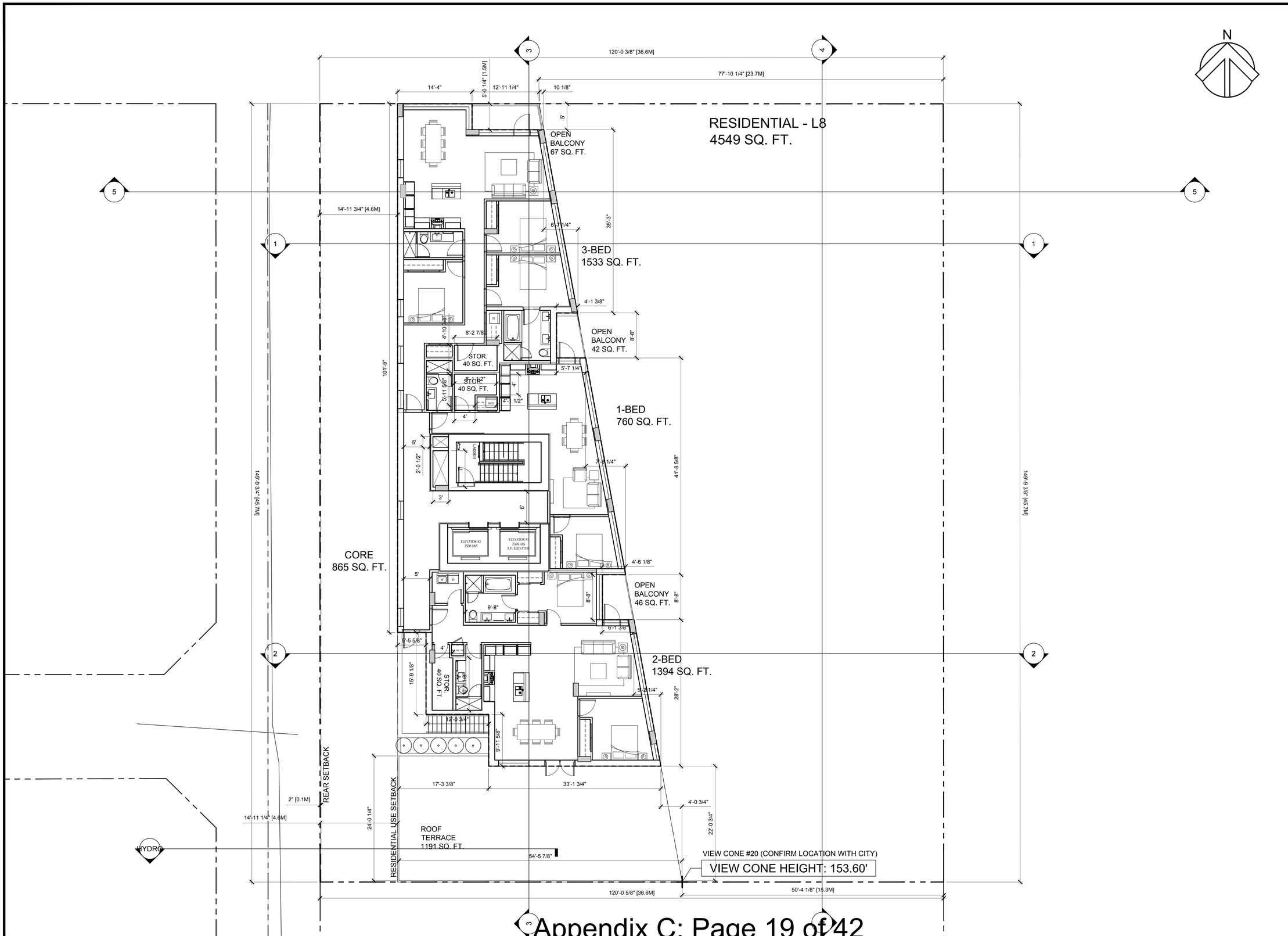

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NO.	DATE	APPR	DESCRIPTION
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PROJECT TITLE
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PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/8" = 1'-0"
DATE:	2017/12/05

SHEET TITLE
L8 PLAN

SHEET NUMBER
A1.09
1 OF 1

REV:
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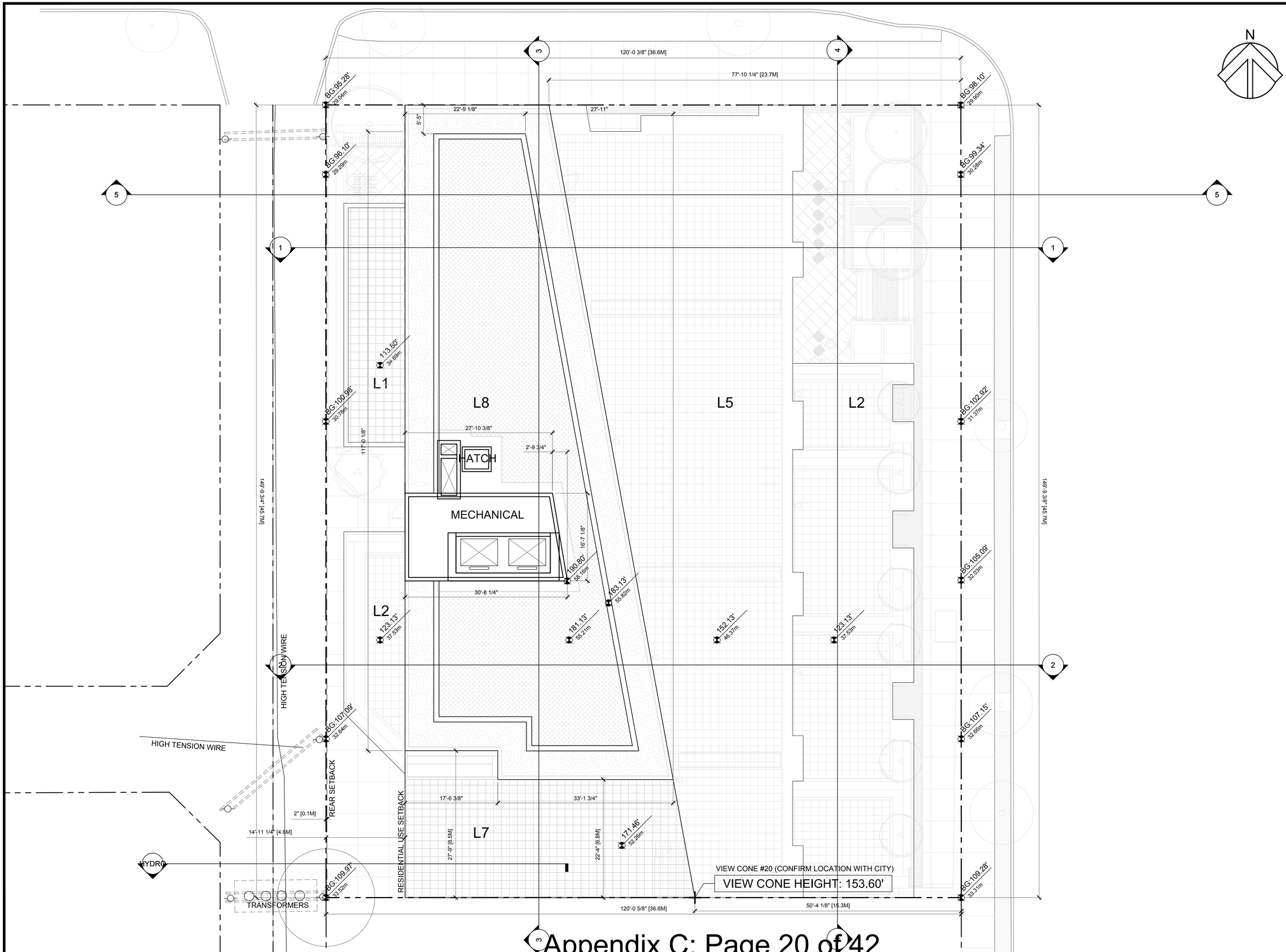

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Aoyuan

NO.	DATE	DESCRIPTION
2	2017-12-07	ISSUED FOR DP
1	----	DP DRAFT

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NO.	DATE	APPR	DESCRIPTION
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PROJECT NO:	106550
DRAWN BY:	User
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SCALE:	1/8" = 1'-0"
DATE:	2017/12/05

SHEET TITLE

ROOF PLAN

SHEET NUMBER

A1.10

1 OF 1

REV:

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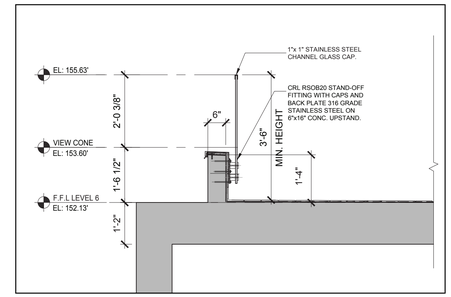

7. GLASS GUARD RAIL DETAIL

MATERIAL KEY

1. METAL PANEL
2. EXPOSED CONCRETE
3. DARK COLOR STONE
4. LIGHT COLOR STONE
5. VISION GLASS (WINDOW WALL)
6. ALUMINUM MULLION
7. GLASS GUARD RAIL
8. FRAMED GLASS GUARD RAIL

CLIENT

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PROJECT TITLE
2301 - 2329 Granville Street

PROJECT NO:
DRAWN BY:
CHK'D BY:
SCALE: 1/8" = 1'-0"
DATE: 2017-12-07

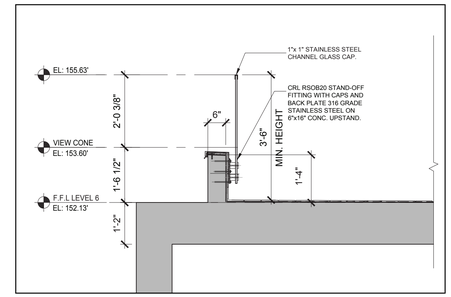
SHEET TITLE
EAST ELEVATION

SHEET NUMBER
A2.01
1 OF 1

REV:

MATERIAL KEY

1. METAL PANEL
2. EXPOSED CONCRETE
3. DARK COLOR STONE
4. LIGHT COLOR STONE
5. VISION GLASS (WINDOW WALL)
6. ALUMINUM MULLION
7. GLASS GUARD RAIL
8. FRAMED GLASS GUARD RAIL
9. PAINTED CONCRETE PATTERN



7. GLASS GUARD RAIL DETAIL

CLIENT

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NO.	DATE	DESCRIPTION
2	2017-12-07	ISSUED FOR DP
1	----	DP DRAFT

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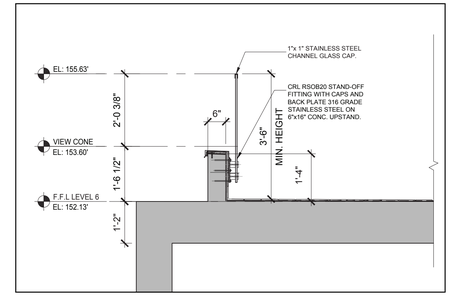
PROJECT TITLE
2301 - 2329 Granville Street

PROJECT NO:
DRAWN BY:
CHK'D BY:
SCALE: 1/8" = 1'-0"
DATE: 2017-12-07

SHEET TITLE
NORTH ELEVATION

SHEET NUMBER
A2.02
1 OF 1

REV:



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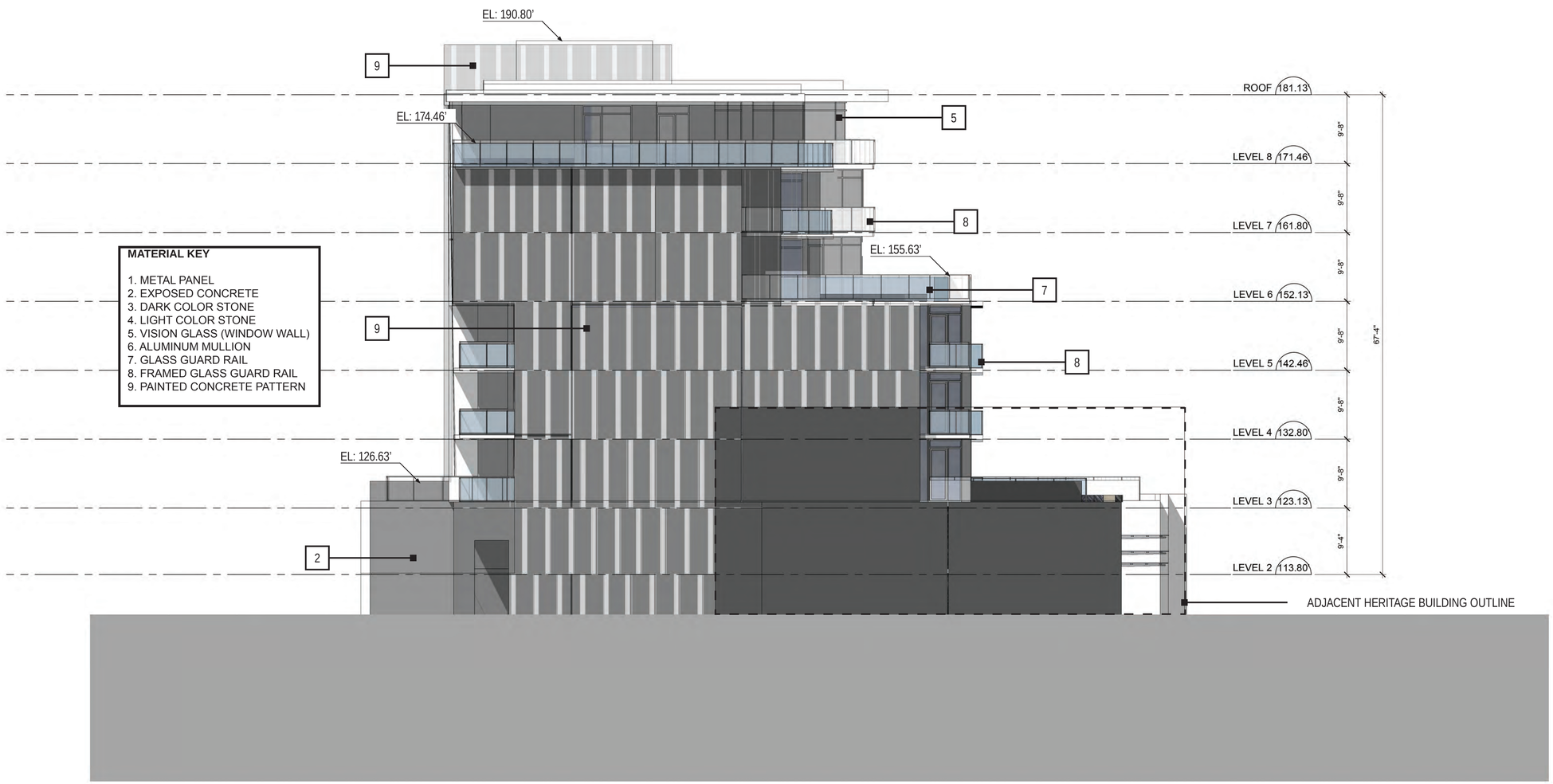

MATERIAL KEY

1. METAL PANEL
2. EXPOSED CONCRETE
3. DARK COLOR STONE
4. LIGHT COLOR STONE
5. VISION GLASS (WINDOW WALL)
6. ALUMINUM MULLION
7. GLASS GUARD RAIL
8. FRAMED GLASS GUARD RAIL
9. PAINTED CONCRETE PATTERN

CLIENT

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NO.	DATE	DESCRIPTION
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1	----	DP DRAFT

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PROJECT TITLE
2301 - 2329 Granville Street

PROJECT NO:
DRAWN BY:
CHK'D BY:
SCALE: 1/8" = 1'-0"
DATE: 2017-12-07

SHEET TITLE
SOUTH ELEVATION

SHEET NUMBER
A2.03
1 OF 1

REV:

MATERIAL KEY

1. METAL PANEL
2. EXPOSED CONCRETE
3. DARK COLOR STONE
4. LIGHT COLOR STONE
5. VISION GLASS (WINDOW WALL)
6. ALUMINUM MULLION
7. GLASS GUARD RAIL
8. FRAMED GLASS GUARD RAIL
9. PAINTED CONCRETE PATTERN

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2	2017-12-07	ISSUED FOR DP
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PROJECT TITLE
2301 - 2329 Granville Street

PROJECT NO:
DRAWN BY:
CHK'D BY:
SCALE: 1/8" = 1'-0"
DATE: 2017-12-07

SHEET TITLE
WEST ELEVATION

SHEET NUMBER
A2.04
1 OF 1

REV:

WEST SIDE OF GRANVILLE STREET

EAST SIDE OF GRANVILLE STREET

NORTH SIDE OF 7TH AVENUE

SOUTH SIDE OF 7TH AVENUE

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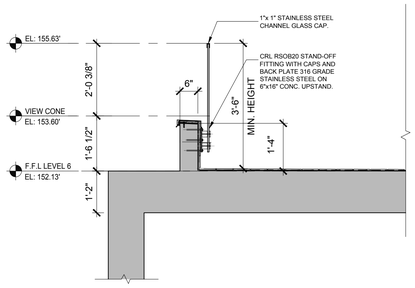
PROJECT TITLE
2301 - 2329 Granville Street

PROJECT NO:
DRAWN BY:
CHK'D BY:
SCALE:
DATE: 2017-12-07

SHEET TITLE
STREETSCAPES

SHEET NUMBER
A2.05
1 OF 1

REV:



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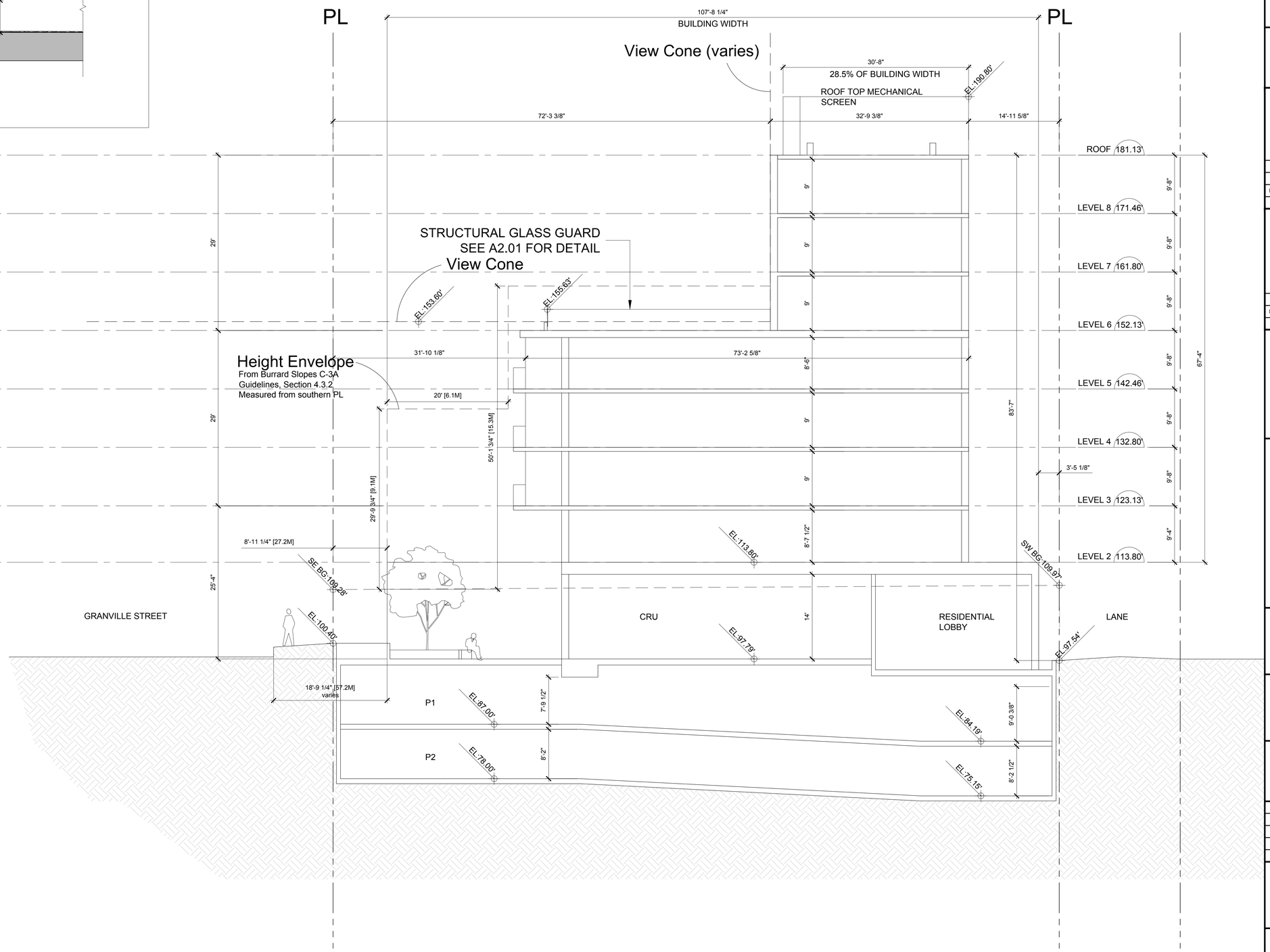

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PROJECT TITLE

2301 - 2329 Granville Street

PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/8" = 1'-0"
DATE:	YY/MM/DD

SHEET TITLE

SECTION 1

SHEET NUMBER

A3.01

1 OF 1

REV:

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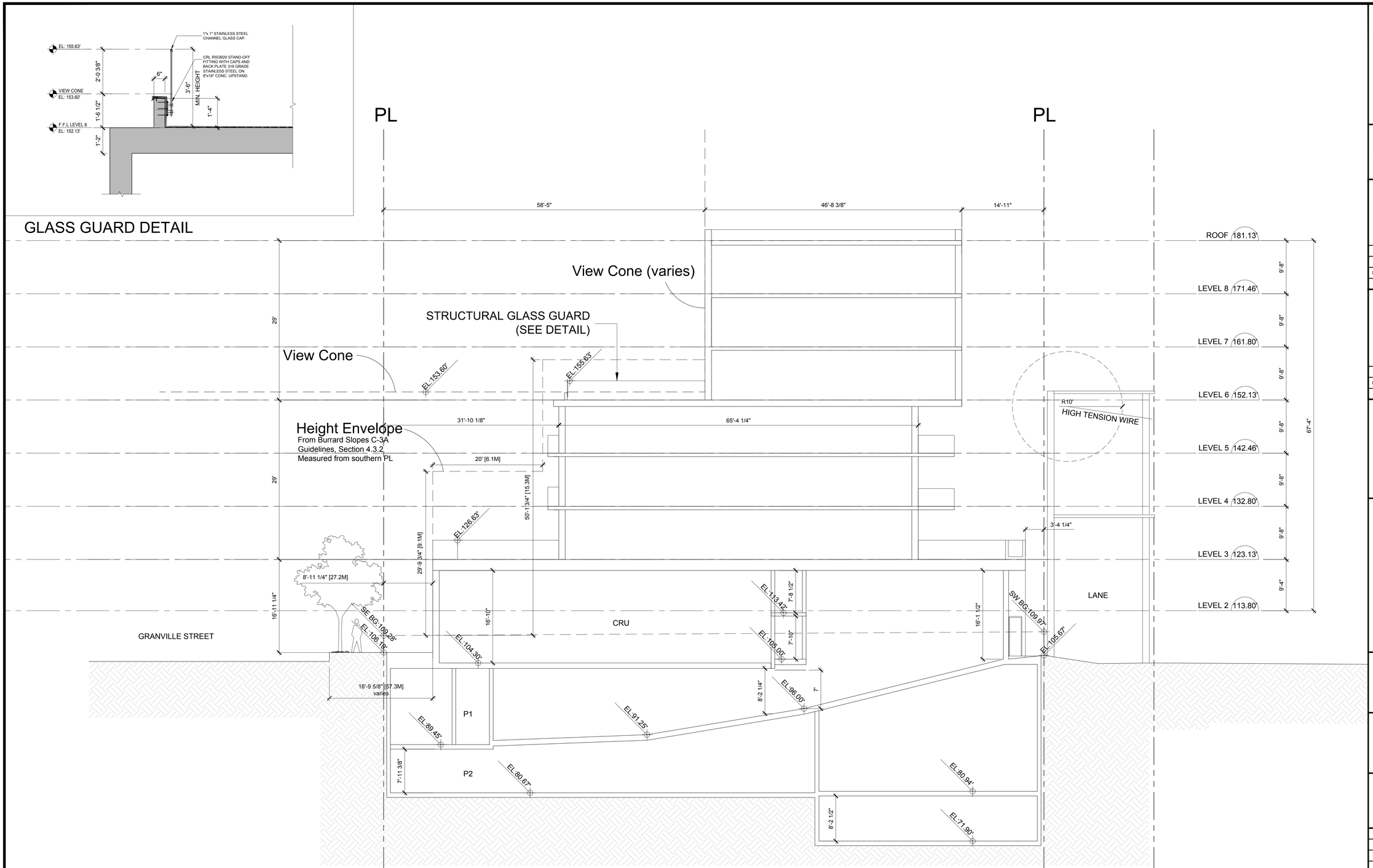
GLASS GUARD DETAIL



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1	----	DP DRAFT

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NO.	DATE	APPR	DESCRIPTION
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PROJECT TITLE
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PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/8" = 1'-0"
DATE:	2017/12/05

SHEET TITLE
SECTION 2

SHEET NUMBER
A3.02
1 OF 1

REV:
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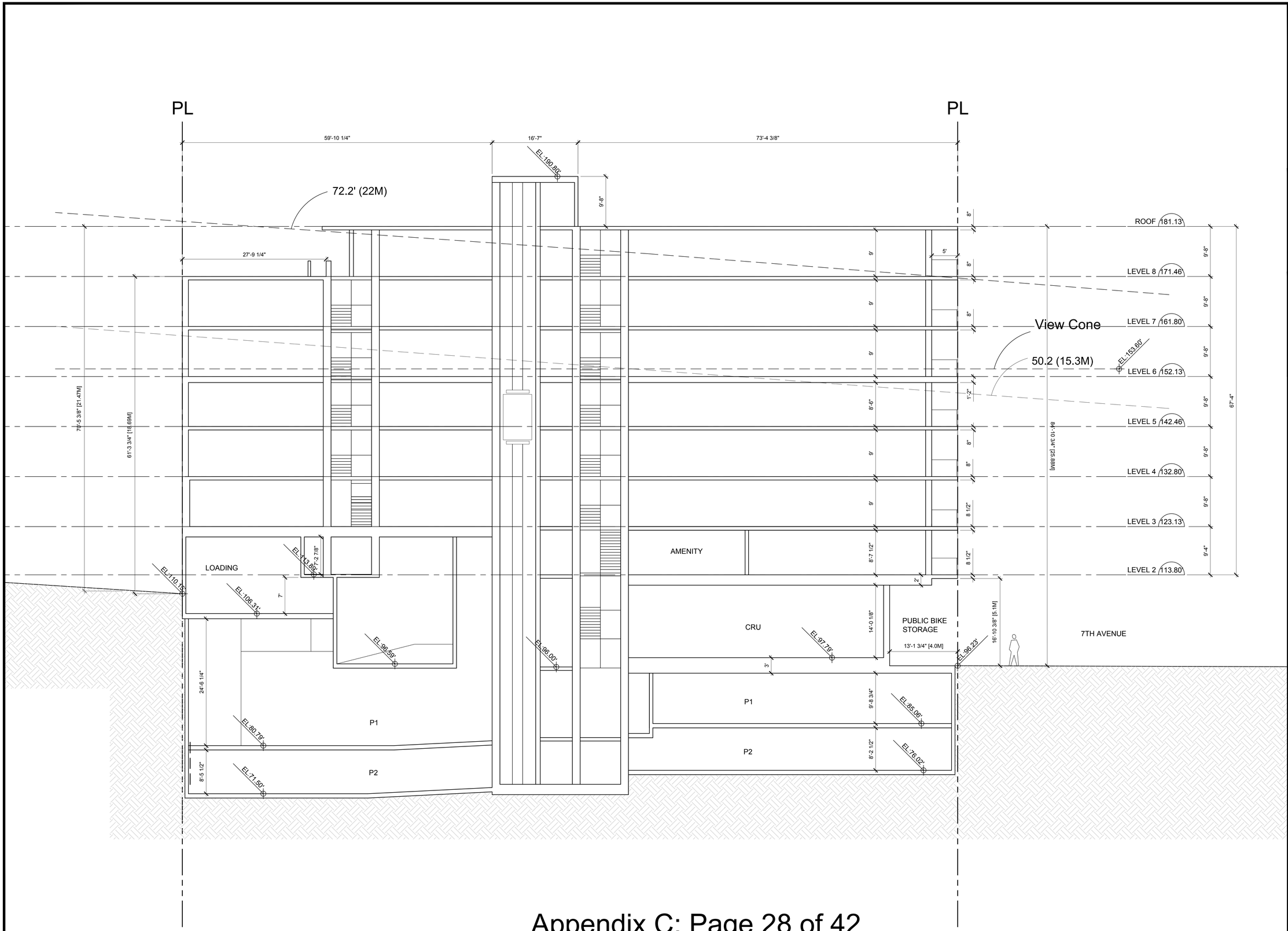

Appendix C: Page 28 of 42

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Aoyuan

NO.	DATE	DESCRIPTION
2	2017-12-07	ISSUED FOR DP
1	----	DP DRAFT

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PROJECT TITLE
2301 - 2329 Granville Street

PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/8" = 1'-0"
DATE:	2017/12/05

SHEET TITLE
SECTION 3

SHEET NUMBER
A3.03
1 OF 1

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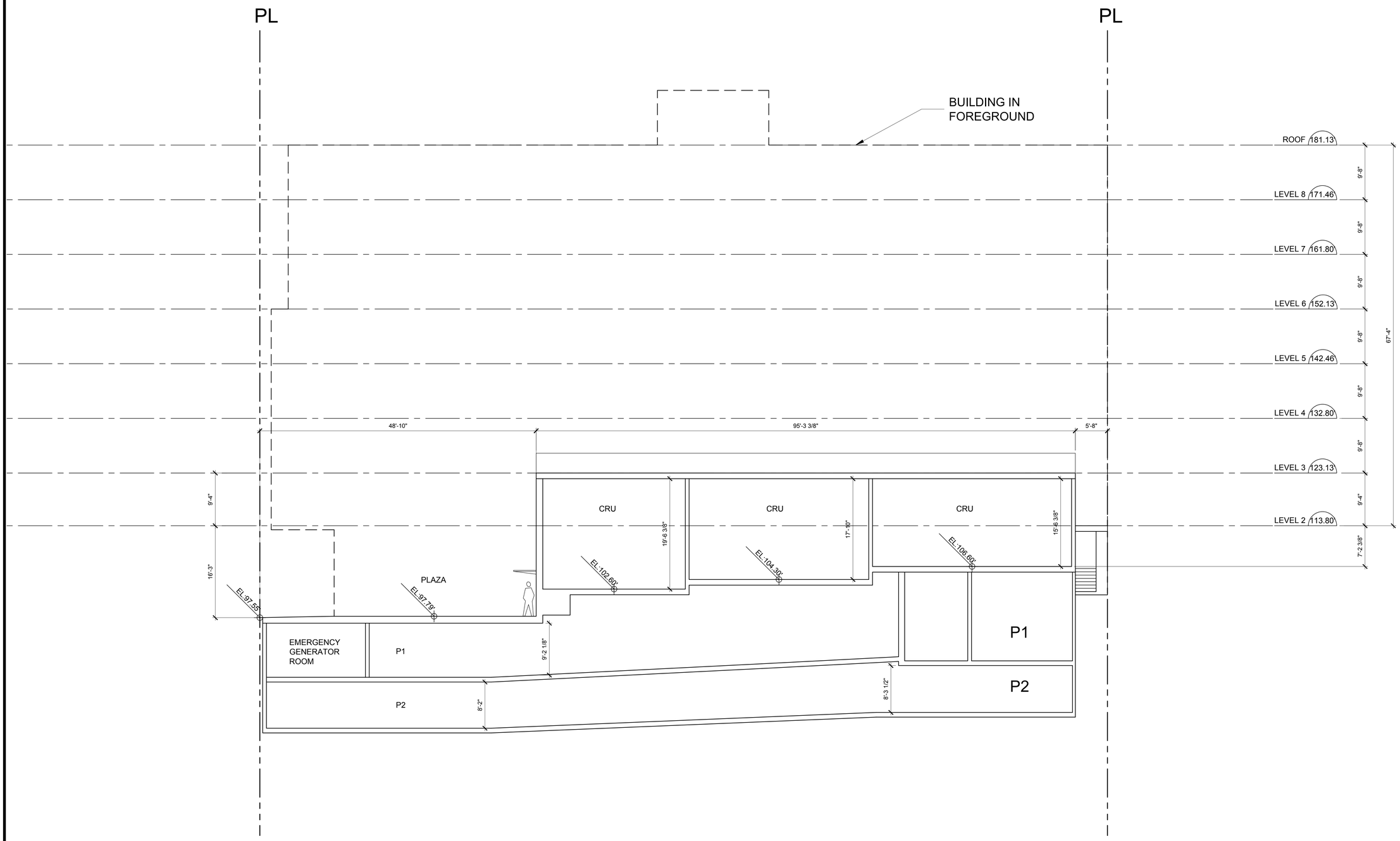

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NO.	DATE	DESCRIPTION
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ISSUES

NO.	DATE	APPR	DESCRIPTION
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PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/8" = 1'-0"
DATE:	2017/11/01

SHEET TITLE

SECTION 4

SHEET NUMBER

A3.04

1 OF 1

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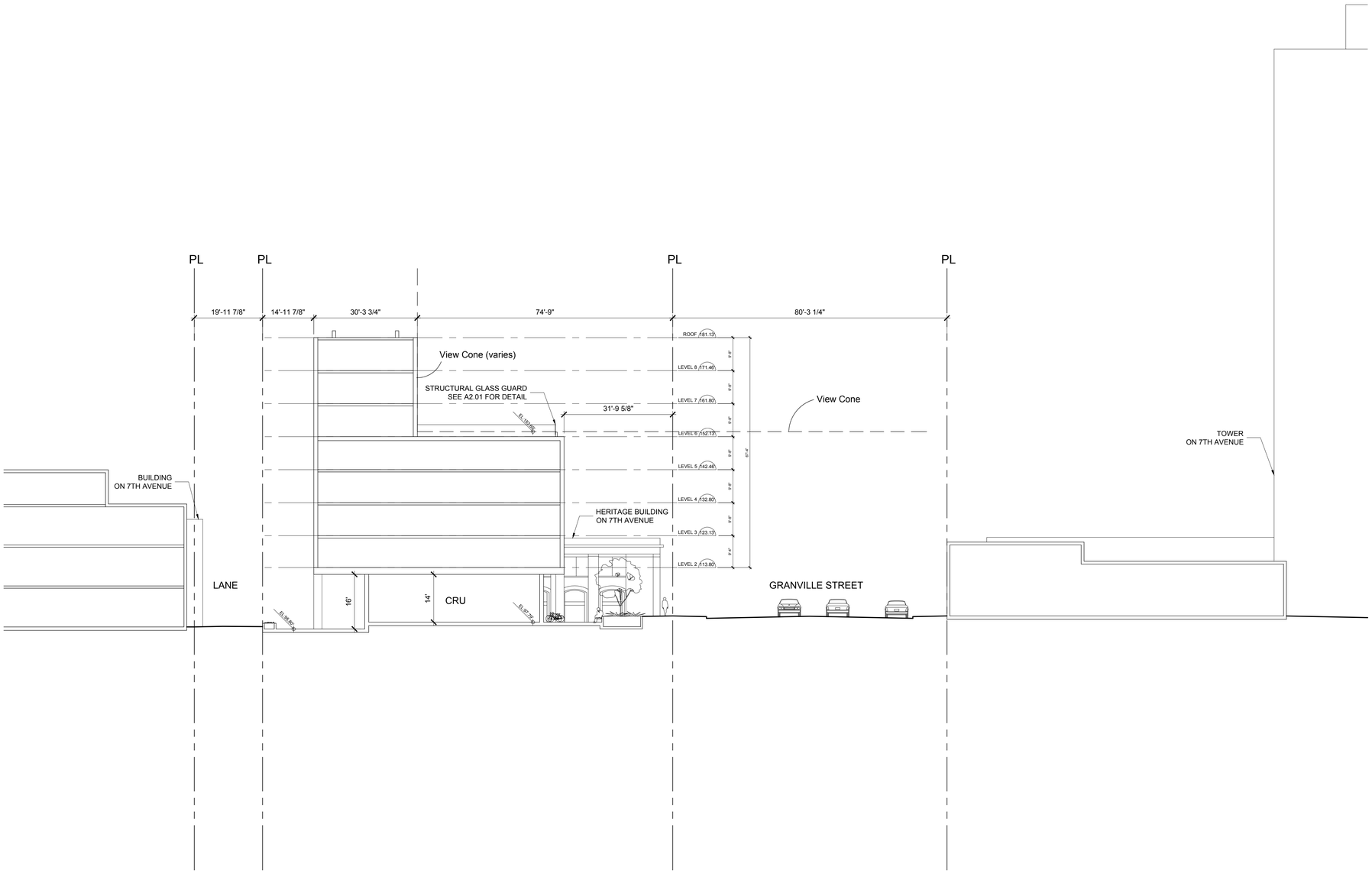

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2	2017-12-07	ISSUED FOR DP
1	----	DP DRAFT

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NO.	DATE	APPR	DESCRIPTION
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PROJECT TITLE

2301 - 2329 Granville Street

PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/16" = 1'-0"
DATE:	YY/MM/DD

SHEET TITLE

SECTION 5 - GRANVILLE STREET SECTION

SHEET NUMBER

A3.05

1 OF 1

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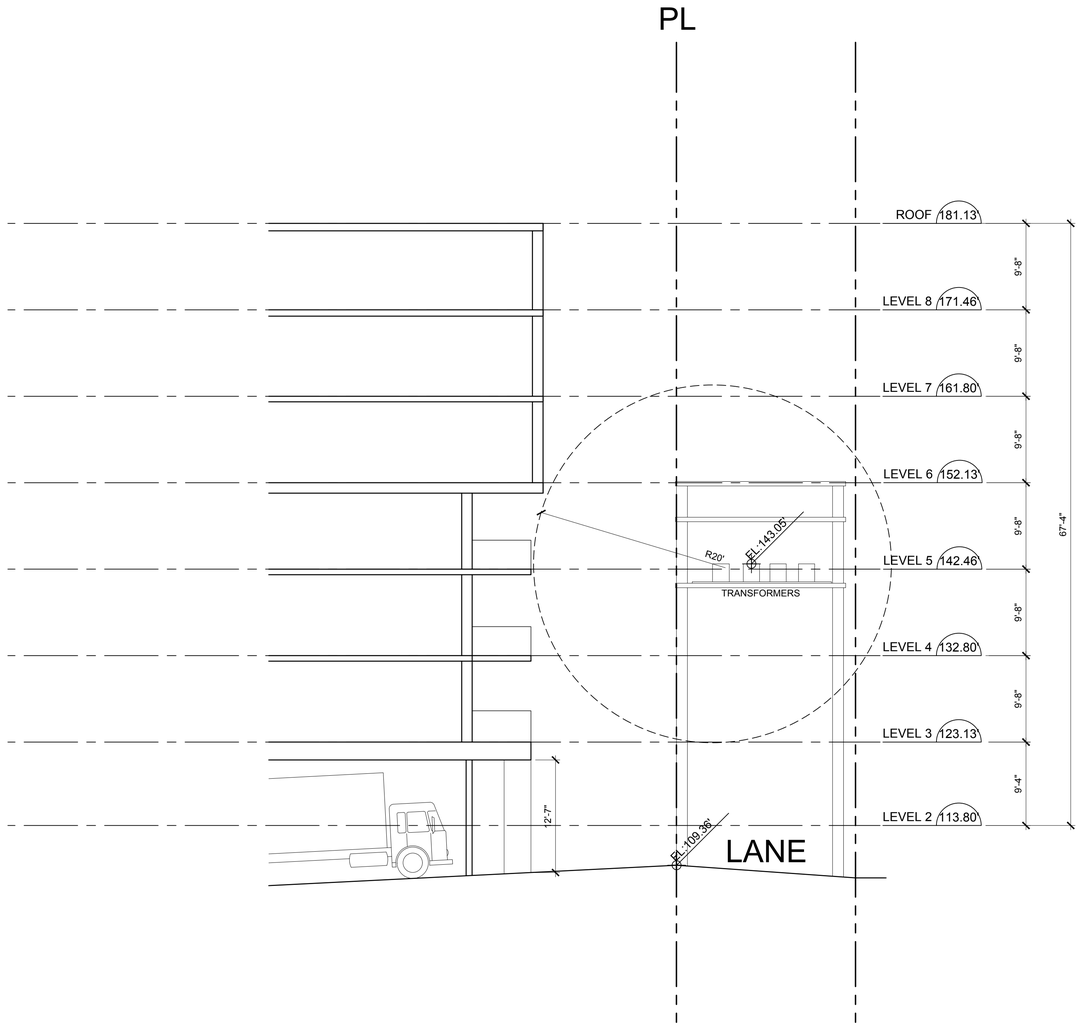

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NO.	DATE	DESCRIPTION
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NO.	DATE	APPR	DESCRIPTION
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PROJECT TITLE

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PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/8" = 1'-0"
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SHEET TITLE

CLEARANCE FROM TRANSFORMERS

SHEET NUMBER

A3.06

1 OF 1

REV:

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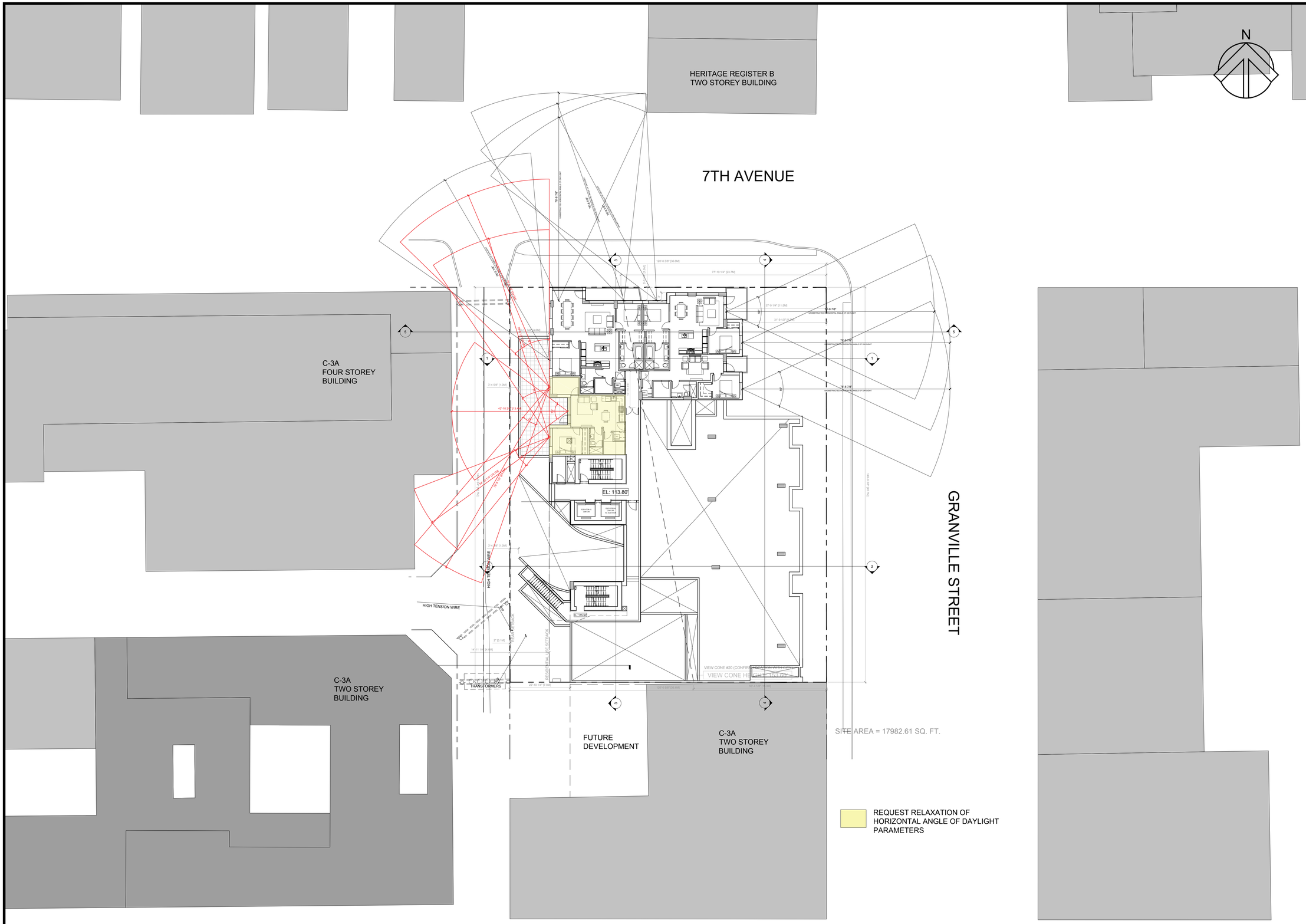

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2	2017-12-07	ISSUED FOR DP
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ISSUES

NO.	DATE	APPR	DESCRIPTION
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PROJECT TITLE

2301 - 2329 Granville Street

PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/16" = 1'-0"
DATE:	YY/MM/DD

SHEET TITLE

LEVEL 2 - HORIZONTAL ANGLE OF DAYLIGHT

SHEET NUMBER

A8.01

1 OF 1

REV:

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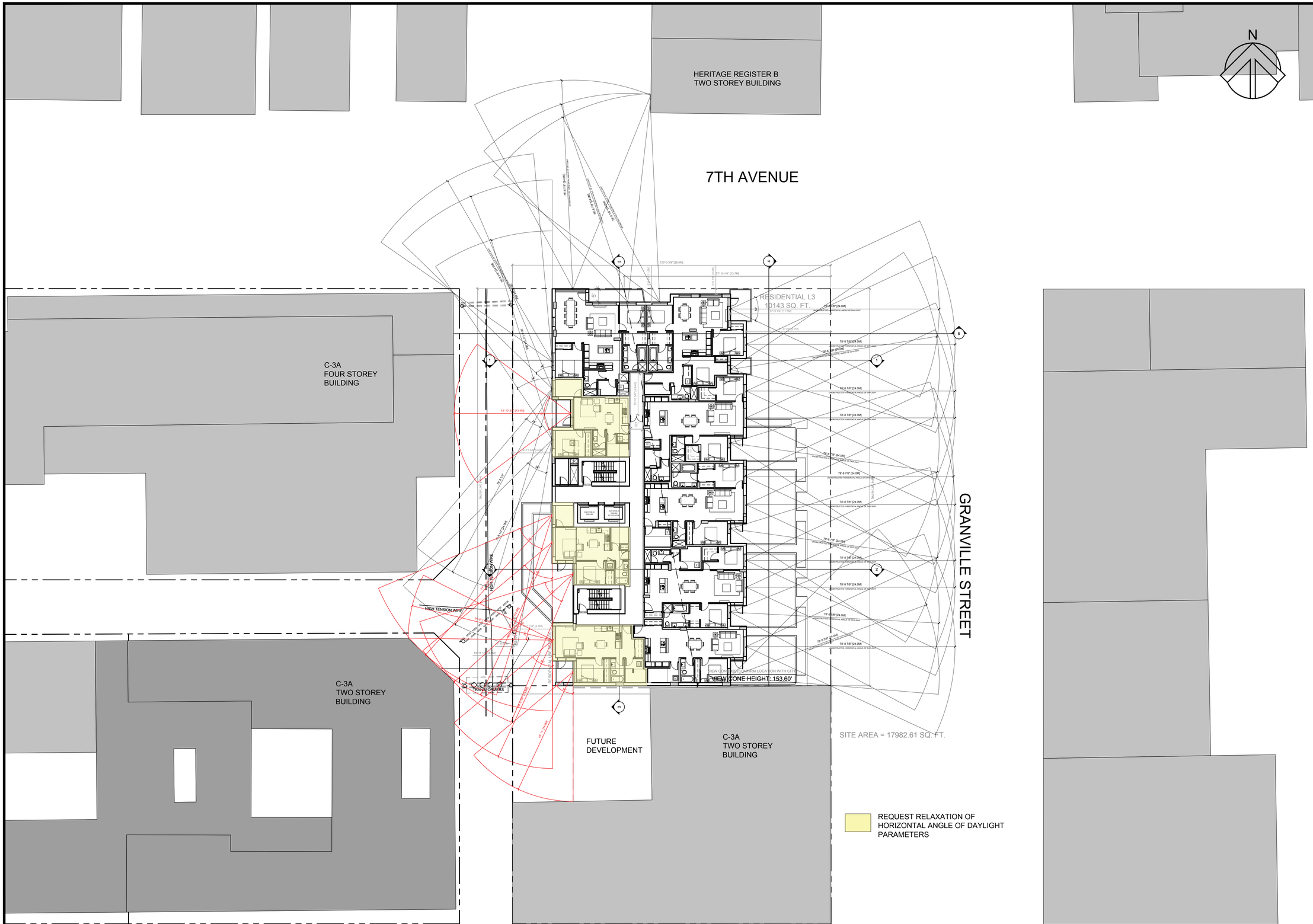

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2	2017-12-07	ISSUED FOR DP
1	----	DP DRAFT

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NO.	DATE	APPR	DESCRIPTION
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2301 - 2329 Granville Street

PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/16" = 1'-0"
DATE:	YY/MM/DD

SHEET TITLE

LEVEL 3 - HORIZONTAL ANGLE OF DAYLIGHT

SHEET NUMBER

A8.02

1 OF 1

REV:

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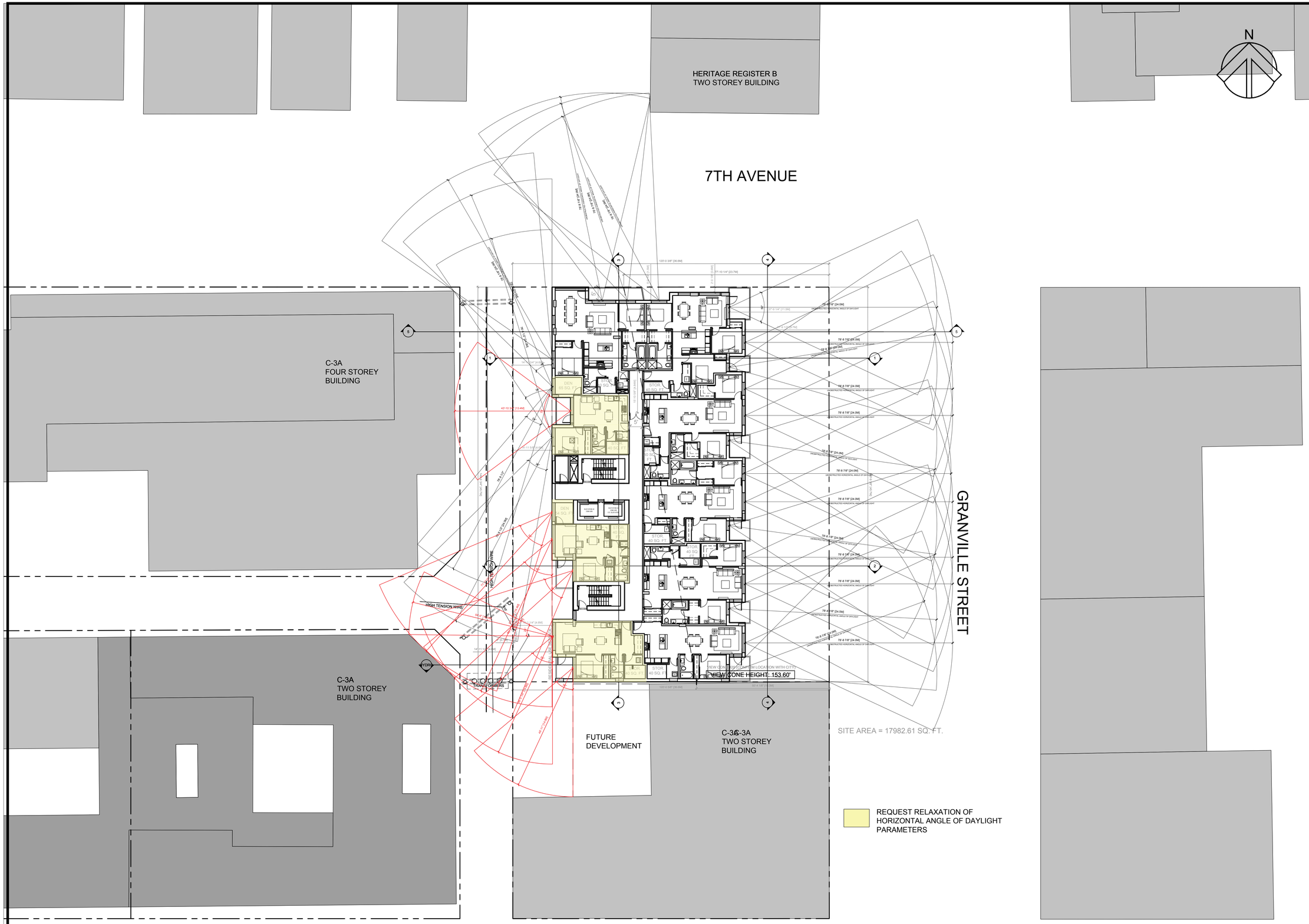

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1	----	DP DRAFT

ISSUES

NO.	DATE	APPR	DESCRIPTION
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PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/16" = 1'-0"
DATE:	YY/MM/DD

SHEET TITLE

LEVEL 4 AND 5 - HORIZONTAL ANGLE OF DAYLIGHT

SHEET NUMBER

A8.03

1 OF 1

REV: .----

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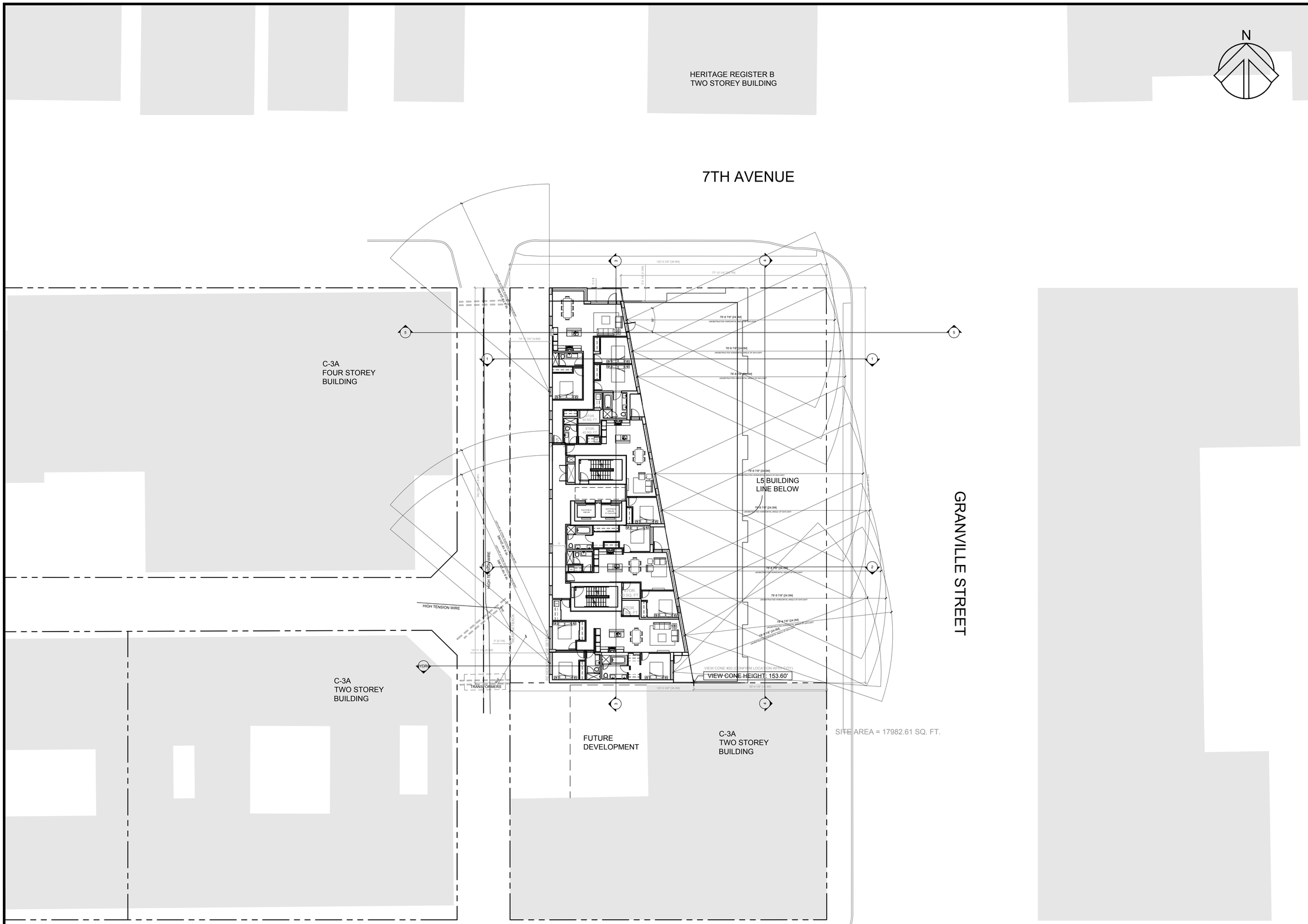

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NO.	DATE	DESCRIPTION
2	2017-12-07	ISSUED FOR DP
1	----	DP DRAFT

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NO.	DATE	APPR	DESCRIPTION
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PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/16" = 1'-0"
DATE:	YY/MM/DD

SHEET TITLE

LEVEL 6 AND 7 - HORIZONTAL ANGLE OF DAYLIGHT

SHEET NUMBER

A8.04

1 OF 1

REV:

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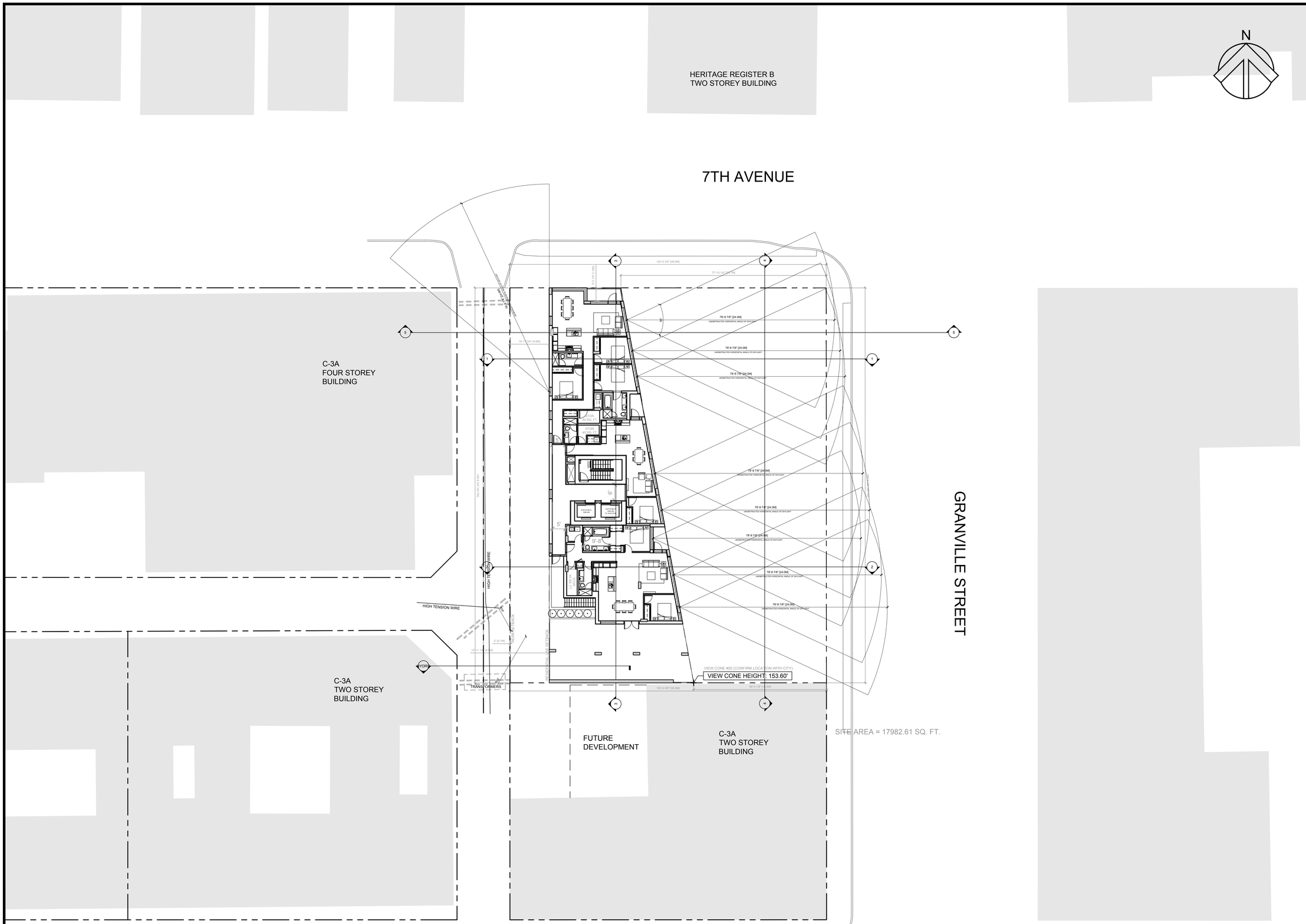

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1	----	DP DRAFT

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PROJECT NO:	106550
DRAWN BY:	User
CHK'D BY:	User
SCALE:	1/16" = 1'-0"
DATE:	YY/MM/DD

SHEET TITLE

LEVEL 8 - HORIZONTAL ANGLE OF DAYLIGHT

SHEET NUMBER

A8.05

1 OF 1

REV:

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File Location: j:\106550_granvillest\5.9 drawings\5searchcurrent\ACAD\Sheets\PD06-Misc Drawings\A8.05 LEVEL 8 - HORIZONTAL ANGLE OF DAYLIGHT.dwg Last Saved: December 4, 2017, by cmsia.min Plotted: Tuesday, December 05, 2017 10:30:45 AM by Cmsia.min

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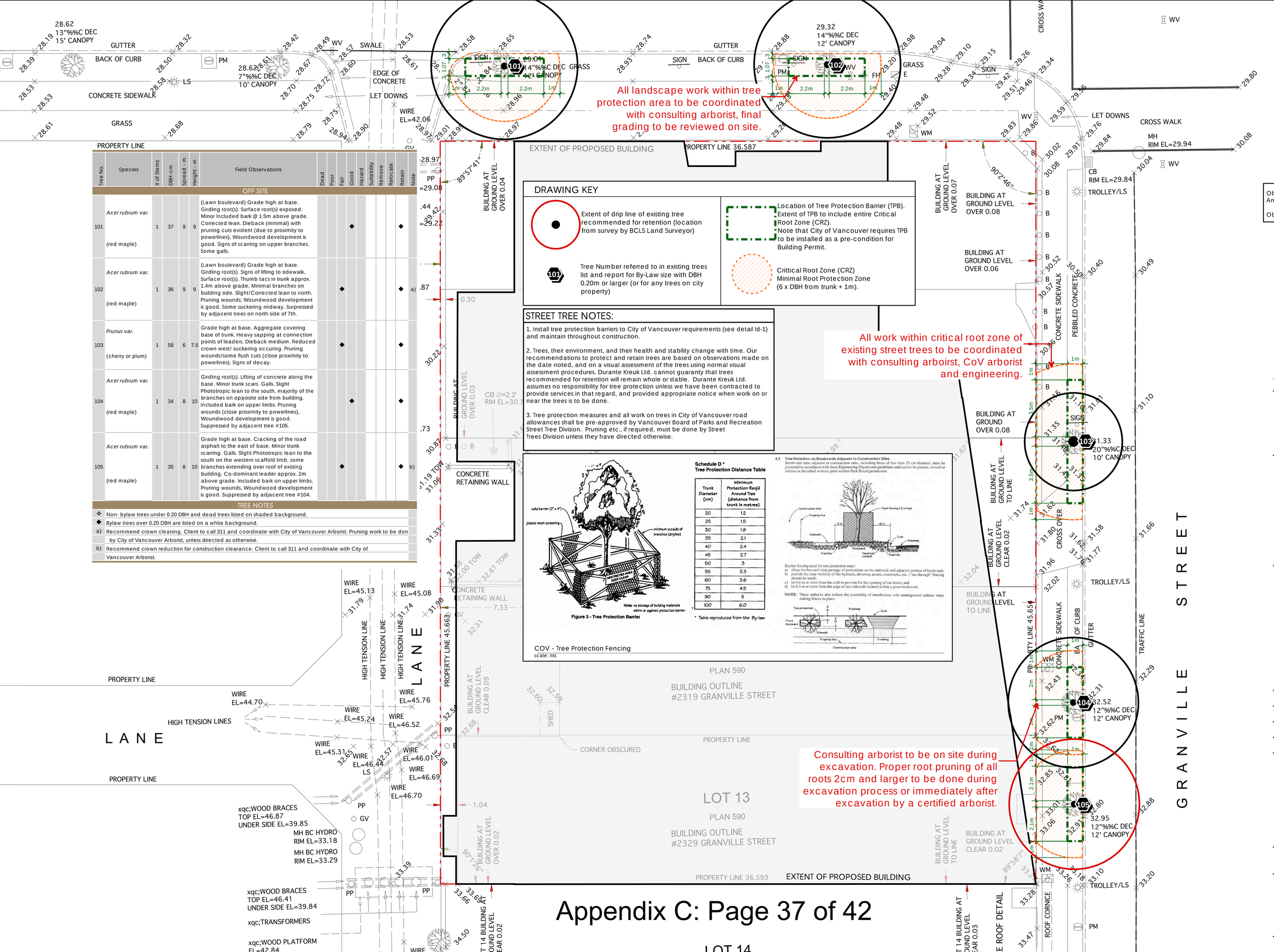

Tree No.	Species	# of Stems	DBH-cm	Spread - m	Height - m	Field Observations	Dead	Poor	Fair	Good	Hazard	Suitability	Remove	Relocate	Retain	Note
OFF SITE																
101	*Acer rubrum var.* (red maple)	1	37	9	9	(Lawn boulevard) Grade high at base. Girdling root(s). Surface root(s) exposed. Minor included bark @ 1.5m above grade. Corrected lean. Dieback (minimal) with pruning cuts evident (due to proximity to powerlines), Woundwood development is good. Signs of scarring on upper branches. Some galls.				◆					◆		
102	*Acer rubrum var.* (red maple)	1	36	9	9	(Lawn boulevard) Grade high at base. Girdling root(s). Signs of lifting to sidewalk, Surface root(s). Thumb tacs in trunk approx. 1.4m above grade. Minimal branches on building side. Slight/Corrected lean to north. Pruning wounds; Woundwood development is good. Some suckering midway. Surpressed by adjacent trees on north side of 7th.			◆						◆		a)
103	*Prunus var.* (cherry or plum)	1	58	6	7.5	Grade high at base. Aggregate covering base of trunk. Heavy sapping at connection points of leaders. Dieback medium. Reduced crown west/ suckering occuring. Pruning wounds/some flush cuts (close proximity to powerlines). Signs of decay.			◆						◆	
104	*Acer rubrum var.* (red maple)	1	34	8	10	Girdling root(s). Lifting of concrete along the base. Minor trunk scars. Galls. Slight Phototropic lean to the south, majority of the branches on opposite side from building. Included bark on upper limbs. Pruning wounds (close proximity to powerlines), Woundwood development is good. Suppressed by adjacent tree #105.				◆					◆	
105	*Acer rubrum var.* (red maple)	1	35	8	10	Grade high at base. Cracking of the road asphalt to the east of base. Minor trunk scarring. Galls. Slight Phototropic lean to the south on the western scaffold limb, some branches extending over roof of existing building. Co-dominant leader approx. 2m above grade. Included bark on upper limbs. Pruning wounds, Woundwood development is good. Suppressed by adjacent tree #104.			◆						◆	b)

TREE NOTES

- ❖ Non- bylaw trees under 0.20 DBH and dead trees listed on shaded background.
- ◆ Bylaw trees over 0.20 DBH are listed on a white background.
- a) Recommend crown cleaning. Client to call 311 and coordinate with City of Vancouver Arborist. Pruning work to be don by City of Vancouver Arborist, unless directed as otherwise.
- b) Recommend crown reduction for construction clearance. Client to call 311 and coordinate with City of Vancouver Arborist.

Observations and recommendations by Andrew Briggs, ISA Certified Arborist PN-8437A.

Observations made October 17, 2017.

no.:	date:	item:
03	7 Dec. 2017	Reissued for DP
02	6 Nov. 2017	Issued for DP
01	24 Oct. 2017	DP Review

Revisions:

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www.dkl.bc.ca

Project:

2301-2329 Granville Street
Vancouver, BC

Drawn by:	MTB/LF
Checked by:	SV
Date:	Nov. 30 2017
Scale:	1/8" = 1'-0"

Drawing Title:

Tree Management Plan

Project No.:

17036

Sheet No.:

T-1

GRADING LEGEND

FG 99.00'	**Finished Grade**
BG 55.81'	**Building Grade**
ex 101.46'	**Existing Grade**
FFE 99.00'	**Finished Floor Elevation (Refer to Architecture)**
TW 102.50'	**Top of Wall Elevation**
TS 101.00'	**Top of Stairs Elevation**
BS 99.00'	**Bottom of Stairs Elevation**

MATERIALS LEGEND

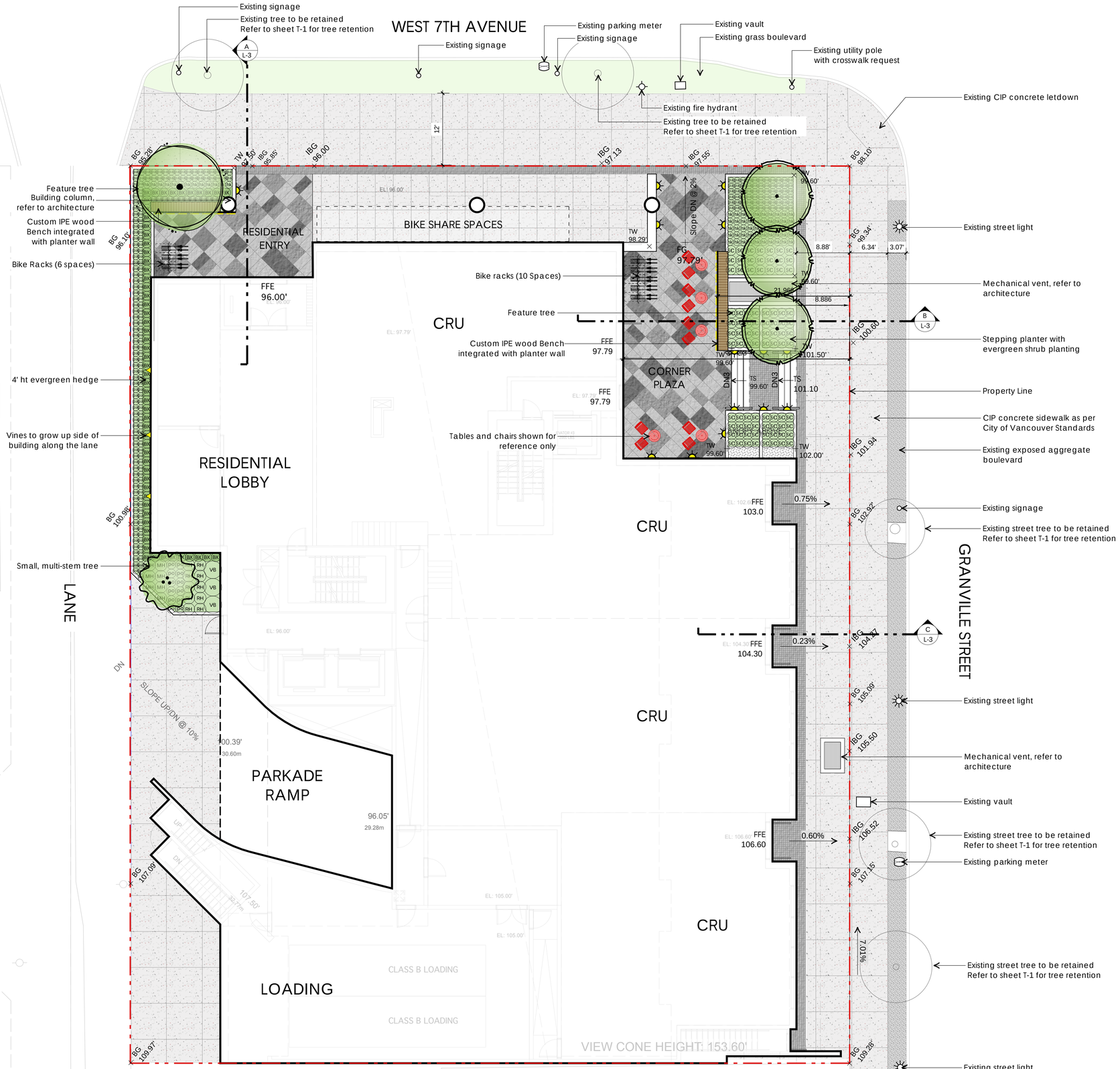
Paving Type	Description
	CIP Concrete Broom finish with saw cut pattern to City of Vancouver Standards.
	Cobblestone Cobblestones mortared to CIP concrete slab below. Available from Bedrock Natural Stone (604-941-7783). Size: 4"x4"x2" thk. Finish: Flamed Colour: Cambrian Granite
	Stone Pavers Stone tiles mortared to CIP concrete slab below. Available from Bedrock Natural Stone (604-941-7783). Size: 18"x36"x1.5" thk. Finish: Flamed Colours: Black Tusk Basalt, Cambrian Granite, Hardy Island Granite
	Hydrapressed Slabs Texada hydrapressed concrete slab pavers available from Abbotsford Concrete (604-852-4967) Size: 18"x18"x2" thk. Colour: Charcoal

FURNISHINGS LEGEND

Lighting Type	Description
	Custom Wood Bench

LIGHTINGS LEGEND

Lighting Type	Description
	Wall Light Mounted on concrete walls Refer to electrical
	Strip Light Mounted on concrete walls, under benches Refer to electrical



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Ground Level Landscape Plan

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17036

Sheet No.:
L-1

PLANT LIST - ALL LEVELS

SYM	QTY	Botanical Name	Common Name	Size	Comments
		Trees			
	6	Acer shirasawanum 'Aureum'	Japanese Maple	Multi-stem, 6cm cal, B&B	
	1	Amelanchier x grandiflora	Serviceberry	Muliti-stem, 5cm cal B&B	Bird Friendly
	3	Cornus kousa 'Starlight'	Satomi Dogwood	Single-stem, 6cm cal, B&B	Bird Friendly
	1	Stewartia pseudocamellia	Stewartia	Specimen, 8cm cal, B&B	Bee Friendly
		Shrubs			
AZ	39	Azalea 'Hino White'	Dwarf Azalea	#2 pot, 15" o.c.	
BX	118	Buxus macrophylla 'Winter Gem'	Boxwood	#2 pot, 18" o.c.	
MH	7	Mahonia repens	Oregon Grape	#2 pot, 24" o.c.	Bird and Bee Friendly
RO	10	Rhododendron 'Bob's Blue'	Rhododendron	#3 pot, 36" o.c.	
	101	Taxus media x hicksii	Yew hedge	4' ht, rootball to rootball	
SC	87	Sarcococca humilis	Dwarf Sweetbox	#3 pot, 20" o.c.	Bee Friendly
VD	3	Viburnum x bodatense 'Dawn'	Dawn Viburnum	#3 pot, 36" o.c.	Bird and Bee Friendly
Sp	28	Salix purpurea 'Nana'	Purple willow	#3 pot, 36" o.c.	
		Perennials, Groundcovers, Grasses, Ferns & Vines			
c	39	Carex ' Ice Dance'	Sedge	#1 pot, 12" o.c.	
hk	97	Hakonechloa macra 'Aureola'	Japanese Forest Grass	#1 pot, 12" o.c.	
li	118	Liriope muscari	Lily turf	#1 pot, 15" o.c.	Bee Friendly
p	51	Polystichum munitum	Sword Fern	#1 pot, 15" o.c.	Bird Friendly
pa	231	Pachysandra terminalis	Japanese spurge	#1 pot, 15" o.c.	
	3	Parthenocissus quinquefolia	Virginia creeper	#3 pot, min 3 leaders, staked	

Planting Notes
1. All work shall meet or exceed the requirements as outlined in the Current Edition of the B.C. Landscape Standard.
2. Plant sizes and related container classes are specified according to the Current Edition of the B.C. Landscape Standard. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, bothplant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the BCNTA (ANSI) Standard.
3. All trees to be staked in accordance with BCNTA Standards.
4. Tree caliper shall be a minimum of 6cm.

Irrigation Notes
1. High efficiency irrigation system complete with weather station, to be provided for all 'Soft Landscape Areas' shown on the drawing.
2. Irrigated areas to be installed as a design build irrigation system from the stub outs provided. Provide submittals of design to consultant at least one week prior to installation and as-built drawing within one month of substantial performance.
3. The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines.
4. Hose bib to be provided on all private and amenity patios.

North

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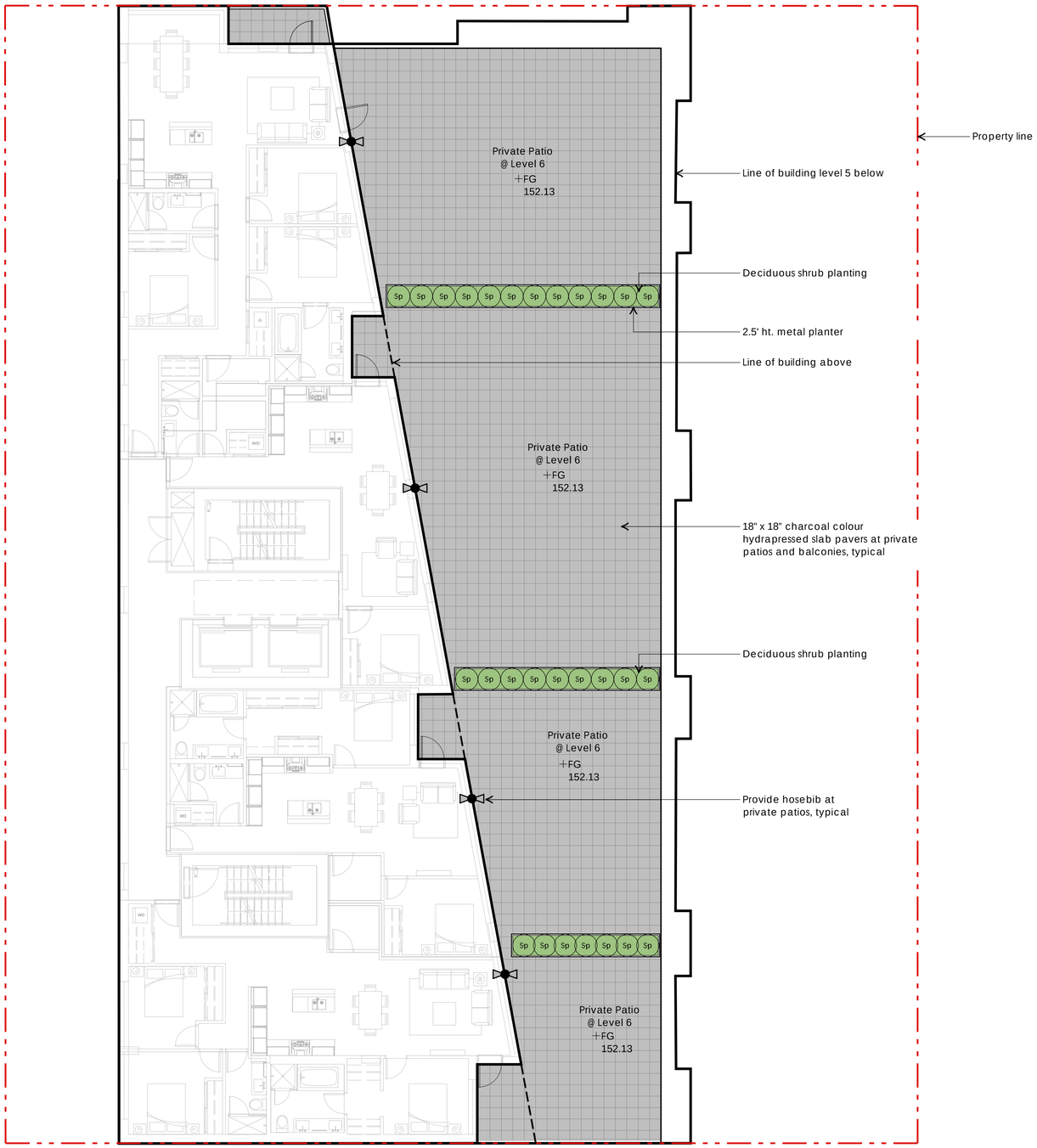
Drawing Title:
Level 3
Landscape Plan

Project No.:
17036

Sheet No.:
L-2



North

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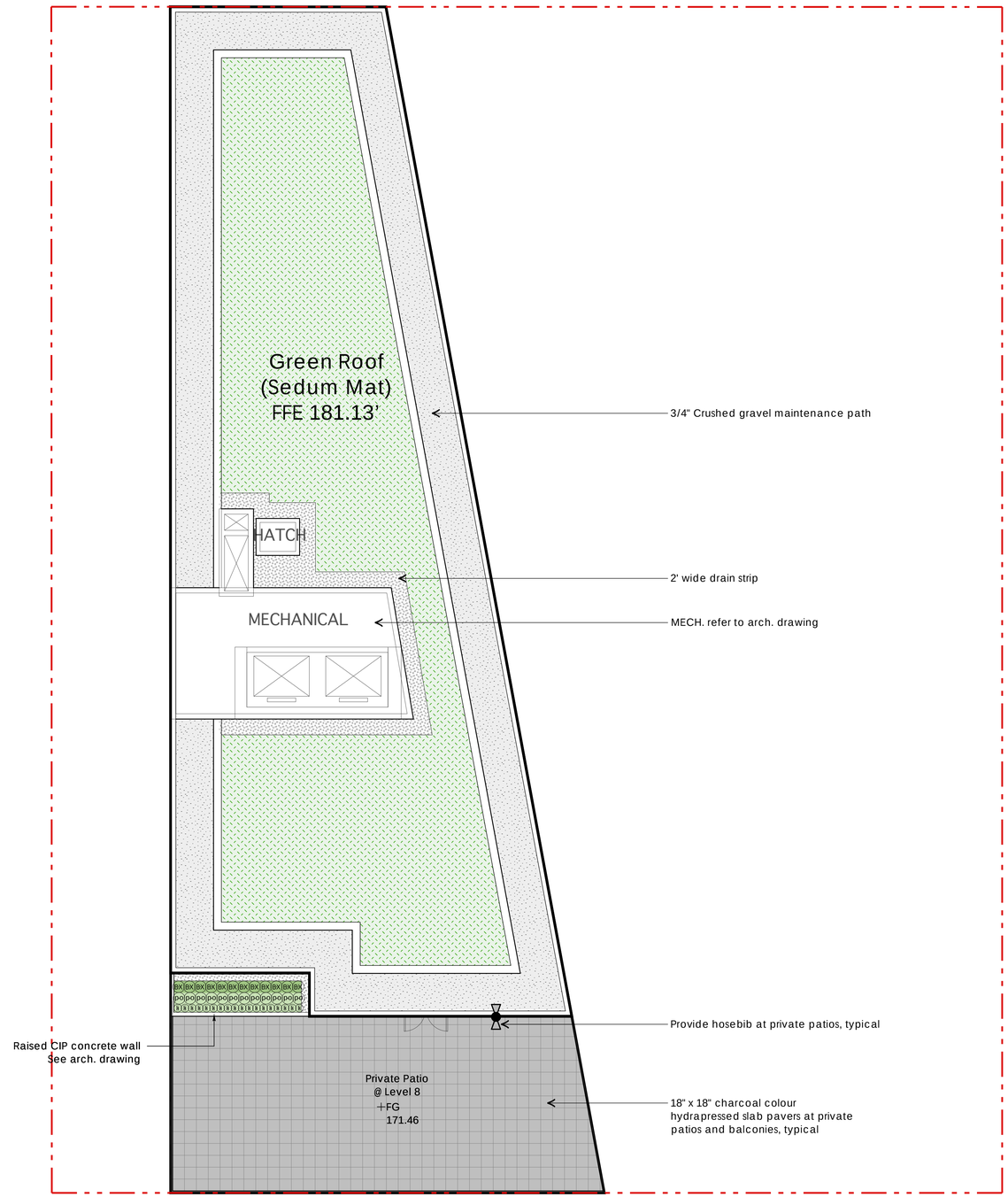
Drawing Title:

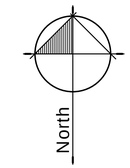
Level 6
Landscape Plan

Project No.:
17036

Sheet No.:

L-3





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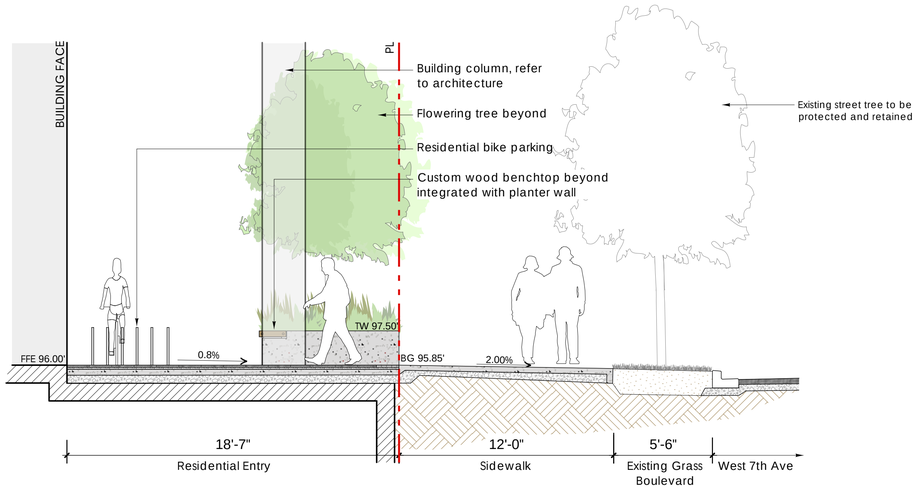
Drawing Title:

Level 8 & Rooftop
Landscape Plan

Project No.:
17036

Sheet No.:

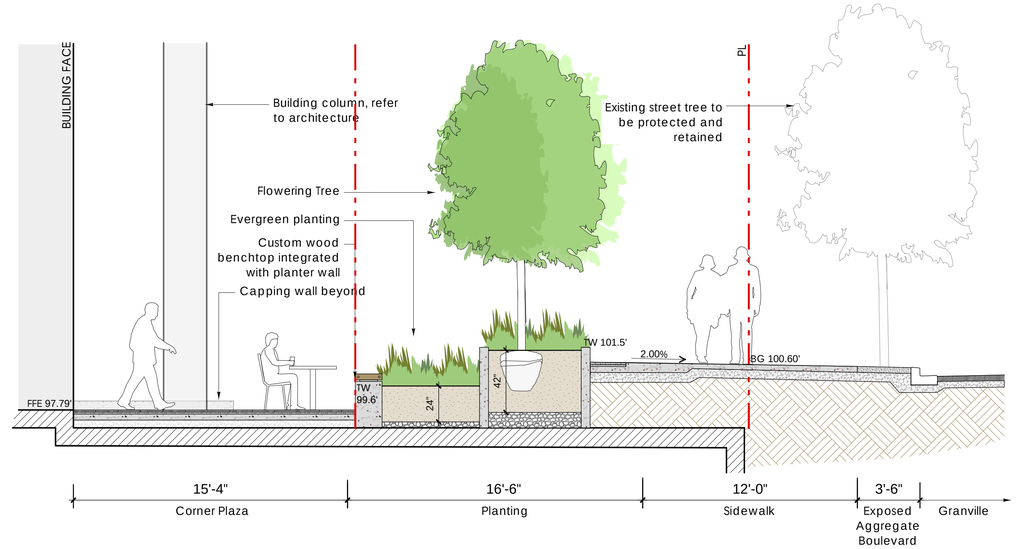
L-4



A
L-1

SECTION THROUGH RESIDENTIAL ENTRY

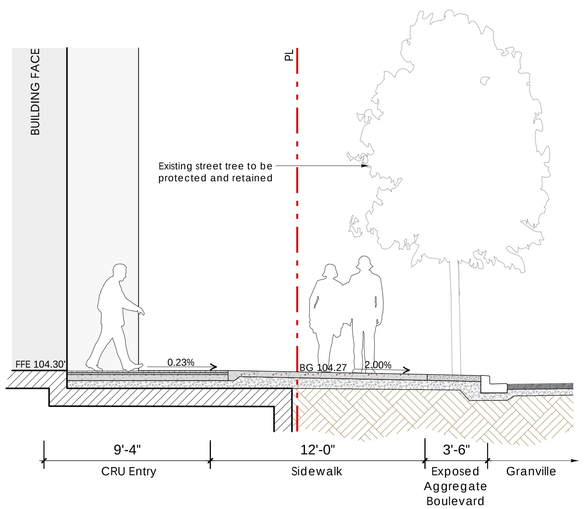
Scale 1/4" = 1'-0"



B
L-1

SECTION THROUGH CORNER PLAZA

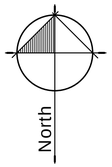
Scale 1/4" = 1'-0"



C
L-1

SECTION THROUGH PUBLIC REALM

Scale 1/4" = 1'-0"



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Landscape Section

Project No.:
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L-6