

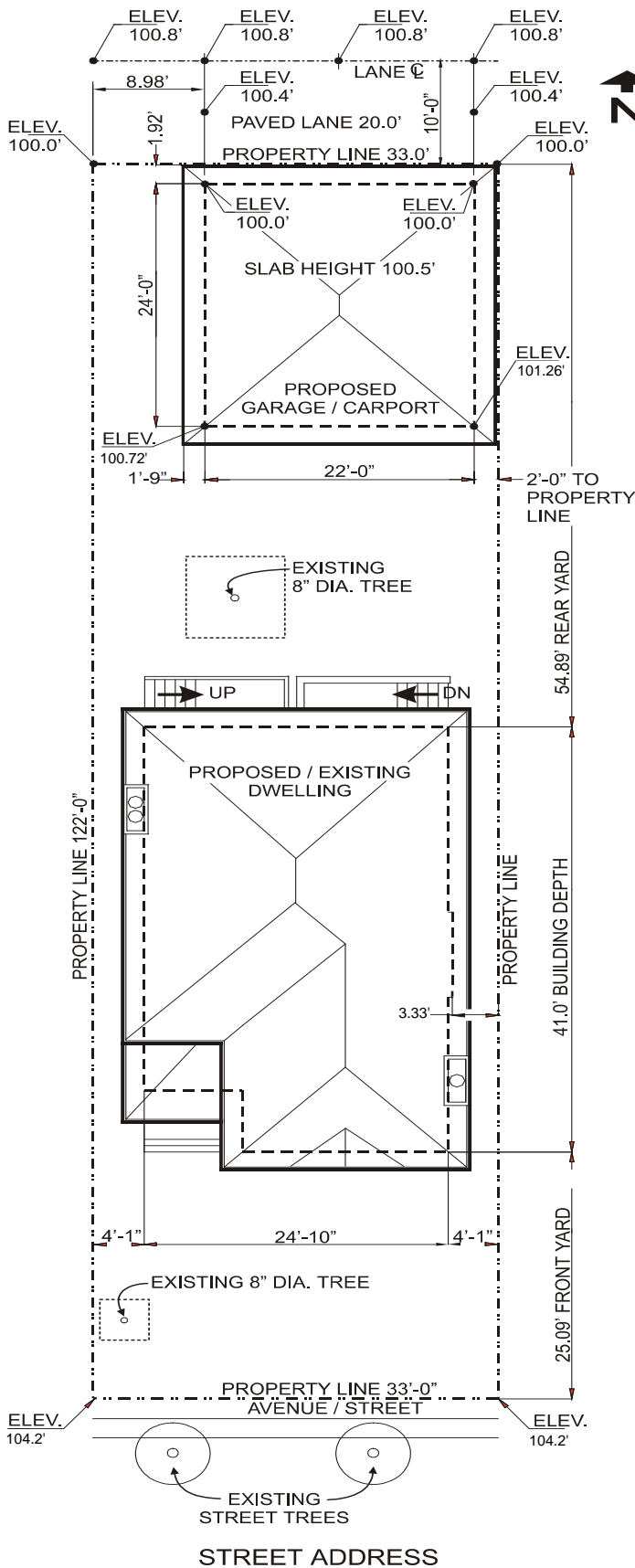
# Submission Requirements and Guide for Construction of Garages and Carports (Accessory to One- and Two-Family Dwellings)



**PLANNING AND DEVELOPMENT SERVICES**

This checklist **MUST** be completed by Applicant and submitted with Permit Application. If you have any questions regarding the information requested on this form, please call the Enquiry Centre at 604-873-7611.  
Permit Application can be found here: <http://vancouver.ca/files/cov/dev-build-app-form.pdf>

<b>Project Address:</b>				
Drawings Required <input checked="" type="checkbox"/> Indicates items <b>MUST</b> be submitted with application <input type="checkbox"/> Indicates items may be submitted at a later date				
# Sets Required	Prov'd by Applicant	Office Use Only	Drawings 1/4" = 1' 0" (1:50) unless otherwise noted	Notes / Comments
2 <input checked="" type="checkbox"/>			Site Plans	Scale not less than 1/8" =1' 0"(1:100)
2 <input checked="" type="checkbox"/>			Impermeable Material site plans	Scale not less than 1/8" =1' 0"(1:100)
2 <input checked="" type="checkbox"/>			Floor plans	
2 <input checked="" type="checkbox"/>			Elevations	(of each side of the building)
2 <input checked="" type="checkbox"/>			Cross Section/s & Structural details	
<b>Documents Required</b>				
1 <input checked="" type="checkbox"/>			Application form	
1 <input checked="" type="checkbox"/>			Owners' Undertaking Letter (original signatures required)	<a href="http://vancouver.ca/files/cov/owners-undertaking-letter.pdf">http://vancouver.ca/files/cov/owners-undertaking-letter.pdf</a>
1 <input checked="" type="checkbox"/>			Arborist Report including details of existing site trees and adjacent trees (as noted on the survey) and relevant comments as noted in the <a href="#">Protection of Trees By-law</a> Section 7.2	Prepared by an ISA Certified Arborist Not required for applications without site or adjacent trees, or for applications that meet Section 7.3 of the Protection of Trees By-law
1 <input type="checkbox"/>			Hazardous Material Form	Required for demolition of building
1 <input type="checkbox"/>			Proof of ownership	If recently purchased
<b>Letters of Assurance - Professionals must sign &amp; seal each page of all Letters of Assurance submitted</b>				
1 <input checked="" type="checkbox"/>			Schedule B1/B2 - Architectural	Not complying with Part 9 of VBBL
1 <input checked="" type="checkbox"/>			Schedule B1/B2 - Structural	
<b>Statements Required</b>				
			Site Coverage	
			Impermeable Site Coverage	
<b>General notes:</b>				
Two sets of plans (not pencil drawings or notations), with scale as noted, are required before a permit can be processed. Site Coverage Statement is required as well as an Impermeable Material Site Coverage Statement where the site is located in an RS Zone.				
Schedules B1/B2 Structural Letters of Assurance from a Professional Engineer are required where proposed construction includes laminated beams, beams or joists exceeding maximum allowable span in the Vancouver Building By-Law and where masonry/concrete construction is proposed. A registered professional must sign & seal each page of all drawings & details, where required by the Vancouver Building By-Law. This list of requirements is not limited in its content. Review of your application, plans or documents may reveal additional requirements.				
Note : If the preliminary plan review reveals that the application does not meet outright Zoning and Development By-law approval requirements and/or Building By-law requirements, additional drawings may be required prior to processing.				
The drawings in this guide are for sample purposes only and are not to be used for submission.				



**Site Plan should include the following:**

- Scale not less than 1/8"=1'0" (1:100)
- Legal Description and north arrow
- Dimensions of site
- Street names, location and dimensions of lanes
- Size of all yards measured from the property line, including front yard, side yards and rear yard
- Building dimensions - this includes the principle building and any existing or proposed accessory buildings
- Existing & finished grade levels at the four corners of the site and at the four corners of the proposed accessory building, and two grade levels at the center line of the lane adjacent to the proposed accessory building (see sample site plan)
- Setbacks must be taken from the established building line where applicable
- Proposed accessory building slab elevation ([Bulletin 2000-011-BU](#))
- Clearly indicate the location of proposed work if adding to the building
- Indicate any right-of-ways, registered easement or encroachments Location of any existing trees with trunks over 8"(20cm) thick, measured 3'(90cm) above the grade
- Width of access to parking and the number of spaces provided
- Indicate the location of existing or proposed driveways from a street
- Indicate ultimate property lines
- Roof drainage system is to be indicated on the site plan ([Bulletin 2000-006-BU/PL](#))

Note: Where lane dedication or building line exists, setbacks must be taken from the dedication line or building line.

Address: \_\_\_\_\_

Legal Description

Lot \_\_\_\_\_ Subdivision \_\_\_\_\_ Block \_\_\_\_\_

District Lot \_\_\_\_\_ Plan Number \_\_\_\_\_

Site Coverage

Permitted \_\_\_\_\_ %

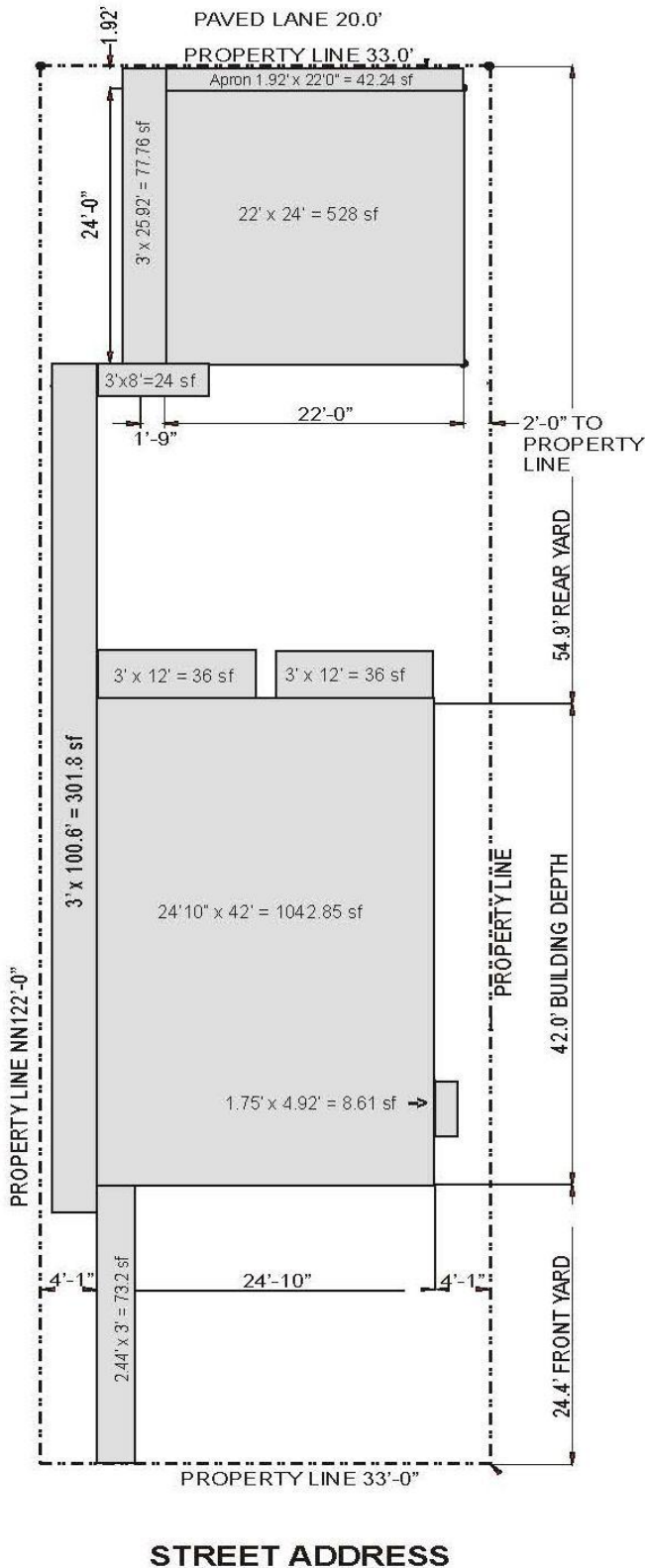
Proposed - Principal Building \_\_\_\_\_

- Accessory Building(s) \_\_\_\_\_

Total Proposed \_\_\_\_\_ %

**Site Plan**





**Impermeable Material Site Coverage Plan should include the following:**

- Scale not less than 1/8"=1'0" (1:100)
- Indicate and dimension all impermeable materials, including all buildings, sidewalks, paved areas, decks, pools, plastic planting area sheets and other construction which stops rain water from directly entering the soil on the site
- Impermeable material site coverage statement (maximum and proposed)

**Note:** Indicate size and type of material in gravel / rock areas.

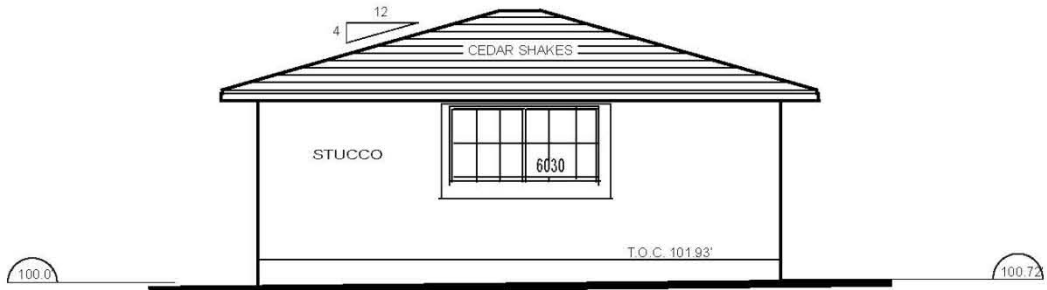
Address: \_\_\_\_\_

**Impermeable Material Site Coverage**

Permitted	_____	_____ %
Proposed	- Principal Building	_____
	- Accessory Building(s)	_____
	- Decks	_____
	- Sidewalks	_____
	- Other Areas	_____
Total Proposed	_____	_____ %

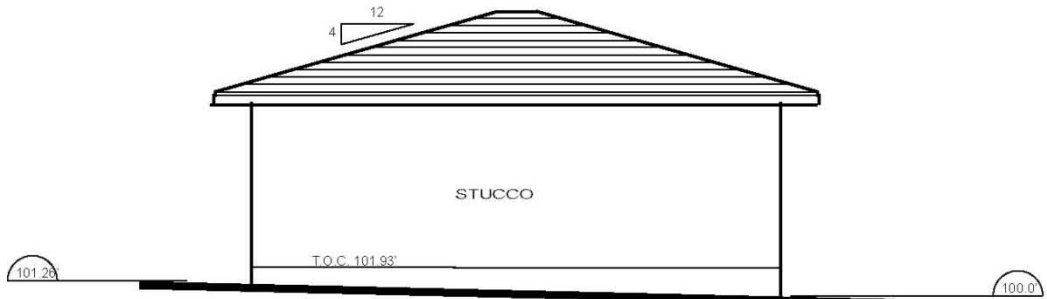
**\*\*\* ALL IMPERMEABLE AREAS TO BE LABELED AND DIMENSIONED \*\*\***

**Impermeable Material Site Coverage Plan**



**WEST ELEVATION**

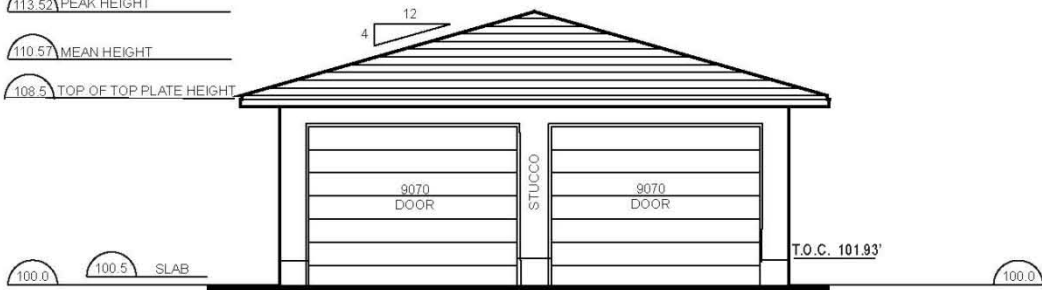
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

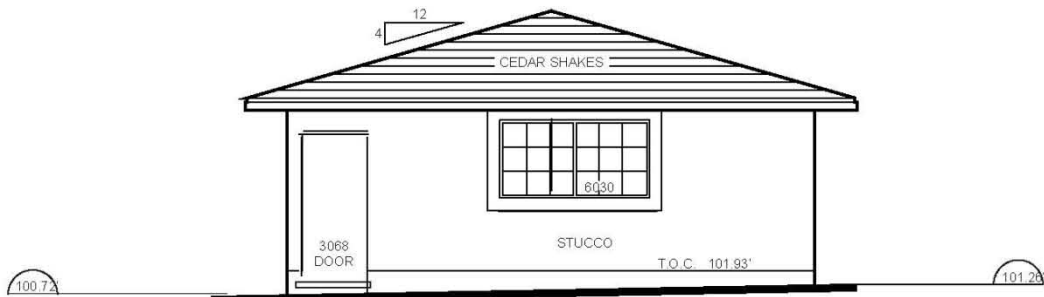
SCALE: 1/4" = 1'-0"

- 113.52 PEAK HEIGHT
- 110.57 MEAN HEIGHT
- 108.5 TOP OF TOP PLATE HEIGHT



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

**GARAGE ELEVATION PLANS**

### **Elevations should include the following:**

- Scale not less than 1/4" = 1' 0" (1:50)
- New buildings - all four elevations(front, rear and two sides)
- Additions and exterior alterations - sufficient number of elevations to adequately represent the proposal
- Exterior cladding - finish details and material of exterior
- Existing and proposed grade elevation numbers including building height at the peak, mean and eave elevations
- Eave overhang dimensions including gutters
- Indicate location of all windows, doors and skylights, including sizes
- Indicate the elevation of proposed top of concrete around the perimeter of the building.
- Indicate roof pitch and roofing material

### **Construction Detail / Cross Sections should include the following:**

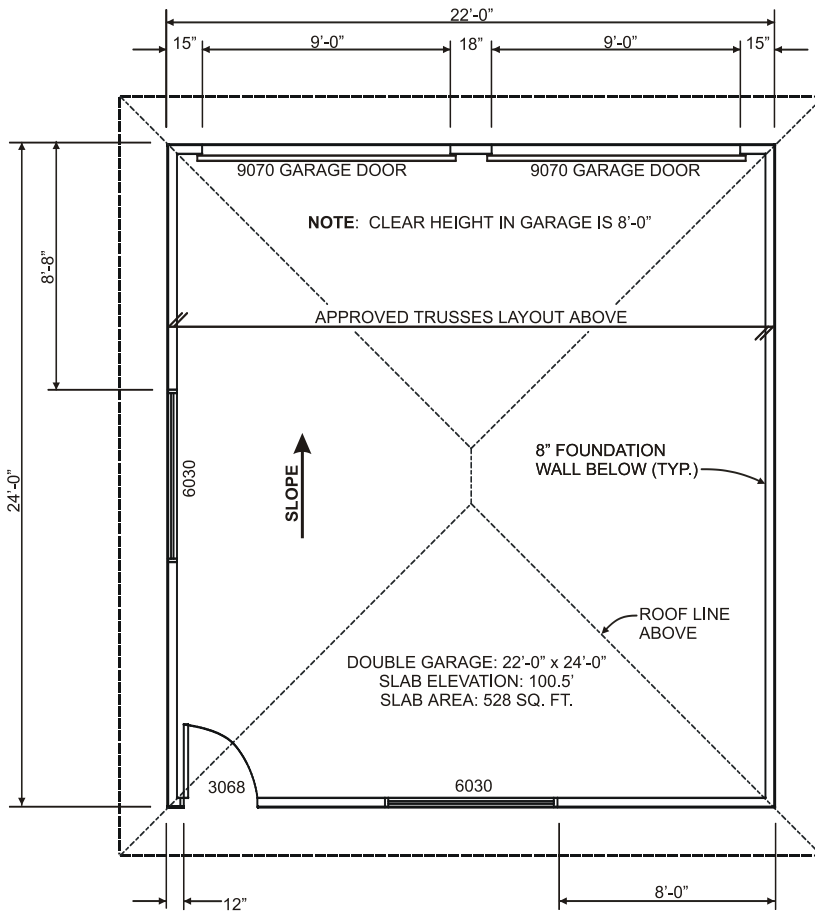
- Scale not less than 1/4" = 1' 0" (1:50)
- Height of all half storeys or dormers where floor area has a minimum ceiling height of 4 feet (1.2m)
- Wall, roof and/or ceiling assemblies
- Lintel, beam, joist and stud sizes including spacing and lumber grade
- Prefabricated roof trusses/ Laminated wood or steel beams- 2 sets -signed and sealed ) Certified by a registered Professional Engineer in BC

### **Impermeable Material Site Coverage Plan should include the following:**

- Scale not less than 1/8" = 1' 0"
- Indicate and dimension all impermeable material, including all buildings, sidewalks, paved areas, decks, pools, plastic planting area sheets and other construction which stop rain water from directly entering the soil on a site
- Impermeable material site coverage statement (maximum and proposed)

### **Floor Plans should include the following:**

- Scale not less than 1/4" = 1'0" (1:50)
- Indicate all outside building dimensions
- Indicate all inside floor dimensions
- Indicate all door and windows sizes
- Indicate any or all plumbing fixtures
- Indicate direction, location and size of all joists, beams, lintels, girders, girder supports and trusses
- Clearly indicate proposed work if adding to an existing building (highlight)

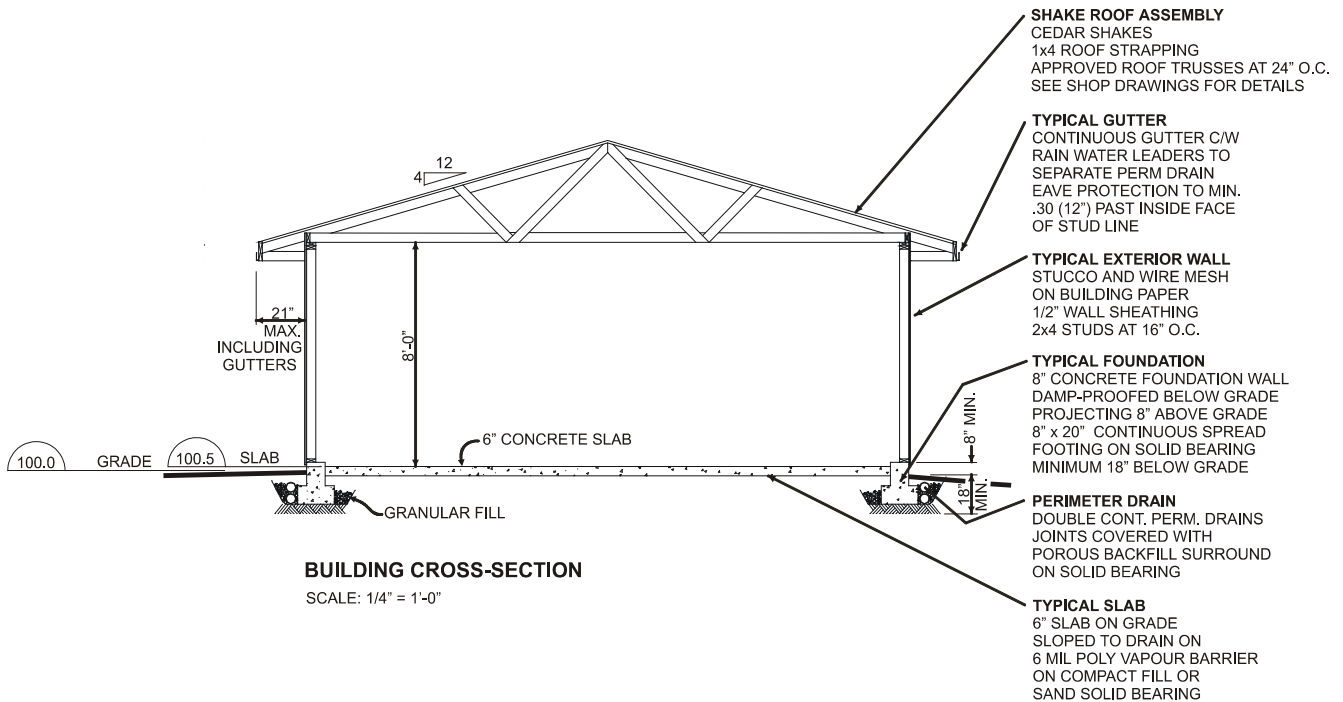


**GARAGE FLOOR PLAN**

SCALE: 1/4" = 1'0"

**Floor Plans should include the following:**

- Scale not less than 1/4" = 1'0" (1:50)
- Indicate all outside building dimensions
- Indicate all inside floor dimensions
- Indicate all door and windows sizes
- Indicate any or all plumbing fixtures
- Indicate direction, location and size of all joists, beams, lintels, girders, girder supports and trusses
- Clearly indicate proposed work if adding to an existing building (highlight)



**BUILDING CROSS-SECTION**

SCALE: 1/4" = 1'-0"



# Frequently Called Numbers

## CITY OF VANCOUVER DEPARTMENTS:

**Development Services - Enquiry Centre** ..... 604-873-7611  
Zoning & Development By-law Information  
Vancouver Building By-law Information  
Landscape Technicians

**1 & 2 Family Dwellings - Appointment Line** ..... 604-873-7611

**Property Information** ..... From within Vancouver call 3-1-1 or 604-873-7000  
Building Plans  
Approved use of residential building  
*(Plan copies may be obtained from the Property Information Counter, 2<sup>nd</sup> floor of the East Wing; written authorization from the current property owner is required; service fees applicable)*

### **By-law Administration**

Building Permit Extensions ..... 604-873-7054 or 604-873-7760  
Refund Requests ..... 604-871-6137  
File Research ..... 604-873-7111 or 604-871-6418

**Inspections** ..... From within Vancouver call 3-1-1 or 604-873-7000  
24 Hour Message Line for Building Inspections ..... 604-873-7058  
24 Hour Message Line for Electrical Inspections ..... 604-873-7059  
24 Hour Message Line for Plumbing/Gas Inspections ..... 604-873-7061

**Engineering Department** ..... From within Vancouver call 3-1-1 or 604-873-7000  
Public Information Counter ..... 604-871-6730

**Subdivision & Strata Title** ..... 604-873-7556 or 604-871-6627

**Board of Variance (call to set up an appointment)** ..... 604-873-7723

## EXTERNAL AGENCIES:

**Archeological Branch** ..... 250-356-0882

**Architectural Institute of BC** ..... 604-683-8588

**Homeowner Protection Office**..... 604-646-7050  
<http://www.hpo.bc.ca/>

**BC One Call - Call Before You Dig™** ..... 1-800-474-6886  
[www.bconecall.bc.ca](http://www.bconecall.bc.ca) or \*6886 on cell phone

**Fortis BC (formerly BC Gas) - Location of Gas Lines** ..... 1-888-224-2710  
[www.fortisbc.com](http://www.fortisbc.com)

**Professional Engineers & Geo-Scientists of BC** ..... 604-430-8035