

JACKSON AVE

REAR LANE

POWELL STREET

Stantec
 Stantec Architecture Ltd.
 1100 Burrard Street
 Vancouver, BC V6J 6A3
 Tel: (604) 696-8000 • www.stantec.com

The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawing. The Contractor shall design and arrange any work on the property of others. Responsibility for any disputes shall rest with the contractor. Stantec is not liable.

Consultant

Issued/Revision	By	CD	AO	CD	2023/12/01	2023/12/01
1	AO	CD	2023/11/28	CD	2023/11/28	YYTMMDD
2	AO	CD	2023/11/28	CD	2023/11/28	YYTMMDD

Permit/Seal

PRELIMINARY NOT FOR CONSTRUCTION
 Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
 CITY OF VANCOUVER
 525 Powell
 525 Powell Street,
 Vancouver, BC

Project No.: 144323071
 File Name: N/A
 Scale: 1 : 200

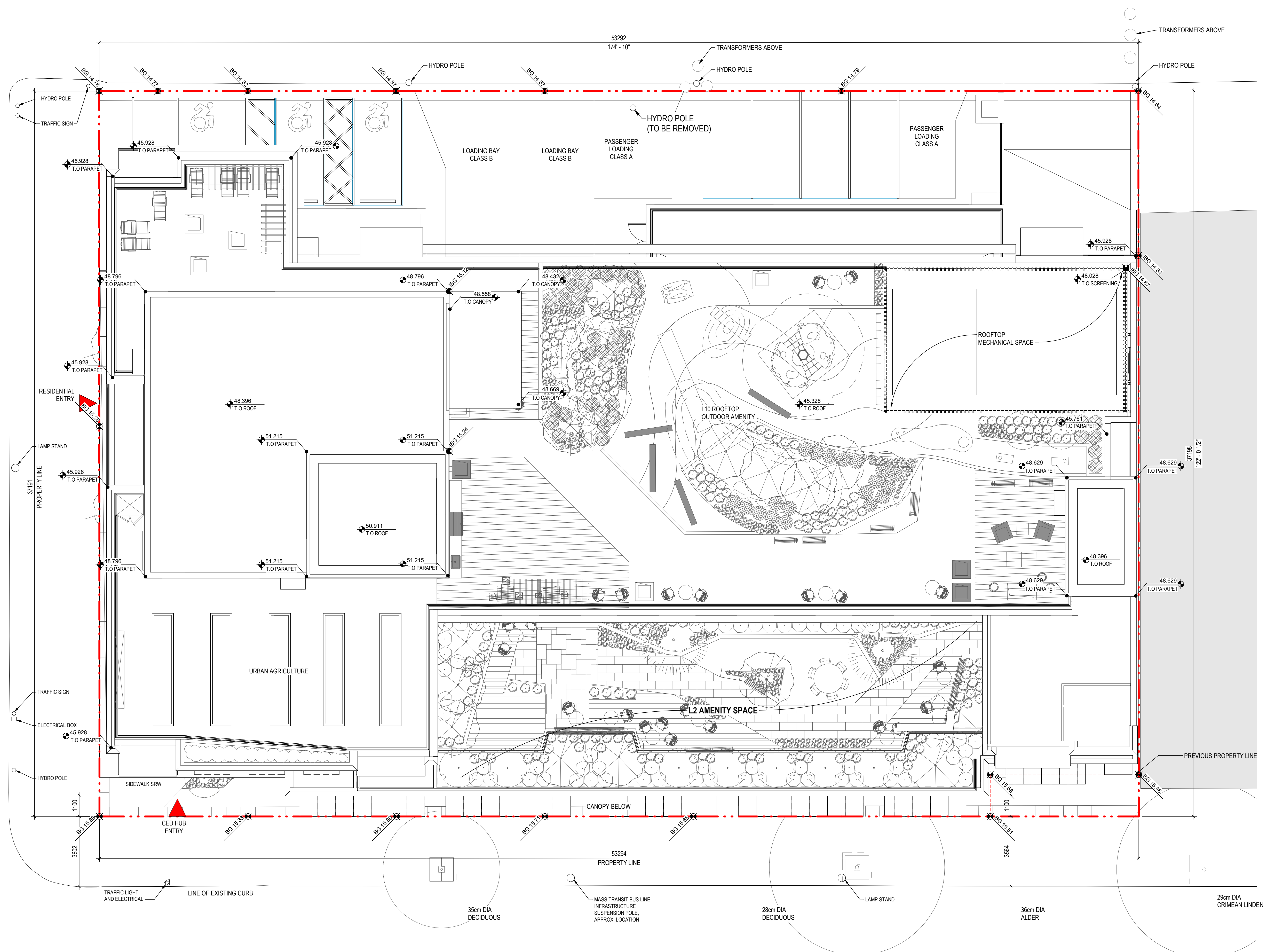
Dwn.	Dign.	Chkd.	YYYYMMDD
AO	CD	CD	06/22/23

Title
 SITE PLAN

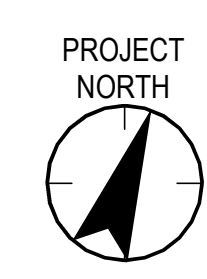
Revision: 2
 Drawing No.
A100

JACKSON AVE

POWELL ST



1 BUILDING PLAN
A101 1:100



Consultant

Issued/Revision	By	AO	CD	2023/12/20	YYTMMDD
1	ISSUED FOR PERMIT				

Permit/Seal

PRELIMINARY NOT FOR CONSTRUCTION
Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
CITY OF VANCOUVER

525 Powell
525 Powell Street,
Vancouver, BC

Project No.: 144323071
File Name: N/A
Scale: 1 : 100

Dwn.	Dign.	Chkd.	11/16/23
AO	CD	CD	YYTMMDD

Title
BUILDING PLAN

Revision: 1
Drawing No.
A101

Click location in Project Information
11/20/2023 2:38:27 PM

PARKADE NOTES:

1. PARKING EXIT DOORS AND VESTIBULE DOORS TO HAVE GLAZED VISION PANELS PER COV OPTED REQUIREMENTS
2. THE DESIGN OF THE PARKING STRUCTURE REGARDING SAFETY AND SECURITY SHALL BE IN ACCORDANCE WITH SECTION 4.13 OF THE PARKING BY-LAW
3. THE DESIGN OF BICYCLE SPACES (INCLUDING BICYCLE ROOMS, COMPOUNDS, LOCKERS AND/OR RACKS) REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF SECTION 6 OF THE CITY OF VANCOUVER PARKING BY-LAW, BICYCLE PARKING DESIGN SUPPLEMENT, AND PARKING AND LOADING DESIGN SUPPLEMENT
4. MAINTAIN 2.3M MIN. HEADROOM CLEARANCE AT PARKADE ENTRY THROUGHOUT VEHICULAR ACCESS TO ACCESSIBLE STALLS AND GARBAGE AND RECYCLING AREAS
5. MECHANICAL EQUIPMENT (VENTILATORS, GENERATORS, COMPACTORS AND EXHAUST SYSTEMS) WILL BE DESIGNED AND LOCATED TO MINIMIZE NOISE IMPACTS ON THE NEIGHBOURHOOD AND COMPLY WITH THE NOISE BY-LAW NO. 6555.
6. THE ACOUSTICAL MEASURES WILL BE INCORPORATED INTO THE FINAL DESIGN AND CONSTRUCTION, BASED ON THE ACOUSTIC CONSULTANT'S RECOMMENDATIONS.
7. VEHICLE PARKING LAYOUT APPROVED, SUBJECT TO COMPLIANCE WITH APPROVED TRANSPORTATION DEMAND MANAGEMENT (TDM) PLAN

LEGEND:

- BG BUILDING GRADES
- IBG INTERPOLATED BUILDING GRADES
- DE DESIGN ELEVATIONS
- SE SPOT ELEVATIONS

BIKE COUNT:

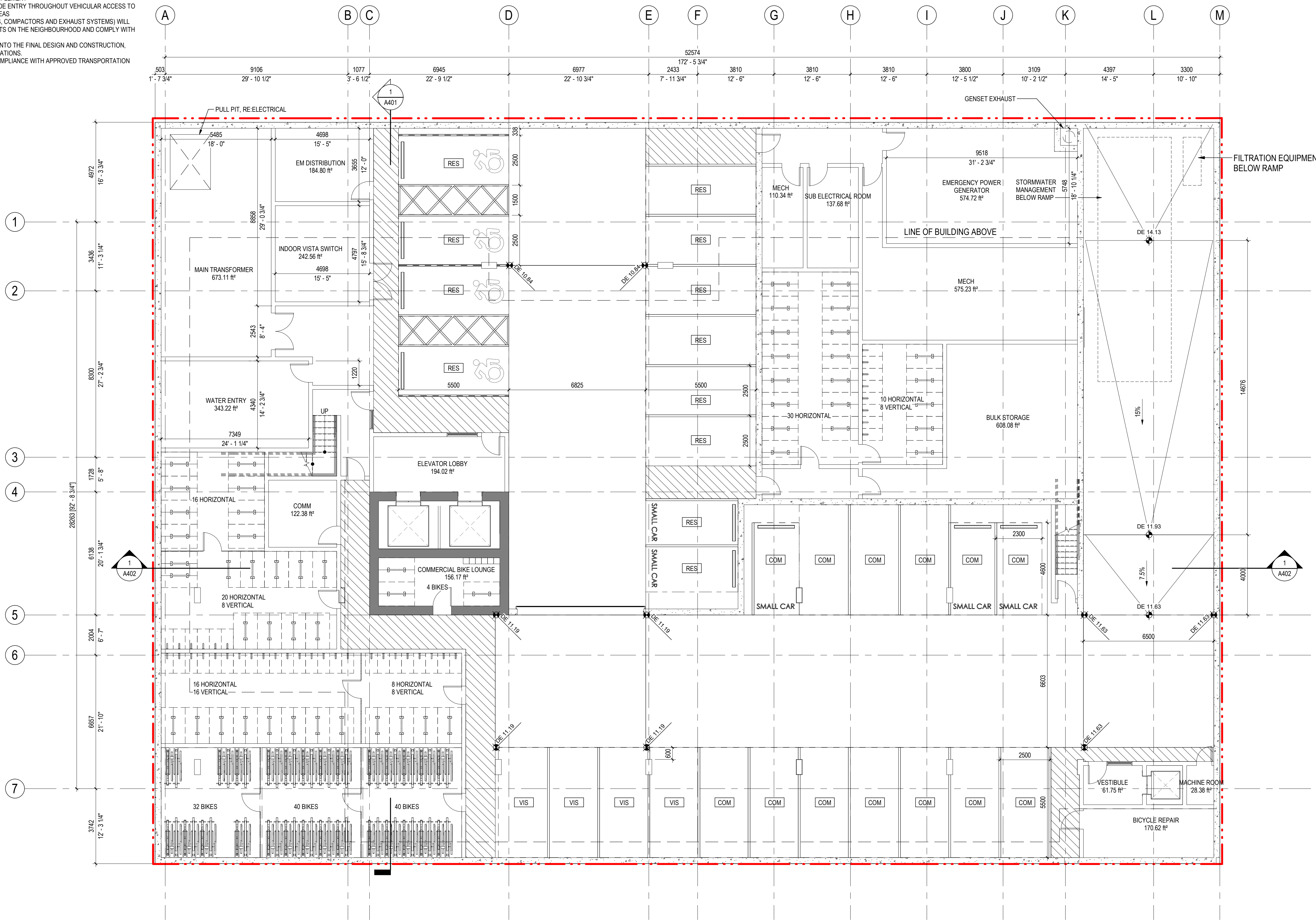
RESIDENTIAL

- HORIZONTAL STALLS 100
- STACKED STALLS 112
- VERTICAL STALLS 40

- IN SUITE - HORIZONTAL 91
- IN SUITE - OVERSIZED 13

COMMERCIAL

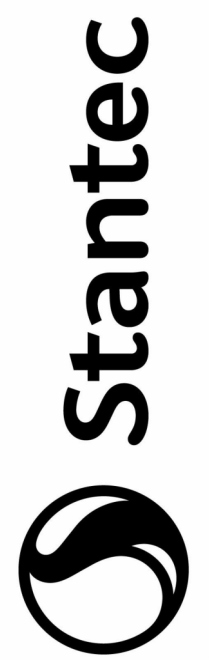
- HORIZONTAL 6
- TOTAL 362**



1 FLOOR PLAN - P1

1:100

NOTE: AREAS SHOWN IN FLOOR PLANS ARE NET AREAS CALCULATED FROM THE INSIDE WALLS.



Stantec Architecture Ltd.
 1000 Burrard Street
 Vancouver, BC V6J 4A3
 Tel: (604) 696-8000 • www.stantec.com

Consultant

Rev	Issued For	By	Date
1	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
2	ISSUED FOR DP	AO	2023/11/20
3	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
4	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
5	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
6	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
7	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
8	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
9	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
10	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
11	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
12	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
13	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
14	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
15	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
16	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
17	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
18	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
19	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
20	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
21	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
22	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
23	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
24	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
25	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
26	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
27	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
28	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
29	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
30	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
31	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
32	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
33	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
34	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
35	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
36	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
37	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
38	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
39	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
40	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
41	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
42	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
43	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
44	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
45	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
46	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
47	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
48	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
49	ISSUED FOR PRELIMINARY DP	AO	2023/11/20
50	ISSUED FOR PRELIMINARY DP	AO	2023/11/20

Permit/Seal

PRELIMINARY NOT FOR CONSTRUCTION
 Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
 CITY OF VANCOUVER
 525 Powell
 Vancouver, BC

Project No.: 144323071
 File Name: N/A
 Scale: As indicated

Rev. Dwn. Dgn. Chk. Date
 04/22/23
 YYYY.MM.DD

Title
 FLOOR PLAN P1

Revision: 2
 Drawing No.

A201

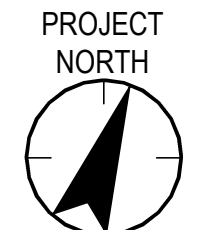
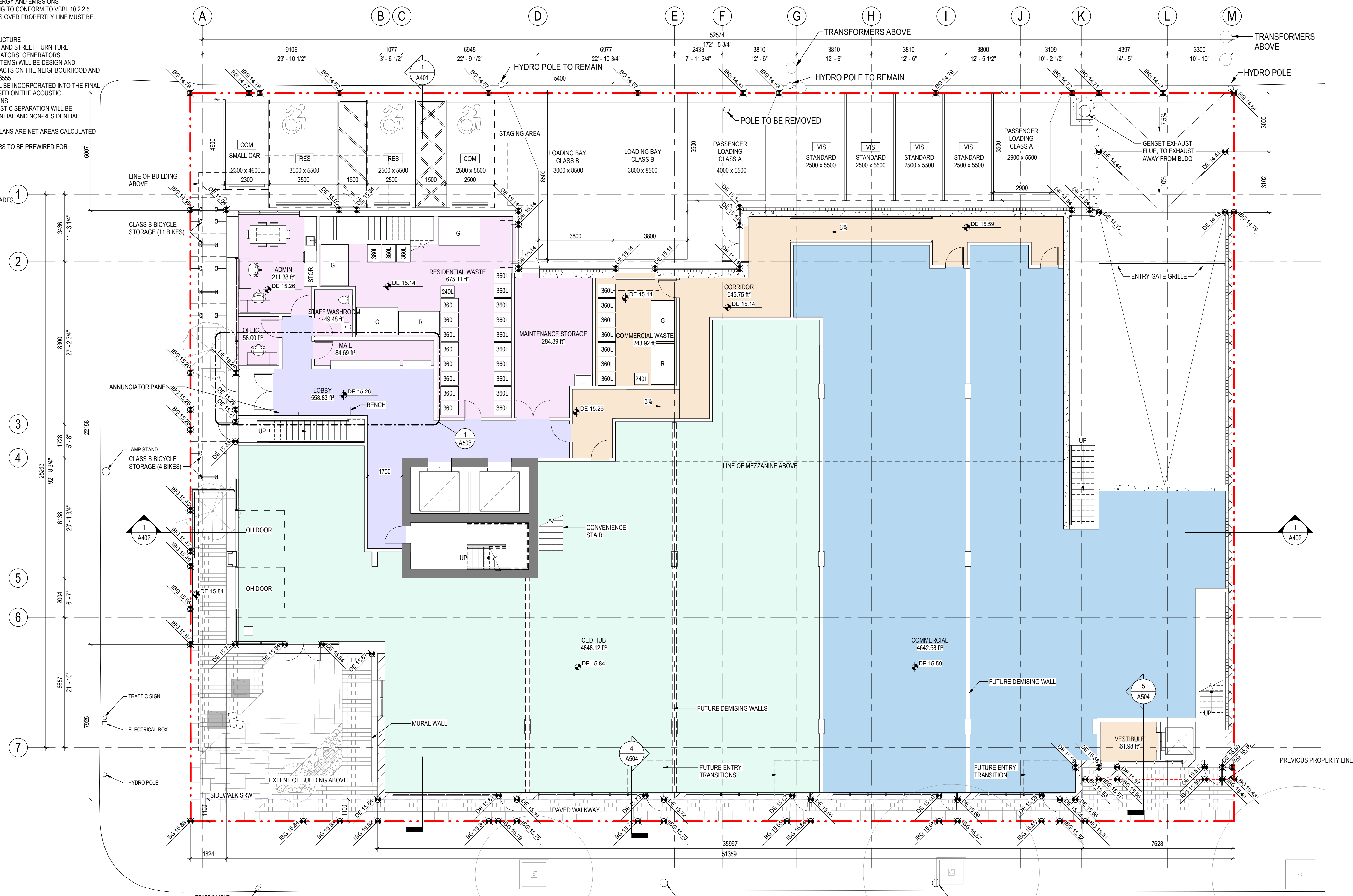


GENERAL NOTES

1. ALL BUILDING DIMENSIONS, SETBACKS AND YARDS ARE TO THE OUTSIDE OF CLADDING
2. ISSUED FOR DEVELOPMENT PERMIT DRAWINGS ARE NOT FOR CONSTRUCTION
3. ENERGY EFFICIENCY DESIGN: ENERGY AND EMISSIONS PERFORMANCE FOR THIS BUILDING TO CONFORM TO VBBL 10.2.2.5
4. WEATHER PROTECTION CANOPIES OVER PROPERTY LINE MUST BE:
 - DEMOUNTABLE
 - DRAINED INTERNALLY
 - MIN 9' CLEAR TO US OF STRUCTURE
 - SETBACK 2' FROM ALL TREES AND STREET FURNITURE
5. MECHANICAL EQUIPMENT (VENTILATORS, GENERATORS, COMPACTORS AND EXHAUST SYSTEMS) WILL BE DESIGN AND LOCATED TO MINIMIZE NOISE IMPACTS ON THE NEIGHBOURHOOD AND COMPLY WITH NOISE BY-LAW NO 6555
6. THE ACUSTICAL MEASURES WILL BE INCORPORATED INTO THE FINAL DESIGN AND CONSTRUCTION, BASED ON THE ACUSTIC CONSULTANT'S RECOMMENDATIONS
7. ADEQUATE AND EFFECTIVE ACUSTIC SEPARATION WILL BE PROVIDED BETWEEN THE RESIDENTIAL AND NON-RESIDENTIAL PORTIONS OF THE BUILDING
8. SUITE AREAS SHOWN IN FLOOR PLANS ARE NET AREAS CALCULATED FROM THE INSIDE WALLS
9. ADAPTABLE SUITE ENTRY DOORS TO BE PREWIRED FOR ACCESSIBLE OPENERS

LEGEND:

- BG BUILDING GRADES
- IBG INTERPOLATED BUILDING GRADES
- DE DESIGN ELEVATIONS
- SE SPOT ELEVATIONS



1 FLOOR PLAN - LEVEL 1
1:100



Consultant

NO.	ISSUED FOR	DATE	BY	APP'D
1	ISSUED FOR PRELIMINARY DP	2023/11/02	AO	CD
2	ISSUED FOR DP	2023/11/20	AO	CD
3	ISSUED FOR PRELIMINARY DP	2023/11/02	AO	CD
4	ISSUED FOR PRELIMINARY DP	2023/11/02	AO	CD

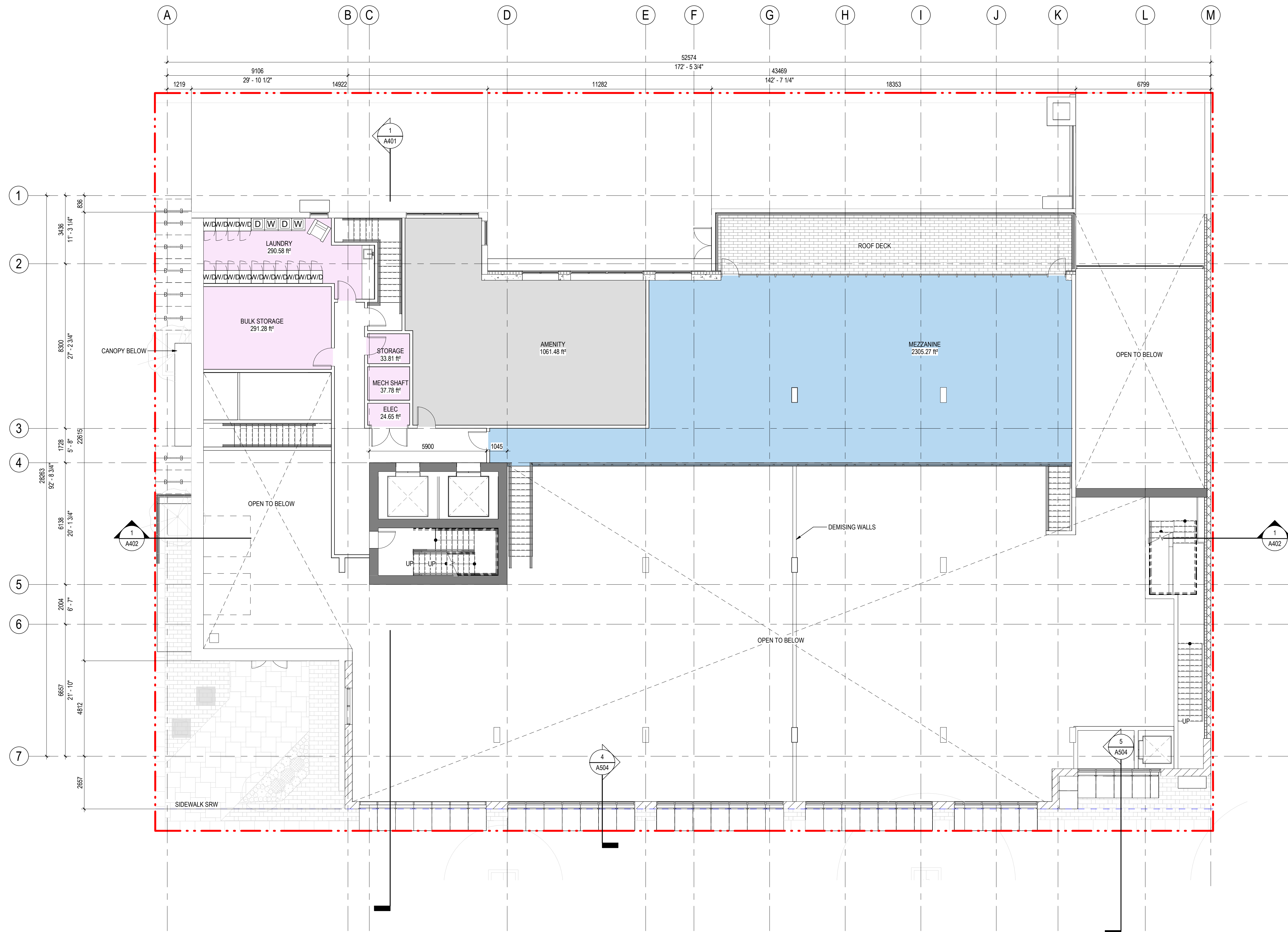
Permit/Seal

PRELIMINARY NOT FOR CONSTRUCTION
Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
CITY OF VANCOUVER
525 Powell
525 Powell Street,
Vancouver, BC

Project No.: 144323071
File Name: N/A
Scale: As indicated
Dwn. Dgn. Chk. 04/22/23
YYYYMMDD

Title
FLOOR PLAN L1
Revision: 2
Drawing No.
A202



1 FLOOR PLAN - MEZZANINE
A203 1:100

NOTE: AREAS SHOWN IN FLOOR PLANS ARE NET AREAS CALCULATED FROM THE INSIDE WALLS.

Consultant

Issued/Revision	By	CD	AO	CD	AO	CD	AO	CD	AO	CD
1	Issued for Preliminary DP									
2	Issued for DP									
3	Issued for Preliminary DP									
4	Issued for Preliminary DP									
5	Issued for Preliminary DP									
6	Issued for Preliminary DP									
7	Issued for Preliminary DP									

Permit/Seal

PRELIMINARY NOT FOR CONSTRUCTION
Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
CITY OF VANCOUVER
525 Powell
525 Powell Street,
Vancouver, BC

Project No.: 144323071
File Name: N/A
Scale: 1:100
Title
FLOOR PLAN MEZZANINE

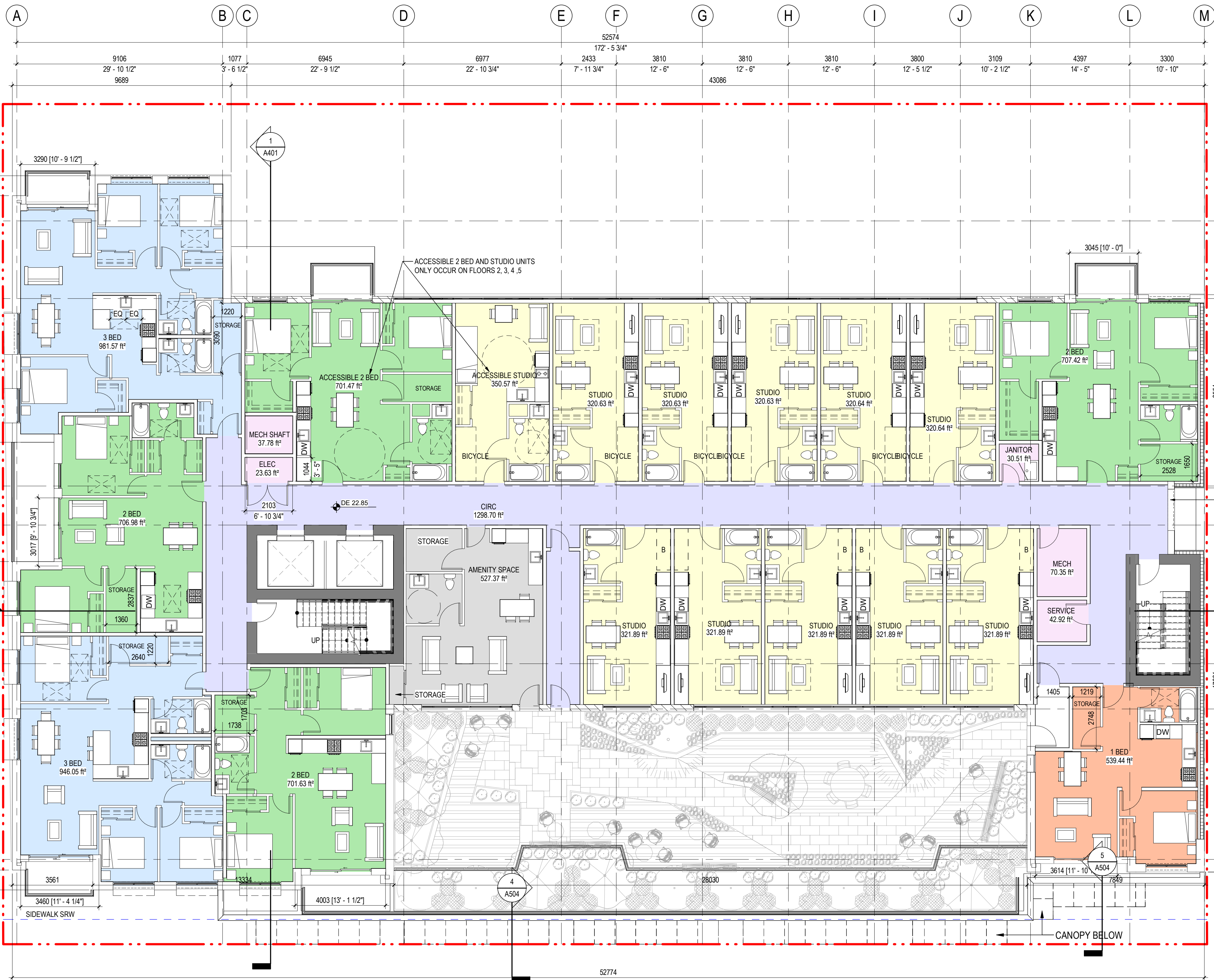
Revision: 2
Drawing No.
A203

D

C

B

A

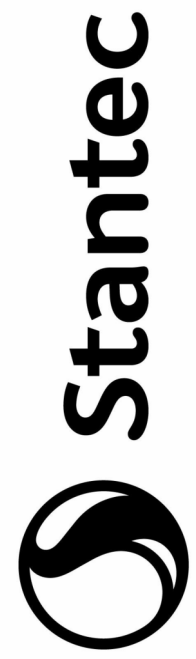


1 FLOOR PLAN - LEVEL 2
A301/A204 1:100

L2 - USEABLE AREA				
Level	Name	Area	Count	
LEVEL 2	1 BED	539.44 ft²	1	
LEVEL 2	2 BED	2116.03 ft²	3	
LEVEL 2	3 BED	1927.62 ft²	2	
LEVEL 2	ACCESSIBLE 2 BED	701.47 ft²	1	
LEVEL 2	ACCESSIBLE STUDIO	350.57 ft²	1	
LEVEL 2	AMENITY SPACE	527.37 ft²	1	
LEVEL 2	CIRC	1298.70 ft²	1	
LEVEL 2	ELEC	23.63 ft²	1	
LEVEL 2	JANITOR	30.51 ft²	1	
LEVEL 2	MECH	70.35 ft²	1	
LEVEL 2	MECH SHAFT	37.78 ft²	1	
LEVEL 2	SERVICE	42.92 ft²	1	
LEVEL 2	STUDIO	3212.62 ft²	10	
25		10879.00 ft²	25	

- STUDIO UNIT
- 1 BED UNIT
- 2 BED UNIT
- 3 BED UNIT
- AMENITY SPACE
- CIRCULATION
- SERVICE SPACE

NOTE: AREAS SHOWN IN FLOOR PLANS ARE NET AREAS CALCULATED FROM THE INSIDE WALLS.



Stantec Architecture Ltd.
 1100 Burrard Street
 Vancouver, BC V6J 1A3
 Tel: (604) 696-8000 • www.stantec.com

Consultant

Issued/Revision	By	CD	CD	CD	CD	CD	CD
1	MM	2023/11/02					
2	MM	2023/11/02					
3	MM	2023/11/02					
4	MM	2023/11/02					
5	MM	2023/11/02					
6	MM	2023/11/02					
7	MM	2023/11/02					

Permit/Seal

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
CITY OF VANCOUVER

525 Powell

525 Powell Street,
Vancouver, BC

Project No.: 144323071

File Name: N/A

Scale: As indicated

AO	CD	CD	CD	CD
Dwn.	Dign.	Chk'd	06/22/23	YYYYMMDD

Title
FLOOR PLAN L2

Revision: 2
Drawing No.

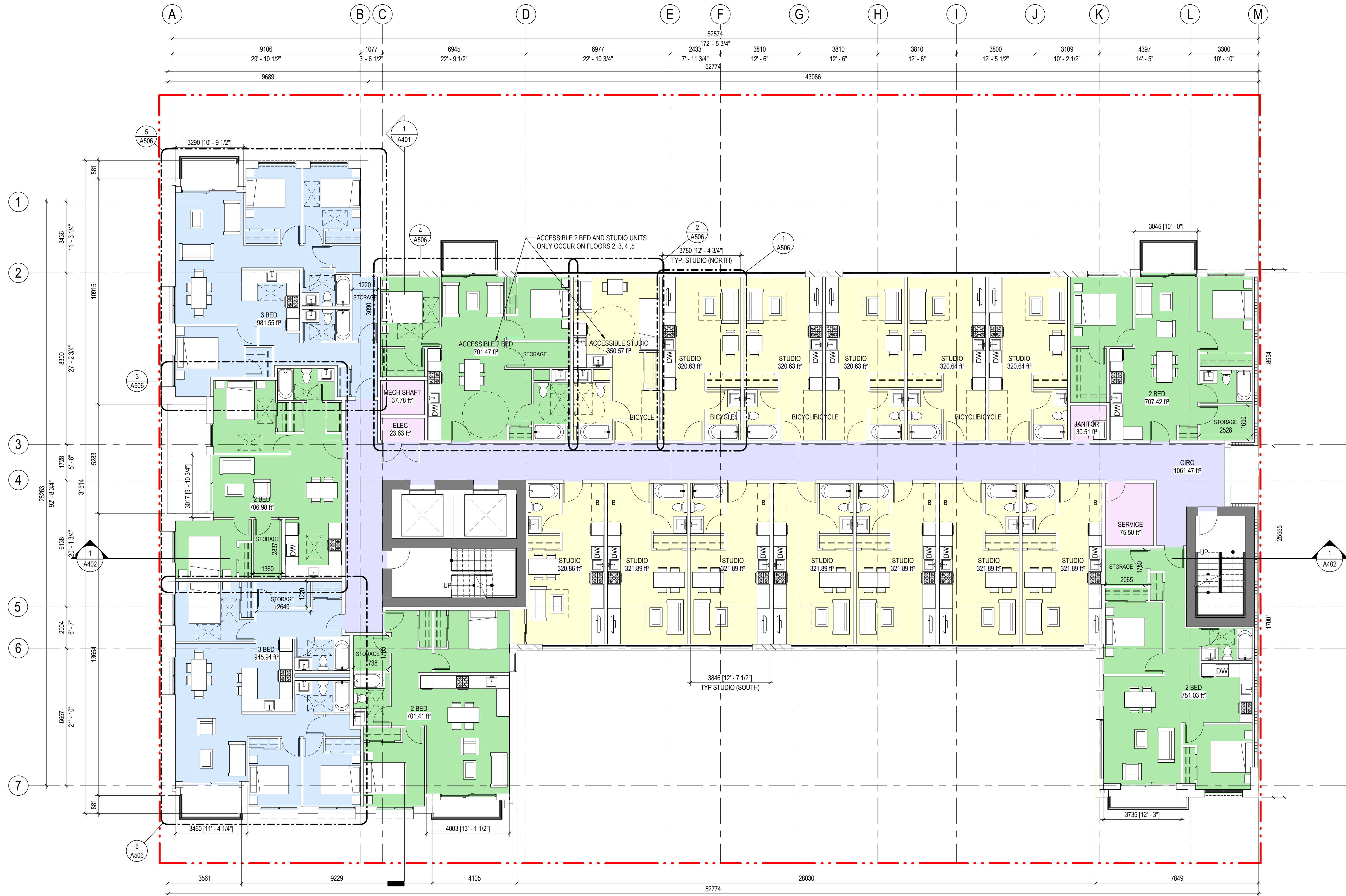
A204

D

C

B

A



1 FLOOR PLAN - LEVEL 3-7
1 : 100

L3 - 7 USEABLE AREA			
Level	Name	Area	Count
LEVEL 3	2 BED	2866.84 ft ²	4
LEVEL 3	3 BED	1927.49 ft ²	2
LEVEL 3	ACCESSIBLE 2 BED	701.47 ft ²	1
LEVEL 3	ACCESSIBLE STUDIO	350.57 ft ²	1
LEVEL 3	CIRC	1061.47 ft ²	1
LEVEL 3	JANITOR	30.51 ft ²	1
LEVEL 3	MECH SHAFT	37.78 ft ²	1
LEVEL 3	SERVICE	75.50 ft ²	1
LEVEL 3	STUDIO	3855.37 ft ²	12
24		10906.99 ft ²	24

- STUDIO UNIT
- 1 BED UNIT
- 2 BED UNIT
- 3 BED UNIT
- AMENITY SPACE
- CIRCULATION
- SERVICE SPACE

NOTE: AREAS SHOWN IN FLOOR PLANS ARE NET AREAS CALCULATED FROM THE INSIDE WALLS.

Consultant

Issued/Revision	By	CD	CD	CD	CD	CD
1	MM	2023/11/02				
2	MM	2023/11/02				
3	MM	2023/11/02				

Permit/Seal

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
CITY OF VANCOUVER

525 Powell

525 Powell Street,
Vancouver, BC

Project No.: 144323071

File Name: N/A

Scale: As indicated

AO	CD	CD	CD	CD
Dwn.	Dign.	Chkd.	06/26/23	MM

Title
FLOOR PLAN L3-7

Revision: 2
Drawing No.

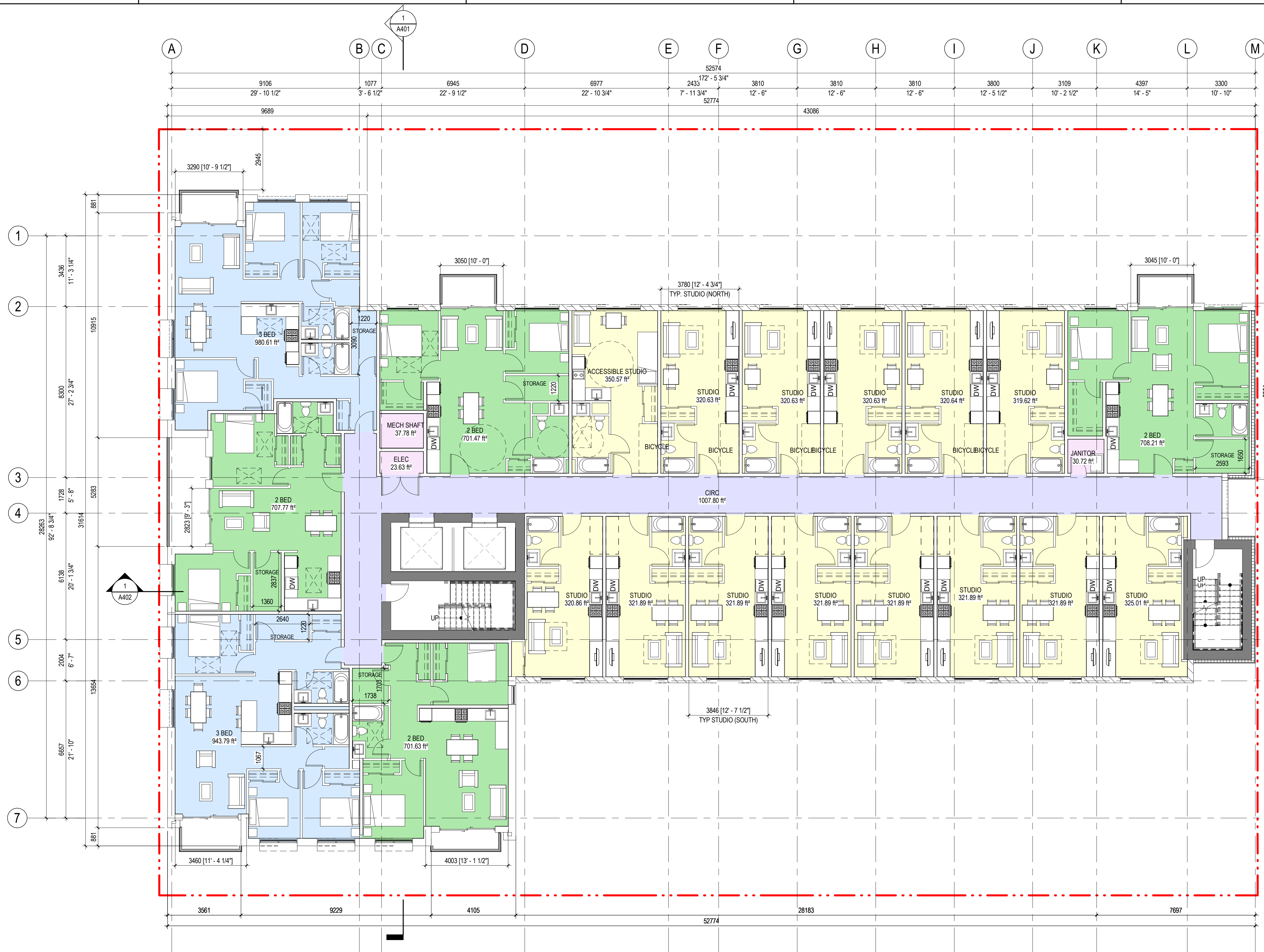
A205

D

C

B

A

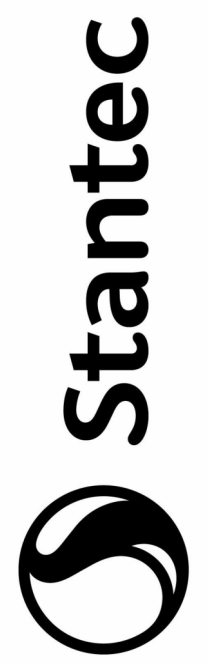


1 LEVEL 9
A207 1:100

L8 - 9 USEABLE AREA			
Level	Name	Area	Count
LEVEL 8	2 BED	2817.28 ft ²	4
LEVEL 8	3 BED	1926.24 ft ²	2
LEVEL 8	ACCESSIBLE STUDIO	350.57 ft ²	1
LEVEL 8	CIRC	1007.80 ft ²	1
LEVEL 8	JANITOR	30.51 ft ²	1
LEVEL 8	MECH SHAFT	37.78 ft ²	1
LEVEL 8	STUDIO	4180.37 ft ²	13
23		10350.55 ft ²	23

- STUDIO UNIT
- 1 BED UNIT
- 2 BED UNIT
- 3 BED UNIT
- AMENITY SPACE
- CIRCULATION
- SERVICE SPACE

NOTE: AREAS SHOWN IN FLOOR PLANS ARE NET AREAS CALCULATED FROM THE INSIDE WALLS.



Stantec Architecture Ltd.
1000 Burrard Street
Vancouver, BC V6J 4A3
Tel: (604) 696-8000 • www.stantec.com

Consultant

Issued/Revision	By	Aspd	YYYYMMDD
2 ISSUED FOR DP	AO	CD	2023/11/20
1 ISSUED FOR PRELIMINARY DP	AO	CD	2023/11/20

Permit/Seal

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
CITY OF VANCOUVER

525 Powell

525 Powell Street,
Vancouver, BC

Project No.: 144323071

File Name: N/A

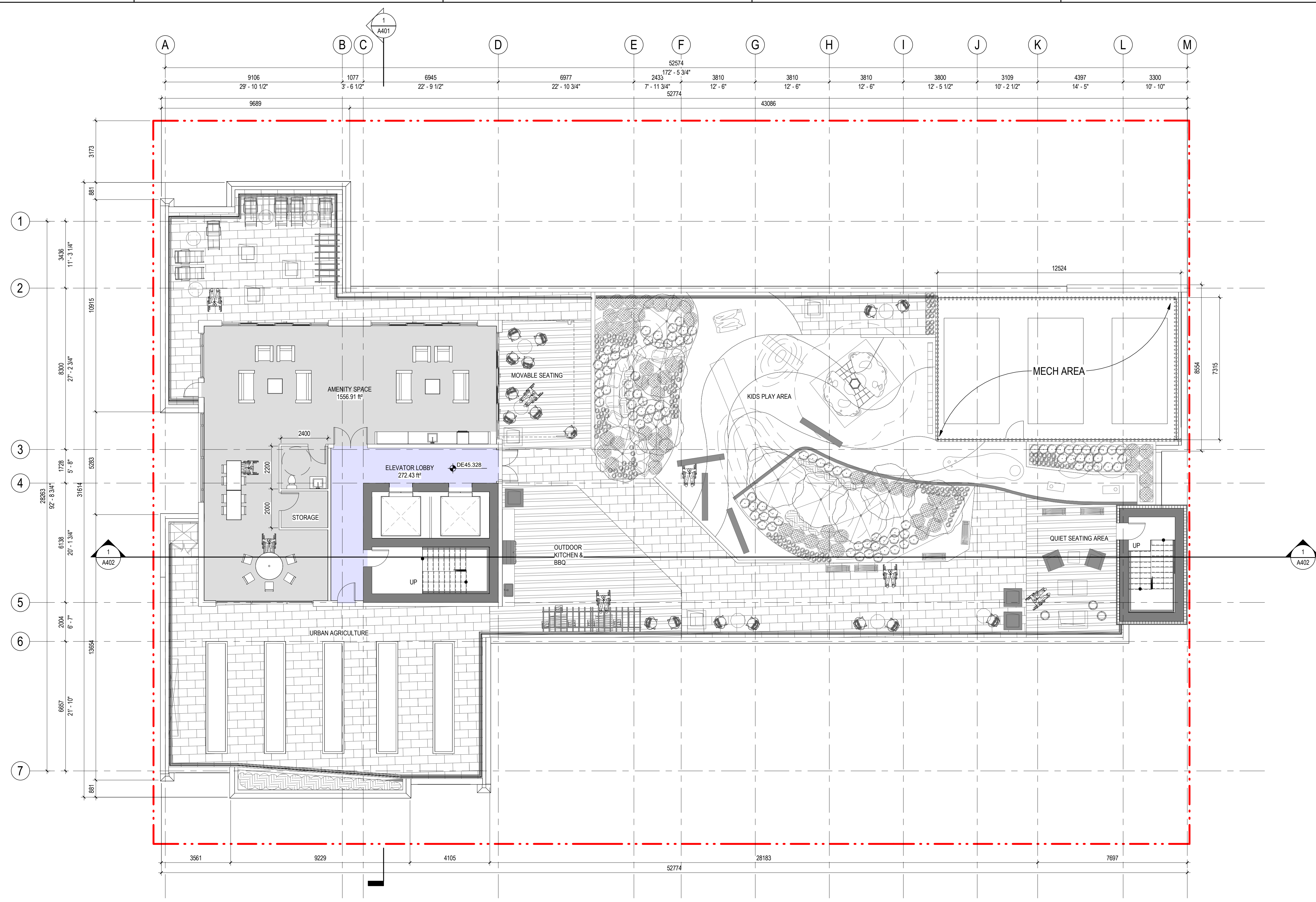
Scale: As indicated

AO	CD	CD	04/26/23
Dwn.	Dign.	Chkd.	YYYYMMDD

Title
FLOOR PLAN L9

Revision: 2
Drawing No.

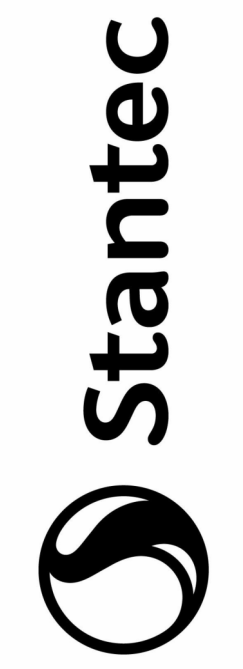
A207



1
A208
ROOF AMENITY
1:100

ROOFTOP USEABLE AREA				
Level	Name	Area	Count	
ROOF AMENITY	AMENITY SPACE	1556.91 ft ²	1	
ROOF AMENITY	ELEVATOR LOBBY	272.43 ft ²	1	
2		1829.34 ft ²	2	

- STUDIO UNIT
- 1 BED UNIT
- 2 BED UNIT
- 3 BED UNIT
- AMENITY SPACE
- CIRCULATION
- SERVICE SPACE



Stantec Architecture Ltd.
1000 West Broadway
Vancouver, BC V6J 1A3
Tel: (604) 696-8000 • www.stantec.com

Consultant

Issued/Revision	By	Aspd	CD	2023/11/20	YYTMMDD
2	AO	CD	2023/11/20	YYTMMDD	
1	AO	CD	2023/11/20	YYTMMDD	

Permit/Seal

**PRELIMINARY
NOT FOR
CONSTRUCTION**
Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
CITY OF VANCOUVER

525 Powell

525 Powell Street,
Vancouver, BC

Project No.: 144323071

File Name: N/A

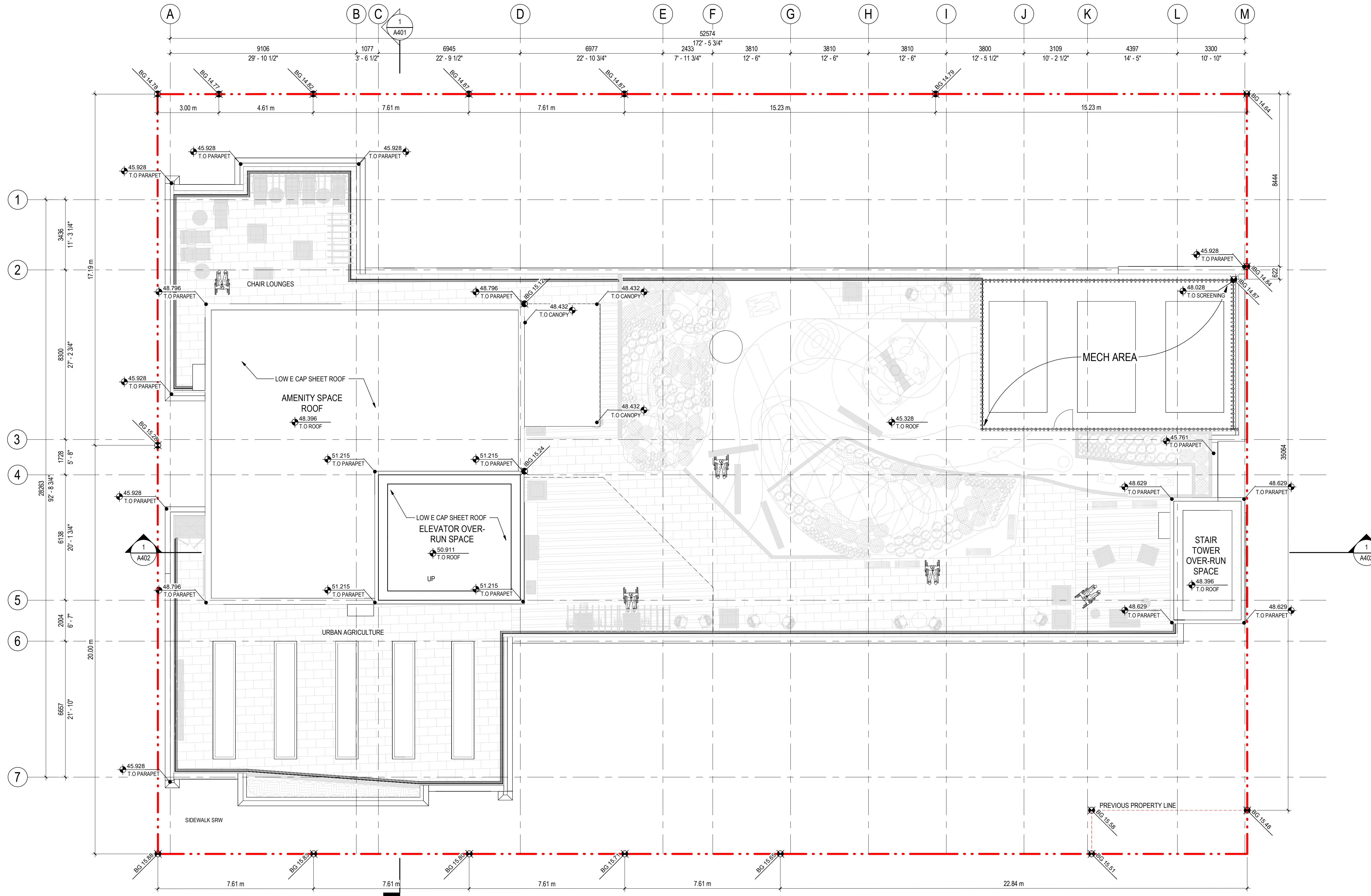
Scale: As indicated

AO	CD	CD	04/26/23
Dwn.	Dign.	Chkd.	YYYYMMDD

Title
FLOOR PLAN ROOFTOP

Revision: 2
Drawing No.

A208



UPPER ROOF - AMENITY
 TRAFFIC LIGHT AND ELECTRICAL
 A209 1:100

ROOFTOP USEABLE AREA			
Level	Name	Area	Count
ROOF AMENITY	AMENITY SPACE	1556.91 ft ²	1
ROOF AMENITY	ELEVATOR LOBBY	272.43 ft ²	1
2		1829.34 ft ²	2

- STUDIO UNIT
- 1 BED UNIT
- 2 BED UNIT
- 3 BED UNIT
- AMENITY SPACE
- CIRCULATION
- SERVICE SPACE

BUILDING HEIGHT CALCULATIONS

- A. TOP OF PARAPET ABOVE THE LAST RESIDENTIAL FLOOR**
 HIGHEST POINT OF ROOF PARAPET - INTERPOLATED BUILDING GRADE = BUILDING HEIGHT
 45.928m - 14.84m = 31.088m
- B. TOP OF PARAPET ABOVE THE INDOOR AMENITY ROOM**
 HIGHEST POINT OF ROOF PARAPET - INTERPOLATED BUILDING GRADE = BUILDING HEIGHT
 48.796m - 15.12m = 33.676m
- C. TOP OF PARAPET ABOVE MECHANICAL EQUIPMENT**
 HIGHEST POINT OF ROOF PARAPET - INTERPOLATED BUILDING GRADE = BUILDING HEIGHT
 51.215m - 15.24m = 35.975m
- D. TOP OF MECHANICAL SCREENING**
 HIGHEST POINT OF MECHANICAL SCREENING - INTERPOLATED BUILDING GRADE = BUILDING HEIGHT
 48.028m - 14.87m = 33.158m

Consultant

Issued/Revision	By	CD	2023/12/20
1	ASpd	CD	2023/12/20

Permit/Seal

PRELIMINARY NOT FOR CONSTRUCTION
 Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Material Legend	
Key Value	Keynote Text
1	RAINSCREEN THIN BRICK - GRAPHITE GREY
2	RAINSCREEN THIN BRICK - TOASTED GRAY
3	RAINSCREEN ALUMINUM COMPOSITE WALL PANEL - BLUE
4	RAINSCREEN ARCHITECTURAL METAL PANELS - OFF-WHITE
5	RAINSCREEN ARCHITECTURAL METAL PANELS - GREY
6	METAL PANEL - BLACK
7	GLASS GUARDRAILS WITH METAL FRAMES
8	GLASS GUARDRAILS WITH METAL FRAMES - GREEN
9	WINDOW METAL FRAMES - THERMALLY BROKEN -
10	SPANDREL PANEL - GREY, GREEN
11	DOOR ALUMINUM FRAMES/GLASS - GREY
12	SLIDING DOOR ALUMINUM FRAMES/GLASS - GREY
14	LARGE SCALE MURAL GRAPHIC FILM OVER METAL CLADDING AND SOFFIT - STENI PANEL OR SIMILAR
15	METAL SUNSHADES - GREY
16	METAL CORNICE - DARK GREY
17	METAL PERFORATED SCREEN - GREY
18	THIN METAL CANOPY STRUCTURE - GREEN
19	FEATURE COLUMN
20	OVERHEAD DOOR ALUMINUM FRAMES/GLASS - BROWN
21	POTENTIAL LOCATION FOR RETAIL SIGNAGE
22	WALL-MOUNTED EXTERIOR LIGHTING
23	LIGHT WELL - GLASS BLOCK
24	SMOOTH FACE CMU WALL - LIGHT GREY



Stantec
 Stantec Architecture Ltd.
 1100 Burrard Street
 Vancouver, BC V6J 1A3
 Tel: (604) 696-8000 • www.stantec.com

The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawing. The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawing. The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawing. The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawing.

Consultant

Issued/Revision	By	Appd	CD	AO	CD	AO	CD
1	Issued for Preliminary EP						
2	Issued for DP						

Permit/Seal

PRELIMINARY NOT FOR CONSTRUCTION
 Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
 CITY OF VANCOUVER

525 Powell
 525 Powell Street,
 Vancouver, BC

Project No.: 144323071
 File Name: N/A
 Scale: 1 : 100

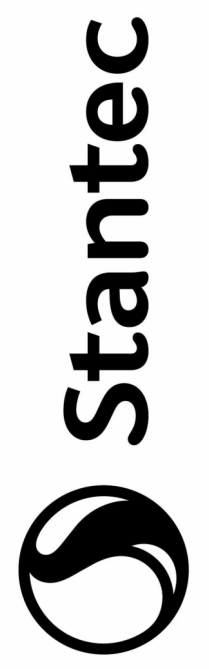
AO	CD	CD	04/21/23
Dwn.	Dgn.	Chkd.	YYYY.MM.DD

Title
 ELEVATIONS - NORTH

Revision: 2
 Drawing No.
A303

Click location in Project Information
 12/20/2023 12:53:31 PM
 ORIGINAL SHEET - ARCH D

Material Legend	
Key Value	Keynote Text
1	RAINSCREEN THIN BRICK - GRAPHITE GREY
2	RAINSCREEN THIN BRICK - TOASTED GRAY
3	RAINSCREEN ALUMINUM COMPOSITE WALL PANEL - BLUE
4	RAINSCREEN ARCHITECTURAL METAL PANELS - OFF-WHITE
5	RAINSCREEN ARCHITECTURAL METAL PANELS - GREY
6	METAL PANEL - BLACK
7	GLASS GUARDRAILS WITH METAL FRAMES
8	GLASS GUARDRAILS WITH METAL FRAMES - GREEN
9	WINDOW METAL FRAMES - THERMALLY BROKEN -
10	SPANDREL PANEL - GREY, GREEN
11	DOOR ALUMINUM FRAMES/GLASS- GREY
12	SLIDING DOOR ALUMINUM FRAMES/GLASS - GREY
14	LARGE SCALE MURAL GRAPHIC FILM OVER METAL CLADDING AND SOFFIT - STENI PANEL OR SIMILAR
15	METAL SUNSHADES - GREY
16	METAL CORNICE - DARK GREY
17	METAL PERFORATED SCREEN - GREY
18	THIN METAL CANOPY STRUCTURE - GREEN
19	FEATURE COLUMN
20	OVERHEAD DOOR ALUMINUM FRAMES/GLASS - BROWN
21	POTENTIAL LOCATION FOR RETAIL SIGNAGE
22	WALL-MOUNTED EXTERIOR LIGHTING
23	LIGHT WELL - GLASS BLOCK
24	SMOOTH FACE CMU WALL - LIGHT GREY



Stantec Architecture Ltd.
 1100 West Broadway
 Vancouver, BC V6H 4A3
 Tel: (604) 696-8000 • www.stantec.com

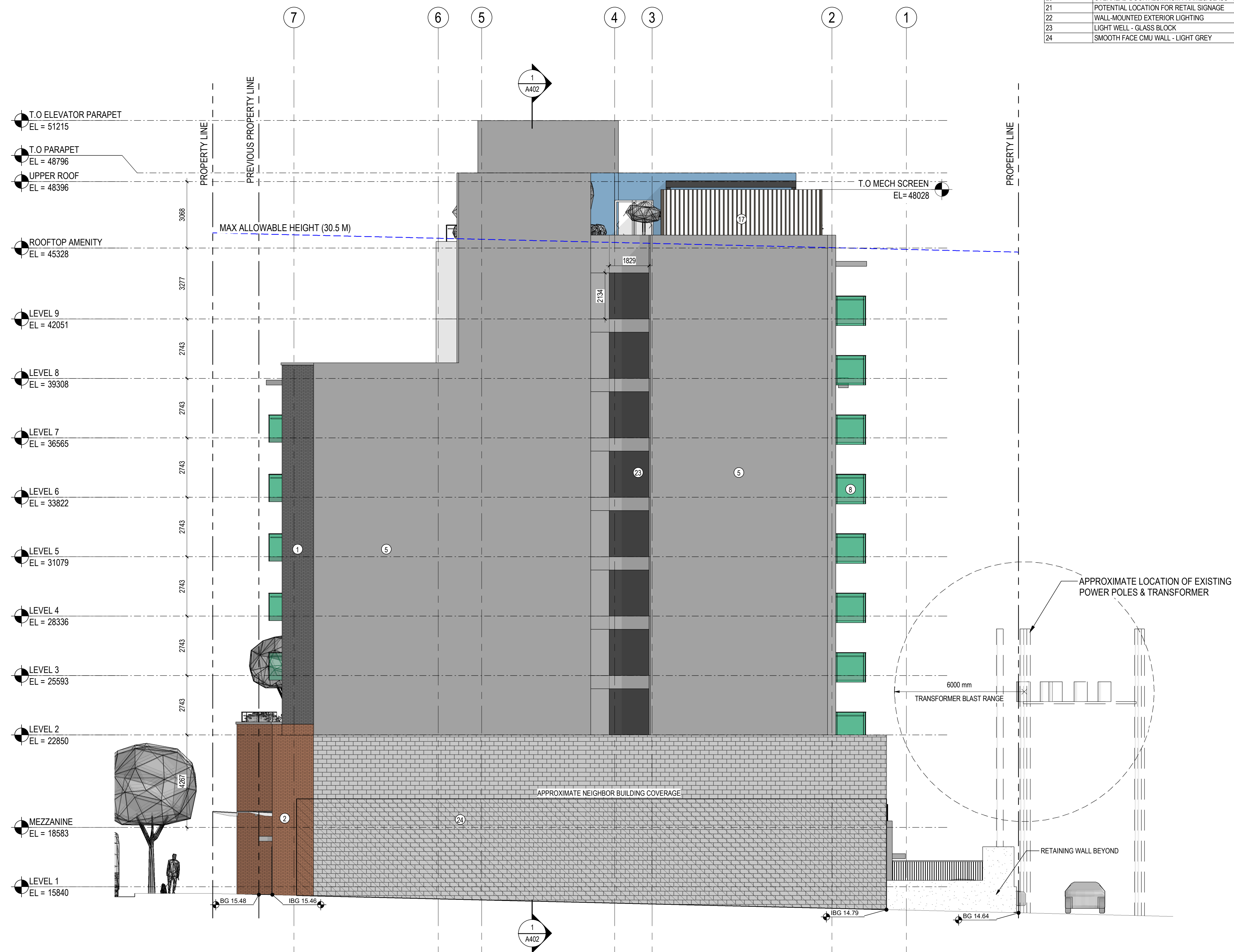
The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawing. The Contractor shall design and arrange for the property of the building. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

D

C

B

A



Consultant

Issued/Revision	By	Appd	Date
1	AO	CD	2023/11/02
2	AO	CD	2023/11/02
3	AO	CD	2023/11/02
4	AO	CD	2023/11/02
5	AO	CD	2023/11/02
6	AO	CD	2023/11/02
7	AO	CD	2023/11/02
8	AO	CD	2023/11/02
9	AO	CD	2023/11/02
10	AO	CD	2023/11/02
11	AO	CD	2023/11/02
12	AO	CD	2023/11/02
13	AO	CD	2023/11/02
14	AO	CD	2023/11/02
15	AO	CD	2023/11/02
16	AO	CD	2023/11/02
17	AO	CD	2023/11/02
18	AO	CD	2023/11/02
19	AO	CD	2023/11/02
20	AO	CD	2023/11/02
21	AO	CD	2023/11/02
22	AO	CD	2023/11/02
23	AO	CD	2023/11/02
24	AO	CD	2023/11/02

Permit/Seal

**PRELIMINARY
NOT FOR
CONSTRUCTION**
 Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
 CITY OF VANCOUVER
 525 Powell
 525 Powell Street,
 Vancouver, BC

Project No.: 144323071
 File Name: N/A
 Scale: 1 : 100
 Dwn. Dgn. Chkd. 06/21/23
 YYYY.MM.DD
 Title
 ELEVATIONS - EAST

Revision: 2
 Drawing No.
A304

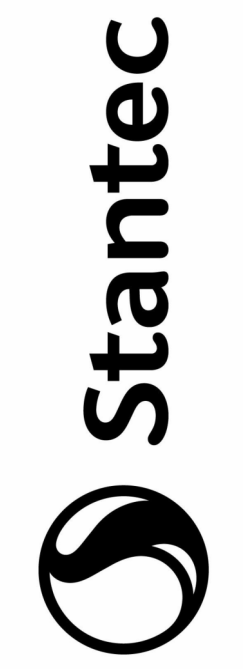
Click location in Project Information
 11/20/2023 2:30:49 PM



1 STREETScape ELEVATION - SOUTH
A305 1:200



2 STREETScape ELEVATION - NORTH
A305 1:200



Stantec Architecture Ltd.
1000 Burrard Street
Vancouver, BC V6J 6A3
Tel: (604) 696-8000 • www.stantec.com

The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawing. The Contractor shall design and construct in accordance with the drawings. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.

Consultant

Issued/Revision	By	AO	CD	2023/12/20
1 - ISSUED FOR EP				YYYYMMDD

Permit/Seal

**PRELIMINARY
NOT FOR
CONSTRUCTION**

Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
CITY OF VANCOUVER

525 Powell

525 Powell Street,
Vancouver, BC

Project No.: 144323071

File Name: N/A

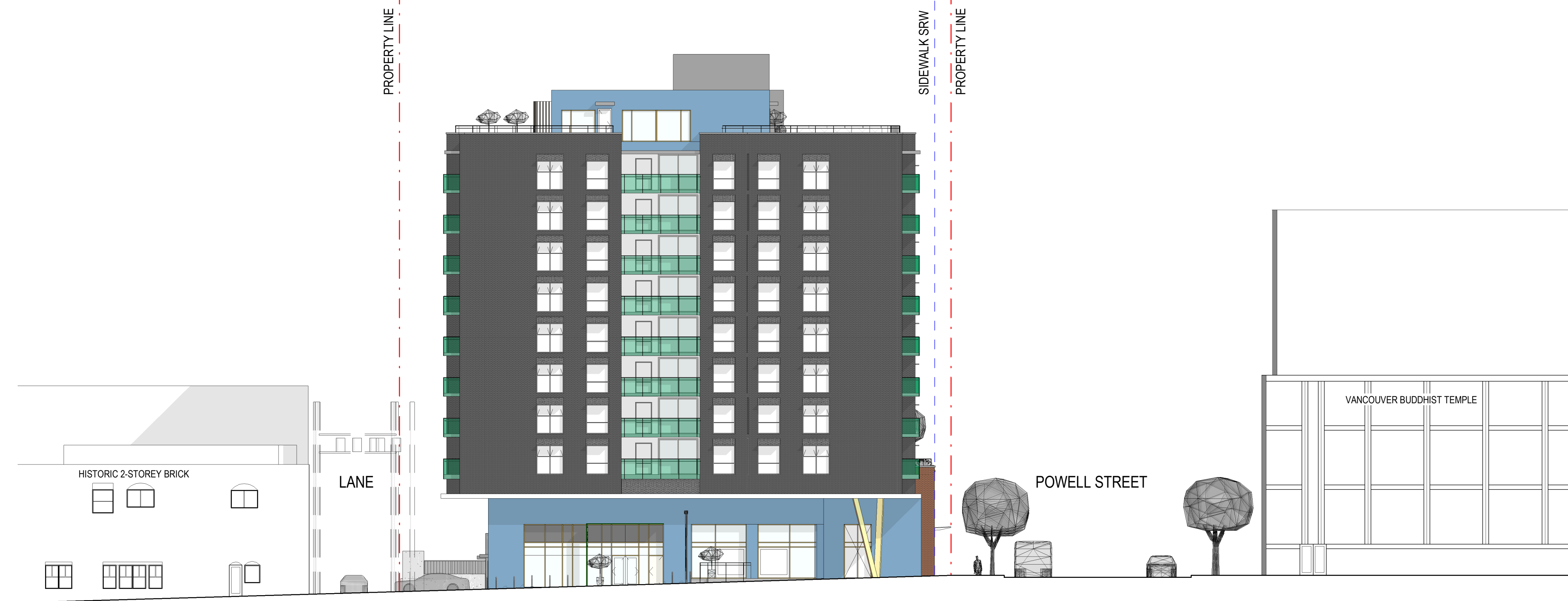
Scale: 1 : 200

Author	Designer	Checker	06/22/23
Dwn.	Dign.	Chkt.	YYYYMMDD

Title
STREETSCAPES

Revision: 1
Drawing No.

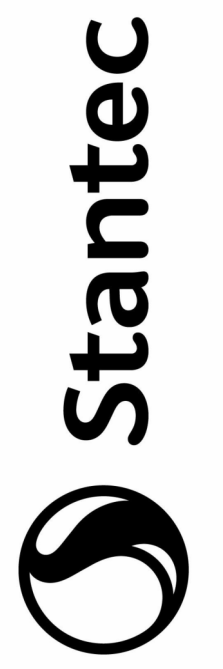
A305



1 STREETScape ELEVATION - WEST
 A306 1 : 200

Click location in Project Information
 11/20/2023 2:46:17 PM

ORIGINAL SHEET - ARCH D



Stantec Architecture Ltd.
 1000 Burrard Street
 Vancouver, BC V6J 4A3
 Tel: (604) 696-8000 • www.stantec.com

Consultant

Issued/Revision	By	AO	CD	2023/12/20	YYYYMMDD
1 - ISSUED FOR EP					

Permit/Seal

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**
 Not for permits, pricing or other official purposes. This document has not been completed or checked and is for general information or comment only.

Client/Project
 CITY OF VANCOUVER
 525 Powell
 525 Powell Street,
 Vancouver, BC

Project No.: 144323071
 File Name: N/A
 Scale: 1 : 200

Author	Designer	Checker	06/22/23
Dwn.	Dign.	Chkd.	YYYYMMDD

Title
 STREETSAPES

Revision: 1
 Drawing No.
A306