

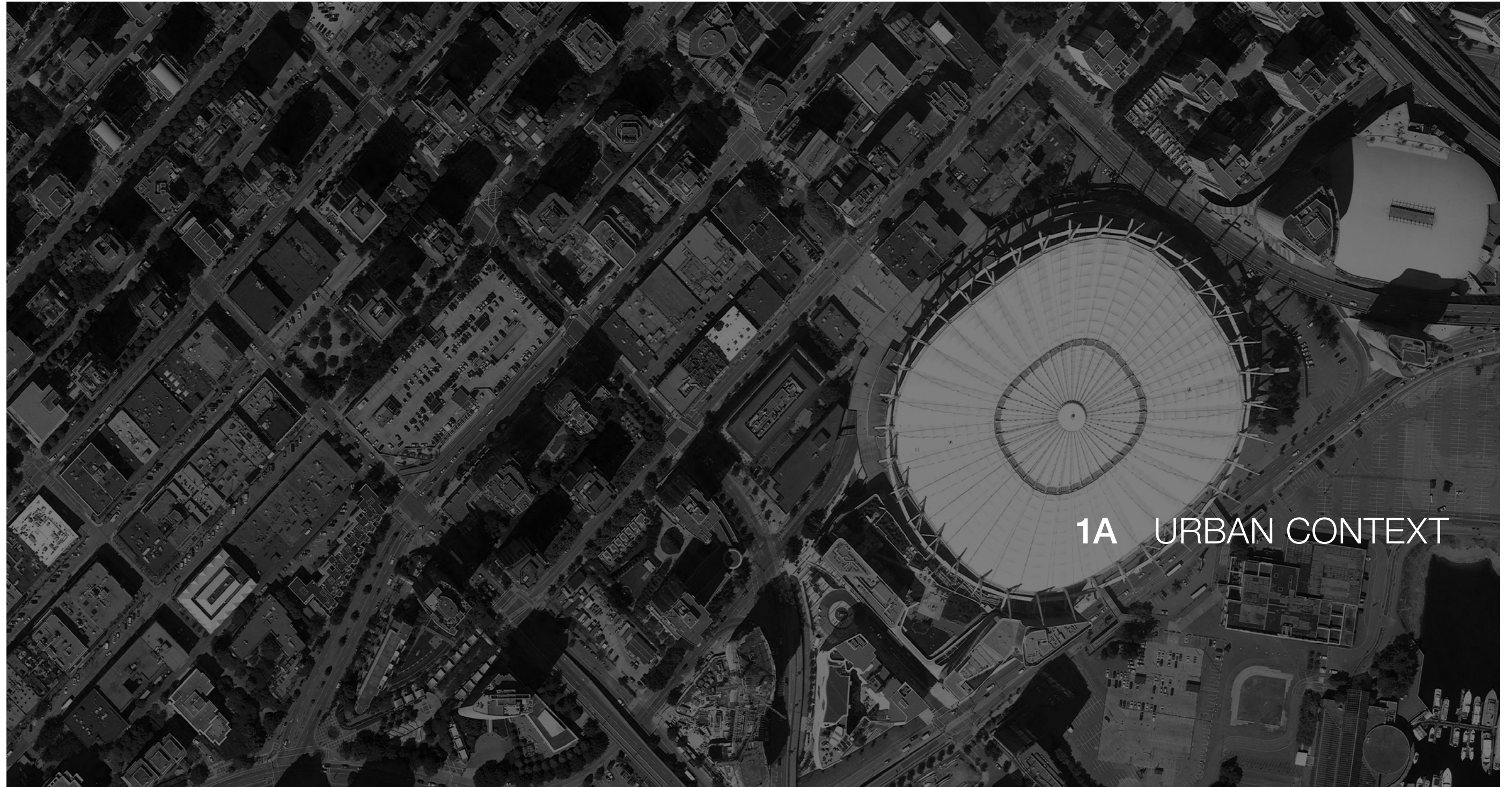
837 BEATTY STREET DESIGN RATIONALE



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01 CONTEXTUAL ANALYSIS

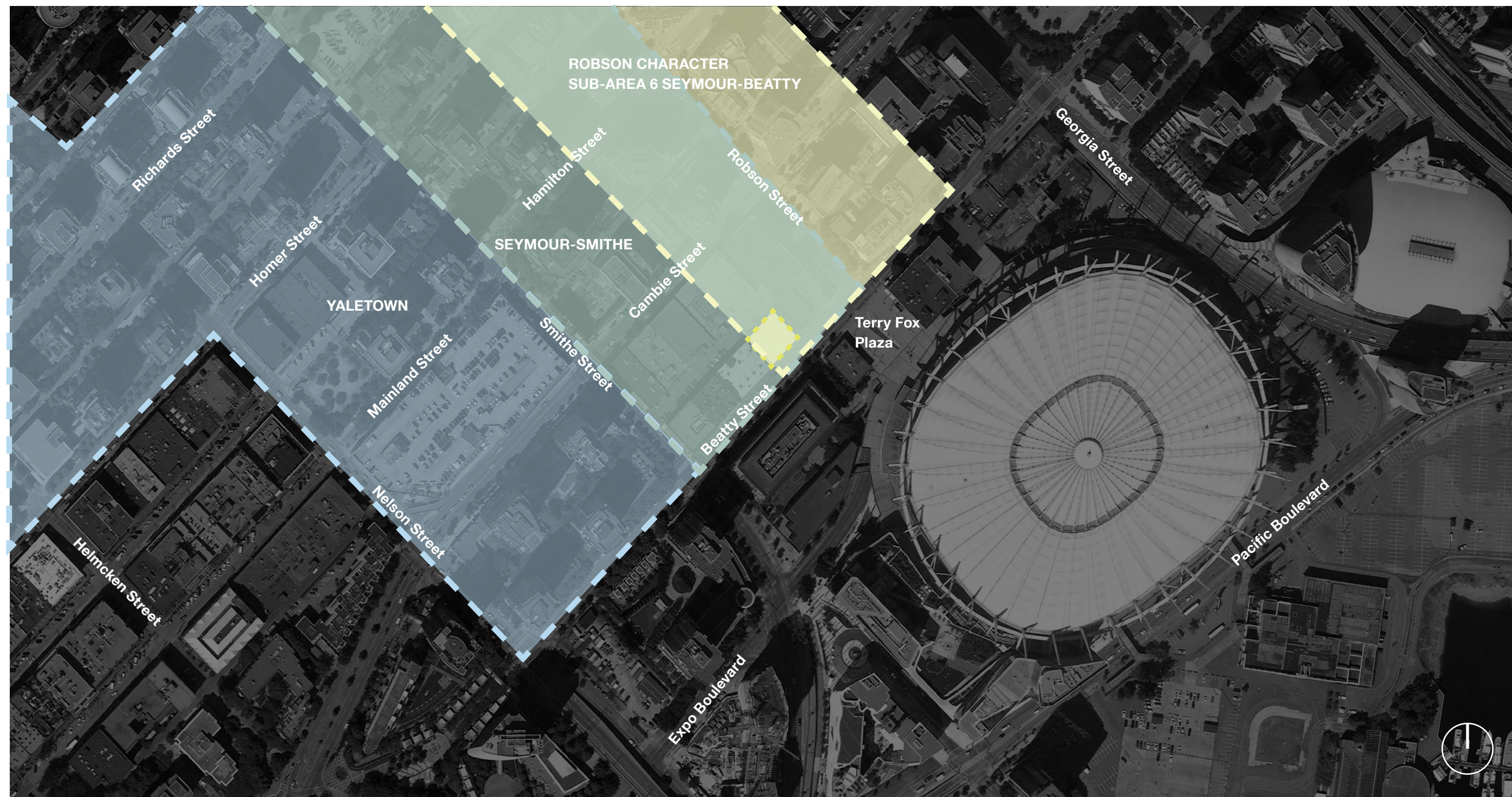


1A URBAN CONTEXT PROJECT SUMMARY

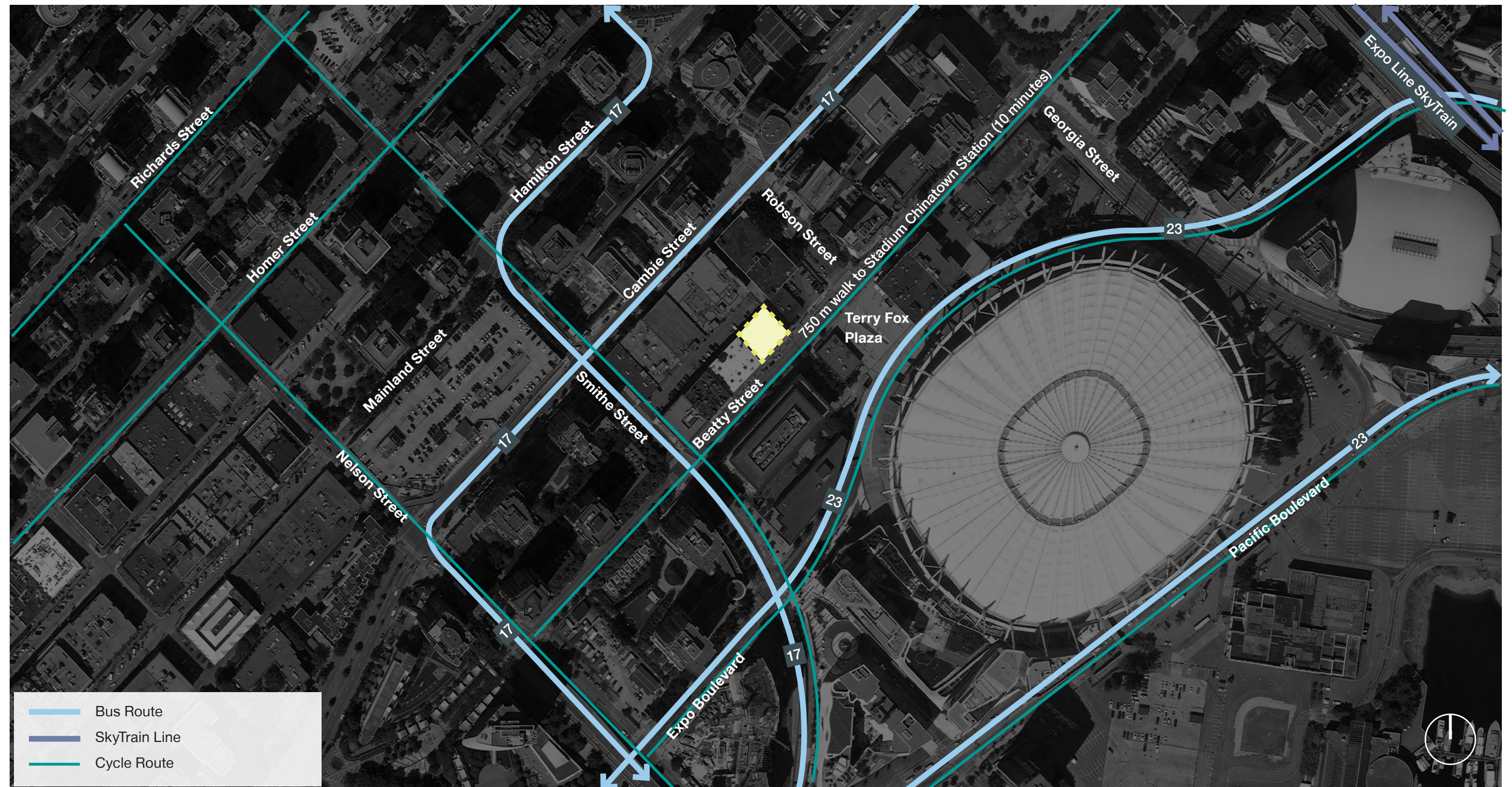
Project Name	837 Beatty Street Rehabilitation + Addition
Civic Address	837 Beatty Street, Vancouver, BC V6B 2M6
Legal Description	Lots 11, 12, 13 and 14 of Block 68, District Lot 541, Group 1, New Westminster District, Plan 2565
Zoning	DD (Downtown District) - Area C3
Heritage Status	Category C (Character Area Context) Constructed in 1911
Site Area	649.6 m ² (6,992 sf)
Density (FSR)	5.0 + 0.5 Heritage Bonus = 5.5
Target Floor Area	3,572.7 m ² (38,456 sf)
Existing Building	3 storey Heritage Warehouse Brick, concrete, steel and heavy timber
Addition	4 storeys of mass timber
Existing Use	Basement - storage Ground floor - commercial retail Upper floor - commercial office
Proposed Use	Basement - commercial retail / utility Ground floor - commercial retail Levels 2-5 - commercial office Level 6 - amenity and roof deck
Height Limit	Height Area 5 Basic - 91.4 m and View Cone A Alder Terrace to Mt. Seymour View Cone 9.1 Cambie at 10th to North Shore Must not increase the net incremental shadow impact on Terry Fox Plaza on summer solstice between 16:00 and 19:00 and prevent shadow impact on spring and fall equinoxes between 11:30 and 14:30



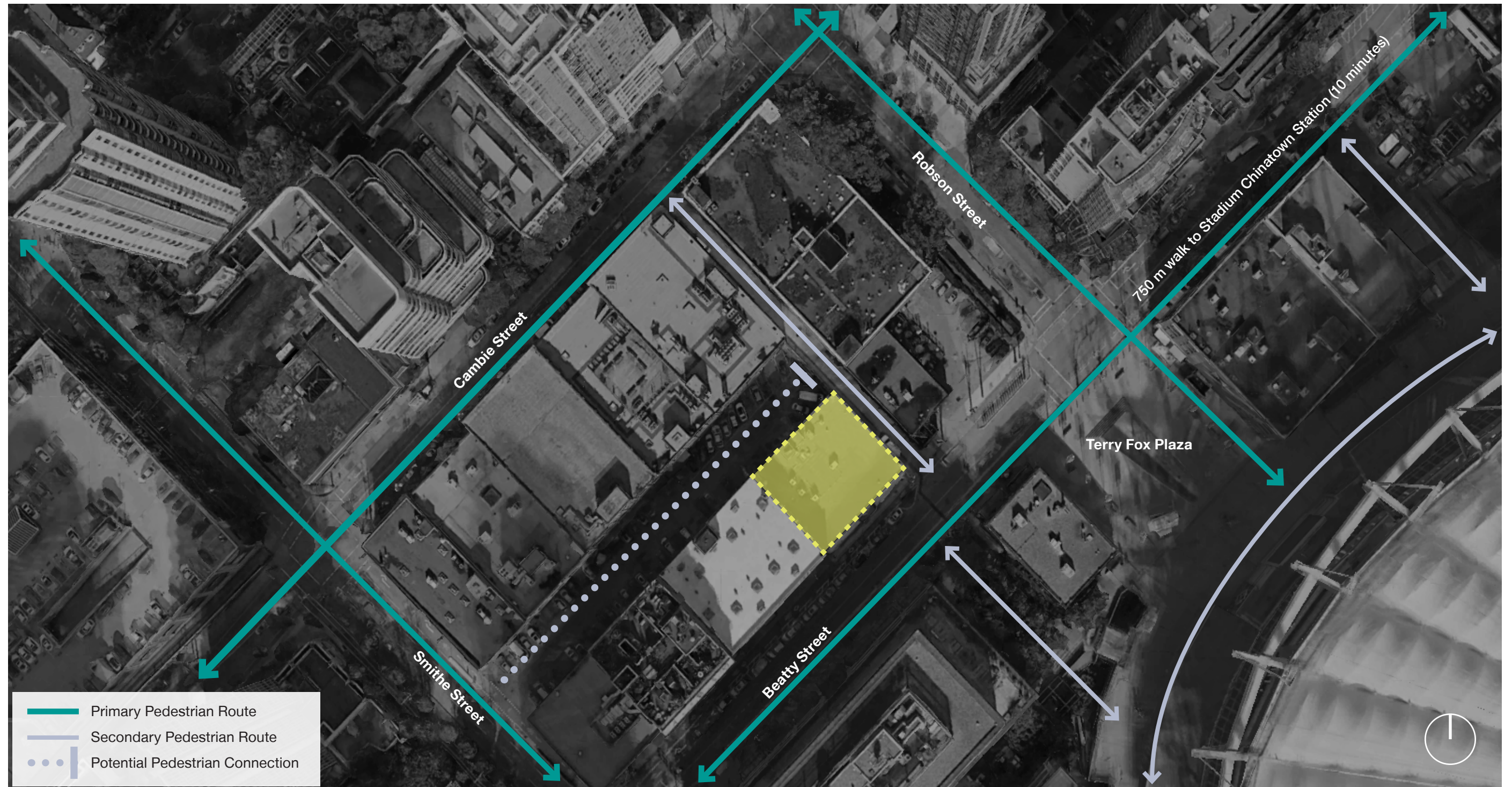
1A URBAN CONTEXT NEIGHBOURHOOD



1A URBAN CONTEXT TRANSPORTATION



1A URBAN CONTEXT PEDESTRIAN NETWORK





869–871 Beatty St – Class C Heritage Building
4 Storeys plus roof deck
Ground floor restaurant and pub with freehold
strata residential condominiums above
(converted in 1999)

849-863 Beatty St – Class C Heritage Building
5 Storeys
Ground floor retail with residential condominiums above
Originally the offices of the Liquor Control Board

Site – 837 Beatty Street – Class C Heritage Building
2 Storeys
Ground floor retail with upper floor office
Originally the Anglo Canadian Warehouse

Alley

150 Robson Street
6 Storeys
Approved rezoning of the Northern
Electric Company Building
including a hotel at Beatty Street

1A URBAN CONTEXT REAR LANE ELEVATION



Alley

Site – 837 Beatty Street – Class C Heritage Building
2 Storeys
Ground floor retail with upper floor office
Originally the Anglo Canadian Warehouse

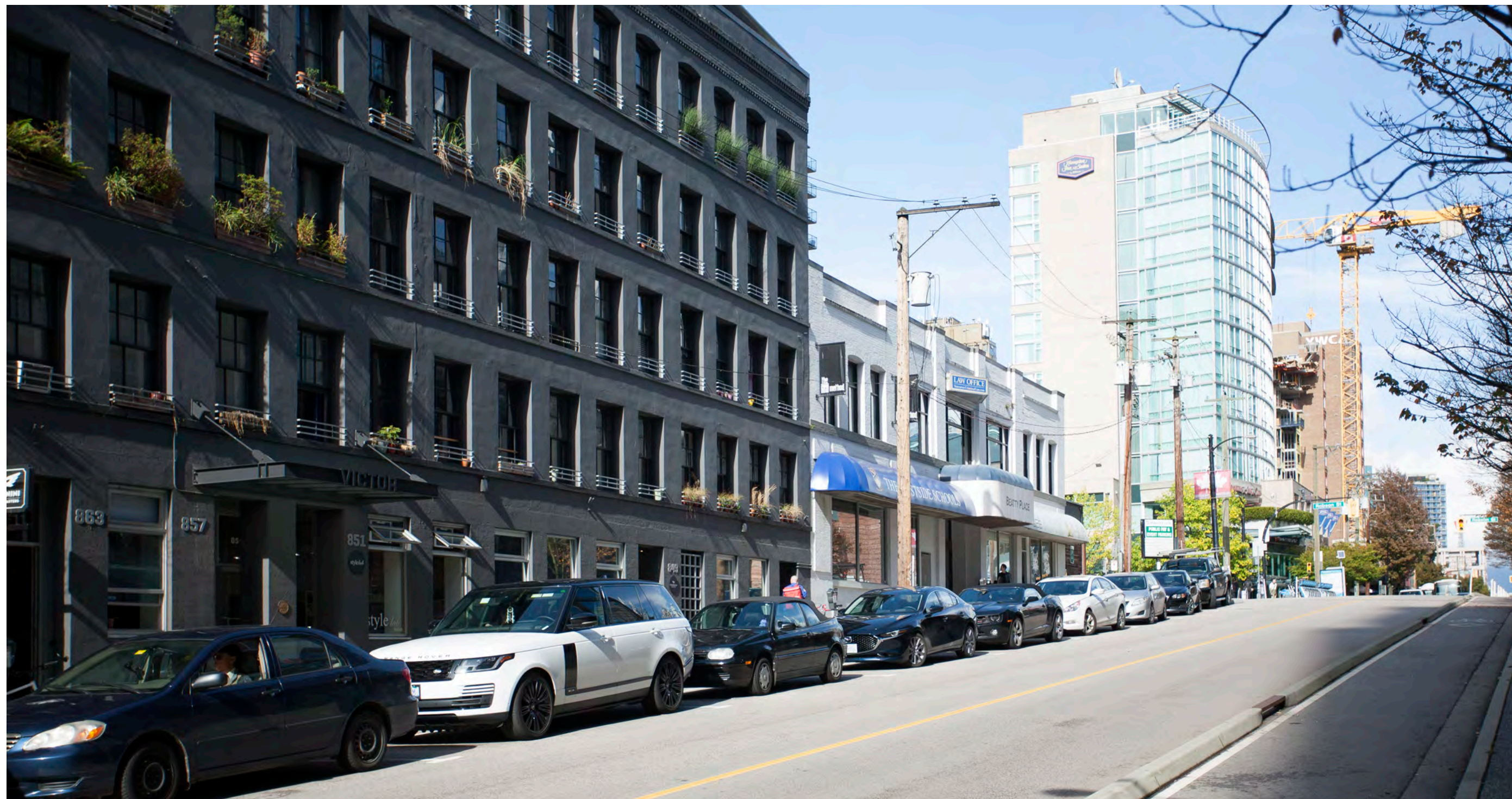
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869–871 Beatty St – Class C Heritage Building
4 Storeys plus roof deck
Ground floor restaurant and pub with freehold strata
residential condominiums above (converted in 1999)

1A URBAN CONTEXT PERSPECTIVE FROM NORTHEAST



1A URBAN CONTEXT PERSPECTIVE FROM SOUTHWEST



1A URBAN CONTEXT PERSPECTIVE FROM NORTHWEST



1A URBAN CONTEXT EXTERIOR DETAILS



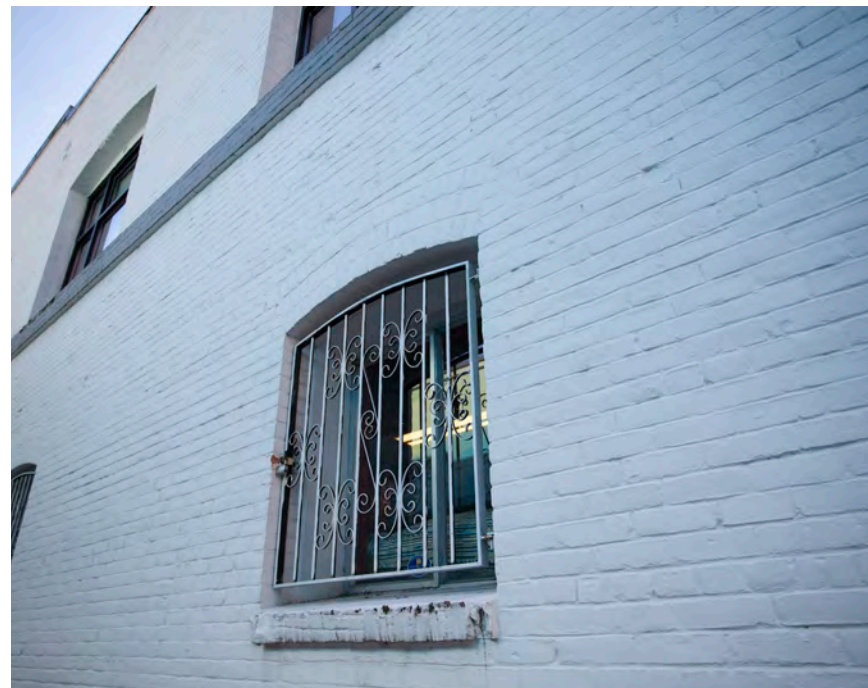
Existing brick panelling at northeast corner



Existing roof cornice covered by metal flashing



Northwest corner showing painted brick versus original red brick



Existing brick arch lintels and sills on north elevation



Rear (west) elevation at lane



1B HISTORICAL CONTEXT

1B HISTORICAL CONTEXT BUILDING HISTORY

FROM DONALD LUXTON AND ASSOCIATES' STATEMENT OF SIGNIFICANCE

Historic Name	Anglo-Canadian Warehouse
Architect	Wright, Rushforth & Cahill, San Francisco
Constructed	1911
Style	Edwardian industrial vernacular
Original Cost	\$30,000
Heritage Value	Part of the early twentieth century warehouse development in downtown Vancouver and valued for its longstanding warehouse and commercial function. During the economic expansion of the Edwardian era, numerous warehouses were constructed near False Creek due to the rail spurs that were laid by the Canadian Pacific Railway across its Yaletown land holdings. The warehouses were designed with loading bays to transfer goods directly to and from the rail lines. Block 68 was located at the northern terminus of the rail spurs, indicated by the 17 metre wide alley which could accommodate two parallel spurs servicing each side of the block.



Leyland truck parked in front of the Anglo Canadian Warehouse, 1927
Vancouver Public Library 9076



Anglo Canadian Warehouse Company picnic, circa 1925
City of Vancouver Archives 99-1311



The building following modifications to the parapet and painting of the front façade, 1985, City of Vancouver Archives CVA 790-1840

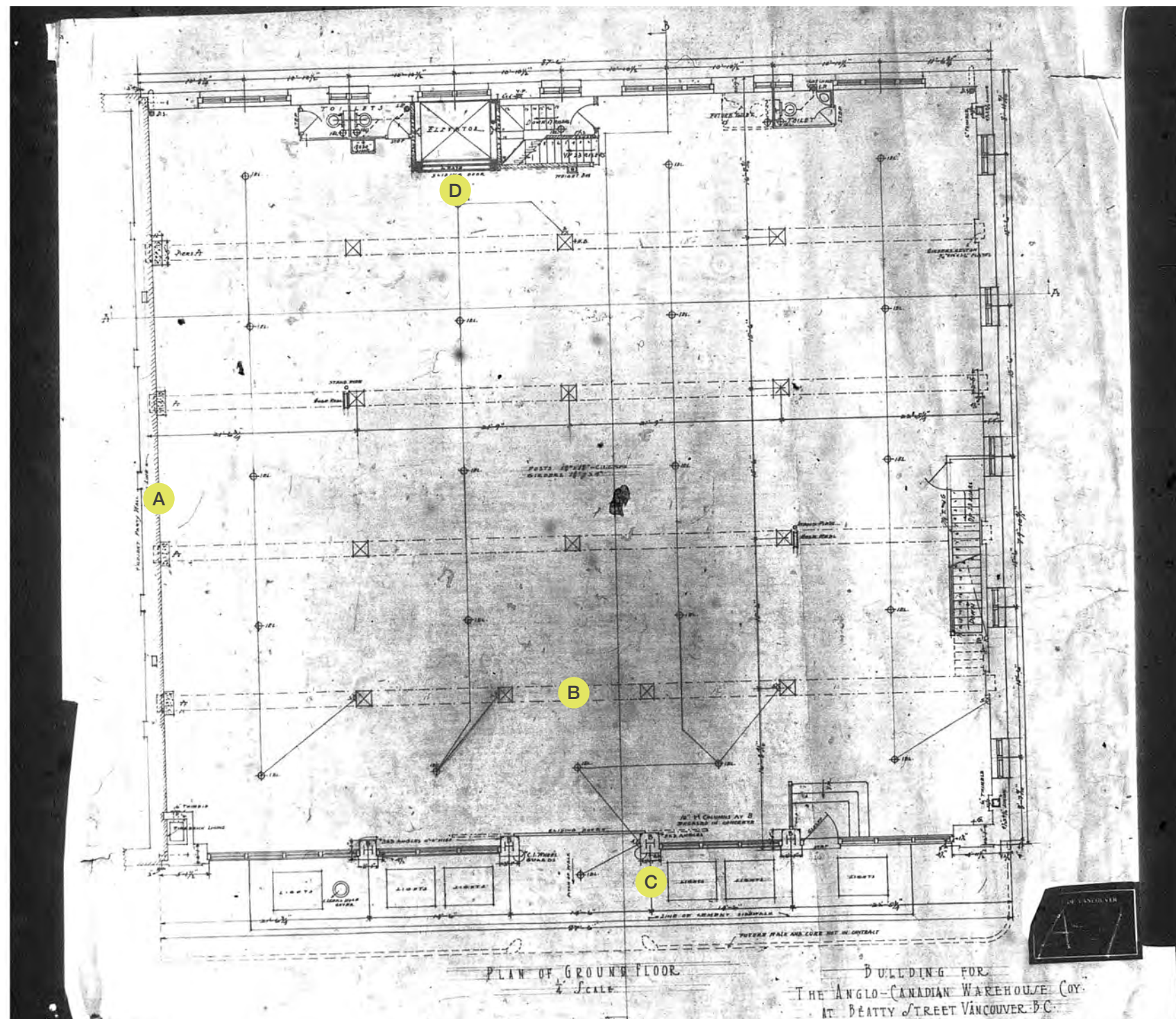


1B HISTORICAL CONTEXT

1911 – ORIGINAL GROUND FLOOR

KEY FEATURES

- A** The south wall is a shared party wall with the neighbouring building at 857 Beatty St, previously the Liquor Control Board Warehouse
- B** The column grid shifts near the front façade to create an entrance vestibule
- C** The basement plan extends under Beatty St and glass block lights were installed in the sidewalk to provide natural light below
- D** A freight elevator, located on the west side of the building at the rear lane (formerly the rail spur) connects the basement, ground and second floors

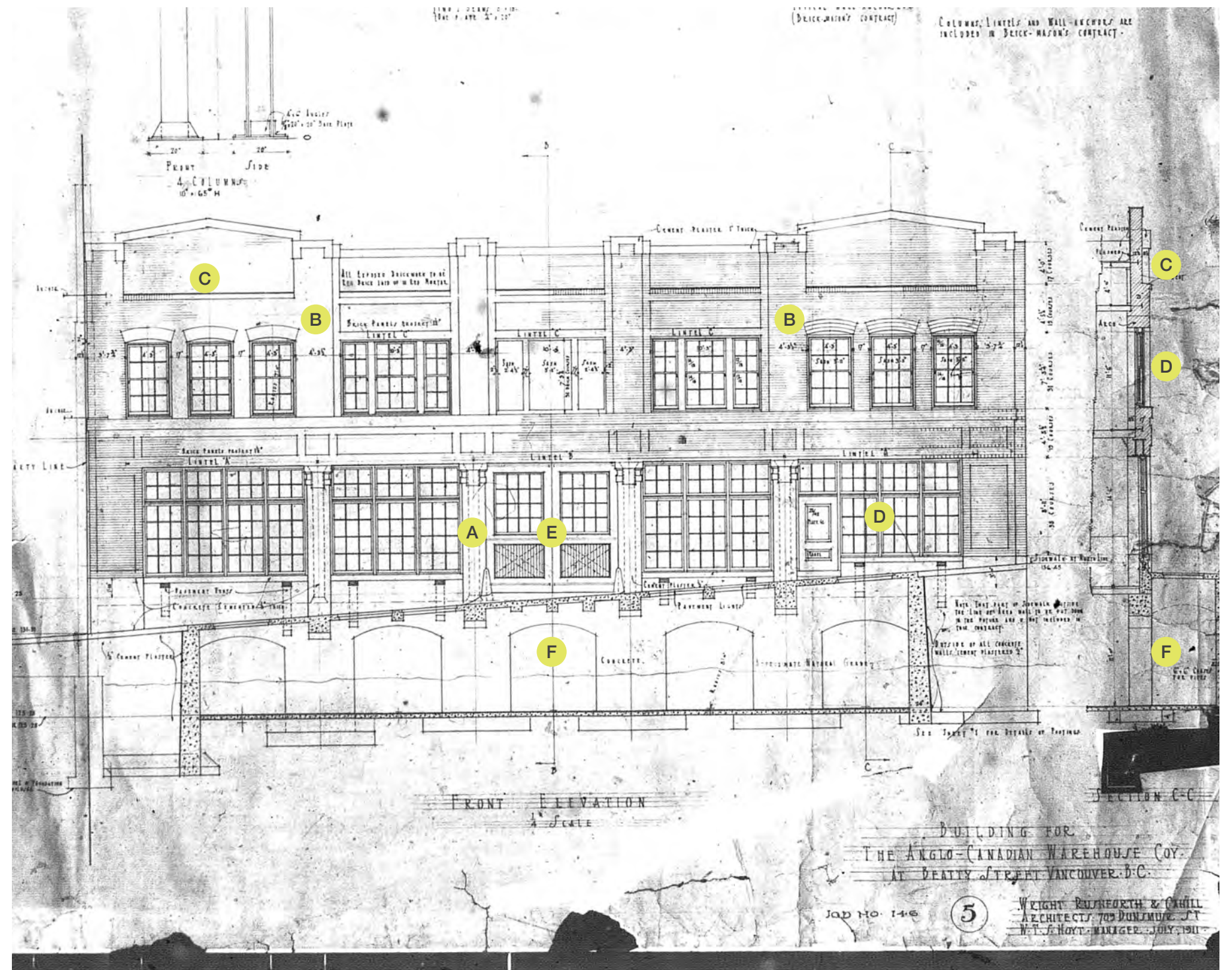


1B HISTORICAL CONTEXT

1911 – ORIGINAL FAÇADE

KEY FEATURES

- A** The rhythm of the façade is shaped by the shifted column grid at the front entrance, emphasized with concrete encased steel columns at the ground floor
- B** Brick panels step out to emphasize the column lines, end bays and horizontal elements
- C** Brick sills were installed at the parapet level, anticipating future expansion - the parapet at the end bays is modestly articulated
- D** The original fenestration is wood framed, single-paned glass with a fine grain of subdivision and windows are deeply recessed into the thick masonry walls
- E** Large, sliding wood and glass entry doors provided cartage access
- F** The basement plan extends under Beatty St and glass block lights were installed in the sidewalk to provide natural light below

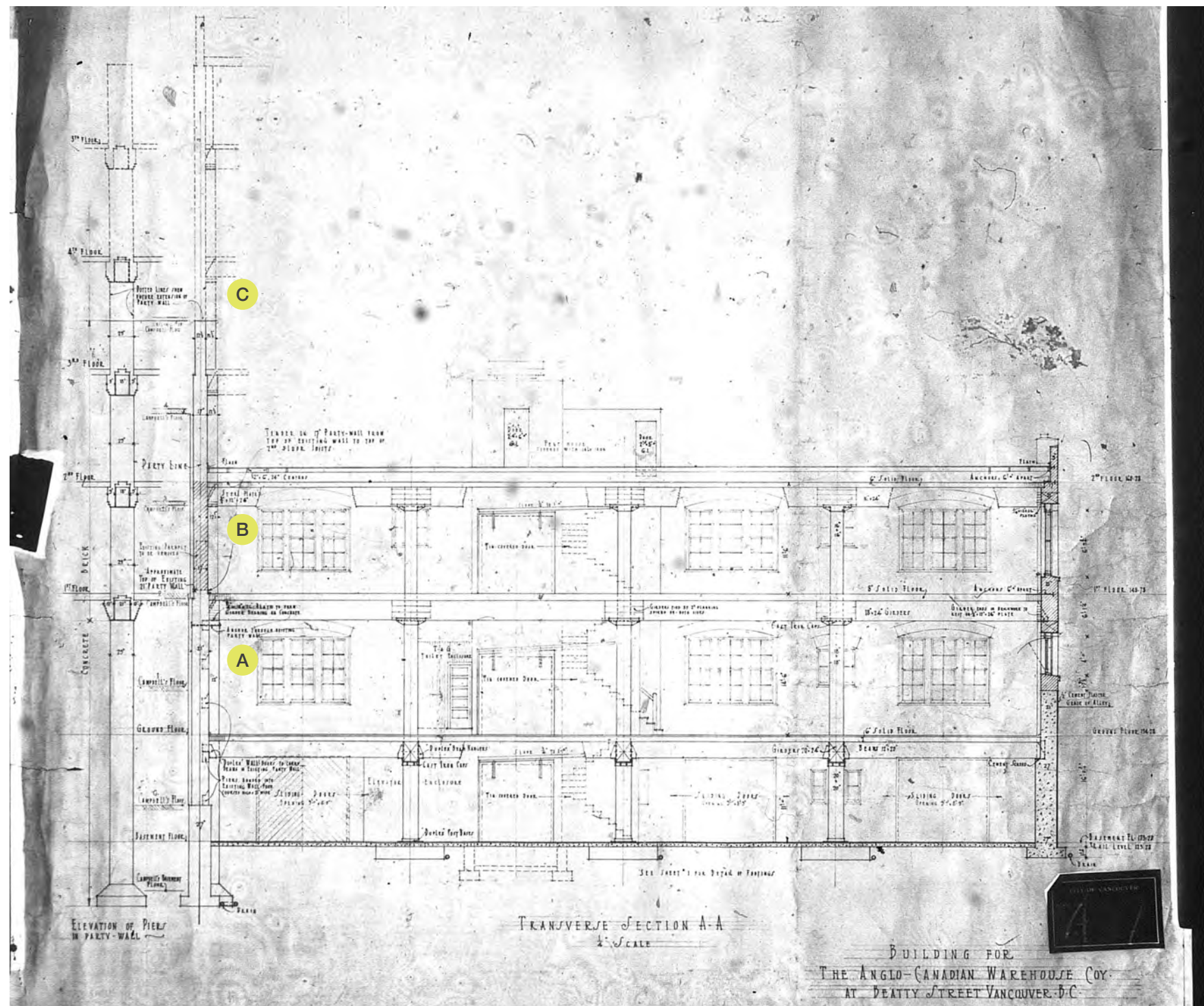


1B HISTORICAL CONTEXT

1911 – PLANNED FOR EXPANSION

KEY FEATURES

- A The original 1911 building was constructed against an existing party wall to the south
- B The party wall was jointly extended vertically to facilitate the construction of both 857 and 837 Beatty St (note the annotations of “Campbell’s” floors along the left side of the section)
- C The building at 837 Beatty St was originally designed to facilitate a four level vertical addition as indicated by the dashed lines in the original drawing. The structure was oversized to accommodate the additional gravity loads of the expansion. The capacity of the existing structure has been confirmed by an engineer to be suitable for a four storey addition.



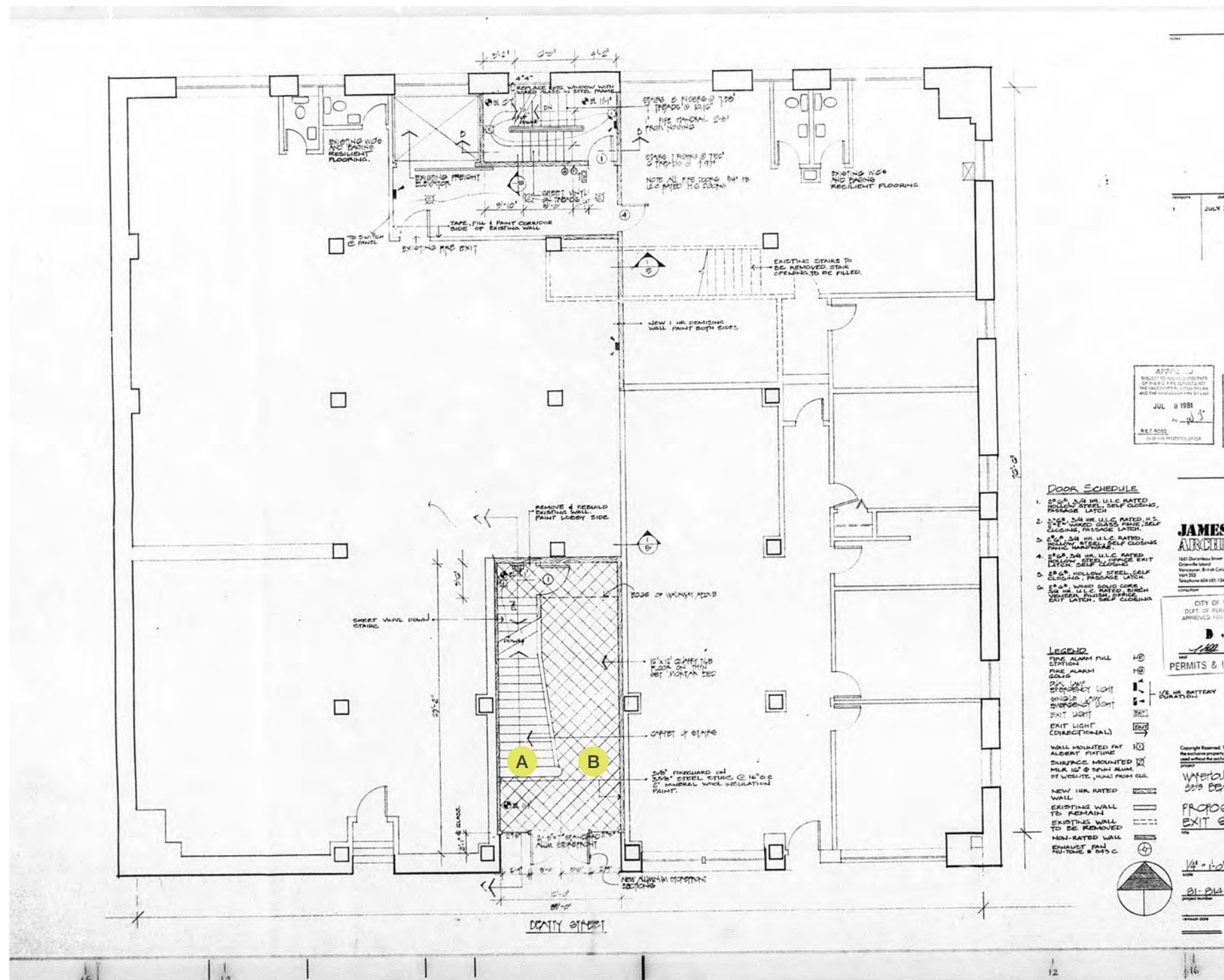
1B HISTORICAL CONTEXT

1981 – GROUND FLOOR ALTERATIONS

KEY CHANGES

- A** A new stair was created at the entrance vestibule connecting the ground floor to the second floor and providing a second means of egress from the upper level
- B** A portion of the upper level floor assembly was removed to create the double height space containing the new stair

These alterations were designed by James Cheng.



1B HISTORICAL CONTEXT

1981 – FAÇADE ALTERATIONS

KEY CHANGES

- A** The main entrance structural bay was replaced with an aluminum storefront glazing system—previously reconfigured façade bays provide entry to retail units on either side
- B** The Beatty St parapet had been previously shortened, squared off and altered to remove the articulations at the end bay
- C** Wood sash windows (other than the main entrance) had previously been replaced with aluminum windows on the front (Beatty St) and side elevations. The rear elevation maintains the original windows.

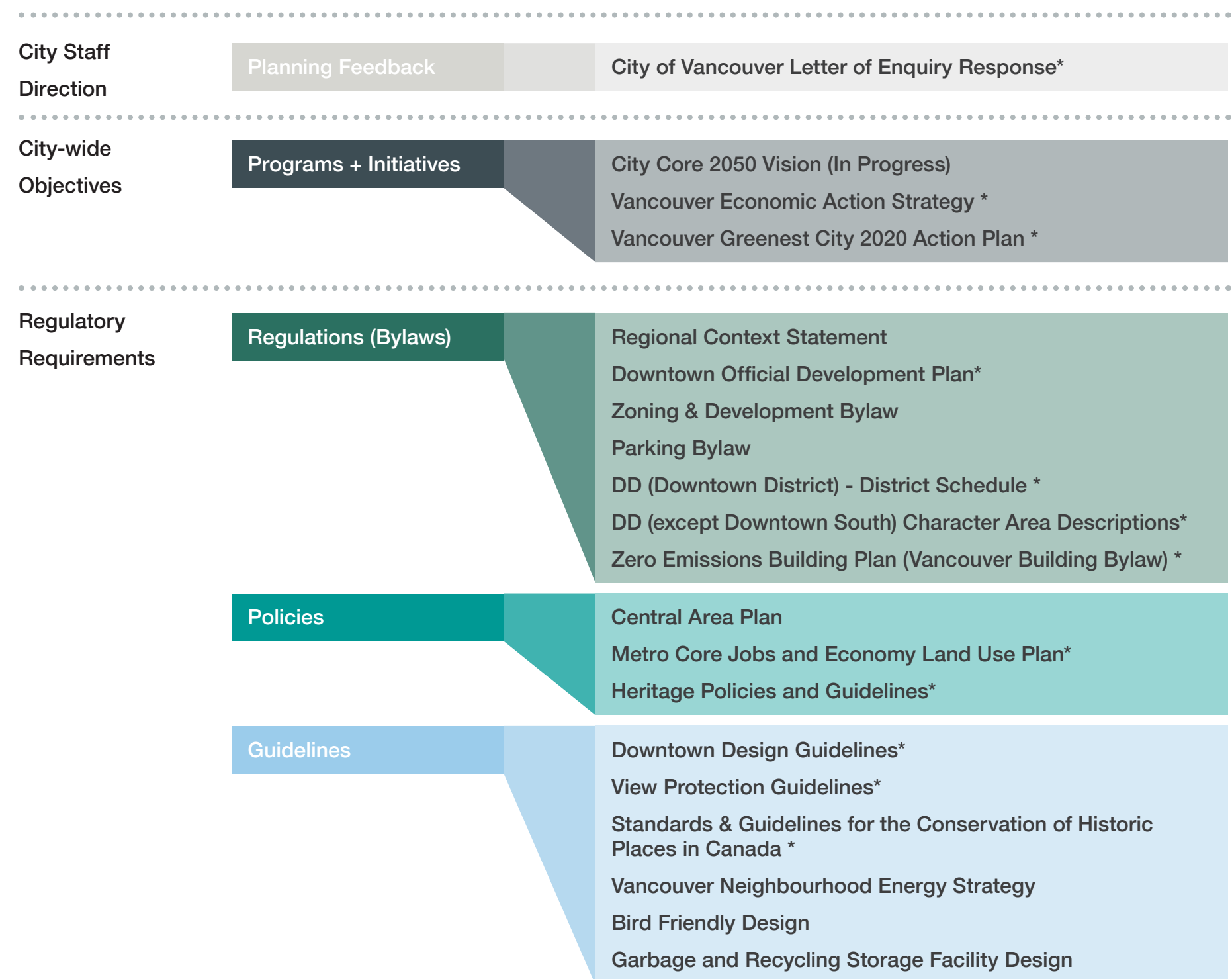
Beatty St façade in 1925 (left) and 1985 with altered portions highlighted in yellow.





1C

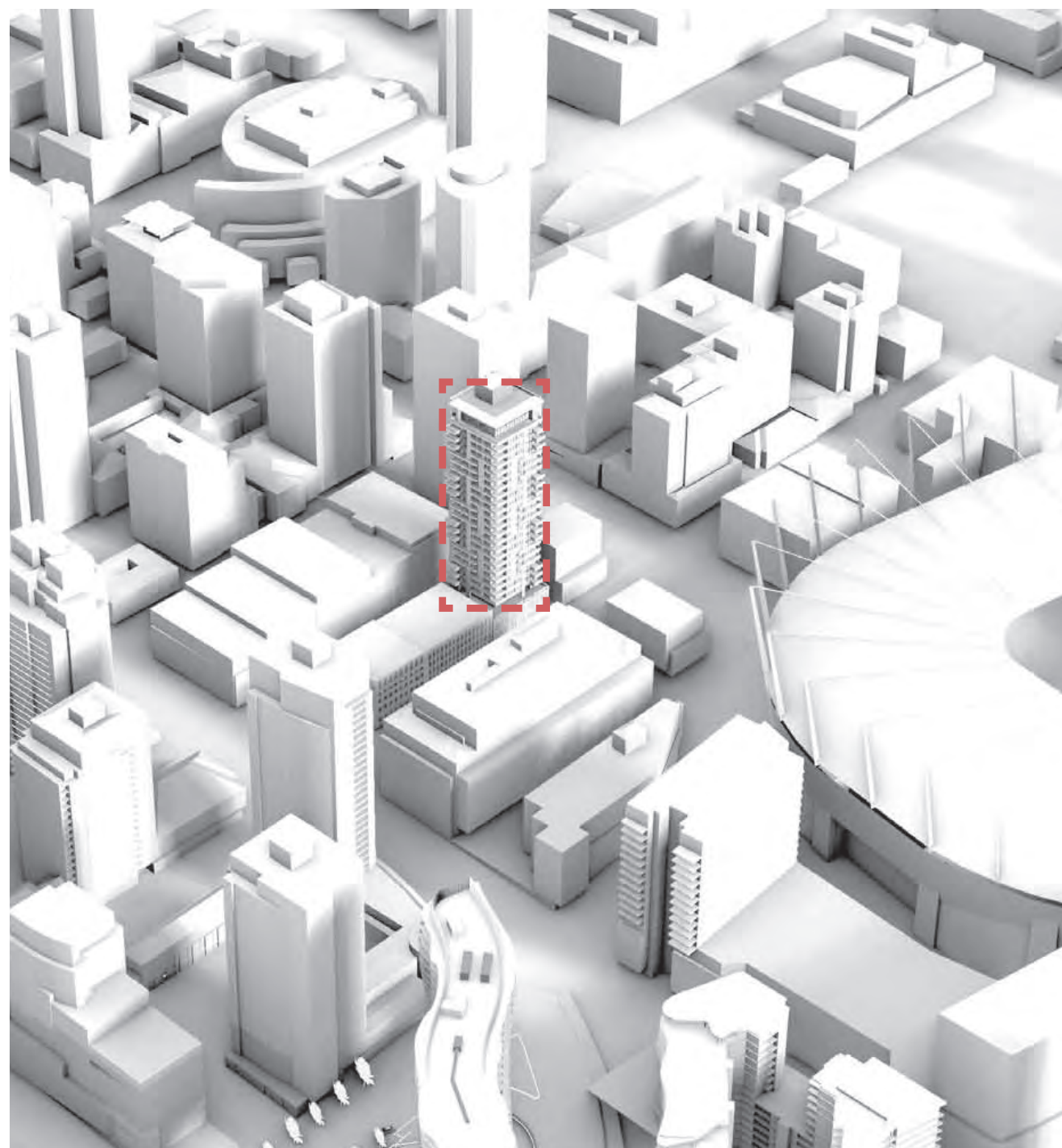
POLICY CONTEXT
PLANNING & REGULATORY FRAMEWORK



* Indicates the framework element is analyzed

1C POLICY CONTEXT

COV LETTER OF ENQUIRY RESPONSE



Aerial context view from previous letter of enquiry proposal

PREVIOUS LETTER OF ENQUIRY

- A previous letter of enquiry sought rezoning advice for a development proposal consisting of a 26-storey residential tower
- Staff were not supportive of the proposal and provided guidance on the following areas

SHADOW IMPACT

- The Downtown Design Guidelines require prevention or minimization of shadowing on public or semi-public open spaces between 11:30 and 14:30 at the spring and fall equinoxes
- Terry Fox Plaza is unique in supporting evening activity, particularly during the summer months
- Staff recommended a development be pursued under current zoning which demonstrates no net increase in the amount of shadow on Terry Fox Plaza on the summer solstice between 16:00 and 19:00

TOWER SEPARATION

- The City's standard 80 ft minimum separation distance between residential towers above 60 ft means the site is not conducive to a residential tower proposal

HERITAGE CONTEXT

- The subject block at 837 Beatty Street is located in a unique block containing nine Heritage "C" Class buildings
- Staff recommended a development response similar to recent additions to buildings in the 1100 blocks of Homer Street, Hamilton Street and Mainland Street as well as the 400 blocks of West Pender Street and West Hastings Street
- Recommended that the addition does not dominate the heritage building and is in keeping with the unique character of the block created by the grouping of heritage buildings