

525 POWELL STREET

Vancouver, BC



Development Permit Application- Architectural Design Rationale

PROJECT TEAM:

City of Vancouver

Non-Market Housing Development

Terra Social Purpose Real Estate

PHS Community Services Society

Stantec - Architecture, Landscape Architecture, Interior Design, Sustainability, Acoustics

WSP - Structural, Mechanical, Electrical, IMIT, Civil

Pontem - Code Consultants

RDH - Building Envelope and Energy Modelling

Bunt & Associates - Transportation Planning and Engineering

Diamondhead Consulting - Arborist Service



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Appendix A: DP Drawing Set


Appendix B: Tree Management Plan

Traditional Territory Acknowledgement:

This project is located on the unceded territories of the Musqueam, Squamish, and Tsleil-Watuth peoples.

We believe in Reconciliation being more than just acknowledging these territories. We have an opportunity to learn the true and rich history of First Peoples as well as the unjust experience since colonization on these lands, which we share.

1.0 Letter of Intent

 **Stantec**

Stantec Architecture Ltd.
1100-111 Dunsmuir Street
Vancouver BC V6B 6A3

December 20, 2023

Jane Bateman
Project Facilitator | Affordable Housing
Development, Building and Licencing | City of Vancouver
Phone: 604-829-9440 / Email: jane.bateman@vancouver.ca

Dear Ms. Bateman,

Reference: 525 Powell Street | 144323071: Issued for Development Permit Application

This development permit application is submitted on behalf of the City of Vancouver for the property located at 525 Powell Street.

This application further contributes to the City of Vancouver mandate to deliver 12,000 new units of social and supportive housing over the next 10 years, as per Housing Vancouver's 10 Year Affordable Housing Delivery and Financial Strategy. This application represents 158 new affordable housing units located in the Downtown Eastside Oppenheimer District neighbourhood of Vancouver.

Proposed Development:

The proposed development permit proposal has 2 major components as follows:

- 1) The housing component is comprised of 158 residential units with a mix of studio, 1 bedroom, 2 bedroom, and 3 bedroom units (5% Accessible and 95% Adaptable units). The units are located on Level 2 to Level 9. The housing will accommodate shelter rate, HILS, and below-market rental units. There will be two outdoor amenity decks at Level 2 and on the rooftop of the building with areas for children, quiet enjoyment, and plots for urban agriculture.
- 2) At the ground floor, there is a commercial space that will comprise a Community Economic Hub and commercial leasable space that provides continuity with the retail and commercial facades of the surrounding neighbourhood along Powell Street.

Public Benefits:

The City of Vancouver Non-Market Housing Group is developing a mixed-use development project complete with a mix of units, housing sizes and at-grade retail CRU's. The first benefit is creation of more permanent housing options on a site that is currently being utilized for modular short-term housing. The existing tenants on site will be housed before demolition and construction of new permanent housing.

December 20, 2023
Jane Bateman
Page 2 of 2

Reference: 525 Powell Street | 144323071

Additional Public Benefits are:

- Utilizing an existing City-owned lot next to transit lines, retail areas, and park facilities to create a project with an appropriate use and urban design response.
- Providing 158 permanent, safe, and affordable mixed housing units.
- Providing new green space on roof decks.
- Providing new retail opportunities at grade and the introduction of a Community Economic Hub.
- Public Realm and streetscape improvements on site.
- Community-focused art opportunity and engagement with Operator to seek input from end users.

Requested Relaxations:

Public benefit, integrated urban design, liveability and affordability are part of every proposal. We are putting forward relaxations to DEOD bylaw that will benefit the project and not detract from community development guidelines.

We are requesting planning review on the following variances:

1. Parking Relaxation mitigated through TDM measures
2. Class B Loading spaces
3. Building Height
4. Street frontage and street wall height and length
5. Horizontal Angle of Daylight
6. Balconies
7. Bulk Storage
8. 2br Unit size

A more detailed analysis is a part of this package.

We look forward to working with the City of Vancouver and partner agencies on this important project as it moves through the City process.

Best wishes,

STANTEC ARCHITECTURE LTD.



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2.0 Urban Context and Site Analysis

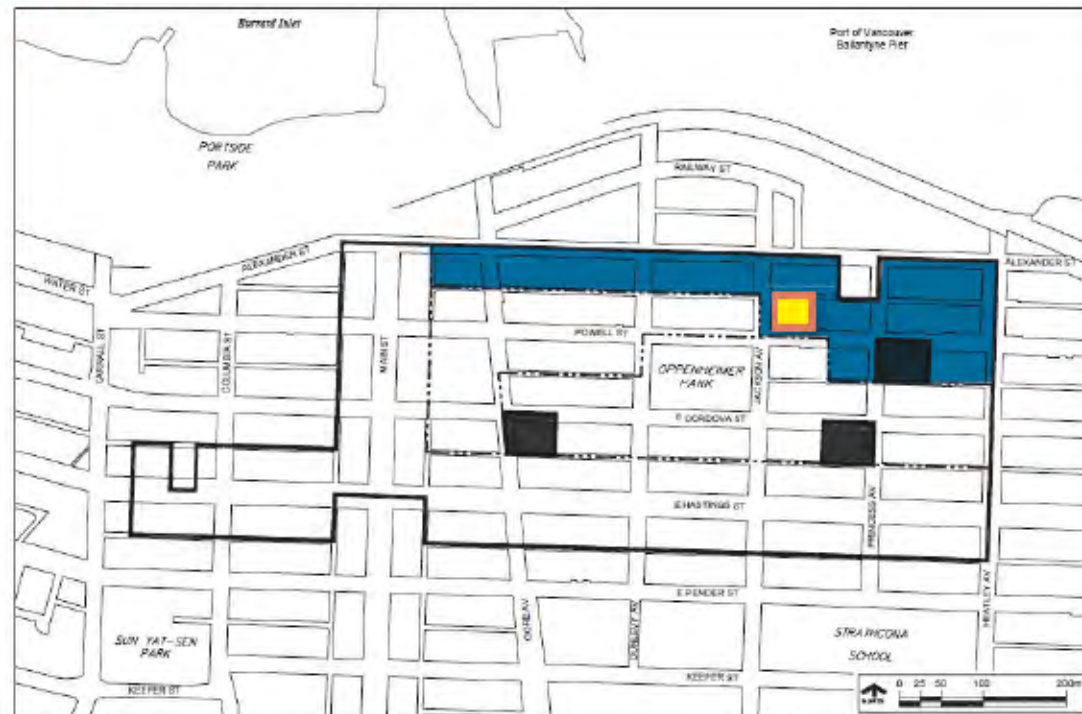
Neighbourhood Context Description





The site of the project is at 525 Powell Street in the Oppenheimer district of the Downtown East Side in Sub-Area 4 Alexander/Powell.

The proposed site is located at the intersection of Powell Street and Jackson Avenue. The site is approximately 1,982 m² in area and is situated on the south west corner of the block. Oppenheimer Park lies immediately to the south west. The site currently holds a 3-storey Temporary Modular Housing (TMH) building, currently occupied by Aneki House for Women, with the license due to expire in Fall of 2024, unless extended. The TMH building will be relocated to a different site in a separate process from this project to allow for this development.

Directly to the west of the site is the heart of the historic Paueru Gai (Japantown) neighborhood which provides shopping facilities serving the day-to-day needs of local residents and workers. The area around Oppenheimer Park contains many buildings providing social housing and social services for residents such as health clinics, faith-based gathering spaces providing meals, women’s organizations, and community centres.

 Sub-Area 4 Alexander/Powell



-  Proposed Site
-  Existing Taller Buildings
-  Future Planned Buildings
-  Number Of Storeys



2.0 Urban Context and Site Analysis

Existing Site Description

The site is 53.3m x 37.2m and consists of seven lots bounded by Powell Street to the south, Jackson Avenue to the west, a lane to the north, and an existing building to the east.

The small fragment on the south east corner of the site along Powell Street is in process of being purchased and added to the site.

The lane on the north site boundary services the rear yards of the neighbouring buildings including the small-scale social housing developments across the lane.

As identified in the Tree Management Report accompanying this submission, there are several existing trees along Powell Street that warrant consideration for retention or relocation.



View of 525 Powell Street site (highlighted in yellow) from Vanmap.



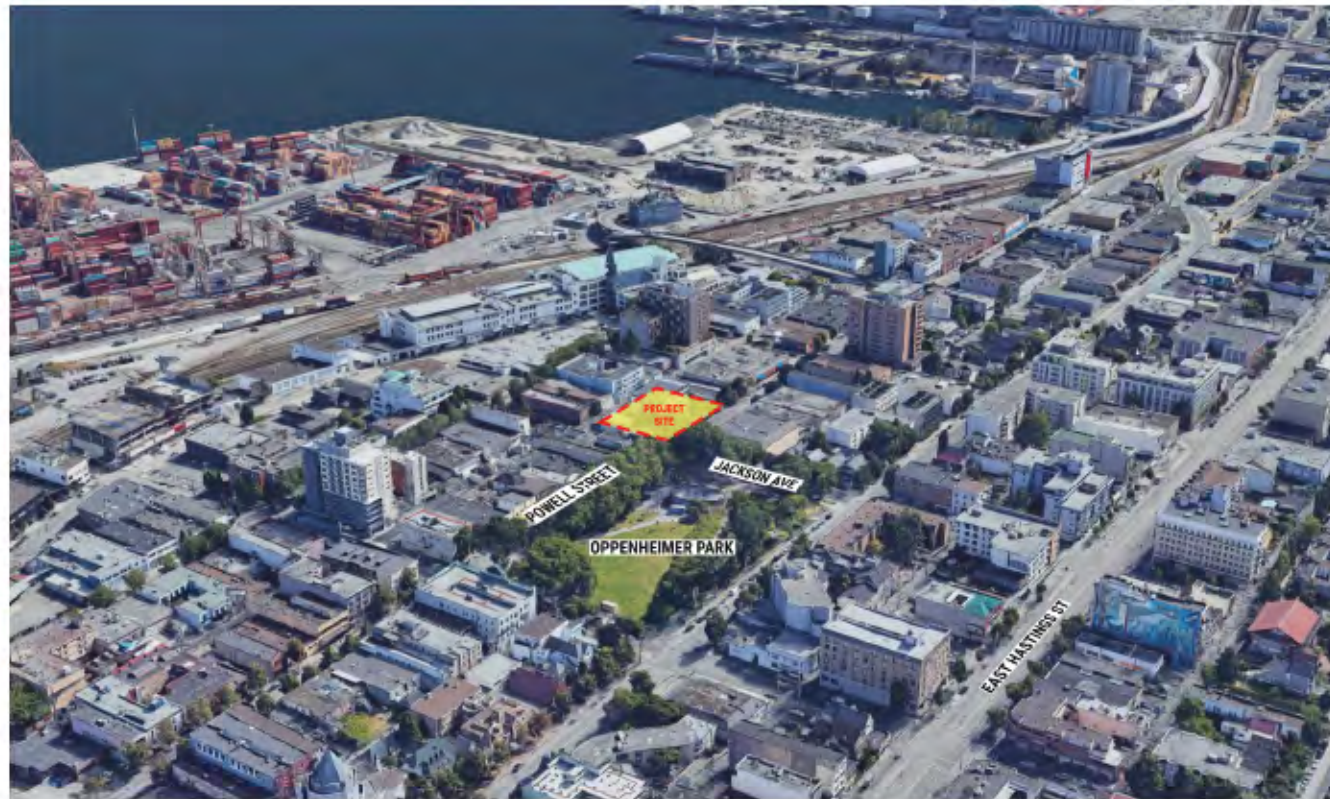
2.0 Urban Context and Site Analysis

Amenities and Public Transit Nearby to Site



2.0 Urban Context and Site Analysis

Site Context Images

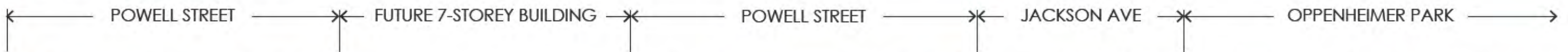


2.0 Urban Context and Site Analysis

Existing Streetscape Photos



1 POWELL STREET- LOOKING NORTH



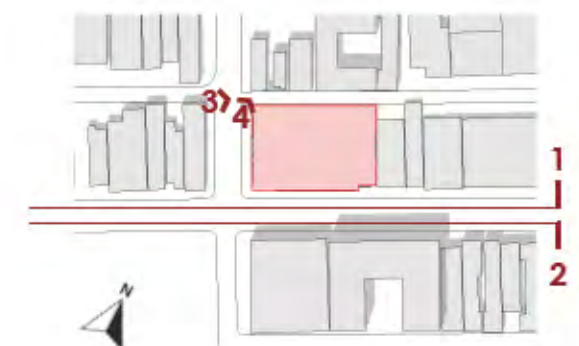
2 POWELL STREET - LOOKING SOUTH



3 LANE - LOOKING EAST



4 LANE - LOOKING EAST



2.0 Urban Context and Site Analysis

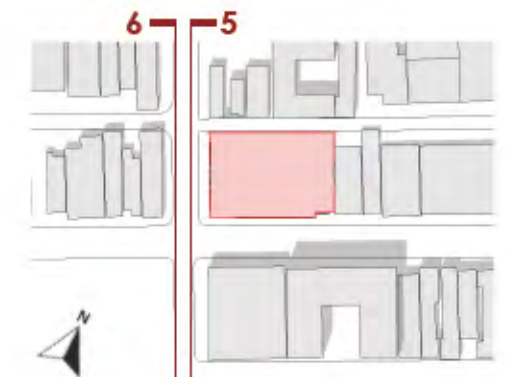
Existing Streetscape Photos



5 JACKSON AVE - LOOKING EAST

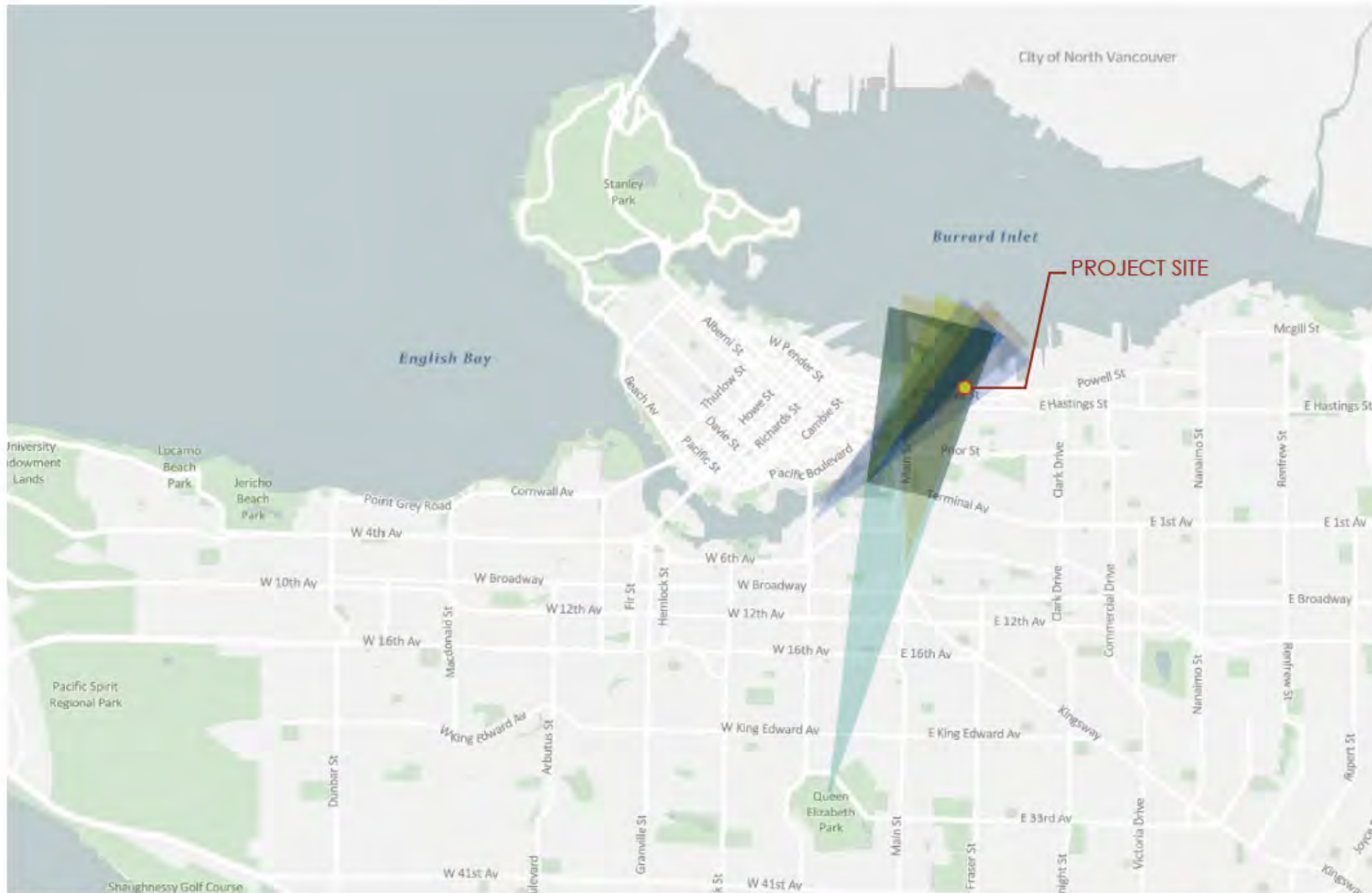


6 JACKSON AVE - LOOKING WEST



2.0 Urban Context and Site Analysis

View Cones and Floodplain



View Cones

While several view cones intersect the project site, it is not anticipated that they will impact the building height as several buildings on neighbouring sites are also 10-11 storeys tall.

- 22 - Main St.
- 3.2.4 - QE Park
- 3.2.4a - QE Park
- E2.1 - Cambie Bridge
- E2.2 - Cambie Bridge
- G1.1 - Olympic Village
- G1.2 - Olympic Village



Floodplain

Sources: VanMap

The project site is not within the designated floodplain area.

3.0 Architectural Design Rationale

Proposal Summary

The Stantec Architecture design team and the City of Vancouver are submitting a Development Permit application on a mixed-use development that includes 158 units of social housing, 1 level of below-grade parking, commercial space at grade, and a "Community Economic Development Hub" (CED hub) for local vendors.

A site analysis and feasibility design was completed by Iredale Architecture in early 2021, and this proposal builds off of this design. The housing operator will be confirmed and finalized imminently. A separate CED Hub project team has been in discussion with the community and stakeholders and is in the process of completing the functional program and proposed interior layout for the space.

The project site area is 1,982 m² and is located at the corner of Powell Street and Jackson Avenue. The site frontage is approximately 51.4m along Powell Street and 30.1m along Jackson Avenue. The site is bound by a lane along the north property line and an existing building to the east.

Along Powell Street, a widened sidewalk is provided with a setback/SRW of 1.1m from the property line at Level 1 of the building, as requested by Transportation. No additional setback is required from the Jackson Street property line. At ground level along Jackson Street, the building is setback by 1.83m.

The proposal includes a total gross floor area of 14,746 m² with a density of 5.5 FSR and a maximum building height of 36m. The site allows for one level below grade with limited parking accessed from the lane.

A total of 158 social housing units are proposed, with 5% of units being accessible and 95% adaptable. There is a mix of studio, 1 bedroom, 2 bedroom, and 3 bedroom units with 33% of all units being family units. Common indoor amenity spaces and large outdoor roof decks are proposed at Level 2, and Level 10 roof.

Due to the high level of transit accessibility, the Transportation Demand Management (TDM) Plan provides measures to reduce the visitor and accessible parking required by the Vancouver Parking Bylaw. We are providing ample bicycle storage at P1, as well as inside of residential suites, that exceeds the bylaw requirements by 40%.

The project proposes 2 Class B loading spaces, and 2 Class A Passenger Loading spaces at L1 along the lane for the commercial and residential loading and passenger requirements.

The following relaxations are being requested:

1. Parking Relaxation mitigated through TDM Measures
2. Class B Loading reduced to 2 spaces
3. Building Height
4. Street Frontage and street wall height and length
5. Horizontal Angle of Daylight
6. Individual balconies per unit
7. Bulk Storage
8. 2BR unit size



View of proposed project from the corner of Powell Street and Jackson Avenue.

3.0 Architectural Design Rationale

Current Zoning

The current zoning for the site is DEOD and development is regulated by the Downtown-Eastside/Oppenheimer Official Development Plan. The Alexander/Powell sub-area is intended to be a medium density, mixed industrial-residential area, appropriate for small scale light industrial uses and residential uses.

Density

Subject to the provisions of subsection 7.5.2, the maximum floor space ratio for any development shall be 1.0, except that the Development Permit Board may permit an increase in the maximum density: to a maximum floor space ratio of 5.5 if:

- i. the site has a frontage no greater than 45.7 m,
- ii. the development includes residential and all residential units are social housing, and
- iii. the Development Permit Board first considers:
 - a. the intent of this Official Development By-law and all applicable Council policies and guidelines; and
 - b. height, bulk, location and overall design of the building and its effect on the site and on surrounding buildings and streets and existing views, with an emphasis

on preserving and strengthening prevailing context and mitigating the impact on the liveability of adjacent residential areas and the impact on public areas such as parks and plazas.

Height

The maximum height as per DEOD is 15 m. The Development Permit Board “may permit an increase in the maximum height of a building to a maximum of 30.5 m if:

- a. the site has a frontage no greater than 45.7 m;
- b. all residential units are social housing, and
- c. the Development Permit Board first considers:
 - i. the intent of this Official Development By-law and all applicable Council policies and guidelines; and
 - ii. height, bulk, location and overall design of the building and its effect on the site and on surrounding buildings and streets and existing views, with an emphasis on preserving and strengthening prevailing context and mitigating the impact on the liveability of adjacent residential areas and the impact on public areas such as parks and plazas;

Site Frontage

The Director of Planning or the Development Permit Board may relax the site frontage maximum of 45.7 m, if:

- a. all residential units are social housing;
- b. enforcement will result in unnecessary hardship;
- c. the Director of Planning or Development Permit Board first considers all the applicable policies and guidelines adopted by Council; and
- d. the Director of Planning or Development Permit Board considers the submission of any advisory group, property owner or tenant.

Frontage

The maximum length of frontage for any non-residential use permitted in this sub area shall be 30 meters (approximately 100 feet).

Relevant Policies and Guidelines

- a) Affordable Housing Policies (1989, updated 1991);
- b) Housing Vancouver Strategy (2017);
- c) Housing Vancouver 3-Year Action Plan 2018-2020;
- d) Housing Design and Technical Guidelines (updated Sept 2021);
- e) Social Facility Technical Guidelines (May 2018)
- f) SHORT Pilot Program;
- g) High-Density Housing for Families with Children Guidelines (1992);
- h) Green Building Rezoning Policy (2010, last amended 2018);
- i) BC Housing Guidelines and Construction Standards (2019);
- j) City of Vancouver Facility Standard Manual (2021); and
- k) Downtown East Side Area Plan and related polices.

3.0 Architectural Design Rationale

Relaxations Requested

Building Height

We are requesting a height relaxation from the allowed 30.5 m to 36.0 m for the maximum height of the building as taken from the highest point of the rooftop appurtenances to the Base Surface.

The increase in height is due to the additional insulation required for a high performance building, raised floor slabs to provide level access to decks, and for the depth of the transfer slab to allow the ground floor to have a more open floor plate for the commercial spaces while providing the minimum number of suites required for operator viability.

The elevator overrun, machine room, and rooftop mechanical area with screening exceed the allowable 10% maximum roof area to be exempt from the building height determination as outlined in Section 10.1.1 of the bylaw. The rooftop mechanical area is required for heat recovery ventilation equipment and other mechanical systems that are necessary to achieve the energy standards of a high performance building.

- Building height to top of parapet above last habitable floor: **31.09m**
- Building height to top of parapet above amenity space: **33.68m**
- Maximum building height to top of all building appurtenances: **35.97m**

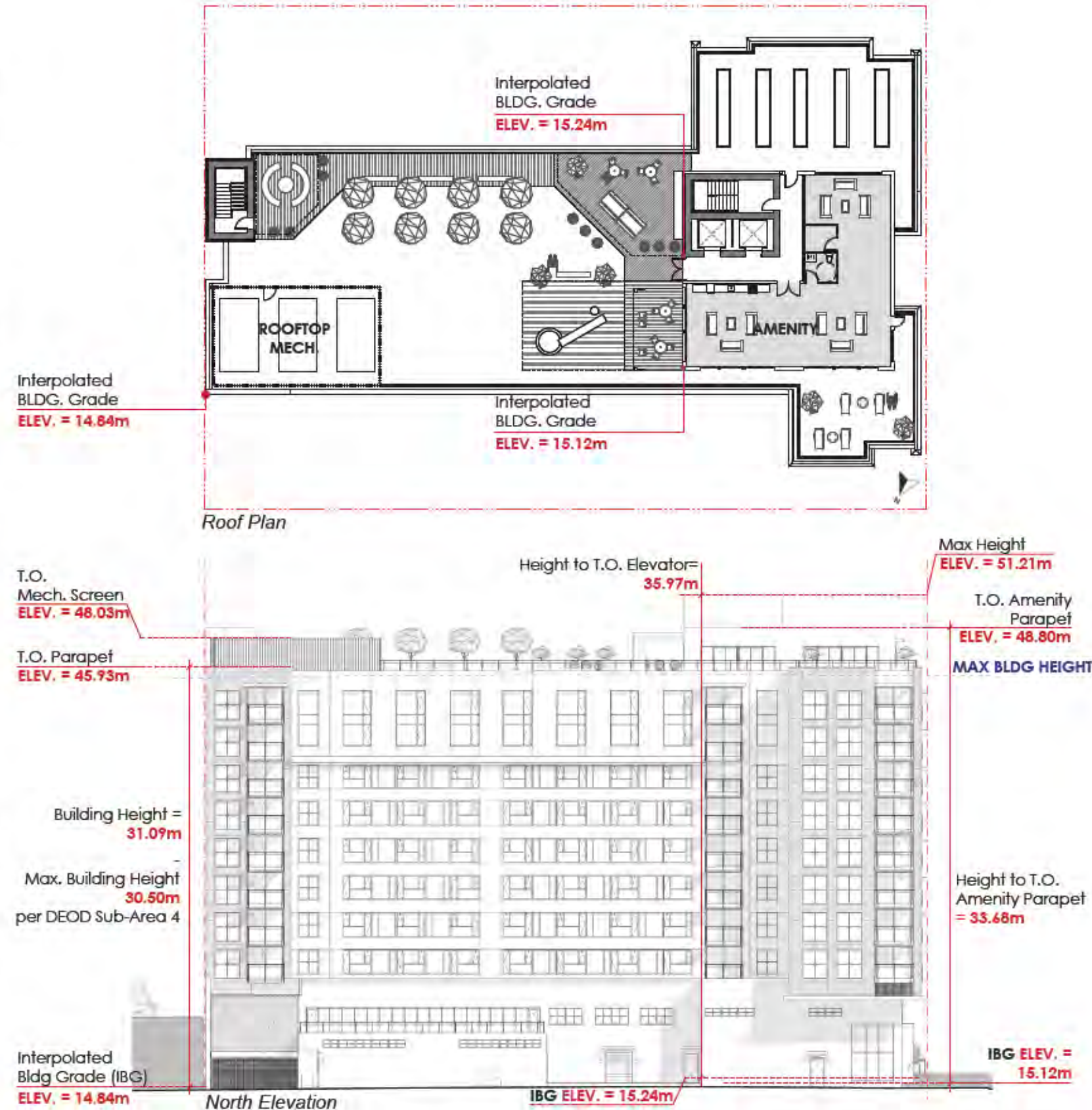
Class B Loading reduced to 2 spaces

We are requesting to provide 2 Class B loading spaces for this project, a reduction from the 3 required Class B loading (1 residential + 2 commercial). It is anticipated that deliveries and move-in/out can be accommodated through the sharing of these loading spaces, different use times, and staggering of delivery times.

Site frontage and Non-residential Use frontage

We are requesting a relaxation for site frontage and non-residential use frontage. The building's overall site frontage is approximately 51.4m along Powell Street and 30.1m along Jackson Avenue. We request a relaxation from the 45.7m maximum along Powell Street. Stepped facades have been created through careful articulation of the building's massing to reinforce a more human-scale at the pedestrian level. The longest length of commercial frontage is 36m in one plane along Powell St, which is 6m above the allowed 30m of non-residential use frontage. This facade is visually broken up into smaller components using brick columns to give the sense of smaller commercial units.

For the extent of site and commercial frontage, please refer to the architectural drawing set for Level 1 Floor Plan on drawing A202 and South Elevation on drawing A301.



Relaxations Requested

Horizontal Angle of Daylight

A relaxation is requested on the horizontal angle of daylight requirements for the lane-facing studio units and 1 unit per floor along Jackson Ave. Please see drawing A502 in the architectural set.

A total of 64 proposed units are 14.6m from the buildings across the lane to the north. Site depths in the area present hardships in providing a double loaded corridor layout. It was important to provide a south-facing amenity deck at L2 which would be of enough depth to be usable, allow for plant growth, and offset the bulk of the building to give more breathing room from the new residential building across the street. Along Jackson Ave, the distance provided between residential units is typical of this street section. Window sizes (min. 1.5m x 1.8m) provide ample opportunity for daylight access, ventilation, and views to these much-needed social housing units.

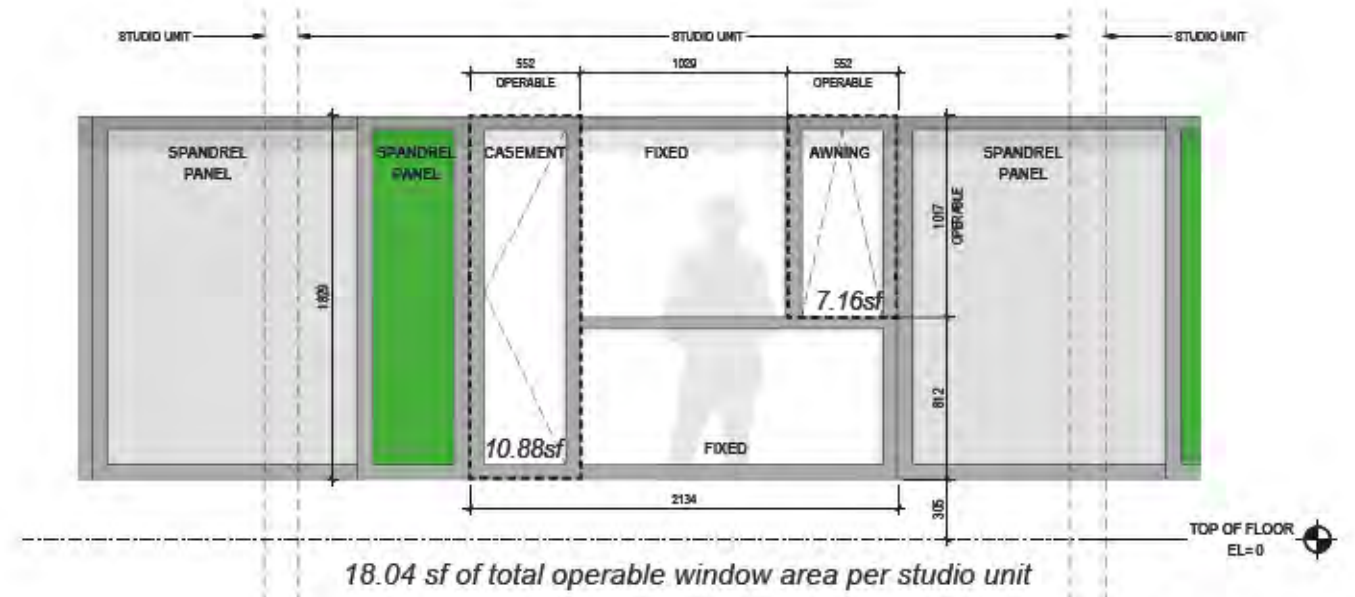
Balconies

Individual balconies are provided for each 2 and 3 bedroom family residential unit. For studio and 1 bedroom units, relaxations are requested to not provide balconies and instead to provide large windows with 2 operable sections that allow a comparable amount of light, ventilation, and views to outside.

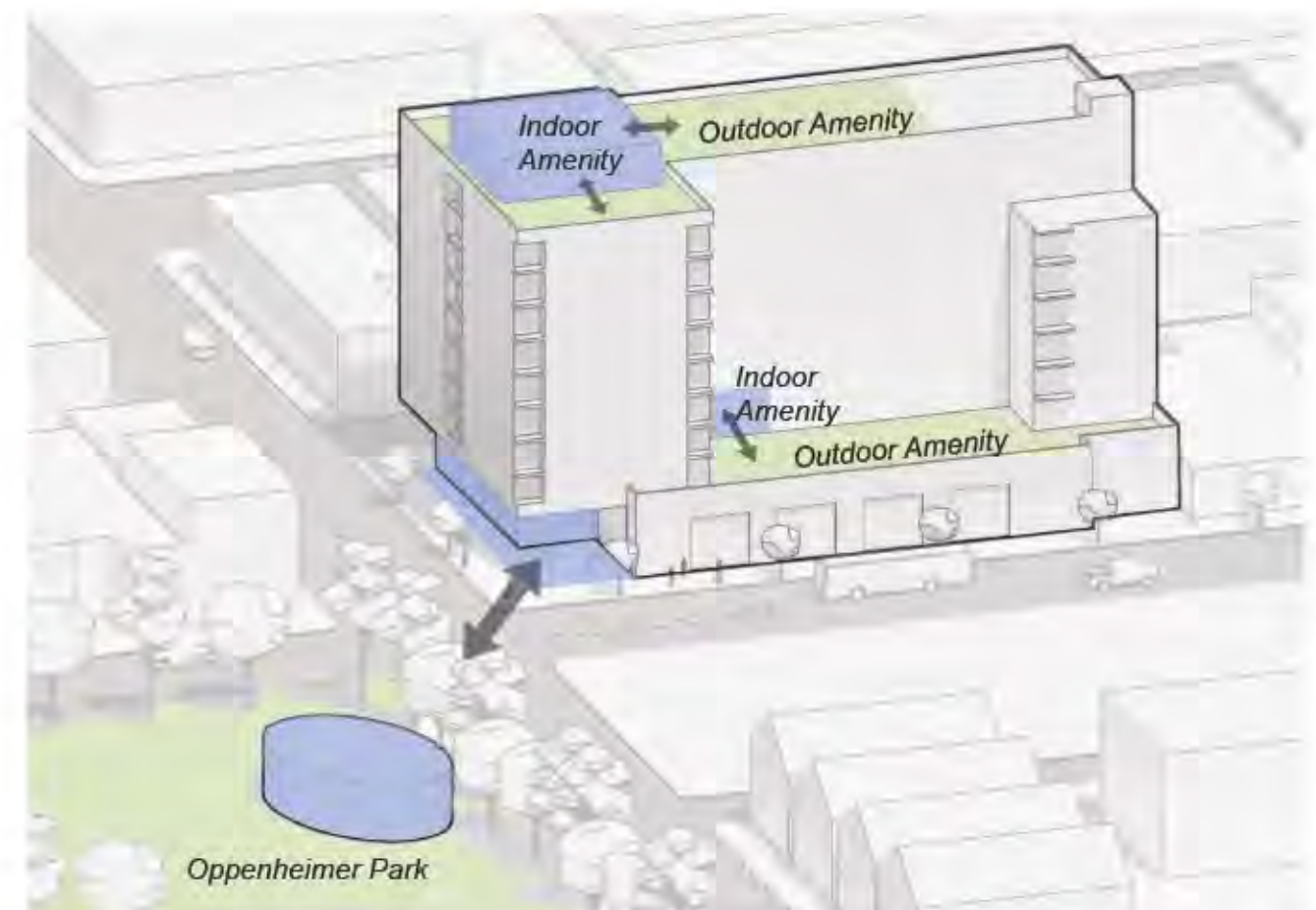
The window design aims to provide equity for all studio residents. The owner/operator has shared with us that studio units allocated for shelter use are limited to 100mm maximum openable dimensions for windows, as an insurance requirement. Therefore, in lieu of juliet balconies, each of the studio units are provided large operable windows for daylight access and ventilation.

Enhanced shared outdoor amenity spaces provide ample opportunities for quiet individual enjoyment of outdoor spaces. Two generous outdoor amenity decks are provided on Level 2 and on the rooftop with a combination of green landscaping and furnished hardscape areas. There is 2,125sf of outdoor amenity area on Level 2 while 7,300sf is provided on the roof level, both of which have adjacent indoor amenity spaces. These spaces are designed to create designated areas for a variety of uses such as quiet zones, gathering zones, urban gardening, and children's play areas.

The site is also across the street from Oppenheimer Park to provide direct access to parks and green spaces.



Typical Studio Unit Window Size



Outdoor Amenities

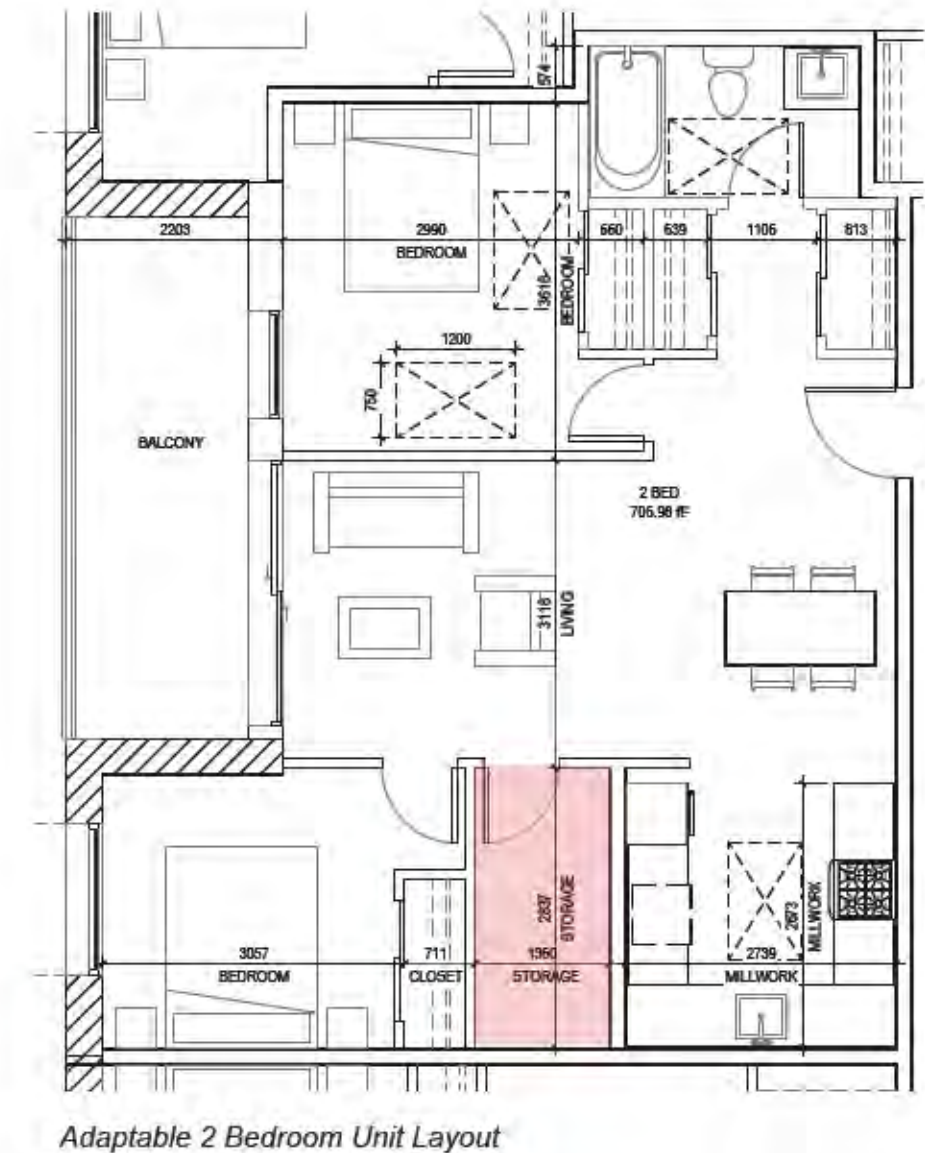
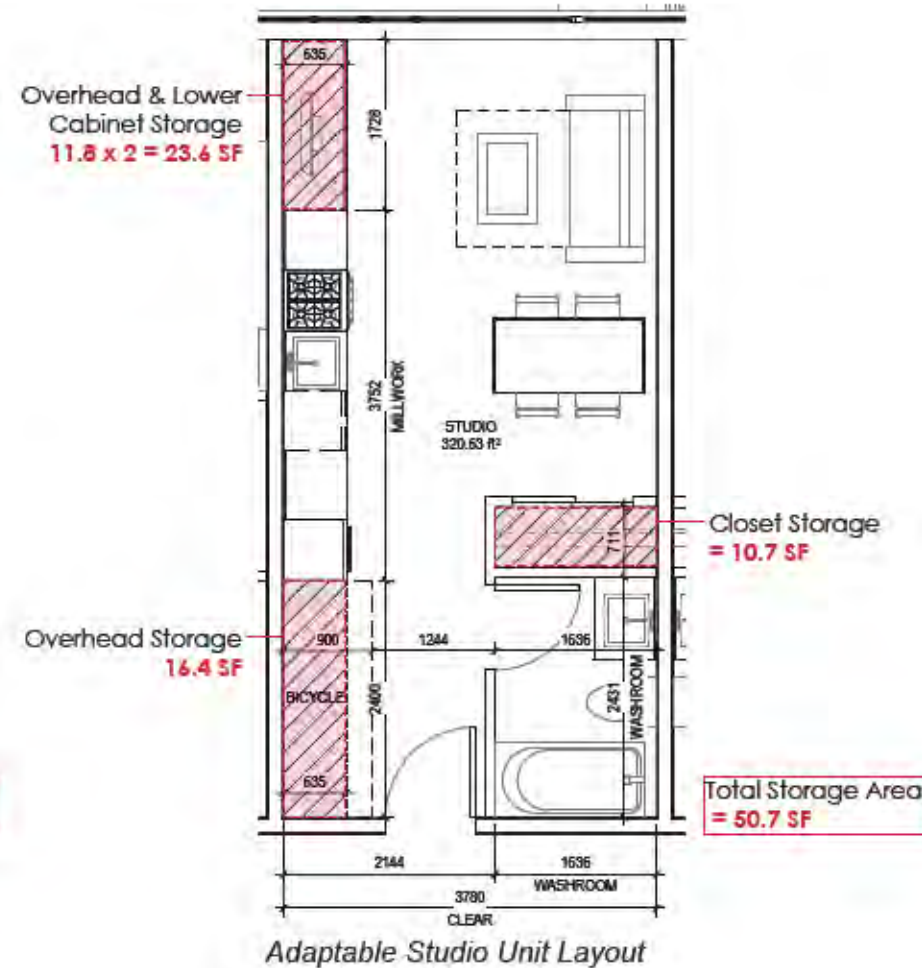
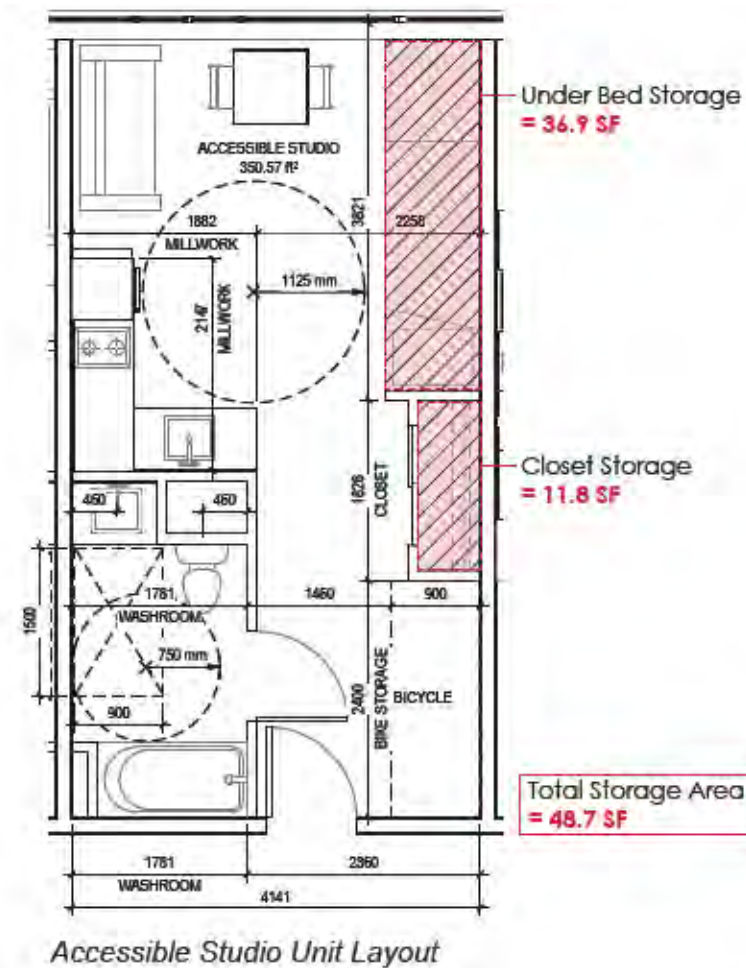
Relaxations Requested

Bulk Storage

Each 1, 2 and 3 bedroom units are provided with in-suite storage rooms that meet City of Vancouver bulk storage requirements; however, in order to provide more affordable housing units, the studio units do not have large in-suite storage rooms. Instead the units feature storage dispersed in multiple efficient in-suite storage areas within the unit. Storage for residents living in studio units is provided in the form of closets, under-bed, and overhead storage opportunities. In addition, bulk storage on the parking level will be allocated to a portion of the studio units. This offers multiple tiers of functionality for residents.

2 bedroom minimum unit sizes

Per City of Vancouver Housing Guidelines, the minimum unit size for 2 bedroom units shall be 700sf, not including the FSR excluded bulk storage rooms. The proposed 2 bedroom units are efficiently designed to maximize the provision of affordable housing units while staying consistent with market rental standards. The provided 2 bedroom units meet the minimum unit size if the bulk storage is included in this area. Each 2 bedroom unit is also provided with private balconies and generous shared amenity spaces and decks to enhance livability of units.



Parking Relaxation mitigated through TDM measures

A preliminary Transportation Demand Management (TDM) plan has been made to study reductions in required parking spaces. Reduction are also being proposed in commercial/passenger loading requirements to provide adequate service to the specific users of the building.

Please see the TDM plan and worksheet included with this submission for full description of measures and provision, as well as the Project Data on A002 in architectural drawing set.

The project will satisfy the City's TDM point requirement to achieve a 40% parking reduction and Transit Accessibility Level A for a further 20% reduction for a total 60% reduction in residential parking. For commercial parking, a 16% reduction is applied. After allowable reductions, the TDM seeks a parking variance of 33 parking spaces, providing a total supply 37 physical spaces.

a.) Parking requirements as per Vancouver Parking Bylaw:

Residential parking

Required:	35 residential spaces, 6 accessible (multiplier of 2), 8 visitor = 55
Required (TDM):	8 residential spaces, 6 accessible (multiplier of 2), 8 visitor = 28
Provided:	8 residential spaces, 6 accessible (multiplier of 2), 8 visitor = 28

Commercial parking

Required:	20 commercial spaces + 1 accessible (multiplier of 2) = 22
Required (TDM):	16 commercial spaces + 1 accessible (multiplier of 2) = 18
Provided:	14 commercial spaces + 1 accessible (multiplier of 2) = 16*

*Commercial Parking Reduction Rationale

For the 525 Powell Street project, there are two commercial uses at ground level. The Community Economic Development (CED) Hub and a commercial leasable space that will be managed by the housing operator.

The CED Hub is being developed by the City of Vancouver as a social enterprise space providing a social service to the local community. This multifunctional space will provide opportunities for entrepreneurship, gathering, and supported activities that differ from a traditional commercial space. The demographic of residents

to be served by this space suggests that they would not require as many parking spaces due to many people arriving by foot, bicycle, and transit, and living in the nearby area.

With this in mind, we are asking for a reduction in parking spaces for this space. Currently with TDM measures, we are required to provide 18 spaces for the CED Hub and commercial leasable space (16 spaces + 1 accessible space). As our areas for parking are contained within 1 level of below grade parking/building services and surface parking along the lane, we are able to provide 16 spaces (14 spaces + 1 accessible space). We are requesting a relaxation to allow us to provide 2 less parking spaces for the CED Hub and commercial leasable spaces.

b.) Passenger loading requirement:

Required passenger loading – 2 Class A
Proposed passenger loading – 2 Class A spaces provided

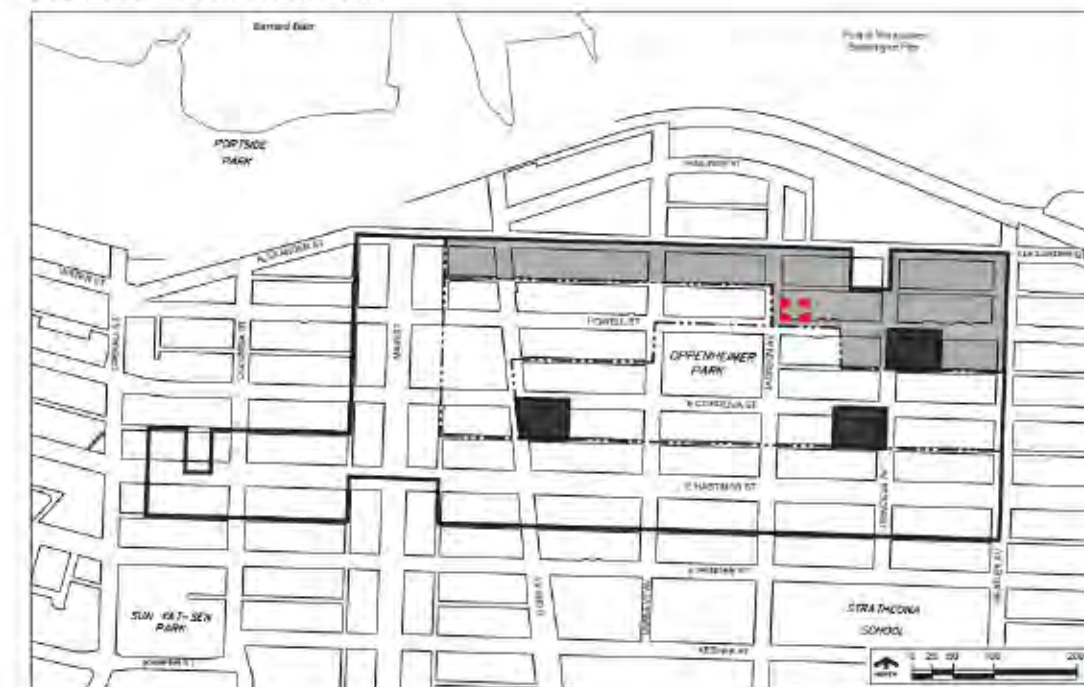
c.) Loading requirement:

Required loading – 3 Class B (1 residential + 2 commercial)
Proposed loading – 2 Class B (1 residential + 1 commercial) with sharea use.

d.) Bicycle Parking:

Required bicycle parking – 255 Class A, 15 Class B, 6 Lockers
Proposed bicycle parking – 362 Class A (40% additional), 15 Class B, 6 lockers

Sub-Area 4 Alexander/Powell



3.0 Architectural Design Rationale

Public Realm Interface / Pedestrian Circulation

525 Powell Street is a near-zero lot line urban project that looks to maximize the site for the provision of social housing.

Setbacks at Level 1 allow for wider sidewalks along the two frontages on Powell St and Jackson Ave. The entrance is focused on the corner with a double-height entry feature and potential location for feature art that relates to the history and context of the site.

The facade is a mix of commercial uses along Powell St and Jackson Ave, and service rooms along the lane. The facade along Jackson Ave features a pavilion-type treatment to relate to the pavilion at Oppenheimer Park. Continuous weather protection is provided along Powell St and Jackson Ave with glazed storefronts to maximize eyes-on-the-street.

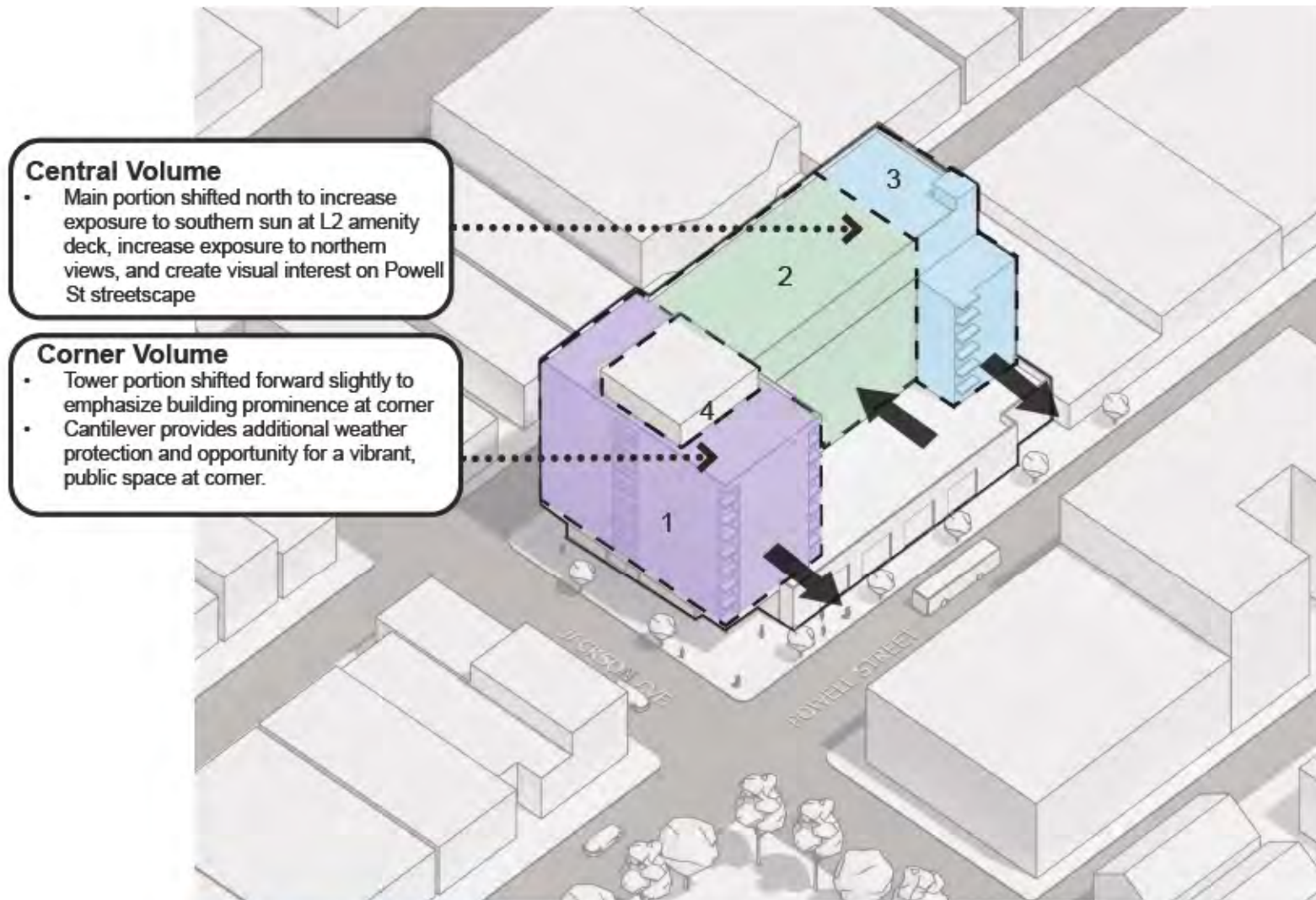
The lane is primarily a service road with access to the underground parking, loading, bicycle room, and exits. An administrative office is provided at the Northwest corner with windows, laundry room and amenity room at mezzanine with windows, roof deck at the mezzanine level, and balconies on upper levels to encourage the eyes-on-the-street concept along the lane.



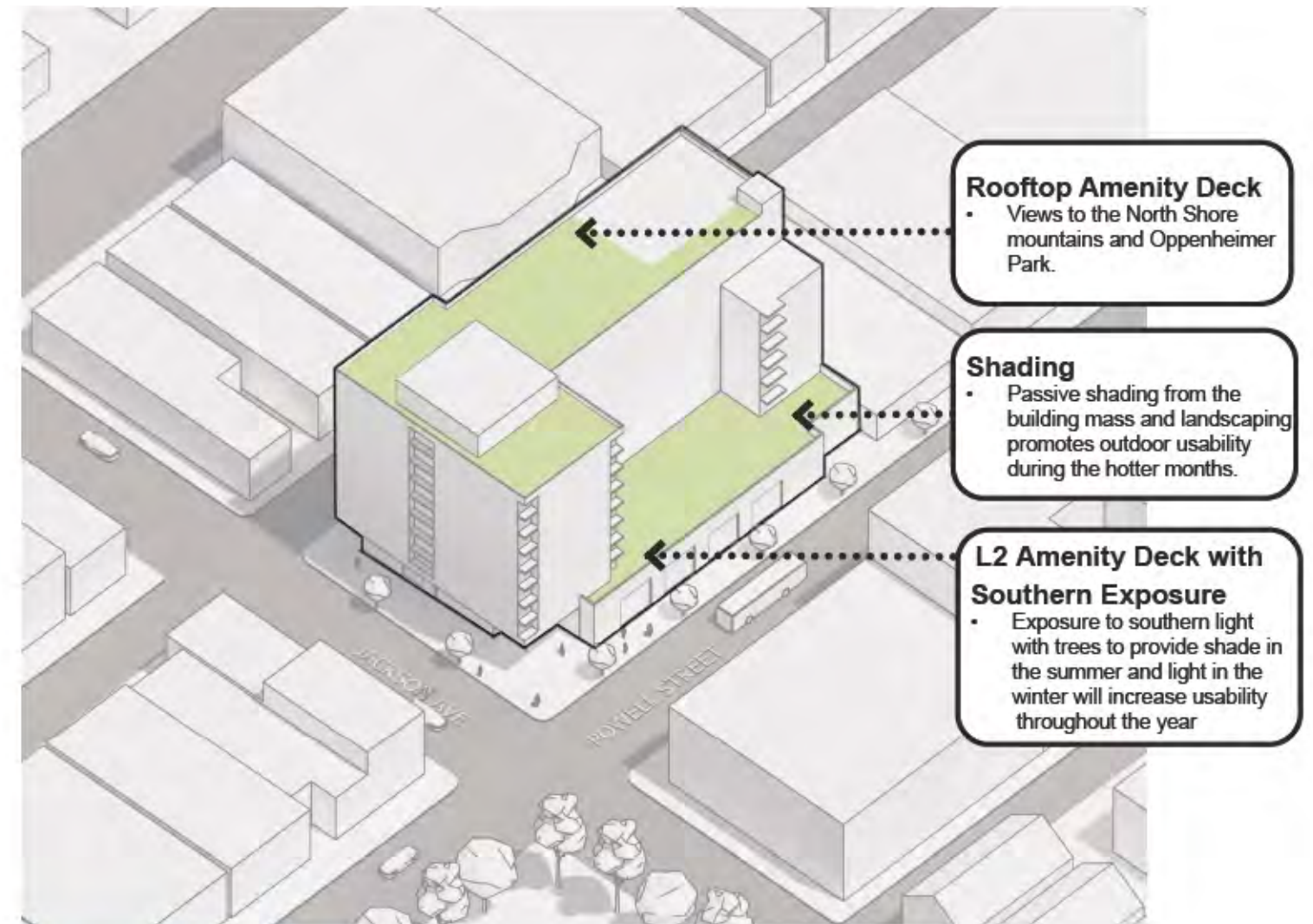
View of proposed public realm at the corner of Powell Street and Jackson Avenue

3.0 Architectural Design Rationale

Massing Rationale



Building Massing

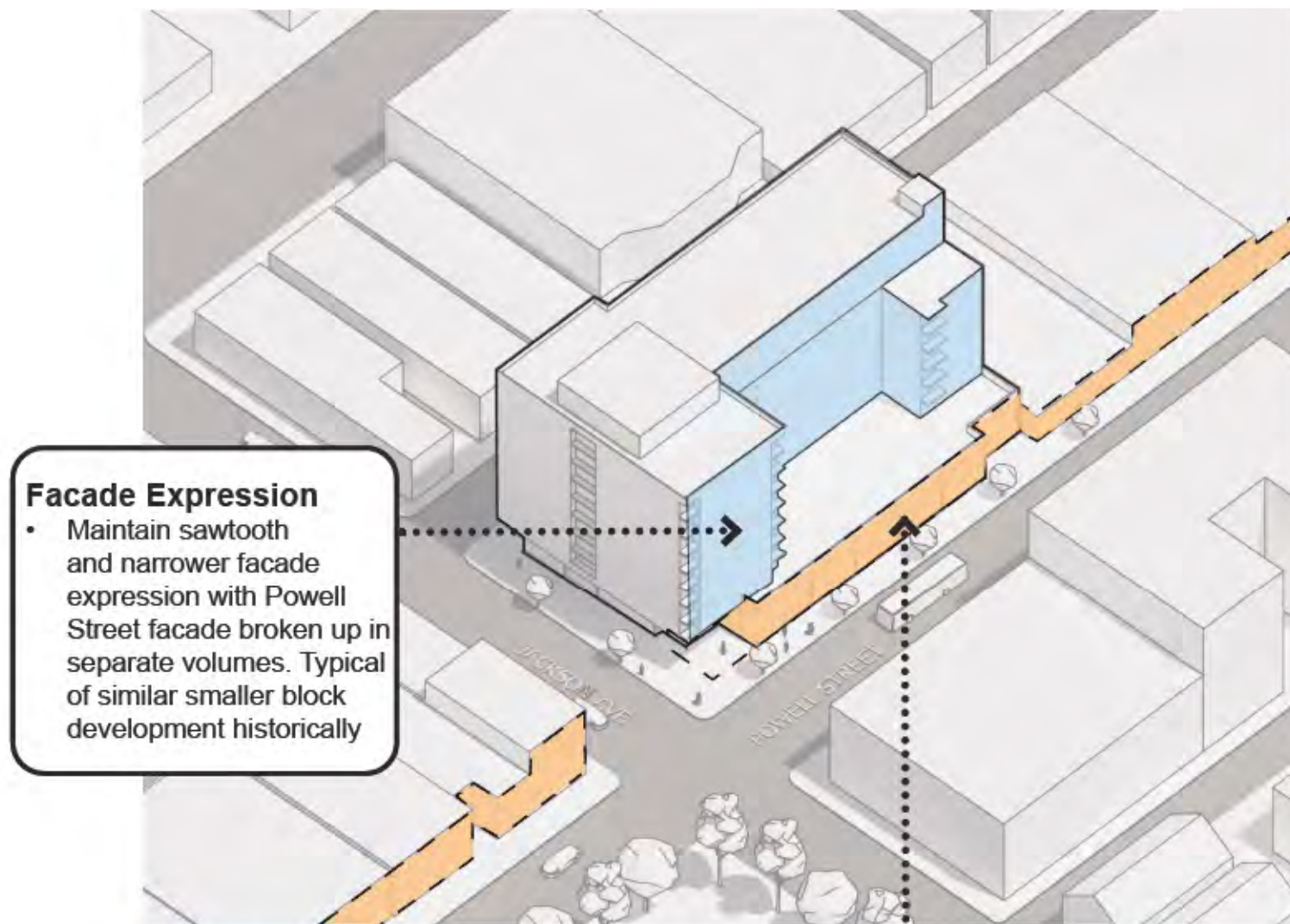


Amenity Space



3.0 Architectural Design Rationale

Massing Rationale



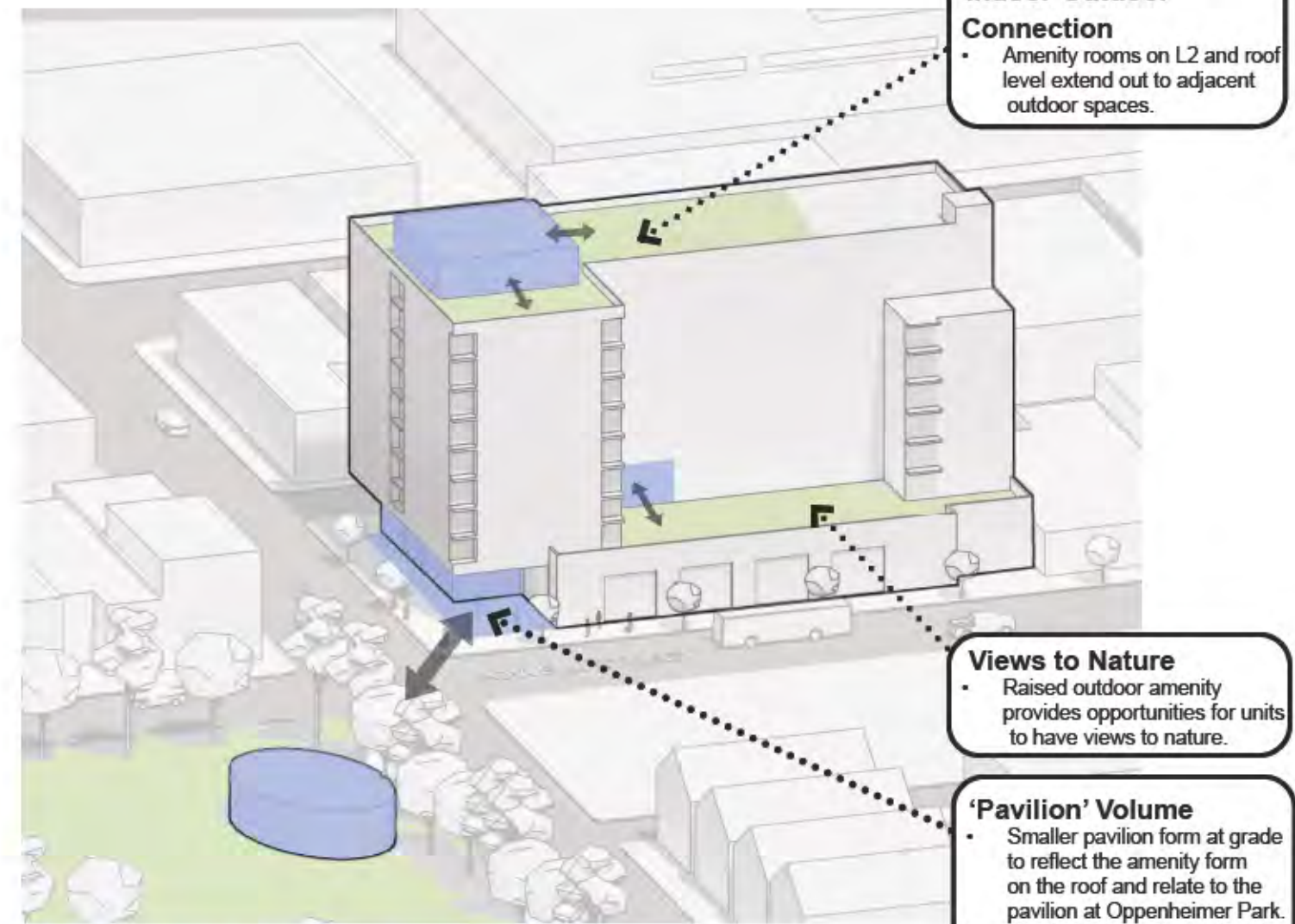
Facade Expression

- Maintain sawtooth and narrower facade expression with Powell Street facade broken up in separate volumes. Typical of similar smaller block development historically

Streetscape

Maintain Streetscape

- Building face along Powell Street kept to 2 Storeys in height to maintain the existing street wall character and pedestrian scale



Indoor-Outdoor Connection

- Amenity rooms on L2 and roof level extend out to adjacent outdoor spaces.

Views to Nature

- Raised outdoor amenity provides opportunities for units to have views to nature.

'Pavilion' Volume

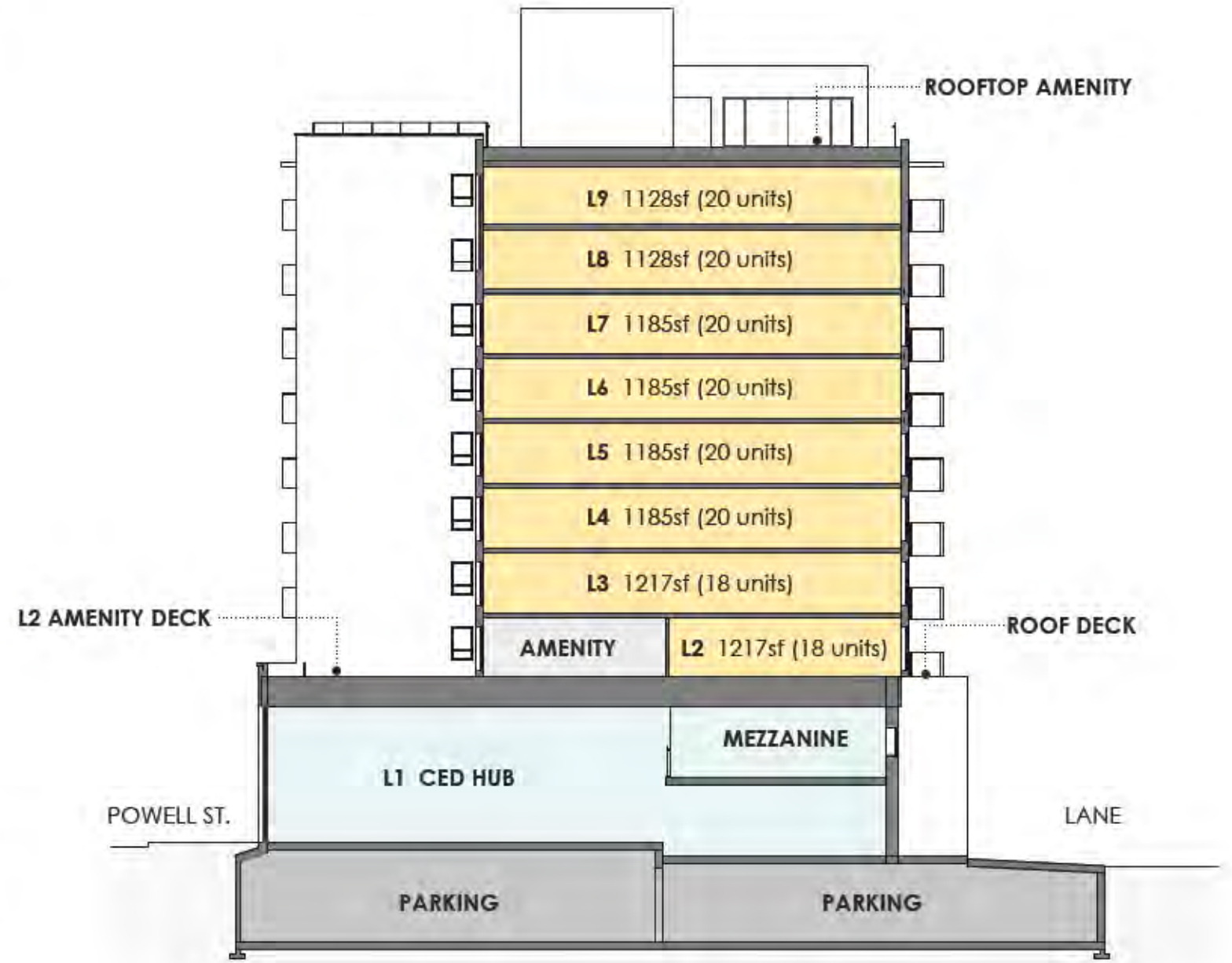
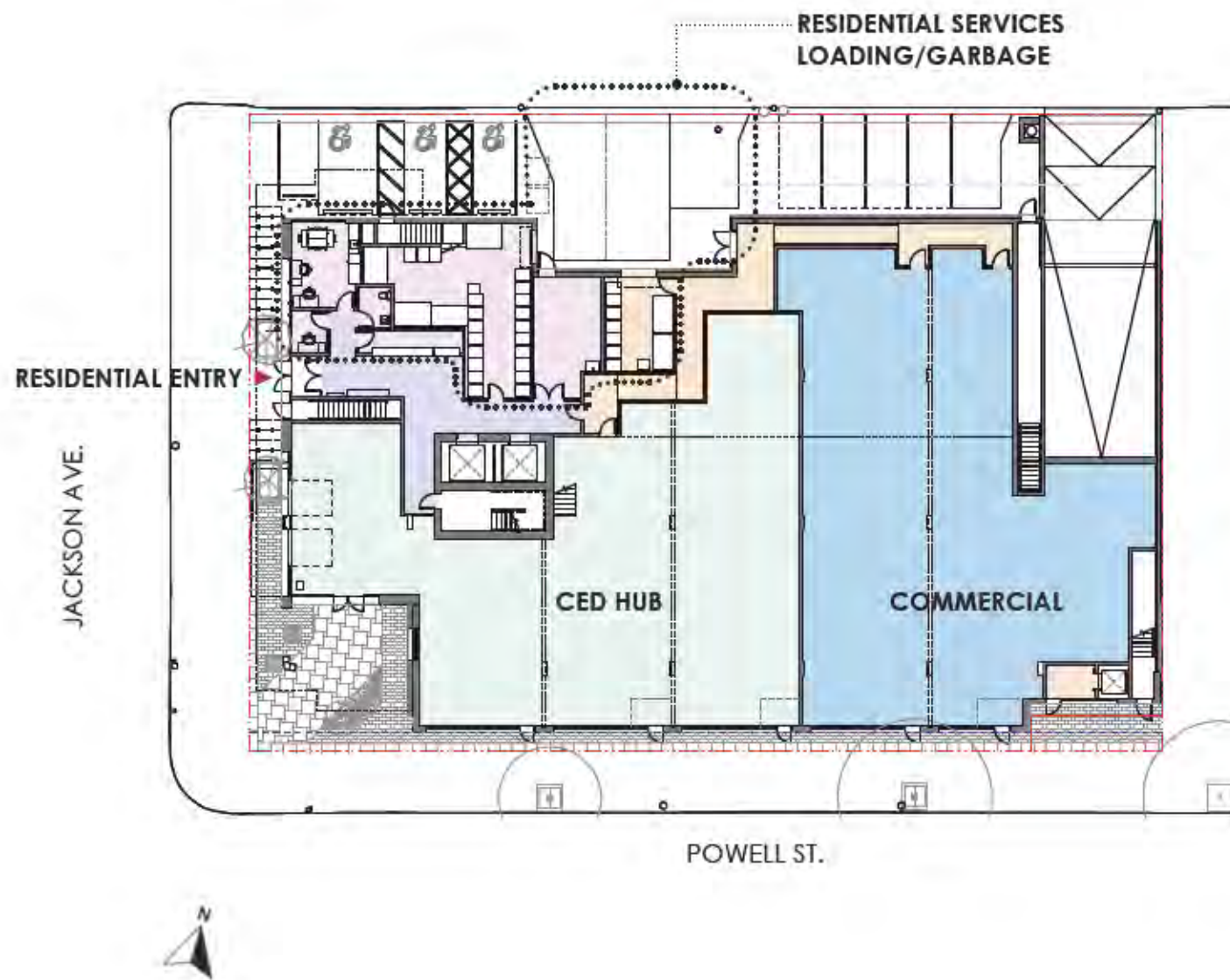
- Smaller pavilion form at grade to reflect the amenity form on the roof and relate to the pavilion at Oppenheimer Park.
- Continuous weather protection and setbacks allow for 'people spaces' at the pedestrian level

Indoor-Outdoor Connection

3.0 Architectural Design Rationale

Building Program Arrangement

The building comprises 1 level of below-grade parking with additional parking, loading, and garbage rooms at the lane. At grade, the residential entry faces Jackson Street and the majority of the floor plate is made up of the Community Economic Development (CED) Hub and commercial space that faces on to Powell Street. There are 8 levels of residential units with amenity rooms and decks at L2 and the rooftop.



3.0 Architectural Design Rationale

How the Massing responds to the DEOD sub area 4 (Alexander/Powell) development guidelines:

Reinforce urban fabric

The proposed building massing works to promote street level activity through a 2 storey retail/commercial podium intended to create a vibrant, lively street-level facade.

Ground level interaction is stimulated through retail/commercial functions aimed at creating community and business development for the surrounding area.



Buildings that fit

The proposed design aims to respond, sympathetically and respectfully, to the surrounding heritage and cultural context through

- thoughtful, contemporary architectural expression
- facade articulation
- materiality, detailing, and colour.

The building massing is articulated in a way to appear less imposing on the streetscape through setbacks and stepped facades. The narrow, tall building form with single and double height punched brick facades along with small scale details, such as cornices, reference the prominent forms and materials of the neighbourhood while the bright, playful colours allude to a new structure in a historic area and provide a contemporary interpretation of typical DEOD details.

Celebrate Street Life

The massing treatment at the corner intersection of Jackson and Powell aims to promote a functional street corner with passive weather protection and potential for a community orientated space for events, pedestrian interaction and cultural expression.

The approach creates a prominent building corner to anchor the building on the site without imposing on freedom of movement at grade.



3.0 Architectural Design Rationale

Form and Massing Considerations



Indoor Amenity

- form and materiality relates to CED Hub pavilion below
- Southwest exposure for light while providing views to the North

Balconies

- Green balconies enforce biophilic references and create a graphic play/contrast against the dark brick facade

Double height covered entry

- creates sense of arrival
- provides weather protection for pedestrians

CED Hub pavilion treated as its own volume

- reinforces human scale at ground level
- relates to the pavilion at Oppenheimer Park

Bold residential entry

- separate but pronounced entry for residents

Opportunities for Artwork / Mural

- potential large-scale murals

Building volumes differentiated by changes of materials

- brick vertical elements that fit into the character of the neighbourhood
- facade articulation breaks up the mass into more human-scale elements

Outdoor Amenity Decks

- Landscaped green amenities

2 storey volumes at grade

- relate to pedestrian scale of the neighbourhood
- rhythm of doors and entries in keeping with occupied space
- views to park from common areas
- "eyes on the street" improves safety of pedestrian environment outside

More generous space provided for pedestrians at grade

- 1.1m setback for Sidewalk Right of Way along Powell St gives more space for pedestrians
- Corner cut provides unprogrammed space for public life

3.0 Architectural Design Rationale

Design Inspirations - Form, Materials, Art Integration



Modern interpretations of DTES building forms

Tall brick facades, cornices, sawtooth street wall, punched window expression

Commercial at grade

Lively, varied commercial units at ground level creating an active streetscape

Re-wilding

Bringing nature back to an urban site

Cultural Connections through Art Integrated with Building

Providing opportunities for cultural expression of historical aspects of site such as Paueru Gai (Japantown) and Indigenous inhabitation of the land, through murals and landscape planting.

3.0 Architectural Design Rationale

Material Palette



1
Brick
Graphite Gray



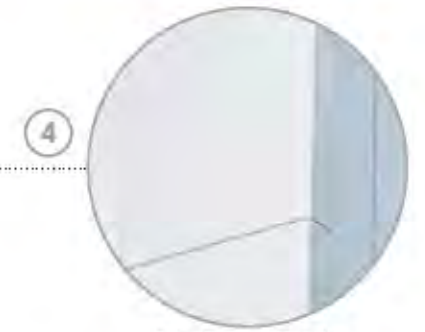
8
Metal Railing + Glass
Green



6
Metal Panels
Black



3
Metal Panels
Blue



4
Metal Panels
White



5
Metal Panels
Grey



10
Spandrel Panels
Green



2
Brick
Toasted Gray



Graphic Panel
Mural Soffit and Side Wall

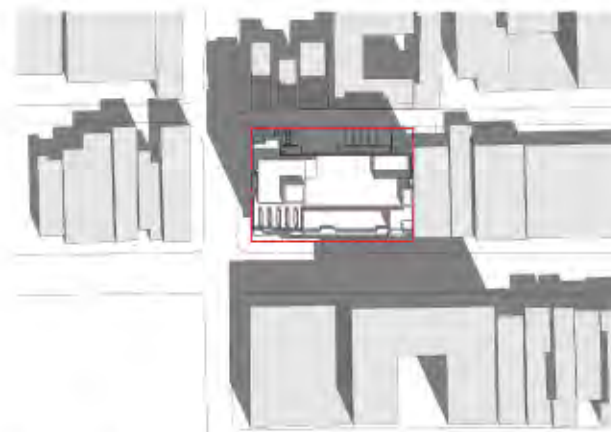
1	RAINSCREEN THIN BRICK - GRAPHITE GREY
2	RAINSCREEN THIN BRICK - TOASTED GRAY
3	RAINSCREEN ALUMINUM COMPOSITE WALL PANEL - BLUE
4	RAINSCREEN ARCHITECTURAL METAL PANELS - OFF-WHITE
5	RAINSCREEN ARCHITECTURAL METAL PANELS - GREY
6	METAL PANEL - BLACK
7	GLASS GUARDRAILS WITH METAL FRAMES
8	GLASS GUARDRAILS WITH METAL FRAMES - GREEN
9	WINDOW METAL FRAMES - THERMALLY BROKEN -
10	SPANDREL PANEL - GREY, GREEN
11	DOOR ALUMINUM FRAMES/GLASS - GREY
12	SLIDING DOOR ALUMINUM FRAMES/GLASS - GREY
14	LARGE SCALE MURAL GRAPHIC FILM OVER METAL CLADDING AND SOFFIT - STENI PANEL OR SIMILAR
15	METAL SUNSHADES - GREY
16	METAL CORNICE - DARK GREY
17	METAL PERFORATED SCREEN - GREY
18	THIN METAL CANOPY STRUCTURE - GREEN
19	FEATURE COLUMN
20	OVERHEAD DOOR ALUMINUM FRAMES/GLASS - BROWN
21	POTENTIAL LOCATION FOR RETAIL SIGNAGE
22	WALL-MOUNTED EXTERIOR LIGHTING
23	LIGHT WELL - GLASS BLOCK
24	SMOOTH FACE CMU WALL - LIGHT GREY

3.0 Architectural Design Rationale

Shadow Studies



MARCH 21 - 10AM



MARCH 21 - 12PM



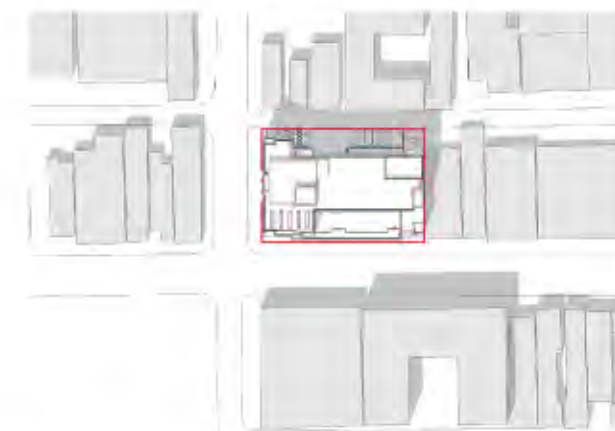
MARCH 21 - 2PM



JUNE 21 - 10AM



JUNE 21 - 12PM



JUNE 21 - 2PM



SEPTEMBER 21 - 10AM



SEPTEMBER 21 - 12PM



SEPTEMBER 21 - 2PM



3.0 Architectural Design Rationale

Landscape Design Rationale

Ground Floor Landscape

The ground plane is indicative of an urban open space with street trees along Powell Street, open paved area at the entry corner, and select areas for potted trees at the residential entry. The open corner allows opportunities for feature seating elements, and paving changes to demarcate a plaza and defined 'people space' at grade. Small planting nodes can also be integrated near the entry, helping demarcate the home-like quality of a residential entry garden.

L2 Amenity Deck

The raised amenity deck is connected to an indoor amenity space and provides visual connection to Oppenheimer Park. The L2 amenity deck has been designed to integrate multiple spaces for solitary or group gatherings. These spaces vary in size but are intended to provide quiet outdoor spaces for the building residents. Planted landscape buffers are included to provide screening between resident rooms and the L2 deck level and additional buffer planting has been integrated along the south side of the deck, reducing views onto the deck from adjacent buildings and the street level. The planting has also been placed to consider the solar impact on residents using the spaces and comfort throughout the seasons.



3.0 Architectural Design Rationale

Landscape Design Rationale

Roof Deck Landscape

The Roof Deck has been developed as a series of spaces which focus on children, teens, and families.

A large play area has been developed as a series of play berms, which are covered in poured in place rubber in bright, child friendly colours. Integrated on and around these play berms are features such as slides, tunnels, balance logs, and small structures which can be shaped to emulate animals or fairy tale characters. Adjacent this play space is a forest loop, which allows young children to interact with nature in a controlled area. This small area could also be used to develop a fairy garden should residents desire.

Moving beyond the toddler play spaces is a larger planted berm which is connected to climbing elements, riskier balance play features, and additional running/biking loops for families. For teenagers, flexible spaces have been developed which make use of moveable furniture, perfect for doing homework, playing games, or hanging out. Linked into these teen spaces are traditional lawn games such as a putting green, corn hole, ladder toss and the like.

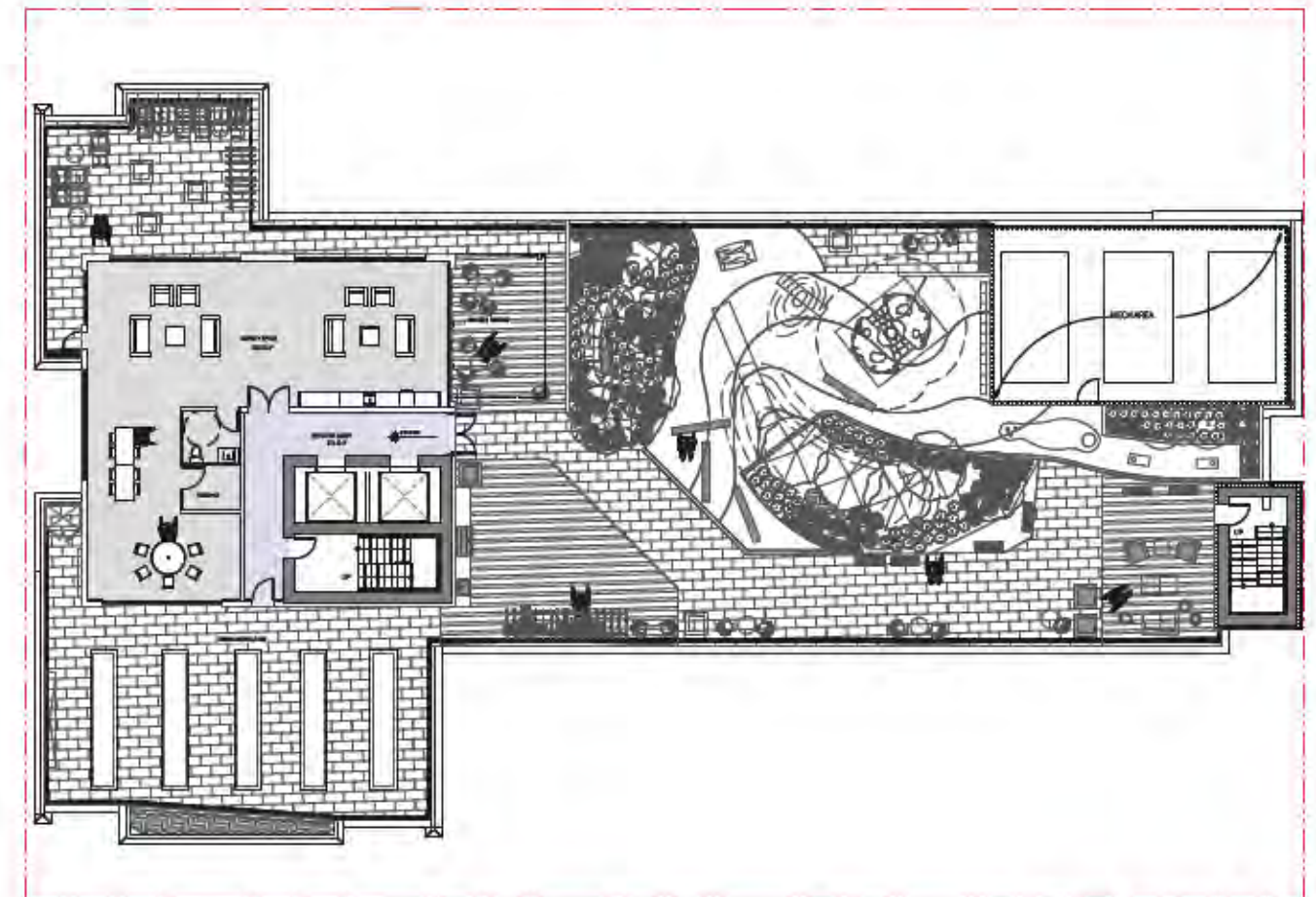
Adjacent the primary entry is a large outdoor kitchen area which includes space for large harvest tables and smaller bar height tables for multiple groups to use this space at the same time. Additional flexible spaces are located to the north side of the building, where group meetings or naps can occur. Connected to the kitchen, is an outdoor agriculture zone. Located on the southwest corner of the building, this space has been developed to allow for urban agriculture to be developed by the residents in two places. The first is within the raised planters. These raised planters are at a height appropriate for those in wheelchairs or for those who do not desire to garden at the ground level. The other zone is along the south area of this patio space where the green roof can accommodate annual planting of vegetables or flowers should the desire be present.

This variety of social spaces; play areas, urban agriculture, and gathering spaces, offers an extension of the indoor amenity area and views toward Oppenheimer Park to the south and the North Shore in the opposite direction. The roof deck is an urban 'perch' bringing much needed green spaces to the future residents. These spaces will be complimentary to Oppenheimer Park. They are not meant to replace it, but rather add to the richly layered lifestyle being created for the residents to enjoy. Regardless of the weather, these protected areas will provide opportunities, rain or shine.

General Planting Strategy

Planting selections have started by reviewing native species, and those which provide habitat and food to urban songbirds. Most of the selected plants have historical roots in Japanese Garden history or with Traditional First Nations uses. These might include the use of Douglas Maple for snowshoe frames, Vine Maple for baskets and fish traps, Mock Orange flowers and leaves as a fragrant soap when mixed with water, or the berries of Salal and Soapberry for jelly's, ice cream, or eaten raw, cooked, or dried.

The illustrated planted options are likely not the complete and exhaustive list but illustrate the character and approach to the planting palette.



Rooftop Amenity Plan

4.0 Sustainability Measures

VBBL and LEED Commercial Interiors

This project is conforming to VBBL Part 10 requirements for energy standards in addition to the BC Housing Technical Bulletin No. 3-2023 which speaks about the BC Energy Step Code requirements, including maximum Thermal Energy Demand Intensity and Total Energy Use Intensity (TEUI) as defined in Section 2 Energy and Environmental Design. The guidelines shall be used as targets for meeting building and energy performance. Strategies for meeting these targets shall be identified and verified through a mandatory building energy modelling. Energy modelling shall comply with requirements of the current BC Energy Step Code and the City of Vancouver Modelling Guidelines and using CWEC 2020 weather files. In addition, the project is committed to reducing carbon emissions and aims to meet maximum Greenhouse Gas Emission Intensity targets.

Embodied carbon design targets are as per VBBL Section 10.4 Low Carbon Materials and Construction.

The Tenant Improvement spaces will be designed under the CAGBC LEED Commercial Interiors program.

5.0 Architectural Renderings

3D Views



View looking northeast at Powell Street and Jackson Avenue

5.0 Architectural Renderings

3D Views



View looking southeast from Jackson Avenue

5.0 Architectural Renderings

3D Views



View of building entry from corner of Powell Street and Jackson Avenue

5.0 Architectural Renderings

3D Views



View looking northwest from Powell Street