

Development Statistics



2021-11-22

Project Development Data

1616, 1670 & 1698 West Georgia Street, Vancouver, British Columbia

A. Project:

33 Storey Residential Tower

B. Legal Description:

Lot A (Reference Plan 1653) of Lots 5 and 6 Block 55 District Lot 185 Plan 92
Lot B (Explanatory Plan 2559) of Lots 5 and 6 Block 55 District Lot 185 Plan 92
Lot M Block 55 District Lot 185 Plan LMP18253

C. Zoning:

Proposed: CD-1 (Residential)
Based on West End community Plan Georgia Corridor: Area A

D. Proposed Setbacks:

Tower Setbacks

Front Yard

West Side Yard

Rear Yard

East Side Yard

West Georgia

Bidwell Street

Albemi Street (from Curb)

East Mews

10.67 m (35')

7.62 m (25')

7.62 m (25')

10.67 m (35')

E. Building Height:

Permitted (West End Community Plan pg.49)	Permitted (Referral Report March 1, 2021 Section 6.1)	Proposed Bylaw Section 2 pg. 4 - Base Surface (refer to Architectural sheet for base surface calculations)
117.3 m (385')	99.3m (325.7')	Lowest Interpolated Building Grade = 9.01'm (29.5') Top of roof @ 107.82 -9.01 = 98.81m (324.25')

F. Site Coverage Calculations:

Gross Site Area

Building Footprint Area (outer most external wall of podium)

Site Coverage Percentage

1,761.0 sq.m.

1,003.2 sq.m.

57%

(18,955 sq ft)

(10,799 sq ft)

Lot M: 1,522.1 sq.m.

Lot A: 118.55 sq.m. (Approx. 1/2 of Lot A)

Lot B: 120.35 sq.m. (Approx. 1/2 of Lot B)

G. Floor Space Ratio (FSR) Calculation:

Proposed Floor Space Ratio: 9.39

H. Residential Statistics - Floor Areas

Level	Number of Floors	Unit Area per Floor	Total Unit Area	Area per Floor	Total Common Area	Total Amenity Area	Gross Floor Area per Floor	Total Area (All Floors)	FSR Exclusion	Balcony Area
L1	1	0.0 sq.m.	0.0 sq.m.	289.2 sq.m.	289.2 sq.m.	205.2 sq.m.	494.5 sq.m.	494.5 sq.m.	205.2 sq.m.	0.0 sq.m.
L2	1	447.6 sq.m.	447.6 sq.m.	128.8 sq.m.	128.8 sq.m.	37.4 sq.m.	613.8 sq.m.	613.8 sq.m.	37.4 sq.m.	0.0 sq.m.
L3	1	784.0 sq.m.	784.0 sq.m.	81.7 sq.m.	81.7 sq.m.	0.0 sq.m.	865.7 sq.m.	865.7 sq.m.	13.0 sq.m.	99.5 sq.m.
L4	1	716.5 sq.m.	716.5 sq.m.	85.4 sq.m.	85.4 sq.m.	0.0 sq.m.	801.9 sq.m.	801.9 sq.m.	3.7 sq.m.	77.2 sq.m.
L5	1	619.4 sq.m.	619.4 sq.m.	82.7 sq.m.	82.7 sq.m.	0.0 sq.m.	702.0 sq.m.	702.0 sq.m.	7.4 sq.m.	56.6 sq.m.
L6	1	452.6 sq.m.	452.6 sq.m.	82.1 sq.m.	82.1 sq.m.	86.1 sq.m.	620.9 sq.m.	620.9 sq.m.	89.8 sq.m.	22.6 sq.m.
L7	1	503.5 sq.m.	503.5 sq.m.	82.1 sq.m.	82.1 sq.m.	0.0 sq.m.	585.6 sq.m.	585.6 sq.m.	3.7 sq.m.	44.3 sq.m.
L8-L21	14	503.5 sq.m.	7,048.6 sq.m.	82.1 sq.m.	1,149.7 sq.m.	0.0 sq.m.	585.6 sq.m.	8,198.3 sq.m.	51.8 sq.m.	620.5 sq.m.
L22	1	476.6 sq.m.	476.6 sq.m.	82.6 sq.m.	82.6 sq.m.	0.0 sq.m.	559.2 sq.m.	559.2 sq.m.	0.0 sq.m.	44.3 sq.m.
L23	1	476.6 sq.m.	476.6 sq.m.	82.6 sq.m.	82.6 sq.m.	0.0 sq.m.	559.2 sq.m.	559.2 sq.m.	0.0 sq.m.	44.3 sq.m.
L24 (SUB PH)	1	452.2 sq.m.	452.2 sq.m.	81.9 sq.m.	81.9 sq.m.	0.0 sq.m.	534.1 sq.m.	534.1 sq.m.	3.7 sq.m.	34.2 sq.m.
L25 (SUB PH)	1	452.1 sq.m.	452.1 sq.m.	81.9 sq.m.	81.9 sq.m.	0.0 sq.m.	534.1 sq.m.	534.1 sq.m.	3.7 sq.m.	48.4 sq.m.
L26 (PH)	1	323.0 sq.m.	323.0 sq.m.	80.9 sq.m.	80.9 sq.m.	0.0 sq.m.	403.9 sq.m.	403.9 sq.m.	0.0 sq.m.	24.0 sq.m.
L27 (PH)	1	323.0 sq.m.	323.0 sq.m.	80.9 sq.m.	80.9 sq.m.	0.0 sq.m.	403.9 sq.m.	403.9 sq.m.	0.0 sq.m.	34.5 sq.m.
L28 (PH)	1	250.5 sq.m.	250.5 sq.m.	59.0 sq.m.	59.0 sq.m.	0.0 sq.m.	309.4 sq.m.	309.4 sq.m.	0.0 sq.m.	11.6 sq.m.
L29 (PH)	1	239.3 sq.m.	239.3 sq.m.	61.5 sq.m.	61.5 sq.m.	0.0 sq.m.	300.8 sq.m.	300.8 sq.m.	0.0 sq.m.	6.5 sq.m.
L30 (PH)	1	237.5 sq.m.	237.5 sq.m.	74.1 sq.m.	74.1 sq.m.	0.0 sq.m.	311.7 sq.m.	311.7 sq.m.	27.2 sq.m.	20.6 sq.m.
L31 (PH)	1	104.7 sq.m.	104.7 sq.m.	41.1 sq.m.	41.1 sq.m.	0.0 sq.m.	145.8 sq.m.	145.8 sq.m.	0.0 sq.m.	6.5 sq.m.
L32 (MECH.)	1	0.0 sq.m.	0.0 sq.m.	136.4 sq.m.	136.4 sq.m.	0.0 sq.m.	136.4 sq.m.	136.4 sq.m.	121.9 sq.m.	6.5 sq.m.
L33 (EMR)	1	0.0 sq.m.	0.0 sq.m.	40.6 sq.m.	40.6 sq.m.	0.0 sq.m.	40.6 sq.m.	40.6 sq.m.	23.0 sq.m.	6.5 sq.m.
TOTAL	33		13,907.6 sq.m.		2,885.2 sq.m.	328.7 sq.m.		17,121.6 sq.m.	591.5 sq.m.	1,208.7 sq.m.

Average Floor area above 60' = 510 sq.m.

Balcony ratio to GFA = 7.06%

Total Area Minus FSR exclusions:

16,530.0 sq.m.

J. Residential Statistics - Unit Counts

	Studio	1 Bed	1 Bed + Den	2 Bed	2 Bed + Den	3 Bed	3 Bed + Den	2 Bed TH	2 Bed + Den TH	3 Bed + Den TH	Total
Level 1	0	0	0	0	0	0	0	0	0	0	0
Level 2	1	1	0	0	0	0	0	2	0	2	6
Level 3	0	1	0	3	1	0	0	0	0	0	5
Level 4	0	1	0	5	1	0	0	0	0	0	7
Level 5	0	1	1	3	1	0	0	0	0	0	6
Level 6	0	1	0	1	0	1	1	0	0	0	4
Level 7	0	1	0	2	1	1	0	0	0	0	5
Level 8-21	0	14	0	28	14	14	0	0	0	0	70
Level 22	0	1	0	3	1	0	0	0	0	0	5
Level 23	0	1	0	3	1	0	0	0	0	0	5
Level 24	0	0	0	0	1	1	1	0	0	0	3
Level 25	0	0	0	0	1	1	1	0	0	0	3
Level 26	0	0	0	0	1	0	1	0	0	0	2
Level 27	0	0	0	0	1	0	1	0	0	0	2
Level 28	0	0	0	0	0	1	0	0	0	0	1
Level 29	0	0	0	0	0	1	0	0	0	0	1
Level 30	0	0	0	0	0	0	1	0	0	0	1
Level 31	0	0	0	0	0	0	0	0	0	0	0
Total	1	22	1	48	24	20	6	2	0	2	126
Percentage	1%	17%	1%	38%	19%	16%	5%	2%	0%	2%	100%

Note: Guest Suite (1 total) not included in unit totals

K. Overall Building Statistics

Total Residential Gross Floor Area	Total Floor Area Exclusions	Total Net Floor Area
17,121.6 sq.m.	591.5 sq.m.	16,530.0 sq.m.

L. Parking Statistics

Off Street Residential Parking Regulations and Statistics:

Density	Bylaw 4.3.3 - Residential Use- West end and Robson North Permit	Required	Provided
126 Units 16,694.2 sq.m.	The lesser of: (a) at least one parking space for each 140 sq.m. of gross floor area; and (b) one parking space for every dwelling unit.	16530 / 140 = 118	180

Off Street Visitor Parking Regulations and Statistics:

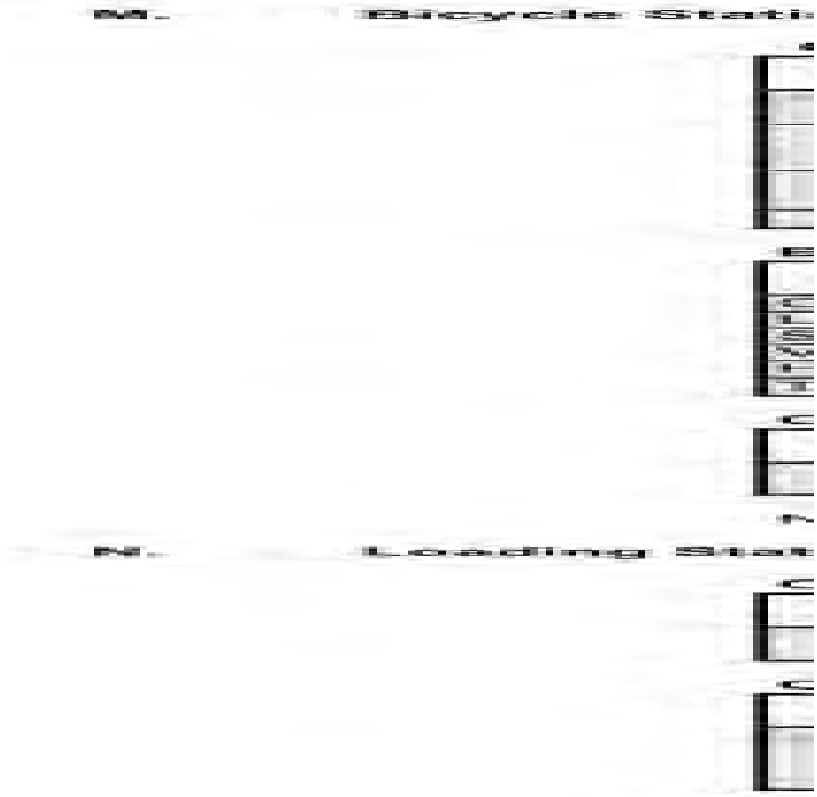
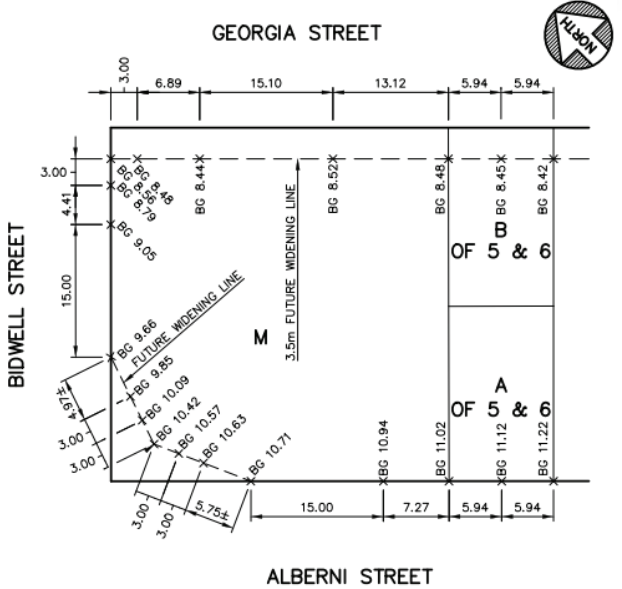
Density	Bylaw 4.3.4 Residential Visitor Parking - Downtown	Required	Provided
126 Units 16,694.2 sq.m.	The lesser of: (a) 5% of the total number of residential parking spaces; and (b) 0.05 spaces per unit, to a Maximum of 0.10 spaces per unit, must be reserved for the use of visitor.	119 x 5% = 6 (Min.) 119x0.10 = 12 (Max.)	6

Parking Stall Type:

Use	Provided				Required			
	Gross	H/C	Small	Regular	Gross	H/C	Small Max.	Regular
Residential Parking	180	5	21	154	118	5	30	84
Visitor Parking	6	0	0	5.9	6	0	0	6
Total	186	5	21	160	124	5	30	90

*Bylaw 4.6.4 Required Accessible Parking Spaces = 1 for the first 7 units and an additional 0.034 spaces for each additional dwelling unit = 1+(126-7)0.034

*Bylaw 4.1.8 the number of small car parking spaces on site may not exceed 25% of the total parking spaces required for the site for all uses = 119(0.25)





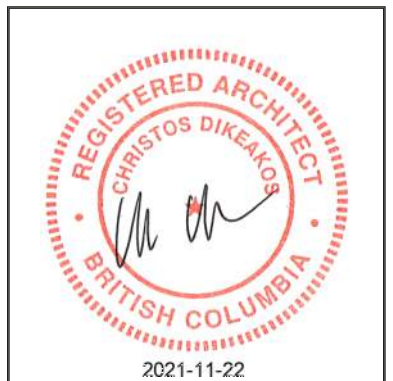
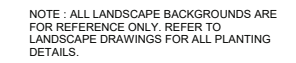
Form of Development



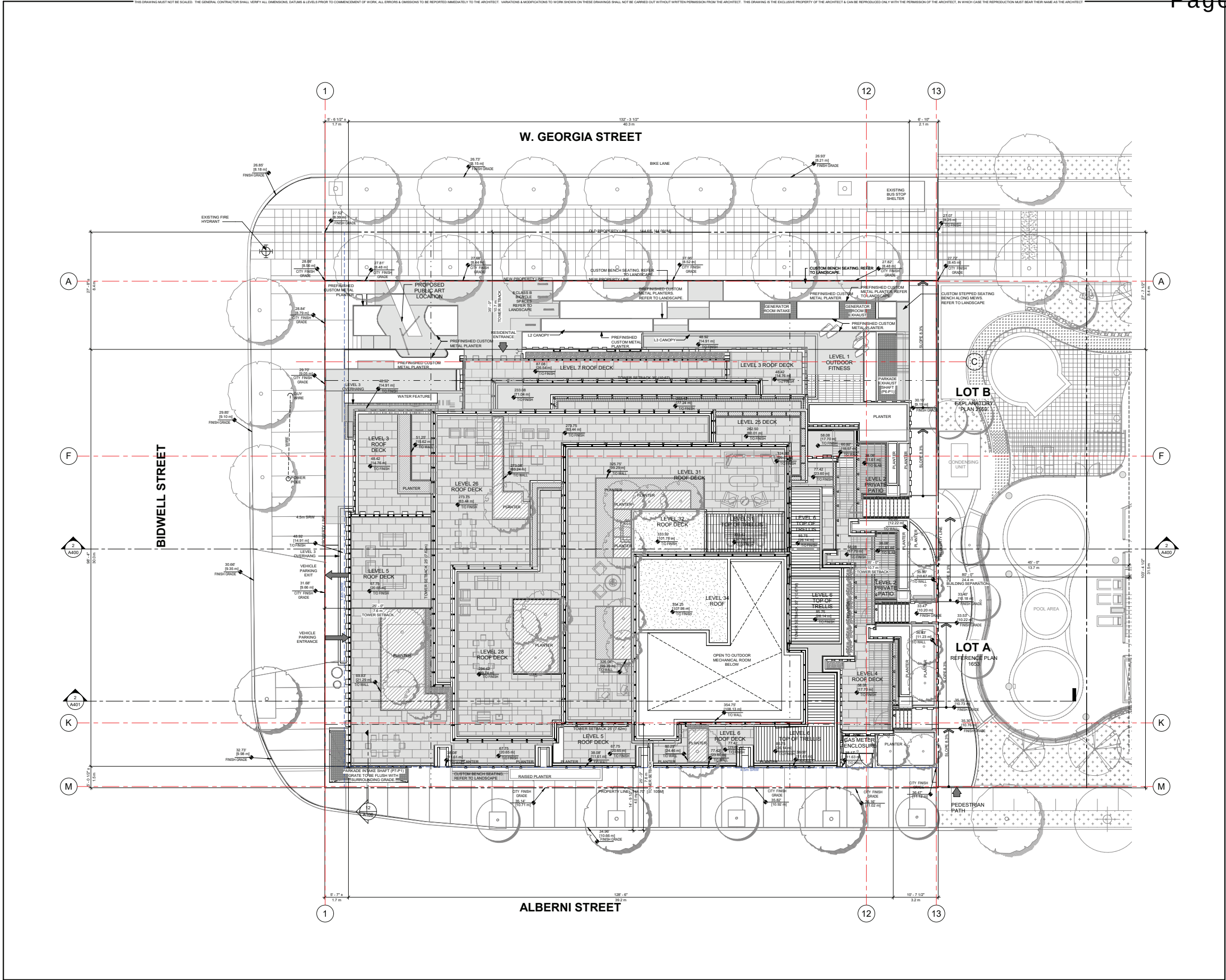
2021-11-22



*Approx. 1:300
(one third of
1/8"=1'-0")*



Roof Site Plan
Approx. 1:300
(one third of
1/8"=1'-0")



LEGEND	
DESCRIPTION	GRAPHIC
PROPERTY LINE	---
STATUTORY RIGHT OF WAY	---
SETBACK LINE	---
GAS LINE	---
BUILDING OUTLINE ABOVE	---
FIRE TRUCK ACCESS ROUTE	---
FIRE HYDRANT	---
FIRE DEPARTMENT HOSE CONNECTION	---
ELEVATION	---
DRAIN	---
VEHICULAR ENTRY	---
PEDESTRIAN ENTRY	---
EXTENT OF PROPOSED BUILDING	---

NO. / REVISION	DATE
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100	ISSUED FOR D.P.

KPF

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CJN

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ARCHITECTS INC.
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F 604 281 2883 SUITE 100 1000 W. 10TH AVE WWW.DIKEAKOS.COM

PROPOSED
RESIDENTIAL
DEVELOPMENT
1688 WEST GEORGIA STREET
VANCOUVER, B.C.

Client:

Anthem

CONSULTANT:

JOB NO. 17-018 AGG

SEAL:

SCALE: 1/8" = 1'-0"

PLAT DATE: Issue Date

SHEET TITLE:

ROOF SITE PLAN

DRAWING NO.:

A101

REVISION NO.:

KPF

COHN PEDERSEN FOX

CJN

CHRIS DIKEAKOS
ARCHITECTS INC.

PFS

STUDIO

Anthem

1616-1698 West Georgia
Vancouver, BC CANADA

*Approx. 1:300
(one third of
1/8"=1'-0")*

BG = BUILDING GRADE
 IBG = INTERPOLATED BUILDING GRADE

IBG (POINT G) = $\frac{\text{BG POINT B (10.71)} - \text{BG POINT B (9.66)}}{14} \times 15.9 = 1.125 + 0.66 = \underline{\underline{10.78}}$

IBG (POINT C) = $\frac{\text{BG POINT B (9.66)} - \text{BG POINT A (8.56)}}{27.4} \times 9.2 = 0.45 + 8.56 = \underline{\underline{9.01}}$

IBG (POINT C1) = $\frac{\text{BG POINT B2 (11.12)} - \text{BG POINT A1 (8.45)}}{36.4} \times 8.4 = 0.51 + 8.45 = \underline{\underline{9.06}}$

IBG (POINT D) = $\frac{\text{BG POINT G (10.78)} - \text{BG POINT B (9.66)}}{14} \times 10.4 = 0.83 + 9.66 = \underline{\underline{10.49}}$

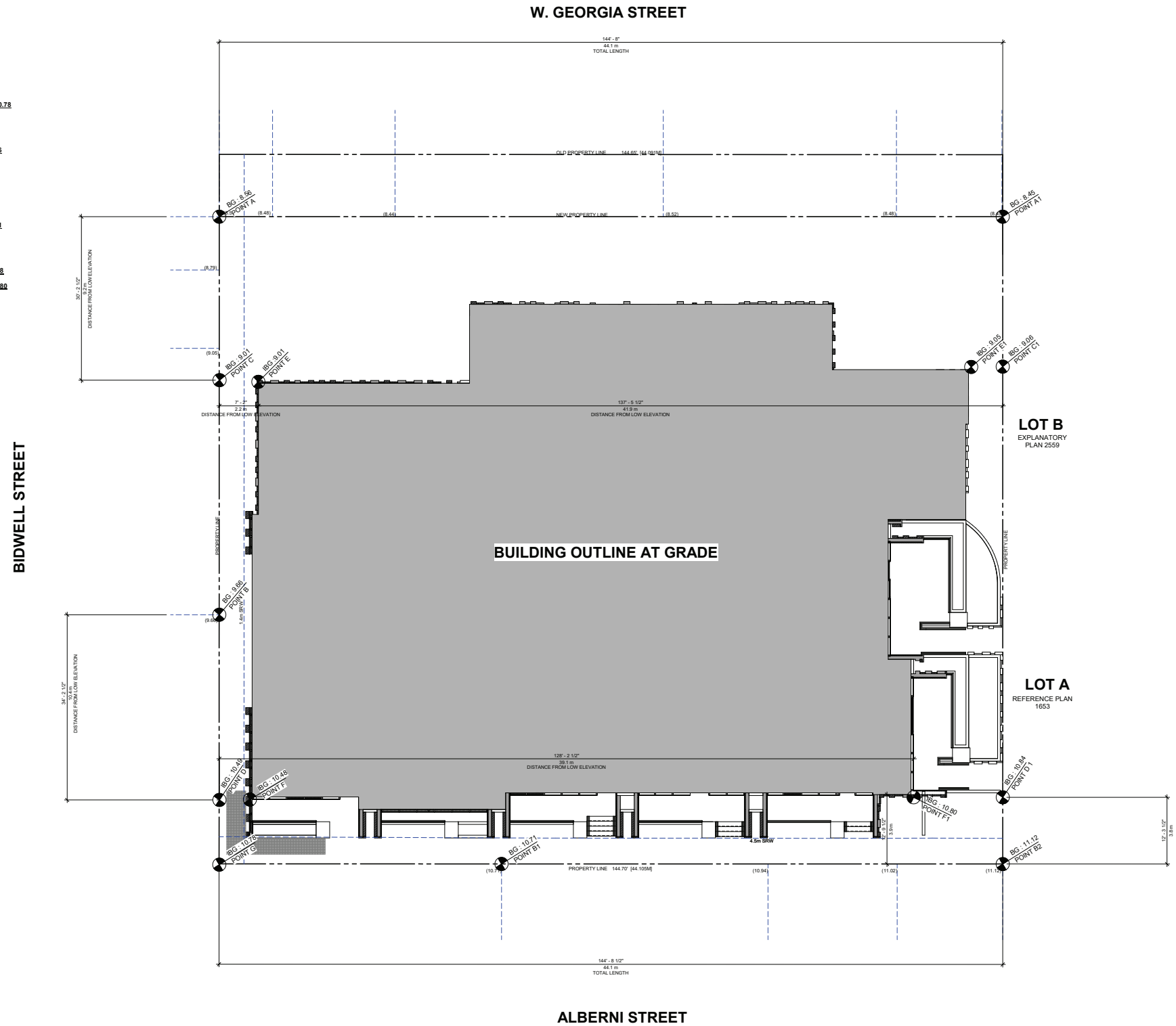
IBG (POINT D1) = $\frac{\text{BG POINT B2 (11.12)} - \text{BG POINT A1 (8.45)}}{36.4} \times 32.7 = 2.39 + 8.45 = \underline{\underline{10.84}}$

IBG (POINT E) = $\frac{\text{BG POINT C1 (9.06)} - \text{BG POINT C (9.01)}}{44.1} \times 2.20 = 0.0024 + 9.01 = \underline{\underline{9.01}}$

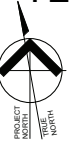
IBG (POINT E1) = $\frac{\text{BG POINT C1 (9.06)} - \text{BG POINT C (9.01)}}{44.1} \times 41.9 = 0.047 + 9.01 = \underline{\underline{9.06}}$

IBG (POINT F) = $\frac{\text{BG POINT D1 (10.84)} - \text{BG POINT D1 (10.49)}}{44.1} \times 1.7 = 0.013 + 10.49 = \underline{\underline{10.48}}$

IBG (POINT F1) = $\frac{\text{BG POINT D1 (10.84)} - \text{BG POINT D1 (10.49)}}{44.1} \times 39.1 = 0.31 + 10.49 = \underline{\underline{10.80}}$



2021-11-22



LEGEND

FLOOR PLAN	
DESCRIPTION	GRAPHIC
CONCRETE (WALLS & COLUMNS)	
CONCRETE UPSTAND	
CONCRETE COLUMN BELOW	
CONCRETE COLUMN ABOVE	
SLAB THICKENING ABOVE	
MASONRY WALLS	
PARTITION WALLS	
WALL TYPE TAG	
ELEVATION	
DRAIN	
WINDOW TYPE SEP. (SMOKE SEAL)	
DOOR TYPE TAG	
1" RATED FIRE RES. (SMOKE SEAL)	
1.5 hr FIRE SEPARATION	
2" FIRE SEPARATION	
WATER CURTAIN, SEE CODE REPORT FOR ALTERNATIVE SOLUTIONS	
GRADED CEILING	
CEILING TAG	
SPRAY INSULATION	
EXTENT OF BALCONY GRANULAR WATERPROOF MEMBRANE	
STANDPIS (REFER TO MECHANICAL DRAWINGS)	
HONE BIB	
FIREFIGHTER TELEPHONE	
FIRE EXTINGUISHER CABINET	
WATERPROOF RECEPTACLE	
GAS BIB	
ELECTRICAL PANEL	
WATER MANIFOLD	
NO. REVISION	DATE
REVISIONS:	
ISSUED FOR:	DATE:
2. J. P. M. REVISION	Nov. 19, 2017
1. ISSUED FOR CLP	May 20, 2017



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ARCHITECTS INC.

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PROJECT:
**PROPOSED
RESIDENTIAL
DEVELOPMENT**
1698 WEST GEORGIA STREET
VANCOUVER, B.C.



CONSULTANT:

JOB NO: 17-018 AGG	SEAL:
SCALE: 1/8" = 1'-0"	
PLOT DATE: Issue Date	

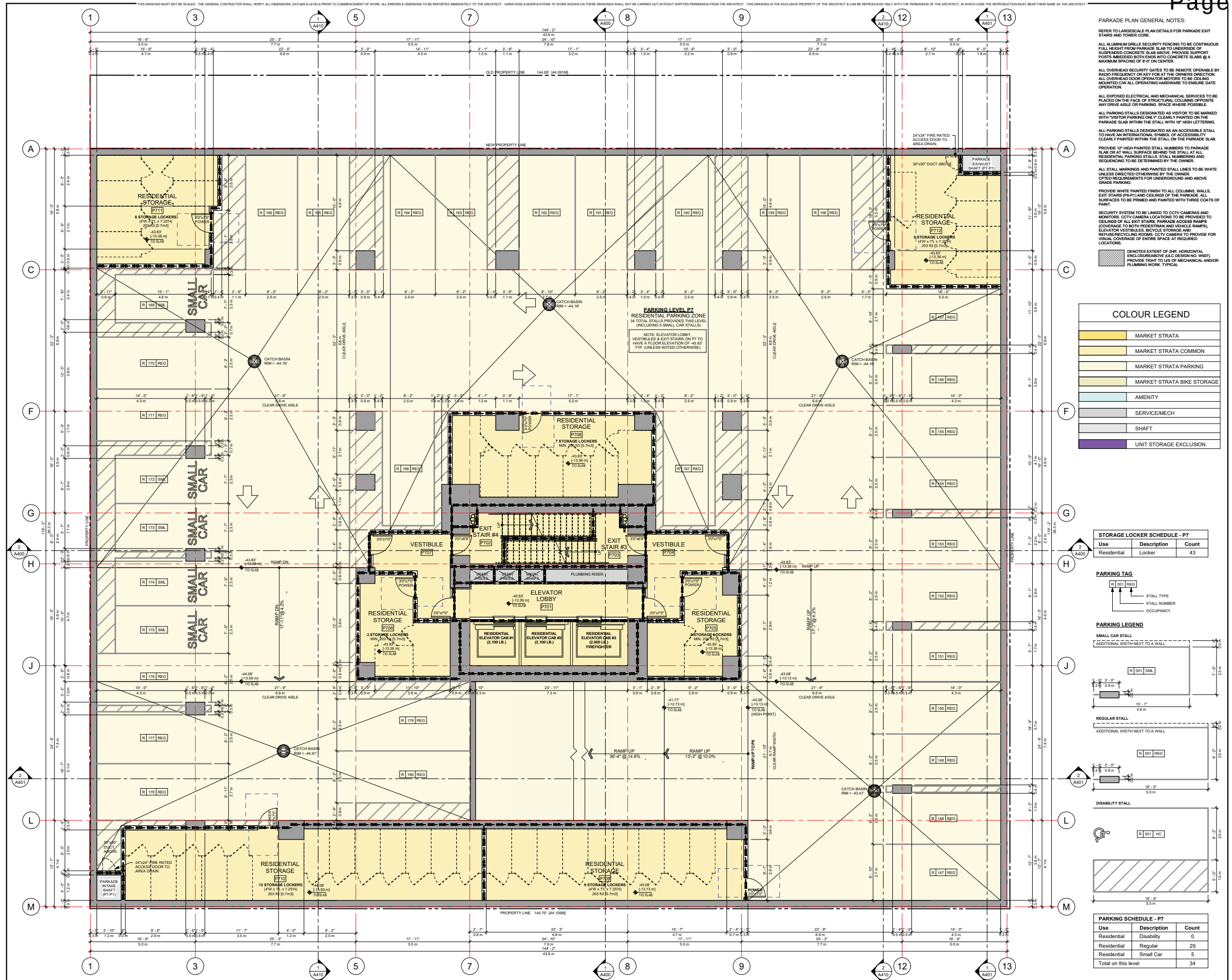
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BASE PLAN
CALCULATION

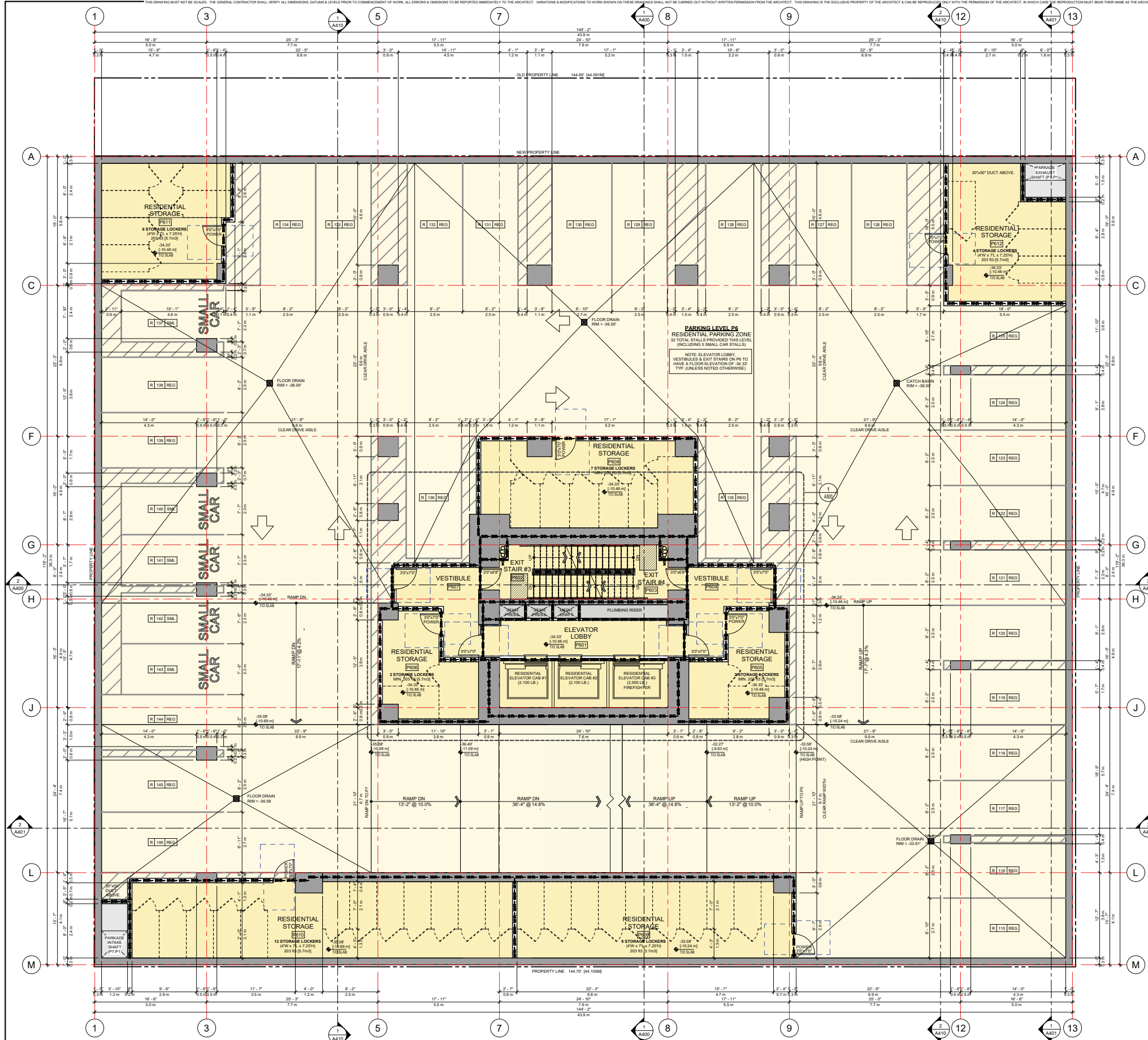
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A111	

P7 Plan

*Approx. 1:200
(one third of
 $3/16'' = 1'-0''$)*



P6 Plan
Approx. 1:200
(one third of
3/16"=1'-0")



PARKADE PLAN GENERAL NOTES:

REFER TO LARGESCALE PLAN DETAILS FOR PARKADE EXIT STAIRS AND TOWER CORE.

ALL ALUMINUM ORRIS SECURITY FENCING TO BE CONTINUOUS FULL HEIGHT FROM PARKADE SLAB TO UNDERSIDE OF SUPPORTING CONCRETE SLAB ABOVE. PROVIDE SUPPORT POSTS MEASURED BOTH ENDS INTO CONCRETE SLAB (A MAXIMUM SPACING OF 8' 0" ON CENTER).

ALL OVERHEAD SECURITY GATES TO BE REMOTE OPERABLE BY RADIO FREQUENCY OR KEY FOB AT THE OWNERS DISCRETION. ALL OVERHEAD DOOR OPERATOR MOTORS TO BE CEILING MOUNTED C/W ALL OPERATING HARDWARE TO ENSURE GATE OPERATION.

ALL EXPOSED ELECTRICAL AND MECHANICAL SERVICES TO BE PLACED ON THE FACE OF STRUCTURAL COLUMNS OPPOSITE ANY DRIVE AISLE OR PARKING SPACE WHERE POSSIBLE.

ALL PARKING STALLS DESIGNATED AS VISITOR TO BE MARKED WITH VISITOR PARKING ONLY CLEARLY PAINTED ON THE PARKADE SLAB WITHIN THE STALL WITH 18" HIGH LETTERING.

ALL PARKING STALLS DESIGNATED AS AN ACCESSIBLE STALL TO HAVE AN INTERNATIONAL SYMBOL OF ACCESSIBILITY CLEARLY PAINTED WITHIN THE STALL ON THE PARKADE SLAB. PROVIDE 12" HIGH PAINTED STALL NUMBERS TO PARKADE SLAB OR AT WALL SURFACE BEHIND THE STALL AT ALL RESIDENTIAL PARKING STALLS. STALL NUMBERING AND SEQUENCING TO BE DETERMINED BY THE OWNER.

ALL STALL MARKINGS AND PAINTED STALL LINES TO BE WHITE UNLESS DIRECTED OTHERWISE BY THE OWNER. CPTD REQUIREMENTS FOR UNDERGROUND AND ABOVE GROUND PARKING.

PROVIDE WHITE PAINTED FINISH TO ALL COLUMNS, WALLS, EXIT STAIRS (P6-1) AND CEILING OF THE PARKADE. ALL SURFACES TO BE PRIME AND PAINTED WITH THREE COATS OF PAINT.

SECURITY SYSTEM TO BE LINKED TO CCTV CAMERAS AND MONITORS. CCTV CAMERA LOCATIONS TO BE PROVIDED TO CEILING OF ALL EXIT STAIRS, PARKADE ACCESS RAMP (COVERAGE TO BOTH PEDESTRIAN AND VEHICLE RAMPS), ELEVATOR VESTIBULES, BICYCLE STORAGE, AND REFUSE/RECYCLING ROOMS. CCTV CAMERA TO PROVIDE FOR VISUAL COVERAGE OF ENTIRE SPACE AT REQUIRED LOCATIONS.

IDENTIFIES EXTENT OF 2HR. HORIZONTAL ENCL. RESISTIVE (IJC DESIGN NO. W501) PROVIDE TIGHT TO US OF MECHANICAL AND/OR PLUMBING WORK, TYPICAL.

COLOUR LEGEND

[Color]	MARKET STRATA
[Color]	MARKET STRATA COMMON
[Color]	MARKET STRATA PARKING
[Color]	MARKET STRATA BIKE STORAGE
[Color]	AMENITY
[Color]	SERVICE/MECH
[Color]	SHAFT
[Color]	UNIT STORAGE EXCLUSION

STORAGE LOCKER SCHEDULE - P6

Use	Description	Count
Residential	Locker	42

PARKING TAG

STALL TYPE

STALL NUMBER

OCCUPANCY

PARKING LEGEND

SMALL CAR STALL

REGULAR STALL

DISABILITY STALL

PARKING SCHEDULE - P6

Use	Description	Count
Residential	Disability	0
Residential	Regular	27
Residential	Small Car	5
Total on this level		32

LEGEND

DESCRIPTION

GRAPHIC

CONCRETE (WALLS & COLUMNS)

CONCRETE UPSTAIR

CONCRETE COLUMN BELOW

CONCRETE COLUMN ABOVE

SLAB THICKENING ABOVE

MASONRY WALLS

PARTITION WALLS

WALL TYPE TAG

ELEVATION

DRAIN

CATCH BASIN

WINDOW TYPE TAG

DOOR TYPE TAG

NON-RATED FIRE STOP (SMOKE SEAL)

1 hr FIRE SEPARATION

1.5 hr FIRE SEPARATION

2 hr FIRE SEPARATION

WATER CURTAIN, SEE CODE REPORT FOR ALTERNATIVE SOLUTIONS

DROPPED CEILING

RATED CEILING

CEILING TYPE TAG

SPRAY INSULATION

STAIRWELL (REFER TO MECHANICAL DRAWINGS)

ELECTRIC CHARGING STATION

HOSE BIB

FIREFIGHTER TELEPHONE

FIRE EXTINGUISHER CABINET

PRECAST CONCRETE WHEELSTOP

SECURITY FENCING

STORAGE / BIKE LOCKER C/W ROOF MESH, PROVIDE 18" CLEARANCE ABOVE LOCKER. FRONT FACE OF LOCKER TO EXTEND TO US OF STRUCTURE TO ENSURE NO STORAGE ABOVE LOCKER

REVISIONS

NO.	REVISION	DATE
1	ISSUED FOR P.P.	May 04, 2021
2	P.P. RESUBMISSION	Nov. 19, 2021

KPF

7 313 977 000 11 WEST 4TH STREET INFO@KPF.COM
F 313 696 2026 NEW YORK, NY 10036 WWW.KPF.COM

CHRIS DIKEAKOS ARCHITECTS INC.

T 604 291 2800 212-3895 HENNING DR INFO@DIKEAKOS.COM
F 604 291 2807 BURNABY BC V5C 0V6 WWW.DIKEAKOS.COM

PROPOSED RESIDENTIAL DEVELOPMENT
1698 WEST GEORGIA STREET
VANCOUVER, B.C.

Anthem

CONSULTANT:

JOB NO.: 17-018 AGS SEAL:

SCALE: 3/16" = 1'-0"

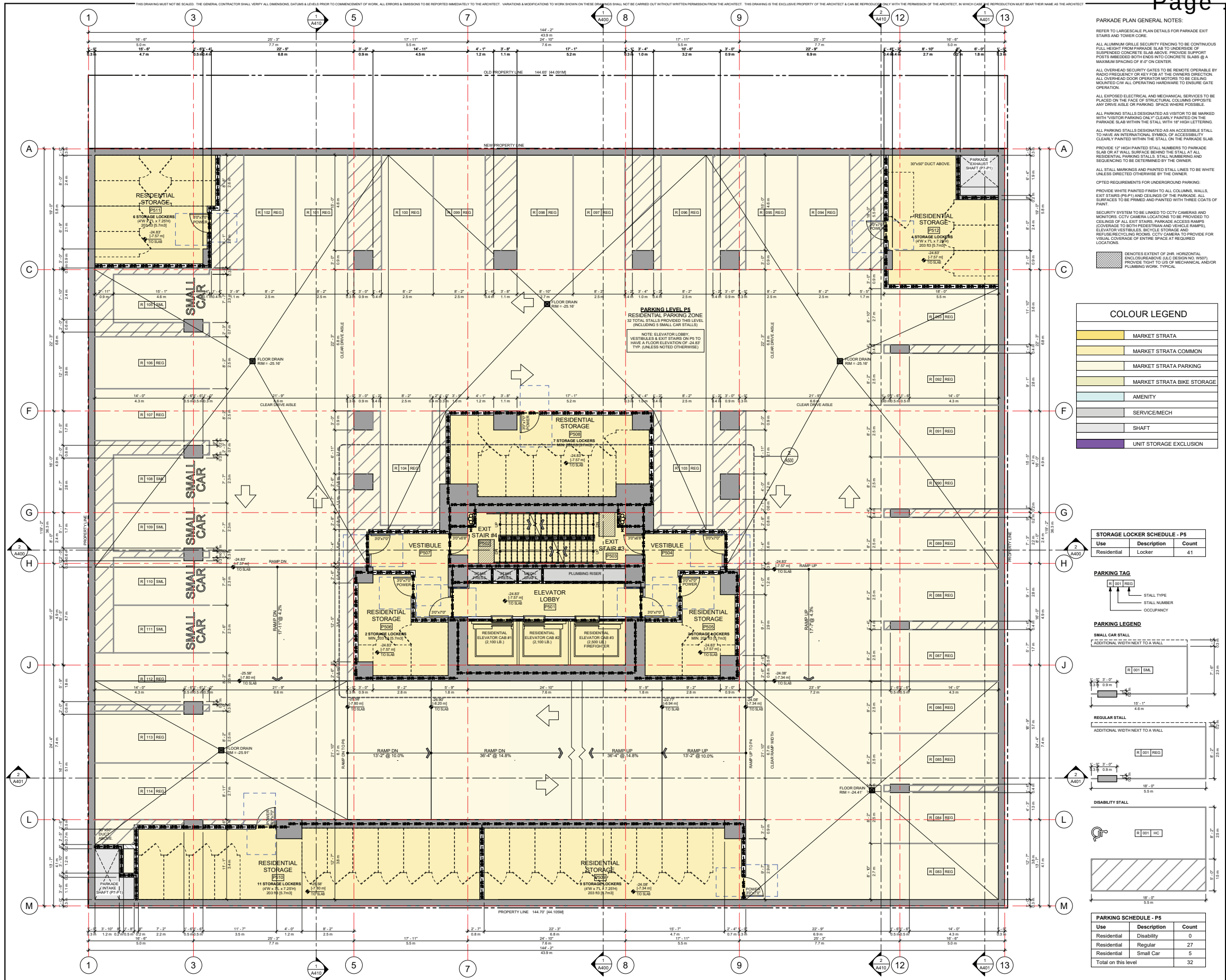
POST DATE: Issue Date

SHEET TITLE:

P6 PARKING PLAN

DRAWING NO.: A201 REVISION NO.:

P5 Plan
Approx. 1:200
(one third of
3/16"=1'-0")



PARKADE PLAN GENERAL NOTES:

REFER TO LARGESCALE PLAN DETAILS FOR PARKADE EXIT STAIRS AND TOWER CORE.

ALL ALUMINUM GRILLE SECURITY FENCING TO BE CONTINUOUS FULL HEIGHT FROM PARKADE SLAB TO UNDERSIDE OF SUPPORTED CONCRETE SLAB ABOVE. PROVIDE SUPPORT POSTS IMBEDDED BOTH ENDS INTO CONCRETE SLAB (A MAXIMUM SPACING OF 8' ON CENTER).

ALL OVERHEAD SECURITY GATES TO BE REMOTE OPERABLE BY RADIO FREQUENCY OR KEY FOB AT THE OWNERS DISCRETION. ALL OVERHEAD DOOR OPERATOR MOTORS TO BE CEILING MOUNTED C/W ALL OPERATING HARDWARE TO ENSURE GATE OPERATION.

ALL EXPOSED ELECTRICAL AND MECHANICAL SERVICES TO BE PLACED ON THE FACE OF STRUCTURAL COLUMNS OPPOSITE ANY DRIVE AISLE OR PARKING SPACE WHERE POSSIBLE.

ALL PARKING STALLS DESIGNATED AS VISITOR TO BE MARKED WITH VISITOR PARKING ONLY CLEARLY PAINTED ON THE PARKADE SLAB WITHIN THE STALL WITH 18" HIGH LETTERING.

ALL PARKING STALLS DESIGNATED AS AN ACCESSIBLE STALL TO HAVE AN INTERNATIONAL SYMBOL OF ACCESSIBILITY CLEARLY PAINTED WITHIN THE STALL ON THE PARKADE SLAB.

PROVIDE 12" HIGH PAINTED STALL NUMBERS TO PARKADE SLAB OR AT WALL SURFACE BEHIND THE STALL AT ALL RESIDENTIAL PARKING STALLS. STALL NUMBERING AND SEQUENCING TO BE DETERMINED BY THE OWNER.

ALL STALL MARKINGS AND PAINTED STALL LINES TO BE WHITE UNLESS DIRECTED OTHERWISE BY THE OWNER.

OPTED REQUIREMENTS FOR UNDERGROUND PARKING:

PROVIDE WHITE PAINTED FINISH TO ALL COLUMNS, WALLS, EXIT STAIRS (P5-P1) AND CEILINGS OF THE PARKADE. ALL SURFACES TO BE PRIMED AND PAINTED WITH THREE COATS OF PAINT.

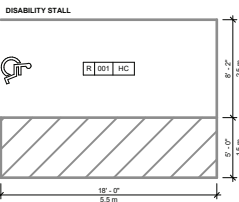
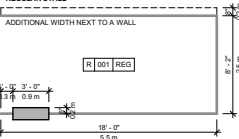
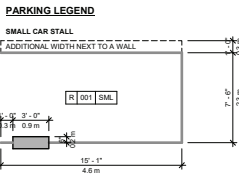
SECURITY SYSTEM TO BE LINKED TO CCTV CAMERAS AND MONITORS. CCTV CAMERA LOCATIONS TO BE PROVIDED TO CEILING OF ALL EXIT STAIRS, PARKADE ACCESS RAMPS (COVERAGE TO BOTH PEDESTRIAN AND VEHICLE RAMPS), ELEVATOR VESTIBULES, BICYCLE STORAGE AND REFUSE/RECYCLING ROOMS. CCTV CAMERA TO PROVIDE VISUAL COVERAGE OF ENTIRE SPACE AT REQUIRED LOCATIONS.

■ DENOTES EXIST OF 2HR. HORIZONTAL ENCLOSURE/REAR (I.C. DESIGN NO. W907). PROVIDE TIGHT TO JOBS OF MECHANICAL AND/OR PLUMBING WORK, TYPICAL.

COLOUR LEGEND	
[Yellow Box]	MARKET STRATA
[Light Yellow Box]	MARKET STRATA COMMON
[Light Green Box]	MARKET STRATA PARKING
[Light Blue Box]	MARKET STRATA BIKE STORAGE
[Light Purple Box]	AMENITY
[Light Grey Box]	SERVICE/MECH
[Dark Grey Box]	SHAFT
[Dark Blue Box]	UNIT STORAGE EXCLUSION

STORAGE LOCKER SCHEDULE - P5		
Use	Description	Count
Residential	Locker	41

PARKING TAG		
Tag	Stall Type	Stall Number
[R 001 REG]	REGULAR	001
[R 001 REG]	REGULAR	002



PARKING SCHEDULE - P5		
Use	Description	Count
Residential	Disability	0
Residential	Regular	27
Residential	Small Car	5
Total on this level		32

LEGEND

PARKING PLAN

DESCRIPTION GRAPHIC

CONCRETE (WALLS & COLUMNS)

CONCRETE UPSTAIR

CONCRETE COLUMN BELOW

CONCRETE COLUMN ABOVE

SLAB THICKENING ABOVE

MASONRY WALLS

PARTITION WALLS

WALL TYPE TAG

ELEVATION

DRAIN

CATCH BASIN

WINDOW TYPE TAG

DOOR TYPE TAG

NON-RATED FIRE SEP. (SMOKE SEAL)

1 hr FIRE SEPARATION

1.5 hr FIRE SEPARATION

2 hr FIRE SEPARATION

WATER CURTAIN, SEE CODE

REPORT FOR ALTERNATIVE SOLUTIONS

DROPPED CEILING

RATED CEILING

CEILING TYPE TAG

SPRAY INSULATION

STAIRWELL (REFER TO MECHANICAL DRAWINGS)

ELECTRIC CHARGING STATION

HOSE BIB

FIREFIGHTER TELEPHONE

FIRE EXTINGUISHER CABINET

PRECAST CONCRETE WHEELSTOP

SECURITY FENCING

STORAGE / BIKE LOCKER C/W ROOF MESH, PROVIDE 18" CLEARANCE ABOVE LOCKER. FRONT FACE OF LOCKER TO EXTEND TO US OF STRUCTURE TO ENSURE NO STORAGE ABOVE LOCKER

REVISIONS

ISSUED FOR:

2 E.P. RESUBMISSION Nov. 19, 2021

1 ISSUED FOR E.P. May 04, 2021



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PROJECT: PROPOSED RESIDENTIAL DEVELOPMENT
1698 WEST GEORGIA STREET
VANCOUVER, B.C.



CONSULTANT:

JOB NO.: 17-018 AGS
SCALE: 3/16" = 1'-0"
PLOT DATE: Issue Date

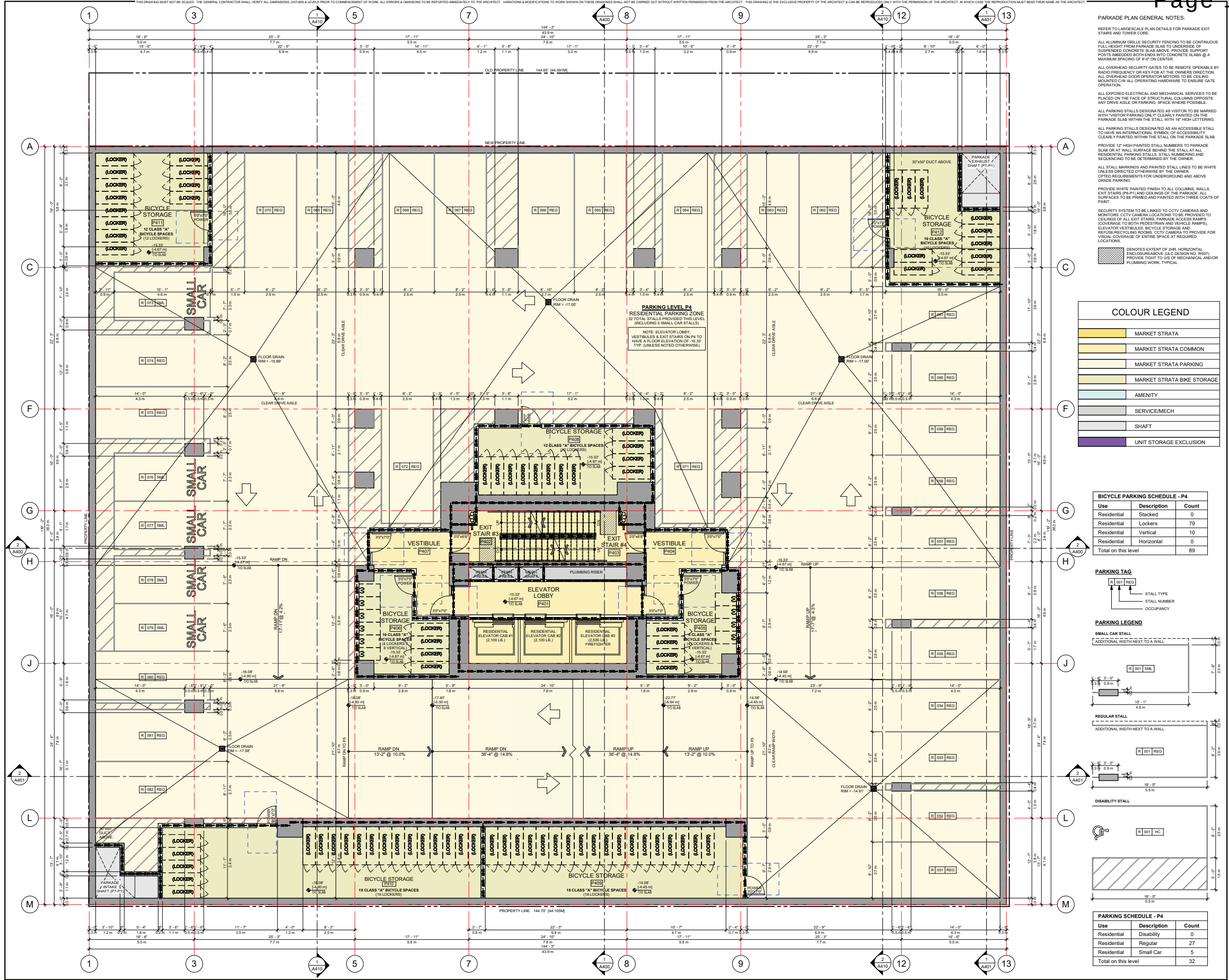
SHEET TITLE: P5 PARKING PLAN

DRAWING NO.: A202
REVISION NO.:



1616-1698 West Georgia
Vancouver, BC CANADA

P4 Plan
Approx. 1:200
(one third of
3/16"=1'-0")



LEGEND

PARKING PLAN

DESCRIPTION	GRAPHIC
CONCRETE (WALLS & COLUMNS)	[Symbol]
CONCRETE UPSTAIR	[Symbol]
CONCRETE COLUMN BELOW	[Symbol]
CONCRETE COLUMN ABOVE	[Symbol]
SLAB THICKENING ABOVE	[Symbol]
MASONRY WALLS	[Symbol]
PARTITION WALLS	[Symbol]
WALL TYPE TAG	[Symbol]
ELEVATION	[Symbol]
DRAIN	[Symbol]
CATCH BASIN	[Symbol]
WINDOW TYPE TAG	[Symbol]
DOOR TYPE TAG	[Symbol]
NON-RATED FIRE SEEP (SMOKE SEAL)	[Symbol]
1 hr FIRE SEPARATION	[Symbol]
1.5 hr FIRE SEPARATION	[Symbol]
2 hr FIRE SEPARATION	[Symbol]
WATER CURTAIN, SEE CODE REPORT FOR ALTERNATIVE SOLUTIONS	[Symbol]
DROPPED CEILING	[Symbol]
RATED CEILING	[Symbol]
CEILING TYPE TAG	[Symbol]
SPRAY INSULATION	[Symbol]
STAIRWELL (REFER TO MECHANICAL DRAWINGS)	[Symbol]
ELECTRIC CHARGING STATION	[Symbol]
HOSE BIB	[Symbol]
FIREFIGHTER TELEPHONE	[Symbol]
FIRE EXTINGUISHER CABINET	[Symbol]
PRECAST CONCRETE WHEELSTOP	[Symbol]
SECURITY FENCING	[Symbol]
STORAGE / BIKE LOCKER C/W ROOF MESH, PROVIDE 1" CLEARANCE ABOVE LOCKER, FRONT FACE OF LOCKER TO EXTEND TO US OF STRUCTURE TO ENSURE NO STORAGE ABOVE LOCKER	[Symbol]

COLOUR LEGEND

COLOUR	DESCRIPTION
[Yellow]	MARKET STRATA
[Orange]	MARKET STRATA COMMON
[Light Blue]	MARKET STRATA PARKING
[Dark Blue]	MARKET STRATA BIKE STORAGE
[Green]	AMENITY
[Grey]	SERVICE/MECH
[White]	SHAFT
[Purple]	UNIT STORAGE EXCLUSION

BICYCLE PARKING SCHEDULE - P4

Use	Description	Count
Residential	Stacked	0
Residential	Lockers	79
Residential	Vertical	10
Residential	Horizontal	0
Total on this level		89

PARKING TAG

STALL TYPE
STALL NUMBER
OCCUPANCY

PARKING LEGEND

SMALL CAR STALL
ADDITIONAL WIDTH NEXT TO A WALL

REGULAR STALL
ADDITIONAL WIDTH NEXT TO A WALL

DISABILITY STALL

PARKING SCHEDULE - P4

Use	Description	Count
Residential	Disability	0
Residential	Regular	27
Residential	Small Car	5
Total on this level		32

KPF
T 313 377 0000 F 313 698 2028
11 WEST 4TH STREET
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WWW.KPF.COM

CHRIS DIKEAKOS ARCHITECTS INC.
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212-3889 HENNING DR
BURNABY BC V5C 6H5
INFO@DKEAKOS.COM
WWW.DKEAKOS.COM

PROPOSED RESIDENTIAL DEVELOPMENT
1698 WEST GEORGIA STREET
VANCOUVER, B.C.

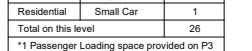
Anthem

CONSULTANT:

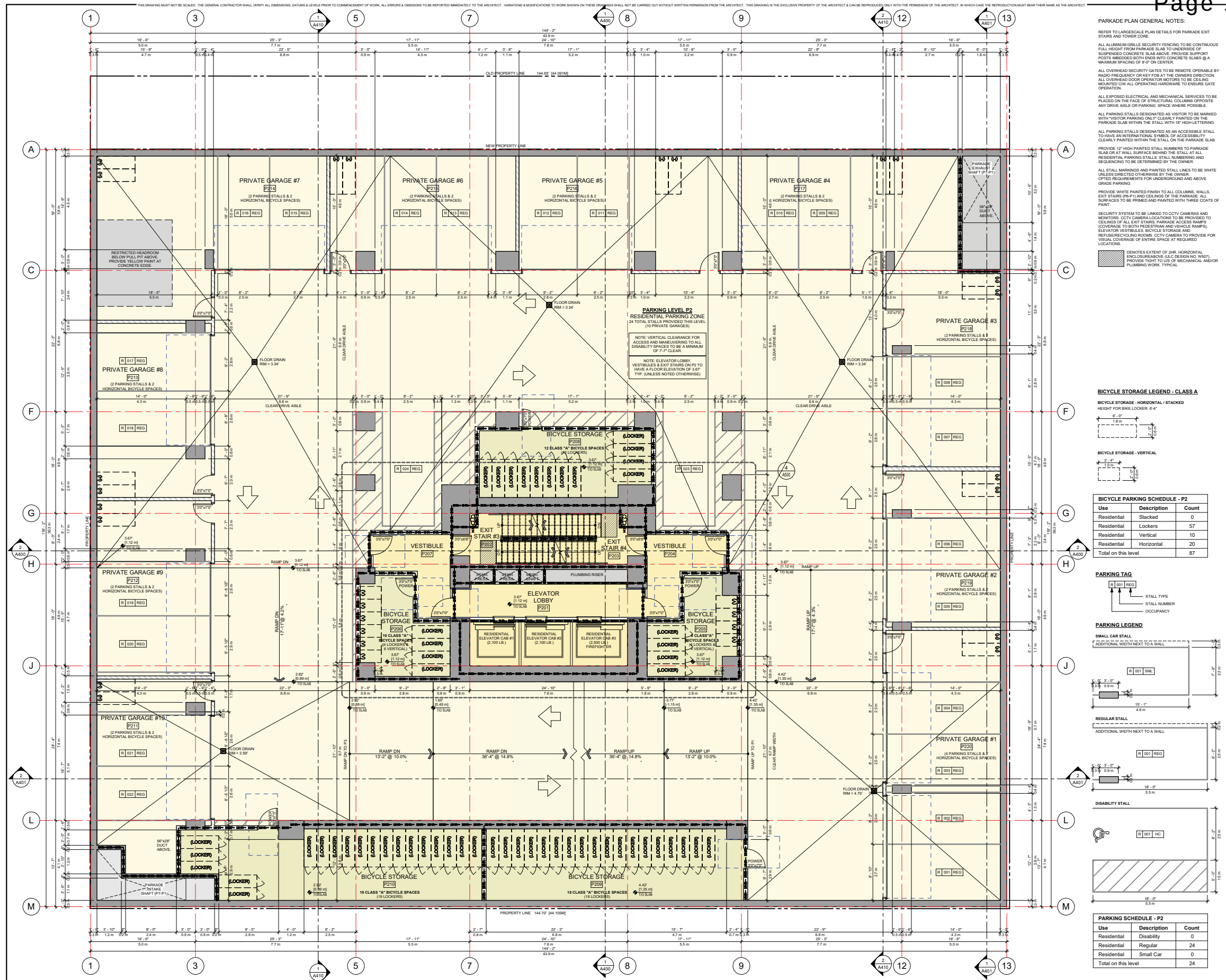
JOB NO.: 17-018 AGS
SCALE: 3/16"=1'-0"
PLOT DATE: Issue Date

P4 PARKING PLAN

DRAWING NO.: A203
REVISION NO.:



P2 Plan
Approx. 1:200
(one third of
3/16"=1'-0")



LEGEND																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
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STORAGE / BIKE LOCKER C/W ROOF MESH, PROVIDE 10" CLEARANCE ABOVE LOCKER FOR SPRINKLER COVERAGE POINT OF LOCKER TO EXTEND TO US OF STRUCTURE TO ENSURE NO STORAGE ABOVE LOCKER																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
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CHRIS DIKEAKOS
ARCHITECTS INC.

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PROPOSED
RESIDENTIAL
DEVELOPMENT
1698 WEST GEORGIA STREET
VANCOUVER, B.C.



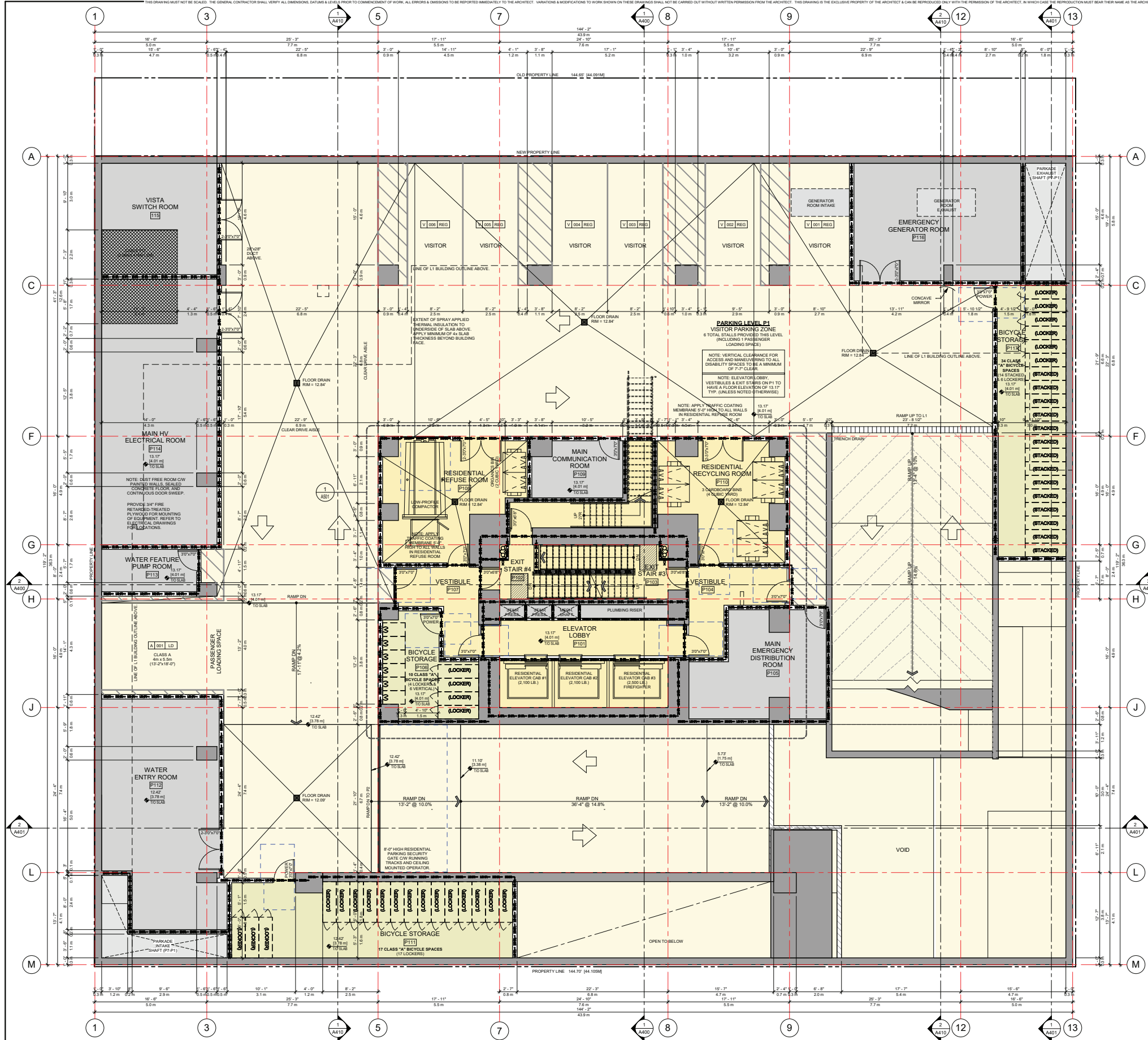
CONSULTANT:
JOB NO.: 17-018 AGS
SCALE: 3/16" = 1'-0"
PLOT DATE: Issue Date

SHEET TITLE:
P2 PARKING
PLAN

DRAWING NO.:
A205



P1 Plan
Approx. 1:200
(one third of
3/16"=1'-0")



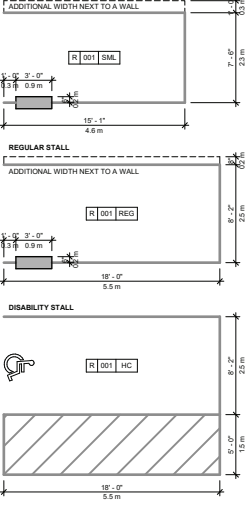
PARKADE PLAN GENERAL NOTES:
REFER TO LARGESCALE PLAN DETAILS FOR PARKADE EXIT STAIRS AND TOWER CORE.
ALL ALUMINUM GRILLE SECURITY FENCING TO BE CONTINUOUS FULL HEIGHT FROM PARKADE SLAB TO UNDERSIDE OF OVERHEAD DOOR OPERATOR SLAB ABOVE. PROVIDE SUPPORT POSTS INTERSPACED BOTH ENDS INTO CONCRETE SLAB @ A MAXIMUM SPACING OF 8' ON CENTER.
ALL OVERHEAD SECURITY GATES TO BE REMOTE OPERABLE BY RADIO FREQUENCY OR KEY FOB AT THE OWNERS DISCRETION. ALL OVERHEAD DOOR OPERATOR MOTORS TO BE CEILING MOUNTED C/W ALL OPERATING HARDWARE TO ENSURE GATE OPERATION.
ALL EXPOSED ELECTRICAL AND MECHANICAL SERVICES TO BE PLACED ON THE FACE OF STRUCTURAL COLUMNS OPPOSITE ANY DRIVE AISLE OR PARKING SPACE WHERE POSSIBLE.
ALL PARKING STALLS DESIGNATED AS VISITOR TO BE MARKED WITH VISITOR PARKING ONLY - CLEARLY PAINTED ON THE PARKADE SLAB WITHIN THE STALL WITH 18" HIGH LETTERING.
ALL PARKING STALLS DESIGNATED AS AN ACCESSIBLE STALL TO HAVE AN INTERNATIONAL SYMBOL OF ACCESSIBILITY CLEARLY PAINTED WITHIN THE STALL ON THE PARKADE SLAB.
PROVIDE 12" HIGH PAINTED STALL NUMBERS TO PARKADE SLAB OR AT WALL SURFACE BEHIND THE STALL AT ALL RESIDENTIAL PARKING STALLS. STALL NUMBERING AND SEQUENCING TO BE DETERMINED BY THE OWNER.
ALL STALL MARKINGS AND PAINTED STALL LINES TO BE WHITE UNLESS OTHERWISE SPECIFIED BY THE OWNER.
OBTAIN REQUIREMENTS FOR UNDERGROUND AND ABOVE GROUND PARKING.
PROVIDE WHITE PAINTED FINISH TO ALL COLUMNS, WALLS, EXIST STAIRS (P1-P11) AND CEILING OF THE PARKADE. ALL SURFACES TO BE PRIME AND PAINTED WITH THREE COATS OF PAINT.
SECURITY SYSTEM TO BE LINKED TO CCTV CAMERAS AND MONITORS. CCTV CAMERA LOCATIONS TO BE PROVIDED TO CLINGS ON ALL EXIST STAIRS, PARKADE ACCESS RAMPS (COVERAGE TO BOTH PEDESTRIAN AND VEHICLE RAMPS), ELEVATOR VESTIBULES, BICYCLE STORAGE AND REFUSE/RECYCLING ROOMS. CCTV CAMERA TO PROVIDE VISUAL COVERAGE OF ENTIRE SPACE AS REQUIRED LOCATIONS.
DENOTES EXTENT OF 2HR. HORIZONTAL ENCLOSURE (ALU DESIGN NO. 1001). PROVIDE TIGHT TO US OF MECHANICAL AND/OR PLUMBING WORK, TYPICAL.

BICYCLE STORAGE LEGEND - CLASS A
BICYCLE STORAGE - HORIZONTAL / STACKED
HEIGHT FOR BIKE LOCKER: 8'-4"
BICYCLE STORAGE - VERTICAL
HEIGHT FOR BIKE LOCKER: 8'-4"

BICYCLE PARKING SCHEDULE - P1

Use	Description	Count
Residential	Stacked	14 (2) x 28
Residential	Lockers	27
Residential	Vertical	6
Residential	Horizontal	0
Total on this level		61

PARKING TAG
STALL TYPE
STALL NUMBER
OCCUPANCY



LEGEND

DESCRIPTION	GRAPHIC
CONCRETE (WALLS & COLUMNS)	[Symbol]
CONCRETE UPSTAIR	[Symbol]
CONCRETE COLUMN BELOW	[Symbol]
CONCRETE COLUMN ABOVE	[Symbol]
SLAB THICKENING ABOVE	[Symbol]
MASONRY WALLS	[Symbol]
PARTITION WALLS	[Symbol]
WALL TYPE TAG	[Symbol]
ELEVATION	[Symbol]
DRAIN	[Symbol]
CATCH BASIN	[Symbol]
WINDOW TYPE TAG	[Symbol]
DOOR TYPE TAG	[Symbol]
NON-RATED FIRE STOP (SMOKE SEAL)	[Symbol]
1 hr FIRE SEPARATION	[Symbol]
1.5 hr FIRE SEPARATION	[Symbol]
2 hr FIRE SEPARATION	[Symbol]
WATER CURTAIN, SEE CODE REPORT FOR ALTERNATIVE SOLUTIONS	[Symbol]
DROPPED CEILING	[Symbol]
RATED CEILING	[Symbol]
CEILING TYPE TAG	[Symbol]
SPRAY INSULATION	[Symbol]
STAIRWELL (REFER TO MECHANICAL DRAWINGS)	[Symbol]
ELECTRIC CHARGING STATION	[Symbol]
HOSE BIB	[Symbol]
FIREFIGHTER TELEPHONE	[Symbol]
FIRE EXTINGUISHER CABINET	[Symbol]
PRECAST CONCRETE WHEEL STOP	[Symbol]
SECURITY FENCING	[Symbol]
STORAGE / BIKE LOCKER C/W ROOF MESH, PROVIDE 10" CLEARANCE ABOVE LOCKER, FRONT FACE OF LOCKER TO EXTEND TO US OF STRUCTURE TO ENSURE NO STORAGE ABOVE LOCKER	[Symbol]

REV. REVISION DATE
1. ISSUED FOR P.P. [Date]
2. ISSUED FOR P.P. [Date]

KPF
7 213 977 6000 11 WEST 4TH STREET INFO@KPF.COM
F 212 696 2626 NEW YORK, NY 10018 WWW.KPF.COM

CHRIS DIKEAKOS ARCHITECTS INC.
T 604 291 2800 212-3885 HENNING DR INFO@DIKEAKOS.COM
F 604 291 2807 BURNABY BC V5C 0K5 WWW.DIKEAKOS.COM

PROPOSED RESIDENTIAL DEVELOPMENT
1698 WEST GEORGIA STREET
VANCOUVER, B.C.

Anthem

CONSULTANT:

JOB NO.: 17-018 AGS SEAL:

SCALE: 3/16" = 1'-0"

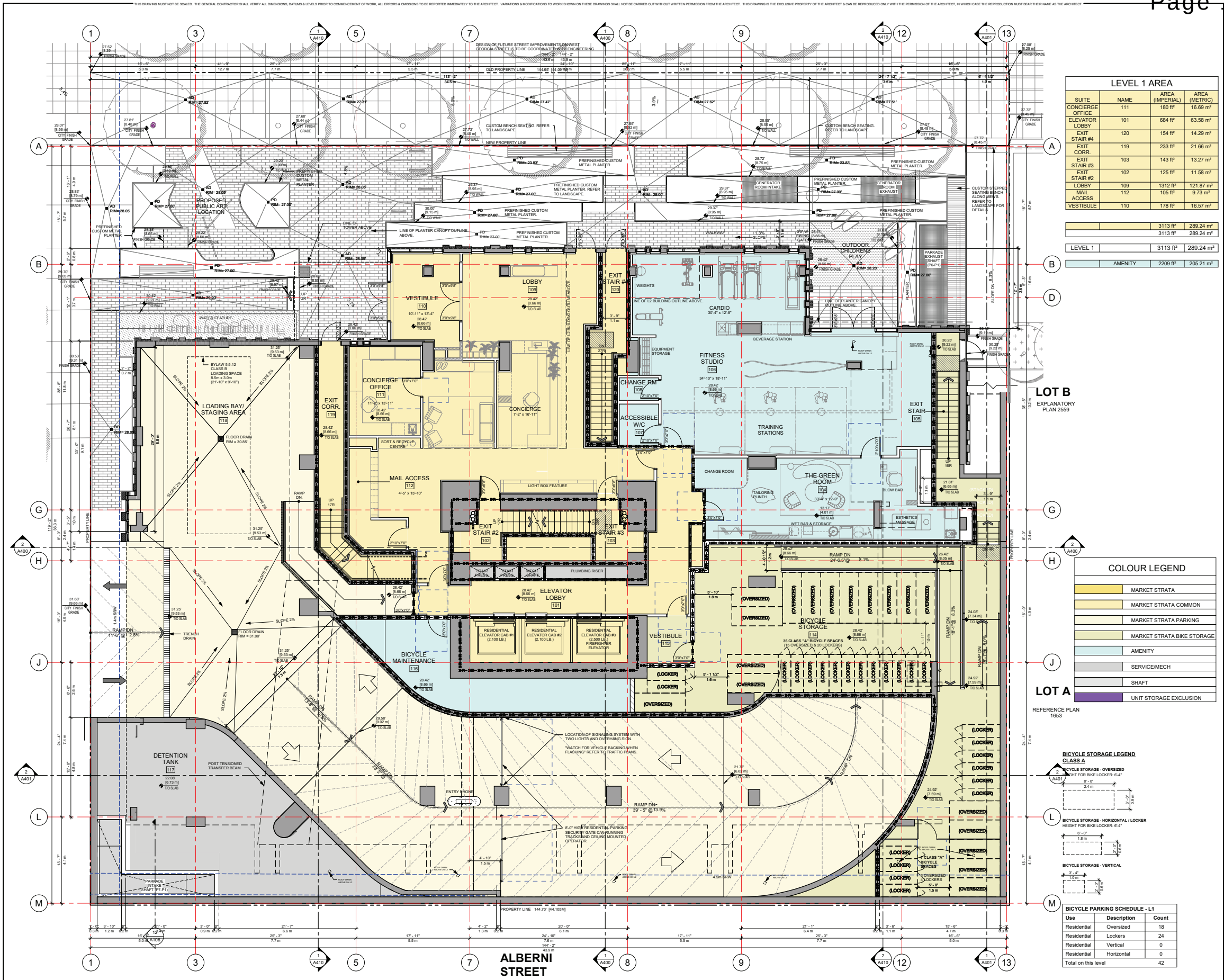
PLOT DATE: Issue Date

SHEET TITLE:

P1 PARKING PLAN

DRAWING NO.: A206 REVISION NO.:

GF Plan
Approx. 1:200
(one third of
3/16"=1'-0")



Appendix C:
Page 16 of 41

LEGEND

FLOOR PLAN

REVISIONS

NO.	REVISION	DATE
1	ISSUED FOR P.P.	May 24, 2021
2	FOR P.P. RESUBMISSION	Nov. 19, 2021

KPF
T 212 977 6900 F 212 696 2626
11 WEST 42ND STREET NEW YORK, NY 10036
WWW.KPF.COM

CHRIS DIKEAKOS ARCHITECTS INC.
T 604 291 2680 F 212 389 5899
804 291 2687 BURNABY BC V5C 5H5
WWW.DIKEAKOS.COM

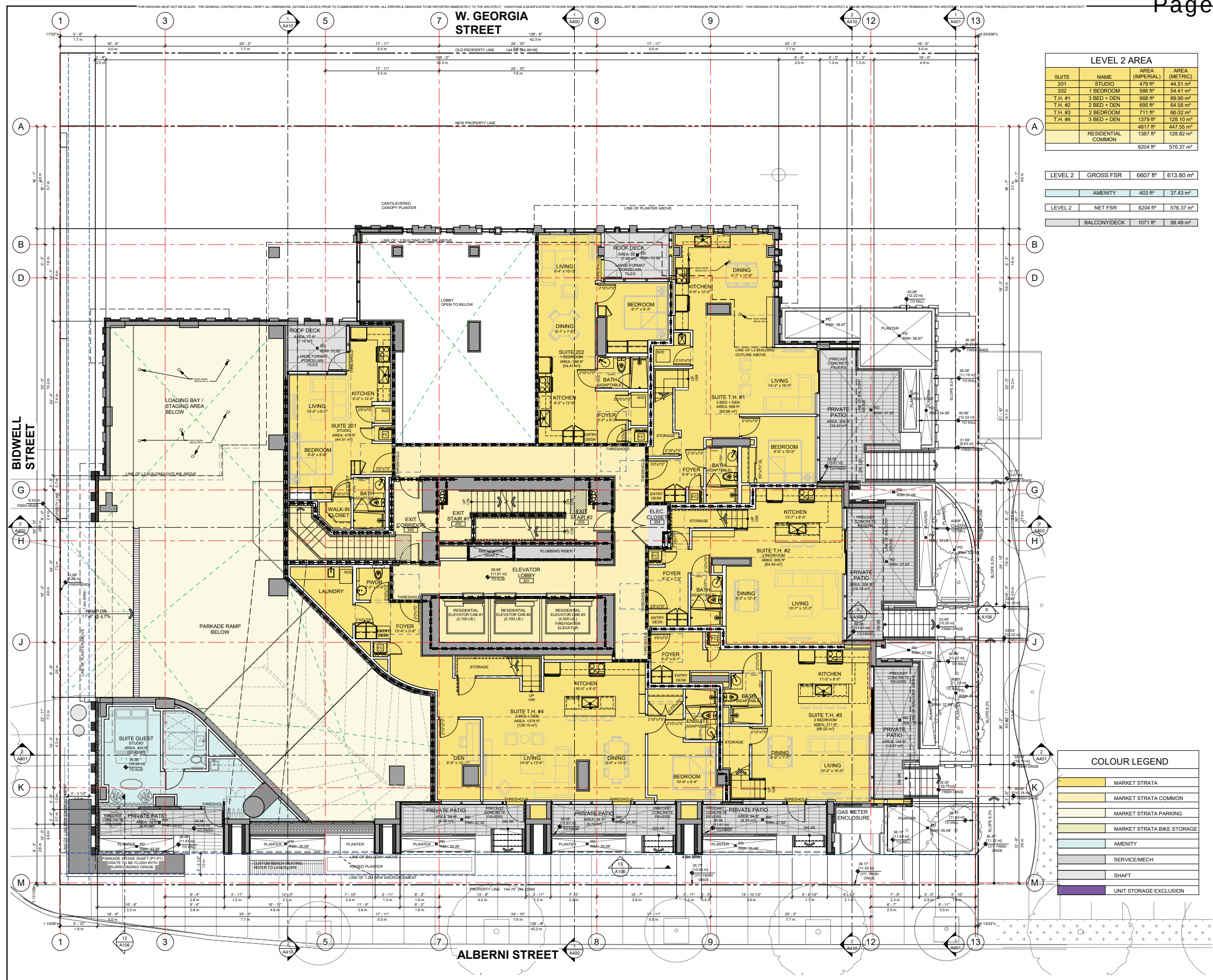
PROPOSED RESIDENTIAL DEVELOPMENT
1698 WEST GEORGIA STREET
VANCOUVER, B.C.

Anthem

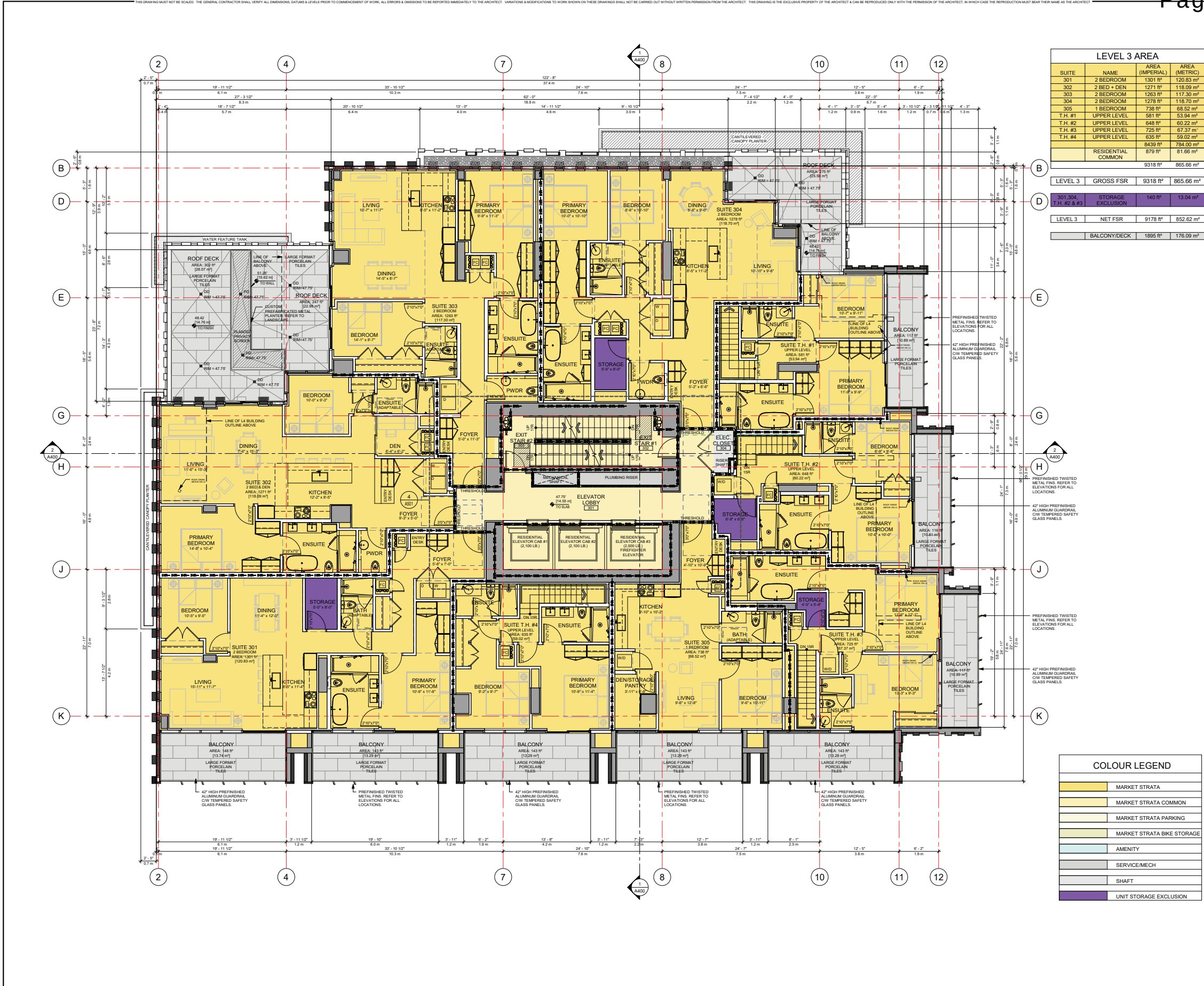
LEVEL 1 FLOOR PLAN OVERALL

A207

2F Plan
Approx. 1:200
(one third of
3/16"=1'-0")



3F Plan
Approx. 1:200
(one third of
3/16"=1'-0")



Appendix C:
Page 18 of 41

LEGEND

DESCRIPTION	GRAPHIC
CONCRETE (WALLS & COLUMNS)	[Symbol]
CONCRETE UPSTAND	[Symbol]
CONCRETE COLUMN BELOW	[Symbol]
CONCRETE COLUMN ABOVE	[Symbol]
SLAB THICKENING ABOVE	[Symbol]
MASONRY WALLS	[Symbol]
PARTITION WALLS	[Symbol]
WALL TYPE TAG	[Symbol]
ELEVATION	[Symbol]
DRAIN	[Symbol]
WINDOW TYPE TAG	[Symbol]
DOOR TYPE TAG	[Symbol]
NON-RATED FIRE SEP. (SMOKE SEAL)	[Symbol]
1 hr FIRE SEPARATION	[Symbol]
1.5 hr FIRE SEPARATION	[Symbol]
2 hr FIRE SEPARATION	[Symbol]
WATER CURTAIN. SEE CODE REPORT FOR ALTERNATIVE SOLUTIONS	[Symbol]
DROPPED CEILING	[Symbol]
RATED CEILING	[Symbol]
CEILING TYPE TAG	[Symbol]
SPRAY INSULATION	[Symbol]
EXTENT OF BALCONY GRANULAR STANDPIPE. REFER TO MECHANICAL DRAWINGS	[Symbol]
42" HIGH PREFINISHED ALUMINUM GUARDRAIL C/W TEMPERED SAFETY GLASS PANELS	[Symbol]
HOBES	[Symbol]
FIRE EXTINGUISHER CABINET	[Symbol]
WEATHERPROOF RECEPTACLE	[Symbol]
GAS BIB	[Symbol]
ELECTRICAL PANEL	[Symbol]
WATER MANIFOLD	[Symbol]

REVISIONS

NO.	REVISION	DATE
1	ISSUED FOR D.P.	May 24, 2021
2	D.P. RESUBMISSION	Nov. 19, 2021

KPF
11 WEST 4TH STREET
VANCOUVER, BC V6C 1K5

CHRIS DIKEAKOS ARCHITECTS INC.
212-3888 HENNING DR
VANCOUVER, BC V6C 1K5

PROPOSED
RESIDENTIAL DEVELOPMENT
1698 WEST GEORGIA STREET
VANCOUVER, B.C.

Anthem

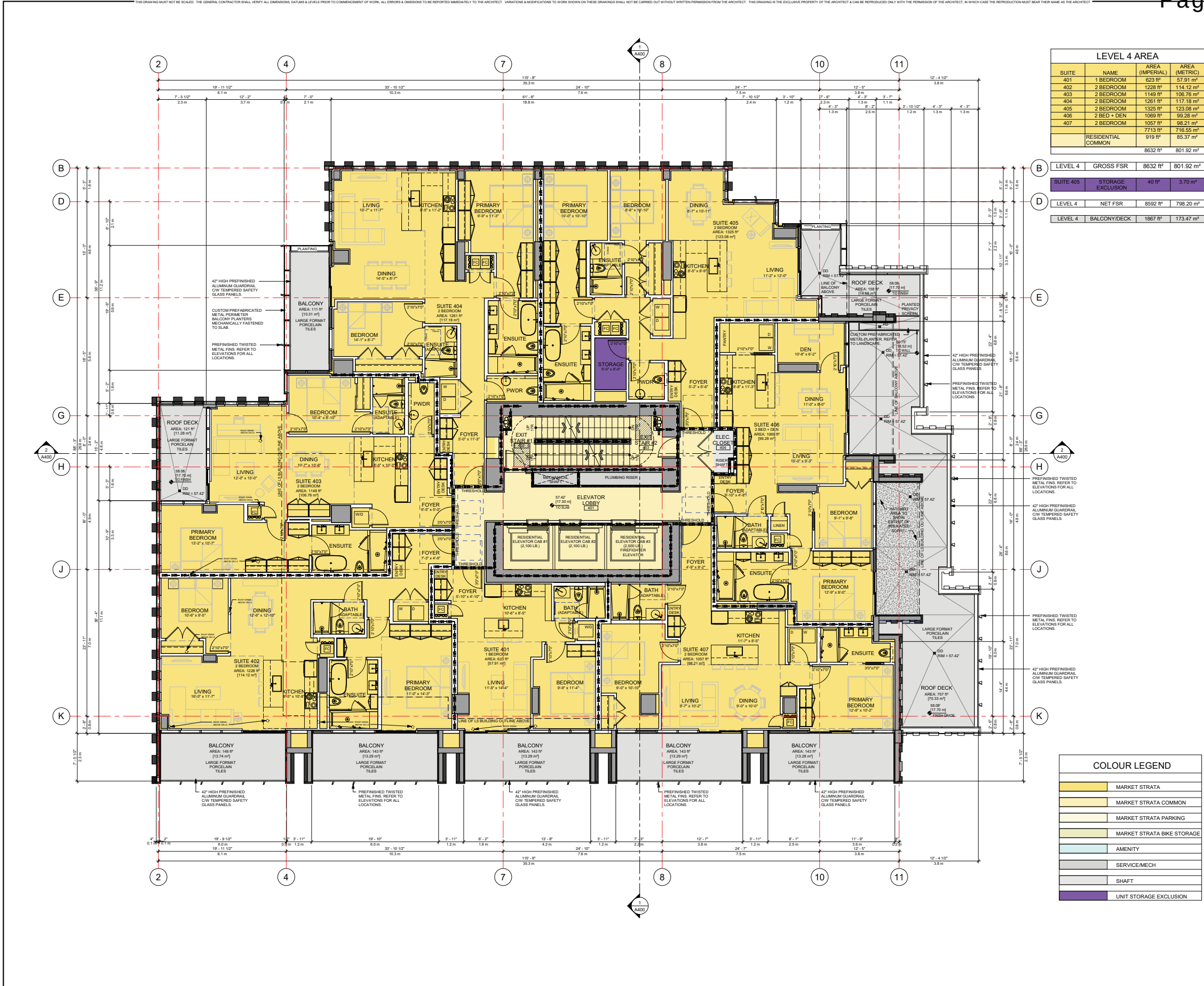
CONSULTANT:

JOB NO.: 17-018 AGS
SCALE: 3/16" = 1'-0"
PLOT DATE: Issue Date

SHEET TITLE:
LEVEL 3 FLOOR PLAN

DRAWING NO.: **A209**

4F Plan
Approx. 1:200
(one third of
3/16"=1'-0")



Appendix C:
Page 19 of 41

LEGEND

DESCRIPTION	GRAPHIC
CONCRETE (WALLS & COLUMNS)	
CONCRETE UPSTAIR	
CONCRETE COLUMN BELOW	
CONCRETE COLUMN ABOVE	
SLAB THICKENING ABOVE	
MASONRY WALLS	
PARTITION WALLS	
WALL TYPE TAG	
ELEVATION	
DRAIN	
WINDOW TYPE TAG	
DOOR TYPE TAG	
NON-RATED FIRE SEP. (SMOKE SEAL)	
1 hr FIRE SEPARATION	
1.5 hr FIRE SEPARATION	
2 hr FIRE SEPARATION	
WATER CURTAIN. SEE CODE REPORT FOR ALTERNATIVE SOLUTIONS	
DROPPED CEILING	
RATED CEILING	
CEILING TYPE TAG	
SPRAY INSULATION	
EXTENT OF BALCONY GRANULAR WATERPROOF MEMBRANE	
STAIRWELL (REFER TO MECHANICAL DRAWINGS)	
HOSE BIB	
FIREFIGHTER TELEPHONE	
FIRE EXTINGUISHER CABINET	
WEATHERPROOF RECEPTACLE	
GAS BIB	
ELECTRICAL PANEL	
WATER MANIFOLD	

REVISIONS

NO.	REVISION	DATE
1	ISSUED FOR P.P.	May 04, 2021
2	P.P. RESUBMISSION	Nov. 19, 2021

KPF

11 WEST 4TH STREET
VANCOUVER, BC V6C 1K5

CHRIS DIKEAKOS
ARCHITECTS INC.

11 WEST 4TH STREET
VANCOUVER, BC V6C 1K5

PROPOSED
RESIDENTIAL
DEVELOPMENT
1698 WEST GEORGIA STREET
VANCOUVER, B.C.

Anthem

CONSULTANT:

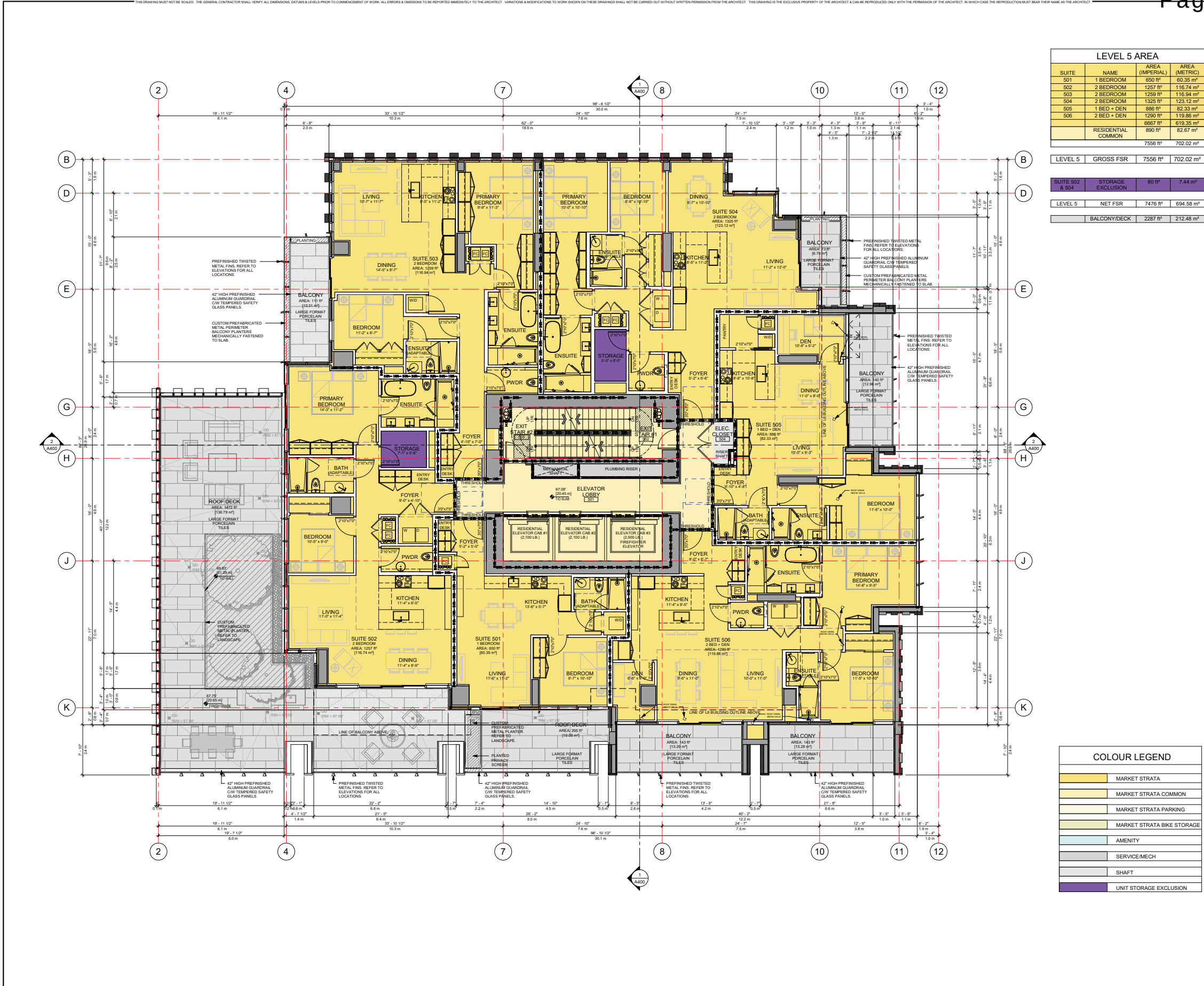
JOB NO.: 17-018 AGS
SCALE: 3/16" = 1'-0"
PLOT DATE: Issue Date

SHEET TITLE:
LEVEL 4 FLOOR
PLAN

DRAWING NO.:
A210

REVISION NO.:

5F Plan
Approx. 1:200
(one third of
3/16"=1'-0")



LEGEND	
DESCRIPTION	GRAPHIC
CONCRETE (WALLS & COLUMNS)	
CONCRETE UPSTAND	
CONCRETE COLUMN BELOW	
CONCRETE COLUMN ABOVE	
SLAB THICKENING ABOVE	
MASONRY WALLS	
PARTITION WALLS	
WALL TYPE TAG	
ELEVATION	
DRAIN	
WINDOW TYPE TAG	
DOOR TYPE TAG	
NON-RATED FIRE SEP. (SMOKE SEAL)	
1 hr FIRE SEPARATION	
1.5 hr FIRE SEPARATION	
2 hr FIRE SEPARATION	
WATER CURTAIN. SEE CODE REPORT FOR ALTERNATIVE SOLUTIONS	
DROPPED CEILING	
RATED CEILING	
CEILING TYPE TAG	
SPRAY INSULATION	
EXTENT OF BALCONY GRANULAR WATERPROOF MEMBRANE	
STANDARD. REFER TO MECHANICAL DRAWINGS	
HOSE BIB	
FIREFIGHTER TELEPHONE	
FIRE EXTINGUISHER CABINET	
WEATHERPROOF RECEPTACLE	
GAS BIB	
ELECTRICAL PANEL	
WATER MANIFOLD	
REV. REVISION	DATE
1 ISSUED FOR P.P.	NOV. 19, 2021
2 ISSUED FOR P.P.	MAY 24, 2022

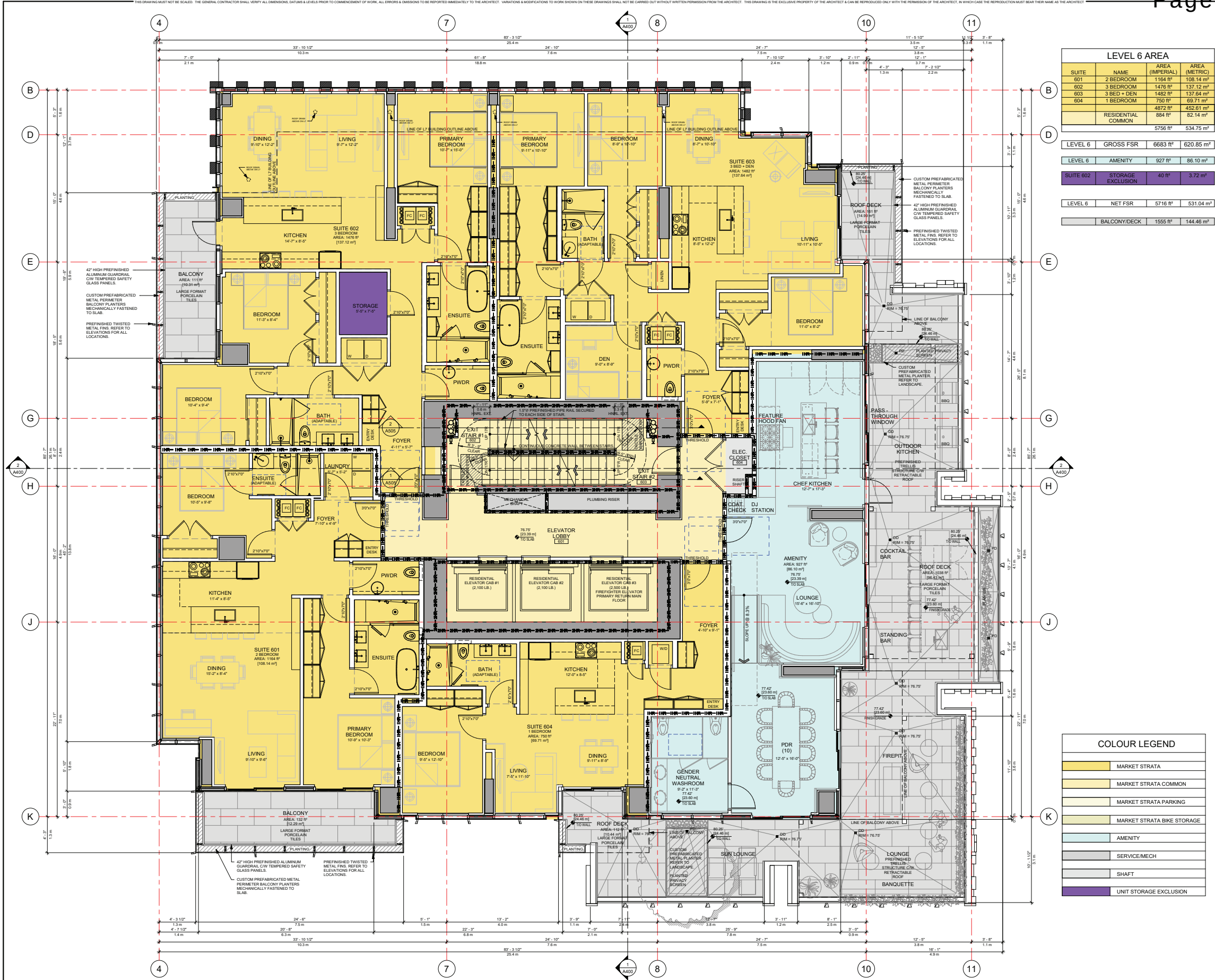


PROPOSED
RESIDENTIAL
DEVELOPMENT
1698 WEST GEORGIA STREET
VANCOUVER, B.C.



CONSULTANT:	
JOB NO.: 17-018 AGS	SEAL:
SCALE: 3/16" = 1'-0"	
PLST DATE: Issue Date	
SHEET TITLE:	
LEVEL 5 FLOOR PLAN	
DRAWING NO.: A211	REVISION NO.:

6F Plan
Approx. 1:150
(one third of
1/4"=1'-0")



LEGEND

FLOOR PLAN

DESCRIPTION GRAPHIC

CONCRETE (WALLS & COLUMNS)

CONCRETE UPSTAIR

CONCRETE COLUMN BELOW

CONCRETE COLUMN ABOVE

SLAB THICKENING ABOVE

MASONRY WALLS

PARTITION WALLS

WALL TYPE TAG

ELEVATION

DOOR TYPE TAG

WINDOW TYPE TAG

DOOR TYPE TAG

NON-RATED FIRE SEP. (SMOKE SEAL)

1 hr FIRE SEPARATION

1.5 hr FIRE SEPARATION

2 hr FIRE SEPARATION

WATER CURTAIN. SEE CODE REPORT FOR ALTERNATIVE SOLUTIONS

DROPPED CEILING

RATED CEILING

CEILING TYPE TAG

SPRAY INSULATION

EXTENT OF BALCONY GRANULAR WATERPROOF MEMBRANE

STANDARD PIPE. REFER TO MECHANICAL DRAWINGS

HOSE BIB

FIREFIGHTER TELEPHONE

FIRE EXTINGUISHER CABINET

WEATHERPROOF RECEPTACLE

GAS BIB

ELECTRICAL PANEL

WATER MANIFOLD

NO. REVISION

DATE

ISSUED FOR:

2. P.P. RESUBMISSION Nov. 19, 2021

1. ISSUED FOR P.P. May 24, 2021



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PROPOSED RESIDENTIAL DEVELOPMENT
1698 WEST GEORGIA STREET
VANCOUVER, B.C.



CONSULTANT:

COLOUR LEGEND

	MARKET STRATA
	MARKET STRATA COMMON
	MARKET STRATA PARKING
	MARKET STRATA BIKE STORAGE
	AMENITY
	SERVICE/MECH
	SHAFT
	UNIT STORAGE EXCLUSION

JOB NO. 17-018 AGS SEAL:

SCALE: 1/4" = 1'-0"

PLST DATE: Issue Date

LEVEL 6 FLOOR PLAN

DRAWING NO. A212

REVISION NO.



1616-1698 West Georgia
Vancouver, BC CANADA