

CITY OF VANCOUVER
DEVELOPMENT, BUILDINGS, & LICENSING

DEVELOPMENT PERMIT STAFF COMMITTEE
MEETING
May 25, 2022

FOR THE DEVELOPMENT PERMIT BOARD
June 27, 2022

791 West Georgia Street (COMPLETE APPLICATION)
DP-2021-01096 – CD-1 (455)

DC/BC/LC/JF

DEVELOPMENT PERMIT STAFF COMMITTEE MEMBERS

Present:

J. Greer, Development Services (Chair)
J. Olinek, Urban Design & Development Planning
C. Joseph, Engineering Services

Also Present:

D. Cha, Urban Design & Development Planning
K. Spaans, Urban Design & Development Planning
L. Chang, Urban Design & Development Planning
C. Ma, Engineering Services
B. Casidy, Development Services
J. Freeman, Development Services

APPLICANT:

Zeidler Architecture
1633 W 2nd Ave
Unit 102,
Vancouver, BC V6J 1H3

PROPERTY OWNER:

CADILLAC FAIRVIEW CORP LTD.
500-20 Queen St W
Toronto ON
M5H 3R4

EXECUTIVE SUMMARY

• **Proposal:**

Interior and exterior alterations and to add approximately 466 m2 to the existing building formerly the Four Season Hotel including all exterior facades, roof deck, entry ways, and changes to rooftop mechanical enclosure.

See Appendix A Standard Conditions
Appendix B Standard Notes and Conditions of Development Permit
Appendix C Plans and Elevations
Appendix D Landscape Plans
Appendix E Applicant's Design Rationale
Appendix F Urban Design Panel minutes
Appendix G CD-1 bylaw 455 (amended 2007)
Appendix H "Shape Your City" public notification report

• **Issues:**

1. Interface with the public realm and CPTED at inset covered walkway and porte-cochere
2. Pedestrian weather protection

• **Urban Design Panel: REVIEWED with recommendations (4/0)**

DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATION: APPROVE

THAT the Board APPROVE Development Application No. DP-2021-00589 submitted, the plans and information forming a part thereof, thereby permitting the development of interior and exterior alterations and to add approximately 466 m² to the existing building formerly the Four Season Hotel including all exterior facades, roof deck, entry ways, and changes to rooftop mechanical enclosure, subject to the following conditions.

1.0 Prior to the issuance of the development permit, revised drawings and information shall be submitted to the satisfaction of the Director of Planning, clearly indicating:

1.1 design development to improve the interface of the building with the adjacent public realm and address CPTED considerations as follows:

i. at the inset covered walkway along Howe St.:

- a. provision of improved architectural and material treatments at exterior walls, columns, doors, and soffits to ensure a high level of perceived safety and pedestrian comfort at all hours;

Note to Applicant: This can be achieved by replacing dark coloured architectural finishes to bright and warm coloured architectural finishes that is resistant to impact and vandalism. Provision to replace soffit with higher quality and durable materials such as aluminum, cementitious panel or wood over impact resistant drywall ceiling proposed in the UDP package.

- b. provision of high-quality landscape screening between the covered walkway and the existing parkade ramp by way of free-standing planter boxes along the existing railing;

Note to Applicant: No reductions to the usable sidewalk area will be permitted without prior City review and approval. Planter boxes should not extend into the walkway past the edge of the columns. Refer to Standard Conditions A.2.1 and A.1.6.

- c. provision of an enhanced lighting strategy to provide for visually-appealing and active illumination of the public realm;

Note to Applicant: proposed light fixtures should be provided on the architectural and landscape drawings, and may require supplemental reflected ceiling plans, perspective images, or other architectural drawings. Refer to Standard Condition A.1.6 iii

ii. at the porte-cochere and main hotel entrance:

- a. reducing the extent of the unarticulated west exit stair wall oriented toward the Howe St. public realm, or otherwise improving the expression of this wall by way of glazed openings, light coves, a large window display, or other similar design features intended to provide a sense of transparency and visual interest at the street level;

- b. provision of an improved, high-quality landscape design strategy; and

Note to Applicant: Refer to Standard Condition A.1.5

- c. provision of an enhanced lighting strategy to strengthen the prominence of this area as the main point of entrance into the hotel, and provide for visually-appealing and active illumination of the public realm;

Note to Applicant: proposed light fixtures should be provided on the architectural and landscape drawings, and may require supplemental reflected ceiling plans, perspective images, or other architectural drawings. Refer to Standard Condition A.1.6 iii

- 1.2 design development to provide continuous pedestrian weather protection along the length of Howe Street as is currently provided by the combination of façade insets and the glass feature canopy;

Note to Applicant: an architecturally-integral, demountable glass canopy should be provided between the porte-cochere and the inset covered walkway, and from the covered inset walkway to the northwest corner of the building at minimum. New canopies should be of high-quality, durable materials and finishes, should be sloped for positive drainage away from the public realm, and should include integrated rainwater scuppers and leaders, and lighting.

- 2.0 **That the conditions set out in Appendix A be met prior to the issuance of the Development Permit.**
- 3.0 **That the Notes to Applicant and Conditions of the Development Permit set out in Appendix B be approved by the Board.**

• **Technical Analysis:**

Technical table for 791 West Georgia Street		CD-1 (455)		DP-2021-01096
PERMITTED / REQUIRED		EXISTING		PROPOSED
Site Area	Per CD-1 (455) 33,268.70 m ²			
Uses	Office Uses Retail Uses Service Uses Accessory Uses	Office Retail Service Use: Hotel Storage		Office Retail Service Use: Hotel Storage
Building Height ¹	Per CD-1 (455) 137.16 m	Four Seasons Hotel ~95.9 m		Proposed Hotel ~98.4 m
FSR ²		All Uses Office 5.88 FSR Retail 2.34 FSR Hotel 1.07 FSR Storage 0.05 FSR All Uses - total 9.34 FSR		All Uses Office 5.88 FSR Retail 2.34 FSR Hotel 1.09 FSR Storage 0.05 FSR All Uses - total 9.36 FSR
	Maximum 9.47 FSR			
Floor Area ²		All Uses Office 195,724.40 m ² Retail 77,776.40 m ² Hotel 35,723.80 m ² Storage 1,585.90 m ² All Uses - total 310,810.50 m ²		Hotel Net Area Changes As shown on drawings 466.40 m ² Level 4 Gazebos 95.64 m ² New Hotel - total 562.04 m ² All Uses Office 195,724.40 m ² Retail 77,776.40 m ² Hotel 36,189.90 m ² Storage 1,585.90 m ² All Uses - total 311,276.60 m ²
	Maximum 315,054.59 m ²			
Parking	No additional parking required	Total 1912 sp		Total 1912 sp
Loading ³	No additional loading required	Class C 5 sp		No additional loading provided Class C 5 sp
Bicycle ³	No additional bicycle parking required	Class A 121 sp Class B 18 sp		No additional bicycle spaces provided Class A 121 sp Class B 18 sp

NOTES:

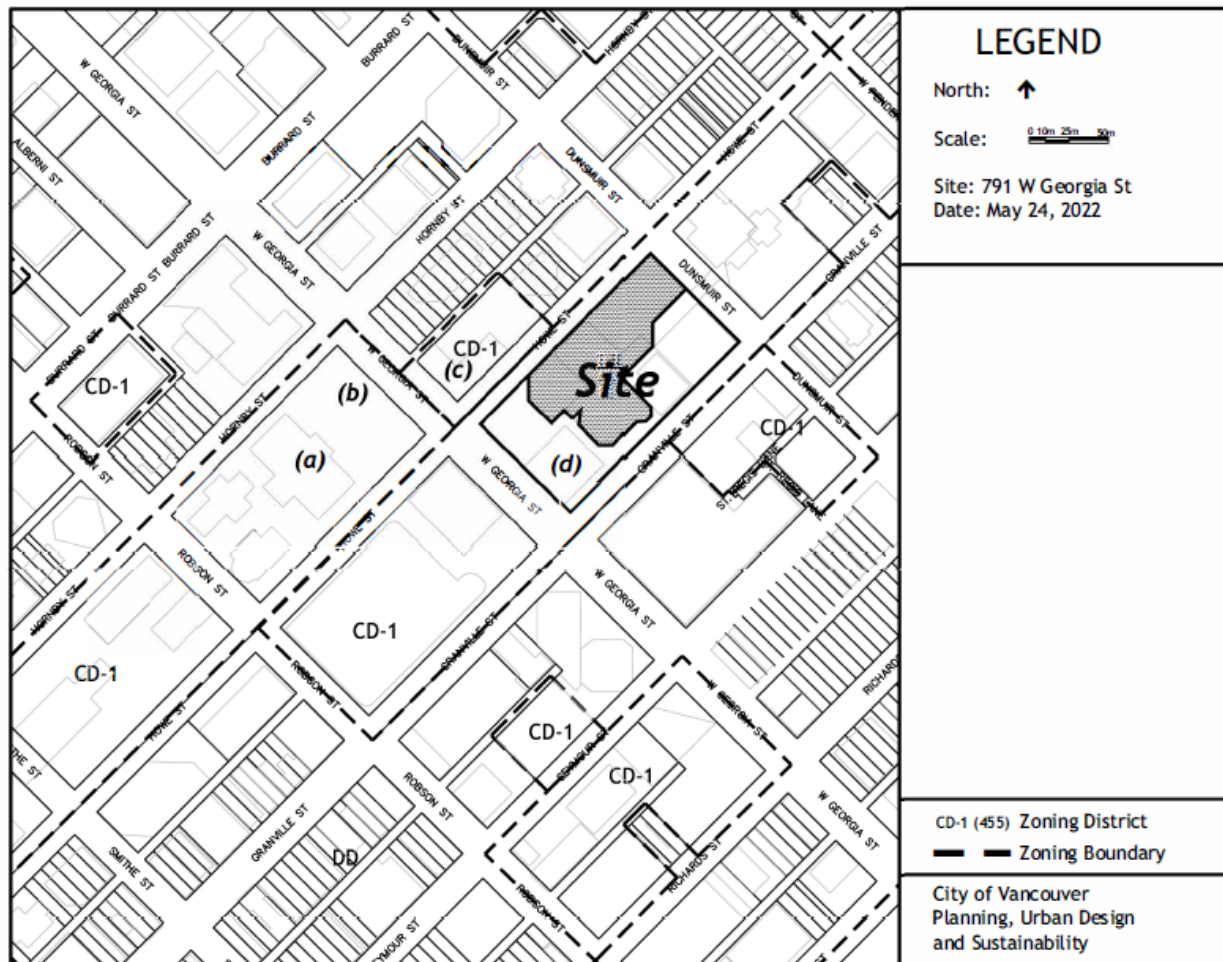
- Note on Height:** Confirmation of Building Height is required. See Standard Condition A.1.4.
- Note on Floor Area:** The proposed pool-side gazebos on the Level 4 Roof Deck are to be included in floor area. See Standard Condition A.1.3.
- Note on Loading:** Required Loading and Bicycle spaces are based on the number of units, and the proposed hotel design includes a reduction from 414 rooms to 259 rooms by increasing room sizes.

- Legal Description
Lot: 11 and 12
Block: 7
District Lot: 185
Plan: 92
- History of Application:
December 21, 2021 Complete DP Submission
April 27, 2022 Urban Design Panel
May 25, 2022 Development Permit Staff Committee

• **Site:** The site is located along Howe St. between W. Georgia St. and Dunsmuir St. within CD-1 (455). The development area is part of the larger Pacific Centre complex which occupies the full city block, and is comprised of the former Four Seasons Hotel tower located mid-block on Howe St., and a mixed use podium extending along Howe St.

• **Context:** Significant adjacent development includes:

- a) Vancouver Art Gallery, 750 Hornby Street, 3-storey cultural building (c. 1931);
- b) ʂxʷł̓ænəq Xwtl'e7énk Square, 750 Hornby Street, public space (c. 2017);
- c) Hotel Georgia, 801 W Georgia Street, 12-storey commercial building (c. 1927);
- d) CF Pacific Centre Tower, 701 W Georgia, 19-storey mixed-use building (c. 1971).



• **Background:**

A development permit (DP) application was submitted on September 9, 2021 for the development of the subject site under approved CD-1 (455). The scope of work is a major renovation of the existing tower and podium of the previous Four Seasons Hotel building. The exterior alteration includes complete new façade for the tower and podium along with redesign of the tower crown to conceal the new rooftop equipment. The interior alteration includes complete new interior layout along with upgrades to seismic, mechanical and electrical systems.

The location of the development is considered high profile being located in the Central Business District in the downtown core and the alterations to the existing building is considered significant changes to the architectural expression.

• **Applicable By-laws and Guidelines:**

- *CD-1(455) By-Law and Council Meeting Minutes (April 17, 2007)*
- *DD, C-5, C-6, HA-1 and HA-2 Character Area Descriptions (1975, last amended 2003)*
- *Downtown Design Guidelines (1975, last amended 1993)*
- *Interim Hotel Development Policy (2018)*
- *Central Area Pedestrian Weather Protection (1978, last amended 1999)*

• **Response to Applicable By-laws and Guidelines:**

CD-1(455) By-Law

The application generally meets the intents and regulations of the CD-1. The proposed use, density and building height conform to the CD-1.

Conditions of approval at the time of the original rezoning application include reference to pedestrian interest with enriched public realm, exemplary architecture given the significance of the location and addresses CPTED considerations.

Upfront condition 1.1 is included to ensure public realm interface and CPTED concerns are improved at inset covered walkway condition, as Staff noted that this area was previously excluded from the scope of work in the Development Permit submission. Since then, Staff have recommended that the applicant to improve this public realm interface and the applicant have revised the drawings to capture this portion in the UDP package. Staff's expectation is to see an improvement in this public realm interface from a dark and shaded sidewalk to a bright space, which better addresses CPTED considerations and to make it more pedestrian friendly.

Standard condition A1.1 is included to ensure public realm interface and CPTED concerns are improved at port-cochere.

Standard condition A1.2 is included to ensure particular attention is provided for exemplary architecture.

DD, C-5, C-6, HA-1 and HA-2 Character Area Descriptions

The *Character Area Descriptions* guidelines highlights present and future desired character of each area. The site is located in 'Existing Character Area E – The Core' and include reference to pedestrian interest with enriched public realm.

Upfront condition 1.1 and Standard condition A1.1 is included to ensure public realm interface and CPTED concerns are improved.

Downtown Design Guidelines

The *Downtown Design Guidelines* provide a general checklist for achieving high quality development, seeking: contextual, neighborly development that respects existing buildings and open spaces; creation of public open space wherever possible; pedestrian amenity along street frontages; preservation and, where appropriate, creation of public views; minimization of shadow and private view impacts; and slim rather than bulky towers.

The application generally meets the intents and regulations of the Guidelines in regards to the applicable sections related to Public Open Space at grade, Views of landmark buildings such as the Art Gallery and Georgia Hotel, Sun and Shade, Architectural Design, Bulk and Height and Relationship to Immediate Area.

Interim Hotel Development Policy

The policy reaffirms the City's interest that new or existing hotels will be considered as part of neighbourhood planning programs, as well as rezoning and development applications and enquiries. This policy emphasizes the importance of existing and new hotel rooms in the City Core, especially downtown.

The hotel will be revitalizing an existing hotel site and will be placing all hotel density with no net loss.

Central Area Pedestrian Weather Protection

The intent of the report is to summarize existing policies and design guidelines concerning pedestrian weather protection along public streets within the Central Area. The guideline indicates Howe St. as an 'Actively Promoted' weather protection street.

Recommended condition 1.2 is included to ensure continuous weather protection coverage along Howe St. is maintained.

• Conclusion:

Staff recommend approval of this proposal subject to the outlined Recommended and Standard Conditions in this report.

URBAN DESIGN PANEL

EVALUATION: REVIEWED WITH RECOMMENDATIONS

Note: The Panel did not reach quorum at the meeting on April 27th, 2022. Therefore the recommendations are included for this proposal (without a recorded vote) as informational only.

Please see Appendix 'F' for the UDP minutes

ENGINEERING SERVICES

The recommendations of Engineering Services are contained in the prior-to conditions noted in Appendix A attached to this report.

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

The recommendations for CPTED are contained in the prior-to conditions noted in Appendix A attached to this report.

LANDSCAPE SERVICES

The recommendations of Landscape Services are contained in the prior-to conditions noted in Appendix A attached to this report.

BUILDING REVIEW BRANCH

This Development Application submission has not been fully reviewed for compliance with the Building By-law. The applicant is responsible for ensuring that the design of the building meets the Building By-law requirements. The options available to assure Building By-law compliance at an early stage of development should be considered by the applicant in consultation with Building Review Branch staff.

To ensure that the project does not conflict in any substantial manner with the Building By-law, the designer should know and take into account, at the Development Application stage, the Building By-law requirements which may affect the building design and internal layout. These would generally include: spatial separation, fire separation, exiting, access for physically disabled persons, type of construction materials used, fire fighting access and energy utilization requirements.

Further comments regarding Building By-law requirements are contained in Appendix B attached to this report.

NOTIFICATION

On March 18, 2022, three site signs were confirmed to be installed on Howe St. and on March 22, 2022 665 postcards were sent to neighbours with additional information posted to the “Shape Your City” webpage for this application. The comments period was open until April 19, 2022 but all comments were considered up until the date of publishing this report.

A virtual open house was held from March 28 through to April 3 2022.

Summary of Public Comments

Throughout the notification period, the City received one comment, in opposition. Themes expressed were generally regarding the architectural expression.

“Terrible design.

- 1. Very bland walls*
- 2. No attention whatsoever to a human-scaled podium, relationship between the tower and the podium, and creating an interesting pedestrian experience*
- 3. Very bulky tower shape*
- 4. Architectural expression is very ugly and not fitting for Vancouver*
- 5. ‘Vancouverism’ principles are absent”*

Staff Response: With regards to the public realm and architectural expression, staff have examined the applications in detail and are seeking design improvements to enhance the public realm and the architectural expression. See Recommended Conditions 1.1, 1.2 and Standard Condition A1.1.

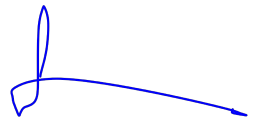
Related comments on the existing tower shape and relationship to the podium are not relevant to this application as the scope of work involves building renovation of the existing hotel building.

DEVELOPMENT PERMIT STAFF COMMITTEE COMMENTS:

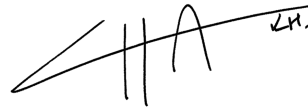
The Staff Committee has considered the approval sought by this application and concluded that with respect to the Zoning and Development By-law it requires decisions by both the Development Permit Board and the Director of Planning.

With respect to the decision by the Development Permit Board, the application requires the Development Permit Board to exercise discretionary authority as delegated to the Board by Council.

The Staff Committee supports this proposal subject to the conditions contained in this report.



J. Greer
Chair, Development Permit Staff Committee



D. Cha
Development Planner



B. Casidy Project
Coordinator

DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATIONS

The following is a list of conditions that must also be met prior to issuance of the Development Permit.

A.1 Standard Conditions

Urban Design Conditions

A.1.1 design development to improve architectural expression of the podium to better relate to the established urban fabric and present more cohesive architectural expression when viewed from the ḡx^wḷḁnḁq Xwtl'e7ḁnḁ Square.

Note to Applicant: This was a key consensus item from the Urban Design Panel. This may be achieved by simplifying the design moves of the podium articulation with a clear hierarchy of materials.

A.1.2 provision of a detailed material schedule with product information and typical enlarged architectural details indicating the following:

- i. metal panel
- ii. wood at exterior wall and soffit
- iii. weather protection canopy

Note to Applicant: Architectural design details, rather than building envelope details are required for development permit review. The intent is to ensure the provision of high-quality materials and construction. Details should generally be in section, at a large scale such as 1:10 or equivalent, and include notes and dimensions. Review of these drawings may result in additional Urban Design comments or conditions.

Development Review Branch Conditions

A.1.3 confirmation of compliance with Section 3 - Density of the CD-1 (455) By-law;

Note to Applicant: Level 4 Gazebos are to be concluded in floor area.

A.1.4 confirmed compliance with Section 4 - Building Height of the CD-1(455) By-law;

Note to Applicant: Provide a site or roof plan with a scale provided, noting the Building Grades at the Property Corners as well as geodetic heights at each roof level.

Landscape Conditions

A.1.5 design development to enhance the landscape around the porte cochere area by providing more diverse planting materials and greenery to create visual interest and welcoming entry expression;

A.1.6 design development to improve the inset covered walkway and existing parkade ramp area along Howe Street for more pedestrian friendly experiences as follows:

- i. provide high-quality landscape screening or greenery, for example: adding free-standing planters along the existing railings, softening the street edges and consisting of evergreen plant materials for year-round presence etc., refer to Recommended Condition 1.1 i b;
- ii. explore opportunities to add vines or greenery on the blank wall / column facades if possible;
- iii. provide improved outdoor lighting strategy;

Note to Applicant: planter boxes should not extend into the walkway past the edge of the existing columns. Since this is a covered walkway on private property with an SRW for public access, any landscape elements or improvement must be maintained by the owner and not the City. Further review and coordination with the Engineering Services will be required.

A.1.7 provision of larger-scale (1/2"=1') details for all landscape elements, such as free-standing planter boxes, roof top wood benches, etc. confirming dimensions and materials;

A.1.8 provision of a permanent automatic high-efficiency irrigation system for all planted areas, confirming the irrigation and maintenance of planting into the future beyond the establishment period;

Note to Applicant: where irrigation is proposed, provide a partial irrigation plan showing hose bib and automatic irrigation stub-out locations. There should be accompanying written notes on the same plan and/or landscape plan describing the intent and/or standards of irrigation.

A.1.9 coordination with Streets Engineering with proposed landscape changes to the covered walkway on private property within the SRW for public access and any off-site improvement, where applicable;

A.1.10 provision of a Landscape Lighting Plan;

Note to Applicant: Lighting details can be added to the landscape drawings with reference to Outdoor Lighting Strategy found here:
<https://vancouver.ca/streets-transportation/outdoor-lighting-strategy.aspx>

A.1.11 provision on the landscape drawings of landscape features intended to create a bird friendly design;

Note to Applicant: Bird friendly plants should be included on the plant palette, enabling bird habitat conservation and bird habitat promotion. Refer to the Bird Friendly Design Guidelines for examples of built features that may be applicable, and provide a design rationale for the features noted. For more information, see the guidelines at:
<http://former.vancouver.ca/commsvcs/guidelines/B021.pdf>.

Crime Prevention Through Environmental Design (CPTED)

A.1.13 design development to incorporate CPTED measures including the following:

- i. ensure clear view lines and good lighting around building access points including elevator and entry entries and fire exits;
- ii. provide white walls in parking areas;
- iii. avoid deep alcoves and concealed spaces; and

- iv. reduce opportunities for intentional damage around the building with deterrent paint, planting, murals or artworks on blank walls;

Note to Applicant: Measures should reflect the specific risks in the area.

A.2 Standard Engineering Services Conditions

- A.2.1 provision of an updated landscape and site plan to reflect the public realm changes including all of the off-site improvements sought for this development permit, and shall include the following items and notes:
 - i. deletion of the portion of planters, stairs, and handrails that are proposed to cross the property line on Howe Street;
 - ii. provision of upgraded street lighting (roadway and sidewalk) adjacent to the site to current COV standards and IESNA recommendations.
- A.2.2 provision of an amendment to the existing Sidewalk SRW agreement (CA4240068) to include the addition of any landscaping features within the inset covered walkway on Howe St;
- A.2.3 provision of a new letter of commitment to address the obligations set out in Recital C(c) (ii)-(iii) of the No-Development Covenant CA4240084-5 relating to redevelopment of portion of Block 42 prior to occupancy;
- A.2.4 provision of a registered services agreement to the satisfaction of the General Manager of Engineering Services and the Director of Legal Services to secure all approved off-site works and utility upgrades. Agreement to be fully registered prior-to issuance of the related DP and will include a letter of credit securing the costs for all improvements at 150% of the estimated value;
- A.2.5 provision of upgraded street lighting (roadway and sidewalk) adjacent to the site to current COV standards and IESNA recommendations;

Note to Applicant: Ensure building features along Howe Street and Dunsmuir Street do not encroach on to city property.

A.3 Standard Licenses & Inspections (Environmental Protection Branch) Conditions:

A.3.1 Submit a Site Disclosure Statement to Environmental Services;

A.3.2 As required by the Manager of Environmental Services and the Director of Legal Services in their discretion, do all things and/or enter into such agreements deemed necessary to fulfill the requirements of Section 571(B) of the Vancouver Charter and Section 85.1(2)(g) of the Land Title Act, if applicable;

A.3.3 If required by the Manager of Environmental Services and the Director of Legal Services, in their discretion, enter into a Remediation Agreement for the remediation of the site and any contaminants which have migrated therefrom on terms and conditions satisfactory to the Manager of Environmental Services and Director of Legal Services, including a Section 219 Covenant that there will be no occupancy of any buildings or improvements on the site constructed pursuant to this development, until a Certificate of Compliance for each of the on-site contamination and the dedicated lands, if any, have been issued by the Ministry of Environment and provided to the City.

Note to Applicant: A Site Disclosure Statement has been received. Based on current information, a Remediation Agreement will not be required.

B.1 Standard Notes to Applicant

- B.1.1 The applicant is advised to note the comments of the Building Review Branch, Vancouver Coastal Health Authority and Fire and Rescue Services Departments contained in the Staff Committee Report dated May 25, 2022. Further, confirmation that these comments have been acknowledged and understood, is required to be submitted in writing as part of the “prior-to” response.
- B.1.2 It should be noted that if conditions 1.0 and 2.0 have not been addressed on or before **Dec 27 2022**, this Development Application may be deemed to be refused, unless the date for compliance is first extended by the Director of Planning.
- B.1.3 This approval is subject to any change in the Official Development Plan and the Zoning and Development Bylaw or other regulations affecting the development that occurs before the permit is issuable. No permit that contravenes the bylaw or regulations can be issued.
- B.1.4 Revised drawings will not be accepted unless they fulfill all conditions noted above. Further, written explanation describing point-by-point how conditions have been met, must accompany revised drawings. An appointment should be made with the Project Facilitator when the revised drawings are ready for submission.
- B.1.5 A new development application will be required for any significant changes other than those required by the above-noted conditions.
- B.1.6 Details of swimming pools/hot tubs to be submitted to the Environmental Health Division and Provincial Health Engineer prior to construction;

BUILDING COMMENTS

The following comments are based on the preliminary drawings prepared by Zeidler Architecture on November 19, 2021 for the proposed development permit application. This is a preliminary review in order to identify major issues which do not comply with Vancouver Building By-law #12511 as amended (VBBL2019).

* Please note that building permit applications must conform to Vancouver Building By-law #12511 (2019) as may be amended from time to time. Please see the following page:
<http://vancouver.ca/your-government/vancouver-building-bylaw.aspx>.

This project can be considered as Major Renovation, Horizontal Addition and Vertical Addition. Based on the proposed alterations to exterior and interior space, it is assumed the entire structure will have extensive removal of the majority of construction to expose the building’s primary structure on interior and exterior walls, floors and roof. In addition to the aforementioned, the project will be considered as RECONSTRUCTION according to Flow Chart No. 1 in Notes to Part 11.

The former Four Seasons Hotel major renovation exterior and interior renovations including a major renovation to all exterior facades, additional floor area of 466 m² and changes to rooftop mechanical enclosure.

The following information should be included at Building Permit Application Stage:

- i. As of November 1, 2019, all submissions are to be in accordance with the VBBL 2019.
- ii. Alteration shall not increase the non-conformity of the existing building or create non conformity with respect to VBBL 2019. All new work shall conform to VBBL 2019.

- iii. The design upgrade level for Structural Safety (S) to be S4 level. Structural assessment of the existing building will be required to determine the existing seismic resistance level, as well as the proposed seismic resistance level the building will be upgraded to.
- iv. The design upgrade level for Non-Structural Safety (N) to be N4 level. A signed and sealed report by a Registered Professional will be required to review all existing non-structural components and document where seismic restrains of these non-structural components are required.
- v. Egress in a floor area shall conform to 3.3.1.5. It is noted a number of floor areas only provided single means of egress while the floor area exceeded the maximum area permitted in Table

B.2 Conditions of Development Permit:

- B.2.1 All approved off-street vehicle parking, loading and unloading spaces, and bicycle parking spaces shall be provided in accordance with the relevant requirements of the Parking By-law prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.
- B.2.2 All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.
- B.2.3 Any phasing of the development, other than that specifically approved, that results in an interruption of continuous construction to completion of the development, will require application to amend the development to determine the interim treatment of the incomplete portions of the site to ensure that the phased development functions are as set out in the approved plans, all to the satisfaction of the Director of Planning.
- B.2.4 The issuance of this permit does not warrant compliance with the relevant provisions of the Provincial Health and Community Care and Assisted Living Acts. The owner is responsible for obtaining any approvals required under the Health Acts. For more information on required approvals and how to obtain these, please contact Vancouver Coastal Health at 604-675-3800 or visit their offices located on the 12th floor of 601 West Broadway. Should compliance with the health Acts necessitate changes to this permit and/or approved plans, the owner is responsible for obtaining approval for the changes prior to commencement of any work under this permit. Additional fees may be required to change the plans.
- B.2.5 The owner or representative is advised to contact Engineering to acquire the project's permissible street use. Prepare a mitigation plan to minimize street use during excavation & construction (i.e. consideration to the building design or sourcing adjacent private property to construct from) and be aware that substantial lead time for any major crane erection / removal or slab pour that requires additional street use beyond the already identified project street use permissions.
- B.2.6 This site is affected by a Development Cost Levy By-law and levies will be required to be paid prior to issuance of Building Permits.**