

NAME	SYMBOL
DRAWING NAME	1 DRAWING TITLE SCALE X:XXX
OVERALL SECTION REFERENCE	1 A0.00
DETAIL SECTION REFERENCE	1 A0.00
ELEV DWG REFERENCE	1 A0.00
DETAIL REFERENCE	1 A0.00
GRID LINE	1
ELEVATION MARKER SECTION	00.000 LEVEL 1
PLAN ELEVATION AT FINISH FLOOR	00.000
ROOM NUMBER	Room Name 00-000 00-000
BUILDING GRADE	00.000 T.O.W. 00.000 T.O.W. NEW DESIGN GRADE EXISTING BLDG GRADE
INTERIOR ELEVATION DETAIL REFERENCE	4 A0.00 3
NOTES	1
WALL TYPE	W0.0 W0.0 W0.0 W0.0
CURTAIN PANEL FINISH / TYPE (Sections)	W1 GL1 W1 GL1 W1 GL1 W1 GL1
CURTAIN PANEL FINISH / TYPE (Elevations)	W1 GL1 W1 GL1
REVISION NUMBER	1
HEIGHT NUMBER	375 TOC
NORTH ARROW	45.00°
EQUIPMENT TAG	1
MATERIAL TAG	1

- A0 GENERAL INFORMATION**
- A0.00 COVER
 - A0.01 CONTEXT PLAN & DRAWING LIST
 - A0.02 PROJECT DATA - SUMMARY & AREAS
 - A0.03 PROJECT DATA - PARKING
 - A0.04 SITE PLAN
- A1 FLOOR PLANS**
- A1.01 Parking Level P3 Plan
 - A1.02 Parking Level P2 Plan
 - A1.03 Parking Level P1 Plan
 - A1.04 Parking Level P0 Plan
 - A1.05 Level 1 Plan
 - A1.06 Level 1 Upper
 - A1.07 Level 2 Plan
 - A1.08 Level 3 Plan
 - A1.09 Level 4 Plan
 - A1.10 Level 5 Plan
 - A1.11 Level 6 Plan
 - A1.12 Level 7 Plan
 - A1.13 Level 8-10 Plan
 - A1.14 Level 11 Plan
 - A1.15 Level 12-16 Plan
 - A1.16 Level 17-27 Plan
 - A1.17 Level 28 Plan
 - A1.18 Level 29 Amenity Floor Plan
 - A1.19 Level 30 Plan
 - A1.20 Level 31 Plan
 - A1.21 Roof Plan & View Cone
- A2 BUILDING SECTIONS**
- A2.01 SECTION A-A'
 - A2.02 SECTION B-B'
 - A2.03 SECTIONS C-C' & D-D'

- A3 ELEVATIONS**
- A3.01 North Elevation (Robson Street)
 - A3.02 South Elevation (Rosemary Brown Lane)
 - A3.03 East Elevation (Jervis Street)
 - A3.04 West Elevation (neighbour)

- FSR AREA OVERLAYS**
- FSR.00 FSR AREA OVERLAYS
 - FSR.01 Level P3 FSR Area Overlay
 - FSR.02 Level P2 FSR Area Overlay
 - FSR.03 Level P1 FSR Area Overlay
 - FSR.04 Level P0 FSR Area Overlay
 - FSR.05 Level 1 FSR Area Overlay
 - FSR.06 Level 1M FSR Area Overlay
 - FSR.07 Level 2 FSR Area Overlay
 - FSR.08 Level 3 FSR Area Overlay
 - FSR.09 Level 4 FSR Area Overlay
 - FSR.10 Level 5 FSR Area Overlay
 - FSR.11 Level 6 FSR Area Overlay
 - FSR.12 Level 7 FSR Area Overlay
 - FSR.13 Levels 8-10 FSR Area Overlay
 - FSR.14 Level 11 FSR Area Overlay
 - FSR.15 Levels 12-16 FSR Area Overlay
 - FSR.16 Levels 17-27 FSR Area Overlay
 - FSR.17 Level 28 FSR Area Overlay
 - FSR.18 Level 29 FSR Area Overlay
 - FSR.19 Level 30 FSR Area Overlay
 - FSR.20 Level 31 FSR Area Overlay
- Total Sheets: 54

2 **SYMBOLS**

1 **CONTEXT PLAN**
1:500

3 **DRAWING LIST**

Development Permit Application Dec 13, 2023

REVISION DESCRIPTION REVISION DATE

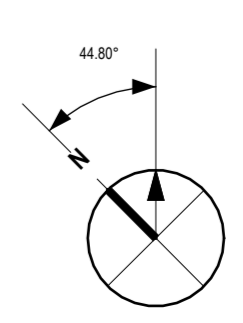


Henriquez Partners Architects
598 W Georgia Street
Vancouver BC V6B 2A3 T 604.687.5681

1300 Robson: Hotel & Rental Apartments
1300 Robson Street, Vancouver, BC

CONTEXT PLAN & DRAWING LIST

DATE: 2003
JOB NO: 2003
SCALE: As indicated
CHECKED: Checker



A0.01

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Summary of Hotel Room Areas - by Level

Level	< 340 ft ²	340-400 ft ²	400-500 ft ²	> 500 ft ²
LEVEL 02	0	13	0	0
LEVEL 03	0	30	0	2
LEVEL 04	0	30	4	0
LEVEL 05	0	14	4	0
LEVEL 06	0	16	8	1
LEVEL 07	0	6	0	4
LEVEL 08	4	10	0	0
LEVEL 09	4	10	0	0
LEVEL 10	4	10	0	0
174	12	139	16	7

5 ACCESSIBLE ROOMS IN TERMS OF 3.2.8.2.(2)
(1 IN EVERY 40 ROOMS)

Residential Unit Count

Level	Junior	Studio	1 Bedroom	2 Bedroom	3 Bedroom	Total
LEVEL 28	0	0	0	3	2	5
LEVEL 27	1	1	3	2	0	7
LEVEL 26	1	1	3	2	0	7
LEVEL 25	1	1	3	2	0	7
LEVEL 24	1	1	3	2	0	7
LEVEL 23	1	1	3	2	0	7
LEVEL 22	1	1	3	2	0	7
LEVEL 21	1	1	3	2	0	7
LEVEL 20	1	1	3	2	0	7
LEVEL 19	1	1	3	2	0	7
LEVEL 18	1	1	3	2	0	7
LEVEL 17	1	1	3	2	0	7
LEVEL 16	1	0	5	1	0	7
LEVEL 15	1	0	5	1	0	7
LEVEL 14	1	0	5	1	0	7
LEVEL 13	1	0	5	1	0	7
LEVEL 12	1	0	5	1	0	7
LEVEL 11	0	6	3	0	0	9
Total	16	17	61	30	2	126
Percentage	12.7%	13.5%	48.4%	23.8%	1.6%	

Family Units: 25.4%

LAYOUT 4, LEVEL 11 ONLY
SEE DRAWING A1.14

LAYOUT 3, LEVELS 17 TO 27
11 LEVELS
SEE DRAWING A1.15

LAYOUT 2, LEVELS 12 TO 16
5 LEVELS
SEE DRAWING A1.15

LAYOUT 1, LEVEL 11 ONLY
SEE DRAWING A1.14

Project Data Summary

STREET ADDRESS	1300 Robson St, Vancouver, BC		
LEGAL DESCRIPTION	Lot C, Block 32, District Lot 185, GP, 1, NWD, Plan 20458		
ZONING	C6		
SITE AREA	m ²	ft ²	
	2,282.29	24,566.37	
FSR	Permitted	Proposed	
All Uses Combined	9.63	9.62	
FSR AREA Summary	m ²	ft ²	
All Uses Combined	21,961.14	236,387.74	
Interior FSR Area Summary	m ²	ft ²	
Hotel	11,915.13	128,253.38	
Market Rental	9,485.50	102,101.10	
Food & Beverage	560.51	6,033.27	
Total Interior Area	21,961.14	236,387.74	
BALCONY AREA	m ²	ft ²	%
	891.30	9,593.87	7.48
BUILDING HEIGHT	Permitted	Proposed	Elevation
	91.4 m	< 91.4 m	128.630 m
			Storeys
			31

BUILDING AREAS (m²)

Level	FSR Building Area									Exclusions					Gross Floor Area		Rental Area	
	Hotel			Rental			F & B	Shared	Total FSR [C]	Rental Storage [D]	Rental Amenity	Shared Amenity	Below Grade [E]	Total Exclusions [F]	Total [G] [C + F]	Above Grade [G - E]	Leasable [A+D]	Gross [B+D]
	Room	Common	Total	Unit [A]	Common	Total [B]												
LEVEL 31	0.00	0.00	0.00	0.00	55.56	55.56	0.00	0.00	55.56	0.00	0.00	0.00	0.00	0.00	55.56	55.56	0.00	55.56
LEVEL 30	0.00	0.00	0.00	0.00	102.19	102.19	0.00	0.00	102.19	0.00	0.00	0.00	0.00	0.00	102.19	102.19	0.00	102.19
LEVEL 29	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	341.92	0.00	0.00	341.92	341.92	341.92	0.00	0.00
LEVEL 28	0.00	0.00	0.00	395.51	102.13	497.64	0.00	0.00	497.64	12.87	0.00	0.00	0.00	12.87	510.51	510.51	408.38	510.51
LEVEL 27	0.00	0.00	0.00	386.31	104.09	490.40	0.00	0.00	490.40	20.11	0.00	0.00	0.00	20.11	510.51	510.51	406.42	510.51
LEVEL 26	0.00	0.00	0.00	386.31	104.09	490.40	0.00	0.00	490.40	20.11	0.00	0.00	0.00	20.11	510.51	510.51	406.42	510.51
LEVEL 25	0.00	0.00	0.00	386.31	104.09	490.40	0.00	0.00	490.40	20.11	0.00	0.00	0.00	20.11	510.51	510.51	406.42	510.51
LEVEL 24	0.00	0.00	0.00	386.31	104.09	490.40	0.00	0.00	490.40	20.11	0.00	0.00	0.00	20.11	510.51	510.51	406.42	510.51
LEVEL 23	0.00	0.00	0.00	386.31	104.09	490.40	0.00	0.00	490.40	20.11	0.00	0.00	0.00	20.11	510.51	510.51	406.42	510.51
LEVEL 22	0.00	0.00	0.00	386.31	104.09	490.40	0.00	0.00	490.40	20.11	0.00	0.00	0.00	20.11	510.51	510.51	406.42	510.51
LEVEL 21	0.00	0.00	0.00	386.31	104.09	490.40	0.00	0.00	490.40	20.11	0.00	0.00	0.00	20.11	510.51	510.51	406.42	510.51
LEVEL 20	0.00	0.00	0.00	386.31	104.09	490.40	0.00	0.00	490.40	20.11	0.00	0.00	0.00	20.11	510.51	510.51	406.42	510.51
LEVEL 19	0.00	0.00	0.00	386.31	104.09	490.40	0.00	0.00	490.40	20.11	0.00	0.00	0.00	20.11	510.51	510.51	406.42	510.51
LEVEL 18	0.00	0.00	0.00	386.31	104.09	490.40	0.00	0.00	490.40	20.11	0.00	0.00	0.00	20.11	510.51	510.51	406.42	510.51
LEVEL 17	0.00	0.00	0.00	386.31	104.09	490.40	0.00	0.00	490.40	20.11	0.00	0.00	0.00	20.11	510.51	510.51	406.42	510.51
LEVEL 16	0.00	0.00	0.00	390.92	104.89	495.81	0.00	0.00	495.81	14.70	0.00	0.00	0.00	14.70	510.51	510.51	405.62	510.51
LEVEL 15	0.00	0.00	0.00	390.92	104.89	495.81	0.00	0.00	495.81	14.70	0.00	0.00	0.00	14.70	510.51	510.51	405.62	510.51
LEVEL 14	0.00	0.00	0.00	390.92	104.89	495.81	0.00	0.00	495.81	14.70	0.00	0.00	0.00	14.70	510.51	510.51	405.62	510.51
LEVEL 13	0.00	0.00	0.00	390.92	104.89	495.81	0.00	0.00	495.81	14.70	0.00	0.00	0.00	14.70	510.51	510.51	405.62	510.51
LEVEL 12	0.00	0.00	0.00	390.92	104.89	495.81	0.00	0.00	495.81	14.70	0.00	0.00	0.00	14.70	510.51	510.51	405.62	510.51
LEVEL 11	0.00	0.00	0.00	375.80	107.65	483.45	0.00	0.00	483.45	5.23	0.00	0.00	0.00	5.23	488.69	488.69	381.04	488.69
LEVEL 10	523.29	142.61	665.90	0.00	16.22	16.22	0.00	25.82	707.94	0.00	0.00	0.00	0.00	0.00	707.94	707.94	0.00	16.22
LEVEL 09	523.36	141.87	665.22	0.00	16.22	16.22	0.00	26.50	707.94	0.00	0.00	0.00	0.00	0.00	707.94	707.94	0.00	16.22
LEVEL 08	523.36	141.87	665.22	0.00	16.22	16.22	0.00	26.50	707.94	0.00	0.00	0.00	0.00	0.00	707.94	707.94	0.00	16.22
LEVEL 07	525.83	165.68	691.51	0.00	16.22	16.22	0.00	26.50	734.23	0.00	0.00	0.00	0.00	0.00	734.23	734.23	0.00	16.22
LEVEL 06	1,053.81	370.08	1,423.89	0.00	16.22	16.22	0.00	26.50	1,466.61	0.00	0.00	0.00	0.00	0.00	1,466.61	1,466.61	0.00	16.22
LEVEL 05	732.23	328.78	1,061.01	0.00	16.22	16.22	0.00	25.82	1,103.05	0.00	0.00	312.06	0.00	312.06	1,415.11	1,415.11	0.00	16.22
LEVEL 04	1,326.75	595.65	1,922.40	0.00	16.22	16.22	0.00	25.82	1,964.44	0.00	0.00	0.00	0.00	0.00	1,964.44	1,964.44	0.00	16.22
LEVEL 03	1,238.55	455.35	1,693.90	0.00	16.22	16.22	0.00	25.82	1,735.94	0.00	0.00	0.00	0.00	0.00	1,735.94	1,735.94	0.00	16.22
LEVEL 02	487.19	1,120.53	1,607.72	0.00	16.22	16.22	0.00	25.82	1,649.76	0.00	0.00	0.00	10.13	10.13	1,659.89	1,649.76	0.00	16.22
LEVEL 1M	0.00	37.76	37.76	0.00	0.00	0.00	0.00	0.00	37.76	0.00	0.00	0.00	0.00	0.00	37.76	37.76	0.00	0.00
LEVEL 01	0.00	807.27	807.27	0.00	106.67	106.67	549.90	180.55	1,644.38	0.00	0.00	0.00	446.48	446.48	2,090.86	1,644.38	0.00	106.67
LEVEL P0	0.00	447.81	447.81	0.00	0.00	0.00	0.00	0.00	447.81	0.00	0.00	0.00	700.31	700.31	1,148.12	447.81	0.00	0.00
PARKING P1	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2,209.02	2,209.02	2,209.02	0.00	0.00	0.00
PARKING P2	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2,259.76	2,259.76	2,259.76	0.00	0.00	0.00
PARKING P3	0.00	0.00	0.00	0.00	41.12	41.12	0.00	0.00	41.12	0.00	0.00	0.00	1,581.74	1,581.74	1,622.86	41.12	0.00	41.12
Total (m²)	6,934.37	4,755.24	11,689.61	6,975.30	2,330.67	9,305.97	549.90	415.66	21,961.13	312.88	341.92	312.06	7,207.43	8,174.30	30,135.43	22,927.99	7,288.17	9,618.85
Total (ft²)	74,640.91	51,184.99	125,825.90	75,081.46	25,087.16	100,168.63	5,919.03	4,474.10	236,387.66	3,367.80	3,680.41	3,359.02	77,580.17	87,987.40	324,375.05	246,794.88	78,449.26	103,536.43

Average Unit Sizes - MARKET RENTAL (m²)

Type	Studio				Junior				1 Bedroom				2 Bedroom				3 Bedroom												
	NET USABLE AREA		GROSS AREA		NET USABLE AREA		GROSS AREA		NET USABLE AREA		GROSS AREA		NET USABLE AREA		GROSS AREA		NET USABLE AREA		GROSS AREA										
	Unit Area	# Units	Unit Area	Total Area	Unit Area	# Units	Unit Area	Total Area	Unit Area	# Units	Unit Area	Total Area	Unit Area	# Units	Unit Area	Total Area	Unit Area	# Units	Unit Area	Total Area									
A-1	34.13	1	34.13	38.49	38.49	B-1	41.44	5	207.22	46.64	233.19	C-1	46.65	1	46.65	51.88	51.88	D-1	69.82	5	349.11	77.15	385.75	E-1	78.41	1	78.41	85.89	85.89
A-2	34.02	1	34.02	37.93	37.93	B-2	40.36	11	443.92	44.97	494.71																		

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Loading Summary								
Loading Spaces								
Uses	Area	/ Units	Required			Proposed		
			Class A	Class B	Class C	Class A	Class B	Class C
Hotel	11,915.13 m ²	174	1	2	0	1	2	0
Market Rental	9,485.50 m ²	126	0	1	0	1	1	0
Food & Beverage	560.51 m ²		0	2	0	0	1	0
Total	21,961.14 m²		1	5	0	2	4	0
Loading By-law Requirements:								
Hotel:	By-law section 5.2.2: Class A: Minimum of 1 space for hotel with minimum of 150 sleeping, housekeeping or dwelling units up to a maximum of 249 units Class B: Minimum of 2 spaces for hotel with 75 units up to a maximum of 399 units Class C: No Requirement							
Office:	By-law section 5.2.7: Class A: At least 2 spaces for more than 7,500 m ² to 15,000 m ² , or at least 3 spaces for more than 15,000 m ² to 20,000 m ² Class B: At least 3 spaces for more than 10,000 m ² to 28,000 m ² , plus at least 1 additional space for any portion of each additional 15,000 m ² Class C: No Requirement							
CRU:	By-law section 5.2.5: Class A: No Requirement Class B: Minimum 1 space for the first 465 m ² of gross floor area, plus 1 space for any portion of the next 1,860 m ² , and 1 additional space for each additional 2,325 m ² Class C: At least 1 space for 2,000 m ² to 5,000 m ² , and at least 2 spaces for more than 5,000 m ²							

Passenger Loading Summary								
Passenger Loading Spaces								
Uses	Area	/ Units	Required			Proposed		
			Class A	Class B	Class C	Class A	Class B	Class C
Hotel	11,915.13 m ²	174	3	0	1	5	0	0
Market Rental	9,485.50 m ²	126	1	0	0	1	0	0
Food & Beverage	560.51 m ²		0	0	0	0	0	0
Total	21,961.14 m²		4	0	1	6	0	0
Passenger Loading By-law Requirements:								
Hotel:	By-law section 7.2.5.2: Class A: A minimum of one space for every 50 sleeping, house-keeping or Dwelling units up to a maximum of 200 units, and one additional space for each additional 75 units, except there shall be no requirement for hotel with less than 75 units; Class B: No Requirement; Class C: A minimum of one space for every 200 sleeping, house-keeping or dwelling unit up to a maximum of 400 units, and one additional space for each additional 300 units.							
Office:	By-law section 7.2.4: Class A: A minimum of one space for each 10,000sm of Gross floor Area; Class B: No Requirement; Class C: No Requirement							
CRU:	By-law section 7.2.5.1: Class A: A minimum of one space for each 4,000sm of gross floor area; Class B: No Requirements; Class C: No Requirement							

Bicycle Parking Count					
Class A Bicycle Spaces					
Level	Hotel	F & B	Residential	Shared	Total
LEVEL P0	8	3	223	6	240
TOTAL	8	3	223	6	240

Class A Bicycle Spaces Types						
Level	Horizontal Spaces	Vertical Spaces	Stacked	Lockers	Oversized	Total
LEVEL P0	134	42	24	28	12	240
TOTAL	134	42	24	28	12	240

Bicycle Parking Summary										
Bicycle Spaces										
Uses	Area	/ Units	Required		Required (TDM ACT-01)		Combined Base Bylaw + ACT-01 Requirement		Proposed TOTAL	
			Class A	Class B	Class A	Class B	Class A	Class B	Class A	Class B
Hotel	11,915.13 m ²	174	6	6	2	6	8	8	6	6
Market Rental	9,485.50 m ²	126	221	7	44	221	221	223	7	7
Food & Beverage	560.51 m ²		2	0	1	3	3	3	0	0
Shared*			n/a	n/a	n/a	n/a	n/a	6	0	0
Total	21,961.14 m²		229	13	47	232	240	240	13	13
Bicycle Spaces Types										
	Required		Proposed							
Horizontal Class A	n/a		Min.		134					
Vertical Class A	84		Max.		42					
Vertical & Stacked Combined	144		Max.		66					
Lockers	24		Min.		28					
Oversized	12		Min.		12					
Total	n/a		240							
Bicycle Parking By-law Requirements:										
Hotel:	By-law section 6.2.5.2: Class A: Minimum 1 space per 30 units; Class B: 6 spaces with at least 75 units									
CRU:	By-law section 6.2.5.1: Class A: Minimum 1 space per 340 m ² ; Class B: 6 for minimum of 1,000 m ²									
Office:	By-law section 6.2.4.1: Class A: Minimum 1 space per 170 m ² ; Class B: 6 for minimum of 2,000 m ²									
Bicycle space requirements:										
<ul style="list-style-type: none"> Normal - 0.6 x 1.8 - 6.3.9 Oversize (min 5%) - 0.9 x 2.4 - 6.3.9 Lockers (min 10%) - 0.6 x 1.8 - 6.3.13A Vertical (max 30%) - 0.6 x 1.0 - 6.3.13 Vertical and Stack combined (max 60%) - 2.0 x 0.62 for two - 6.3.13 Alisle: <ul style="list-style-type: none"> 1. 1.2m for most (0.9 if stall width is wider). 2. 1.5m for oversized. 3. Stack system depends on supplier but 1.6 to 2m is normal 										

Parking Count						
Parking Spaces						
Level	Hotel	F & B	Commercial Accessible	Residential	Visitor	Total
PARKING P2	42	0	3	16	0	61
PARKING P3	0	0	0	49	0	49
TOTAL	47	5	6 *	65 *	3	126
* Commercial Accessible stalls shared between Hotel and F&B, Residential Accessible included in Residential count						
Accessible Parking Spaces						
Level				Residential	Commercial	Total
	PARKING P1				0	3
PARKING P2				0	3	3
PARKING P3				5	0	5
TOTAL				5	6	11
Parking Space Types						
Level	Standard	Small Car	Accessible	Car Share	E. Vehicle	Total
PARKING P2	58	0	3	0	0	61
PARKING P3	44	0	5	0	0	49
TOTAL	115	0	11	0	0	126

Parking Summary						
Parking Spaces						
Uses	Area	Units	Required (Min.)	Permitted (Max.)	Proposed	
Market Rental Total	9,485.50 m ²	126	62 (Note2)	-	68	3
Market Rental Visitor			3	13		
Market Rental Accessible			5	-		5
Hotel	11,915.13 m ²	174	-	104	47	
Food & Beverage	560.51 m ²		-	5	5	
Non Residential Accessible(1)	m ²		6	-	6	
Total	21,961.14 m²		68	n/a	126	
Small Car Parking (included in Above)						
			0	0	0	
Accessible Parking (Included in above)						
Market Rental			5		5	
Non Residential (Hotel and F&B)			6 (Note1)		6 (Note1)	
Total	21,961.14 m²		11	n/a	11	
Note (1): 6 Accessible Stalls shared between Hotel and F&B (hotel restaurant)						
Note (2): 67 Stalls required including 3 Visitor and 5 Accessible, but as each Accessible stall counts as 2 stalls, the actual requirement is 62 stalls.						
Parking By-law Requirements:						
Small Cars:	By-law section 4.1.6: Maximum of 25% of total parking stalls					
Accessible Parking Non-residential:	By-law section 4.8.4(b): Minimum 1 space for first 500m ² plus 0.4 spaces for each additional 1000m ²					
Residential Requirements:	By-law section 4.4.3: Residential uses in West End and Robson North Permit Area should provide the lesser of (a) at least one parking space for each 140m ² of GFA, and (b) one parking					
Non Residential:	There is no minimum parking requirement for non-residential uses in Downtown except for accessible stalls					
Note:	Every first and tenth accessible space on every site must be at least van accessible					

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JOB TITLE

1300 Robson: Hotel & Rental Apartments
1300 Robson Street, Vancouver, BC

DRAWING TITLE

PROJECT DATA - PARKING

DATE: 2003
JOB NO: 2003
SCALE: CHECKED
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A0.03



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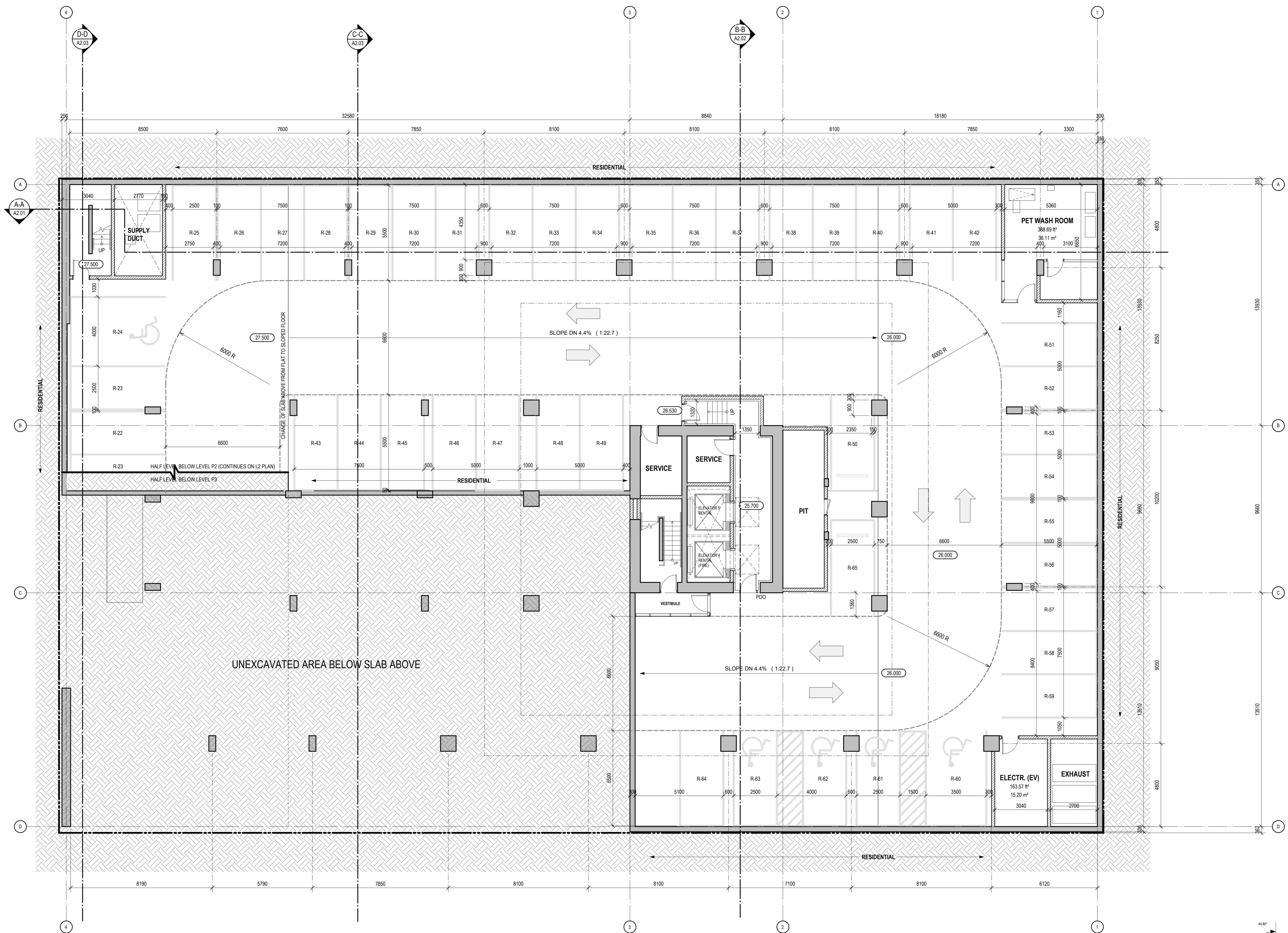
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DRAWING TITLE
SITE PLAN

DATE: 2003
JOB NO: 2003
SCALE: 1 : 200
CHECKED: Checker

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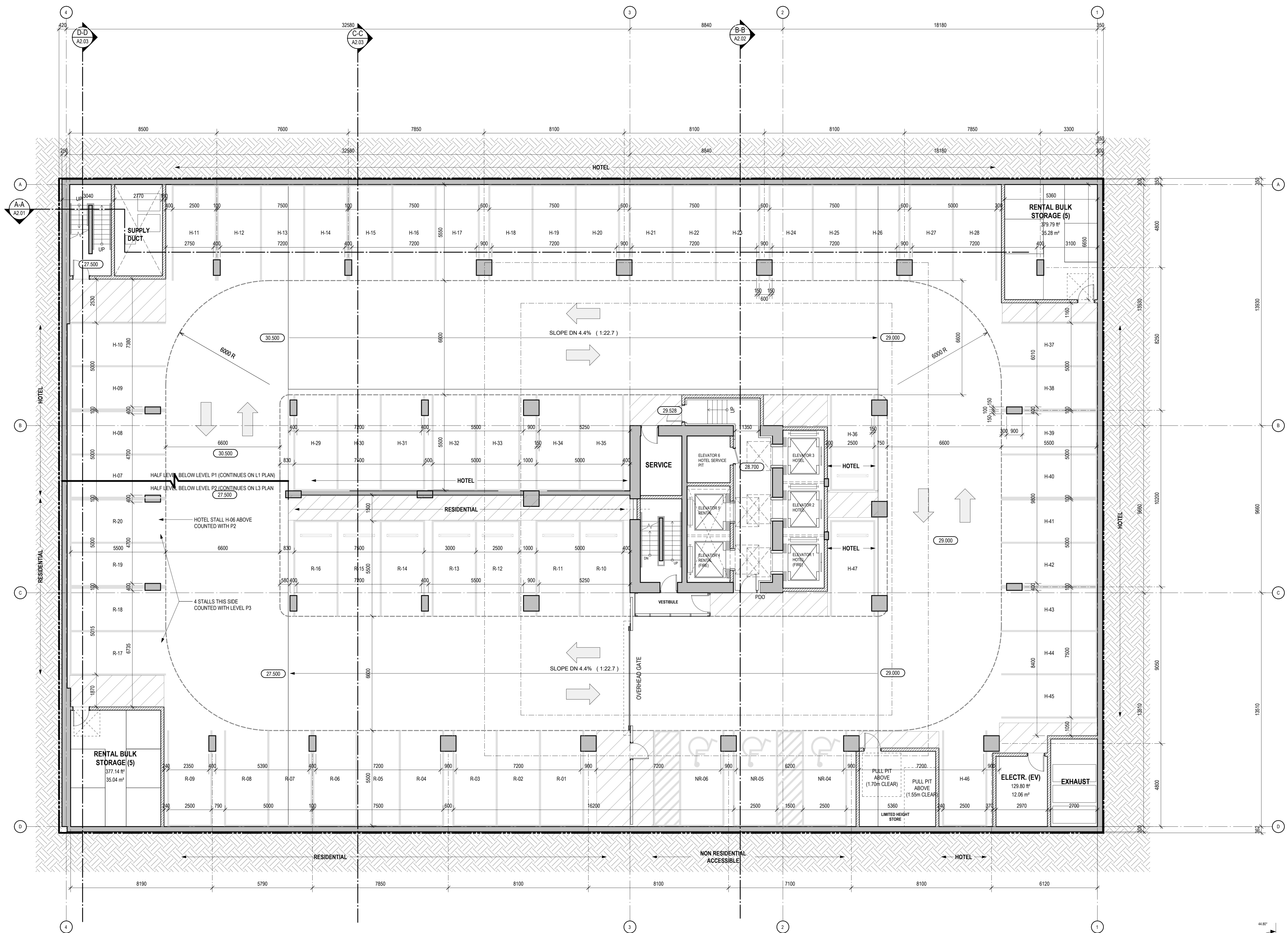
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JOB TITLE
1300 Robson: Hotel & Rental Apartments
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DRAWING TITLE
Parking Level P3 Plan

DATE: 2003
SCALE: 1:100
JOB NO: 2003
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A1.01



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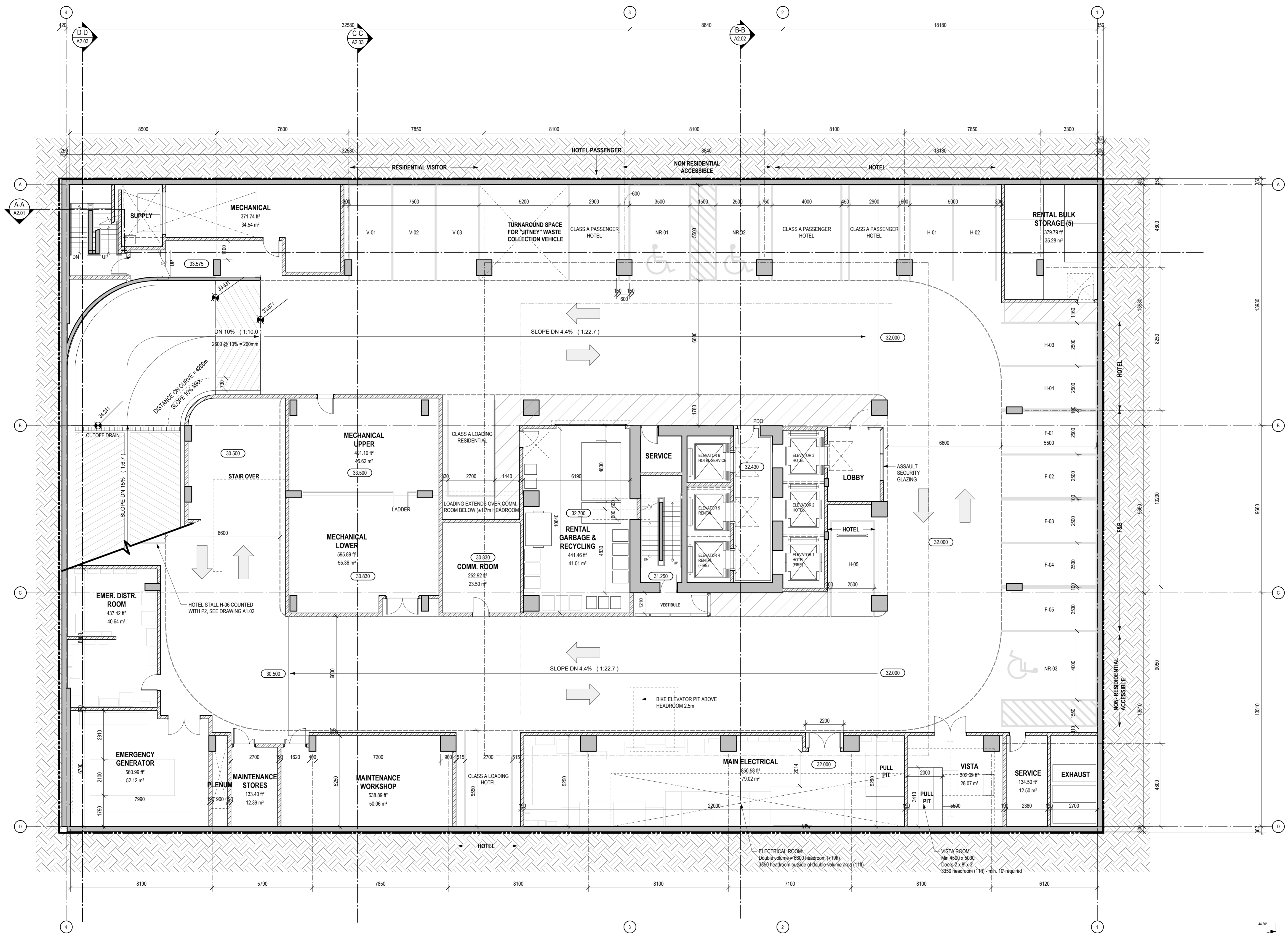
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1300 Robson Street, Vancouver, BC

Parking Level P2 Plan

DATE: 2003
SCALE: 1:100
JOB NO: 2003
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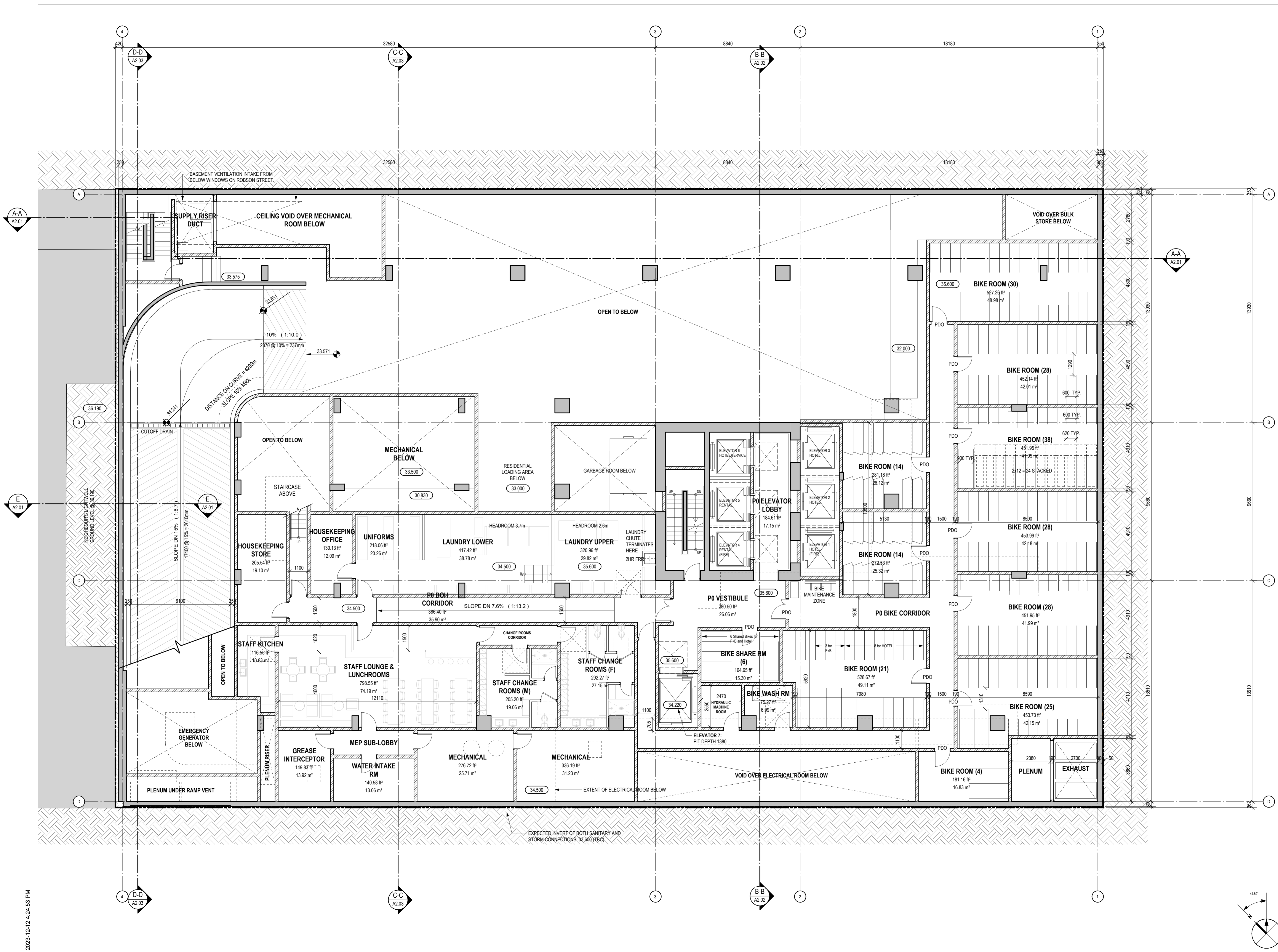
1300 Robson: Hotel & Rental Apartments
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DRAWING TITLE

Parking Level P1 Plan

DATE: 2003
SCALE: 1:100
JOB NO: 2003
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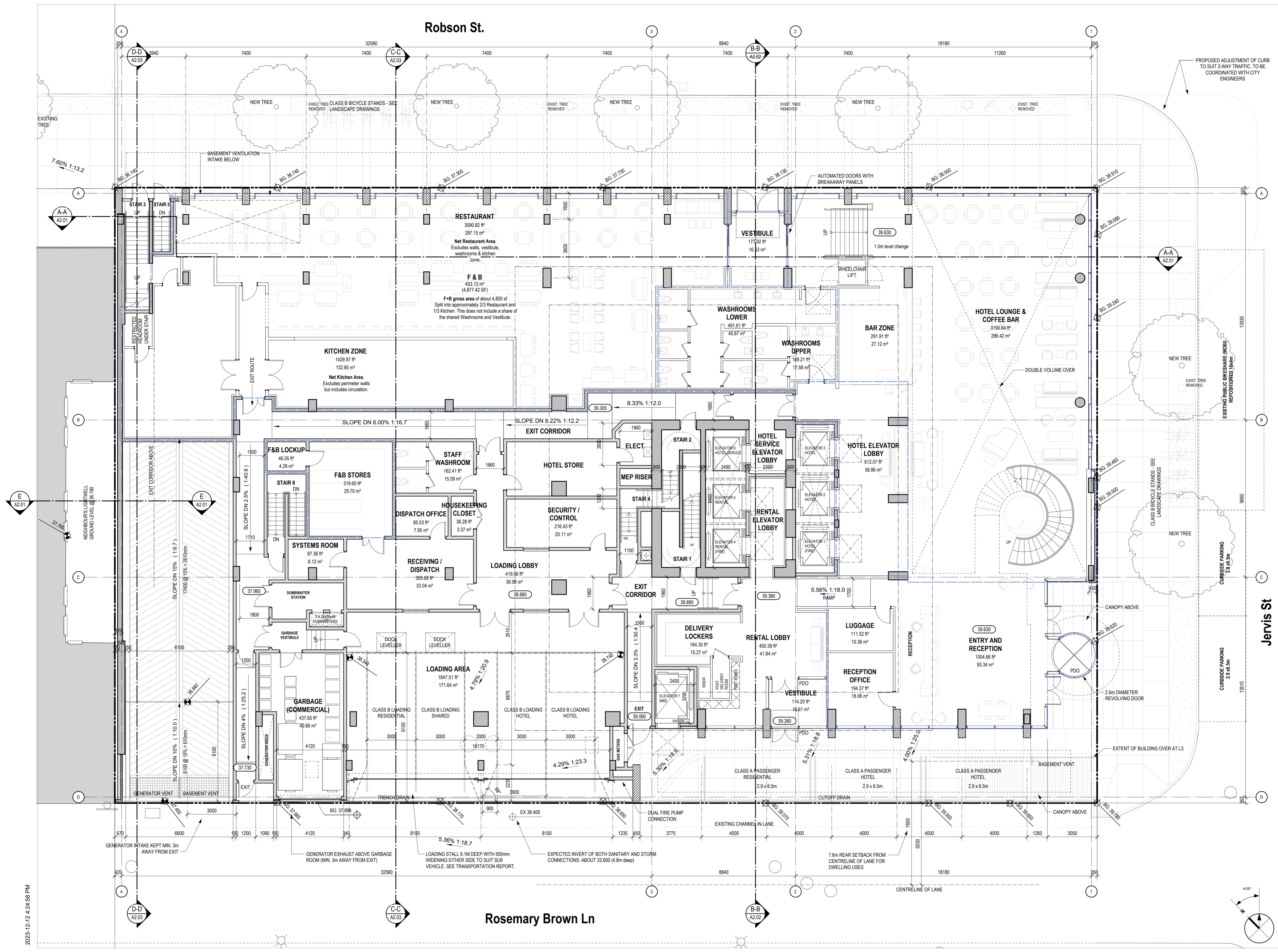
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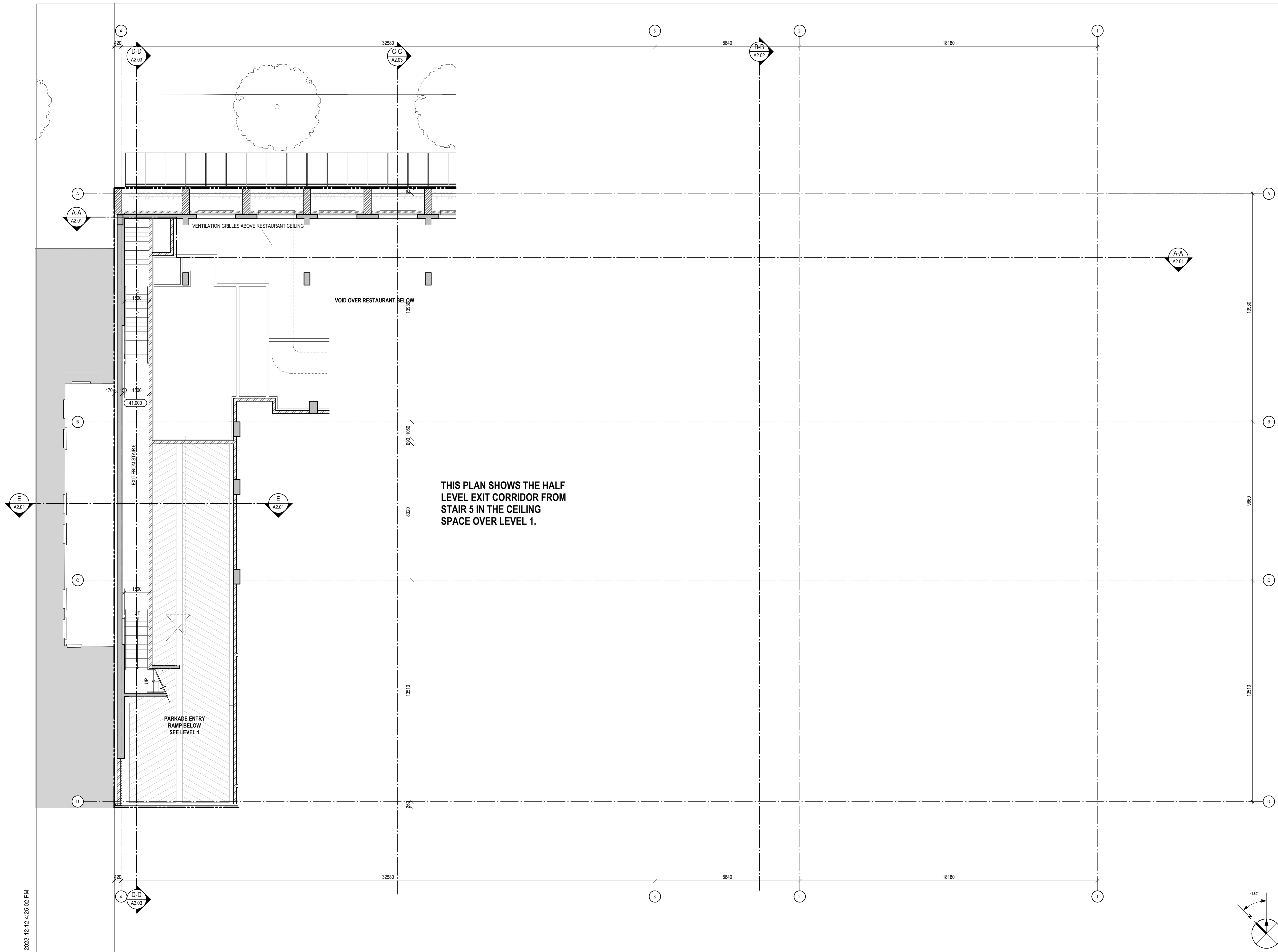
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A1.04



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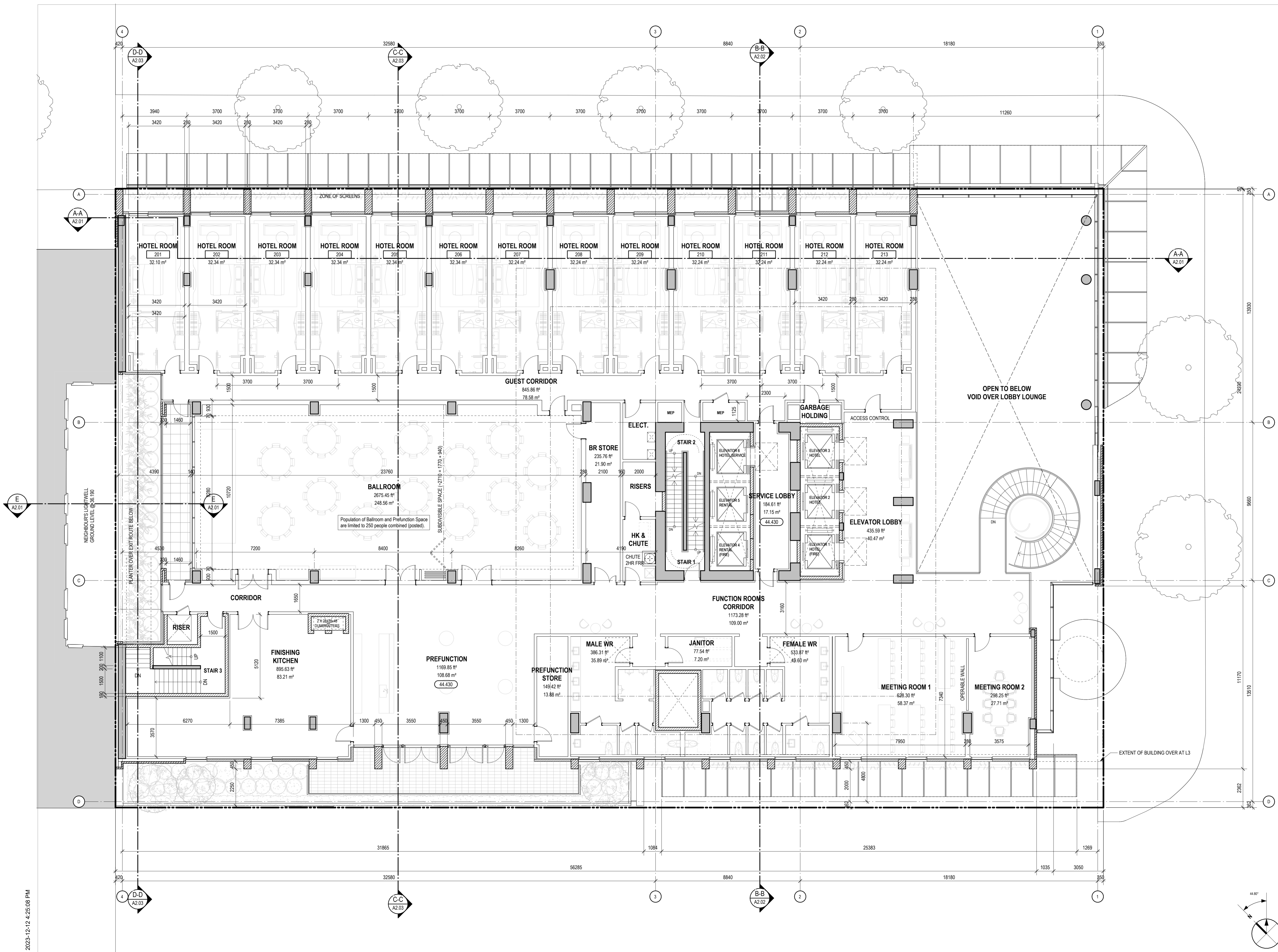
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JOB TITLE
1300 Robson: Hotel & Rental Apartments
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DRAWING TITLE
Level 1 Upper

DATE	JOB NO.
SCALE	CHECKED
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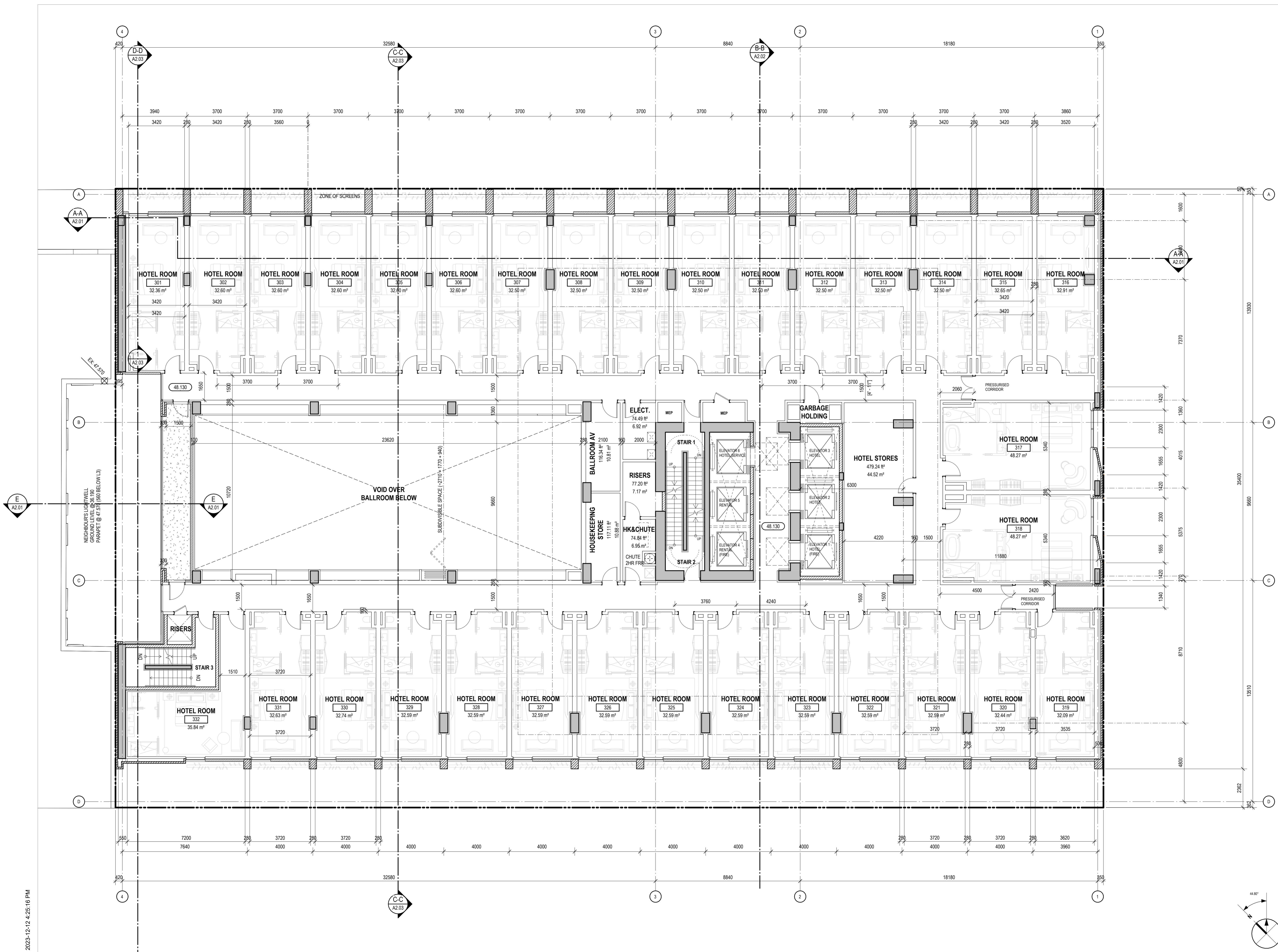
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JOB TITLE
1300 Robson: Hotel & Rental Apartments
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DRAWING TITLE
Level 2 Plan

DATE: 2003
SCALE: 1 : 100
JOB NO: 2003
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A1.07



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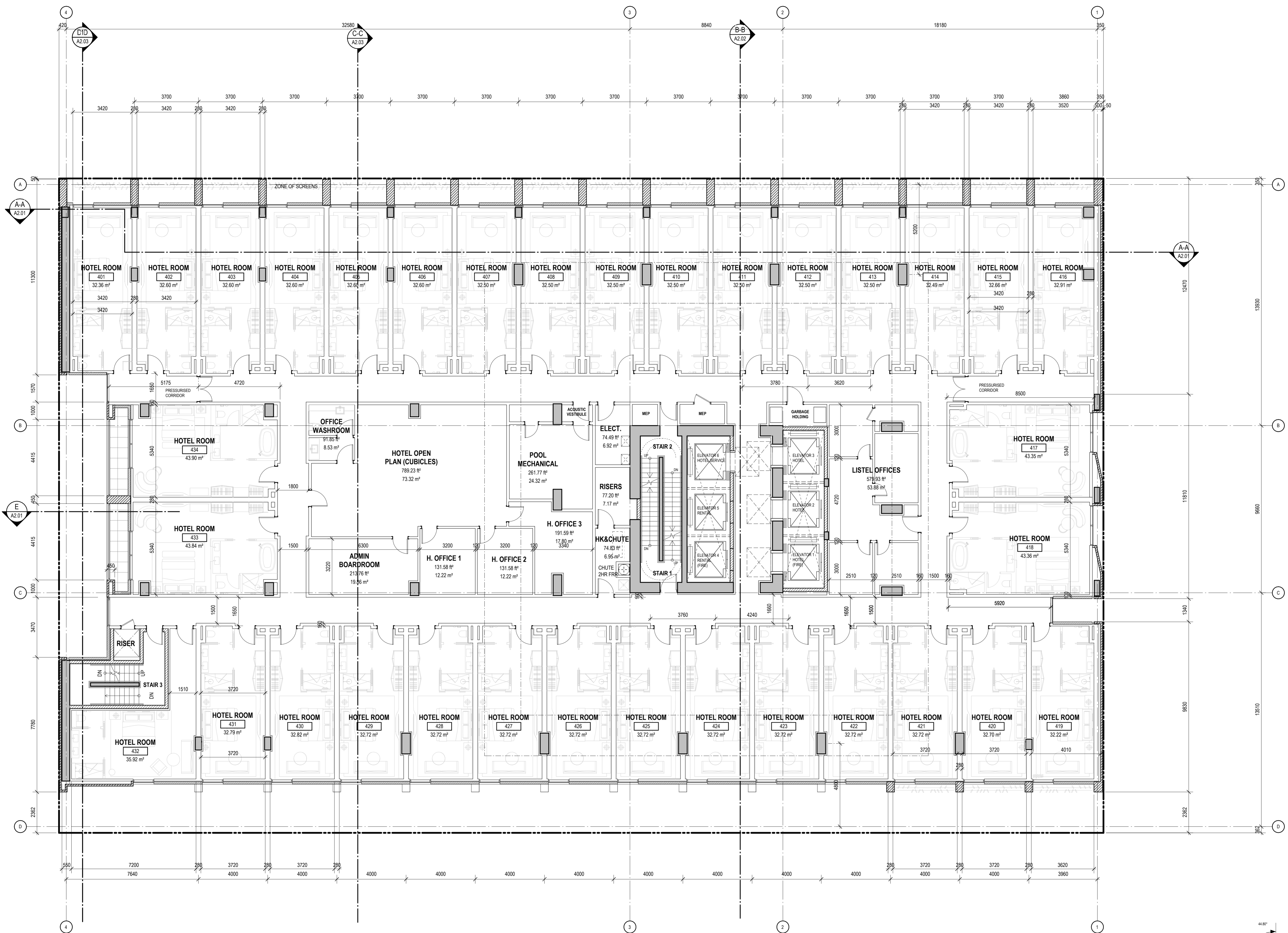
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1300 Robson: Hotel & Rental Apartments
1300 Robson Street, Vancouver, BC

DRAWING TITLE

Level 3 Plan

DATE JOB NO. 2003
SCALE 1 : 100 CHECKED Checker

A1.08



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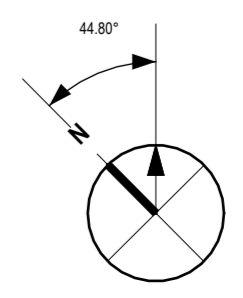
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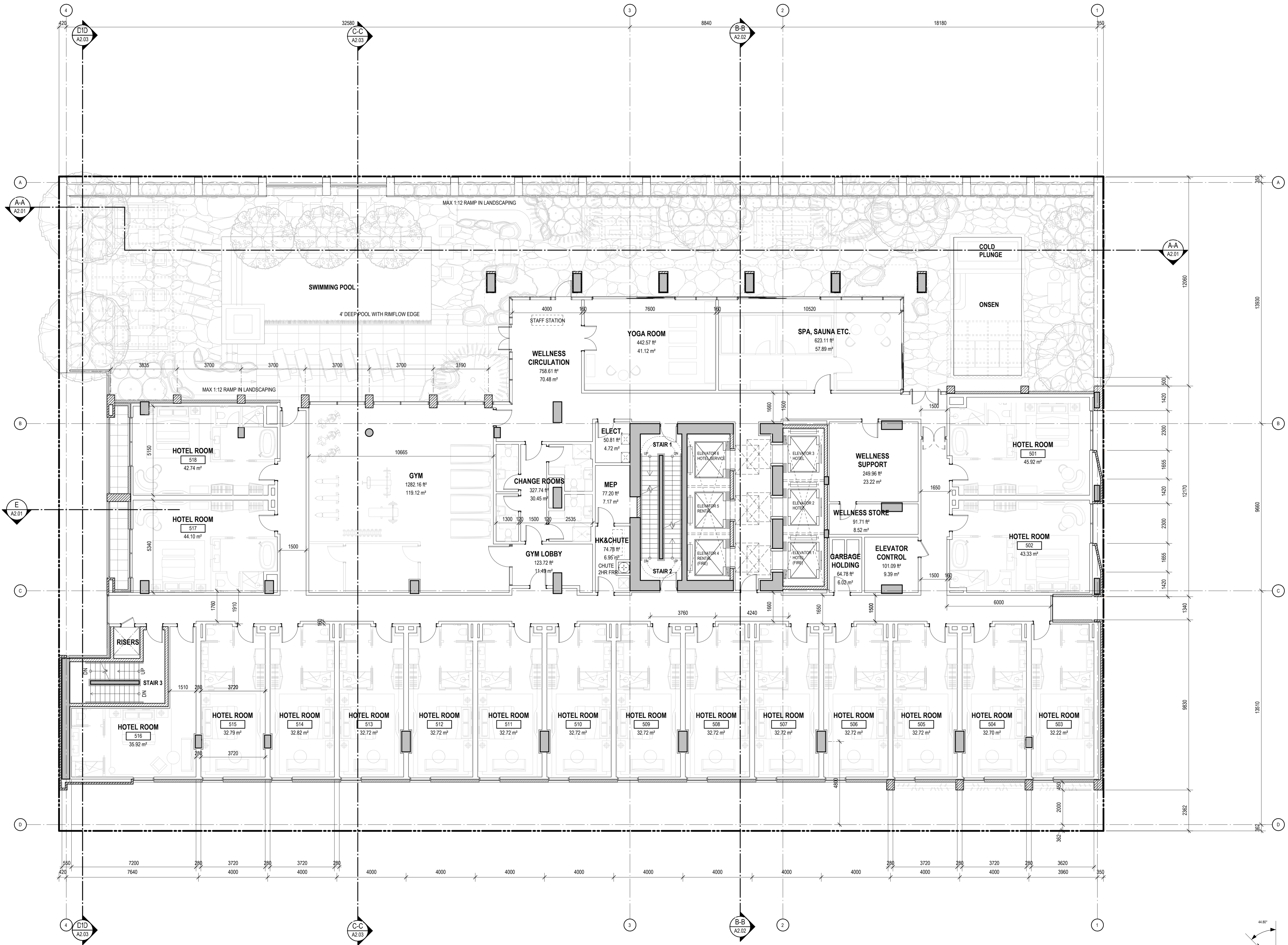
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REVISION DESCRIPTION REVISION DATE



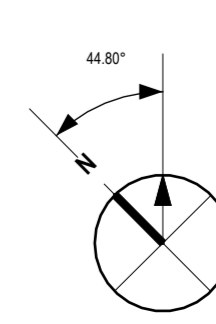
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JOB TITLE
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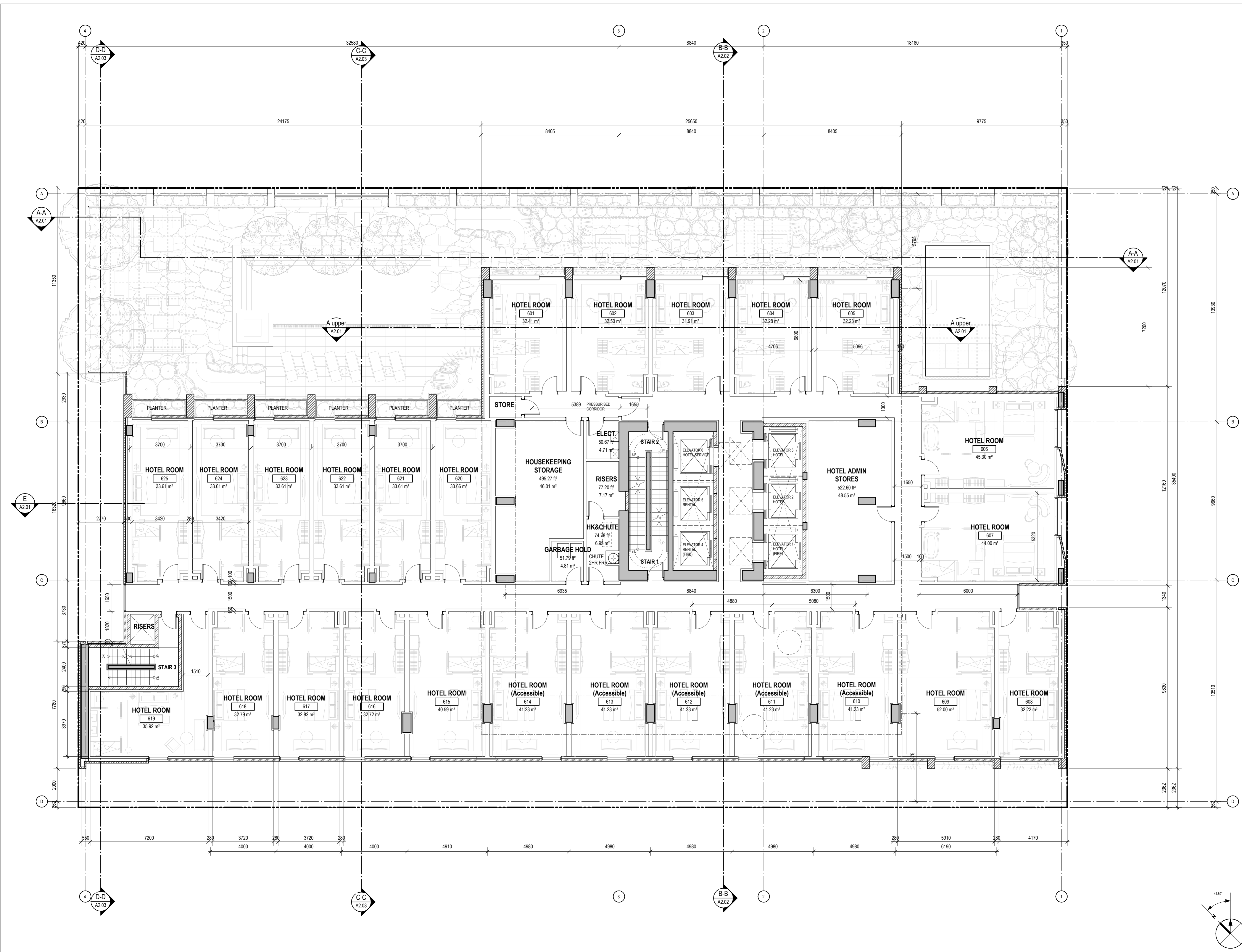
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Level 5 Plan

DATE: _____ JOB NO: 2003
SCALE: 1 : 100 CHECKED: _____ Checker



A1.10



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JOB TITLE
1300 Robson: Hotel & Rental Apartments
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DRAWING TITLE

Level 6 Plan

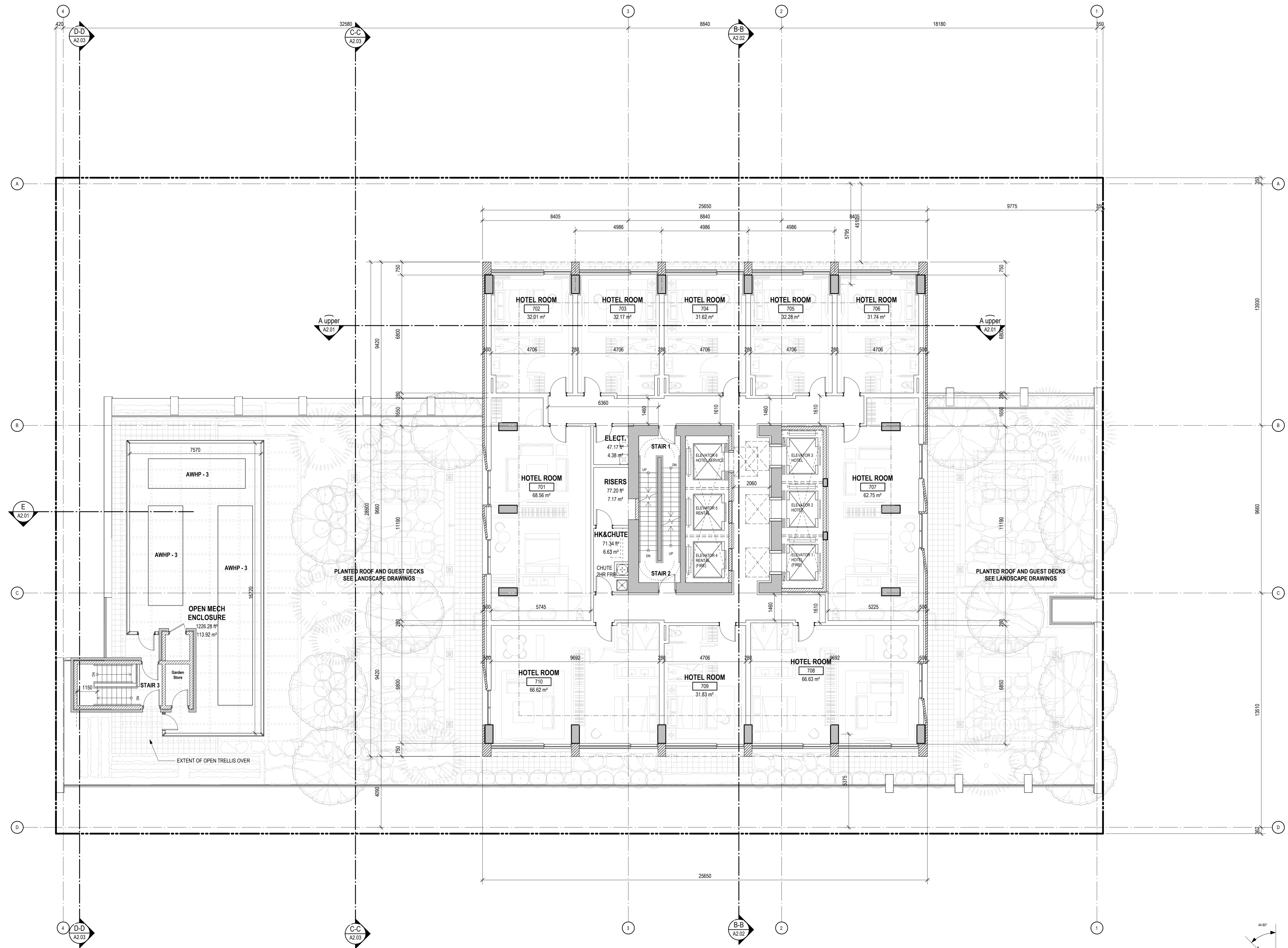
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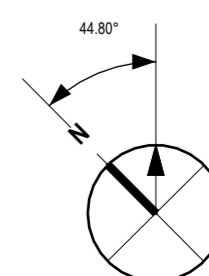
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1300 Robson: Hotel & Rental Apartments
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DRAWING TITLE

Level 7 Plan

DATE: _____ JOB NO: 2003
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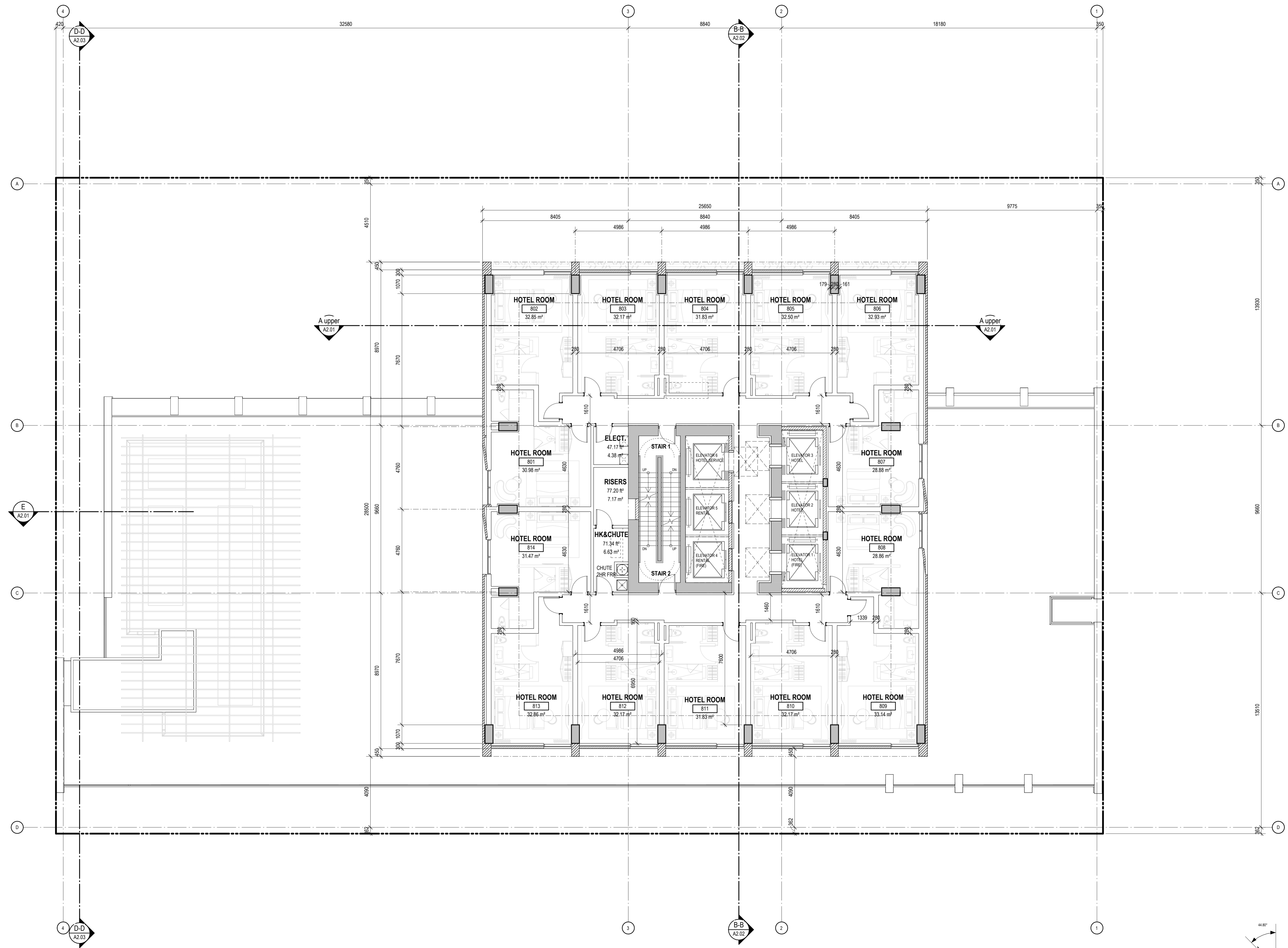


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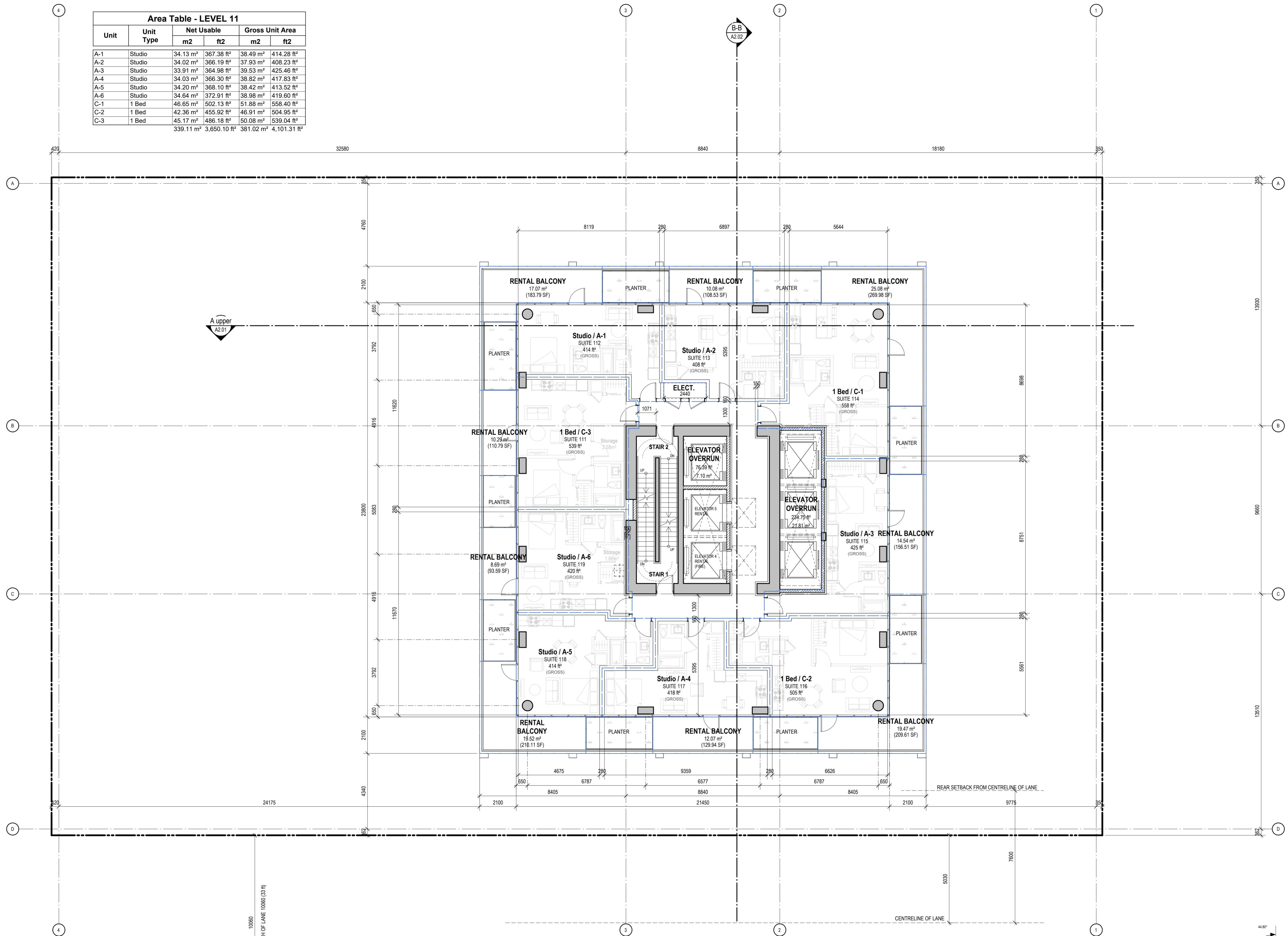
JOB TITLE
1300 Robson: Hotel & Rental Apartments
1300 Robson Street, Vancouver, BC

DRAWING TITLE
Level 8-10 Plan

DATE: 2003
SCALE: 1 : 100
JOB NO: 2003
CHECKED: Checker

A1.13

Area Table - LEVEL 11					
Unit	Unit Type	Net Usable		Gross Unit Area	
		m2	ft2	m2	ft2
A-1	Studio	34.13 m ²	367.38 ft ²	38.49 m ²	414.28 ft ²
A-2	Studio	34.02 m ²	366.19 ft ²	37.93 m ²	408.23 ft ²
A-3	Studio	33.91 m ²	364.98 ft ²	39.53 m ²	425.46 ft ²
A-4	Studio	34.03 m ²	366.30 ft ²	38.82 m ²	417.83 ft ²
A-5	Studio	34.20 m ²	368.10 ft ²	38.42 m ²	413.52 ft ²
A-6	Studio	34.64 m ²	372.91 ft ²	38.98 m ²	419.60 ft ²
C-1	1 Bed	46.65 m ²	502.13 ft ²	51.88 m ²	558.40 ft ²
C-2	1 Bed	42.36 m ²	455.92 ft ²	46.91 m ²	504.95 ft ²
C-3	1 Bed	45.17 m ²	486.18 ft ²	50.08 m ²	539.04 ft ²
		339.11 m ²	3,650.10 ft ²	381.02 m ²	4,101.31 ft ²



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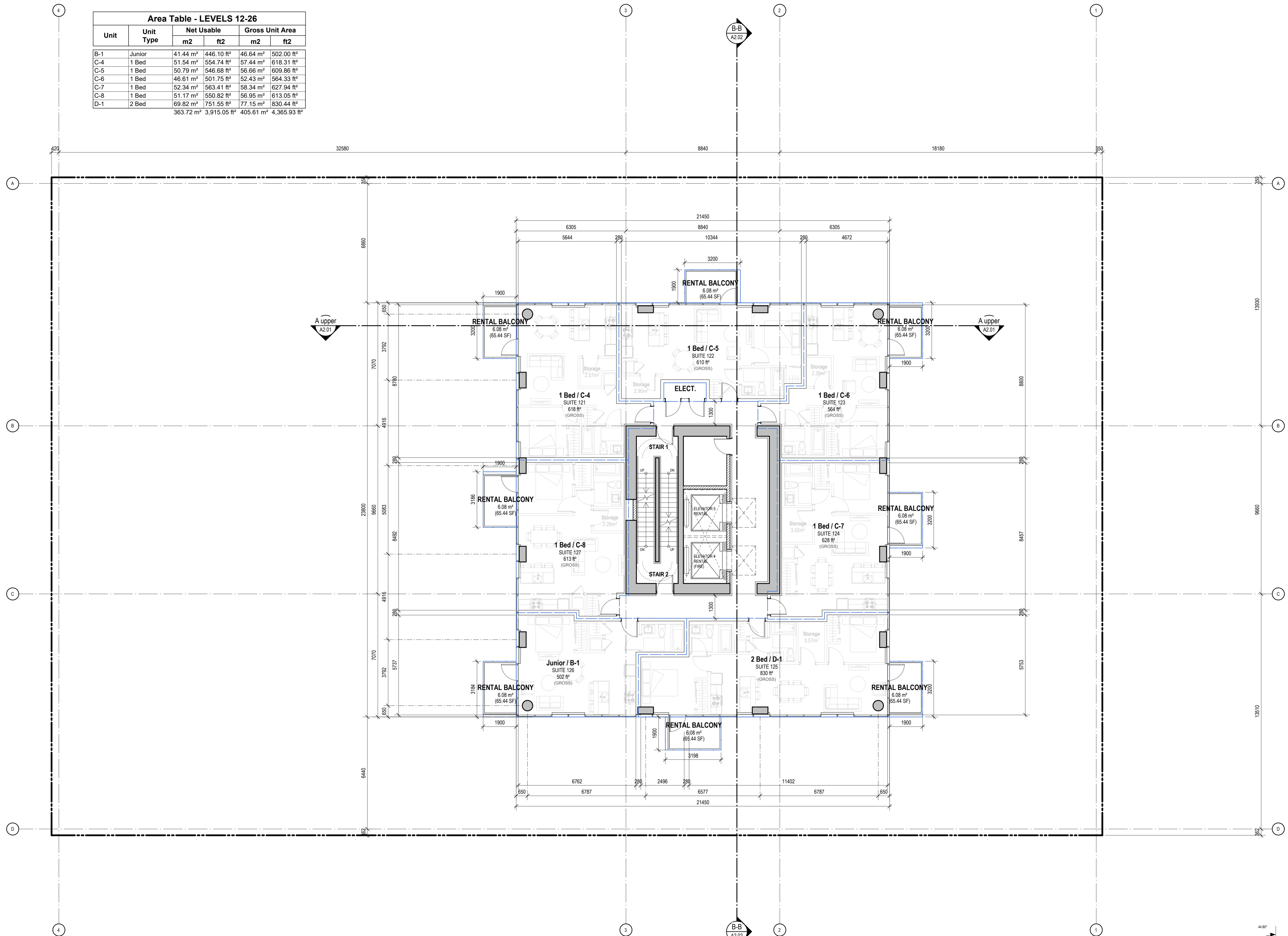
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Level 11 Plan

DATE: 2003
JOB NO: 2003
SCALE: 1 : 100
CHECKED: Checker

A1.14

Area Table - LEVELS 12-26					
Unit	Unit Type	Net Usable		Gross Unit Area	
		m2	ft2	m2	ft2
B-1	Junior	41.44 m ²	446.10 ft ²	46.64 m ²	502.00 ft ²
C-4	1 Bed	51.54 m ²	554.74 ft ²	57.44 m ²	618.31 ft ²
C-5	1 Bed	50.79 m ²	546.68 ft ²	56.66 m ²	609.86 ft ²
C-6	1 Bed	46.61 m ²	501.75 ft ²	52.43 m ²	564.33 ft ²
C-7	1 Bed	52.34 m ²	563.41 ft ²	58.34 m ²	627.94 ft ²
C-8	1 Bed	51.17 m ²	550.82 ft ²	56.95 m ²	613.05 ft ²
D-1	2 Bed	69.82 m ²	751.55 ft ²	77.15 m ²	830.44 ft ²
		363.72 m ²	3,915.05 ft ²	405.61 m ²	4,365.93 ft ²



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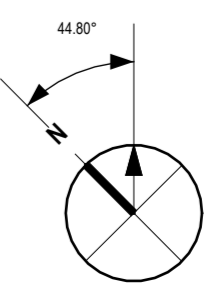
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JOB TITLE
1300 Robson: Hotel & Rental Apartments
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Level 12-16 Plan

DATE: 2003
SCALE: 1 : 100
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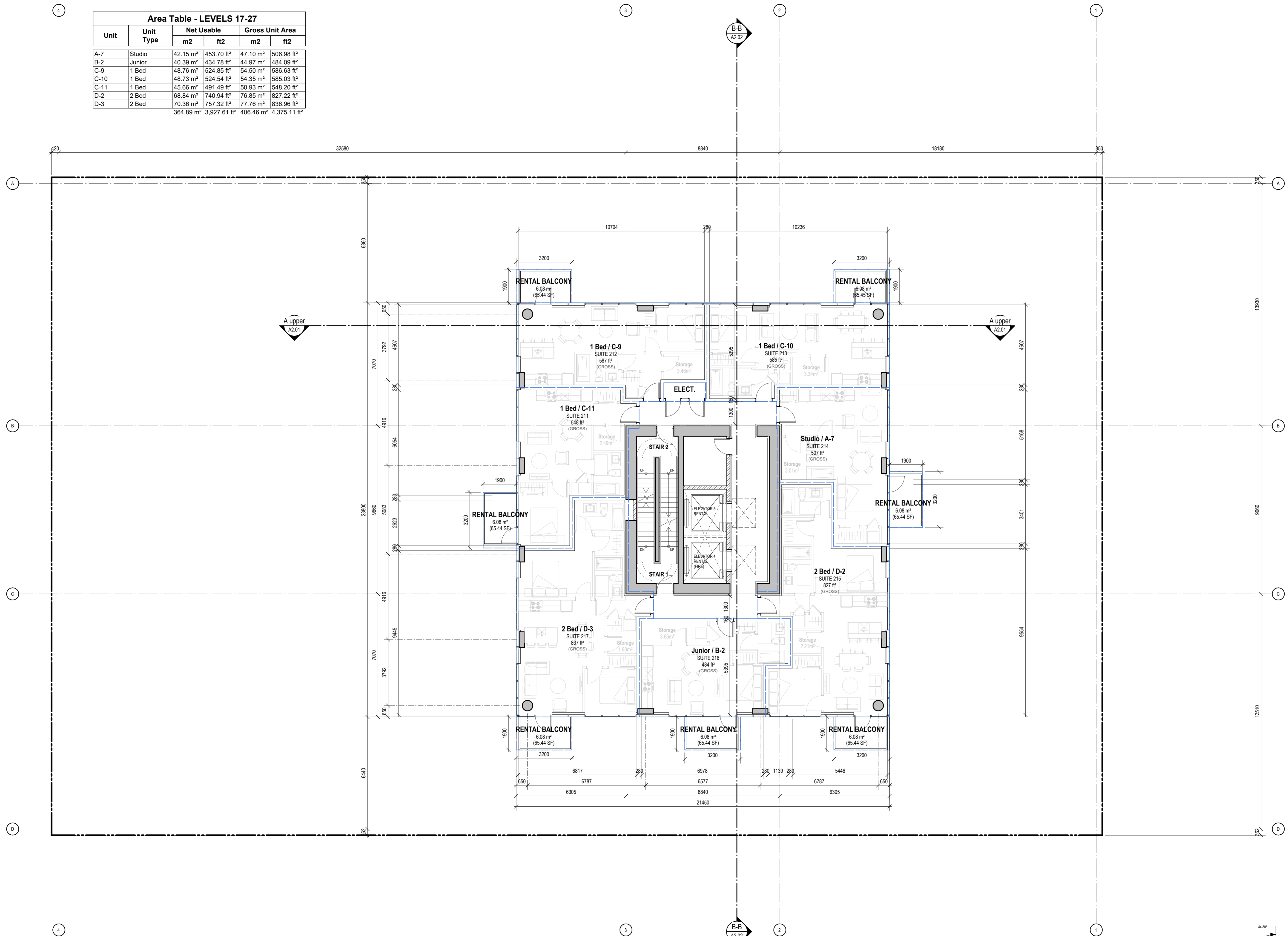
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Area Table - LEVELS 17-27					
Unit	Unit Type	Net Usable		Gross Unit Area	
		m2	ft2	m2	ft2
A-7	Studio	42.15 m ²	453.70 ft ²	47.10 m ²	506.98 ft ²
B-2	Junior	40.39 m ²	434.78 ft ²	44.97 m ²	484.09 ft ²
C-9	1 Bed	48.76 m ²	524.85 ft ²	54.50 m ²	586.63 ft ²
C-10	1 Bed	48.73 m ²	524.54 ft ²	54.35 m ²	585.03 ft ²
C-11	1 Bed	45.66 m ²	491.49 ft ²	50.93 m ²	548.20 ft ²
D-2	2 Bed	68.84 m ²	740.94 ft ²	76.85 m ²	827.22 ft ²
D-3	2 Bed	70.36 m ²	757.32 ft ²	77.76 m ²	836.96 ft ²
		364.89 m ²	3,927.61 ft ²	406.46 m ²	4,375.11 ft ²



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DRAWING TITLE
Level 17-27 Plan

DATE: JOB NO: 2003
SCALE: 1 : 100 CHECKED: Checker

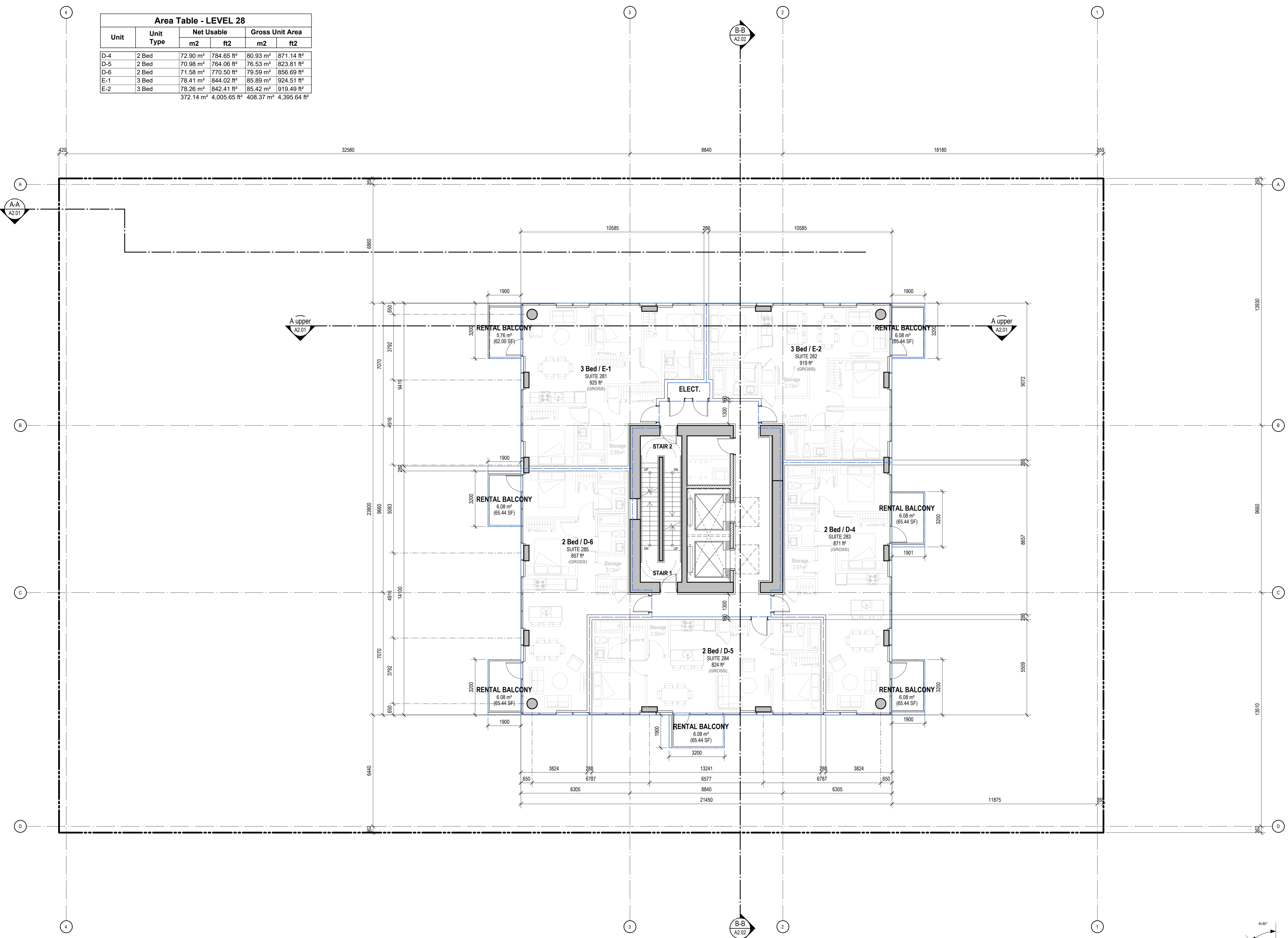
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Area Table - LEVEL 28					
Unit	Unit Type	Net Usable		Gross Unit Area	
		m2	ft2	m2	ft2
D-4	2 Bed	72.90 m ²	784.65 ft ²	80.93 m ²	871.14 ft ²
D-5	2 Bed	70.98 m ²	764.06 ft ²	76.53 m ²	823.81 ft ²
D-6	2 Bed	71.58 m ²	770.50 ft ²	79.59 m ²	856.69 ft ²
E-1	3 Bed	78.41 m ²	844.02 ft ²	85.89 m ²	924.51 ft ²
E-2	3 Bed	78.26 m ²	842.41 ft ²	85.42 m ²	919.49 ft ²
		372.14 m ²	4,005.65 ft ²	408.37 m ²	4,395.64 ft ²



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DRAWING TITLE

Level 28 Plan

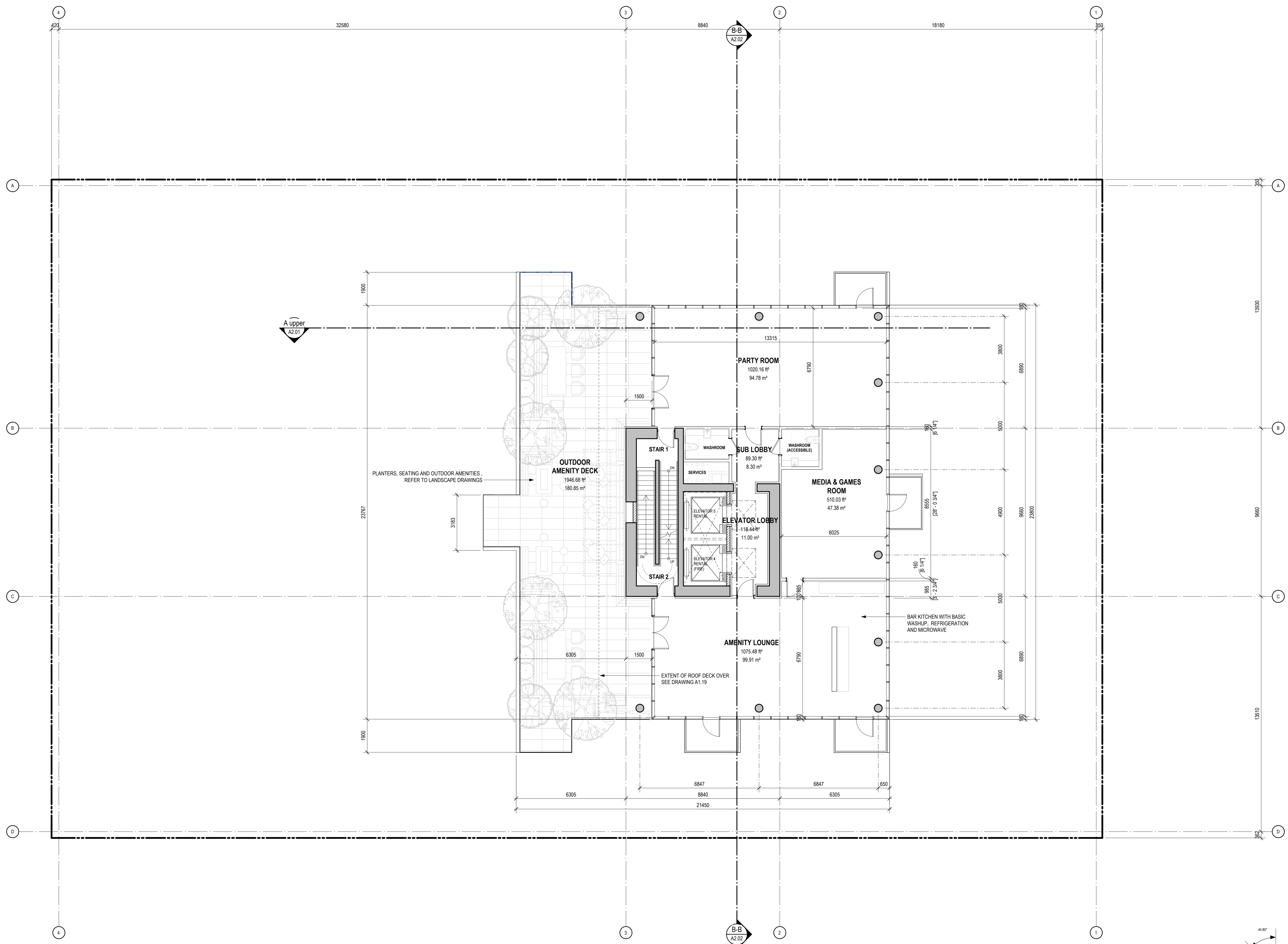
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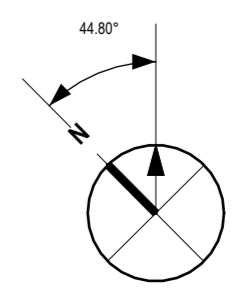


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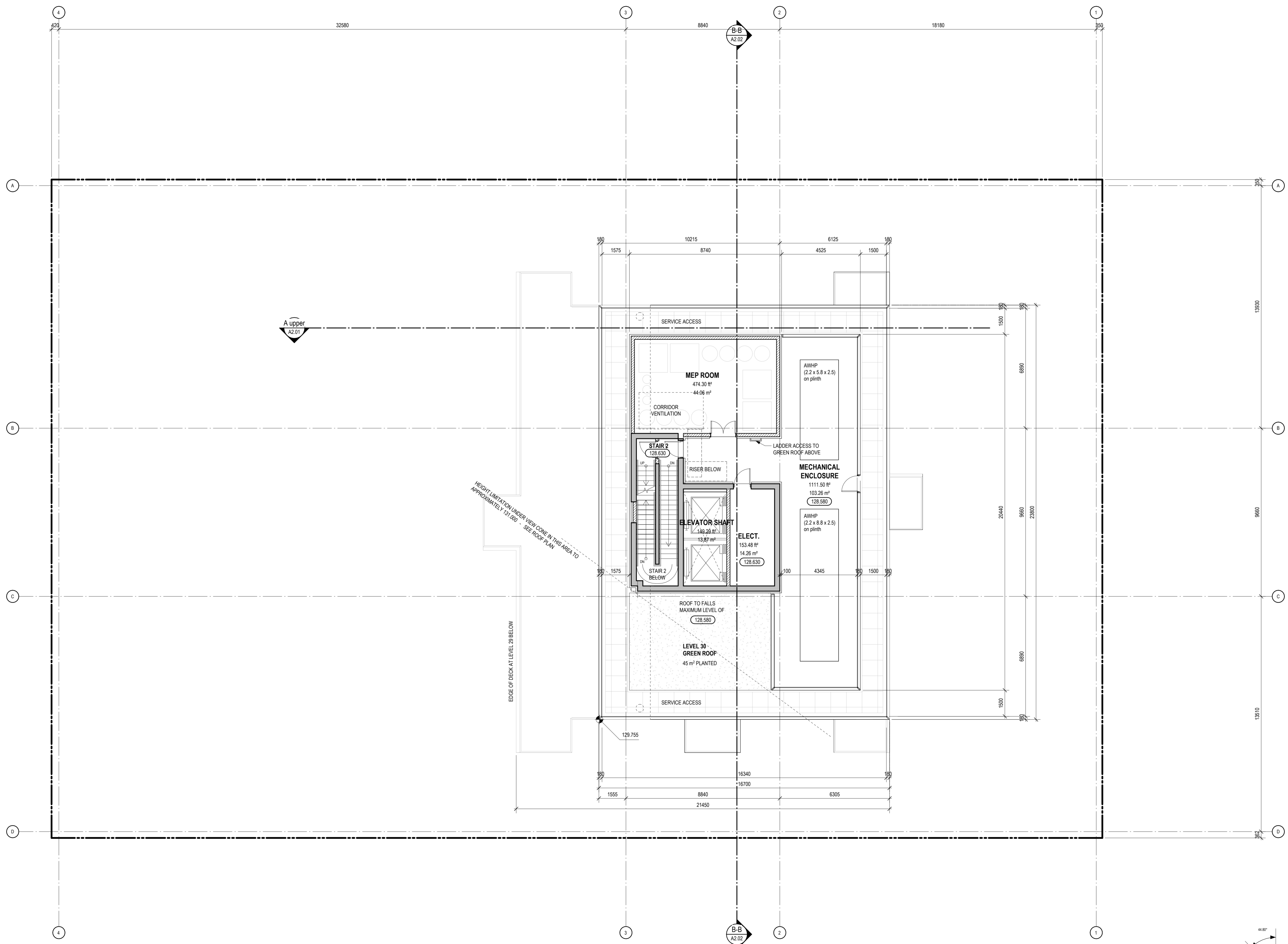
1300 Robson: Hotel & Rental Apartments
1300 Robson Street, Vancouver, BC

Level 29 Amenity Floor Plan

DATE: 2003
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JOB NO: 2003
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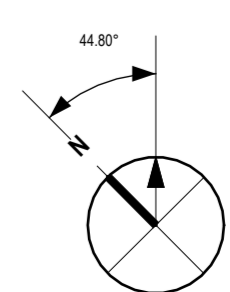
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Level 30 Plan

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A1.19



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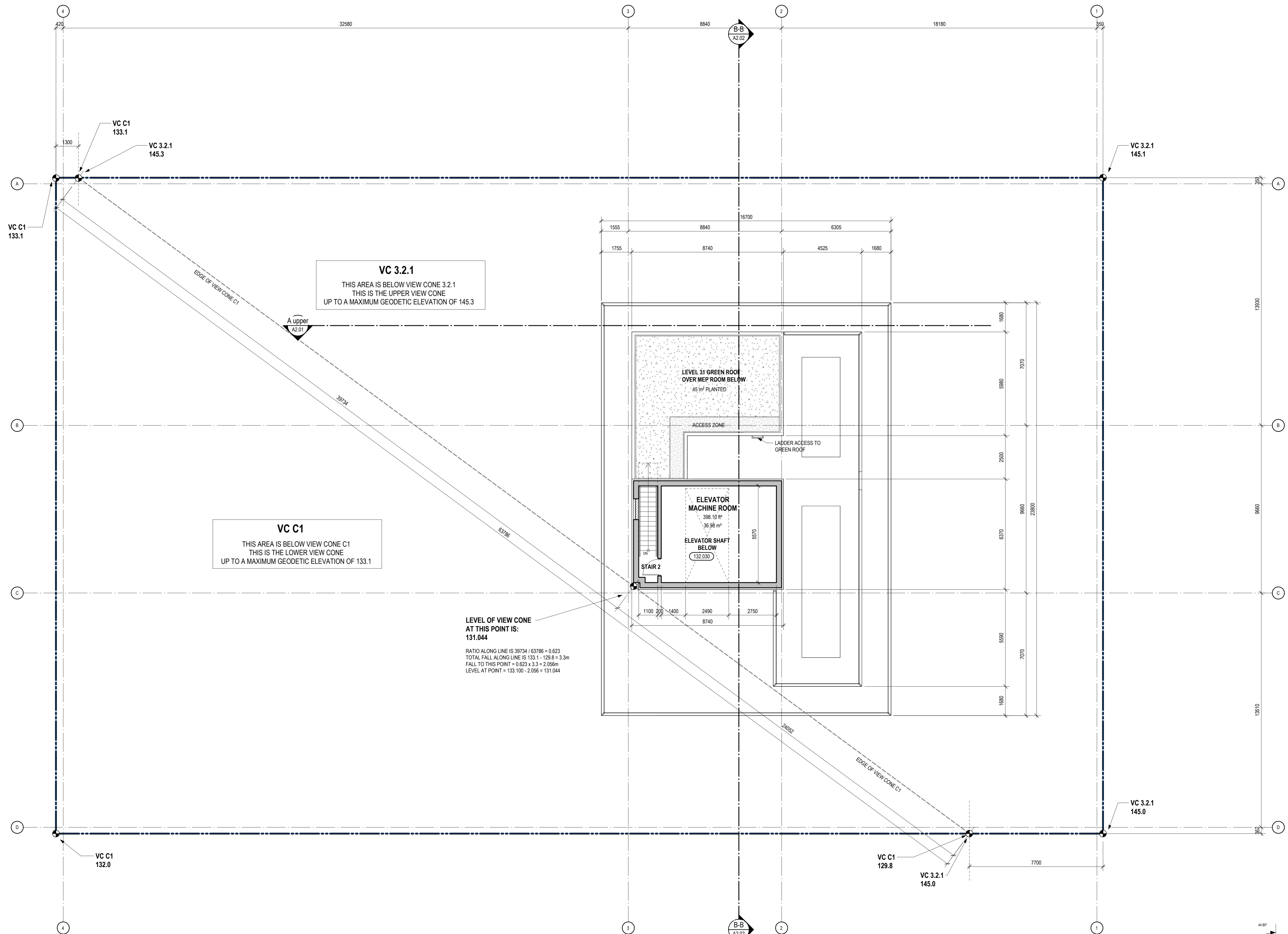
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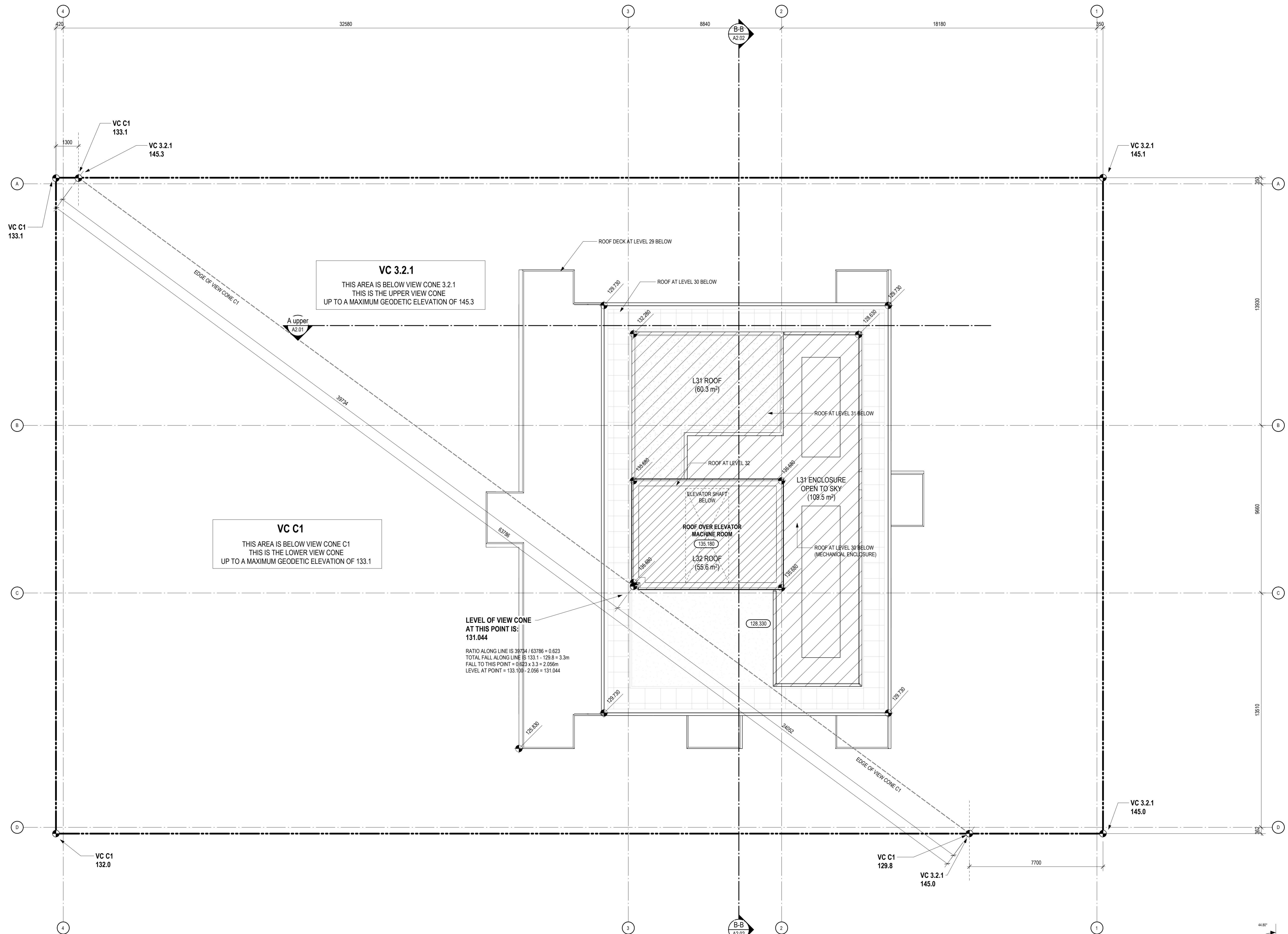
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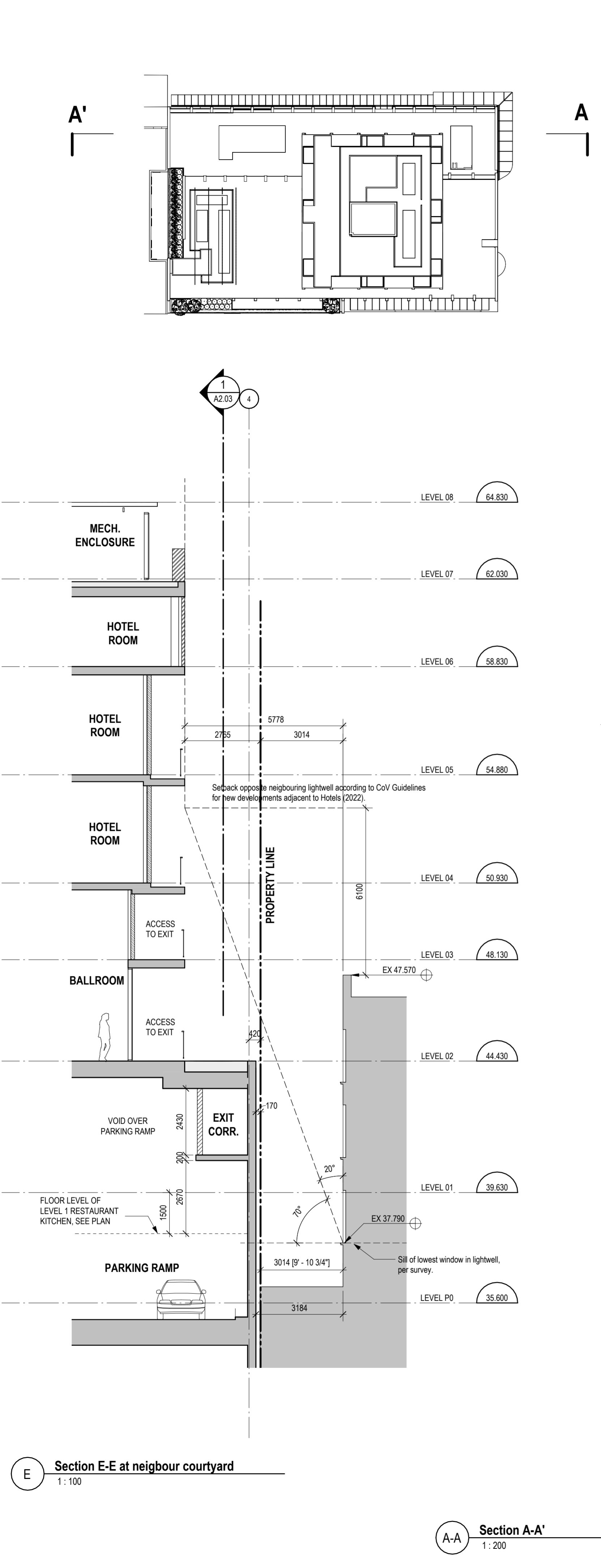
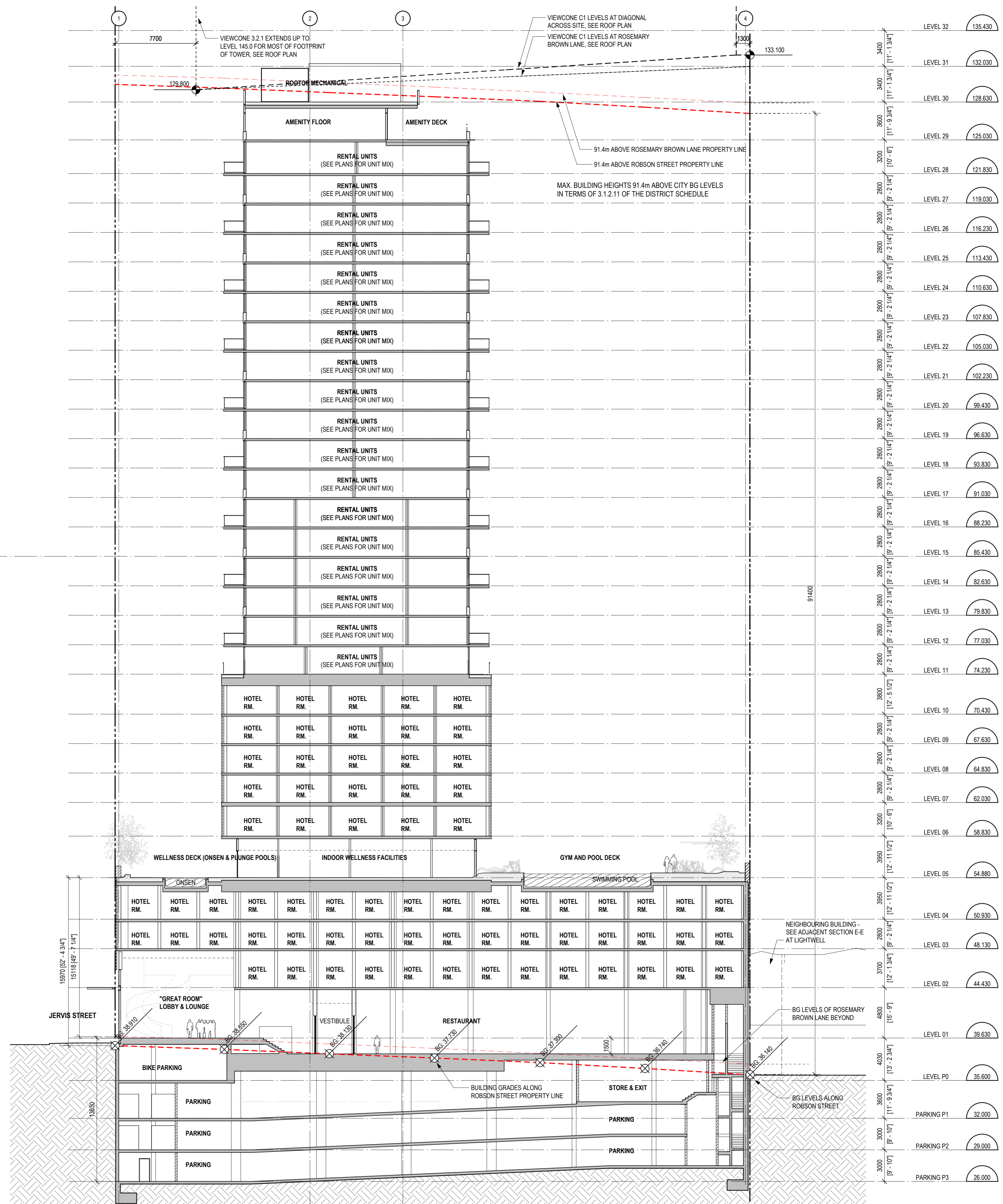
Level 31 Plan

DATE: JOB NO: 2003
SCALE: 1 : 100 CHECKED: Checker

A1.20







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Development Permit Application Dec 13, 2023

REVISION DESCRIPTION REVISION DATE



HENRIQUEZ Henriquez Partners Architects
598 W Georgia Street
Vancouver BC V6B 2A3 T 604.687.5681

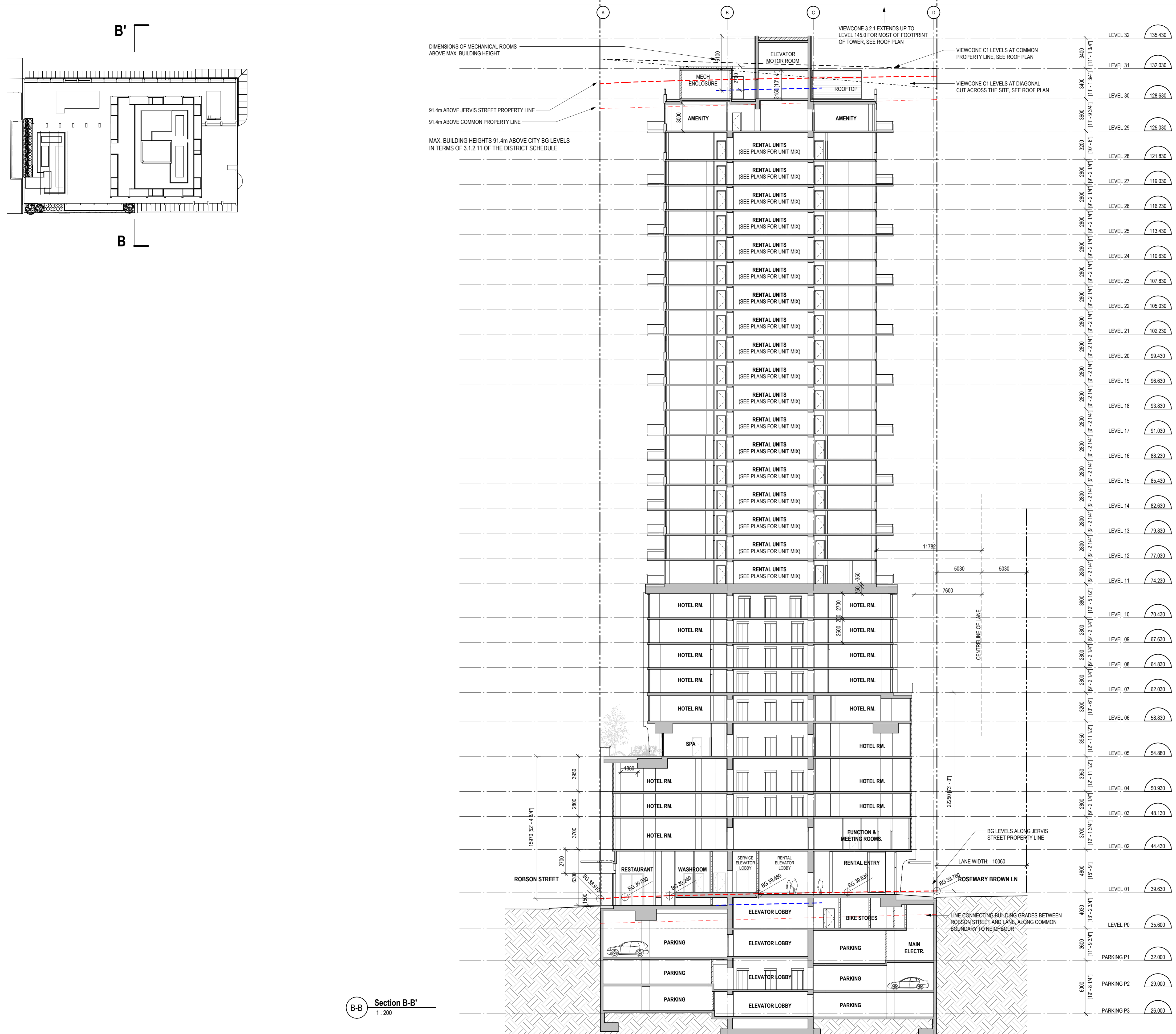
JOB TITLE
1300 Robson: Hotel & Rental Apartments
1300 Robson Street, Vancouver, BC

DRAWING TITLE

SECTION B-B'

DATE: _____ JOB NO: 2003
SCALE: As indicated CHECKED: _____ Checker: _____

A2.02

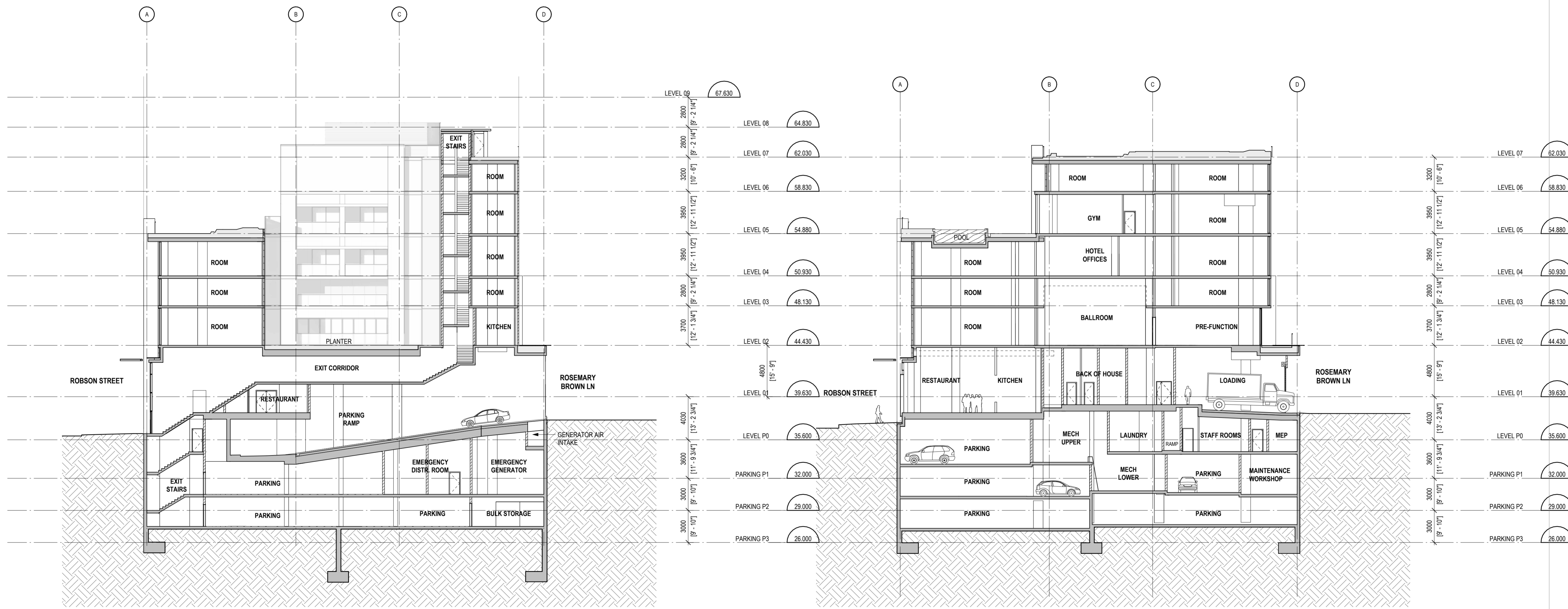
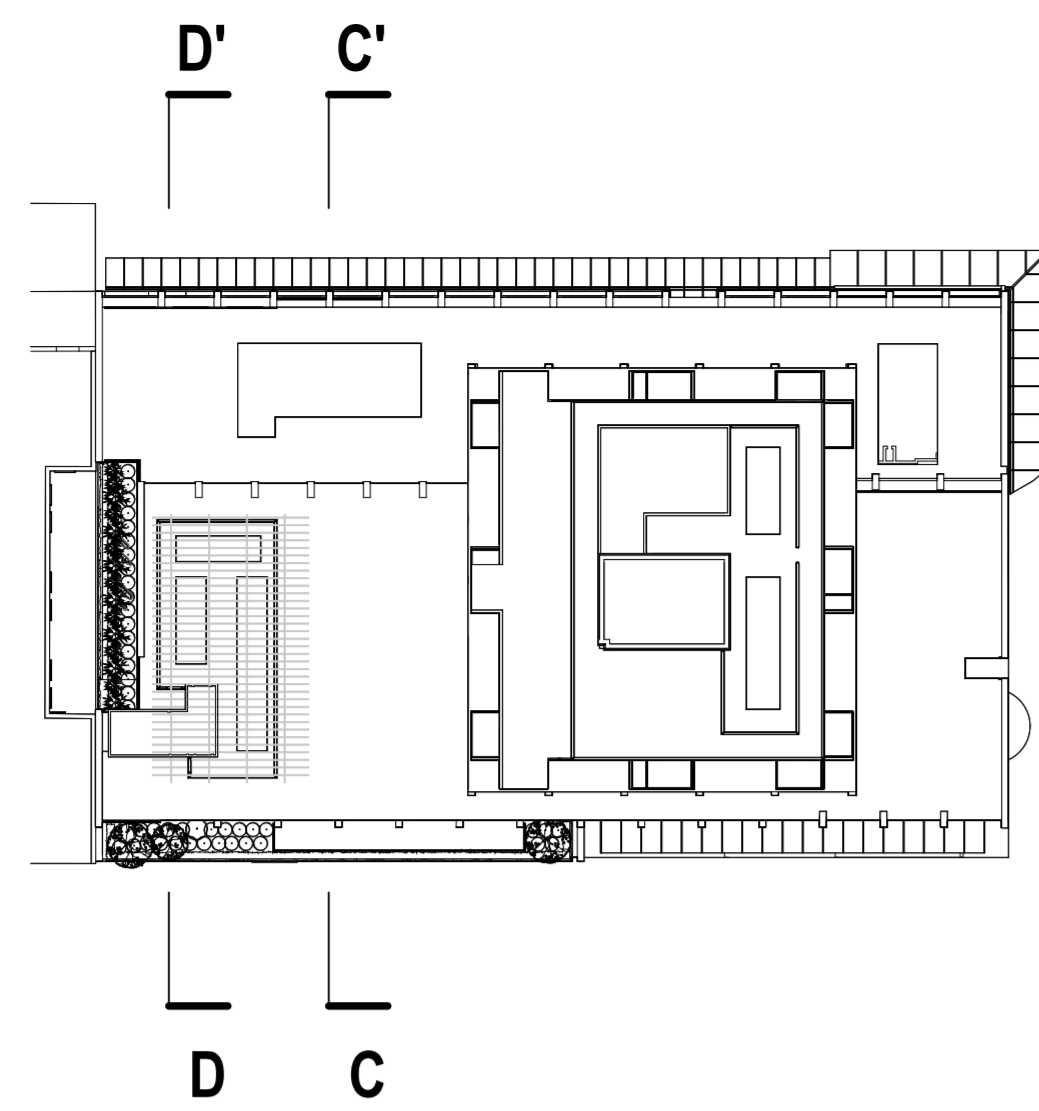


B-B Section B-B'
1:200

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D-D Section D-D
1:200

C-C Section C-C'
1:200

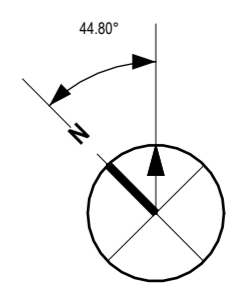


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1300 Robson: Hotel & Rental Apartments
1300 Robson Street, Vancouver, BC

SECTIONS C-C' & D-D'

DATE	JOB NO.
As indicated	2003
SCALE	CHECKED
As indicated	Checker



A2.03

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Development Permit Application Dec 13, 2023

REVISION DESCRIPTION REVISION DATE



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588 W Georgia Street
Vancouver BC V6B 2A3 T 604.687.5681

JOB TITLE
1300 Robson: Hotel & Rental Apartments
1300 Robson Street, Vancouver, BC

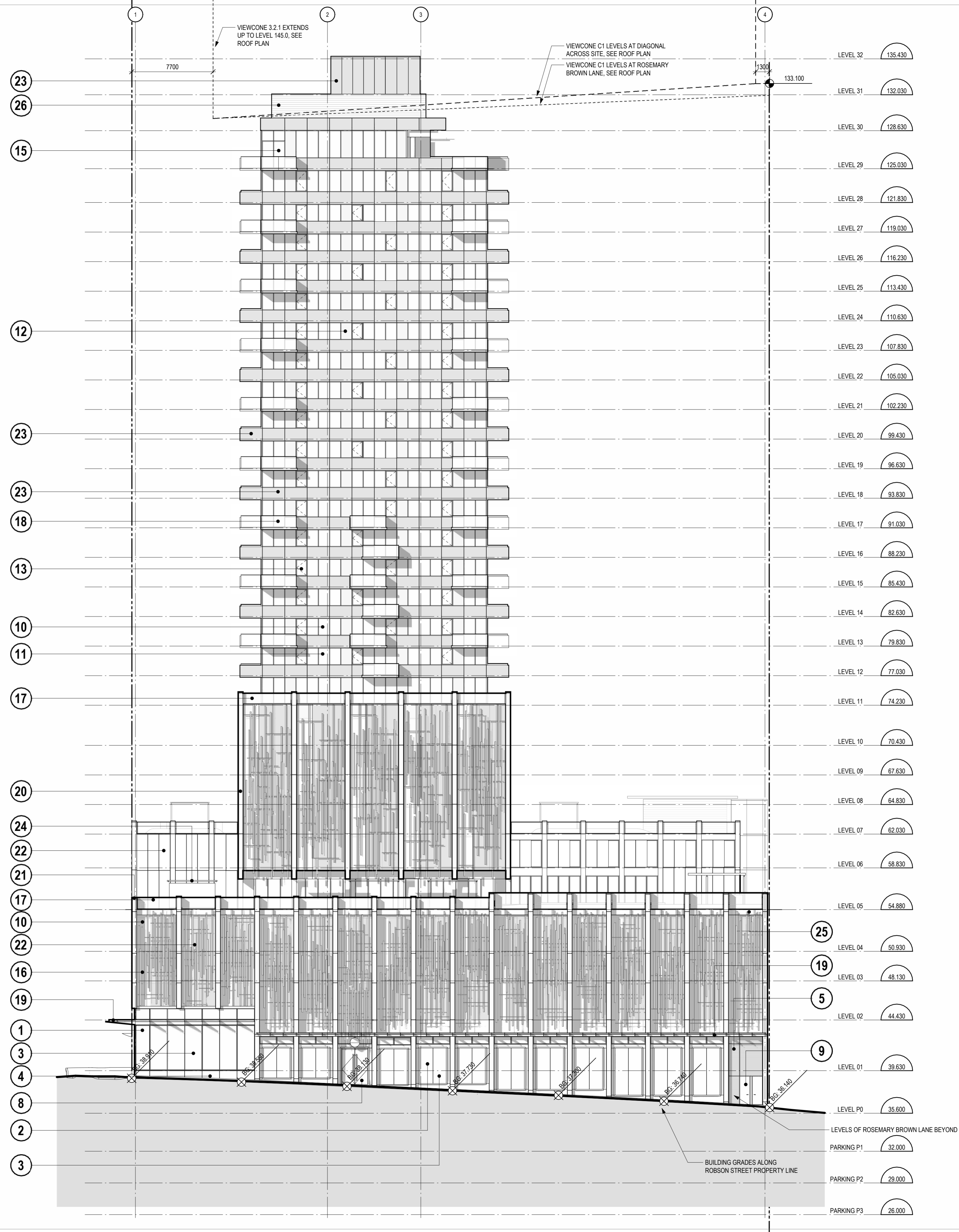
DRAWING TITLE
North Elevation (Robson Street)

DATE JOB NO. 2003
SCALE 1 : 200 CHECKED Checker

A3.01

ELEVATIONS AND MATERIALITY KEY

- ① CAPPED CURTAIN WALL SYSTEM
- ② CAPLESS CURTAIN WALL SYSTEM
- ③ CURTAIN WALL GLAZING
- ④ CURTAIN WALL SPANDREL
- ⑤ CURTAIN WALL w/ ARCHITECTURAL LOUVER
- ⑥ COMMERCIAL ALUMINUM & GLASS DOOR
- ⑦ ALL-GLASS REVOLVING DOOR
- ⑧ CUSTOM WOOD DOOR
- ⑨ HOLLOW METAL DOOR
- ⑩ WINDOW WALL SYSTEM
- ⑪ WINDOW WALL GLAZING
- ⑫ WINDOW WALL SPANDREL
- ⑬ ALUMINUM & GLASS OPERABLE WINDOW
- ⑭ ALUMINUM & GLASS TERRACE DOOR
- ⑮ ALUMINUM & GLASS SLIDING DOOR
- ⑯ ALUMINUM SCREEN
- ⑰ STRUCTURAL GLASS GUARD
- ⑱ ALUMINUM & GLASS GUARD
- ⑲ GLASS & STEEL CANOPY
- ⑳ BRICK VENEER
- ㉑ PRECAST CONCRETE
- ㉒ FIBER CEMENT CLADDING 1
- ㉓ FIBER CEMENT CLADDING 2
- ㉔ STEEL TRELLIS
- ㉕ ALUMINUM PLANTERS
- ㉖ ARCHITECTURAL MECHANICAL SCREEN
- ㉗ CMU PARTY WALL
- ㉘ ROLLING STEEL SERVICE DOOR

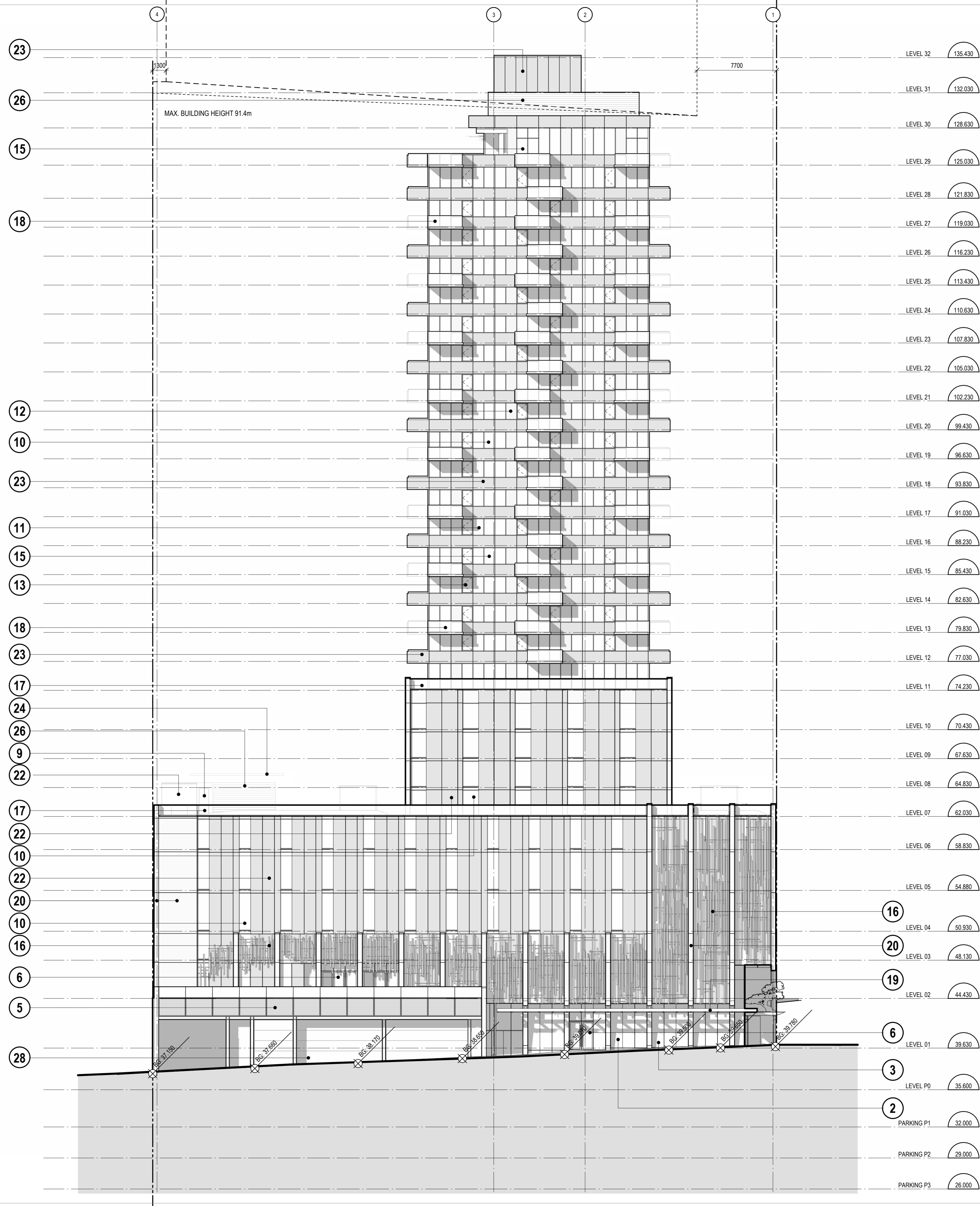


① **North Elevation (Robson Street)**
1 : 200



ELEVATIONS AND MATERIALITY KEY

- ① CAPPED CURTAIN WALL SYSTEM
- ② CAPLESS CURTAIN WALL SYSTEM
- ③ CURTAIN WALL GLAZING
- ④ CURTAIN WALL SPANDREL
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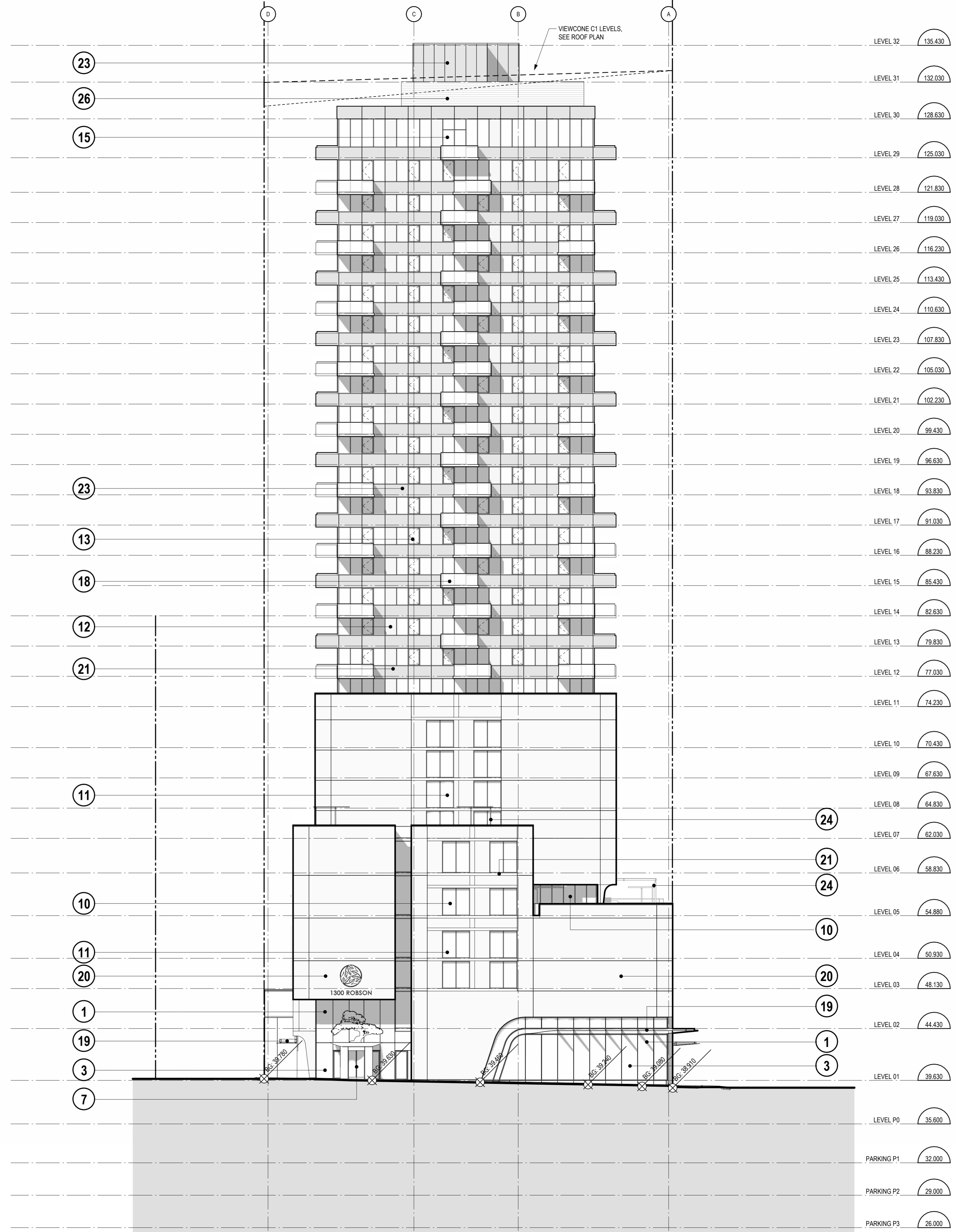
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ELEVATIONS AND MATERIALITY KEY

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- ㉘ ROLLING STEEL SERVICE DOOR



Development Permit Application Dec 13, 2023

REVISION DESCRIPTION REVISION DATE



Henriquez Partners Architects
588 W Georgia Street
Vancouver BC V6B 2A3 T 604.687.5681

1300 Robson: Hotel & Rental Apartments
1300 Robson Street, Vancouver, BC

East Elevation (Jervis Street)

DATE: 2003
SCALE: 1 : 200
CHECKED: Checker

A3.03

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Vancouver BC V6B 2A3 T 604.687.5681

JOB TITLE
1300 Robson: Hotel & Rental Apartments
1300 Robson Street, Vancouver, BC

DRAWING TITLE

West Elevation (neighbour)

DATE: 2003
SCALE: 1 : 200
JOB NO: 2003
CHECKED: Checker

ELEVATIONS AND MATERIALITY KEY

- ① CAPPED CURTAIN WALL SYSTEM
- ② CAPLESS CURTAIN WALL SYSTEM
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- ㉘ ROLLING STEEL SERVICE DOOR

