

# COAL HARBOUR (PHASE 2)



## ISSUED FOR COMBINED DEVELOPMENT PERMIT & REZONING TEXT AMENDMENT ARCHITECTURAL DRAWINGS

November 20, 2020

**CLIENT / OWNER**  
CITY OF VANCOUVER  
507 West Broadway  
Suite 320  
Vancouver, BC V5Z 0B4  
Tel 604.873.7851

**CLIENT / SCHOOL**  
VANCOUVER SCHOOL BOARD  
1580 West Broadway  
Vancouver, BC V6J 5K8  
Tel 778.881.1971

**ARCHITECT**  
HENRIQUEZ PARTNERS ARCHITECTS  
598 West Georgia Street  
Vancouver, BC V6B 2A3  
Tel 604.687.5681

**PASSIVE HOUSE CONSULTANT**  
A2M  
Chaussée de Boondael 6  
1050 Ixelles, Belgium  
Tel +32.2.640.51.81

**STRUCTURAL CONSULTANT**  
GLOTMAN SIMPSON  
101 - 1661 West 5th Avenue  
Vancouver, BC V6J 1N5  
Tel 604.734.8822

**MECHANICAL CONSULTANT**  
INTEGRAL GROUP  
180 - 200 Granville St.  
Vancouver, BC V6C 1S4  
Tel 604.687.1800

**SUSTAINABILITY / LEED**  
INTEGRAL GROUP  
180 - 200 Granville St.  
Vancouver, BC V6C 1S4  
Tel 604.687.1800

**ELECTRICAL CONSULTANT**  
NEMETZ (S/A) & ASSOC.  
2009 West 4th Avenue  
Vancouver, BC V6J 1N3  
Tel 604.736.6562

**LANDSCAPE CONSULTANT**  
PFS STUDIO  
1777 W3rd Avenue  
Vancouver, BC V6J 1K7  
Tel 640.736.5168

**CODE CONSULTANT**  
LMDG BUILDING CODE CONSULTANTS  
4th Floor - 780 Beatty Street  
Vancouver, BC V6B 2M1  
Tel 604.682.7146

**ENVELOPE CONSULTANT**  
RDH BUILDING  
4333 Still Creek Drive #400  
Burnaby, BC V5C 6S6  
Tel 604.873.1181

**TRAFFIC CONSULTANT**  
BUNT & ASSOCIATES  
1550 - 1050 West Pender Street  
Vancouver, BC V6E 3S7  
Tel 604.685.6427

**VERTICAL TRANSPORTATION**  
GUNN CONSULTANTS  
1020 Mainland Street  
Vancouver, BC V6B 2T5  
Tel 604.630.2276

**CIVIL & SITE CONSULTANT**  
HY ENGINEERING  
200 - 9128 152nd Street  
Surrey, BC V3R 4E7  
Tel 604.583.1616

**GEOTECHNICAL**  
THURBER ENGINEERING LTD.  
900 - 1281 West Georgia Street  
Vancouver, BC V6E 3J7  
Tel 604.684.4384

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ISSUED FOR DP/IRZ

NOV 20, 2020



**Henriquez Partners Architects**  
598 W Georgia Street  
Vancouver BC V6B 2A3 T 604.687.5681

JOB TITLE

**COAL  
HARBOUR**

480 BROUGHTON ST. VANCOUVER, BC

CONSULTANT

DRAWING TITLE

**COVER**

DATE

MAR 2020

SCALE

JOB NO.

1905

DRAWN

Author

CHECKED

Checker

**A0.00**



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ABBREVIATIONS

ABBREVIATIONS - TERM		ABBREVIATIONS - TERM		ABBREVIATIONS - TERM	
A/C	AIR CONDITIONING	F.O.	FACE OF	PA	PUBLIC ADDRESS SYSTEM
A/V	AUDIO-VISUAL	F.O.C.	FACE OF CONCRETE	PB	PUSH BUTTON
ABV	ABOVE	F.O.S.	FACE OF STUD	PBD	PARTICLE BOARD
ACC	ACCESS	F.O.W.	FACE OF WALL	PERIM	PERIMETER
ACT	ACOUSTIC TILE	FD	FLOOR DRAIN	PKNG	PARKING
AD	AREA DRAIN	FEE	FINISH FLOOR ELEVATION	PL	PLATE
ADD	ADDENDUM	FH	FIRE HYDRANT	PLMB	PLUMBING
ADJ	ADJUSTABLE, ADJACENT	FHC	FIREHOSE CABINET	PLY	PLYWOOD
AFF	ABOVE FINISHED FLOOR	FIN	FINISH	PM	PRESSED METAL
ALT	ALTERNATE	FLEX	FLEXIBLE	PNL	PANEL
ALUM	ALUMINUM	FLR	FLOOR	PNT	PAINT
ANOD	ANODIZED	FP	FIREPLACE	POLY	POLYETHYLENE
AP	ACCESS PANEL	FR	REFRIGERATOR	PREFAB	PREFABRICATED
APPROX	APPROXIMATE	FRR	FIRE RESISTANT RATING	PREFIN	PREFINISHED
APT	APARTMENT	FT	FOOT	PRELIM	PRELIMINARY
ARCH	ARCHITECT, ARCHITECTURAL	FTG	FOOTING	PROP. LINE	PROPERTY LINE
AUTO	AUTOMATIC	G/L	GRID LINE	PS	PRESSED STEEL
AUX	AUXILIARY	GA	GAUGE	PSI	POUNDS PER SQUARE INCH
AVE	AVENUE	GALV	GALVANIZED	PT	PAINT, POINT
BALC	BALCONY	GL BLK	GLASS BLOCK	PVC	POLYVINYL CHLORIDE
BCBC	BC BUILDING CODE	GC	GENERAL CONTRACTOR	QTY	QUANTITY
BDRM	BEDROOM	GEOTECH	GEOTECHNICAL	R.I.	ROUGH IN
BEL	BELOW	GL	GLASS, GLAZING	RAD	RADIUS
BEP	BUILDING ENVELOPE PROFESSIONAL	GLT	GLASS TILE	RB	RUBBER BASE
BG	BUILDING GRADE	GR	GROUND	RCP	REFLECTED CEILING PLAN
BIT	BITUMINOUS	GWB	GYPSUM WALL BOARD	RD	ROOF DRAIN
BLG	BUILDING	HB	HOSE BIB	REF	REFERENCE
BLK	BLOCK	HC	HOLLOW CORE	REINF	REINFORCED
BM	BEAM	H/C	HANDICAPPED	REM	REMOVE
B.O.	BOTTOM OF	HD	HEAVY DUTY	REQ	REQUIRED
BP	BUILDING PERMIT	HDR	HEADER	RET	RETURN
BR	BEDROOM	HDWR	HARDWARE	REV	REVISION
BRD	BOARD	HM	HOLLOW METAL	RH	RIGHT HAND
BRK	BRICK	HOR	HORIZONTAL	RM	ROOM
BSMT	BASEMENT	HP	HORSE POWER	RO	ROUGH OPENING
BTM	BOTTOM	HR	HANDRAIL	RT	RUBBER TILE
BTWN	BETWEEN	HSS	HOLLOW STEEL SECTION	RWL	RAIN WATER LEADER
BULKHD	BULKHEAD	HT	HEIGHT	S	SOUTH
BVL	BEVELED	HTG	HEATING	SAM	SELF-ADHERED MEMBRANE
C/C	CENTER TO CENTER	HVAC	HEATING, VENTILATION & AIR CONDITIONING	SAN	SANITARY LINE
C/L	CENTER LINE	HWD	HARDWOOD	SBS	MODIFIED BITUMINOUS MEMBRANE
C/S	COUNTER SUNK	HWT	HOT WATER TANK	SC	SOLID CORE, SMALL CAR
C/W	COMPLETE WITH	I/D	INTERIOR DIAMETER	SCH	SCHEDULE
CAB	CABINET	IN	INCH	SEC	SECOND
CAD	COMPUTER-AIDED DESIGN	INCL	INCLUDING	SECT	SECTION
CATV	CABLE TELEVISION	INT DES	INTERIOR DESIGN	SHT	SHEET
CB	CATCH BASIN	INSUL	INSULATION	SHWR	SHOWER
CER	CERAMIC	INT	INTERIOR	SIM	SIMILAR
CFL	COUNTER FLASHING	INV	INVERT	SL	SLOPE
CG	CORNER GUARD	JAN	JANITOR	SPEC	SPECIFIED, SPECIFICATION
CIP	CAST-IN-PLACE	JST	JOIST	SPKR	SPEAKER
CJ	CONTROL JOINT	JT	JOINT	SPR	SPRINKLER
CL	CLOSET	KG	KILOGRAM	SPT	SPRAYED TEXTURE
CLG	CEILING	KITCH	KITCHEN	SQ	SQUARE
CLK	CAULKING	KM	KILOMETER	SQ.FT	SQUARE FEET
CLR	CLEAR	LAB	LABORATORY	SQ.M	SQUARE METERS
CM	CENTIMETERS	LAM	LAMINATE	SS	STAINLESS STEEL
CMT	CEMENT	LAND ARCH	LANDSCAPE ARCHITECT	ST	STREET
CMU	CONCRETE MASONRY UNIT	LAV	LAVATORY	STC	SOUND TRANSMISSION COEFFICIENT
COL	COLUMN	LBL	LABEL	STD	STANDARD
COMP	COMPOSITE, COMPUTER	LG	LAMINATED GLASS	STL	STEEL
CONC	CONCRETE	LH	LEFT HAND	STN	STAIN
CONST	CONSTRUCTION	LIN	LINEAR	STOR	STORAGE
CONT	CONTINUOUS	LINO	LINOLEUM	STRUCT	STRUCTURAL
CORR	CORRIDOR	LPT	LOW POINT	SUSP	SUSPENDED
CPT	CARPET	LT	LIGHT	SW	SOLID WOOD
CRS	COURSES	LTG	LIGHTING	SYS	SYSTEM
CSMT	CASEMENT	LTL	LINTEL	T.O.	TOP OF
CT	CERAMIC TILE	LVR	LOUVER	T&G	TONGUE AND GROOVE
CTR	CENTER	M	METERS	TBC	TO BE CONFIRMED
CU.FT	CUBIC FOOT	MAT	MATERIAL	TBD	TO BE DETERMINED
DB	DECIBEL	MAX	MAXIMUM	TECH	TECHNICAL
DBL	DOUBLE	MDF	MEDIUM DENSITY FIBERBOARD	TEL	TELEPHONE
DEG	DEGREE	MECH	MECHANICAL	TEMP	TEMPERATURE
DEMO	DEMOLISH	MED	MEDIUM	TG	TEMPERED GLASS
DEPT	DEPARTMENT	MEZZ	MEZZANINE	TH	THICKNESS
DET	DETAIL	MF	MANIFOLD	TOS	TOP OF SLAB
DIAG	DIAGONAL	MFR	MANUFACTURED	TOW	TOP OF WALL
DIA	DIAMETER	MGR	MANAGER	TRANS	TRANSFORMER
DIM	DIMENSION	MH	MANHOLE	TV	TELEVISION
DIV	DIVISION	MIN	MINIMUM	TYP	TYPICAL
DMT	DEMOUNTABLE	MIR	MIRROR	U/S	UNDER SIDE
DN	DOWN	MISC	MISCELLANEOUS	UG	UNDERGROUND
DPR	DAMPER	MM	MILLIMETERS	ULC	UNDERWRITERS' LABORATORY OF CANADA
DR	DOOR	MTD	MOUNTED	UNO	UNLESS NOTED OTHERWISE
DT	DRAIN TILE	MTL	METAL	VAR	VARNISH
DW	DISHWASHER	MW	MICROWAVE	VB	VAPOUR BARRIER
DWG	DRAWING	N	NORTH	VCT	VINYL COMPOSITE TILE
DWR	DRAWER	N/A	NOT APPLICABLE	VERT	VERTICAL
E	EAST	NEG	NEGATIVE	VEST	VESTIBULE
EA	EACH	NIC	NOT IN CONTRACT	VNR	VENEER
EJ	EXPANSION JOINT	NO	NUMBER	W	WEST
EL	ELEVATION	NOM	NOMINAL	W/	WITH
ELEC	ELECTRICAL	NRC	NOISE REDUCTION COEFFICIENT	WD	WASHER & DRYER
ELEV	ELEVATOR	NRCC	NATIONAL RESOURCE COUNCIL OF CANADA	W/O	WITHOUT
ENCL	ENCLOSURE	NTS	NOT TO SCALE	W/W	WALL TO WALL
EP	ELECTRIC PANEL	O/A	OVERALL	WB	WOOD BASE
EQ	EQUAL	O/C	ON CENTER	WC	WATER CLOSET
EQUIP	EQUIPMENT	O/D	OUTSIDE DIAMETER	WCB	WORKERS COMPENSATION BOARD
ESC	ESCALATOR	O/H	OVER HEAD	WD	WOOD
EST	ESTIMATE	O/HANG	OVERHANG	WG	WIRED GLASS
ETC	ETCETERA	OBS	OBSCURE	WIN	WINDOW
EXIST	EXISTING	OPP	OPPOSITE	WR	WASHROOM
EXP	EXPOSED	OWSJ	OPEN WEB STEEL JOIST		
EXT	EXTERIOR	P.LAM	PLASTIC LAMINATE		

SYMBOLS

NAME	SYMBOL
DRAWING NAME	<div>1</div> DRAWING TITLE SCALE X.XXXX
OVERALL SECTION REFERENCE	<div>1</div> A0.00
DETAIL SECTION REFERENCE	<div>1</div> A0.00
ELEV DWG REFERENCE	<div>1</div> A0.00
DETAIL REFERENCE	<div>1</div> A0.00
GRID LINE	<div>1</div>
ELEVATION MARKER SECTION	<div>00.000</div> LEVEL 1
PLAN ELEVATION AT FINISH FLOOR	<div>00.000</div>
ROOM NUMBER	Room Name <div>00-000</div> <div>00-000</div>
BUILDING GRADE	<div>00.000</div> <div>00.000 T.O.W.</div> <div>00.000 T.O.W.</div> <div>NEW DESIGN GRADE</div> <div>EXISTING BLDG GRADE</div>
INTERIOR ELEVATION DETAIL REFERENCE	<div>1</div> <div>4</div> <div>A0.00</div> <div>2</div> <div>3</div>
NOTES	<div>1</div>
WALL TYPE	<div>W0.0</div> <div>W0.0</div> <div>W0.0</div> <div>W0.0</div>
WINDOW SCHEDULE	<div>W-00</div>
REVISION NUMBER	<div>1</div>
HEIGHT NUMBER	<div>375</div> TOC
NORTH ARROW	<div>45.00°</div>
EQUIPMENT TAG	<div>1</div>
MATERIAL TAG	<div>1</div>

DRAWING LIST

ARCHITECTURAL

A0 GENERAL INFORMATION

A0.00	COVER
A0.01	CONTEXT PLAN, DRAWING LIST, SYMBOLS
A0.02	PROJECT DATA
A0.03	SITE PLAN

A1 BUILDING FLOOR PLAN

A1.01	LEVEL P1	FLOOR PLAN
A1.02	LEVEL 1	FLOOR PLAN
A1.03	LEVEL 2	FLOOR PLAN
A1.04	LEVEL 3	FLOOR PLAN
A1.05	LEVEL 4	FLOOR PLAN
A1.06	LEVEL 5	FLOOR PLAN
A1.07	LEVEL 6, 8 & 10	FLOOR PLAN
A1.08	LEVEL 7 & 9	FLOOR PLAN
A1.09	LEVEL 11	FLOOR PLAN
A1.10	LEVEL 12	FLOOR PLAN
A1.11	LEVEL L1	EXISTING PARKADE
A1.12	LEVEL P1	EXISTING PARKADE

A2 BUILDING SECTIONS

A2.01	SECTION A
A2.02	SECTION B
A2.03	SECTION C

A3 ELEVATIONS

A3.01	NORTH ELEVATION
A3.02	SOUTH ELEVATION
A3.03	EAST ELEVATION
A3.04	WEST ELEVATION

AREA OVERLAYS

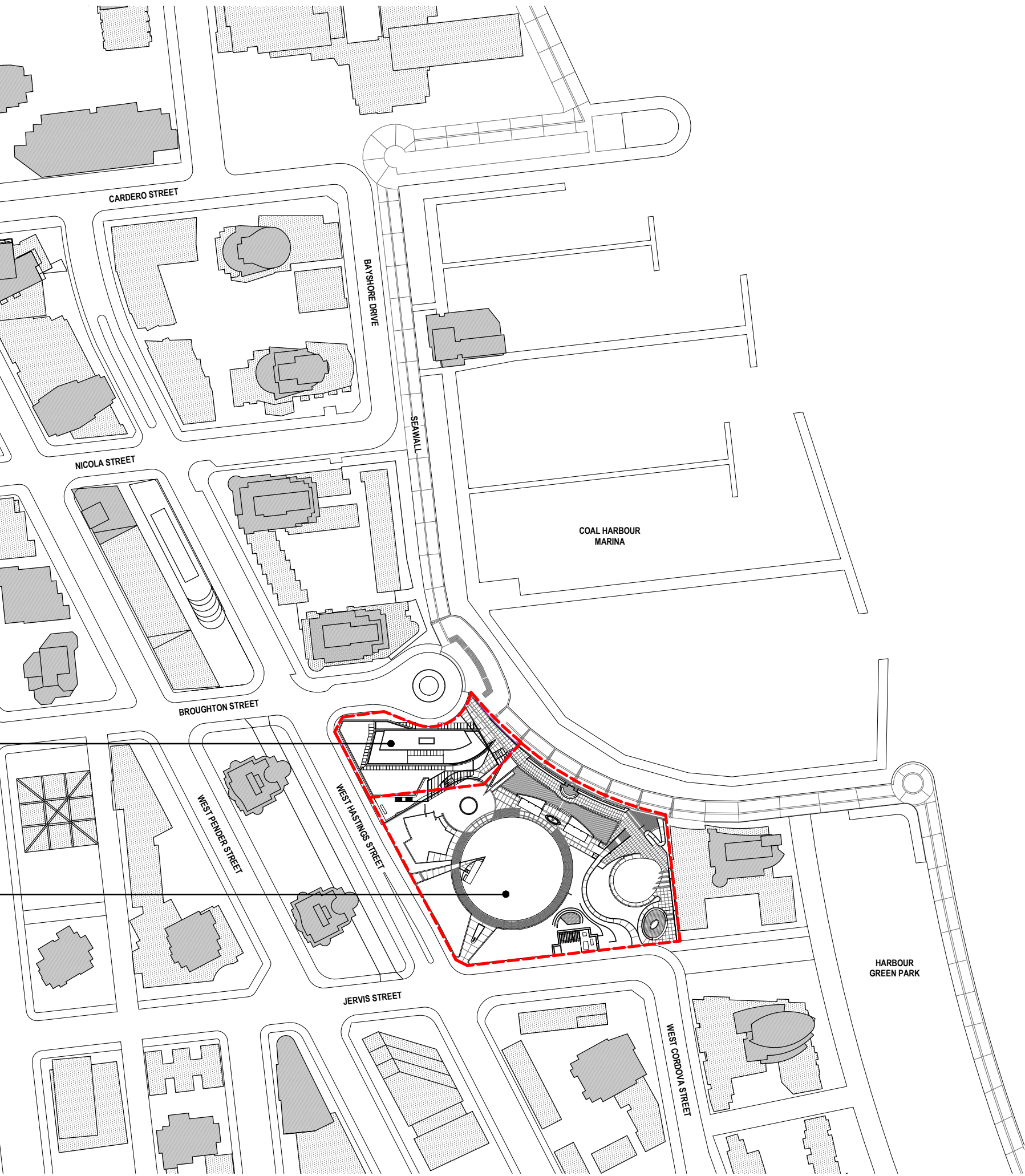
REFER TO AREA OVERLAY DRAWING PACKAGE

LANDSCAPE

REFER TO LANDSCAPE DRAWING PACKAGE

SITE -PROPOSED BUILDING  
(PHASE 2)

EXISTING COAL HARBOUR  
COMMUNITY CENTRE  
(PHASE 1)



CONTEXT PLAN 1:2000

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ISSUED FOR D/PRZ

NOV 20, 2020

**HENRIQUEZ** Henriquez Partners Architects  
598 W Georgia Street  
Vancouver BC V6B 2A3 T 604.687.5681

JOB TITLE

**COAL  
HARBOUR**

480 BROUGHTON ST. VANCOUVER, BC

CONSULTANT

DRAWING TITLE

**CONTEXT PLAN, DRAWING  
LIST, SYMBOLS**

DATE	MAR 2020	DRAWN	Author
SCALE	AS NOTED	CHECKED	Checker
JOB NO.	1905		

**A0.01**



PROJECT DATA

Comparative Zoning Analysis				
STREET ADDRESS	480 BROUGHTON ST. VANCOUVER, BC			
LEGAL DESCRIPTION	Lot 12 and 13, District Lot 185, of the Public Harbour of Burrard Inlet Plan LMP 29891			
ZONING	CD-1 (365) 301 Jervis Street By-law No.7677			
SITE AREA	m²	ft²		
Lot 13	9,545.6 m²	102,748 ft²		
Lot 12	2,436.2 m²	26,224 ft²		
TOTAL (LOT CONSOLIDATION)	11,981.8 m²	128,971 ft²		
FSR	AREA	RATIO		
Phase 1 - Existing Community Centre (DE 4021159 )	1,995.9 m²	0.17		
Phase 2 - Proposed Building	10,645.8 m²	0.89		
PHASE 1 + 2 COMBINED	12,641.7 m²	1.06		
BUILDING HEIGHT	Permitted	Proposed	Elevation	Storeys
Building Height *	30.0 m	38.86 m	43.600 m	11
<u>Notes:</u>				
* Based on CD-1 (365) measured from Building Grade on Broughton Street				
** Based on Zoning & Development By-law measurement to Base Surface				

Project Areas - Phase 2			
GROSS AREA			
USE	Proposed		
School	3,988.6 m²	42,933 ft²	
Childcare	904.9 m²	9,740 ft²	
Residential	6,048.0 m²	65,100 ft²	
Common	316 m²	3,402 ft²	
Total Gross Area	11,257.5 m²	121,174 ft²	
FSR AREA			
USE	Permitted (CD-1)	Proposed	
School	not limited	3,988.6 m²	42,933 ft²
Childcare	not limited	889.3 m²	9,572 ft²
Residential	4,170 m² *	5,472.7 m²	58,908 ft²
Common	not limited	295.3 m²	3,178 ft²
Total FSR Area		10,645.8 m²	114,591 ft²
FSR EXCLUSION			
USE	Proposed		
Amenity Exclusions **	94.1 m²	1,013 ft²	
Below Grade Exclusions ***	517.5 m²	5,570 ft²	
Roof Deck Exclusions ****	1,448.6 m²	15,592 ft²	
Total FSR Exclusions	2,060.2 m²	22,175 ft²	
Notes: * Residential Use: By-law No.7677 - CD-1 (365) 301 Jervis Street, section 5.5: Total floor area for residential use must not exceed 4,170 m² ; See table "FSR Calculation - Phase 2" on sheet A0.02 for Phase 2 FSR calculation ** Amenity Exclusion: CD-1 (365) 301 Jervis Street, Section 5.3 (g) *** Below Grade Exclusion: CD-1 (365) 301 Jervis Street, Section 5.3 (d) **** Roof Deck Exclusion: CD-1 (365) 301 Jervis Street, Section 5.3 (b)			

Parking Summary				
Parking Spaces				
Uses	Area (m <sup>2</sup> ) / Units	Required (Min.)	Proposed	
Residential	5,472.7 m <sup>2</sup> / 60 units	25	22	(25)*
School	3,988.6 m <sup>2</sup> / 33 employees	22	20	(22)*
Childcare	889.3 m <sup>2</sup>	11	11	
Community Centre	1995.9 m <sup>2</sup> (existing building)	82	80	(82)*
Car Share			4	
<b>Total</b>		<b>140</b>	<b>137</b>	<b>(144)*</b>
Small Car Parking		max. 25%	25	
Accessible Parking				
	Area (m <sup>2</sup> ) / Units	Required (Min.)	Proposed	
Residential	5,472.7 m <sup>2</sup> / 60 units	3	3	
School	3,988.6 m <sup>2</sup> / 33 employees	2	2	
Childcare	889.3 m <sup>2</sup>	1	1	
Community Centre	1995.9 m <sup>2</sup> (existing building)	2	2	
Car Share		0	0	
<b>Total</b>		<b>8</b>	<b>8</b>	
<b>Notes:</b>				
<b>Calculation of Accessible Parking Spaces:</b>				
By-law section 4.1.15: Each accessible parking space provided to satisfy the minimum requirement number of such spaces will count as two parking spaces for the purpose of satisfying the minimum required number of parking spaces.				
<b>Parking By-law Requirements:</b>				
<b>Residential:</b>	By-law section 4.2.1.8: Minimum of 0.3 spaces for units with fewer than 2 bedrooms, and minimum 0.5 spaces for units with 2 or more bedrooms			
<b>School:</b>	By-law section 4.2.3.5: Minimum of 2 spaces for every 3 employees			
<b>Childcare:</b>	2 spaces for staff, 9 spaces for pick-up/drop-off			
<b>Community Centre:</b>	By-law section 4.2.4.1: Minimum of 1 space for each 18.6 sq.m of floor area used for assembly purposes			
<b>Visitor Parking Residential:</b>				
Minimum of the lesser of: 5% of total number of residential parking spaces or 0.05 spaces per dwelling unit				
By-law section 4.1.8: Maximum of 25% of total parking stalls				
<b>Small Cars:</b>				
<b>Accessible Parking Non-residential:</b>				
By-law section 4.8.4(b): Minimum 1 space for first 500m <sup>2</sup> plus 0.4 spaces for each additional 1000m <sup>2</sup> .				
<b>Accessible Parking Residential:</b>				
By-law section 4.8.4(a): Minimum 1 space for first 7 units plus 0.034 spaces for each additional unit.				
By-law section 4.1.15: Each accessible parking space provided to satisfy the minimum required number of such spaces will count as two parking spaces for the purpose of satisfying the minimum required number of parking spaces.				
<b>Existing Community Centre Parkade:</b>				
All parking is provided within the existing Community Centre parkade structure and was allowed as part of the original Community Centre Development Permit.				

Parking Count						
Parking Spaces						
Level	Residential	School	Childcare	Com Centre	Care Share	Total
LEVEL 1	0	2	11	38	4	55
LEVEL P1	22	18	0	42	0	82
TOTAL	22	20	11	80	4	137
Level	Standard	Small Car	Accessible			Total
LEVEL 1	40	10	5	0	0	55
LEVEL P1	64	15	3	0	0	82
TOTAL	104	25	8	0	0	137
Existing Community Centre Parkade: All parking is provided within the existing Community Centre parkade structure and was allowed as part of the original Community Centre Development Permit.						

Bicycle Parking Summary					
Bicycle Spaces					
Use	Area(m²) or Units	Required Class A	Class B	Proposed Class A	Class B
Residential	5,472.7 m² / 60 units	113	4	115	6
School	340 students / 33 employees	2	17	4	17
Childcare	889.3 m²	0	0	9	0
Total		115	21	128	23
Horizontal Class A					
Vertical Class A					
Locker					
Oversized					
Total				128	
Parking By-law Requirements:					
Residential:	By-law section 6.2.1.2: Class A: Minimum 1.5 spaces per unit under 65m, a minimum 2.5 spaces per unit over 65m and under 105m, a minimum 3 spaces per unit over 105 sm; Class B: Minimum 2 spaces for any development containing at least 20 units, and one additional for every 20 units				
School:	By-law section 6.2.3.3: Class A: Minimum 1 space for every 17 employees; Class B: Minimum 1 Class B space for every 20 students				
Childcare:	By-law section 6.2.2.5: Class A & B: No bicycle space requirements;				
Community Centre:	By-law section 6.2.3.1: Class A: Minimum 1 space for each 500 sq.m of floor area used for assembly purposes; Class B: Minimum 6 spaces for any portion of each 1,500sm of floor area used for assembly purposes				
Vertical Spaces:	By-law section 6.3.13: Maximum of 30% of Class A spaces				
Stacked Spaces:	By-law section 6.3.13: Maximum of 60% of Class A spaces may be vertical and stacked in total				
Lockers:	By-law section 6.3.13A: Minimum of 10% of Class A spaces				
Oversized Spaces:	By-law section 6.3.13: Minimum of 5% of Class A spaces must be oversized				

Bicycle Parking Count					
Class A Bicycle Spaces					
Level	Residential	School	Childcare	Comm Centre	Total
LEVEL 1	0	4	9	0	13
LEVEL P1	115	0	0	0	115
TOTAL	115	4	9	0	128
Level	Horizontal Spaces	Vertical Spaces	Lockers	Oversized	Total
LEVEL 1	13	0	0	0	13
LEVEL P1	82	14	13	6	115
TOTAL	95	14	13	6	128

Loading Summary							
Loading Spaces							
Use	Area(m²) or Units	Required Class A	Class B	Class C	Proposed Class A	Class B	Class C
Residential	5,472.7 m² / 60 units	1	0	0	1*	0	
School	3,988.6 m²	0	1	0		1	
Childcare	889.3 m²	0	0	0		0	
Community Centre	1995.9 m² (existing building)	0	1	0		1	
<b>Total</b>		<b>1</b>	<b>2</b>	<b>0</b>		<b>2</b>	
<b><u>Parking By-law Requirements:</u></b>							
<b>Residential:</b>	By-law section 7.2.1: Class A passenger space: Min 100 units for any development with 50 to 125 units;						
	By-law section 5.2.1: No loading space for less than 100 units						
<b>School:</b>	By-law section 5.2.3: Class A: No Requirement;						
	Class B: Min. 1 space for each 2,800 sq.m of gross floor area						
<b>Childcare:</b>	No loading requirements						
<b>Community Centre:</b>	By-law section 7.2.3: Class A: No passenger loading requirements;						
	By-law section 5.2.3: Class B: Min. 1 space for each 2,800 sq.m of gross floor area						
<b><u>Existing Community Centre Loading:</u></b>							
2 Class B loading stalls to serve the Community Centre and School were provided as part of the original Community Centre Development Permit.							
<b><u>Notes:</u></b>							
* Class A Passenger Space: 1 space to be allocated at street level above grade							

Building Areas - Metric									
Level	Gross Areas (m²)				Exclusions (m²)		Totals (m²)		
	Gross Residential	Gross School	Gross Childcare	Gross Common	Below Grade Exclusions	Amenity Exclusions	Gross Floor Area	FSR Area	Roof Decks Area
LEVEL 11	342.3	0	0	0	0	94.1	342.3	248.1	419.1
LEVEL 10	820.2	0	0	0	0	0	820.2	820.2	0
LEVEL 9	820.3	0	0	0	0	0	820.3	820.3	0
LEVEL 8	820.2	0	0	0	0	0	820.2	820.2	0
LEVEL 7	820.3	0	0	0	0	0	820.3	820.3	0
LEVEL 6	820.2	0	0	0	0	0	820.2	820.2	0
LEVEL 5	819.7	0	0	0	0	0	819.7	819.7	79.1
LEVEL 4	55.8	0	850.4	0	0	0	906.2	906.2	647.2
LEVEL 3	55.7	1,434.1	0	0	0	0	1,489.8	1,489.8	90.6
LEVEL 2	55.8	1,144.3	24.8	18.7	0	0	1,243.6	1,243.6	212.6
LEVEL 1	136.6	1,410.2	14	276.6	0	0	1,837.5	1,837.5	0
LEVEL P1	481.1	0	15.6	20.7	517.5	0	517.5	0	0
TOTAL (m²)	6,048.0	3,988.6	904.9	316.0	517.5	94.1	11,257.5	10,645.8	1,448.6
TOTAL (ft²)	65,100	42,933	9,740	3,402	5,570	1,013	121,174	114,591	15,592
TOTAL RESIDENTIAL GFA ABOVE GRADE:			5,566.8 m²						
TOTAL SHARED GFA ABOVE GRADE:			295.3						

Residential Unit Summary					
Level	Studio	1 Bedroom	2 Bedroom	3 Bedroom	Total
LEVEL 10	1	3	4	2	10
LEVEL 9	1	3	4	2	10
LEVEL 8	1	3	4	2	10
LEVEL 7	1	3	4	2	10
LEVEL 6	1	3	4	2	10
LEVEL 5	2	3	4	1	10
TOTAL	7	18	24	11	60
	12%	30%	40%	18%	100%
	25 (42%)		35 Family (42%)		
PEOPLE	7	36	72	44	159

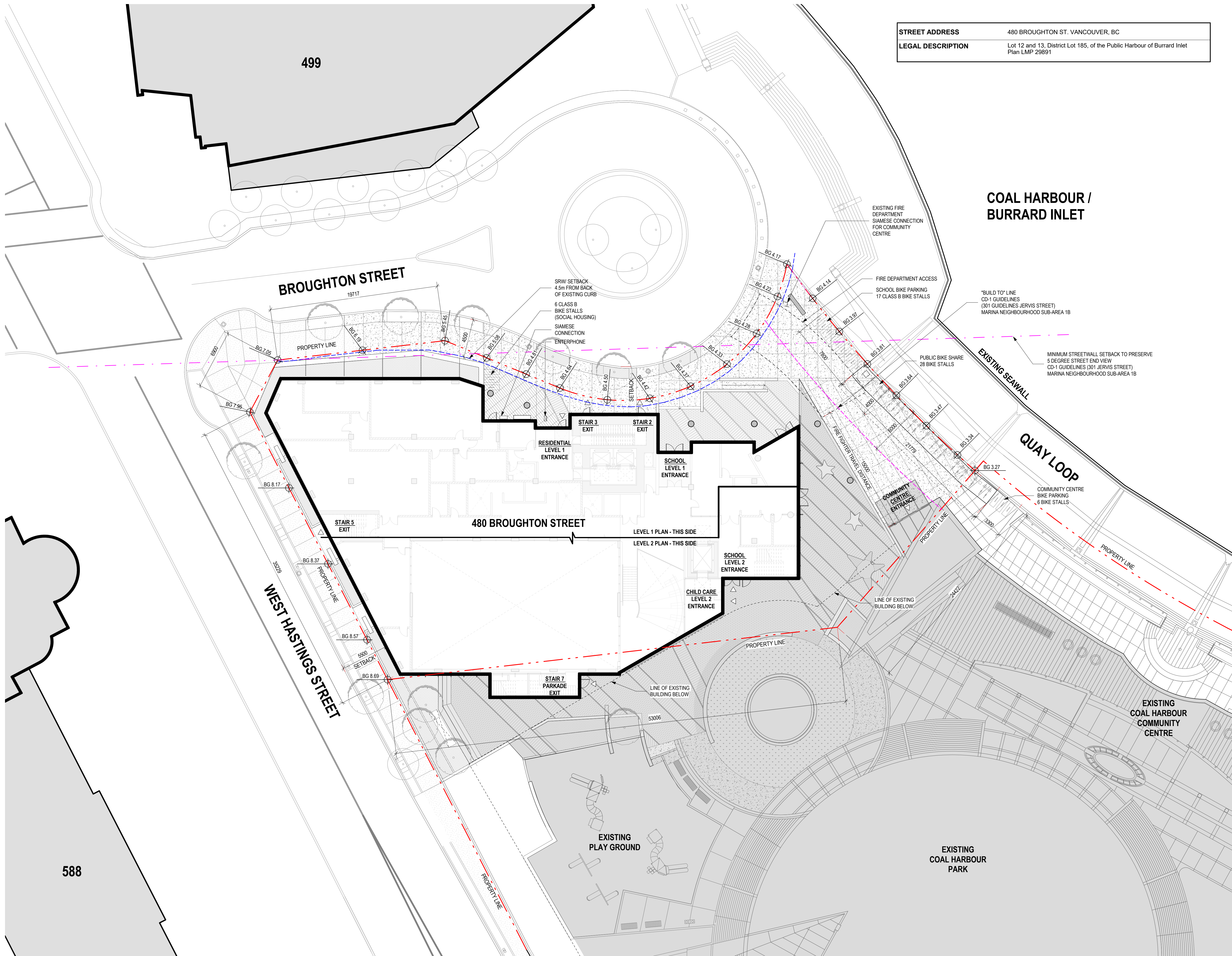
Residential Suite Area Comparison					
Unit Type	Bedroom #	People #	BCH Net Unit Area (m²)**	COV Net Unit Area (m²)***	Number of Units
A	1 BEDROOM	2	50.55 m²	42.86 m²	5
A-1	1 BEDROOM	2	51.71 m²	44.02 m²	1
B	2 BEDROOM	3	77.71 m²	68.23 m²	5
B-1	2 BEDROOM	3	78.73 m²	69.44 m²	1
C	2 BEDROOM	3	77.41 m²	67.25 m²	5
D	1 BEDROOM	2	49.39 m²	41.45 m²	5
E	2 BEDROOM	3	69.77 m²	60.45 m²	5
E-1	2 BEDROOM	3	70.95 m²	61.64 m²	1
F	2 BEDROOM	3	70.73 m²	61.87 m²	5
F-1	2 BEDROOM	3	71.77 m²	63.13 m²	1
G	3 BEDROOM	4	91.24 m²	80.7 m²	5
G-1	3 BEDROOM	4	92.32 m²	81.72 m²	1
H	3 BEDROOM	4	88.38 m²	78.52 m²	5
J	1 BEDROOM	2	49.23 m²	41.58 m²	5
J-1	1 BEDROOM	2	50.41 m²	42.75 m²	1
K	1 BEDROOM	2	74.55 m²	64.55 m²	1
L *	STUDIO	2	54.89 m²	46.29 m²	1
M *	2 BEDROOM	3	89.44 m²	79.36 m²	1
N-1	STUDIO	1	36.68 m²	29.55 m²	1
N-2	STUDIO	1	36.68 m²	29.55 m²	5

**Notes:**

- \* Accessible Units: 3 accessible units are provided at Level 5
- \*\* **BCH Definition:** Net Unit Area is the dwelling area calculated from center line of the party walls, corridor walls and the outside face of the sheathing, exterior walls, and includes in-suite storage. Mechanical shafts for Passive House are not included in the measurement of the unit floor area.
- \*\*\* **COV Definition:** Net Unit Area, the measurement of the dwelling unit size, is calculated using the inside face of the walls. Interior partitions, within the dwelling unit, are included in the measurement. In-suite storage and mechanical shafts for Passive House are not included in the measurement of the dwelling unit floor area.



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STREET ADDRESS	480 BROUGHTON ST. VANCOUVER, BC
LEGAL DESCRIPTION	Lot 12 and 13, District Lot 185, of the Public Harbour of Burrard Inlet Plan LMP 29891

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CONSULTANT

DRAWING TITLE

**SITE PLAN**

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SCALE	1 : 200	CHECKED	Checker
JOB NO.	1905		

**A0.03**



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**COAL HARBOUR**

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DRAWING TITLE

**LEVEL P1 FLOOR PLAN**

DATE

MAR 2020

DRAWN

JP

SCALE

1 : 100

CHECKED

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JOB NO.

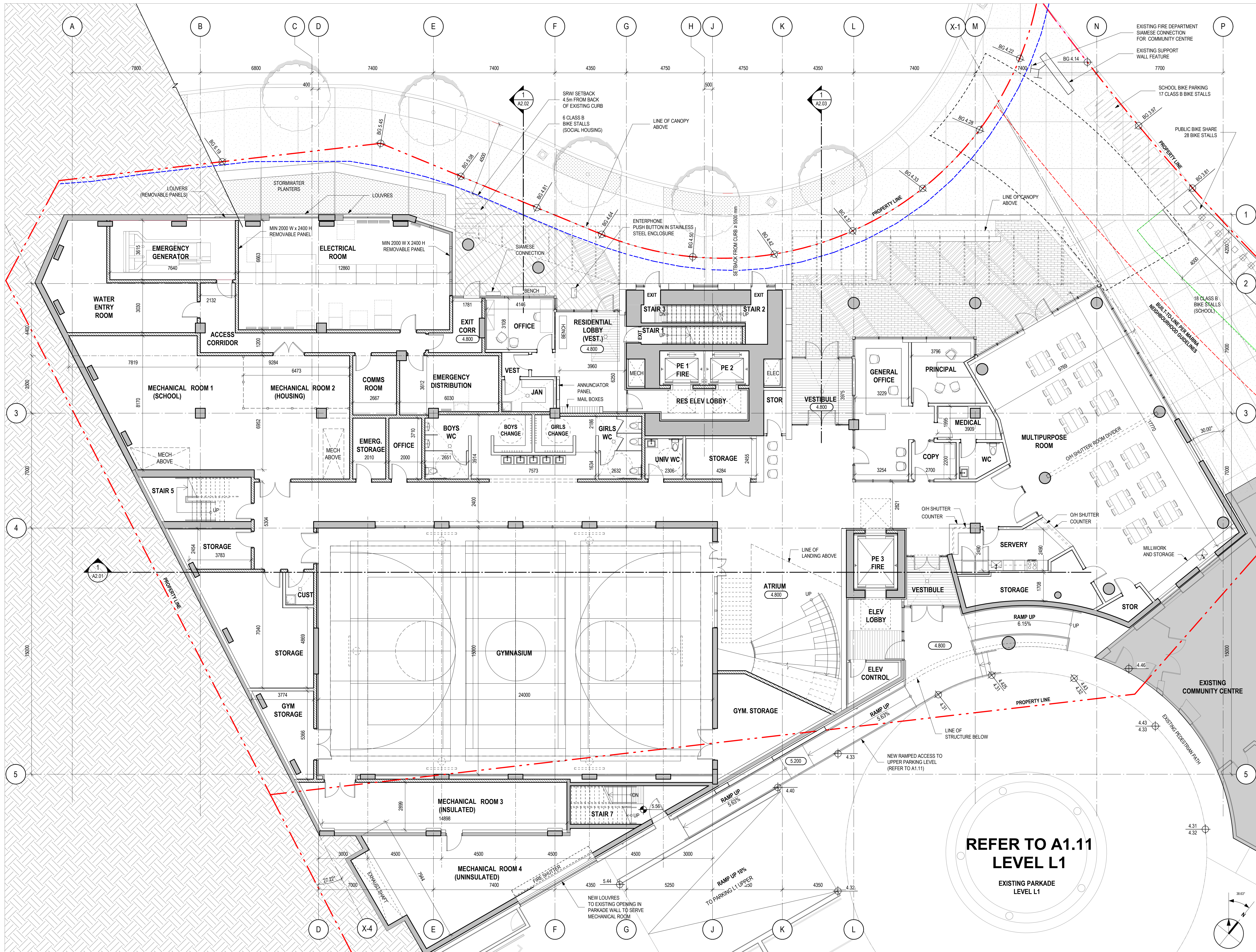
1905

**REFER TO A1.12 LEVEL P1**

**A1.01**



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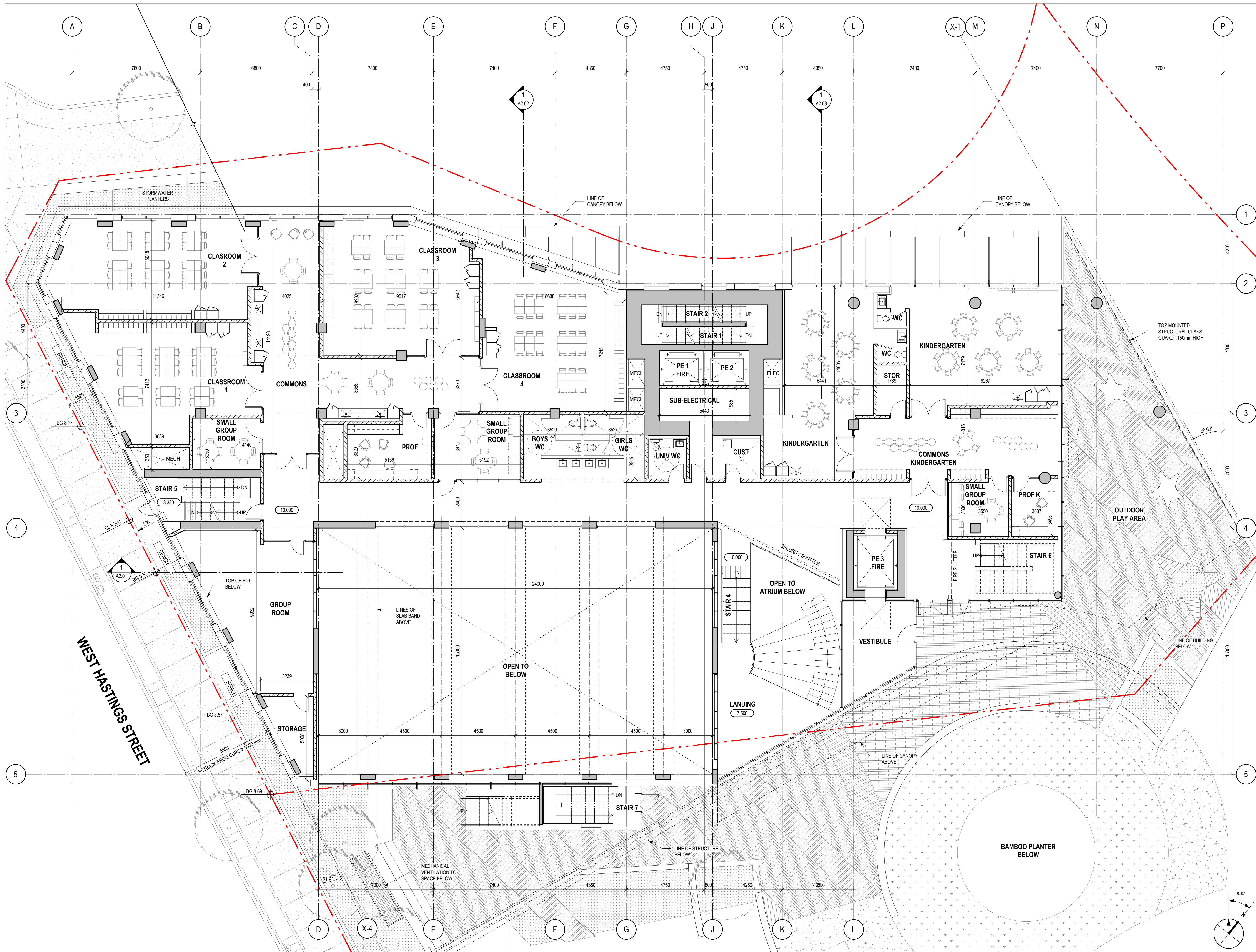
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**LEVEL 1 FLOOR PLAN**

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**A1.02**



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**LEVEL 2 FLOOR PLAN**

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**A1.03**



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**LEVEL 3 FLOOR PLAN**

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**A1.04**



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**LEVEL 4 FLOOR PLAN**

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**A1.05**



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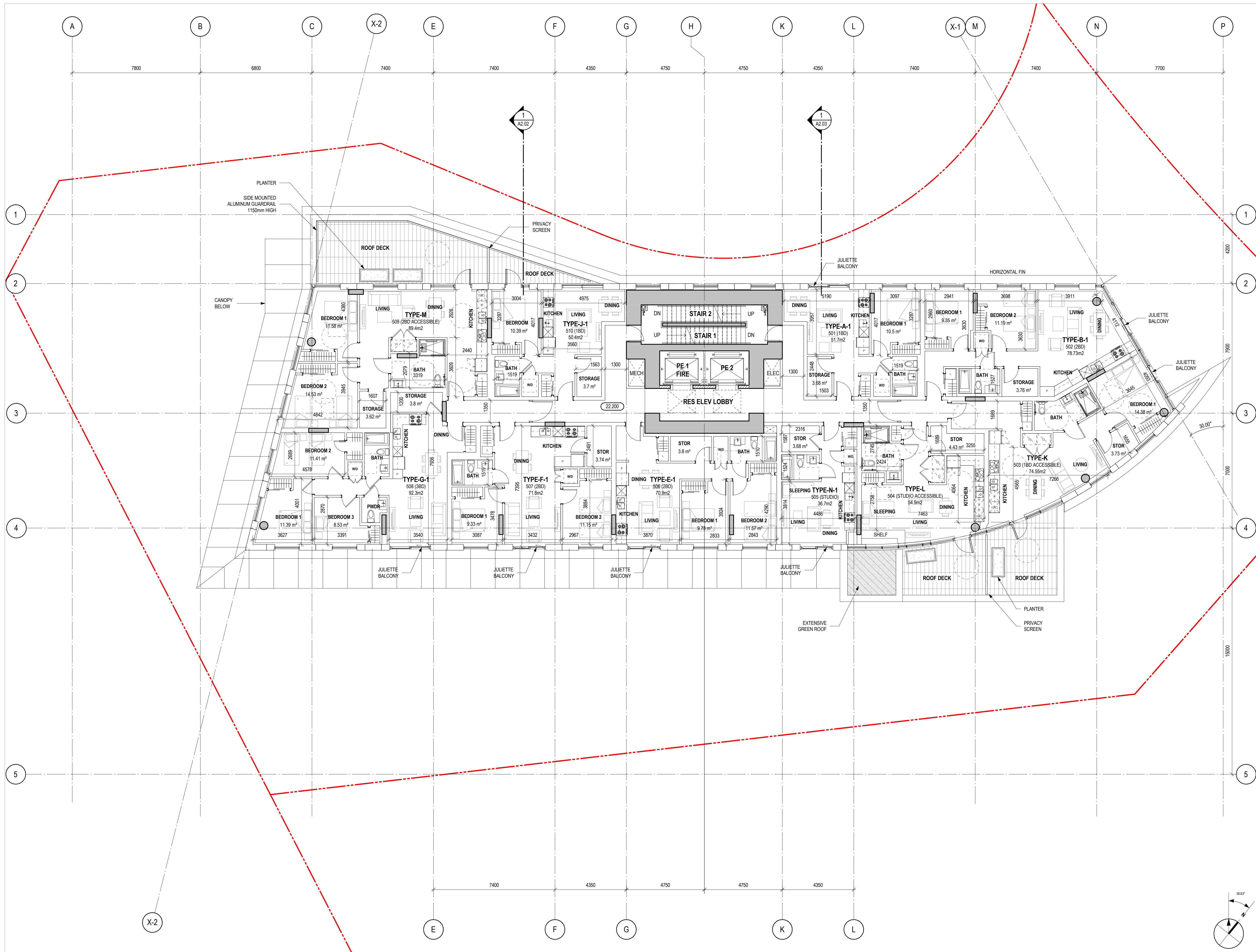
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**LEVEL 5 FLOOR PLAN**

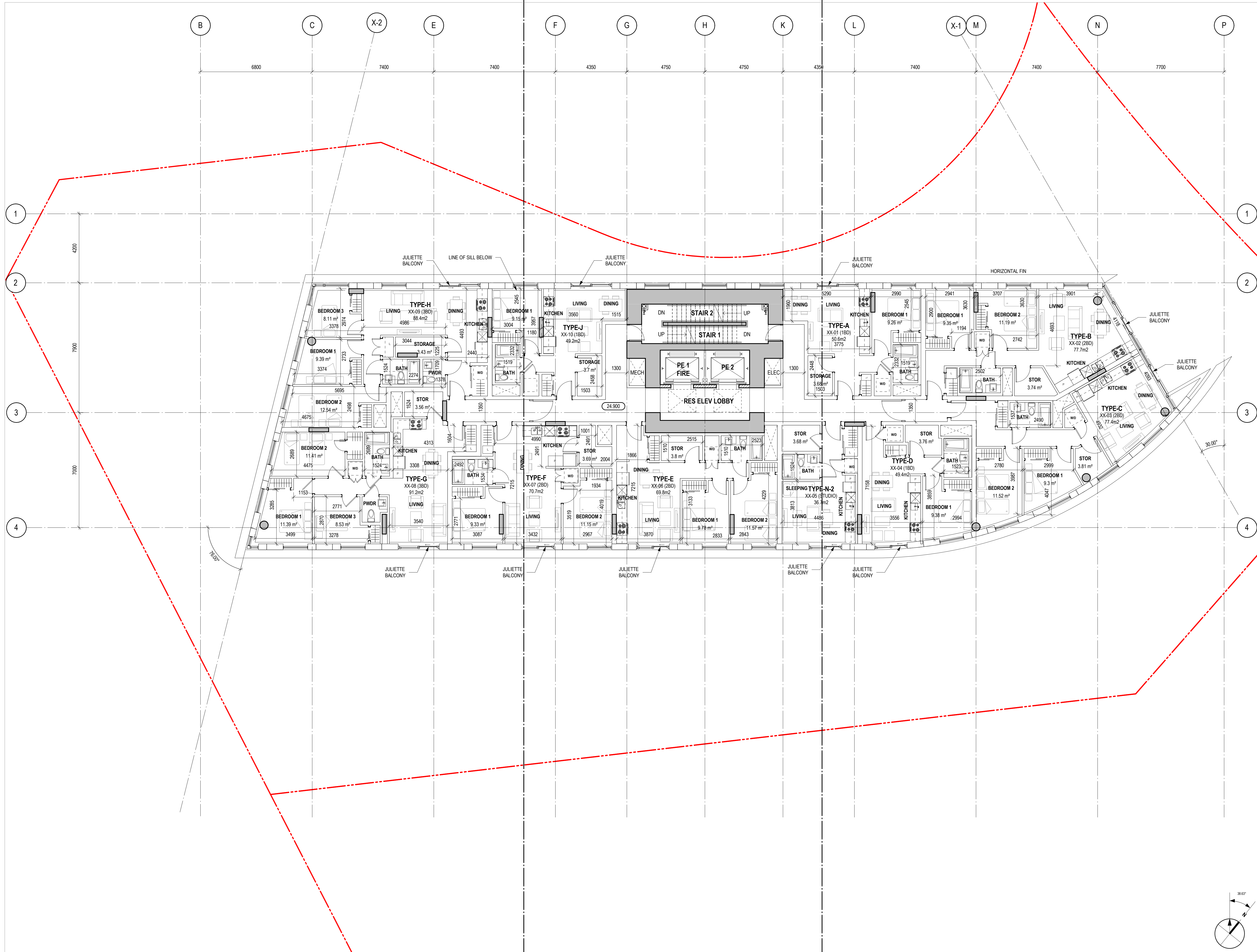
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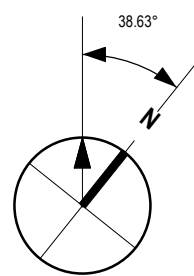
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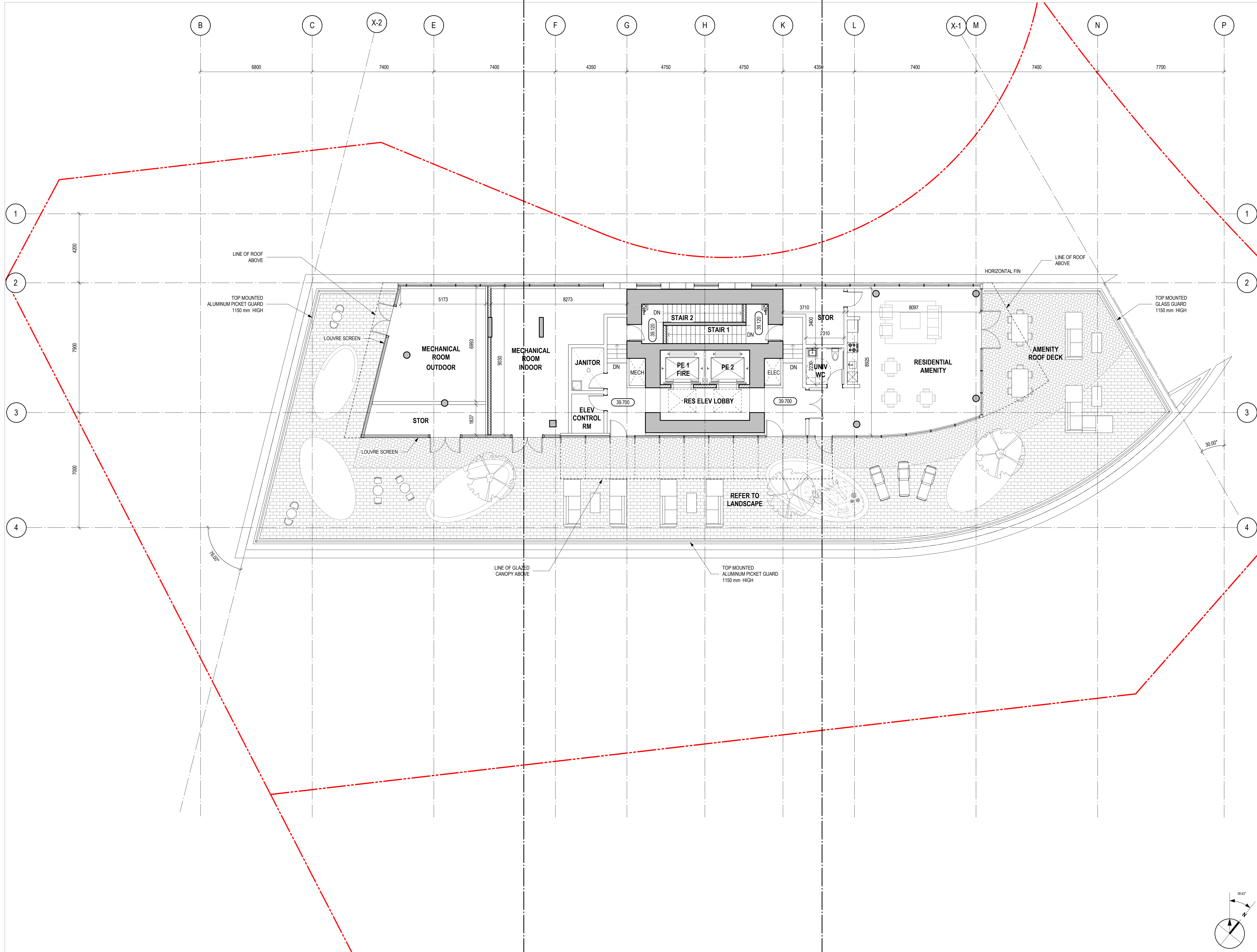
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**LEVEL 7 & 9 FLOOR PLAN**

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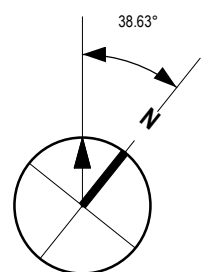
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**LEVEL 11 FLOOR PLAN**

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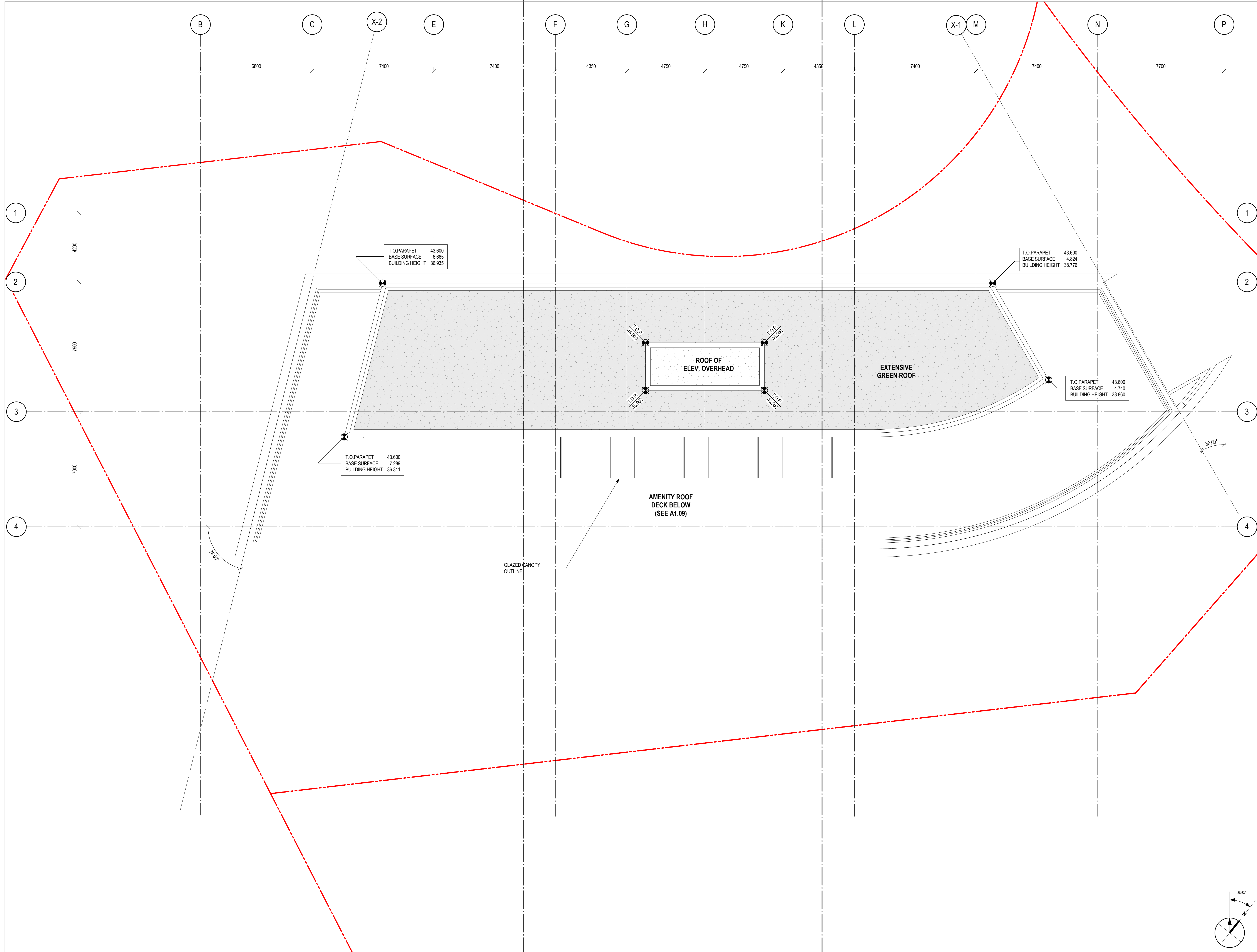
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**LEVEL 12 FLOOR PLAN**

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JOB NO.	1905		

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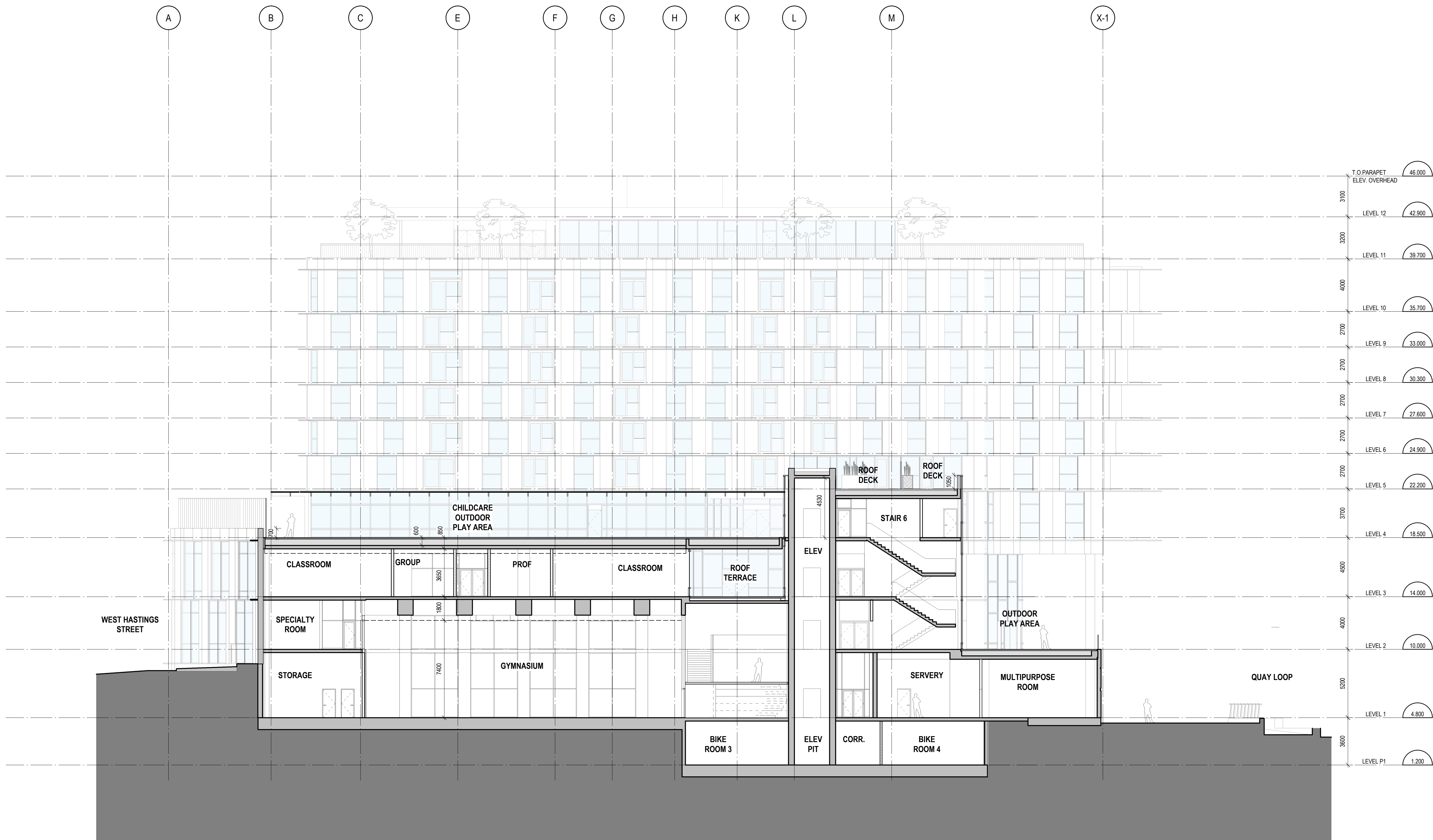








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1 SECTION A

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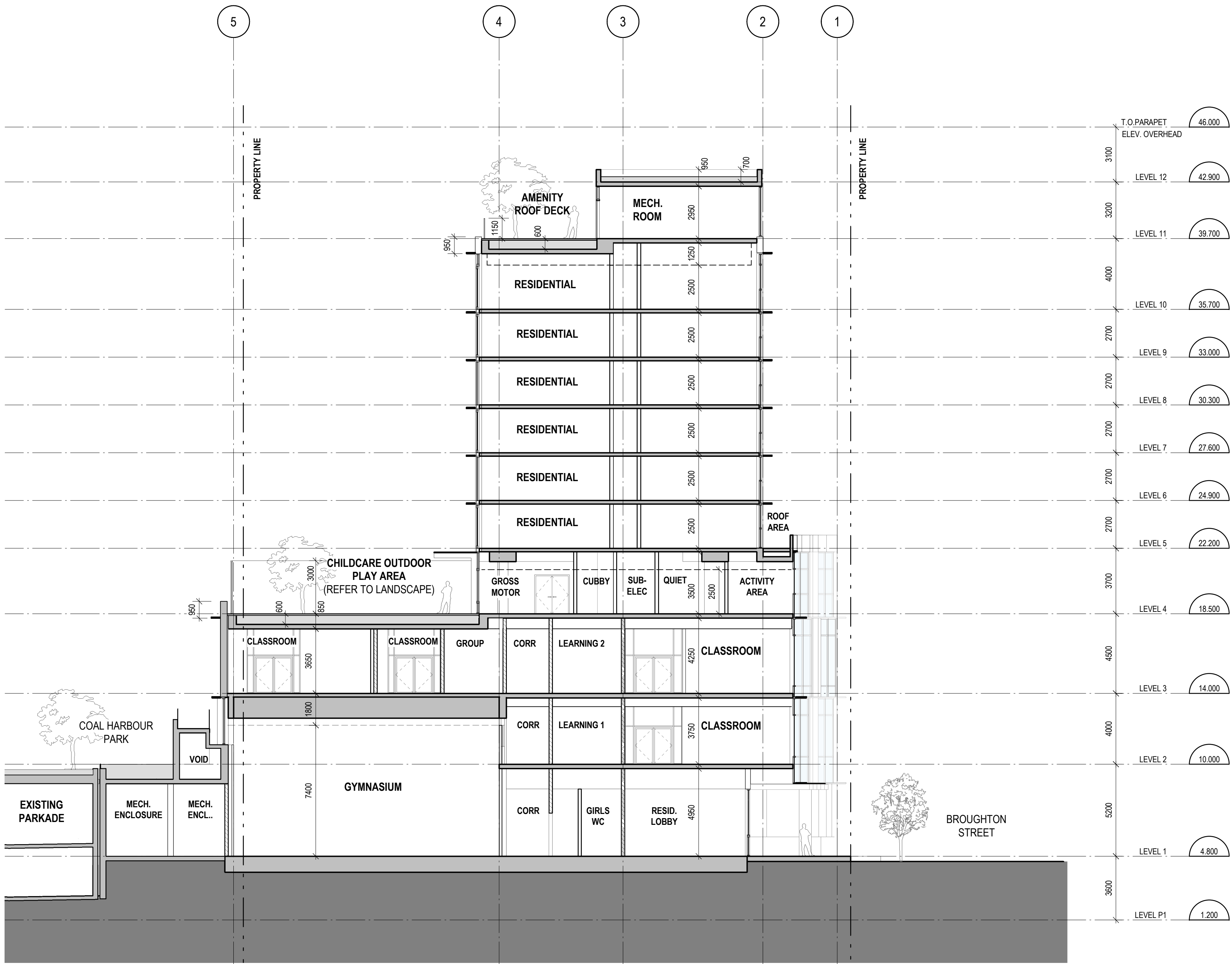
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**A2.01**



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1 SECTION B

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## SECTION B

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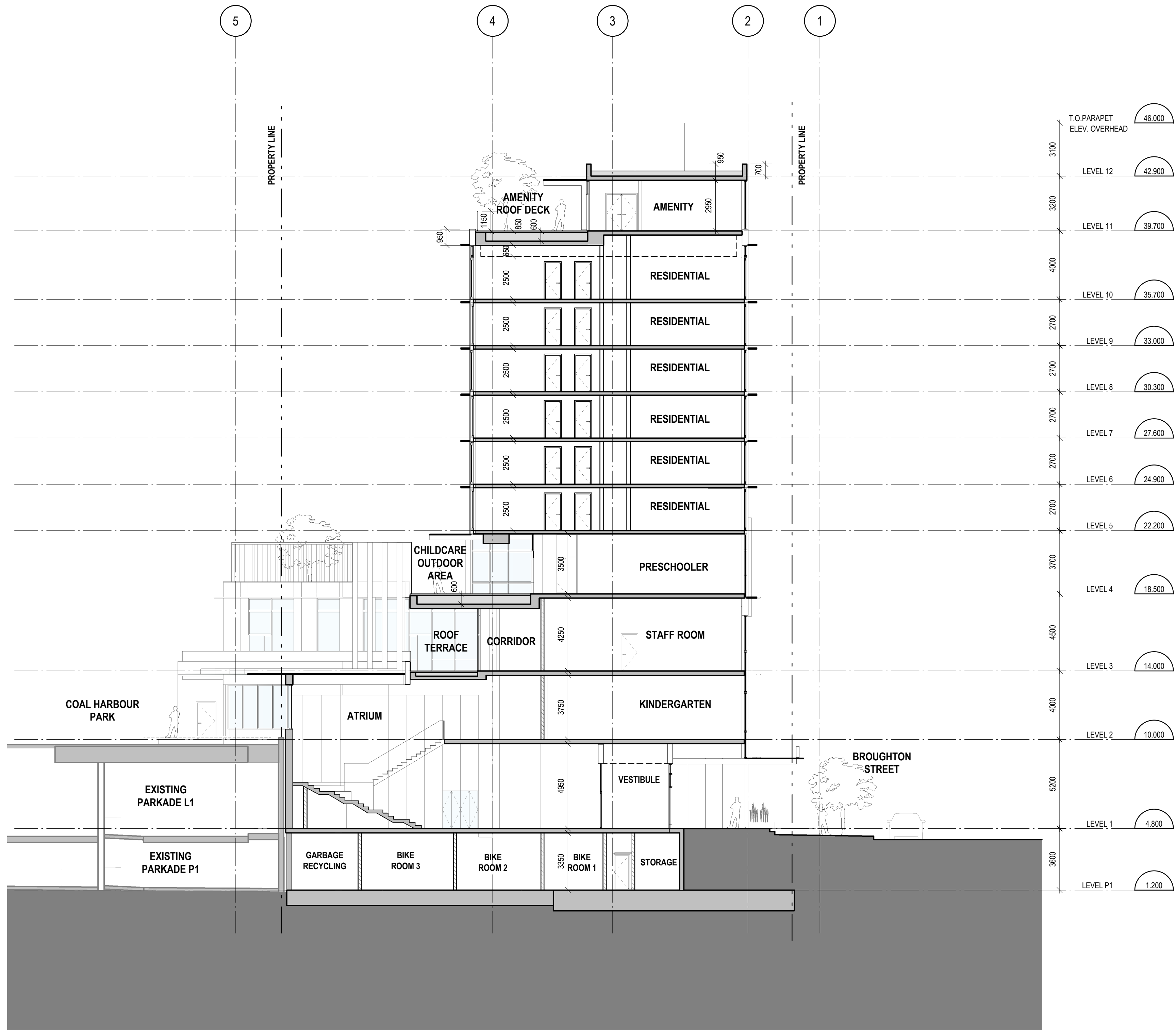
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1 SECTION C

**HENRIQUEZ** Henriquez Partners Architects  
598 W Georgia Street  
Vancouver BC V6B 2A3 T 604.687.5681

JOB TITLE  
**COAL HARBOUR**  
480 BROUGHTON ST. VANCOUVER, BC

CONSULTANT

DRAWING TITLE

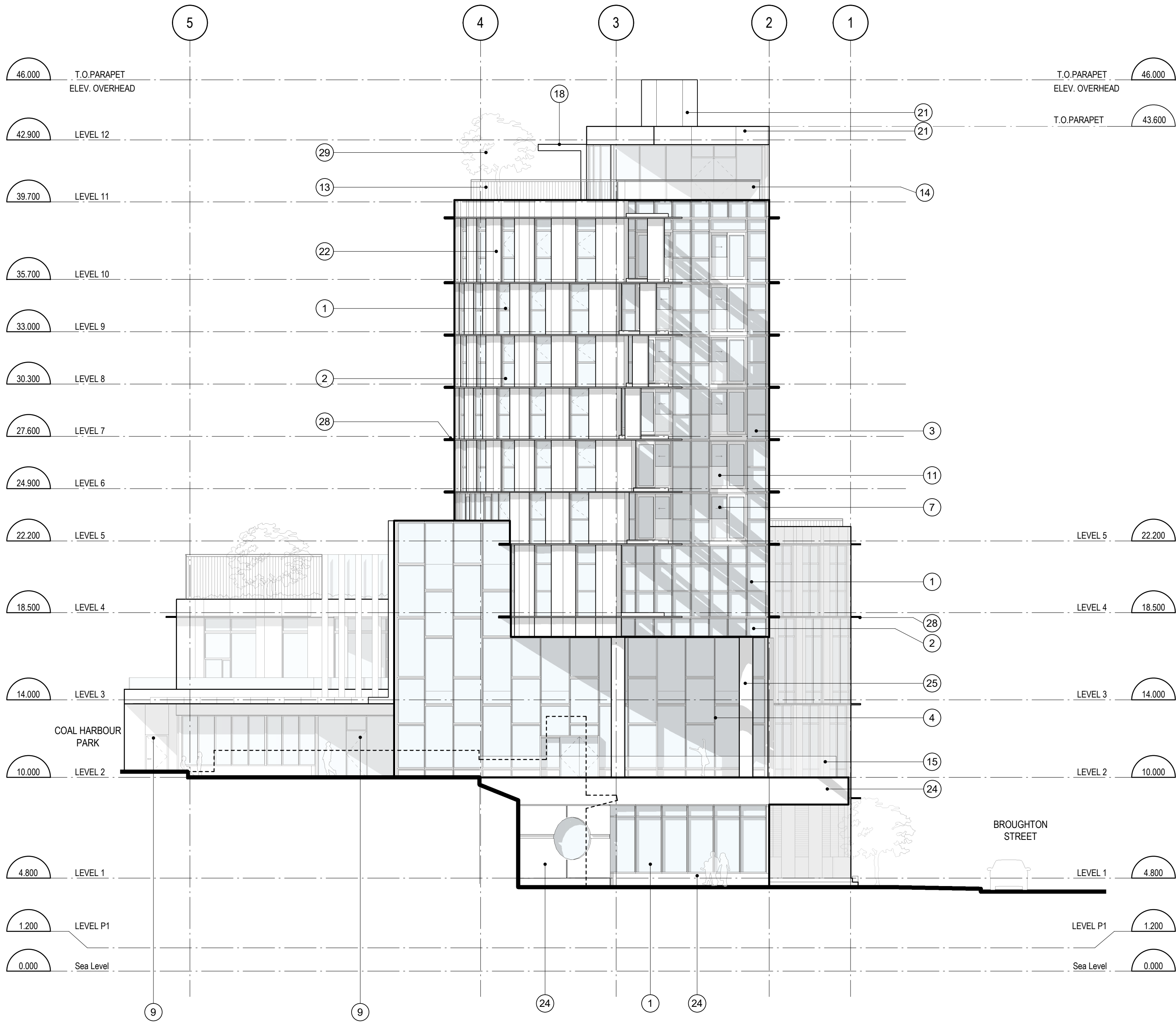
**SECTION C**

DATE	APR 2020	DRAWN	Author
SCALE	1 : 150	CHECKED	Checker
JOB NO.	1905		

**A2.03**



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#### MATERIAL LEGEND

- 1 - WINDOW SYSTEM 1 - VISION GLASS (INC. OPERABLE)
- 2 - WINDOW SYSTEM 1 - SPANDREL GLASS
- 3 - WINDOW SYSTEM 1 - SPANDREL BYPASS
- 4 - WINDOW SYSTEM 2 - VISION GLASS + VERTICAL FINS
- 5 - WINDOW SYSTEM 2 - SPANDREL GLASS + VERTICAL FINS
- 6 - OPERABLE VENT IN WINDOW SYSTEM
- 7 - SLIDING GLASS DOOR IN WINDOW SYSTEM
- 8 - SWING DOOR IN WINDOW SYSTEM
- 9 - ALUMINUM ENTRANCE DOOR IN WINDOW SYSTEM
- 10 - BIFOLDING GLAZED DOOR SYSTEM
- 11 - JULIET BALCONY GLASS GUARD IN WINDOW SYSTEM
- 12 - ALUMINUM GUARDRAIL AT CHILDCARE (3m HIGH)
- 13 - ALUMINUM GUARDRAIL AT ROOF DECKS
- 14 - GLAZED GUARDRAIL AT ROOF DECKS
- 15 - STRUCTURAL GLASS GUARDRAIL AT SCHOOL + PARK
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- 17 - GLASS CANOPY AT RESIDENTIAL ENTRY
- 18 - GLASS CANOPY AT RESIDENTIAL AMENITY
- 19 - GLASS CANOPY WITH CUSTOM FRIT PATTERN AT CHILDCARE
- 20 - PREFINISHED METAL PANEL
- 21 - PRECAST CONCRETE PANELS (FINISH 1)
- 22 - PRECAST INSULATED CONCRETE PANELS (FINISH 1)
- 23 - PRECAST INSULATED CONCRETE PANELS (FINISH 2)
- 24 - ARCHITECTURAL CONCRETE FINISH
- 25 - ARCHITECTURAL CONCRETE COLUMN
- 26 - ARCHITECTURAL LOUVRE
- 27 - CUSTOM ARCHITECTURAL SCREEN
- 28 - PRE-FINISHED ALUMINUM FIN (SOLAR SHADING)
- 29 - LANDSCAPE OR PLANTER (REFER TO LANDSCAPE)
- 30 - LANDSCAPE PLANTER WALL
- 31 - STAINLESS STEEL BIKE RACK
- 32 - SIAMES CONNECTION
- 33 - PAINTED METAL DOOR
- 34 - SIGNAGE

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NOV 20, 2020

**HENRIQUEZ** **Henriquez Partners Architects**  
598 W Georgia Street  
Vancouver BC V6B 2A3 T 604.687.5681

JOB TITLE

### COAL HARBOUR

480 BROUGHTON ST. VANCOUVER, BC

CONSULTANT

DRAWING TITLE

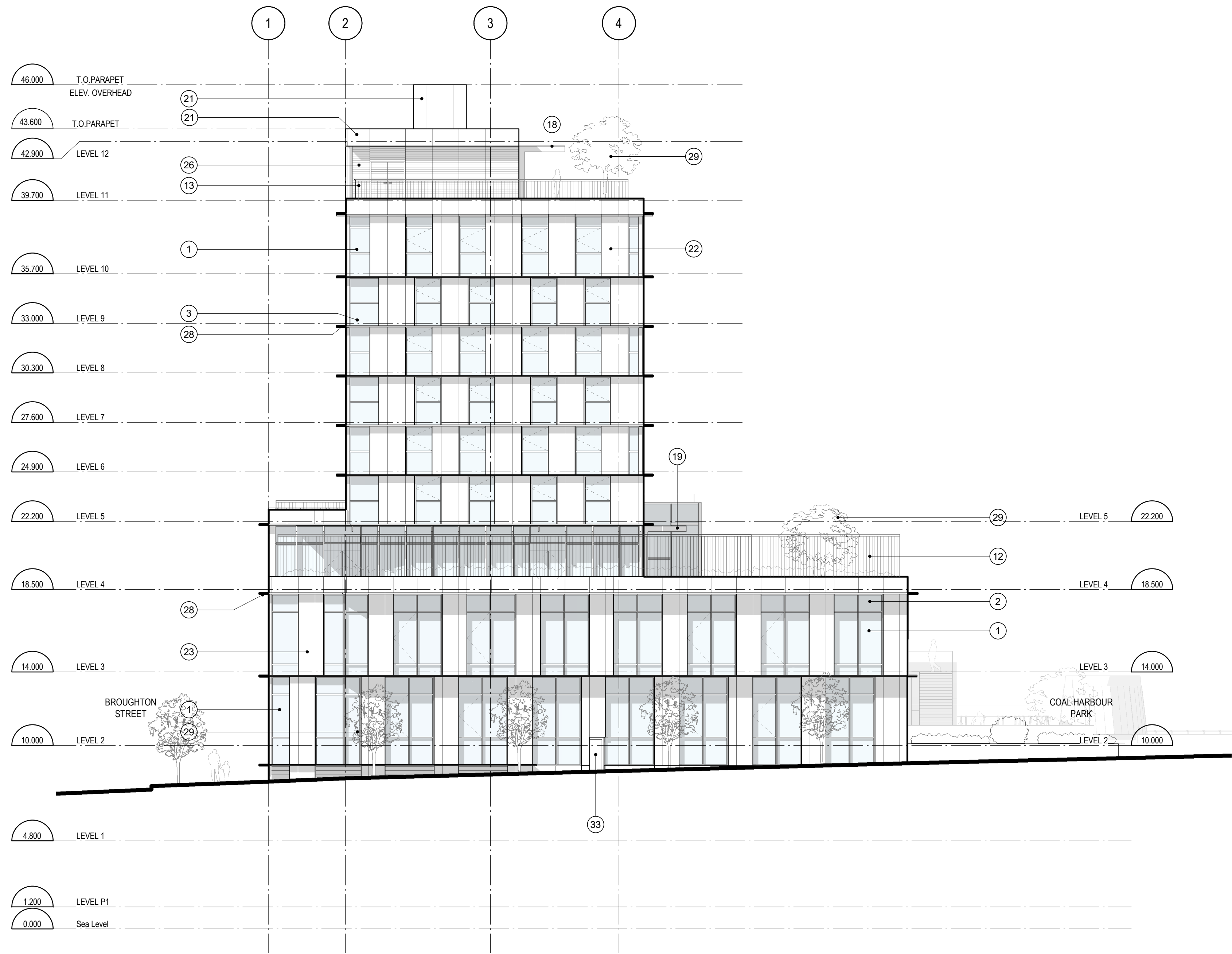
### NORTH ELEVATION

DATE	JUN 2020	DRAWN	Author
SCALE	1:150	CHECKED	Checker
JOB NO.	1905		

A3.01



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#### MATERIAL LEGEND

- 1 - WINDOW SYSTEM 1 - VISION GLASS (INC. OPERABLE)
- 2 - WINDOW SYSTEM 1 - SPANDREL GLASS
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598 W Georgia Street  
Vancouver BC V6B 2A3 T 604.687.5681

JOB TITLE

### COAL HARBOUR

480 BROUGHTON ST. VANCOUVER, BC

CONSULTANT

DRAWING TITLE

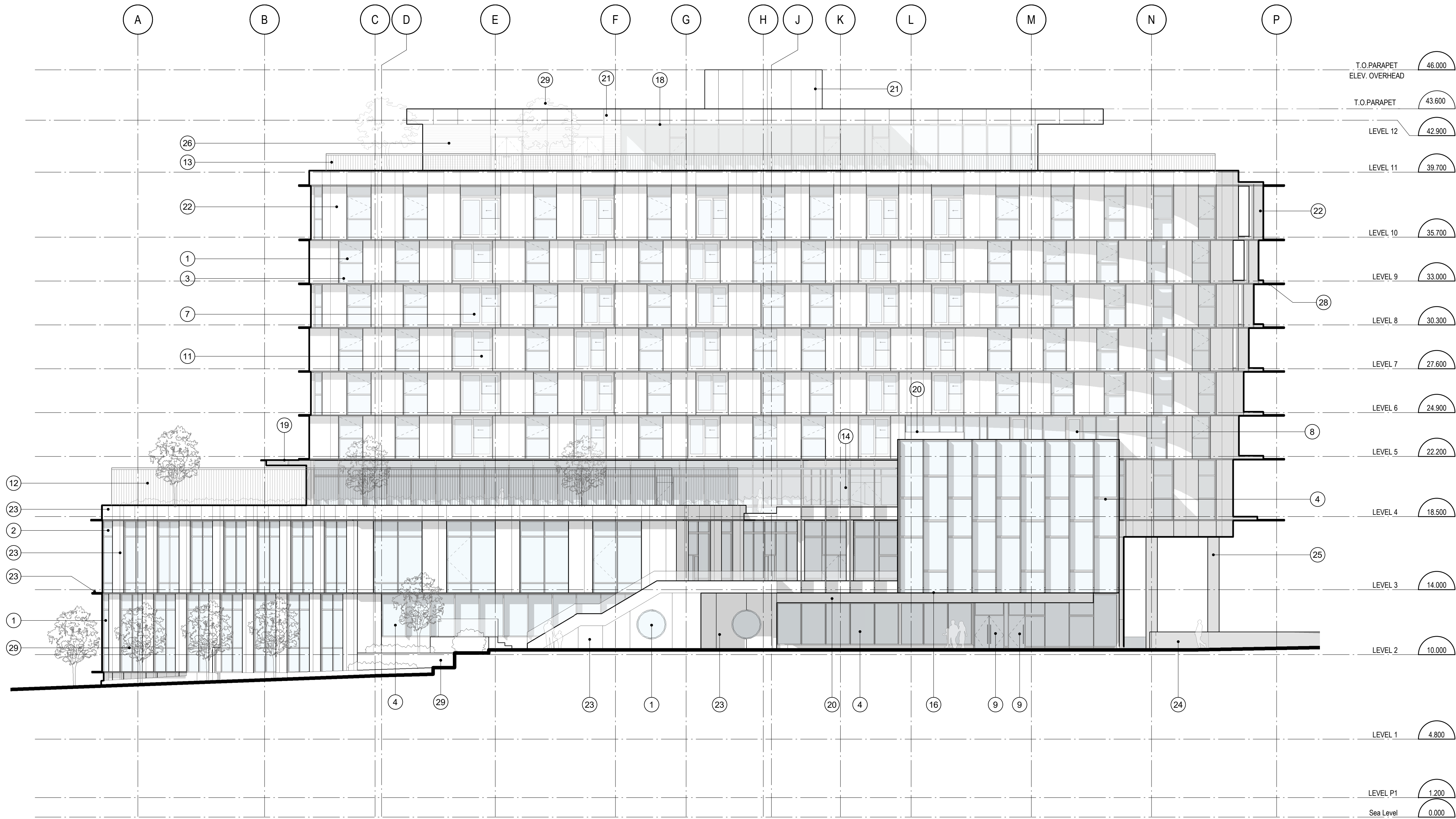
### SOUTH ELEVATION

DATE	JUN 2020	DRAWN	Author
SCALE	1:150	CHECKED	Checker
JOB NO.	1905		

A3.02



MATERIAL LEGEND	
1	- WINDOW SYSTEM 1 - VISION GLASS (INC. OPERABLE)
2	- WINDOW SYSTEM 1 - SPANDREL GLASS
3	- WINDOW SYSTEM 1 - SPANDREL BYPASS
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598 W Georgia Street  
Vancouver BC V6B 2A3 T 604.687.5681

JOB TITLE  
**COAL HARBOUR**  
480 BROUGHTON ST. VANCOUVER, BC  
CONSULTANT

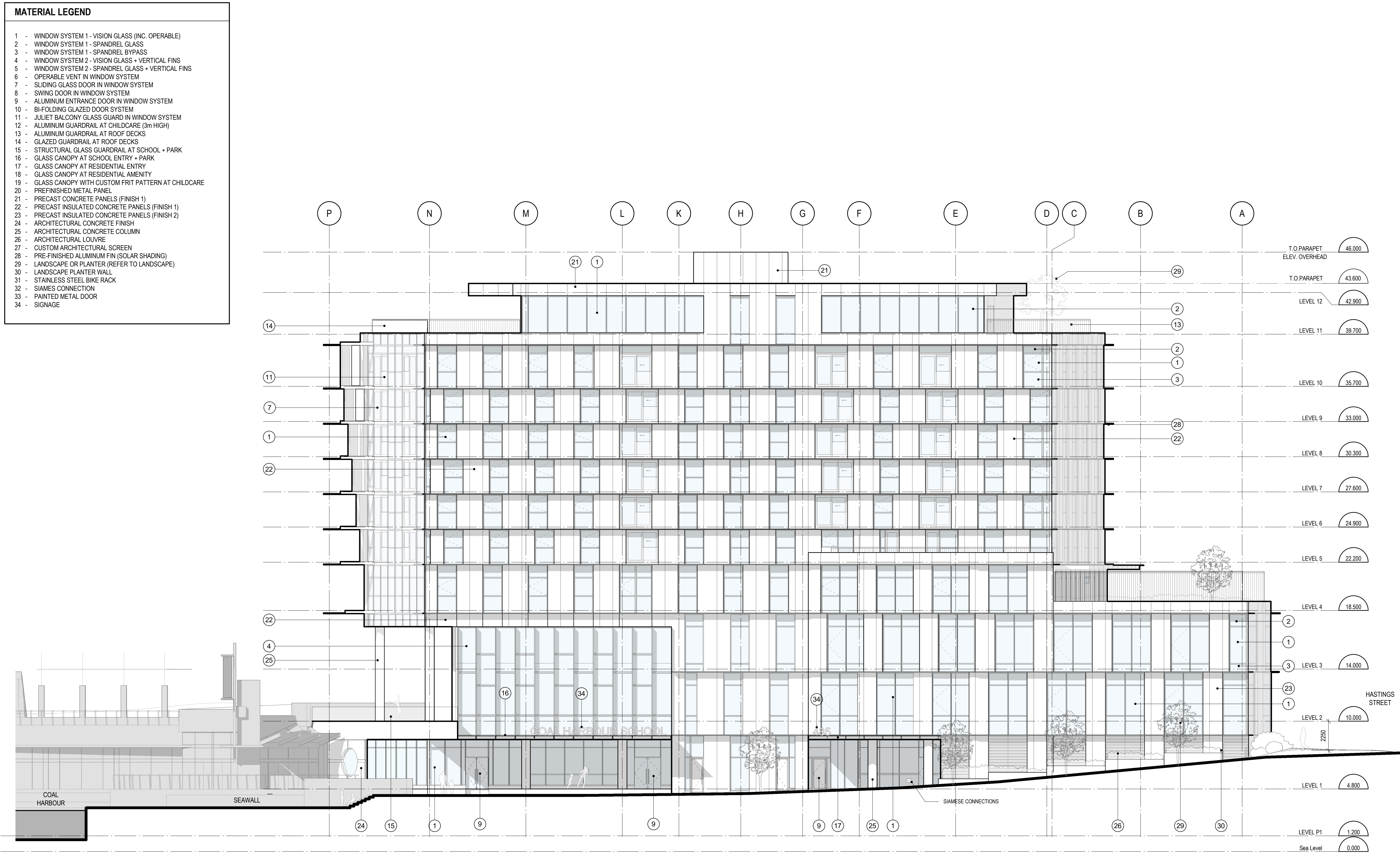
DRAWING TITLE  
**EAST ELEVATION**

DATE JUN 2020	DRAWN Author
SCALE 1:150	CHECKED Checker
JOB NO. 1905	

**A3.03**

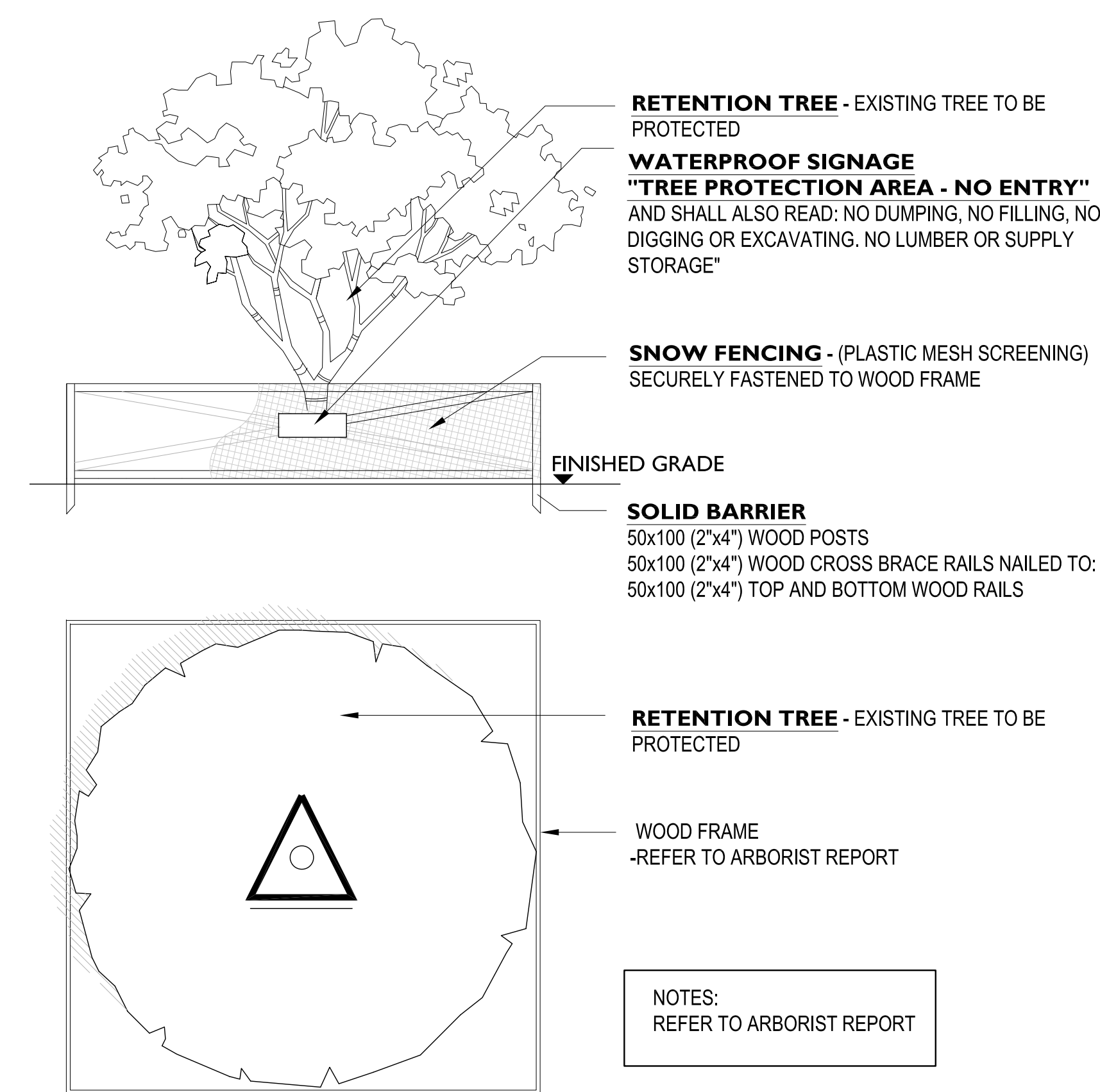
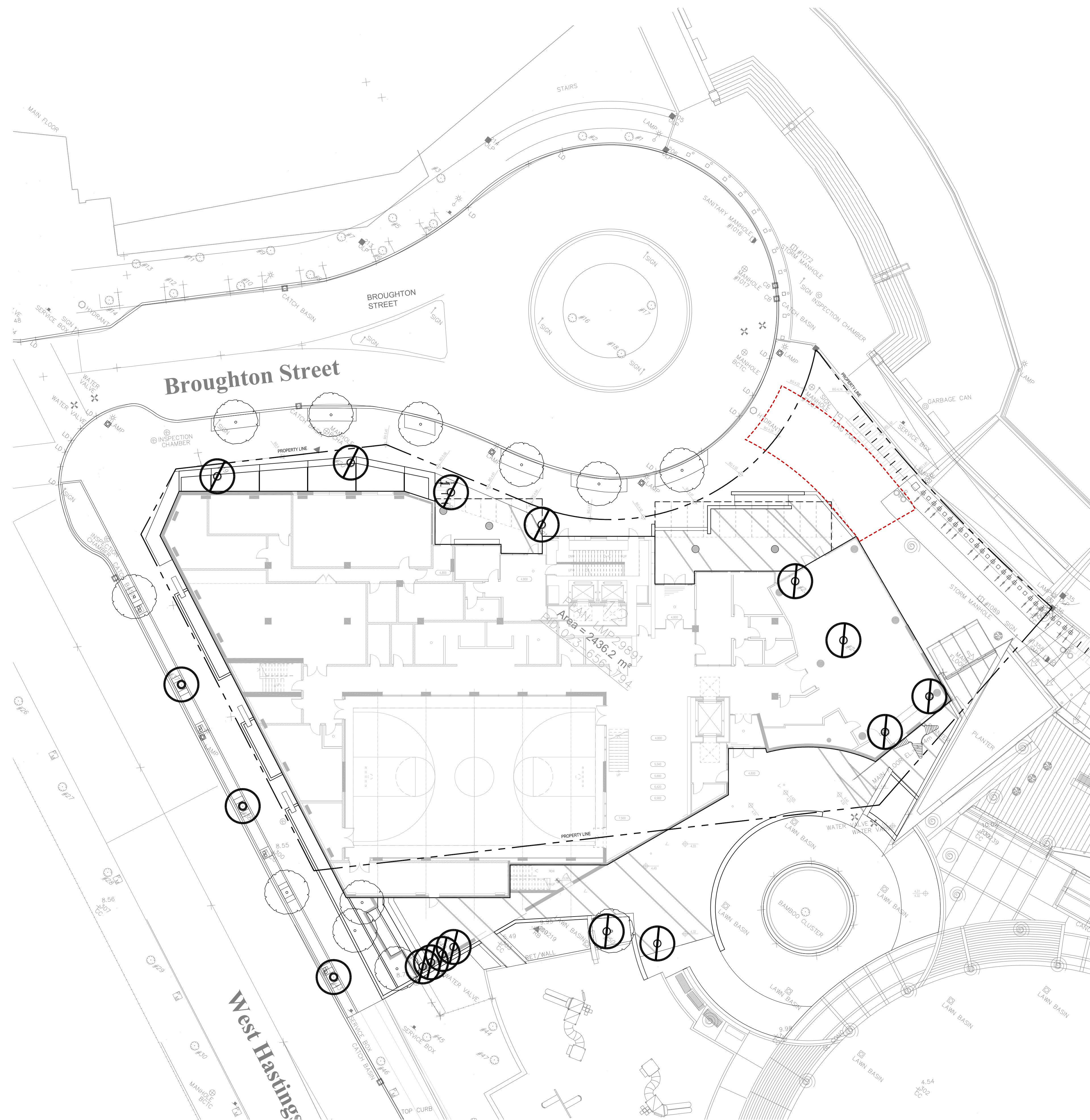


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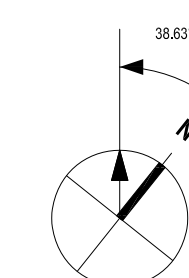
TREES TO BE PRESERVED

TREES TO BE REMOVED

PROPOSED TREES

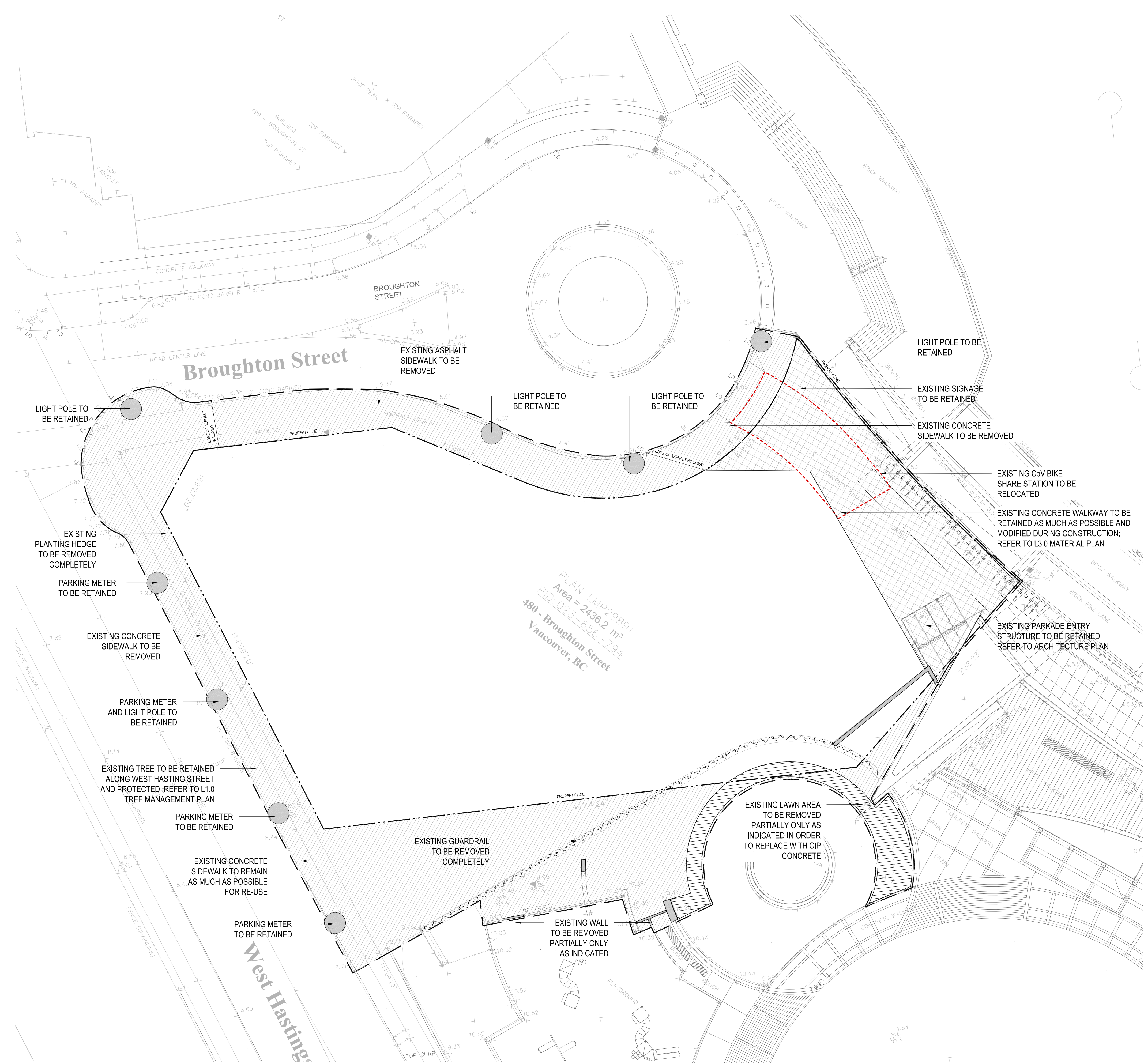
NOTES:

1. ALL CONSTRUCTION WORK CLOSE TO EXISTING TREES TO BE RETAINED SHALL BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST AND IN CONSULTATION WITH THE CITY OF VANCOUVER ARBORIST. SUCH WORK SHALL INCLUDE BUT NOT BE LIMITED TO, ANY EXCAVATION NEAR OR WITHIN THE TREE PROTECTION ZONES, ALL MODIFICATIONS TO SITE GRADING NEAR THE TREE PROTECTION AREAS, ALL ROOT PRUNING, ANY REQUIRED BRANCH PRUNING, AND ANY OTHERWISE NECESSARY ENCROACHMENT INTO THE TREE PROTECTION AREAS.
2. NO STORAGE OF BUILDING /CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
3. PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS. VEHICLES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREE'S HEALTH.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO LANDSCAPE FEATURES REMOVAL AND / OR RELOCATION.
5. TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES. METHODS OF TREE PROTECTION FOR STREET TREES TO BE APPROVED BY CITY OF VANCOUVER.



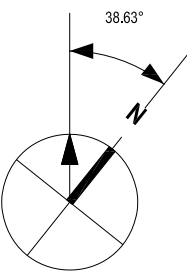


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- LEGEND
- PROPERTY LINE
  - GUARDRAIL TO BE REMOVED
  - EXISTING WALL TO BE REMOVED
  - UTILITIES WITHIN CITY PROPERTY TO BE RETAINED
  - ALL HARDSCAPE & SOFTSCAPE TO BE REMOVED AND REPLACE WITH PROPOSED MATERIALS
  - EXISTING CONCRETE WALKWAY TO BE RETAINED AND MODIFIED
  - DEMOLITION SCOPE

- NOTES
- THIS DRAWING IS FOR REFERENCE ONLY. REFER TO THE SURVEY MAP DATED 2019-11-29, PROVIDED BY HY AND ASSOCIATES LAND SURVEYING LTD.
  - THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO LANDSCAPE FEATURES REMOVAL.
  - REFER TO CIVIL DRAWINGS FOR REMOVAL, RETENTION AND/OR RELOCATION OF EXISTING SITE SERVICES.
  - REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ALL SERVICE RETENTION, TERMINATION AND REINSTATEMENT.
  - REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR REMOVAL, RETENTION AND/OR RELOCATION OF EXISTING BUILDINGS, STRUCTURES, RAILWAYS, AND ANY ARCHITECTURE FEATURES INDICATED IN THE DRAWINGS.
  - ALL ONSITE LANDSCAPE FEATURES NOT IDENTIFIED FOR RETENTION ARE TO BE REMOVED.
  - IF REQUIRED BY CLIENT, ANY ONSITE LANDSCAPE FEATURES INCLUDING SIGNS, PARK METERS, FENCES, AND FURNITURE ARE TO BE RETAINED /SET ASIDE BY CONTRACTOR AND STORED FOR REUSE AS DIRECTED BY CLIENT.



ISSUED FOR DP	NOV 20, 2020
ISSUED FOR PRE-DP	SEPT 25, 2020
ISSUED FOR DD	SEPT 4, 2020
ISSUED FOR DD / DP	JULY 31, 2020

HENRIQUEZ

Henriquez Partners Architects

598 W Georgia Street

Vancouver BC V6B 2A3 T 604.687.5681

COAL HARBOUR

480 BROUGHTON ST, VANCOUVER, BC

CONSULTANT

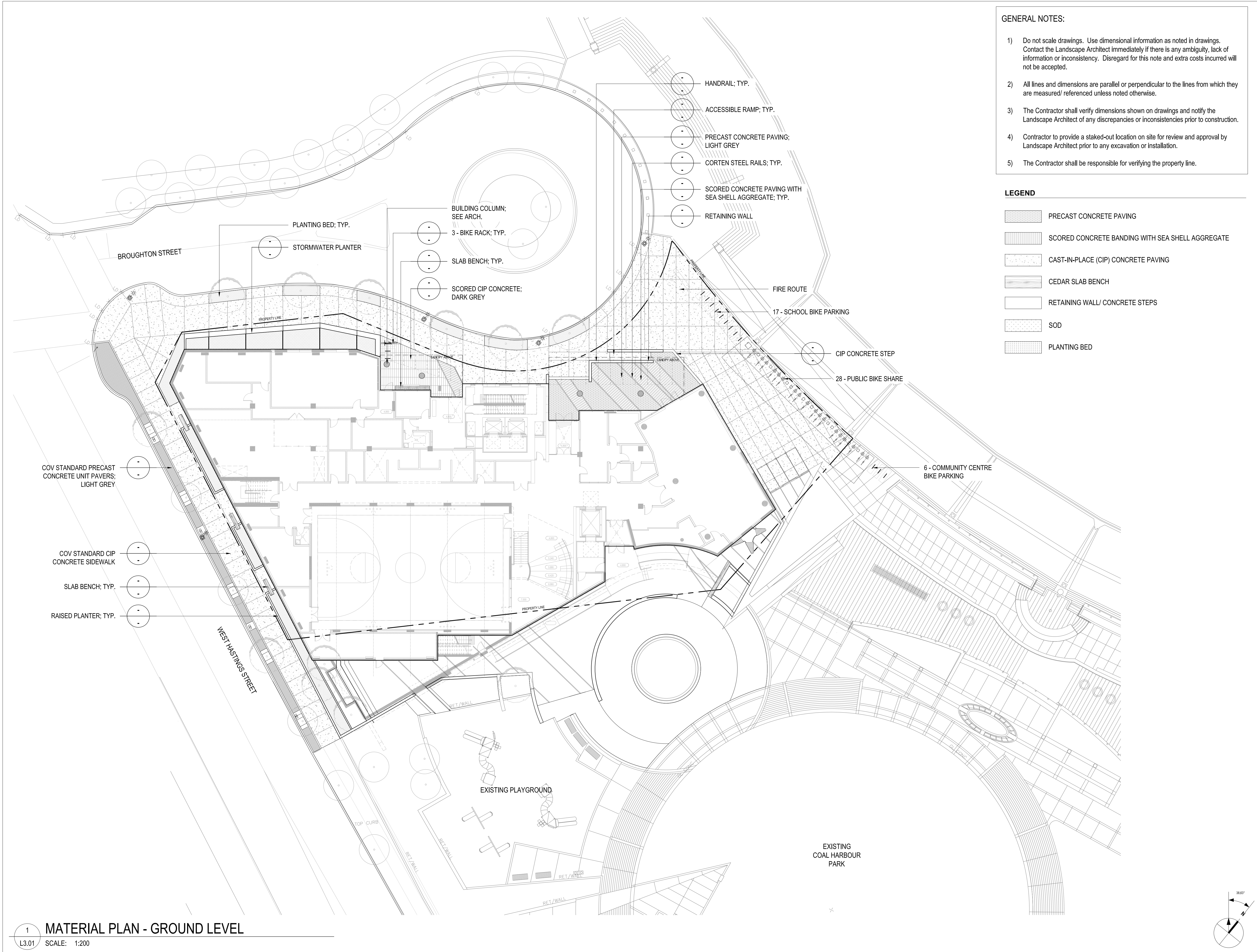
PFS STUDIO

PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

1777 West 37 Avenue  
Vancouver BC V6L 1P7  
604.756.5588  
pfs@pfs.ca

LANDSCAPE DEMOLITION PLAN			
DATE	2020.07.31	DRAWN	RG / JW
SCALE	AS SHOWN	CHECKED	KM
JOB NO.	19028		





ISSUED FOR DP

2020-11-20

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NOV 20, 2020

ISSUED FOR PRE-DP

SEPT 25, 2020

ISSUED FOR DD

SEPT 4, 2020

ISSUED FOR DD / DP

JULY 31, 2020

HENRIQUEZ

Henriquez Partners Architects

598 W Georgia Street

Vancouver BC V6B 2A3 T 604.687.5681

JOB TITLE

COAL HARBOUR

480 BROUGHTON ST. VANCOUVER, BC

CONSULTANT

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1777 West 17<sup>th</sup> Avenue  
Vancouver BC V6L 1K7  
604.776.5987  
pfs@pfs.bc.ca  
www.pfs.bc.ca

DRAWING TITLE

MATERIAL PLAN  
GROUND LEVEL

DATE

2020.07.31

DRAWN

RG / JW

SCALE

1 : 200

CHECKED

KM

JOB NO.

19028

L3.01

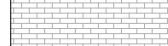


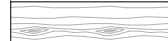





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- 2) All lines and dimensions are parallel or perpendicular to the lines from which they are measured/ referenced unless noted otherwise.
- 3) The Contractor shall verify dimensions shown on drawings and notify the Landscape Architect of any discrepancies or inconsistencies prior to construction.
- 4) Contractor to provide a staked-out location on site for review and approval by Landscape Architect prior to any excavation or installation.
- 5) The Contractor shall be responsible for verifying the property line.

### LEGEND

- |   |  |
|---|--|
|  | PRECAST CONCRETE PAVING                          |
|  | SCORED CONCRETE BANDING WITH SEA SHELL AGGREGATE |
|  | CAST-IN-PLACE (CIP) CONCRETE PAVING              |
|  | CEDAR SLAB BENCH                                 |
|  | RETAINING WALL/ CONCRETE STEPS                   |
|  | SOD  |
|  | PLANTING BED                                     |

— PRECAST CONCRETE UNIT  
PAVERS; LIGHT GREY

— SCORED CONCRETE PAVING WITH SEA SHELL AGGREGATE TYP.

— CORTEN STEEL RAILS; TYP.

STARFISH SEATING  
PLATFORM

RAISED CONCRETE PLANTER  
WITH STARFISH SEATING EDGE

SLAB BENCH

RAISED PLANTER; TYP.

CONCRETE BENCH; TYP.

CIP CONCRETE PAVING; TYP.

RETAINING WALL WITH  
PERFORATED SCREEN

### AMPHITHEATER SEATING

EXHAUST;  
PER MECHANICAL REQUIREMENTS

EXISTING PLAYGROUND

NEW RAIL : SEE ARCH

CONCRETE BENCH; TYP.

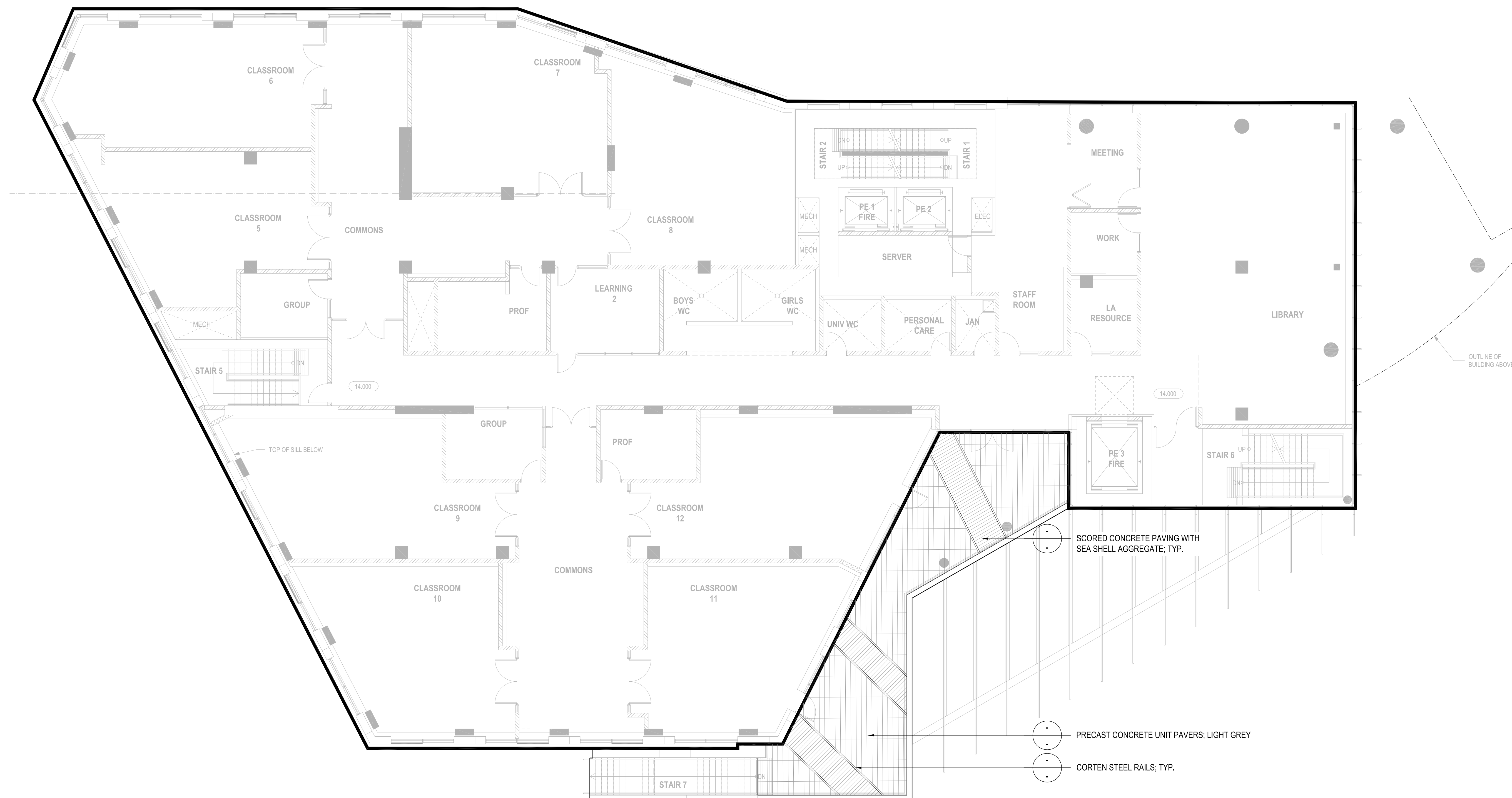
EXISTING  
COAL HARBOUR  
PARK

1 MATERIAL PLAN - PARK LEVEL  
L3.02 SCALE: 1:200

## L3.02



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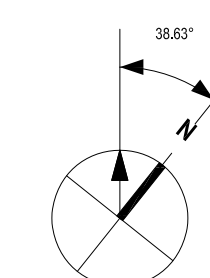
1 MATERIAL PLAN - LEVEL 3  
L3.03 SCALE: 1:100

GENERAL NOTES:

- 1) Do not scale drawings. Use dimensional information as noted in drawings. Contact the Landscape Architect immediately if there is any ambiguity, lack of information or inconsistency. Disregard for this note and extra costs incurred will not be accepted.
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- 3) The Contractor shall verify dimensions shown on drawings and notify the Landscape Architect of any discrepancies or inconsistencies prior to construction.
- 4) Contractor to provide a staked-out location on site for review and approval by Landscape Architect prior to any excavation or installation.
- 5) The Contractor shall be responsible for verifying the property line.

## LEGEND

	PRECAST CONCRETE PAVING
	SCORED CONCRETE BANDING WITH SEA SHELL AGGREGATE
	CAST-IN-PLACE (CIP) CONCRETE PAVING



**HENRIQUEZ**  
**Partners Architects**  
598 W Georgia Street  
Vancouver BC V6B 2A3 T 604.687.568

JOB TITLE

## COAL HARBOUR

480 BROUGHTON ST. VANCOUVER, BC

CONSULTANT



DRAWING TITLE

## MATERIAL PLAN LEVEL 3

DATE 2020.07.31	DRAWN RG / JW
SCALE 1 : 100	CHECKED KM
JOB NO. 19028	

### L3.03



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ISSUED FOR PRE-DP	SEPT 25, 2020
ISSUED FOR DD	SEPT 4, 2020
ISSUED FOR DD / DP	JULY 31, 2020

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598 W Georgia Street  
Vancouver BC V6B 2A3 T 604.687.5681

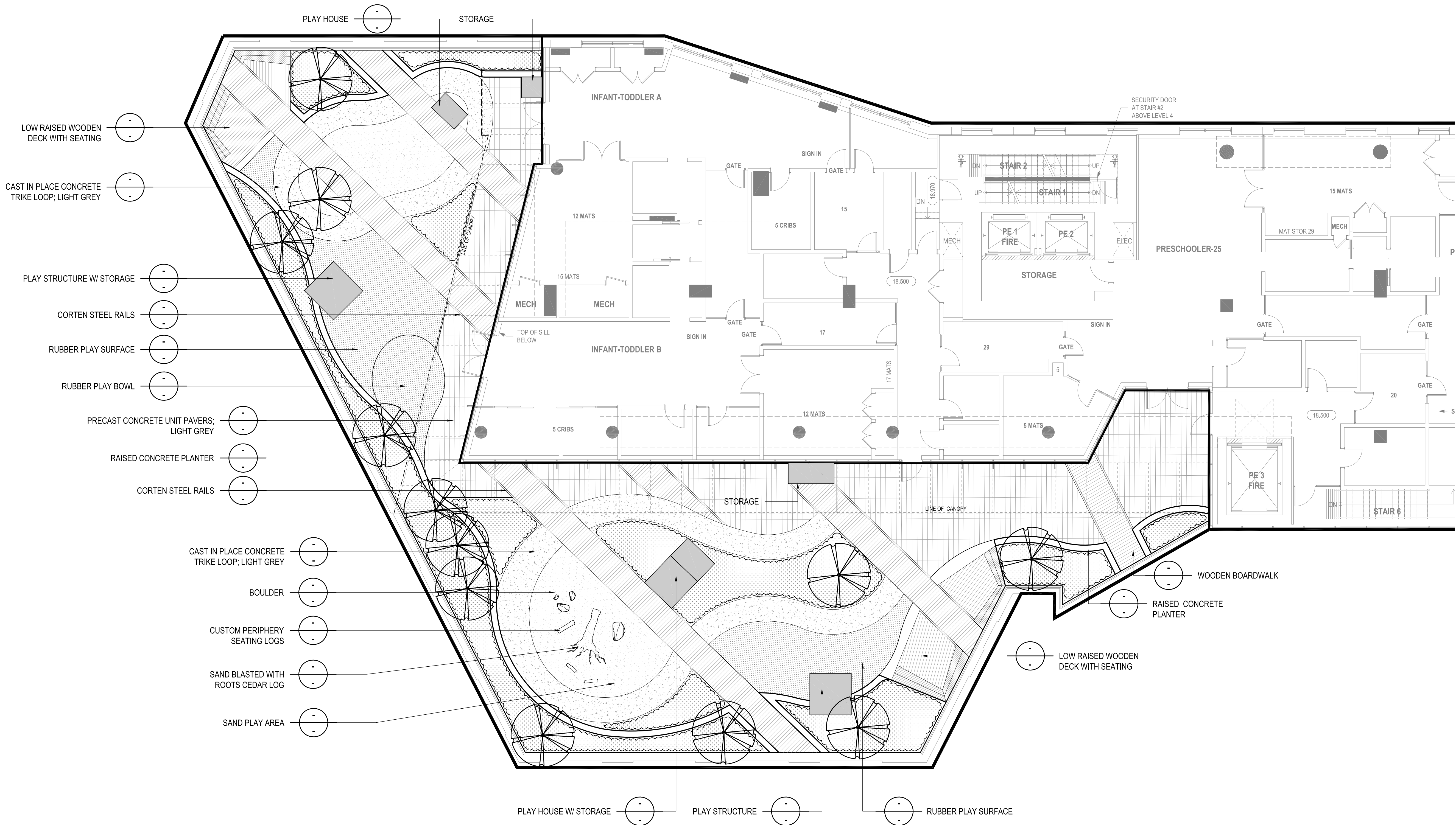
JOB TITLE  
**COAL HARBOUR**  
480 BROUGHTON ST., VANCOUVER, BC

CONSULTANT

**PFS STUDIO** 1777 West 34 Avenue  
Vancouver BC V6L 1P7  
604.796.5568  
pfs@pfs.ca www.pfs.ca

DRAWING TITLE  
**MATERIAL PLAN - LEVEL 4**

DATE	2020.07.31	DRAWN	RG / JW
SCALE	1 : 100	CHECKED	KM
JOB NO.	19028		



1 MATERIAL PLAN - LEVEL 4  
L3.04 SCALE: 1:100

GENERAL NOTES:

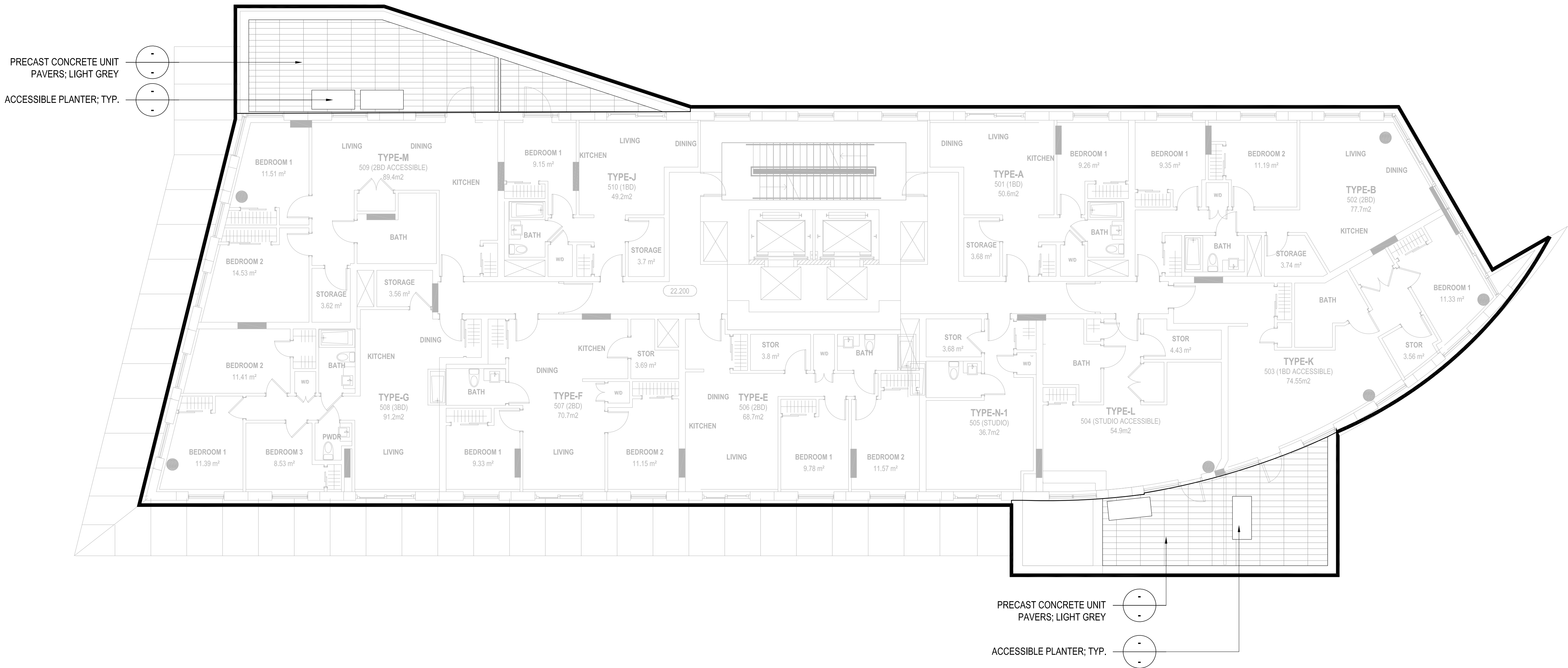
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- 5) The Contractor shall be responsible for verifying the property line.

LEGEND

	PRECAST CONCRETE PAVING		SOD
	SCORED CONCRETE BANDING WITH SEA SHELL AGGREGATE		PLANTING BED
	CAST-IN-PLACE (CIP) CONCRETE PAVING		RUBBER PLAY SURFACING
	RETAINING WALL/ CONCRETE STEPS		RUBBER BOWL PLAY SURFACING
	SAND PLAY AREA		



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1 MATERIAL PLAN - LEVEL 5

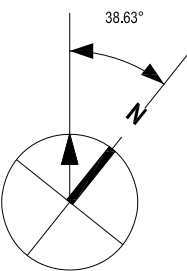
L3.05 SCALE: 1:100

GENERAL NOTES:

- 1) Do not scale drawings. Use dimensional information as noted in drawings. Contact the Landscape Architect immediately if there is any ambiguity, lack of information or inconsistency. Disregard for this note and extra costs incurred will not be accepted.
- 2) All lines and dimensions are parallel or perpendicular to the lines from which they are measured/ referenced unless noted otherwise.
- 3) The Contractor shall verify dimensions shown on drawings and notify the Landscape Architect of any discrepancies or inconsistencies prior to construction.
- 4) Contractor to provide a staked-out location on site for review and approval by Landscape Architect prior to any excavation or installation.
- 5) The Contractor shall be responsible for verifying the property line.

LEGEND

- PRECAST CONCRETE PAVING
- SCORED CONCRETE BANDING WITH SEA SHELL AGGREGATE
- CAST-IN-PLACE (CIP) CONCRETE PAVING



**HENRIQUEZ** Henriquez Partners Architects  
598 W Georgia Street  
Vancouver BC V6B 2A3 T 604.687.5681

JOB TITLE  
**COAL HARBOUR**  
480 BROUGHTON ST, VANCOUVER, BC

CONSULTANT

**PFS STUDIO** 1777 West 3rd Avenue  
Vancouver BC V6J 1P7  
604.756.5568  
pfs@pfs.studio www.pfs.studio

DRAWING TITLE  
**MATERIAL PLAN - LEVEL 5**

DATE	2020.07.31	DRAWN	RG / JW
SCALE	1 : 100	CHECKED	KM
JOB NO.	19028		

L3.05