



1111 RICHARDS

DEVELOPMENT PERMIT APPLICATION, REVISION 1

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ZONING STATS

1111 RICHARDS STREET
(PREVIOUSLY 508 HELMCKEN STREET)

LEGAL DESCRIPTION
LOT C, BLK 94, D.L. S41, PLAN EPP35544

CURRENT ZONING: CD-1

SITE AREA: 20,962.40 SF
ALLOWABLE FSR: 17.19

MAX. HEIGHT: 320'
STOREYS: 35

SETBACKS
REAR: 12' FOR FIRST 55' FROM RICHARDS STREET UP TO LEVEL 11
RICHARDS: 12'

UNIT STATS

UNIT COUNT - TYPE	
UNIT TYPE	COUNT

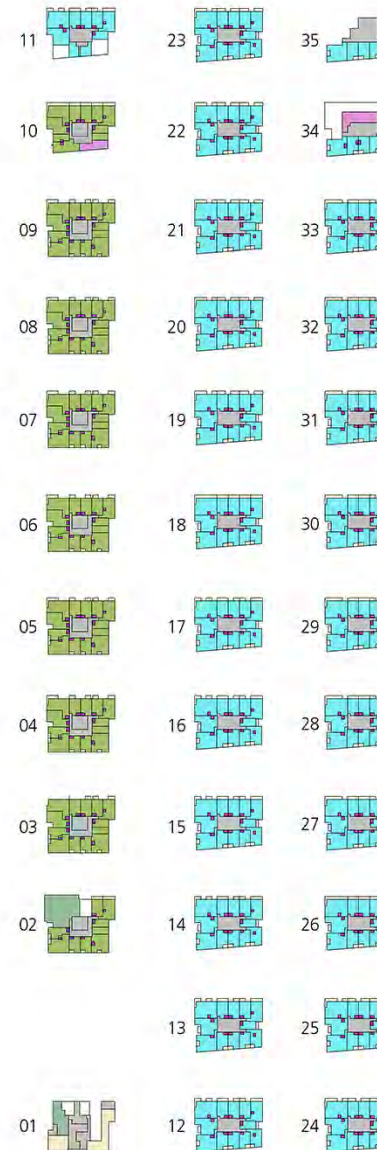
MARKET UNIT	
ONE BEDROOM	157
STUDIO	25
THREE BEDROOM	46
TWO BEDROOM	90
MARKET UNIT	278

RENTAL	
ONE BEDROOM	49
STUDIO	19
THREE BEDROOM	16
TWO BEDROOM	26
RENTAL	110
TOTAL UNITS	388

RENTAL UNITS WITHOUT IN-SUITE STORAGE: 9
MARKET UNITS WITHOUT IN-SUITE STORAGE: 2

FSR AREA PLAN

AMENITY	FSR EXCLUSION
BALCONY	MARKET UNIT
CIRCULATION	RENTAL
CRU	STORAGE
DAYCARE	



PARKING, BICYCLES & LOADING

REQUIRED PARKING:

CRU (VPR 4.3.1)
1 Stall / 115 m²
313.9m² / 115 m² = 2.7 Stalls Required

DAYCARE
8 PU/DO & 2 Staff Stalls Required

RESIDENTIAL (VPR 4.3.4)
1 Stall 140m²
28241.7m² / 140m² = 201.7 Stalls Required

TOTAL REQUIRED: 201.7 + 2.7 + 10 = 214.4 Stalls

TOTAL PROVIDED: 236 Stalls

GROSS AREA - RESIDENTIAL

TYPE	AREA
MARKET UNIT	211360.7 SF
RENTAL	79495.7 SF
STORAGE	13135.1 SF
TOTAL RESIDENTIAL	303991.5 SF

TOTAL - PARKING	
STALL TYPE	COUNT

Accessible Car	17
Car Share	3
Regular Car	158
Small Car	58
TOTAL CAR STALLS	236

BICYCLE REQUIREMENTS:

RESIDENTIAL: Class A: 1.25 x 288 Units = 485 Stalls required
485 Provided on P7

Class B: 6 Provided

CRU: Class A: 772.5 / 500m² = 1.5 Stalls required
16 Provided on P1

TOTAL - BICYCLES

Type	Level	Count
Bike Locker	P7	90
Horizontal	P7	276
Vertical	P7	119
Horizontal	P1	9
Vertical	P1	3
TOTAL BIKES		497

LOADING REQUIREMENTS:

CRU (VPR 5.2.2)
CLASS B LOADING: 1 Required

RESIDENTIAL (VPR 5.2.3)
CLASS B LOADING: 3 Required

TOTAL REQUIRED: 4 CLASS B

TOTAL PROVIDED: 3 CLASS A & 2 CLASS B

*Relaxation requested from 4 Class B to 2. Lane Portage is limited and additional Class A loading underground will serve any additional loading needs for CRUs, daycare, and residents.

*Relaxation requested for western loading bay height to 3.5m to accommodate structural requirements.

AREA STATS (BY USE)

GROSS AREA - TYPE TOTAL

TYPE	AREA
AMENITY	7786.6 SF
STORAGE	50428.2 SF
CIRCULATION	50428.2 SF
CRU	3384.8 SF
DAYCARE	4905.8 SF
MARKET UNIT	211360.7 SF
RENTAL	79495.7 SF
TOTAL AREA	395118.8 SF

NET AREA - TYPE TOTAL

TYPE	AREA	FSR
CIRCULATION	50428.2 SF	2.41
CRU	3384.8 SF	0.16
DAYCARE	4905.8 SF	0.23
MARKET UNIT	211360.7 SF	10.08
RENTAL	79495.7 SF	3.79
TOTAL AREA	349575.3 SF	16.68

PROPOSED FSR: 16.68 (349,575 SF)

ALLOWABLE FSR: 17.19 (360,344 SF)

FSR (BY LEVEL)

FSR AREA - LEVEL TOTAL

LEVEL	AREA
L1	8227.2 SF
L2	11324.5 SF
L3	11161.8 SF
L4	11161.8 SF
L5	11161.8 SF
L6	11161.8 SF
L7	11161.8 SF
L8	11161.8 SF
L9	11161.8 SF
L10	8557.5 SF
L11	7786.6 SF
L12	10208.8 SF
L13	10208.8 SF
L14	10208.8 SF
L15	10208.8 SF
L16	10208.8 SF
L17	10208.8 SF
L18	10208.8 SF
L19	10208.8 SF
L20	10208.8 SF
L21	10208.8 SF
L22	10208.8 SF
L23	10208.8 SF
L24	10208.8 SF
L25	10208.8 SF
L26	10208.8 SF
L27	10208.8 SF
L28	10208.8 SF
L29	10208.8 SF
L30	10208.8 SF
L31	10208.8 SF
L32	10208.8 SF
L33	10208.8 SF
L34	5092.8 SF
L35	5961.3 SF
TOTAL AREA	349575.3 SF

BALCONY AREA (BY LEVEL)

BALCONY AREA - LEVEL TOTAL

LEVEL	AREA
L2	483.8 SF
L3	423.2 SF
L4	647.3 SF
L5	647.3 SF
L6	647.3 SF
L7	647.3 SF
L8	647.3 SF
L9	647.3 SF
L10	754.9 SF
L11	559.6 SF
L12	968.1 SF
L13	968.1 SF
L14	968.1 SF
L15	968.1 SF
L16	968.1 SF
L17	968.1 SF
L18	1189.7 SF
L19	1027.4 SF
L20	1027.4 SF
L21	1027.4 SF
L22	1027.4 SF
L23	1027.4 SF
L24	1027.4 SF
L25	1027.4 SF
L26	1189.7 SF
L27	1076.4 SF
L28	1076.4 SF
L29	1076.4 SF
L30	1076.4 SF
L31	1076.4 SF
L32	1076.4 SF
L33	1076.4 SF
L34	300.7 SF
L35	333.6 SF
TOTAL AREA	29624.6 SF

ALLOWABLE BALCONY AREA: 12%

PROPOSED: 31,873 SF / 346,762 = 9.2%

gbl

■ GBL ARCHITECTS INC.
1090 BROADVIEW AVENUE
VANCOUVER, BC CANADA V6T 1Y6
TEL: 604.281.1166 FAX: 604.781.8179

NOTES

REVISIONS:

NO.	DATE	DESCRIPTION
1	MAY 8, 2018	ISSUING APPLICATION REV. 1
2	APR 26, 2018	ISSUING APPLICATION REV. 1
3	MAY 16, 2018	ISSUING APPLICATION REV. 2
4	MAY 23, 2018	ISSUING APPLICATION REV. 2
5	JUN 28, 2018	ISSUING APPLICATION REV. 2
6	JULY 23, 2018	ISSUING APPLICATION REV. 2

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION REVISION 1

PROJECT DATA

DATE	10/21/2015 4:03:12 PM
DRAWN BY	CS
CHECKED BY	
SCALE	As Shown
JOB NUMBER	1254

A-1.00

REVISIONS

NO.	DATE	DESCRIPTION
1	REV. 8.2015	ISSUING APPLICATION
2	REV. 10.2015	ISSUING APPLICATION REV. 1
3	REV. 10.2015	ISSUING APPLICATION REV. 2
4	REV. 12.2015	ISSUING APPLICATION REV. 3
5	REV. 12.2015	ISSUING APPLICATION REV. 4
6	REV. 12.2015	ISSUING APPLICATION REV. 5

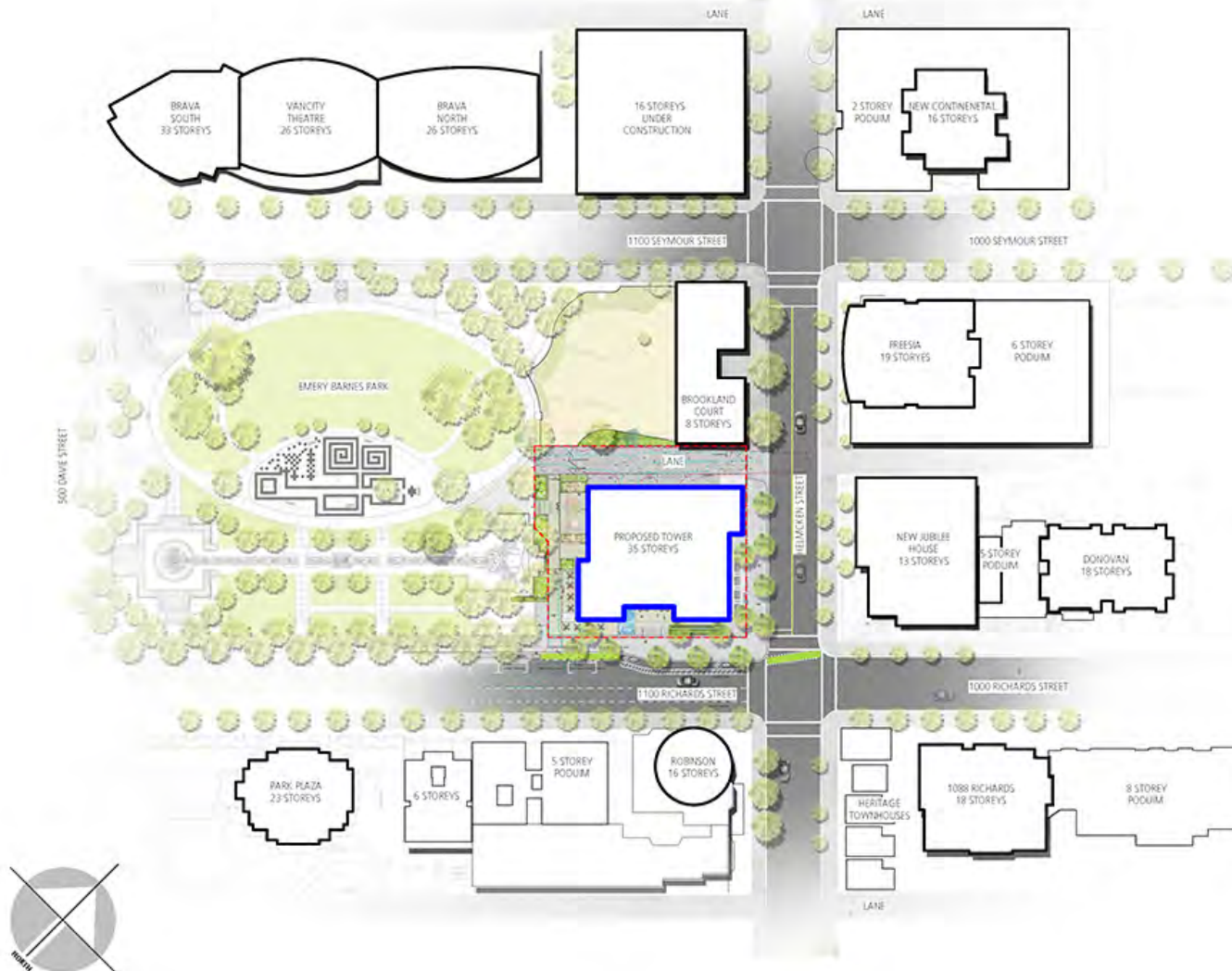
1111 RICHARDS (508 HELMCKEN)

DEVELOPMENT PERMIT APPLICATION REVISION 1

CONTEXT PLAN

DATE	10/20/2015 4:10 PM
DRAWN BY	18
CHECKED BY	18
SCALE	1" = 1'-0"
JOB NUMBER	1254

A-1.01





SITE SURVEY

DATE 10/21/2015 4:03:16 PM
DRAWN BY LG
CHECKED BY JS
SCALE
JOB NUMBER 1254

A-1.02



BUILDING GRADES

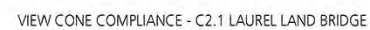
DATE 10/21/2015 4:03:17 PM
DRAWN BY LG
CHECKED BY Checker
SCALE
JOB NUMBER 1254

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- PROPOSED TOWER OUTLINE
 ■ EXTENT OF VIEW CONE F1.1 - OVER SITE AT HEIGHT OF 385'

PROPOSED BUILDING HEIGHT IS LOCATED BELOW THIS AT 380' SO DOES NOT CONFLICT WITH VIEW CONE F1.1



- PROPOSED TOWER OUTLINE
■ EXTENT OF VIEW CONE C2.1 - CROSSES CORNER OF SITE

PROPOSED BUILDING POSITION IS SET BACK SO DOES NOT CONFLICT WITH VIEW CONE C2.1

REVIEWS		
NO.	DATE	DESCRIPTION
1	FEB. 9, 2013	REZONING APPLICATION
2	APR. 26, 2013	REZONING APPLICATION REV. 1
3	FEB. 18, 2016	REZONING APPLICATION REV. 2
4	SEP. 23, 2016	DEVELOPMENT PERMIT REVIEW
5	SEP. 28, 2016	DEVELOPMENT PERMIT APPLICATION
6	OCT. 23, 2016	DEVELOPMENT PERMIT APPLICATION REV. 1

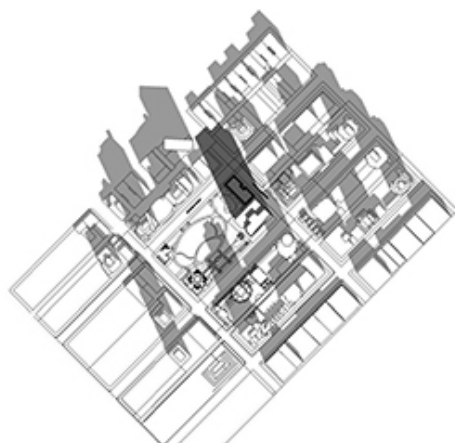
1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION REVISION 1

VIEW CONES

DATE	10/21/2015 4:03:19 PM
DRAWN BY	UG
CHECKED BY	Checker
SCALE	As indicated
JOB NUMBER	1254

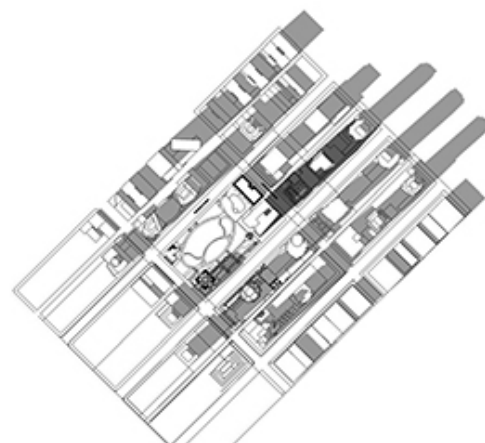
A-1.04



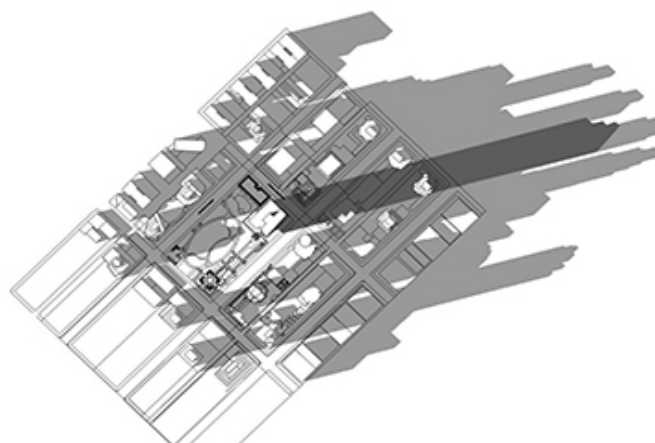
MAR / SEP 21: 10AM



MAR / SEP 21: 12PM



MAR / SEP 21: 2PM



MAR / SEP 21: 4PM

NO.	DATE	DESCRIPTION
1	DEC 8, 2017	REVISION 1
2	MAY 26, 2018	REVISION 2
3	MAY 26, 2018	REVISION 3
4	MAY 26, 2018	REVISION 4
5	MAY 26, 2018	REVISION 5
6	MAY 26, 2018	REVISION 6
7	MAY 26, 2018	REVISION 7
8	MAY 26, 2018	REVISION 8
9	MAY 26, 2018	REVISION 9
10	MAY 26, 2018	REVISION 10

1111 RICHARDS
 (508 HELMCKEN)
 DEVELOPMENT PERMIT
 APPLICATION REVISION 1

SHADOW ANALYSIS

DATE: 10/10/18 4:00 PM
 DRAWN BY: JH
 CHECKED BY: JH
 SCALE: 1" = 10'

JOB NUMBER: 1254

A-1.05



1. EMERY BARNES PARK

2. EXISTING BUILDING ON PROPOSED SITE - RICHARDS STREET



3. VIEW UP HELMCKEN STREET, SITE ON LEFT



4. RICHARDS STREET CONTINUED



5. VIEW TO SITE FROM DAVIE ST/RICHARDS INTERSECTION



6. VIEW TO SITE FROM DAVIE ST THROUGH EMERY BARNES PARK



VIEW LOCATIONS

NO.	DATE	DESCRIPTION
1	APR 8, 2014	RECORDING APPLICATION
2	APR 24, 2015	RECORDING APPLICATION REV. 1
3	APR 24, 2015	RECORDING APPLICATION REV. 2
4	SEP 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP 23, 2015	DEVELOPMENT PERMIT APPLICATION
6	SEP 23, 2015	DEVELOPMENT PERMIT APPLICATION REVISION 1

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION REVISION 1

RICHARDS
STREETSCAPE

DATE: 10/01/15 4:03:22 PM
 DRAWN BY: VJ
 CHECKED BY: JS
 SCALE:
 JOB NUMBER: 1254

A-1.06

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 8, 2015	RECORDING APPLICATION
2	APRIL 26, 2015	RECORDING APPLICATION REV. 1
3	MAY 15, 2015	RECORDING APPLICATION REV. 2
4	SEP 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP 23, 2015	DEVELOPMENT PERMIT REVIEW
6	SEP 23, 2015	APPLICATION
7	SEP 23, 2015	DEVELOPMENT PERMIT REVIEW

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION REVISION 1

HELMCKEN
STREETSCAPE

DATE: 10/10/15 4:00 PM
 DRAWN BY: JS
 CHECKED BY: JS
 SCALE: 1"=10'
 JOB NUMBER: 1254

A-1.07



1. VIEW UP RICHARDS STREET - SITE ON RIGHT

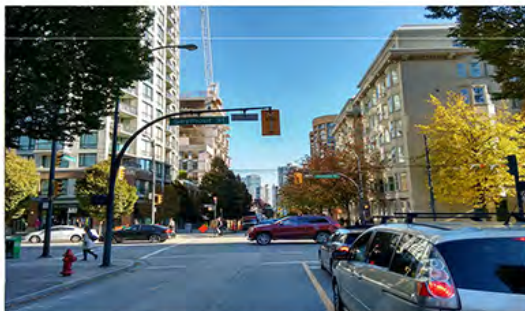


2. EXISTING BUILDING ON PROPOSED SITE - HELMCKEN STREET



3. EXISTING SITE AND LANE

4. BROOKLAND COURT ON HELMCKEN ST



5. VIEW TO SITE LOOKING SOUTH ALONG HELMCKEN ST



VIEW LOCATIONS

SOCIAL INTERACTION

- Generous sized lobby and amenity room
- Permeability access into and around the site
- Commercial spaces fronting street
- Cafe patio on park edge
- Daycare on park
- Expanded park access through landscaped mews

TRANSPORTATION

- Public bike share
- Significant bicycle storage incorporated
- Dedicated Bicycle elevator
- Located on Richards Bike Lane
- Creation of a pedestrian oriented environment
- On a main transit corridor with bike lanes
- Walking distance to many community amenities (Canada Lane, Richards Bike Lane, False Creek Seawall, commercial, etc)
- Voluntary car share

BUILDING ENVELOPE

- External Shading
- Thermal Breaks at Balcony Slabs
- Optimized Energy Performance
- Operable Windows
- Individual Facade Treatments
- Heat Island Effect Mitigation through green and high albedo roof treatments

LANDSCAPING

- Rooftop outdoor amenity for rental and market
- Use of natural and adaptive plants
- Irrigation Efficiency
- Storm Water Management

SUSTAINABILITY RATIONALE

The Applicant and Design Team are committed to embracing and implementing green building principles into the project's design and long term operations. The project will be registered with the Canadian Green Building Council's LEED program and will target a minimum designation of LEED Gold. We envision the Project becoming a showcase project for environmentally responsive building construction through the utilisation of:

BUILDING FEATURES

- 1 - A high performance building envelope that will include curtain wall glazing and a high wall to window ratio.
- 2 - Responsive building facade treatments through the integration of expansive solar shading screens across the predominantly south facing facades.
- 3 - Energy efficient LED lighting (common areas) and electrical systems including a reduced Lighting Power Density.
- 4 - Advanced lighting controls including occupancy sensors, and a high level of lighting system control by individual occupants.
- 5 - Water efficient plumbing fixtures.
- 6 - Densification of underutilised existing site to maximise land usage.
- 7 - Redevelopment of an underutilised urban site in an area that is well served by transit and highly accessible by pedestrians and cyclists.
- 8 - Low VOC interior finishes, indoor air quality evaluation before occupancy to address the comfort and well-being of the occupant.
- 9 - Implementation of regional and recycled materials where available.
- 10 - Enhanced commissioning of the building energy systems to ensure systems perform according to the basis of sustainable design.
- 11 - Ongoing accountability of the building energy performance through measurement, verification and corrective actions after occupancy.
- 12 - Managing building design to maximise access to views.
- 13 - Providing an efficient boiler and hydronic heating system.

LANDSCAPE FEATURES

- 1 - Extensive green space including vegetated green roof areas to promote accessible vegetated open space within the project boundary, and to address the heat island effect and reduce stormwater runoff.
- 2 - Specialised selection of landscaping materials to be native and adaptive supporting less intensive landscape maintenance.
- 3 - Water efficient landscape design through drip irrigation.

PARKADE FEATURES

- 1 - Underground parking spaces to eliminate the heat island effect for non-roof areas.
- 2 - Mechanical stormwater treatment systems to further improve the quality of site stormwater runoff.
- 3 - Electrical Vehicle charging infrastructure.
- 4 - Bicycle storage access provided by dedicated bike lobby and bike elevator at street level allowing for the separation of cyclists from vehicles on the parkade entrance ramp and drive aisles.

SOCIAL FEATURES

- 1 - Two generous indoor amenity spaces with associated large outdoor amenity areas, serving both rental and market units within the building.
- 2 - Creation of a pedestrian oriented public realm around the periphery of the building at grade, including improved interface between the building face and park edge, and moves quality from Helmcken Street.
- 3 - Large balconies overlooking Emery Barnes Park, enhancing security and activity in the evening.

1111 Richards Street (508 Helmcken)
LEED 2009 NC Progress Report
Last update: September 26, 2015

KANE CONSULTING

4.1 Total Project Score & Rating		GO! GOLD		Possible Points: 110	
Score	Rating	Score	Rating	Score	Rating
49	4.1	49	4.1	49	4.1
<p>4.1.1 Building Envelope (Possible Points: 25)</p> <p>Construction Activity Pollution Prevention: 1/1</p> <p>Site Selection: 1/1</p> <p>Development Density and Community Connectivity: 3/3</p> <p>Greenfield Redevelopment: 1/1</p> <p>Alternative Transportation: Public Transportation Access: 3/3</p> <p>Alternative Transportation: Bicycle Storage and Repair Station: 1/1</p> <p>Alternative Transportation: Low-Speed and Fuel-Efficient Vehicles: 1/1</p> <p>Site Development: Access and Egress: 1/1</p> <p>Site Development: Open Space: 1/1</p> <p>Stormwater Design: Control (Total: 10/10) (1/1 for 1st 10/10)</p> <p>Stormwater Design: Control (Total: 10/10) (1/1 for 1st 10/10)</p> <p>Heat Island Effect: Surface: 1/1</p> <p>Heat Island Effect: Roof: 1/1</p> <p>Light Pollution Reduction: 1/1</p>					
<p>4.1.2 Water Use Reduction (Possible Points: 10)</p> <p>Water Efficient Landscaping: 1/1 (1/1 for 1st 10/10)</p> <p>Water Efficient Landscaping: 1/1 (1/1 for 1st 10/10)</p> <p>Water Efficient Landscaping: 1/1 (1/1 for 1st 10/10)</p> <p>Water Efficient Landscaping: 1/1 (1/1 for 1st 10/10)</p> <p>Water Efficient Landscaping: 1/1 (1/1 for 1st 10/10)</p> <p>Water Efficient Landscaping: 1/1 (1/1 for 1st 10/10)</p> <p>Water Efficient Landscaping: 1/1 (1/1 for 1st 10/10)</p> <p>Water Efficient Landscaping: 1/1 (1/1 for 1st 10/10)</p> <p>Water Efficient Landscaping: 1/1 (1/1 for 1st 10/10)</p> <p>Water Efficient Landscaping: 1/1 (1/1 for 1st 10/10)</p>					
<p>4.1.3 Energy and Atmosphere (Possible Points: 55)</p> <p>Functional Commissioning of Building Energy Systems: 1/1</p> <p>Functional Commissioning of Building Energy Systems: 1/1</p> <p>Functional Commissioning of Building Energy Systems: 1/1</p> <p>Functional Commissioning of Building Energy Systems: 1/1</p> <p>Functional Commissioning of Building Energy Systems: 1/1</p> <p>Functional Commissioning of Building Energy Systems: 1/1</p> <p>Functional Commissioning of Building Energy Systems: 1/1</p> <p>Functional Commissioning of Building Energy Systems: 1/1</p> <p>Functional Commissioning of Building Energy Systems: 1/1</p> <p>Functional Commissioning of Building Energy Systems: 1/1</p>					
<p>4.1.4 Indoor Environmental Quality (Possible Points: 10)</p> <p>Low-VOC Paints: 1/1</p> <p>Low-VOC Paints: 1/1</p> <p>Low-VOC Paints: 1/1</p> <p>Low-VOC Paints: 1/1</p> <p>Low-VOC Paints: 1/1</p> <p>Low-VOC Paints: 1/1</p> <p>Low-VOC Paints: 1/1</p> <p>Low-VOC Paints: 1/1</p> <p>Low-VOC Paints: 1/1</p> <p>Low-VOC Paints: 1/1</p>					
<p>4.1.5 Materials and Resources (Possible Points: 10)</p> <p>Storage and Collection of Recyclables: 1/1</p> <p>Building Reuse: Reuse Existing Walls, Floor and Roof: 1/1</p> <p>Building Reuse: Reuse Existing Walls, Floor and Roof: 1/1</p> <p>Building Reuse: Reuse Existing Walls, Floor and Roof: 1/1</p> <p>Building Reuse: Reuse Existing Walls, Floor and Roof: 1/1</p> <p>Building Reuse: Reuse Existing Walls, Floor and Roof: 1/1</p> <p>Building Reuse: Reuse Existing Walls, Floor and Roof: 1/1</p> <p>Building Reuse: Reuse Existing Walls, Floor and Roof: 1/1</p> <p>Building Reuse: Reuse Existing Walls, Floor and Roof: 1/1</p> <p>Building Reuse: Reuse Existing Walls, Floor and Roof: 1/1</p>					
<p>4.1.6 Regional Materials (Possible Points: 10)</p> <p>Regional Materials: 1/1</p> <p>Regional Materials: 1/1</p> <p>Regional Materials: 1/1</p> <p>Regional Materials: 1/1</p> <p>Regional Materials: 1/1</p> <p>Regional Materials: 1/1</p> <p>Regional Materials: 1/1</p> <p>Regional Materials: 1/1</p> <p>Regional Materials: 1/1</p>					
<p>4.1.7 Construction Materials (Possible Points: 10)</p> <p>Construction Materials: 1/1</p> <p>Construction Materials: 1/1</p> <p>Construction Materials: 1/1</p> <p>Construction Materials: 1/1</p> <p>Construction Materials: 1/1</p> <p>Construction Materials: 1/1</p> <p>Construction Materials: 1/1</p> <p>Construction Materials: 1/1</p> <p>Construction Materials: 1/1</p>					
<p>4.1.8 Construction Waste (Possible Points: 10)</p> <p>Construction Waste: 1/1</p> <p>Construction Waste: 1/1</p> <p>Construction Waste: 1/1</p> <p>Construction Waste: 1/1</p> <p>Construction Waste: 1/1</p> <p>Construction Waste: 1/1</p> <p>Construction Waste: 1/1</p> <p>Construction Waste: 1/1</p> <p>Construction Waste: 1/1</p>					
<p>4.1.9 Construction Water (Possible Points: 10)</p> <p>Construction Water: 1/1</p> <p>Construction Water: 1/1</p> <p>Construction Water: 1/1</p> <p>Construction Water: 1/1</p> <p>Construction Water: 1/1</p> <p>Construction Water: 1/1</p> <p>Construction Water: 1/1</p> <p>Construction Water: 1/1</p> <p>Construction Water: 1/1</p>					
<p>4.1.10 Construction Air (Possible Points: 10)</p> <p>Construction Air: 1/1</p> <p>Construction Air: 1/1</p> <p>Construction Air: 1/1</p> <p>Construction Air: 1/1</p> <p>Construction Air: 1/1</p> <p>Construction Air: 1/1</p> <p>Construction Air: 1/1</p> <p>Construction Air: 1/1</p> <p>Construction Air: 1/1</p>					
<p>4.1.11 Construction Noise (Possible Points: 10)</p> <p>Construction Noise: 1/1</p> <p>Construction Noise: 1/1</p> <p>Construction Noise: 1/1</p> <p>Construction Noise: 1/1</p> <p>Construction Noise: 1/1</p> <p>Construction Noise: 1/1</p> <p>Construction Noise: 1/1</p> <p>Construction Noise: 1/1</p> <p>Construction Noise: 1/1</p>					
<p>4.1.12 Construction Safety (Possible Points: 10)</p> <p>Construction Safety: 1/1</p> <p>Construction Safety: 1/1</p> <p>Construction Safety: 1/1</p> <p>Construction Safety: 1/1</p> <p>Construction Safety: 1/1</p> <p>Construction Safety: 1/1</p> <p>Construction Safety: 1/1</p> <p>Construction Safety: 1/1</p> <p>Construction Safety: 1/1</p>					
<p>4.1.13 Construction Security (Possible Points: 10)</p> <p>Construction Security: 1/1</p> <p>Construction Security: 1/1</p> <p>Construction Security: 1/1</p> <p>Construction Security: 1/1</p> <p>Construction Security: 1/1</p> <p>Construction Security: 1/1</p> <p>Construction Security: 1/1</p> <p>Construction Security: 1/1</p> <p>Construction Security: 1/1</p>					

Legend: Credit Targeted, Not Achieved, Prerequisite (Must Achieve)

LEED Analyst: Kane Consulting

NO.	DATE	DESCRIPTION
1	MAY 8, 2015	ISSUING APPLICATION
2	MAY 15, 2015	ISSUING APPLICATION REV. 1
3	MAY 15, 2015	ISSUING APPLICATION REV. 2
4	MAY 22, 2015	DEVELOPMENT PERMIT REVIEW
5	MAY 22, 2015	APPLICATION
6	MAY 22, 2015	APPLICATION REVIEW

1111 RICHARDS
(508 HELMCKEN)
DEVELOPMENT PERMIT
APPLICATION REVISION 1
SUSTAINABILITY
RATIONALE

DATE: 10/21/2015, 8:07:23 PM
DRAWN BY: JC
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SCALE: 1/1
JOB NUMBER: 1254

A-1.08

SITE CONTEXT

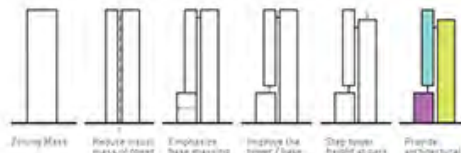
The site is located at the western corner of Richards and Helmcken Street – positioned at the convergence of three surrounding contextual zones. **EMERY BARNES PARK** flanks the western edge of the site, providing a large public green space and unobstructed views to the site from Davie Street. The **URBAN GRID** of Helmcken and Richards streets front the southern and eastern edges of the site, distinguished by the Richards Bike Lane, future Helmcken Greenway, and the neighbouring eight storey heritage Brookland Court. On a larger scale, the surrounding **YALETOWN SKYLINE** provides a variety of architectural styles and residential tower expressions. Establishing a building form and character that appropriately responds to all three of these unique contexts is the foundation of the proposed tower's conceptual design.



BUILDING MASSING

Starting with the approved rezoning massing, the building concept has been re-evaluated from its most basic form. By taking into consideration comments from the City staff, public, and previous Urban Design Panel, we were able to establish a massing concept that is much more responsive to the surrounding context and presents the density on this site in a scaled-down, finer texture.

The most basic gesture of this approach was to visually bisect the tower with a recessed spine. From there, we bumped out the base to emphasize a volume at a similar scale to the neighbouring Brookland Court. An undercut is then provided between the tower and base to further the distinction between the two. The volume closest to the park is stepped down two storeys to reduce the height along the park edge. This results in three volumes that can each take on a distinct character in response to the context that is shaping it.



PROPORTION & ARTICULATION

The three volumes are further scaled through a consistent proportion of eight storeys that is derived from the height of Brookland Court, maintaining a consistent scale throughout the entire building composition. Each volume is uniquely modulated in response to one of the three contextual zones.

The **URBAN BASE** is eight storeys in height to match Brookland Court. The main facade consists of glazing and stone panels, while an outer screen of vertical aluminum fins creates a volume that feels more uniformly solid – particularly when viewed from the street at oblique angles. The rhythm of fins is shifted at levels five and eight, aligning with the midpoint of the window bays and cornice line in Brookland Court.

The **PARK TOWER** is 32 storeys of dwellings wrapped in balconies to provide large private outdoor space directly adjacent to public park. At the base of this volume, a Montessori School projects out – providing an active edge with children during the day and serving as a backlit "lantern" along the park edge in the evening. The balconies are broken into four modules of eight. The bottom module has the smallest amount of balcony frontage to minimize overlook to the adjacent building. Each module progressively increases going up, as the views increase and overlook issues decrease.

Finally, the **YALETOWN TOWER** – at 24 storeys – sits above the base and projects up to the underside of the view cone. It is clad in thermally superior curtain wall glazing and shrouded in a diamond patterned solar lattice. The diamond shape provides for uniform shading going from the southeast to southwest facades and gives this volume a unique identity as it relates to the vertical expression of the Urban Base and horizontal expression of the Park Tower. The eight storey module is continued here by repeating the diamond pattern three times over the 24 storeys.



LANDSCAPE

Helmcken Streetscape

The Helmcken streetscape responds to the guidelines for Downtown South with a double row of red maple trees to match the proposed new street trees on the north side of the block. All street trees will be newly planted to achieve the intended double row canopy. Trees will be planted in the Downtown South grates and surrounding details within a poured concrete sidewalk. Space has been allocated for a full bike station on the development site within a building setback to avoid conflicts with movement on the public sidewalk.

Richards Streetscape

The Richards streetscape also conforms to the Downtown South guidelines with a double row of newly planted red maple trees. The adjacent entries to the market and rental apartments are located on a deck a few steps up from the street and flanked on both sides by water features and planters. A ramp access is provided from the corner. The southern of the two water features also provides an access and acoustic buffer to the outdoor eating terrace of the restaurant that occupies the southwest corner of the building. The activity on the eating terrace provides animation and interest along both Richards Street and the access route along the south side of the building.

Southside Interface to the Park

The south edge of the development site is a service lane paved with concrete pavers that also forms the surface of the outdoor eating patio for the restaurant. The east section of the service lane is configured to maintain access for the Vancouver Park Board to a small pump building within the park with a moveable bollard to prevent use by other vehicles.

West of the park maintenance access the service lane is designed for pedestrian access to the park for building residents and for the Montessori Preschool. The preschool will have a covered and fenced outdoor playspace next to its indoor facilities with a gated access from the lane.

Westside Mews

The eastern edge of the development site is a paved mews featuring a herringbone pattern in a lively mix of concrete colours. The mews functions for access by vehicles to the underground parking entrance near Helmcken Street and two loading bays to the south. It also will be shared with pedestrians, cyclists, garbage trucks, park service vehicles, and Mandy Dart service for Brookland Court.



gbl

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NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	10/14/16	REVISIONS TO EXISTING
2	10/14/16	REVISIONS TO EXISTING
3	10/14/16	REVISIONS TO EXISTING
4	10/14/16	REVISIONS TO EXISTING
5	10/14/16	REVISIONS TO EXISTING

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION REVISION 1

DESIGN RATIONALE

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JOB NUMBER: 1254

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NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 8, 2013	REZONING APPLICATION
2	APR. 26, 2013	REZONING APPLICATION REV. 1
3	MAY 16, 2015	REZONING APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 28, 2015	APPLICATION - DEVELOPMENT PERMIT
6	OCT. 23, 2015	APPLICATION REVISION 1

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION REVISION 1

RENDERINGS

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JOB NUMBER 1254

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CORNER OF RICHARDS & HELMCKEN



CORNER OF SEYMOUR & HELMCKEN



REVISIONS		
NO.	DATE	DESCRIPTION
1	FEB. 8, 2013	REZONING APPLICATION
2	APR. 26, 2013	REZONING APPLICATION REV. 1
3	FEB. 18, 2015	REZONING APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 28, 2015	DEVELOPMENT PERMIT APPLICATION
6	OCT. 23, 2015	DEVELOPMENT PERMIT APPLICATION REV. 1

DEVELOPMENT PERMIT
APPLICATION REVISION 1

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Appendix D - Page 13 of 67



REVISIONS		
NO.	DATE	DESCRIPTION
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2	APR. 26, 2013	REZONING APPLICATION REV. 1
3	MAY. 18, 2015	REZONING APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 28, 2015	DEVELOPMENT PERMIT APPLICATION
6	OCT. 23, 2015	DEVELOPMENT PERMIT APPLICATION REV. 1

DEVELOPMENT PERMIT
APPLICATION REVISION 1

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Appendix D - Page 14 of 67



REVISIONS		
NO.	DATE	DESCRIPTION
1	FEB. 8, 2013	REZONING APPLICATION
2	APR. 26, 2013	REZONING APPLICATION REV.
3	FEB. 18, 2015	REZONING APPLICATION REV.
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 28, 2015	DEVELOPMENT PERMIT APPLICATION
6	OCT. 23, 2015	DEVELOPMENT PERMIT APPLICATION REVISION 1

1111 RICHARDS
(508 HELMCKEN)
DEVELOPMENT PERMIT
APPLICATION REVISION 1

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■ GBL ARCHITECTS INC.
139 BOUTRICH AVENUE
VANCOUVER, BC CANADA V5T 1B8 TEL: 604.736.1188
FAX: 604.731.5279

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 6, 2013	REZONING APPLICATION
2	APR. 26, 2013	REZONING APPLICATION REV. 1
3	MAY 16, 2015	REZONING APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 24, 2015	DEVELOPMENT PERMIT APPLICATION
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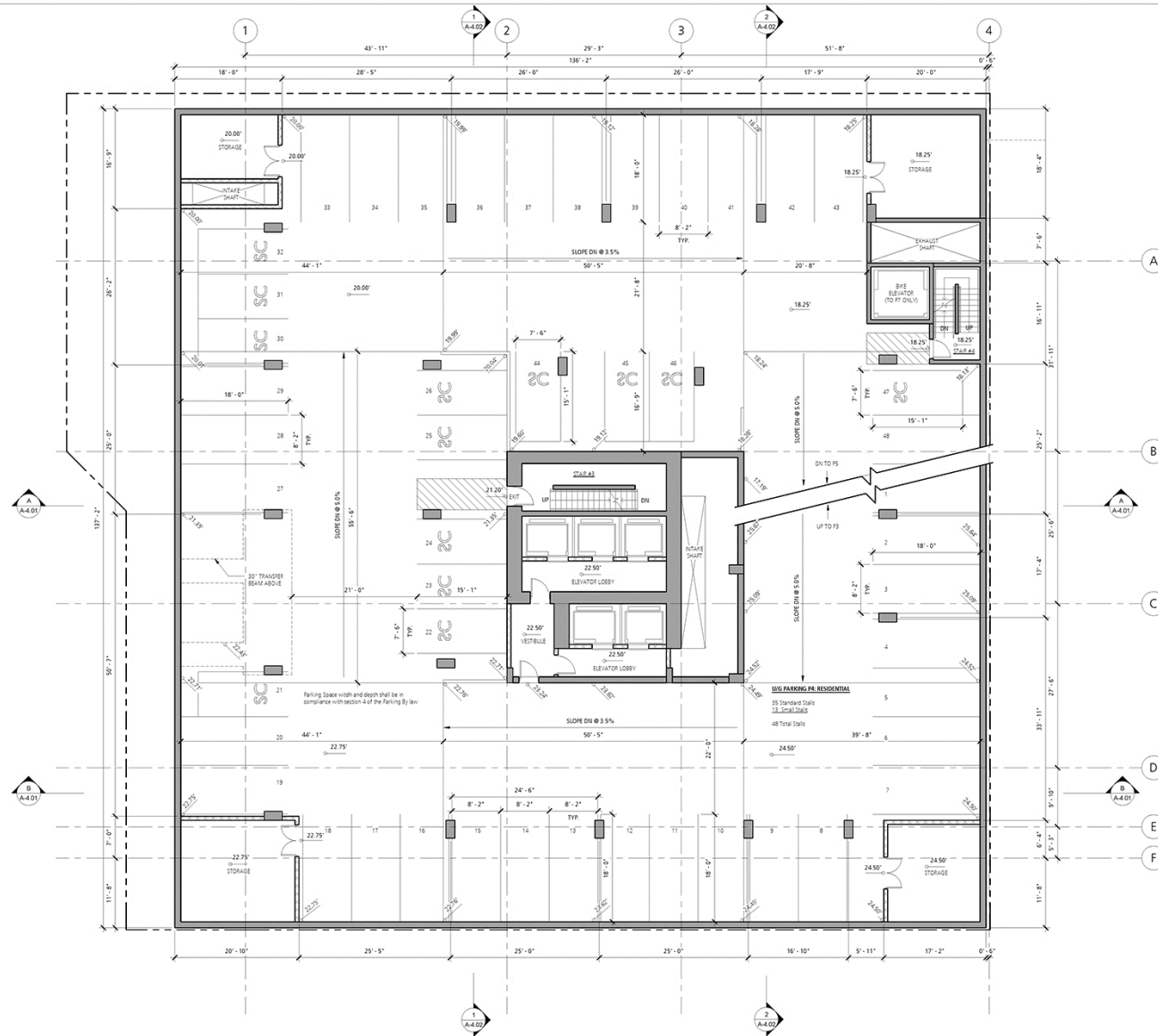
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4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 28, 2015	DEVELOPMENT PERMIT APPLICATION
6	OCT. 23, 2015	DEVELOPMENT PERMIT APPLICATION REV. 1

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(508 HELMCKEN)
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2	APR. 26, 2013	REZONING APPLICATION REV. 1
3	MAY. 18, 2015	REZONING APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 28, 2015	DEVELOPMENT PERMIT APPLICATION
6	OCT. 23, 2015	DEVELOPMENT PERMIT APPLICATION REV. 1

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2	APR. 28, 2015	REZONING APPLICATION REV. 1
3	MAY 18, 2015	REZONING APPLICATION REV. 2
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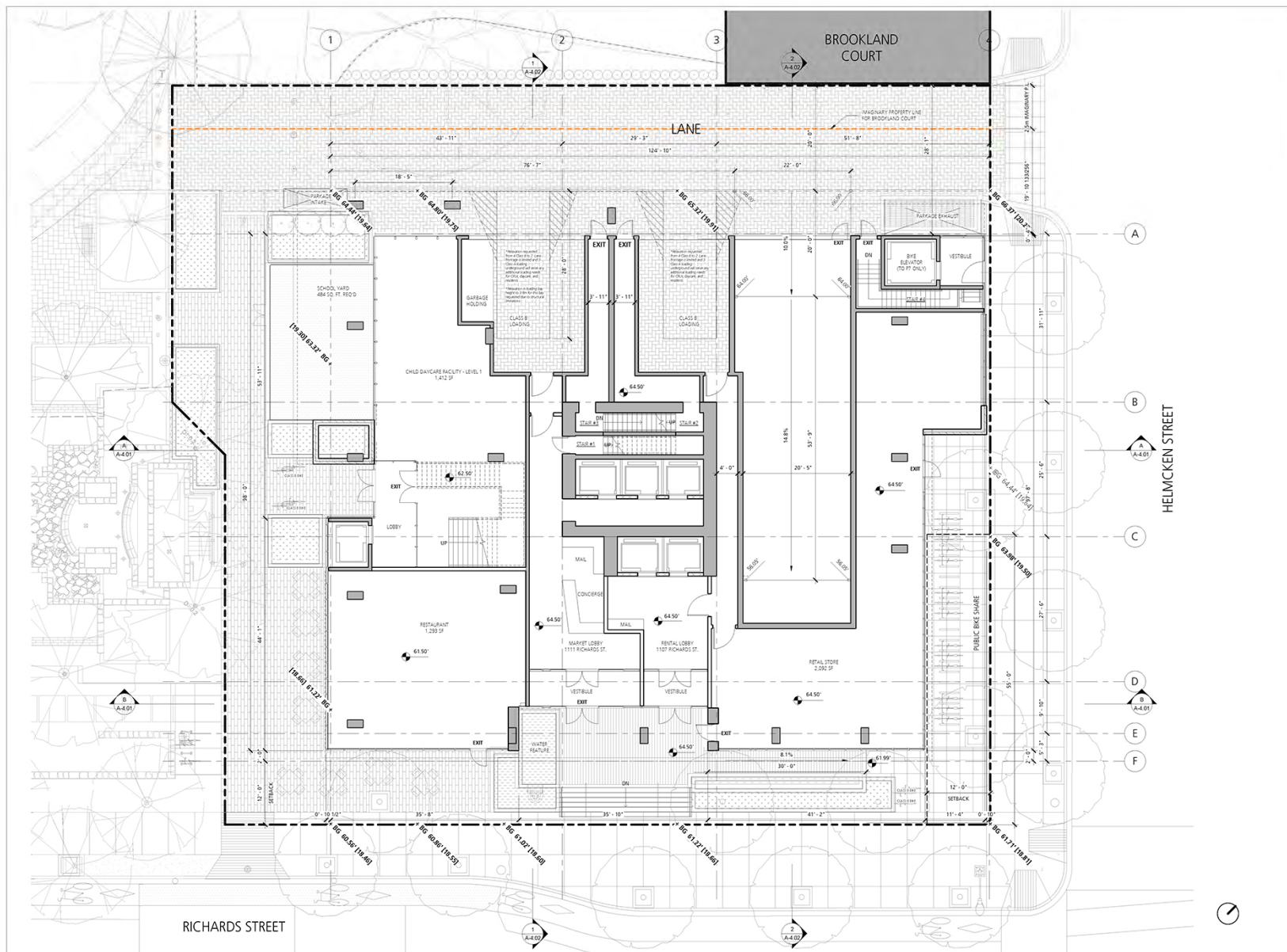
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NOTES

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1	MAY 6, 2015	REZONING APPLICATION
2	APR. 26, 2015	REZONING APPLICATION REV. 1
3	MAY 16, 2015	REZONING APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 28, 2015	DEVELOPMENT PERMIT APPLICATION
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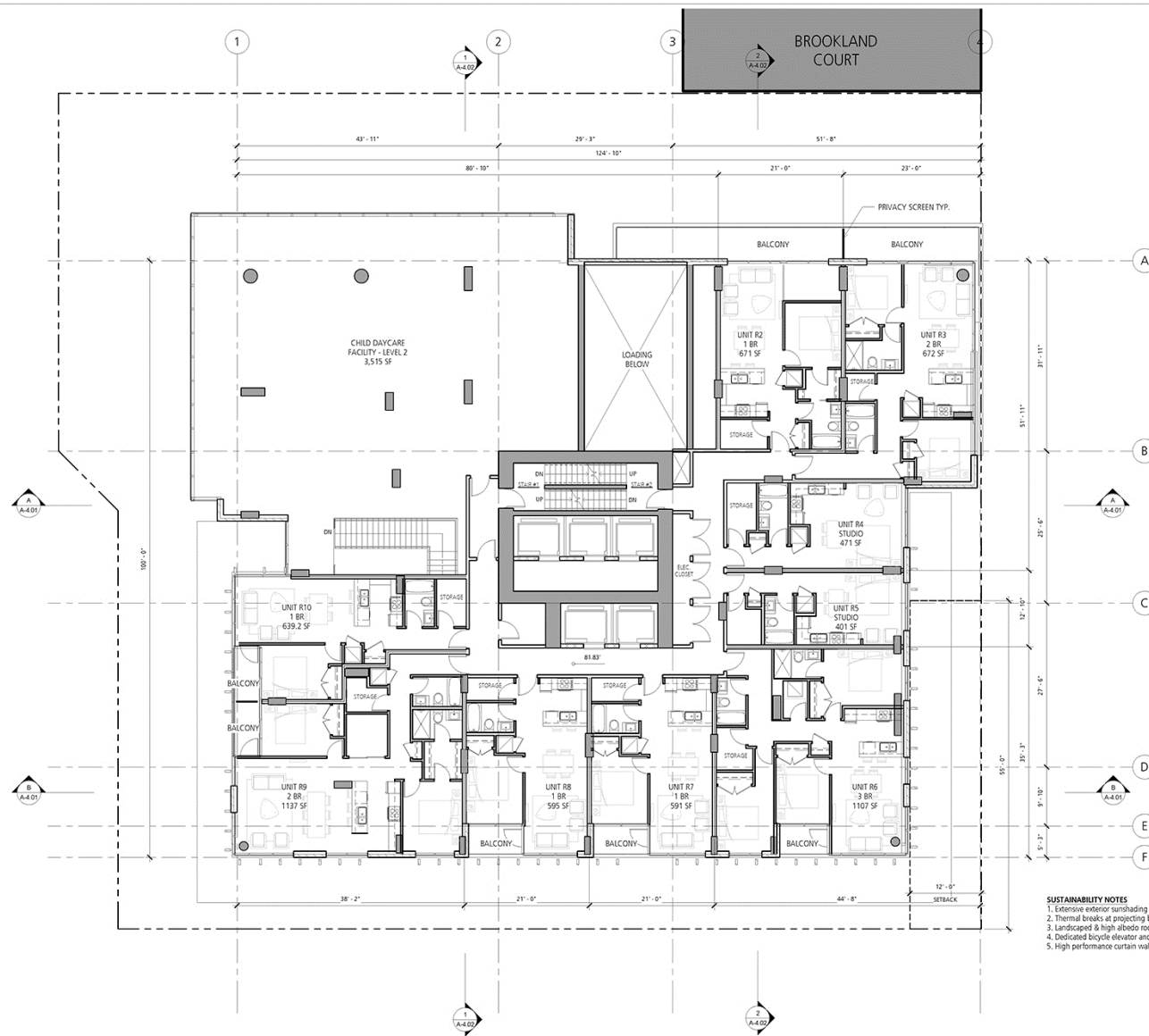
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SUSTAINABILITY NOTES
1. Extensive exterior sunshading provided on south and west building faces.
2. Thermal breaks at projecting balconies on north west elevation.
3. Landscaped & high albedo roof treatments to mitigate heat island effect.
4. Dedicated bicycle elevator and storage facilities on P7.
5. High performance curtain wall glazing used on south east tower facade.

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 6, 2013	REDLINE APPLICATION
2	APR. 26, 2013	REDLINE APPLICATION REV. 1
3	MAY 16, 2015	REDLINE APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 24, 2015	DEVELOPMENT PERMIT APPLICATION
6	OCT. 23, 2015	DEVELOPMENT PERMIT APPLICATION REVISION 1

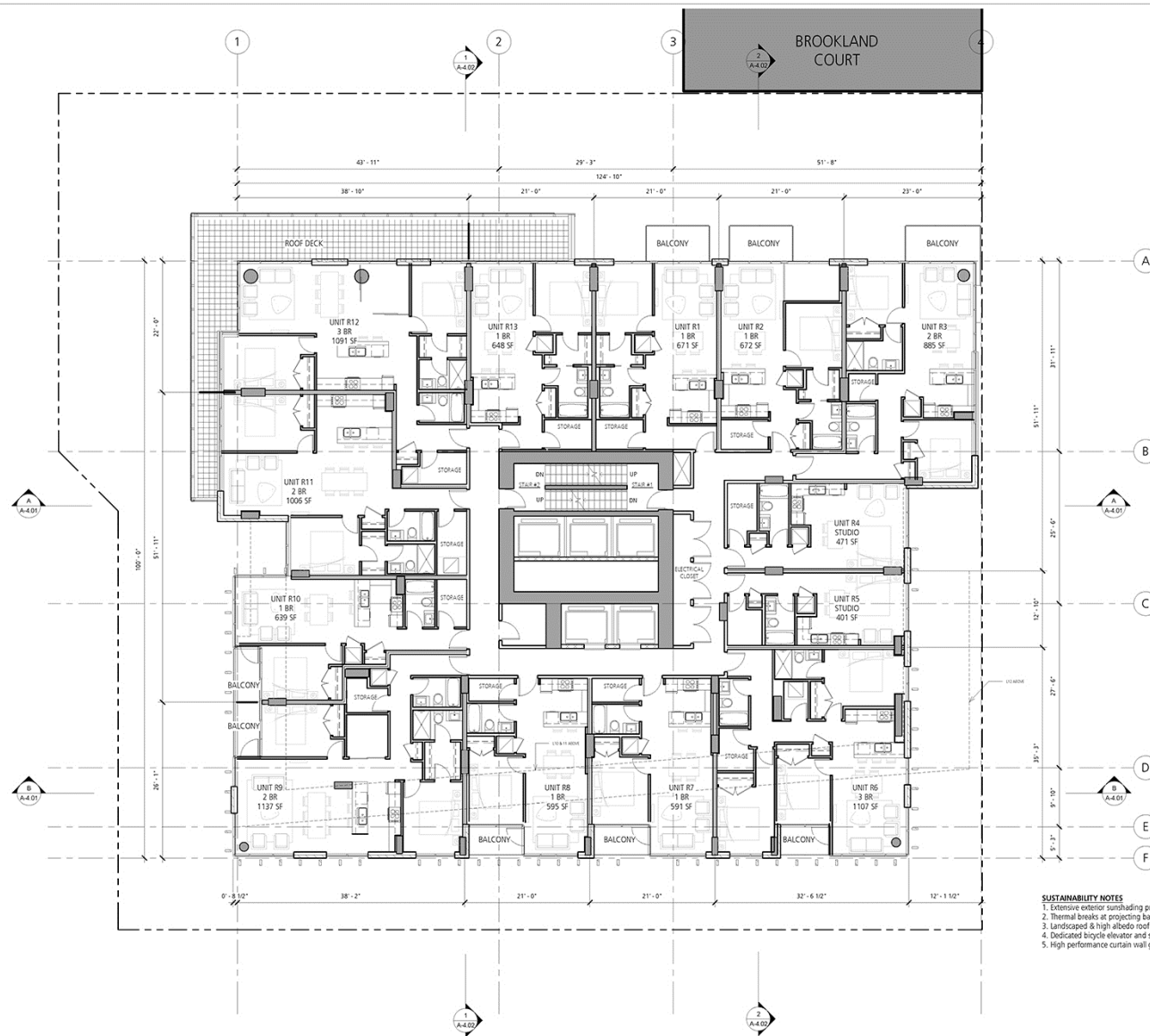
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SUSTAINABILITY NOTES

1. Extensive exterior sunshading provided on south and west building faces.
2. Thermal breaks at projecting balconies on north west elevation.
3. Landscaped & high albedo roof treatments to mitigate heat island effect.
4. Dedicated bicycle elevator and storage facilities on P7.
5. High performance curtain wall glazing used on south east tower facade.

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 8, 2013	REZONING APPLICATION
2	APR. 26, 2013	REZONING APPLICATION REV. 1
3	MAY 16, 2015	REZONING APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 24, 2015	DEVELOPMENT PERMIT APPLICATION
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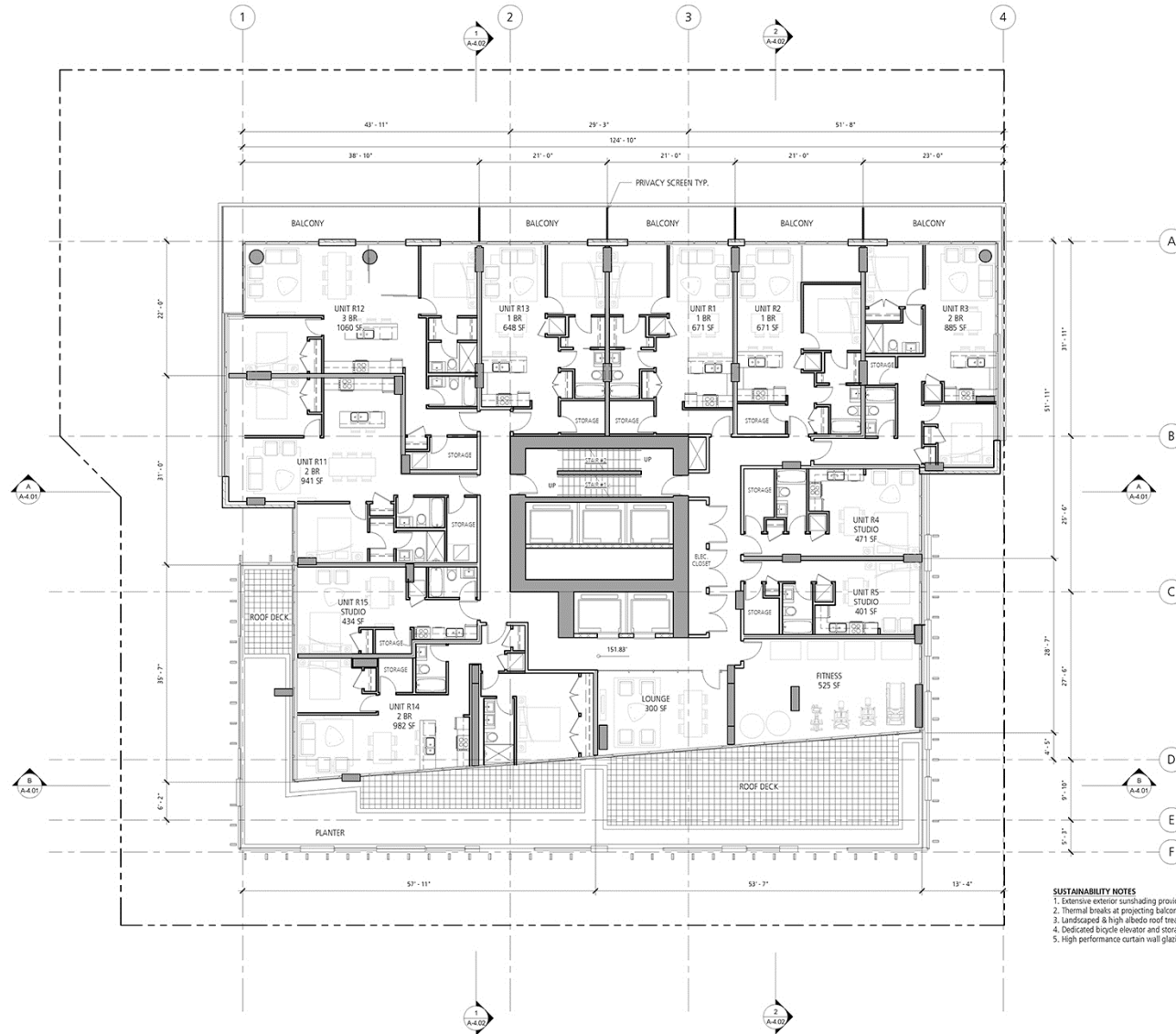
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SUSTAINABILITY NOTES

1. Extensive exterior sunshading provided on south and west building faces.
2. Thermal breaks at projecting balconies on north west elevation.
3. Landscaped & high albedo roof treatments to mitigate heat island effect.
4. Dedicated bicycle elevator and storage facilities on P7.
5. High performance curtain wall glazing used on south east tower facade.

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 6, 2013	REZONING APPLICATION
2	APR. 26, 2013	REZONING APPLICATION REV. 1
3	MAY 16, 2015	REZONING APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 24, 2015	DEVELOPMENT PERMIT APPLICATION
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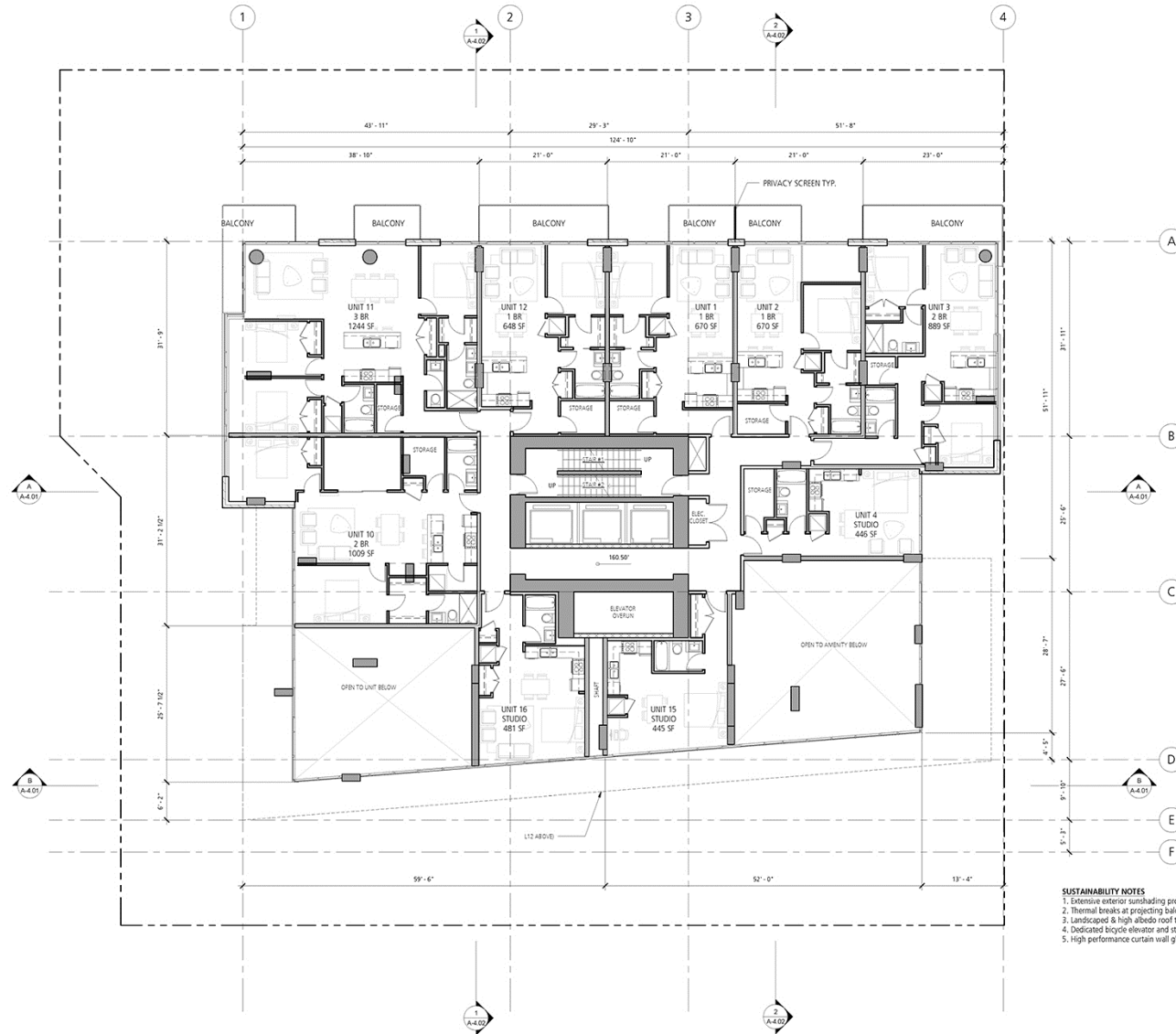
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SUSTAINABILITY NOTES

1. Extensive exterior sunshading provided on south and west building faces.
2. Thermal breaks at projecting balconies on north west elevation.
3. Landscaped & high albedo roof treatments to mitigate heat island effect.
4. Dedicated bicycle elevator and storage facilities on P7.
5. High performance curtain wall glazing used on south east tower facade.

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	MAR 8, 2018	REVISION APPLICATION
2	APR 18, 2018	REVISION APPLICATION REV. 1
3	MAY 18, 2018	REVISION APPLICATION REV. 2
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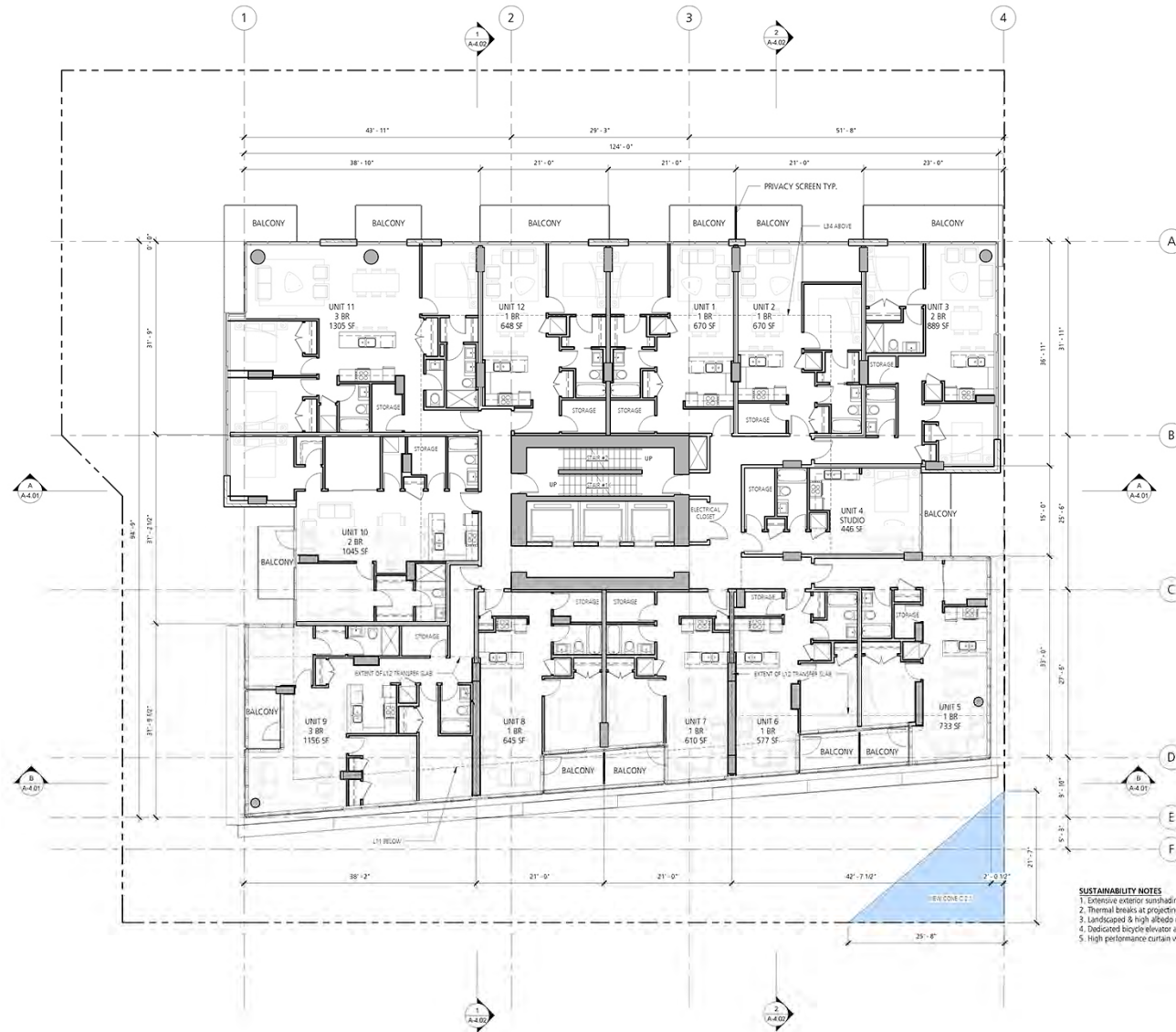
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SUSTAINABILITY NOTES

1. Extensive exterior sunshading provided on south and west building faces.
2. Thermal breaks at projecting balconies on north west elevation.
3. Landscaped & high albedo roof treatments to mitigate heat island effect.
4. Dedicated bicycle elevator and storage facilities on P7.
5. High performance curtain wall glazing used on south east tower facade.

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	MAR 8, 2018	REVISION APPLICATION
2	APR 18, 2018	REVISION APPLICATION REV. 1
3	MAY 16, 2018	REVISION APPLICATION REV. 2
4	SEP 28, 2018	DEVELOPMENT PERMIT REVIEW APPLICATION
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(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION REVISION 1

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SUSTAINABILITY NOTES

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2. Thermal breaks at projecting balconies on north west elevation.
3. Landscaped & high albedo roof treatments to mitigate heat island effect.
4. Dedicated bicycle elevator and storage facilities on P7.
5. High performance curtain wall glazing used on south east tower facade.

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 8, 2015	REVISION APPLICATION
2	APR 28, 2015	REVISION APPLICATION REV. 1
3	MAY 18, 2015	REVISION APPLICATION REV. 2
4	SEP 23, 2015	DEVELOPMENT PERMIT REVIEW
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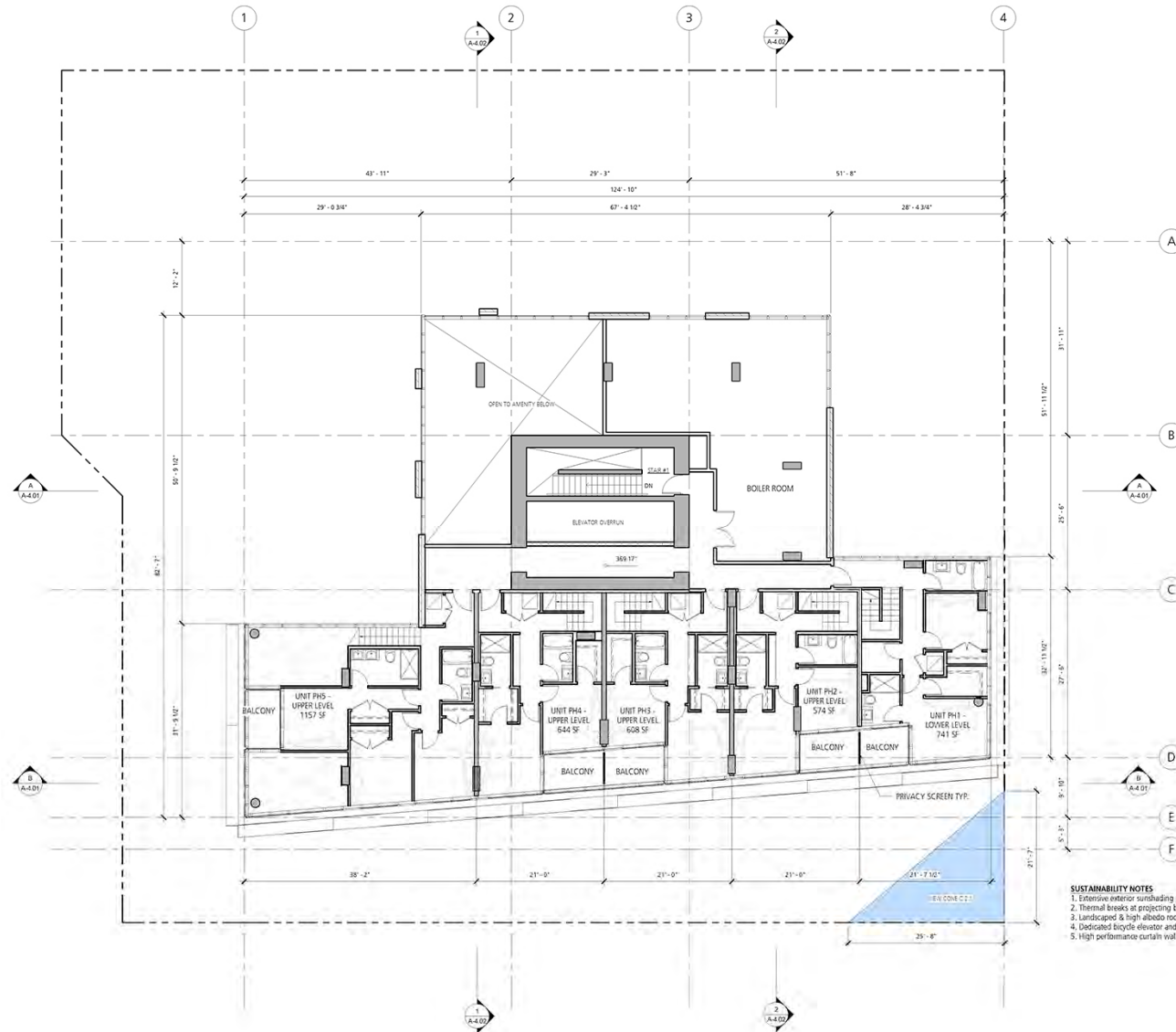
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SUSTAINABILITY NOTES

1. Extensive exterior sunshading provided on south and west building faces.
2. Thermal breaks at projecting balconies on north west elevation.
3. Landscaped & high albedo roof treatments to mitigate heat island effect.
4. Dedicated bicycle elevator and storage facilities on P7.
5. High performance curtain wall glazing used on south east tower facade.



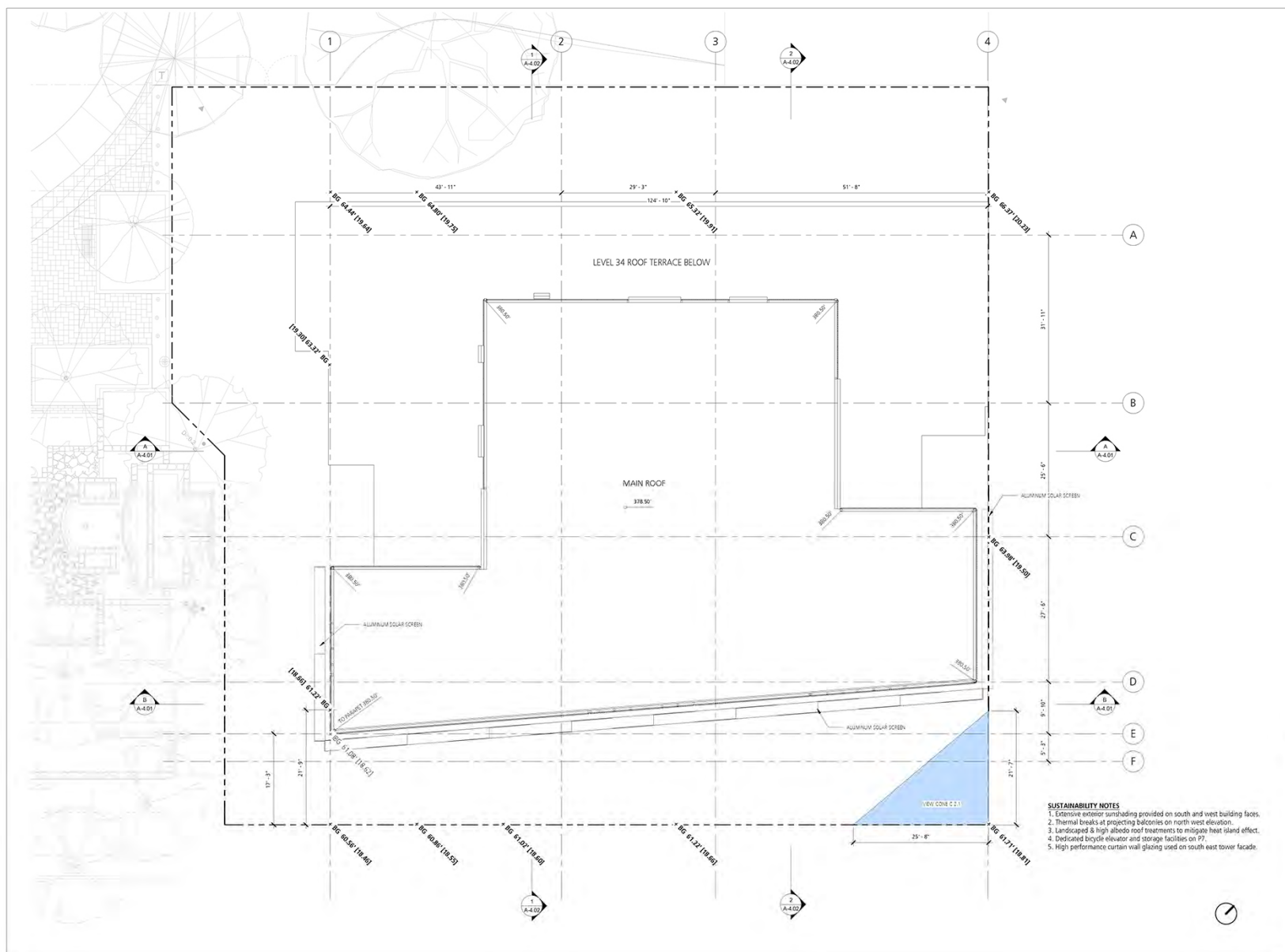
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4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 28, 2015	DEVELOPMENT PERMIT APPLICATION
6	OCT. 22, 2015	DEVELOPMENT PERMIT APPLICATION REV. 1

DEVELOPMENT PERMIT
APPLICATION REVISION 1

ROOF LEVEL

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NOTES

REVISIONS

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2	JUNE 18, 2013	MEZONING APPLICATION REV. 1
3	MAY 18, 2015	MEZONING APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW APPLICATION
5	SEP. 28, 2015	DEVELOPMENT PERMIT APPLICATION
6	OCT. 23, 2015	DEVELOPMENT PERMIT APPLICATION REVISION 1

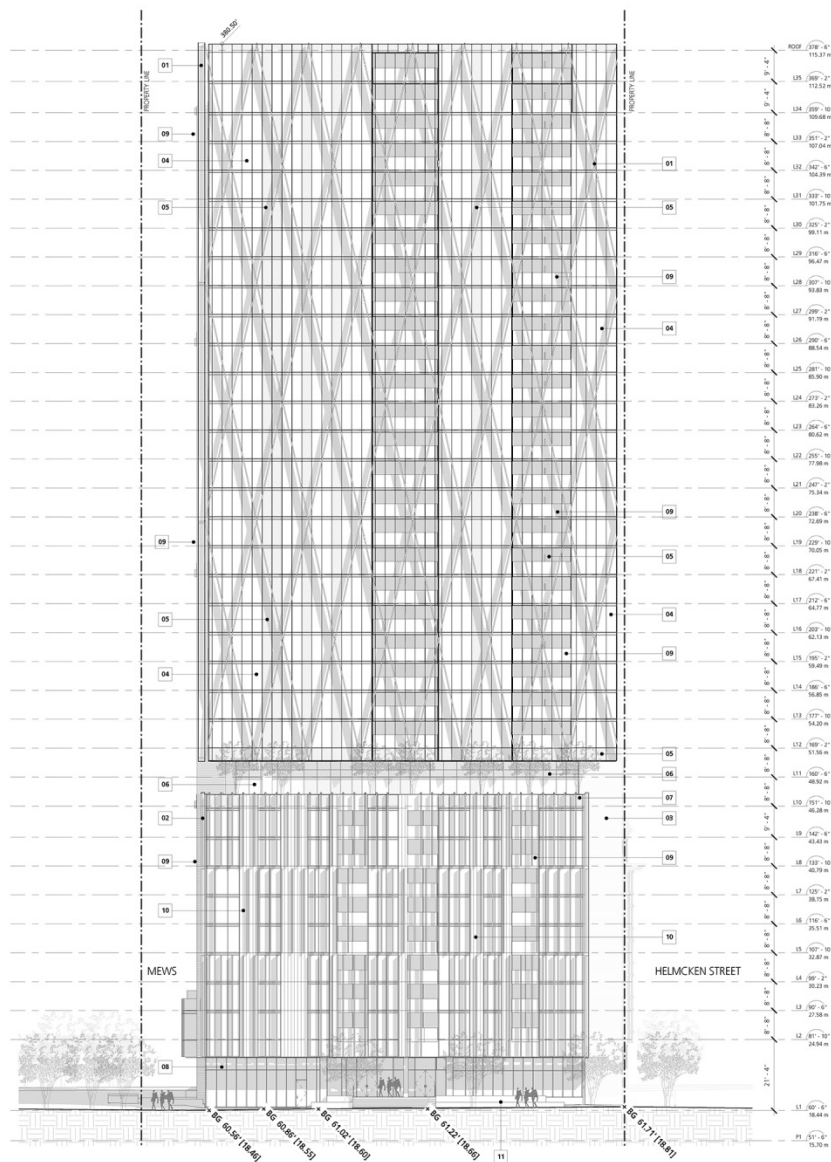
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SOUTH EAST ELEVATION

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JOB NUMBER 1254

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SUSTAINABILITY NOTES

1. Extensive exterior sunshading provided on south and west building faces.
2. Thermal breaks at projecting balconies on north west elevation.
3. Landscaped & high albedo roof treatments to mitigate heat island effect.
4. Dedicated bicycle elevator and storage facilities on P7.
5. High performance curtain wall glazing used on south east tower facade.

MATERIAL LEGEND			
#	Description	Color	Frame Color
01	Solar Shade	White Powder Coated Aluminum	-
02	Solar Shade	Anodized Aluminum	-
03	Oklo Skin Wall Slats	Liquid Black	-
04	Curtain Wall Glazing	Clear Glazing	Charcoal
05	Curtain Wall Glass Spandrel	Color to Match Glazing	Charcoal
06	Window Wall Glazing	Clear Glazing	Aluminum
07	Window Wall Glass Spandrel	Color to Match Glazing	Aluminum
08	Store Front Glazing	Clear Glazing	Aluminum
09	Glazed Guard	Clear Glazing	Light Gray
10	Stone Panels	White	-
11	Architectural Concrete	Concrete	-
12	Painted Concrete	White	-

REVISIONS

NO.	DATE	DESCRIPTION
1	DEC. 6, 2013	MECHANICAL APPLICATION
2	JAN. 28, 2015	MECHANICAL APPLICATION REV. 1
3	FEB. 18, 2015	MECHANICAL APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 28, 2015	DEVELOPMENT PERMIT APPLICATION
6	OCT. 23, 2015	DEVELOPMENT PERMIT APPLICATION REVISION 1

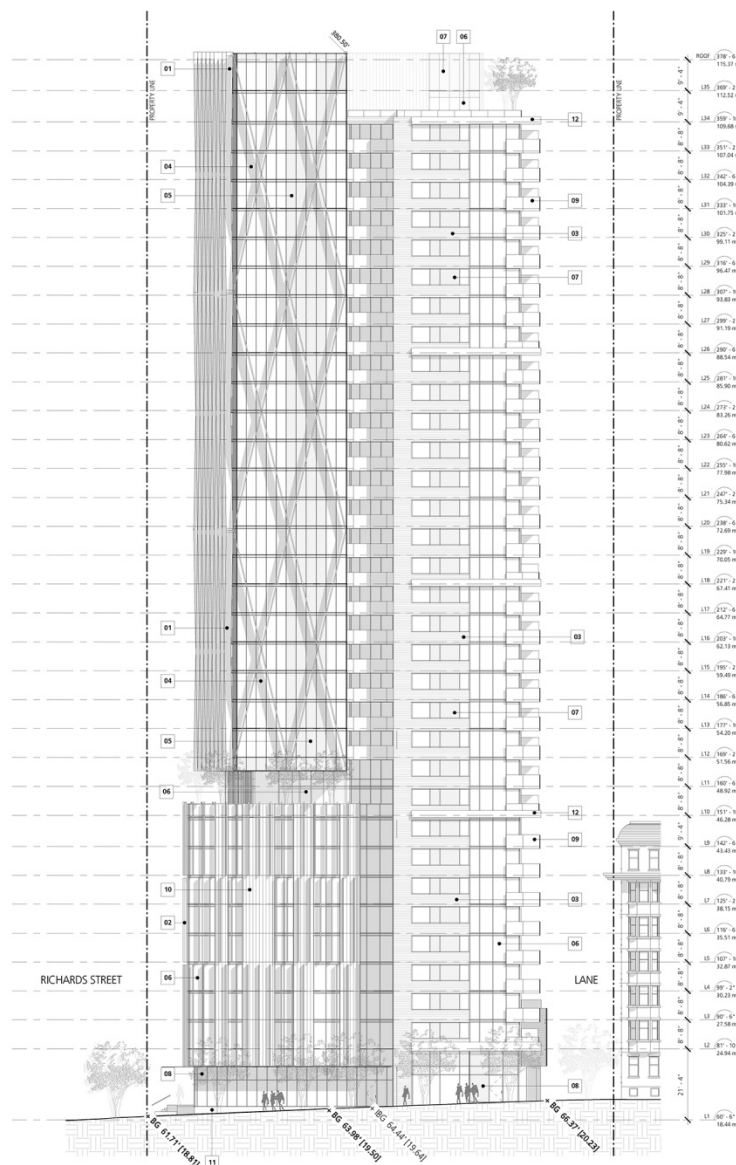
1111 RICHARDS (508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION REVISION 1

NORTH EAST ELEVATION

DATE 10/21/2015 4:18:41 PM
DRAWN BY JS
CHECKED BY
SCALE As indicated
JOB NUMBER 1254

A-3.02



SUSTAINABILITY NOTES

1. Extensive exterior sunshading provided on south and west building faces.
2. Thermal breaks at projecting balconies on north west elevation.
3. Landscaped & high albedo roof treatments to mitigate heat island effect.
4. Dedicated bicycle elevator and storage facilities on P7.
5. High performance curtain wall glazing used on south east tower facade.

MATERIAL LEGEND			
#	Description	Color	Frame Color
01	Solar Shade	White Powder Coated Aluminum	-
02	Solar Shade	Anodized Aluminum	-
03	Oklo Skin Wall Slats	Liquid Black	-
04	Curtain Wall Glazing	Clear Glazing	Charcoal
05	Curtain Wall Glass Spandrel	Color to Match Glazing	Charcoal
06	Window Wall Glazing	Clear Glazing	Aluminum
07	Window Wall Glass Spandrel	Color to Match Glazing	Aluminum
08	Store Front Glazing	Clear Glazing	Aluminum
09	Glazed Guard	Clear Glazing	Light Gray
10	Stone Panels	White	-
11	Architectural Concrete	Concrete	-
12	Painted Concrete	White	-

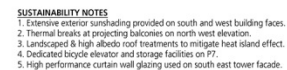


NO.	DATE	DESCRIPTION
1	FEB. 8, 2013	REZONING APPLICATION
2	APR. 26, 2013	REZONING APPLICATION REV. 1
3	FEB. 18, 2015	REZONING APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 28, 2015	DEVELOPMENT PERMIT APPLICATION
6	OCT. 23, 2015	DEVELOPMENT PERMIT APPLICATION REVISION 1

DEVELOPMENT PERMIT
APPLICATION REVISION 1

DATE	10/21/2015 4:19:35 PM
DRAWN BY	JS
CHECKED BY	-
SCALE	As indicated
JOB NUMBER	1254

10/1/2013



MATERIAL LEGEND			
#	Description	Color	Frame Color
01	Solar Shade	White Powder Coated Aluminum	-
02	Solar Shade	Anodized Aluminum	-
03	Ono Skin Wall Slats	Liquid Black	-
04	Curtain Wall Glazing	Clear Glazing	Charcoal
05	Curtain Wall Glazing Spanel	Color to Match Glazing	Charcoal
06	Window Wall Glazing	Clear Glazing	Aluminum
07	Window Wall Glazing Spanel	Color to Match Glazing	Aluminum
08	Store Front Glazing	Clear Glazing	Aluminum
09	Glazed Guard	Clear Glazing	Light Gray
10	Stone Panels	White	-
11	Architectural Concrete	Concrete	-
12	Painted Concrete	White	-

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 6, 2013	MECHANICAL APPLICATION
2	JUNE 18, 2013	MECHANICAL APPLICATION REV. 1
3	MAY 18, 2015	MECHANICAL APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 28, 2015	DEVELOPMENT PERMIT APPLICATION
6	OCT. 23, 2015	DEVELOPMENT PERMIT APPLICATION REVISION 1

SUSTAINABILITY NOTES

1. Extensive exterior sunshading provided on south and west building faces.
2. Thermal breaks at projecting balconies on north west elevation.
3. Landscaped & high albedo roof treatments to mitigate heat island effect.
4. Dedicated bicycle elevator and storage facilities on P7.
5. High performance curtain wall glazing used on south east tower facade.

MATERIAL LEGEND

#	Description	Color	Frame Color
01	Solar Shade	White Powder Coated Aluminum	-
02	Solar Shade	Anodized Aluminum	-
03	Okol Skin Wall Slats	Liquid Black	-
04	Curtain Wall Glazing	Clear Glazing	Charcoal
05	Curtain Wall Glass Spandrel	Color to Match Glazing	Charcoal
06	Window Wall Glazing	Clear Glazing	Aluminum
07	Window Wall Glass Spandrel	Color to Match Glazing	Aluminum
08	Store Front Glazing	Clear Glazing	Aluminum
09	Glazed Guard	Clear Glazing	Light Gray
10	Stone Panels	White	-
11	Architectural Concrete	Concrete	-
12	Painted Concrete	White	-

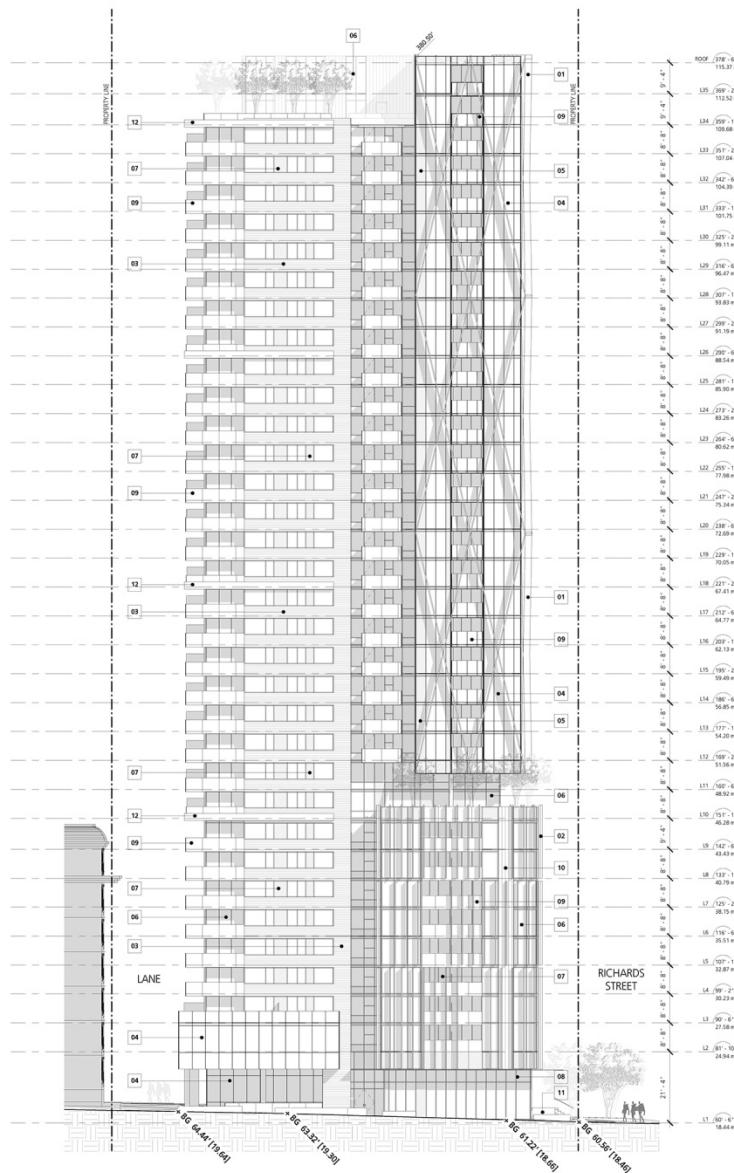
1111 RICHARDS (508 HELMCKEN)

DEVELOPMENT PERMIT APPLICATION REVISION 1

SOUTH WEST ELEVATION

DATE 10/21/2015 4:20:29 PM
DRAWN BY JS
CHECKED BY
SCALE As indicated
JOB NUMBER 1254

A-3.04





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NOTES

REVISIONS		
NO.	DATE	DESCRIPTION
1	MAY 6, 2015	REZONING APPLICATION
2	APR 26, 2015	REZONING APPLICATION REV. 1
3	MAY 16, 2015	REZONING APPLICATION REV. 2
4	SEP 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP 24, 2015	DEVELOPMENT PERMIT APPLICATION
6	OCT 23, 2015	DEVELOPMENT PERMIT APPLICATION REVISION 1

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION REVISION 1

RICHARDS STREET
ELEVATION

DATE 10/21/2015 4:25:49 PM
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CHECKED BY -
SCALE 1/32" = 1'-0"
JOB NUMBER 1254

A-3.05

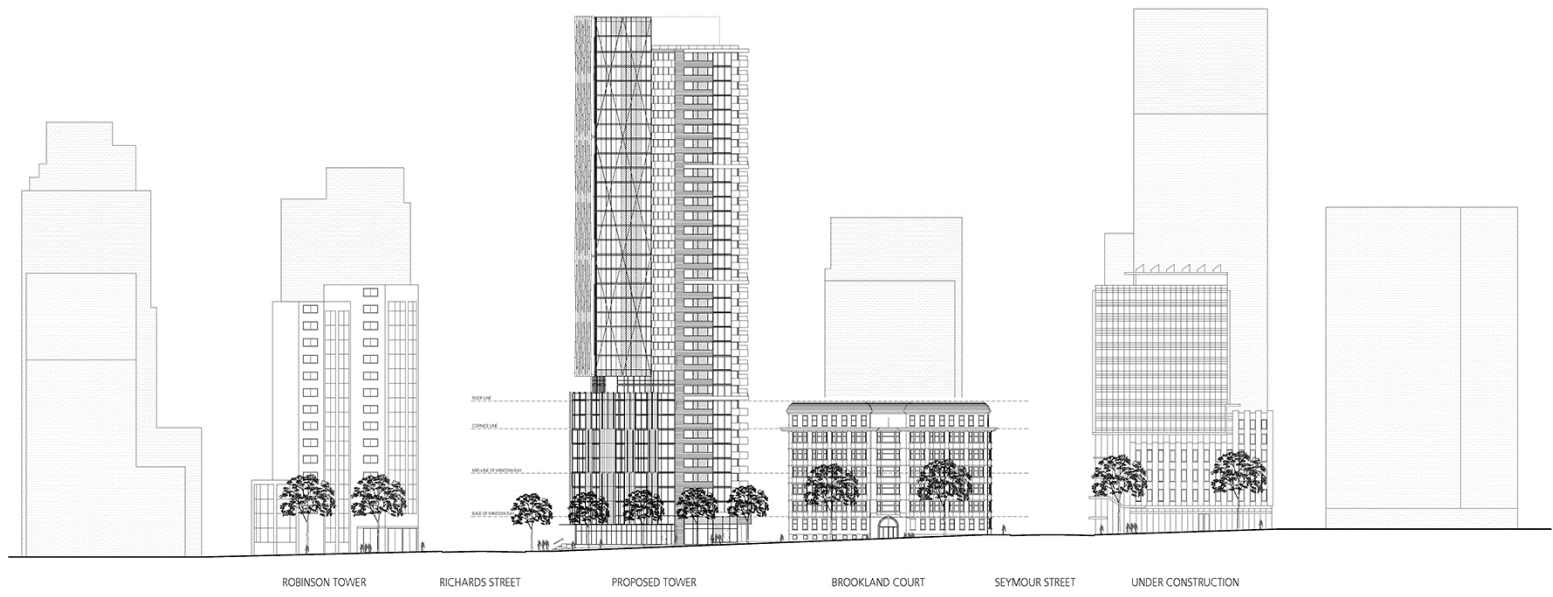




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NOTES

REVISIONS		
NO.	DATE	DESCRIPTION
1	MAY 6, 2015	REZONING APPLICATION
2	APR 26, 2015	REZONING APPLICATION REV. 1
3	MAY 16, 2015	REZONING APPLICATION REV. 2
4	SEP 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP 24, 2015	APPLICATION
6	OCT 23, 2015	DEVELOPMENT PERMIT APPLICATION REVISION 1



1111 RICHARDS
(508 HELMCKEN)
DEVELOPMENT PERMIT
APPLICATION REVISION 1
HELMCKEN STREET
ELEVATION

DATE	10/21/2015 4:25:53 PM
DRAWN BY	JL
CHECKED BY	SL
SCALE	1/32" = 1'-0"
JOB NUMBER	1254

A-3.06



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NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	MAY 6, 2015	REZONING APPLICATION
2	APR 26, 2015	REZONING APPLICATION REV. 1
3	MAY 16, 2015	REZONING APPLICATION REV. 2
4	SEP 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP 26, 2015	APPLICATION
6	OCT 23, 2015	DEVELOPMENT PERMIT APPLICATION REVISION 1

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION REVISION 1

SEYMOUR STREET
ELEVATION

DATE 10/21/2015 4:25:58 PM
DRAWN BY JS
CHECKED BY -
SCALE 1/32" = 1'-0"
JOB NUMBER 1254

A-3.07



FREESIA

HELMCKEN STREET

BROOKLAND COURT

PROPOSED TOWER

EMERY BARNES PARK

DAVIE STREET



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139 EAST 8TH AVENUE TEL: 604.786.1186
VANCOUVER, BC CANADA V5T 1B8 FAX: 604.781.5279

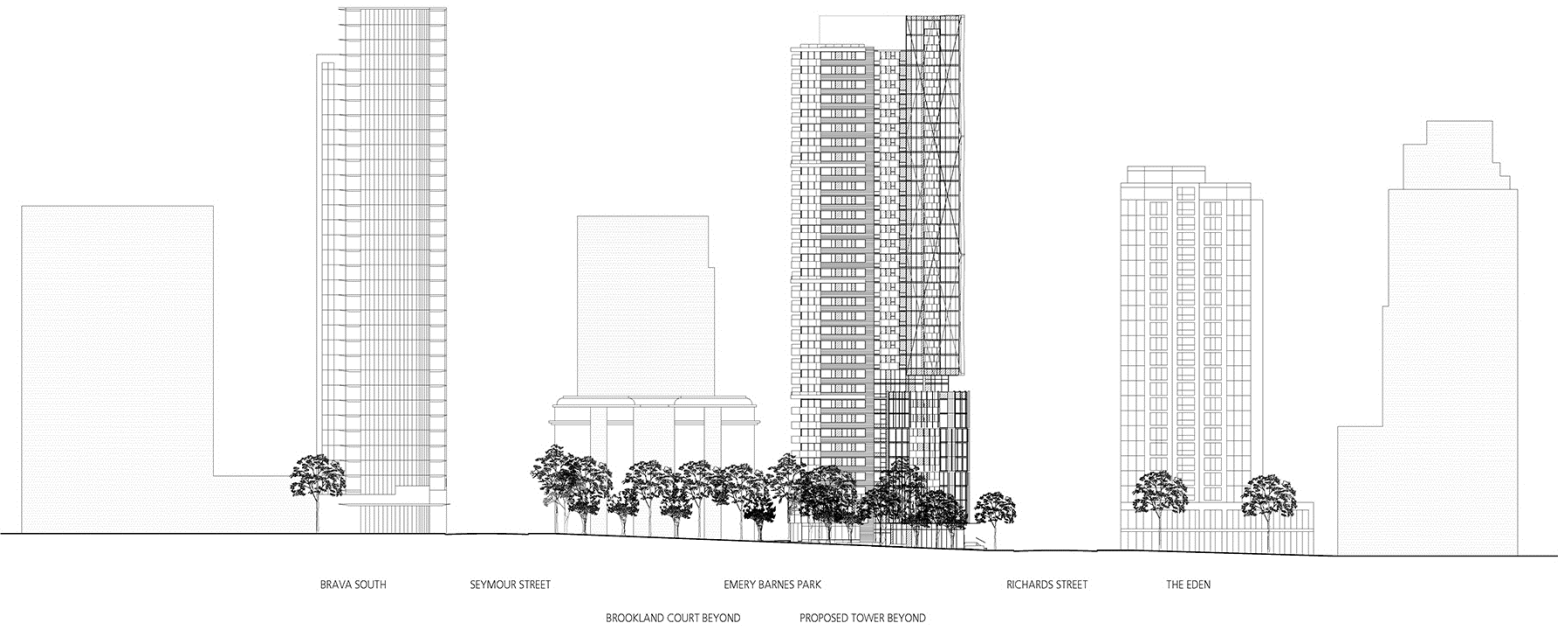
NOTES

REVISIONS		
NO.	DATE	DESCRIPTION
1	MAY 6, 2015	REZONING APPLICATION
2	APR. 26, 2015	REZONING APPLICATION REV. 1
3	MAY 16, 2015	REZONING APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REVIEW
5	SEP. 24, 2015	DEVELOPMENT PERMIT APPLICATION
6	OCT. 23, 2015	DEVELOPMENT PERMIT APPLICATION REVISION 1

1111 RICHARDS
(508 HELMCKEN)
DEVELOPMENT PERMIT
APPLICATION REVISION 1
EMERY BARNES PARK
ELEVATION

DATE 10/21/2015 4:26:03 PM
DRAWN BY JS
CHECKED BY SL
SCALE 1/32" = 1'-0"
JOB NUMBER 1254

A-3.08



NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	DEC. 8, 2018	REZONING APPLICATION
2	APR. 26, 2019	REZONING APPLICATION REV. 1
3	FEB. 16, 2019	REZONING APPLICATION REV. 2
4	SEP. 23, 2019	DEVELOPMENT PERMIT REVIEW
5	SEP. 24, 2019	DEVELOPMENT PERMIT APPLICATION
6	OCT. 23, 2019	DEVELOPMENT PERMIT APPLICATION REVISION 1

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION REVISION 1

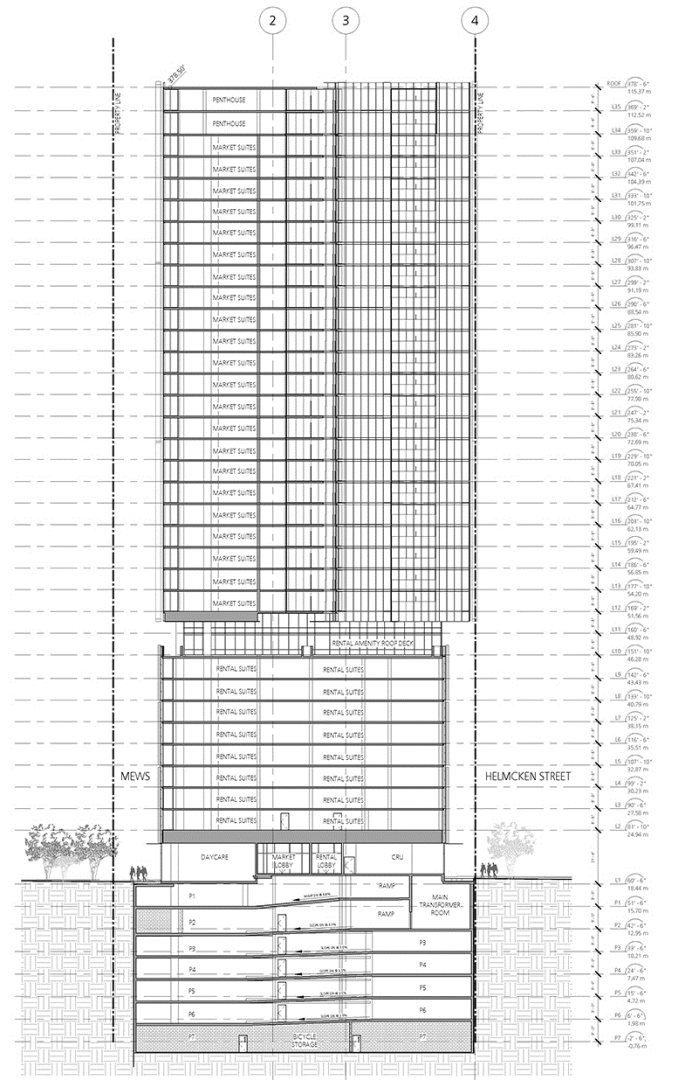
SECTIONS

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SCALE: 3/4" = 1'-0"
JOB NUMBER: 1254

A-4.01



A SECTION A
3/4" = 1'-0"



B SECTION B
3/4" = 1'-0"

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	NOV. 8, 2018	REZONING APPLICATION
2	APR. 26, 2019	REZONING APPLICATION REV. 1
3	FEB. 16, 2019	REZONING APPLICATION REV. 2
4	SEP. 23, 2015	DEVELOPMENT PERMIT REV. 1
5	SEP. 23, 2015	APPLICATION DEVELOPMENT PERMIT
6	OCT. 23, 2015	APPLICATION DEVELOPMENT PERMIT APPLICATION REVISION 1

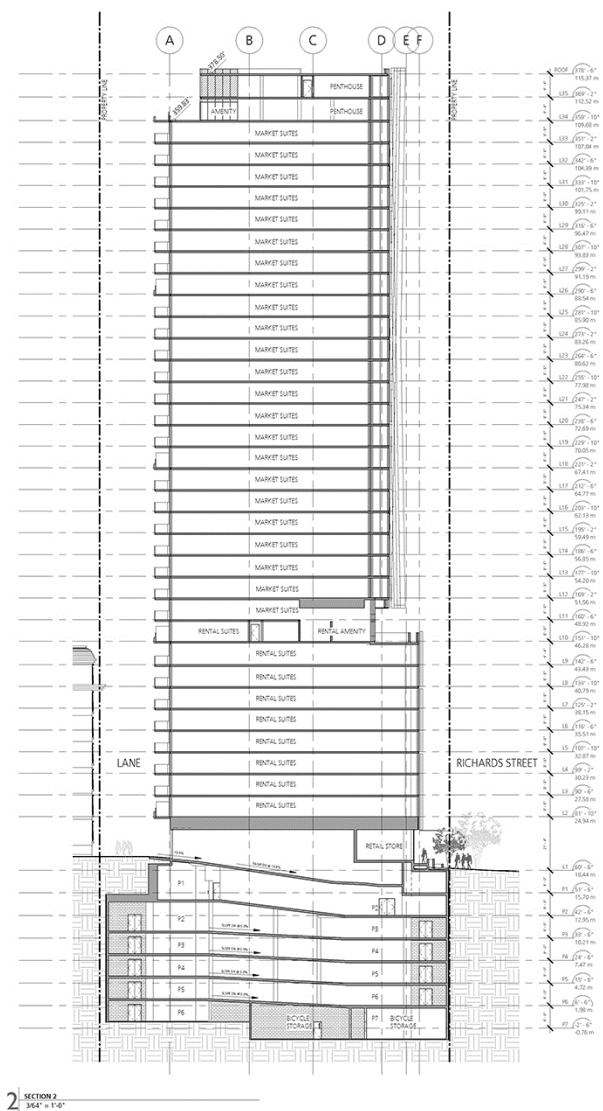
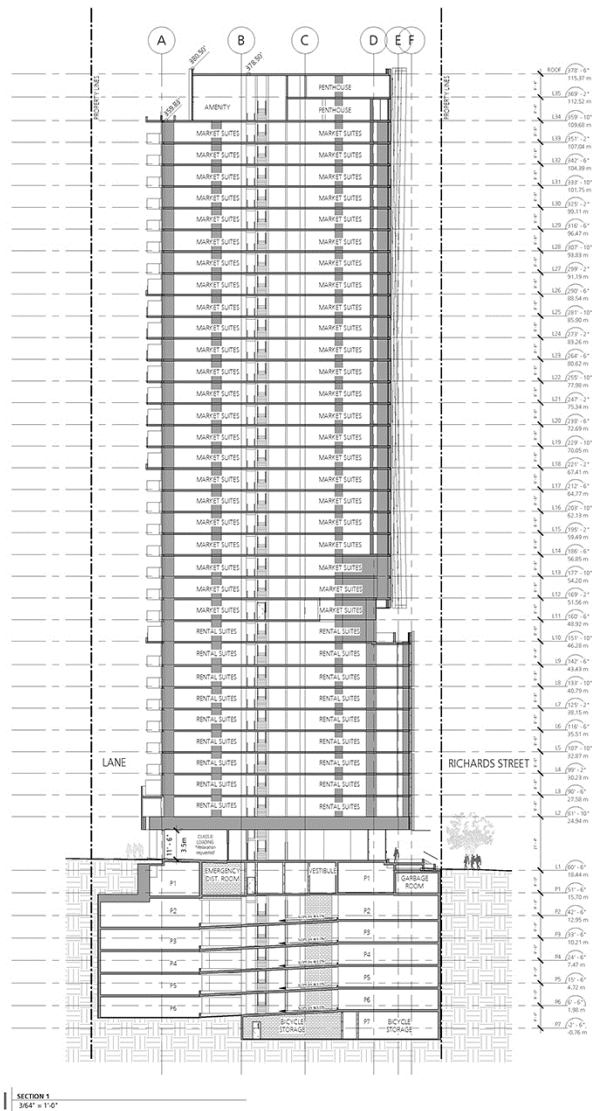
1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION REVISION 1

SECTIONS

DATE	10/21/2015 4:31:47 PM
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SCALE	3/64" = 1'-0"
JOB NUMBER	1254

A-4.02



Design Intent

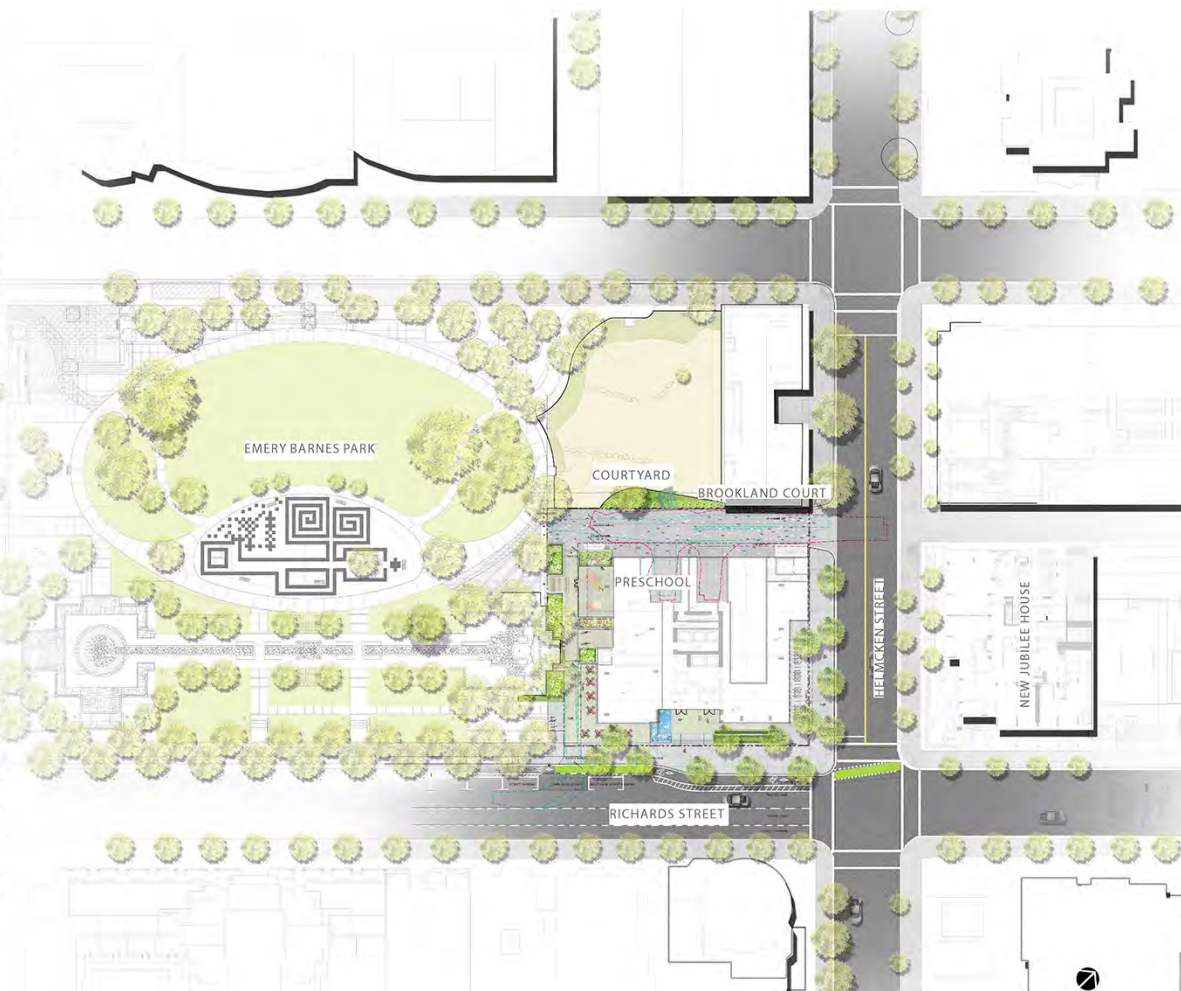
- The landscape for 508 Helmcken is intended to:
- Integrate with the design guidelines for the streetscapes of Downtown South
 - Maintain pedestrian, cyclist, and Park board service vehicle access to Emery Barnes Park
 - Provide an attractive, well designed interface to Emery Barnes Park to the south and east of the new building that can be used by pedestrians and cyclists
 - Retain all existing trees and landscape in Emery Barnes Park and introduce a landscape screen between the dog off-leash area and the mews along the east side of the new building
 - Provide a buffer between the Montessori Preschool's outdoor playspace and Emery Barnes Park while ensuring easy access for preschoolers into the park to use its playground and other facilities.

Helmcken Streetscape

The Helmcken streetscape responds to the guidelines for Downtown South with a double row of red maple trees to match the existing street trees on the north side of the block. All street trees will be newly planted to achieve the intended double row canopy. Trees will be planted in the Downtown South grates and surrounding details within a poured concrete sidewalk. Space has been allocated for a full bike station on the development site within a building setback to avoid conflicts with movement on the public sidewalk.

Richards Streetscape

The Richards streetscape also conforms to the Downtown South guidelines with a double row of newly planted red maple trees. The adjacent entries to the market and rental apartments are located on a deck a few steps up from the street and flanked on both sides by water features. A ramp access is provided from the corner. The southern of the two water features also provides an access and acoustic buffer to the outdoor eating terrace of the restaurant that occupies the southwest corner of the building. The activity on the eating terrace provides animation and interest along both Richards Street and the access route along the south side of the building.



NO.	DATE	DESCRIPTION
1.	SEPT 26, 2015	OF SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION

L-A
CONTEXT PLAN

DATE
DRAWN BY
CHECKED BY
SCALE
JOB NUMBER 15034



Southside Interface to the Park

The south edge of the development site is a service lane paved with concrete pavers that also form the surface of the outdoor eating patio for the restaurant. The west section of the service lane is configured to maintain access for the Vancouver Park Board to a small pump building within the park with a moveable bollard to prevent use by other vehicles.

East of the park maintenance access the service lane is designed for pedestrian access to the park for building residents and for the Montessori Preschool. The preschool will have a covered and fenced outdoor play-space next to its indoor facilities with a gated access from the lane.

Eastside Mews

The eastern edge of the development site is a paved mews featuring a herringbone pattern in a lively mix of concrete colours. The mews functions for access by vehicles to the underground parking entrance near Helmcken Street and two loading bays to the south. It also will be shared with pedestrians, cyclists, garbage trucks, park service vehicles, and Handy Dart service.

LEGEND:

- PEDESTRIAN CIRCULATION - OFF SITE
- PEDESTRIAN CIRCULATION - ON SITE
- SCHOOL / PARK CONNECTION
- BUILDING ENTRANCE
- PBS
- ENTRY ZONE
- MAINTENANCE VEHICLE PARKING ZONE
- OUTDOOR DINING ZONE
- VEHICLE ACCESS ZONE
- SCHOOLYARD

NO.	DATE	DESCRIPTION
1.	SEPT 28, 2015	DP SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION

L-B
CONCEPT DIAGRAM

DATE
DRAWN BY
CHECKED BY
SCALE

JOB NUMBER 15034



NO.	DATE	DESCRIPTION
1.	SEPT 26, 2015	DP SUBMISSION

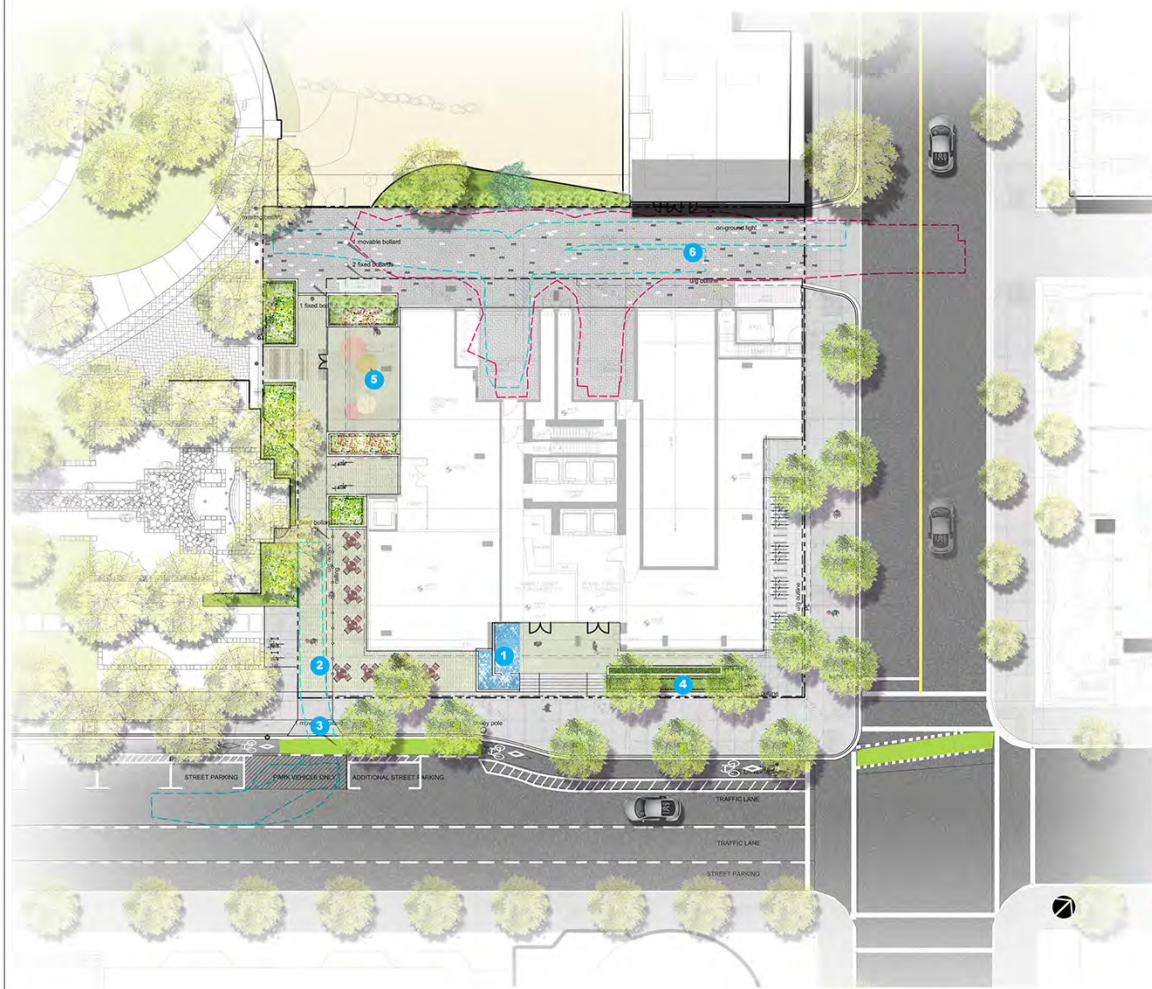
1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION

L-C
GROUND LEVEL

DATE
DRAWN BY
CHECKED BY
SCALE

JOB NUMBER 15034



1 WATER FEATURE TERRACE



4 FESTUCA GLAUCA 'ELIJAH BLUE'



2 OUTDOOR DINING



5 COVERED SCHOOLYARD



3 REMOVABLE BOLLARD

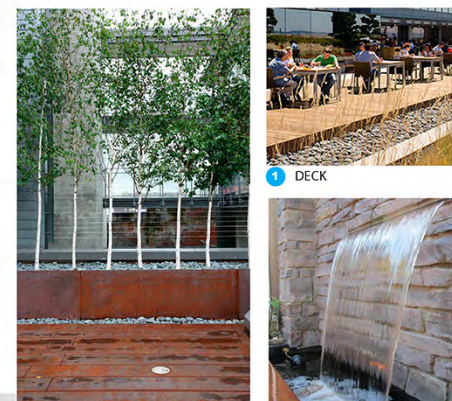


6 HERRINGBONE PAVING PATTERN

Level 10 Outdoor Amenity Space

An outdoor area on Level 10 provides an outdoor deck next to the amenity space for rental tenants. A row of trees wraps around these outdoor spaces as a feature of the building façade at Level 10. The amenity space deck is on the north half of this roof area. It is designed with corten steel paving, moveable outdoor tables and chairs, and a barbeque. The trees are planted within a strip of planter around the outer edges. A water feature is designed to mediate between the amenity deck and the adjacent patio as a visual and acoustic buffer.

REVISIONS		
NO.	DATE	DESCRIPTION
1.	SEPT 28, 2015	DP SUBMISSION



1 CORTEN STEEL PAVING

2 WATER FEATURE



3 BBQ

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION

L-D
LEVEL 10
(RENTAL AMENITY)

DATE
DRAWN BY
CHECKED BY
SCALE

JOB NUMBER 15034



Level 34 Outdoor Amenity Space

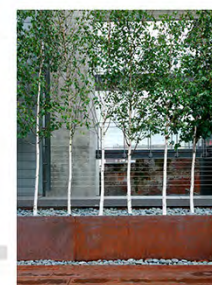
A roof deck on Level 34 serves the residents of the market units with an outdoor deck next to their indoor amenity space. Furnishings and a partial glass canopy provide for outdoor eating and lounging. Raised beds for urban agriculture are also available for the use of residents. Views from this outdoor amenity to the Emery Park and north mountain are maintained.



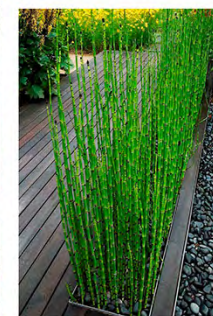
1 GLASS CANOPY



4 URBAN AGRICULTURE



2 CORTEN STEEL PLANTER



5 EQUISETUM HYEMALE



3 FIREPLACE

NO.	DATE	DESCRIPTION
1.	SEPT 28, 2015	DP SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION

L-E
LEVEL 34
(MARKET AMENITY)

DATE
DRAWN BY
CHECKED BY
SCALE

JOB NUMBER 15034



MATERIALS LEGEND (REFER TO SPECIFICATIONS)
GROUND LEVEL

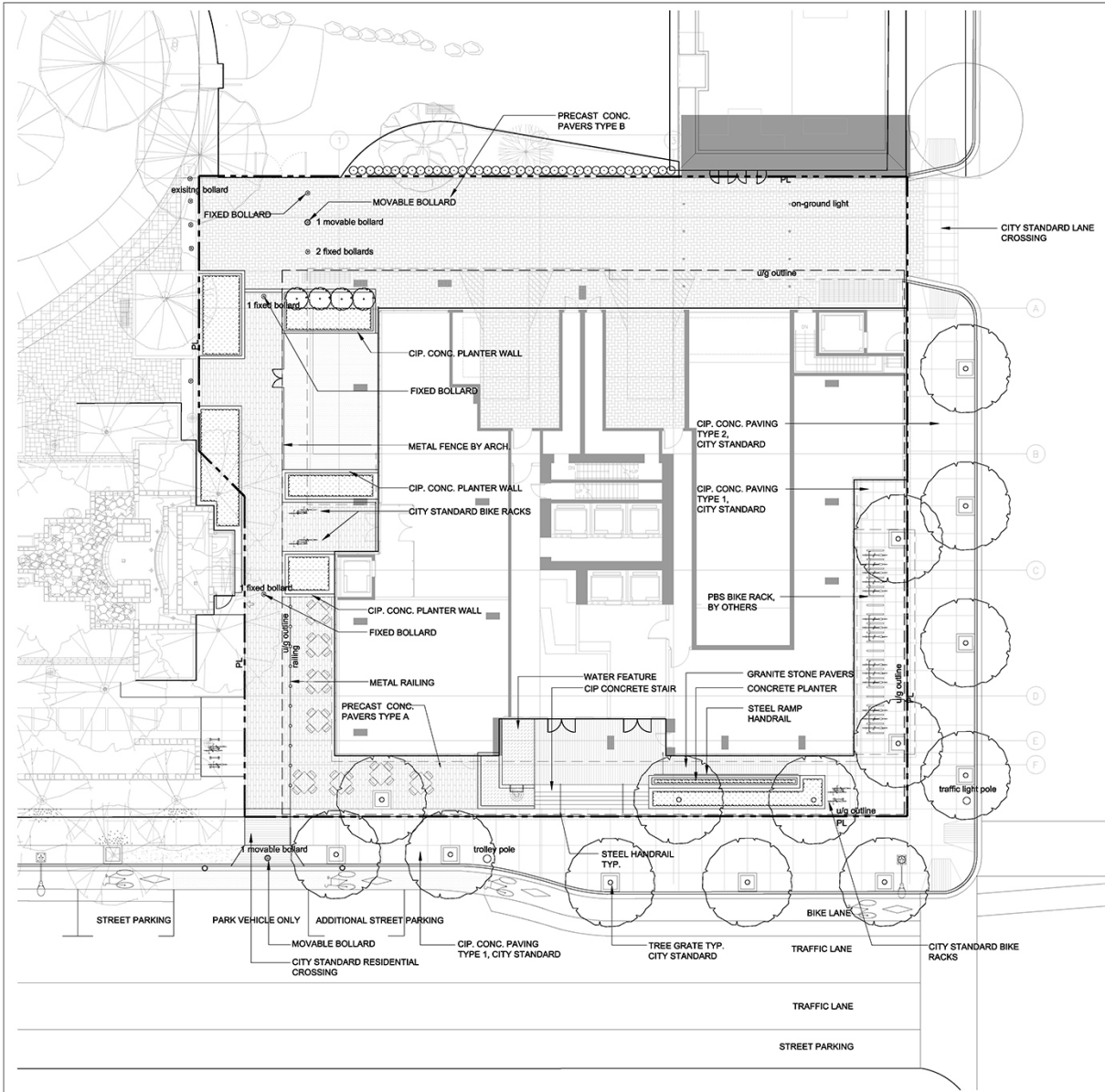
CIP CONC. PAVING TYPES	
	TYPE 1 - CIP. CONCRETE, LIGHT SANDBLAST FINISHED, CITY STANDARD EAST & SOUTH SIDE OF BUILDING
	TYPE 2 - CIP. CONCRETE, BROOM FINISH, CITY STANDARD CITY SIDEWALK
PRECAST CONC. PAVING TYPES	
	TYPE A - PRECAST CONC. PAVERS, GROUND LEVEL WEST SIDE PAVING
	TYPE B - PRECAST CONC. PAVERS, LANEWAY PAVING
STONES	
	BLACK BASALT STONE BOTTOM OF WATER FEATURE
	GRANITE STONE PAVERS, SOUTH ENTRANCE & RAMP

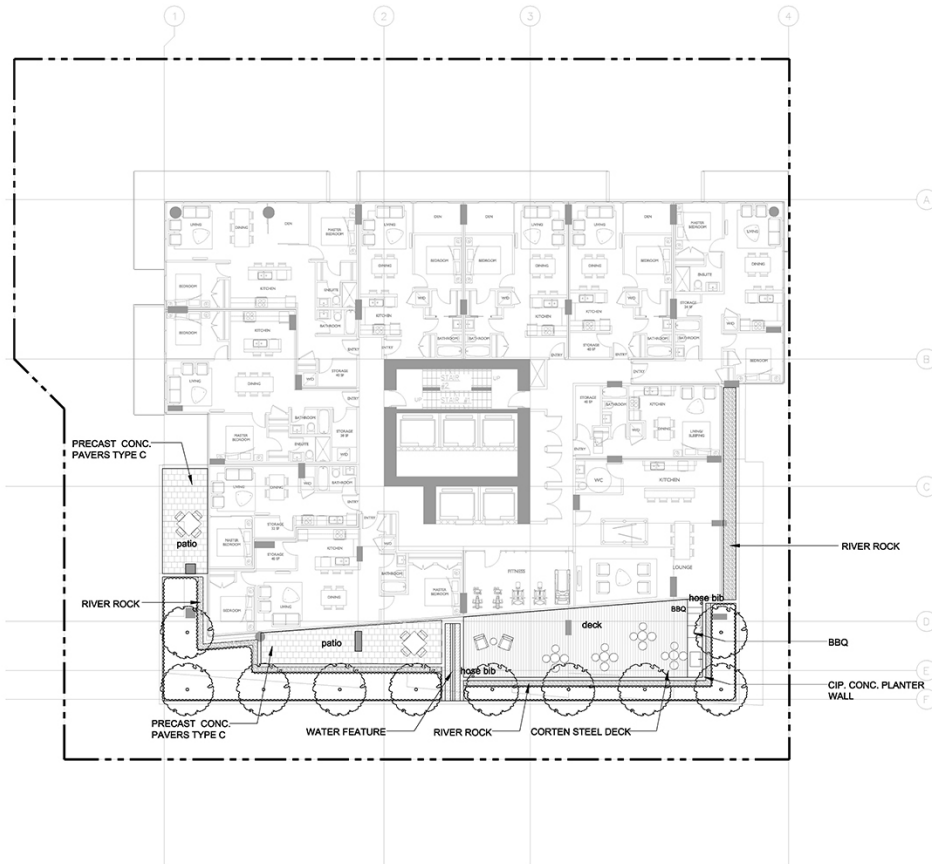
GENERAL NOTES

1. A LANDSCAPE PLAN IS TO BE SUBMITTED FOR REVIEW TO ENGINEERING SERVICES A MINIMUM OF 8 WEEKS PRIOR TO THE START OF ANY CONSTRUCTION PROPOSED FOR PUBLIC PROPERTY. NO WORK ON PUBLIC PROPERTY MAY BEGIN UNTIL SUCH PLANS RECEIVE "FOR CONSTRUCTION" APPROVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONTACT FRANK BATTISTA AT 604.873.7317 OR KEVIN CAVELL AT 604.873.7773 FOR DETAILS
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
4. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATIONS, DETAILS, AND SPECIFICATIONS.
5. REFERENCE CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRIAN LET-DOWNS.
6. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SURGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.
7. ALL STREETSCAPE DESIGN IS TO BE COORDINATED WITH CITY OF VANCOUVER STREET ENGINEERING DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF VANCOUVER PARK BOARD.
8. REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
9. ALL DIMENSIONS ARE NOMINAL.
10. VERIFY ALL MEASUREMENTS ON SITE.

LEGEND:

	PROPERTY LINE
	LINE OF PROPOSED PARKING BELOW





MATERIALS LEGEND (REFER TO SPECIFICATIONS) 10TH LEVEL

- PRECAST CONC. PAVING TYPES**
- TYPE C - HYDRAPRESS SLAB ON PEDESTAL
LEVEL 10 ROOFTOP PRIVATE PATIOS
- STONES**
- RIVER ROCK
LEVEL 34 AMENITY GARDEN
- BLACK BASALT STONE
BOTTOM OF WATER FEATURE
- OTHER**
- CORTEN STEEL DECK
ROOFTOP OUTDOOR AMENITY

GENERAL NOTES

1. A LANDSCAPE PLAN IS TO BE SUBMITTED FOR REVIEW TO ENGINEERING SERVICES A MINIMUM OF 8 WEEKS PRIOR TO THE START OF ANY CONSTRUCTION PROPOSED FOR PUBLIC PROPERTY. NO WORK ON PUBLIC PROPERTY MAY BEGIN UNTIL SUCH PLANS RECEIVE "FOR CONSTRUCTION" APPROVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONTACT FRANK BATTISTA AT 604.873.7317 OR KEVIN CAVELL AT 604.873.7773 FOR DETAILS
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
4. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATIONS, DETAILS, AND SPECIFICATIONS.
5. REFERENCE CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRIAN LET-DOWNS.
6. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.
7. ALL STREETSCAPE DESIGN IS TO BE COORDINATED WITH CITY OF VANCOUVER STREET ENGINEERING DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF VANCOUVER PARK BOARD.
8. REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
9. ALL DIMENSIONS ARE NOMINAL.
10. VERIFY ALL MEASUREMENTS ON SITE.

LEGEND:

--- PROPERTY LINE

REVISIONS		
NO.	DATE	DESCRIPTION
1.	SEPT 28, 2015	DP SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION

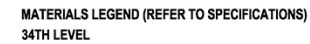
LANDSCAPE MATERIAL PLAN
-LEVEL 10

DATE
DRAWN BY: W
CHECKED BY: LL
SCALE: 3/32" = 1'-0"

JOB NUMBER 15034



L1.02



**TYPE D - PRECAST CONC. PAVERS,
LEVEL 34 PUBLIC AREA**



10

CORTEN DECK

1. A LANDSCAPE PLAN IS TO BE SUBMITTED FOR REVIEW TO ENGINEERING SERVICES A MINIMUM OF 14 DAYS PRIOR TO THE DATE OF THE CONSTRUCTION PROPOSED FOR PUBLIC PROPERTY. NO WORK ON PUBLIC PROPERTY MAY BE INITIATED UNTIL SUCH PERMIT RECEIVE "FOR CONSTRUCTION" APPROVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONTACT FRANK BATTISTIA AT 604-873.7317 OR KEVIN CAVELL AT 604-877.73 FOR DETAILS.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLETION.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS TO IDENTIFY ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
4. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ELEC. DRAWINGS FOR LOCATIONS, DETAILS, AND SPECIFICATIONS.
5. REFERENCE CIVIL ENGINEERING DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRIAN TRAIL-LOWDENS.
6. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.
7. LANDSCAPE DESIGN TO BE COORDINATED WITH CITY OF VANCOUVER STREET ENGINEERING DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF VANCOUVER.
8. REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
9. ALL DIMENSIONS ARE NOMINAL.
10. VERIFY ALL MEASUREMENTS ON SITE.

— — — — — PROPERTY LINE

REVISIONS		
NO.	DATE	DESCRIPTION
1.	SEPT 28, 2015	DP SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATIONLANDSCAPE MATERIAL PLAN
-LEVEL 34

DATE
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CHECKED BY LL
SCALE 3/32" = 1'-0"

JOB NUMBER 15034



L1.03

NO.	DATE	DESCRIPTION
1.	SEPT 28, 2015	DP SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION

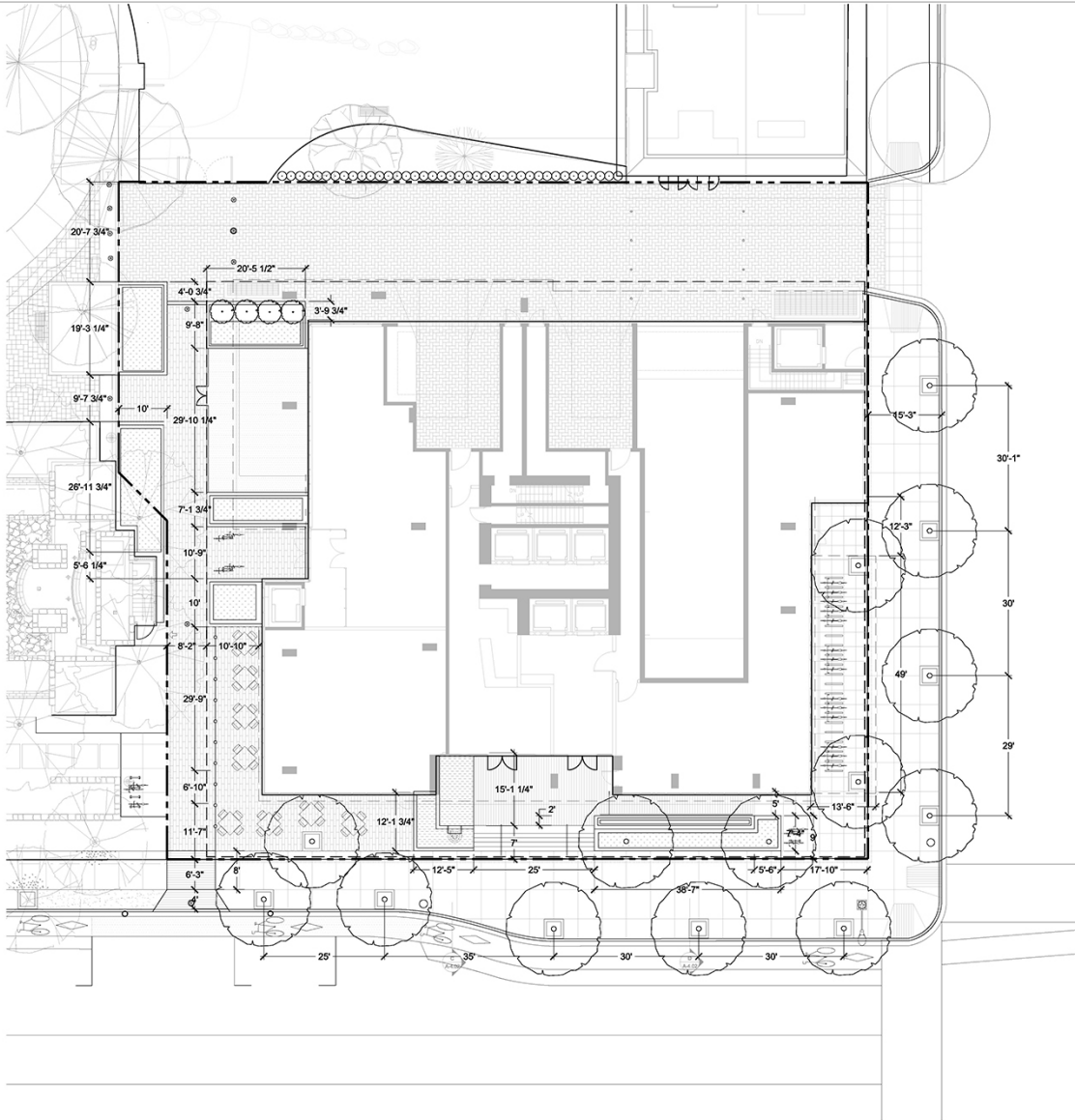
LANDSCAPE LAYOUT PLAN
- GROUND LEVEL

DATE
DRAWN BY: GJ
CHECKED BY: AL
SCALE: 3/32" = 1'-0"

JOB NUMBER 15034



L2.01



GENERAL NOTES

1. A LANDSCAPE PLAN IS TO BE SUBMITTED FOR REVIEW TO ENGINEERING SERVICES A MINIMUM OF 8 WEEKS PRIOR TO THE START OF ANY CONSTRUCTION PROPOSED FOR PUBLIC PROPERTY. NO WORK ON PUBLIC PROPERTY MAY BEGIN UNTIL SUCH PLANS RECEIVE "FOR CONSTRUCTION" APPROVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONTACT FRANK BATTISTA AT 604.873.7317 OR KEVIN CAVELL AT 604.873.7773 FOR DETAILS.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
4. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATIONS, DETAILS, AND SPECIFICATIONS.
5. REFERENCE CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRAIN LET-DOWNS.
6. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.
7. ALL STREETScape DESIGN IS TO BE COORDINATED WITH CITY OF VANCOUVER STREET ENGINEERING DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF VANCOUVER PARK BOARD.
8. REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
9. ALL DIMENSIONS ARE NOMINAL.
10. VERIFY ALL MEASUREMENTS ON SITE.

LEGEND:

- PROPERTY LINE
- - - LINE OF PROPOSED PARKING BELOW

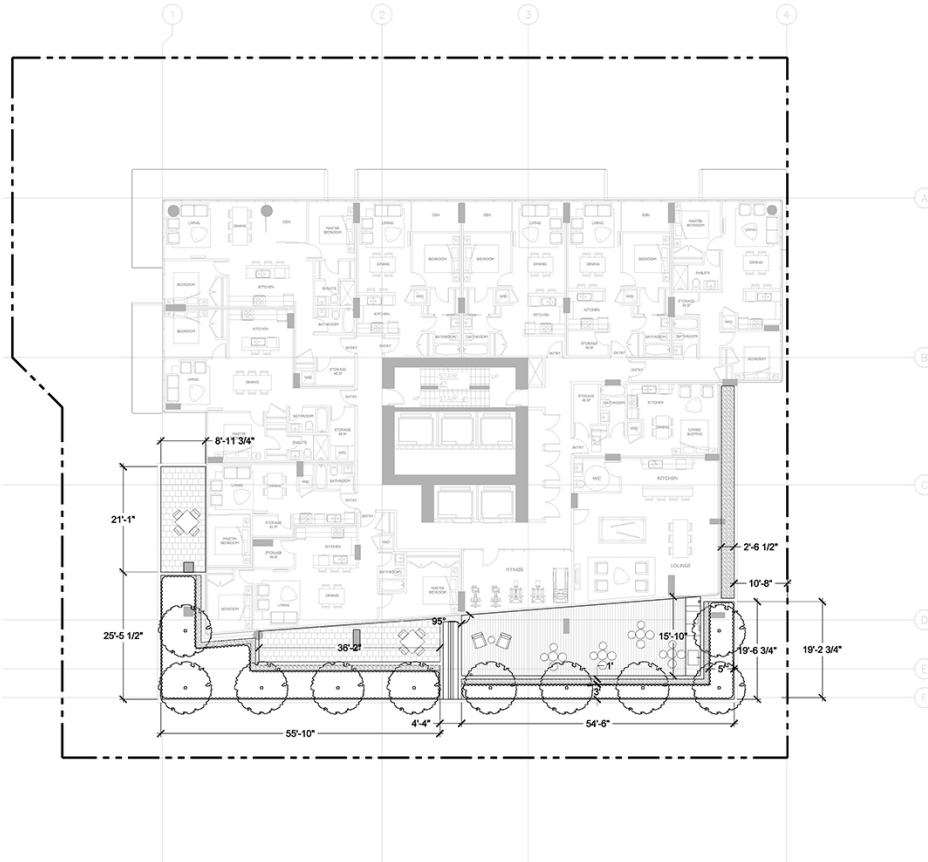
NO.	DATE	DESCRIPTION
1.	SEPT 28, 2015	DP SUBMISSION

GENERAL NOTES

1. A LANDSCAPE PLAN IS TO BE SUBMITTED FOR REVIEW TO ENGINEERING SERVICES A MINIMUM OF 8 WEEKS PRIOR TO THE START OF ANY CONSTRUCTION PROPOSED FOR PUBLIC PROPERTY. NO WORK ON PUBLIC PROPERTY MAY BEGIN UNTIL SUCH PLANS RECEIVE "FOR CONSTRUCTION" APPROVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONTACT FRANK BATTISTA AT 604.873.7317 OR KEVIN CAVELL AT 604.873.7773 FOR DETAILS.
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4. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATIONS, DETAILS, AND SPECIFICATIONS.
5. REFERENCE CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRAIN LET-DOWNS.
6. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.
7. ALL STREETSCAPE DESIGN IS TO BE COORDINATED WITH CITY OF VANCOUVER STREET ENGINEERING DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF VANCOUVER PARK BOARD.
8. REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
9. ALL DIMENSIONS ARE NOMINAL.
10. VERIFY ALL MEASUREMENTS ON SITE.

LEGEND:

--- PROPERTY LINE



1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION

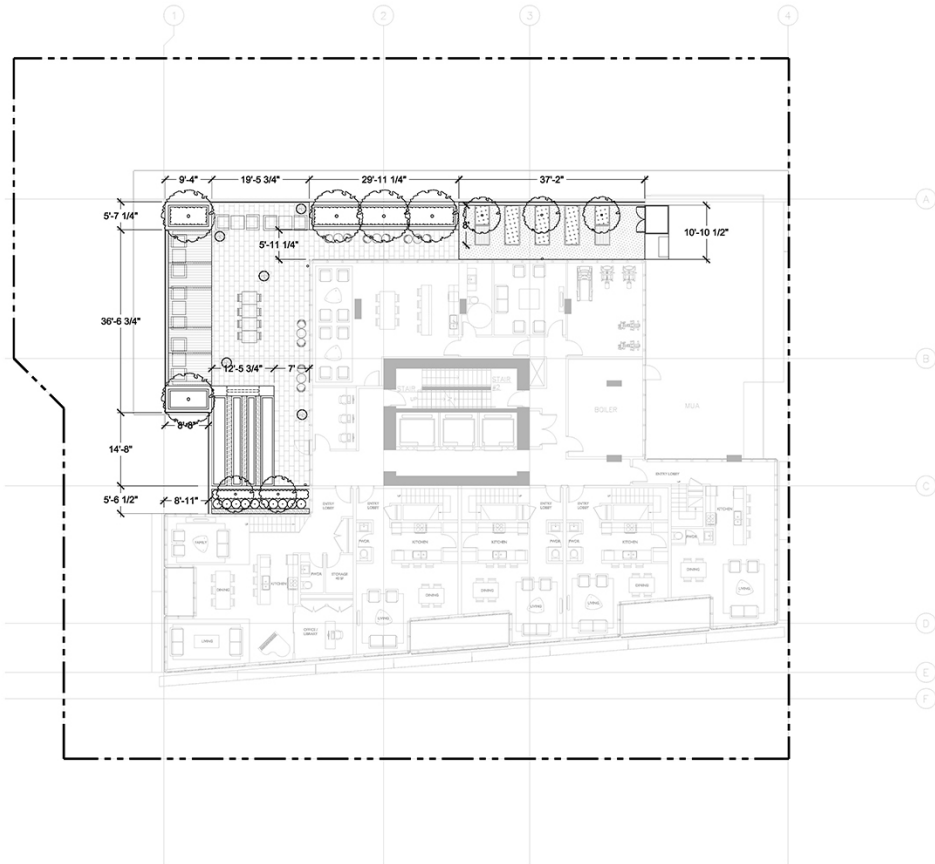
LANDSCAPE LAYOUT PLAN
-LEVEL 10

DATE
DRAWN BY: GJ
CHECKED BY: LL
SCALE: 3/32" = 1'-0"

JOB NUMBER: 15034



L2.02



GENERAL NOTES

1. A LANDSCAPE PLAN IS TO BE SUBMITTED FOR REVIEW TO ENGINEERING SERVICES A MINIMUM OF 8 WEEKS PRIOR TO THE START OF ANY CONSTRUCTION PROPOSED FOR PUBLIC PROPERTY. NO WORK ON PUBLIC PROPERTY MAY BEGIN UNTIL SUCH PLANS RECEIVE "FOR CONSTRUCTION" APPROVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONTACT FRANK BATTISTA AT 604.873.7317 OR KEVIN CAVELL AT 604.873.7773 FOR DETAILS.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
4. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATIONS, DETAILS, AND SPECIFICATIONS.
5. REFERENCE CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRAIN LET-DOWNS.
6. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.
7. ALL STREETScape DESIGN IS TO BE COORDINATED WITH CITY OF VANCOUVER STREET ENGINEERING DEPARTMENT AND PLANTED UNDER SUPERVISION OF THE CITY OF VANCOUVER PARK BOARD.
8. REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS.
9. ALL DIMENSIONS ARE NOMINAL.
10. VERIFY ALL MEASUREMENTS ON SITE.

LEGEND:

--- PROPERTY LINE

REVISIONS		
NO.	DATE	DESCRIPTION
1.	SEPT 26, 2015	DP SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION

LANDSCAPE LAYOUT PLAN
-LEVEL 34

DATE
DRAWN BY: GJ
CHECKED BY: JL
SCALE: 3/32" = 1'-0"

JOB NUMBER 15034



L2.03



gbl ARCHITECTS, INC.
129 EAST 8TH AVENUE TEL: 404.736.1156
UNIVERSITY, NC 27603-1018 FAX: 404.736.1079
WWW.GBLARCHITECTS.COM
NOTES

LEGEND

TS	TOP OF STAIR
BS	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
TC	TOP OF CURB
BC	BOTTOM OF CURB
TR	TOP OF RAMP
BR	BOTTOM OF RAMP
TG	TOP OF GUARDRAIL
RIM	RIM ELEVATION
PD	PLANTER DRAIN
AD	AREA DRAIN
FFE	FINISH FLOOR ELEVATION
HP	HIGH POINT
---	TRENCH DRAIN
+	C.B.G.
+	EXISTING SPOT ELEVATION
+	PROPOSED FINISH GRADE
---	SLOPE

LEGEND:

---	PROPERTY LINE
---	LINE OF PROPOSED PARKING BELOW

GRADING: GENERAL NOTES

1. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
2. UNLESS OTHERWISE NOTED, ALL DRAINS LOCATED IN LAWN OR PLANTED AREA ARE TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT.
3. PROVIDE POSITIVE DRAINAGE THROUGHOUT - AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE SURFACES.
4. UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 4:1 (25%) AT ALL SOFT LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
5. ALL GRADING INFORMATION TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE SOIL DEPTHS AND POSITIVE DRAINAGE.
6. SEE ARCHITECTURAL DRAWINGS FOR THE LOCATIONS AND GRADES OF ROOFTOP AREA DRAIN.
7. BUILDING GRADES TO BE REVIEWED BY CITY ENGINEER.

REVISIONS		
NO.	DATE	DESCRIPTION
1.	SEPT 26, 2015	DP SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION

LANDSCAPE GRADING PLAN
- GROUND LEVEL






DATE
DRAWN BY: GJ
CHECKED BY: AL
SCALE: 3/32" = 1'-0"

JOB NUMBER 15034




L3.01



TS	TOP OF STAIR
BS	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
TC	TOP OF CURB
BC	BOTTOM OF CURB
TR	TOP OF RAMP
BR	BOTTOM OF RAMP
TG	TOP OF GUARDRAIL
RIM	RIM ELEVATION
PD	PLANTER DRAIN
AD	AREA DRAIN
FFE	FINISH FLOOR ELEVATION
HP	HIGH POINT
	TRENCH DRAIN
 C.B.G.	CITY GRADE
 EX.	EXISTING SPOT ELEVATION
	PROPOSED FINISH GRADE
	SLOPE

LEGEND:

 PROPERTY LINE
 LINE OF PROPOSED PARKING BELOW

GRADING: GENERAL NOTES

1. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
2. UNLESS OTHERWISE NOTED, ALL DRAINS LOCATED IN LAWN OR PLANTED AREA ARE TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT.
3. PROVIDE POSITIVE DRAINAGE THROUGHOUT - AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE SURFACES.
4. UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 4:1 (25%) AT ALL SOFT LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
5. ALL GRADING INFORMATION TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE SOIL STABILITY.
6. SEE ARCHITECTURAL DRAWINGS FOR THE LOCATIONS AND GRADE OF ROOF TOP AREA DRAIN.
7. BUILDING GRADES TO BE REVIEWED BY CITY ENGINEER.

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATIONLANDSCAPE GRADING PLAN
-LEVEL 10






DATE
DRAWN BY QJ
CHECKED BY LL
SCALE $3/32" = 1'-0"$

JOB NUMBER 15034

170

PROJECT NORTH	TIME NORTH	3.0
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TS	TOP OF STAIR
BT	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
TC	TOP OF CURB
BC	BOTTOM OF CURB
TR	TOP OF RAMP
BR	BOTTOM OF RAMP
TG	TOP OF GUARDRAIL
RIM	RIM ELEVATION
PD	PLANTER DRAIN
AD	AREA DRAIN
FFE	FINISH FLOOR ELEVATION
HP	HIGH POINT
	TRENCH DRAIN
 C.B.G	CITY GRADE
 EX.	EXISTING SPOT ELEVATION
	PROPOSED FINISH GRADE
	SLOPE

LEGEND:

 PROPERTY LINE
 LINE OF PROPOSED PARKING BELOW

GRADING: GENERAL NOTES

1. CONFIRM ALL EXISTING GRASSES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
2. UNLESS OTHERWISE NOTED, ALL DRAINS LOCATED IN LAWN OR PLANTED AREA TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEWOUT.
3. PROVIDE POSITIVE DRAINAGE THROUGHOUT - AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE SURFACES.
4. UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 4% (2%) AT ALL SOFT LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
5. ALL GRADING INFORMATION TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE POSITIVE DRAINAGE AND POSITIVE DRAINAGE.
6. SEE ARCHITECTURAL DRAWINGS FOR THE LOCATIONS AND GRADES OF ROOFTOP AREA DRAIN.
7. BUILDING GRADES TO BE REVIEWED BY CITY ENGINEER.

REVISIONS

NO.	DATE	DESCRIPTION
1.	SEPT 28, 2015	OP SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

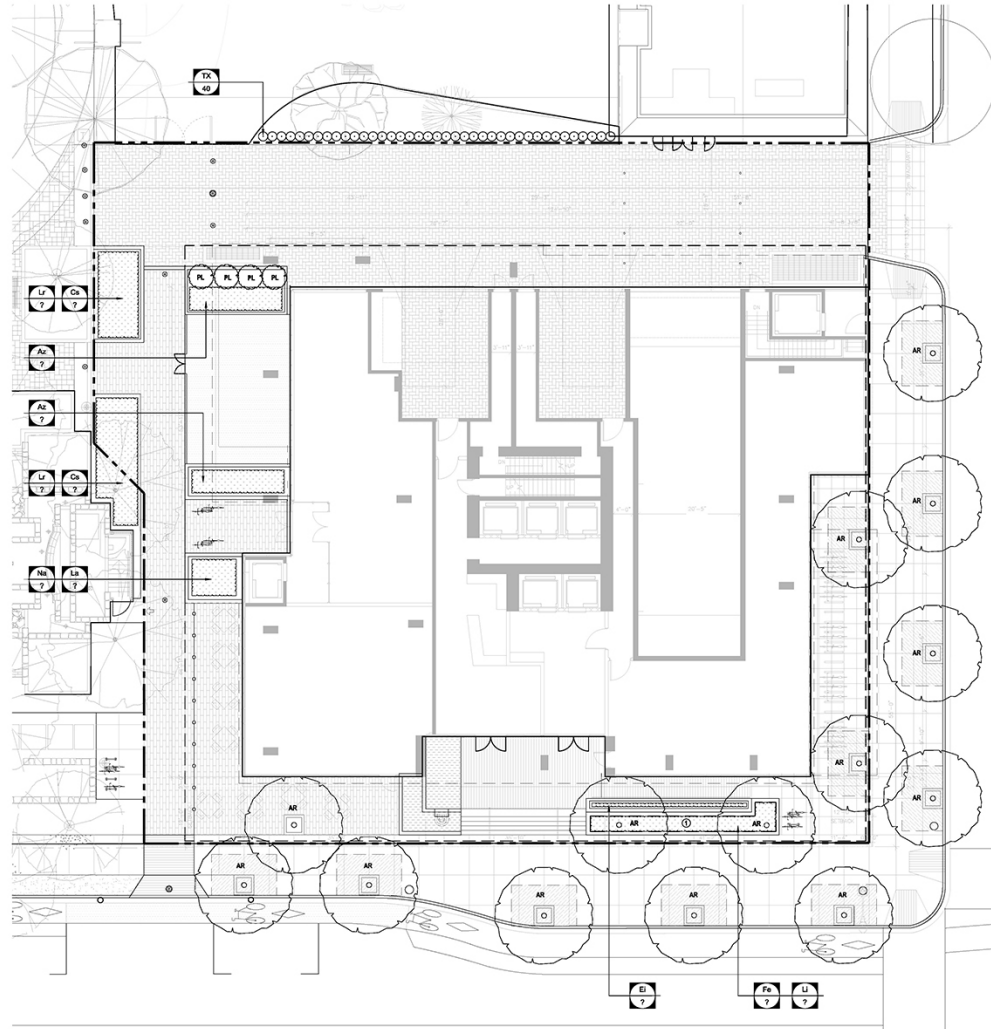
DEVELOPMENT PERMIT
APPLICATIONLANDSCAPE LAYOUT PLAN
-LEVEL 34

DATE
DRAWN BY QJ
CHECKED BY LL
SCALE $3/32" = 1'-0"$

JOB NUMBER 15034



L3.03



MASTER PLANT LIST

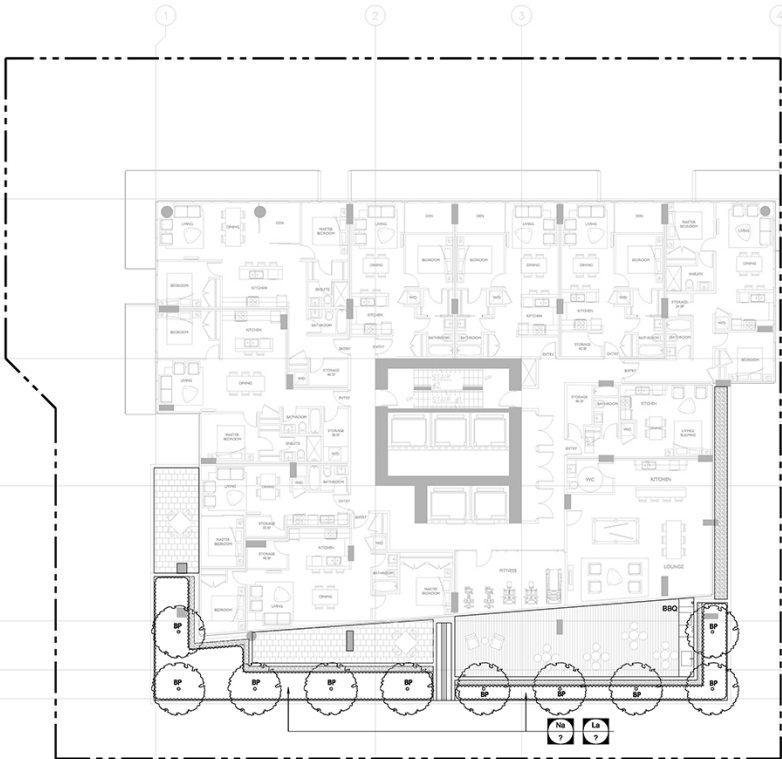
KEY QTY	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION
TREE				
AR 14	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	8cm CAL. WB - 3M HT	STRAIGHT TRUNK FULL CROWN B&B
BP 20	BETULA PAPPYRIFERA	WHITE BIRCH	5cm CAL. WB - 3M HT	
SHRUB				
TX	TAXUS X MEDIA 'HATFIELD'	HATFIELD YEW	4' HIGH FIELD GROWN - 18"-24" O.C. - FULL	
PL	PRUNUS LAUROCERASUS	ENGLISH LAUREL	#2 POT - 24" (600mm) O.C. - FULL	
Az	AZALEA X 'HERBERT'	HERBERT AZALEA	#2 POT - 24" (600mm) O.C. - FULL	
ORNAMENTAL GRASS AND GROUND COVER				
Fe	FSTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	#1 POT - 12" (300mm) O.C. - FULL	
Na	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT - 18" (450mm) O.C. - FULL	
EI	EQUISETUM HYEMALE	HORSETAIL REED	#1 POT - 12" (300mm) O.C. - FULL	
LJ	LONICERA NITIDA	BOXLEAF HONEYSUCKLE	#2 POT - 12" (300mm) O.C. - FULL	
La	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	#2 POT - 18" (450mm) O.C. - FULL	
Ca	CAREX OSHIMENSIS 'EVERGOLD'	SEDGE	#1 POT - 8" (200mm) O.C. - FULL	
Lr	LIRIOPE MUSCARI 'ROYAL PURPLE'	ROYAL PURPLE LILY TURF	#1 POT - 12" (300mm) O.C. - FULL	

NOTES

1. INSTALL ALL PLANT MATERIAL TO CITY OF VANCOUVER REQUIREMENTS. PROVIDE AND INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH BCSLA / BCNLA LANDSCAPE STANDARD, LATEST EDITION.
2. AREA OF SEARCH: PACIFIC NORTHWEST INCLUDING BRITISH COLUMBIA, WASHINGTON, AND OREGON.
3. PROVIDE DISEASE AND PEST-FREE PLANT MATERIAL FROM S.O.D. CERTIFIED NURSERIES. PROVIDE GUARANTEE OF CERTIFICATION.
4. FINAL SPACING, QUANTITY AND TREE SPECIES TO THE SATISFACTION OF THE GENERAL MANAGER OF ENGINEERING SERVICES. NEW TREES MUST BE OF GOOD STANDARD, MINIMUM 6CM CALIPER, AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL. ROOT BARRIERS SHALL BE 8 FEET LONG AND 18 INCHES IN DEPTH. PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE. CALL PARK BOARD FOR INSPECTION AFTER TREE PLANTING COMPLETION.
5. PLANTINGS WITHIN THE TREED BOULEVARD TO THE APPROVAL OF PARK BOARD.
6. A HIGH EFFICIENCY IRRIGATION SYSTEM WILL BE INSTALLED IN ALL RESIDENTIAL COMMON LANDSCAPE AREAS (WITH THE EXCEPTION OF URBAN AGRICULTURE PLOTS). THE SYSTEM INCLUDES MOISTURE SENSORS, COMPUTER-CONTROLLED MONITORING AND SCHEDULE MODIFICATION FROM A CENTRAL LOCATION. HOSE BIBS WILL BE PROVIDED IN PRIVATE PATIOS AREAS MEASURING 100 SQ. FT. OR LARGER, COMMON AMENITY GARDENING AREAS AND EXTENSIVE GREEN ROOF AREAS. THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION ASSOCIATION OF BC STANDARDS AND GUIDELINES LATEST STANDARD.

SOIL VOLUME CALCULATION (BCSLA STANDARD 6m³-9m³ TREE)

①	12 m³
②	6 m³ STRUCTURAL SOIL + PLANTING SOIL 1.5m

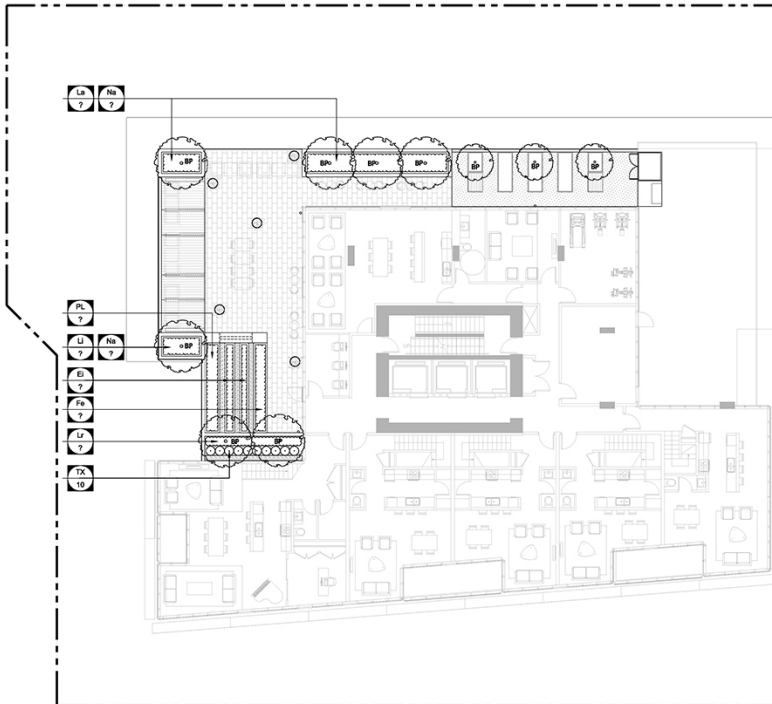


MASTER PLANT LIST

KEY QTY		BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION
TREE					
AR	14	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	8cm CAL. WB - 3M HT	STRAIGHT TRUNK FULL CROWN B&B
BP	20	BTULA PAPERIFERA	WHITE BIRCH	5cm CAL. WB - 3M HT	
SHRUB					
TX		TAXUS X MEDIA 'HATFIELD'	HATFIELD YEW	4' HIGH FIELD GROWN - 18"-24" O.C. - FULL	#2 POT - 24" (600mm) O.C. - FULL #2 POT - 24" (600mm) O.C. - FULL
PL		PRUNUS LAUROCERASUS	ENGLISH LAUREL		
Az		AZALEA X 'HERBERT'	HERBERT AZALEA		
ORNAMENTAL GRASS AND GROUND COVER					
Fe		FSTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	#1 POT - 12" (300mm) O.C. - FULL	#1 POT - 18" (450mm) O.C. - FULL
Na		NASSALLA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT - 18" (450mm) O.C. - FULL	
EI		EQUISETUM HYEMALE	HORSETAIL REED	#1 POT - 12" (300mm) O.C. - FULL	#2 POT - 12" (300mm) O.C. - FULL
LJ		LONICERA NITIDA	BOXLEAF HONEYSUCKLE	#2 POT - 12" (300mm) O.C. - FULL	
La		LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	#2 POT - 18" (450mm) O.C. - FULL	#1 POT - 8" (200mm) O.C. - FULL
Ca		CAREX OSHIMENSIS 'ELEGANT GOLD'	SEDGE	#1 POT - 8" (200mm) O.C. - FULL	
Lr		LIRIOPE MUSCARI 'ROYAL PURPLE'	ROYAL PURPLE LILY TURF	#1 POT - 12" (300mm) O.C. - FULL	

NOTES

1. INSTALL ALL PLANT MATERIAL TO CITY OF VANCOUVER REQUIREMENTS. PROVIDE AND INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH BCSLA / BCNLA LANDSCAPE STANDARD, LATEST EDITION.
2. AREA OF SEARCH: PACIFIC NORTHWEST INCLUDING BRITISH COLUMBIA, WASHINGTON, AND OREGON.
3. PROVIDE DISEASE AND PEST-FREE PLANT MATERIAL FROM S.O.D. CERTIFIED NURSERIES, PROVIDE GUARANTEE OF CERTIFICATION.
4. FINAL SPACING, QUANTITY AND TREE SPECIES TO THE SATISFACTION OF THE GENERAL MANAGER OF ENGINEERING SERVICES. NEW TREES MUST BE OF GOOD STANDARD, MINIMUM 6CM CALIPER, AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL. ROOT BARRIERS SHALL BE 8 FEET LONG AND 18 INCHES IN DEPTH. PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE. CALL PARK BOARD FOR INSPECTION AFTER TREE PLANTING COMPLETION.
5. PLANTINGS WITHIN THE TREED BOULEVARD TO THE APPROVAL OF PARK BOARD.
6. A HIGH EFFICIENCY IRRIGATION SYSTEM WILL BE INSTALLED IN ALL RESIDENTIAL COMMON LANDSCAPE AREAS (WITH THE EXCEPTION OF URBAN AGRICULTURE PLOTS). THE SYSTEM INCLUDES MOISTURE SENSORS, COMPUTER-CONTROLLED MONITORING AND SCHEDULE MODIFICATION FROM A CENTRAL LOCATION. HOSE BIBBS WILL BE PROVIDED IN PRIVATE PATIOS AREAS MEASURING 100 SQ. FT. OR LARGER, COMMON AMENITY GARDENING AREAS AND EXTENSIVE GREEN ROOF AREAS. THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION ASSOCIATION OF BC STANDARDS AND GUIDELINES LATEST STANDARD.



MASTER PLANT LIST

KEY QTY	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION
TREE				
AR 14	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	8cm CAL. WB - 3M HT	STRAIGHT TRUNK FULL CROWN BAB
BP 20	BTULA PAPERIFERA	WHITE BIRCH	5cm CAL. WB - 3M HT	
SHRUB				
TX	TAXUS X MEDIA 'HATFIELD'	HATFIELD YEW	4" HIGH FIELD GROWN - 18"24" O.C. - FULL	
PL	PRUNUS LAUROCEARUS	ENGLISH LAUREL	#2 POT - 24" (500mm) O.C. - FULL	
Az	AZALEA X 'HERBERT'	HERBERT AZALEA	#2 POT - 24" (500mm) O.C. - FULL	
ORNAMENTAL GRASS AND GROUND COVER				
Fe	FSTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	#1 POT - 12" (300mm) O.C. - FULL	
Na	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT - 18" (450mm) O.C. - FULL	
EI	EQUISETUM HYEMALE	HORSETAIL REED	#1 POT - 12" (300mm) O.C. - FULL	
LI	LONICERA NITIDA	BOXLEAF HONEYBUCKLE	#2 POT - 12" (300mm) O.C. - FULL	
La	LAVANDULA ANGIUSTIFOLIA	ENGLISH LAVENDER	#2 POT - 18" (450mm) O.C. - FULL	
Cs	CAREX OSHIMENSIS 'EVERGOLD'	SEDGE	#1 POT - 8" (200mm) O.C. - FULL	
Lr	LIRIOPE MUSCARI 'ROYAL PURPLE'	ROYAL PURPLE LILY TURF	#1 POT - 12" (300mm) O.C. - FULL	

NOTES

1. INSTALL ALL PLANT MATERIAL TO CITY OF VANCOUVER REQUIREMENTS. PROVIDE AND INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH BCSLA / SCNLA LANDSCAPE STANDARD, LATEST EDITION.
2. AREA OF SEARCH: PACIFIC NORTHWEST INCLUDING BRITISH COLUMBIA, WASHINGTON, AND OREGON.
3. PROVIDE DISEASE AND PEST-FREE PLANT MATERIAL FROM S.O.D. CERTIFIED NURSERIES, PROVIDE GUARANTY OF CERTIFICATION.
4. FINAL SPACING, QUANTITY AND TREE SPECIES TO THE SATISFACTION OF THE GENERAL MANAGER OF ENGINEERING SERVICES. NEW TREES MUST BE OF GOOD STANDARD, MINIMUM 6CM CALIPER, AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL. ROOT BARRIERS SHALL BE 8 FEET LONG AND 18 INCHES IN DEPTH. PLANTING DEPTH OF ROOT BALL MUST BE BELOW SIDEWALK GRADE. CALL PARK BOARD FOR INSPECTION AFTER TREE PLANTING COMPLETION.
5. PLANTINGS WITHIN THE TREED BOULEVARD TO THE APPROVAL OF PARK BOARD.
6. A HIGH EFFICIENCY IRRIGATION SYSTEM WILL BE INSTALLED IN ALL RESIDENTIAL COMMON LANDSCAPE AREAS (WITH THE EXCEPTION OF URBAN AGRICULTURE PLOTS). THE SYSTEM INCLUDES MOISTURE SENSORS, COMPUTER-CONTROLLED MONITORING AND SCHEDULE MODIFICATION FROM A CENTRAL LOCATION. HOSE BIBS WILL BE PROVIDED IN PRIVATE PATIOS AREAS MEASURING 100 SQ. FT. OR LARGER, COMMON AMENITY GARDENING AREAS AND EXTENSIVE GREEN ROOF AREAS. THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION ASSOCIATION OF BC STANDARDS AND GUIDELINES LATEST STANDARD.

REVISIONS		
NO.	DATE	DESCRIPTION
1.	SEPT 26, 2015	DP SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION

LANDSCAPE PLANTING PLAN
-LEVEL 34-

DATE
DRAWN BY: GJ
CHECKED BY: LL
SCALE: 3/32" = 1'-0"

JOB NUMBER 15034



L4.03

REVISIONS		
NO.	DATE	DESCRIPTION
1.	SEPT 26, 2015	DP SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

DEVELOPMENT PERMIT
APPLICATION

LANDSCAPE LIGHTING PLAN
-GROUND LEVEL-

DATE
DRAWN BY: GJ
CHECKED BY: LL
SCALE: 3/32" = 1'-0"

JOB NUMBER 15034



L6.01

LIGHTING LEGEND

ON-SITE NEW LIGHTING

- RECESSED WALL LIGHT - Type 'AA'
- TREE UPLIGHTING - Type 'BB'
- ⊗ DRIVEROVER LIGHT - Type 'CC'
- ▼ UNDERWATER UPLIGHTING - Type 'DD'
- HANDRAIL LED STRIP LIGHT - Type 'EE'
- CANOPY STRIP LIGHTING - Type 'FF'
- ENTRANCE INGROUND STRIP LIGHTING - Type 'GG'
- LINER PLANT UPLIGHTING - Type 'HH'

OFF-SITE NEW LIGHTING

- ⊙ EXISTING LIGHTING
- ⊙ STREET LIGHT

NOTE: THIS PLAN IS FOR REFERENCE ONLY. SEE ELECTRICAL
DRAWINGS FOR MORE DETAILS.

REVISIONS		
NO.	DATE	DESCRIPTION
1.	SEPT 28, 2015	DP SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

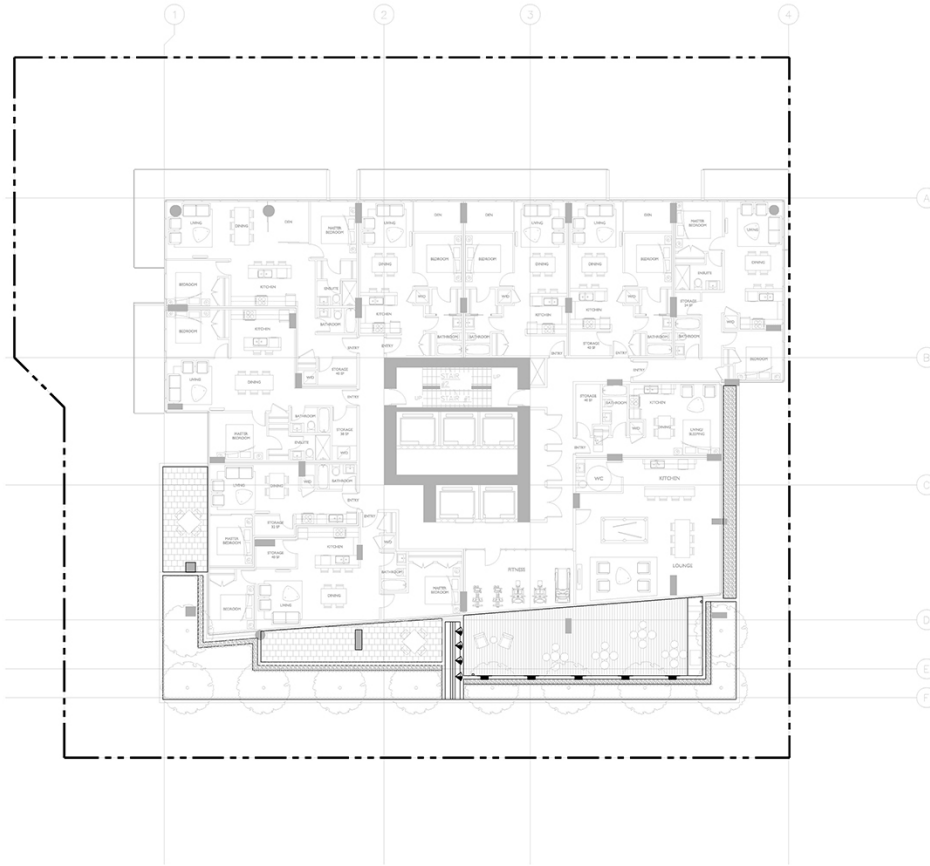
DEVELOPMENT PERMIT
APPLICATION

LANDSCAPE LIGHTING PLAN
-LEVEL 10

DATE
DRAWN BY: GJ
CHECKED BY: LL
SCALE: 3/32" = 1'-0"

JOB NUMBER 15034

PROJECT NORTH TRUE NORTH L6.02



LIGHTING LEGEND

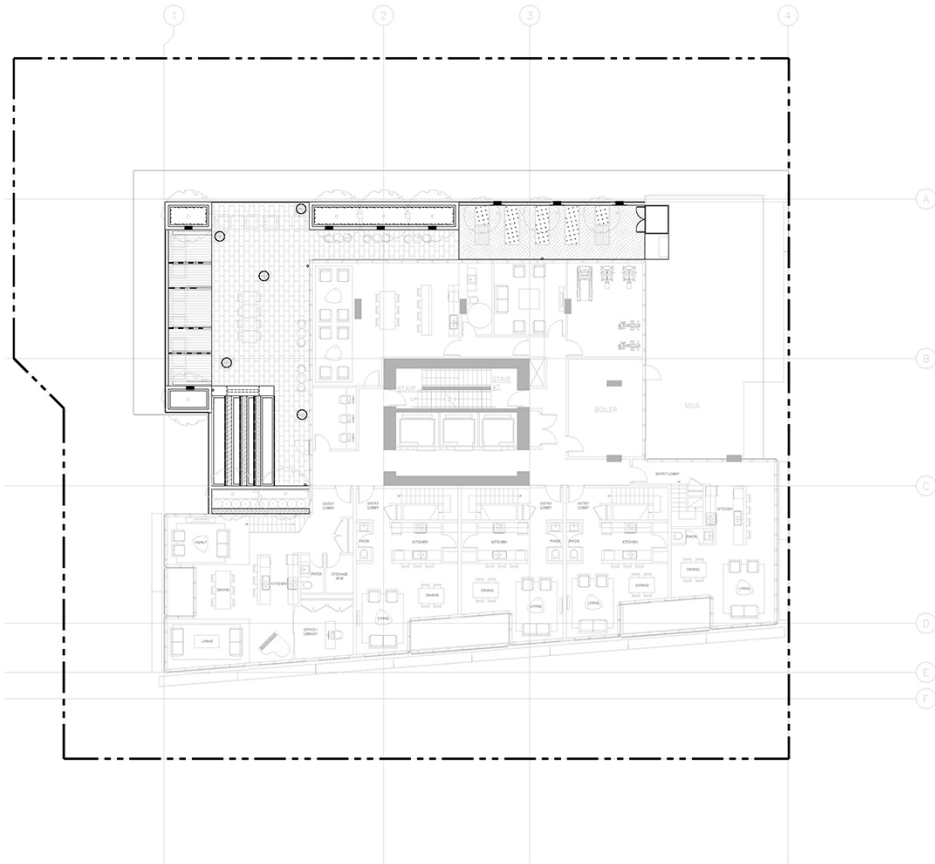
ON-SITE NEW LIGHTING

- RECESSED WALL LIGHT - Type 'AA'
- TREE UPLIGHTING - Type 'BB'
- DRIVEROVER LIGHT - Type 'CC'
- UNDERWATER UPLIGHTING - Type 'DD'
- HANDRAIL LED STRIP LIGHT - Type 'EE'
- CANOPY STRIP LIGHTING - Type 'FF'
- ENTRANCE INGROUND STRIP LIGHTING - Type 'GG'
- LINER PLANT UPLIGHTING - Type 'HH'

OFF-SITE NEW LIGHTING

- EXISTING LIGHTING
- STREET LIGHT

NOTE: THIS PLAN IS FOR REFERENCE ONLY. SEE ELECTRICAL DRAWINGS FOR MORE DETAILS.



LIGHTING LEGEND

ON-SITE NEW LIGHTING

- RECESSED WALL LIGHT - Type 'AA'
- ⊙ TREE UPLIGHTING - Type 'BB'
- ⊗ DRIVEROVER LIGHT - Type 'CC'
- ▼ UNDERWATER UPLIGHTING - Type 'DD'
- HANDRAIL LED STRIP LIGHT - Type 'EE'
- CANOPY STRIP LIGHTING - Type 'FF'
- ENTRANCE INGROUND STRIP LIGHTING - Type 'GG'
- LINER PLANT UPLIGHTING - Type 'HH'

OFF-SITE NEW LIGHTING

- ⊙ EXISTING LIGHTING
- ⌘ STREET LIGHT

NOTE: THIS PLAN IS FOR REFERENCE ONLY. SEE ELECTRICAL DRAWINGS FOR MORE DETAILS.

REVISIONS		
NO.	DATE	DESCRIPTION
1.	SEPT 26, 2015	DP SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

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APPLICATION

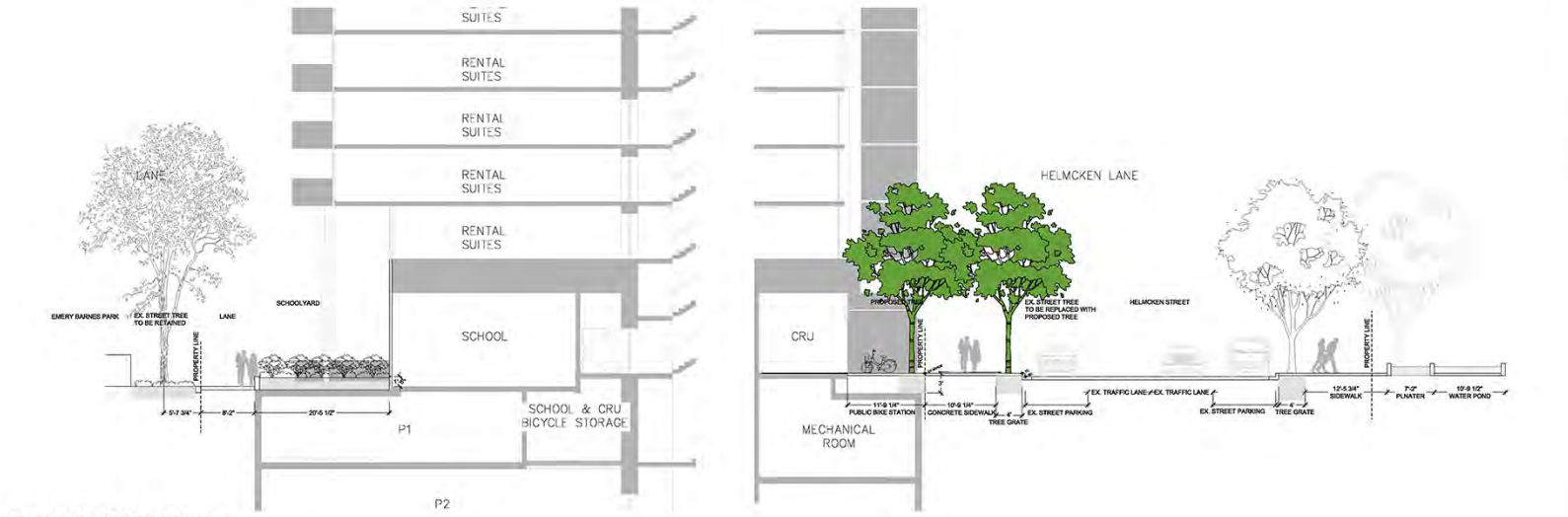
LANDSCAPE LIGHTING PLAN
-LEVEL 34-

DATE
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CHECKED BY: LL
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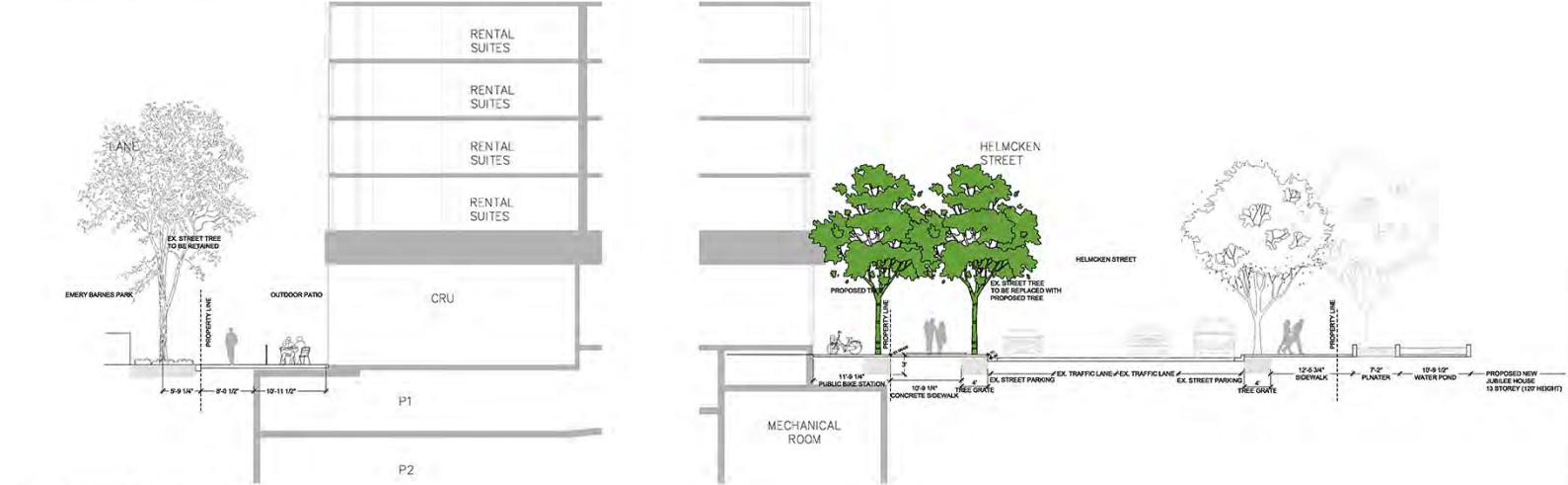
JOB NUMBER 15034



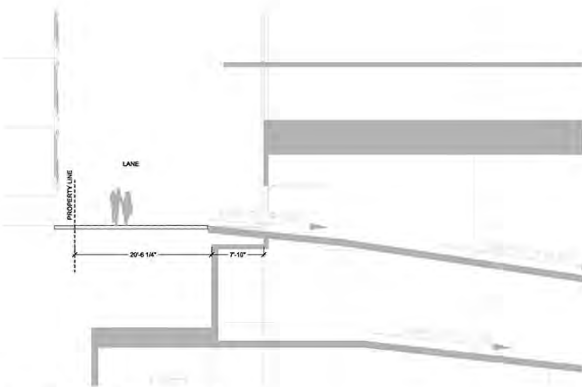
L6.03



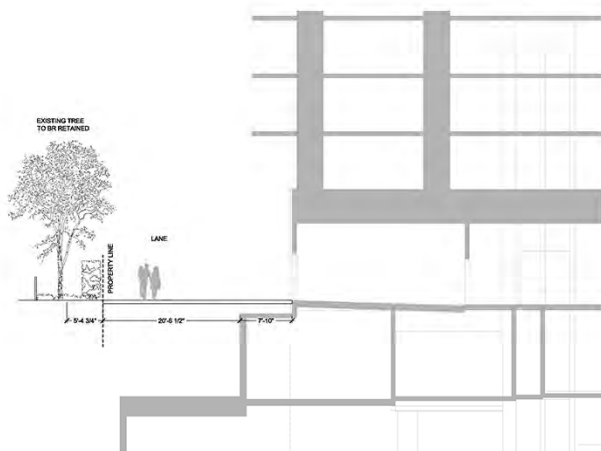
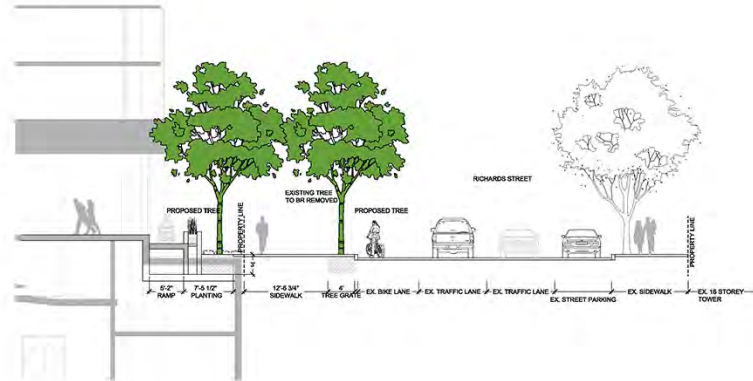
1 CROSS SECTION A
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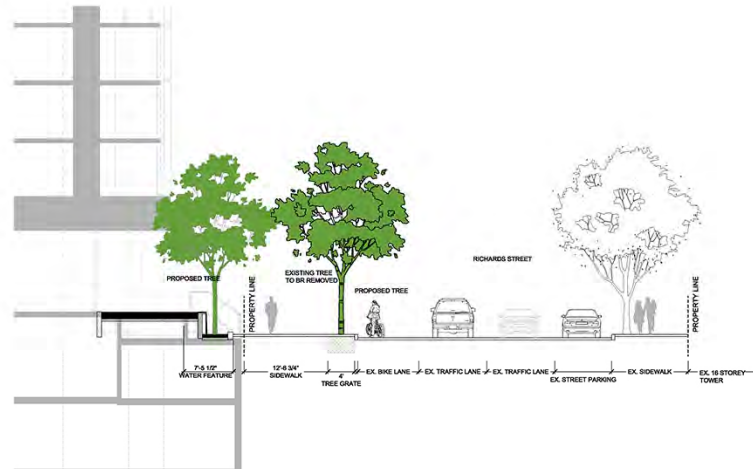
2 CROSS SECTION B
SCALE: 1/8" = 1'-0"



1 CROSS SECTION C
SCALE: 1/8" = 1'-0"



2 CROSS SECTION D
SCALE: 1/8" = 1'-0"



REVISIONS		
NO.	DATE	DESCRIPTION
1.	SEP 26, 2015	DP SUBMISSION

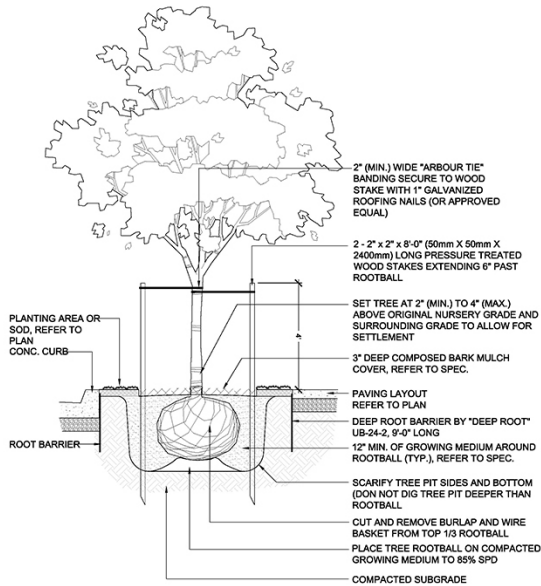
1111 RICHARDS
(508 HELMCKEN)

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APPLICATION

LANDSCAPE SECTIONS
-RICHARDS STREET

DATE
DRAWN BY: GJ
CHECKED BY: AL
SCALE: 1/8" = 1'-0"
JOB NUMBER: 15034

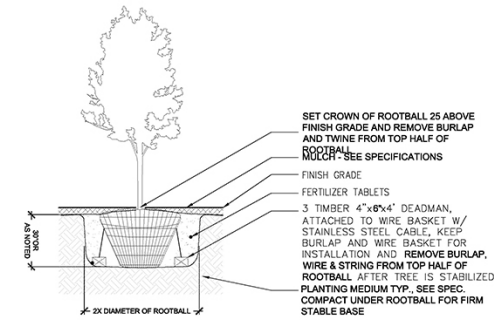
PROJECT NORTH
TRUE NORTH
L7.02



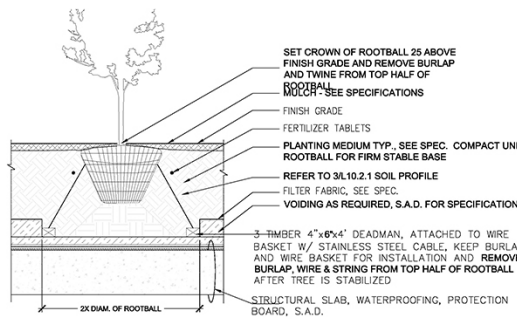
NOTES:

- TREE STAKES TO BE REMOVED AFTER ONE FULL YEAR FROM TIME OF SUBSTANTIAL COMPLETION.
- REMOVE TREE WRAP, PACKAGING AND TAGS AT TIME OF STAKING.
- REMOVE ONLY DEAD OR BROKEN BRANCHES.
- DO NOT CUT LEADER.
- WATER TO SATURATION. REMOVE AIR SPACE WITH SOIL PORES.
- ALL TREES TO BE NATURAL FORM, NO TIPPING, SHEARING ALLOWED.

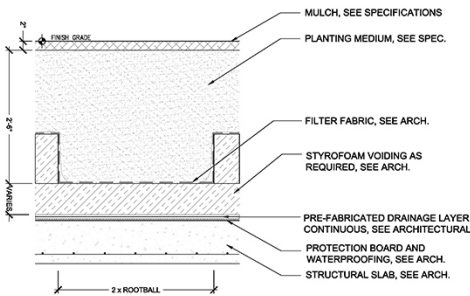
1 STREET TREE PLANTING
SCALE: N.T.S.



TREE PLANTING ON GRADE

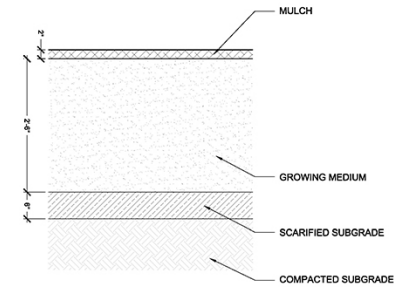


TREE PLANTING ON STRUCTURE

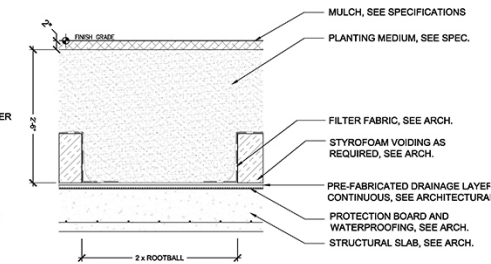


TREE PLANTING ON SLAB, WITH VOIDING

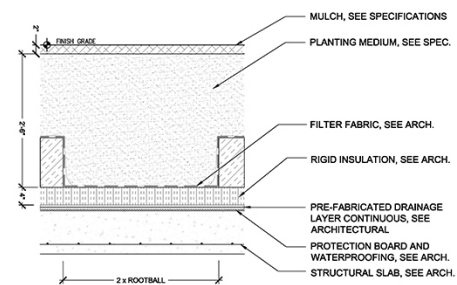
2 TREE PLANTING
SCALE: N.T.S.



TREE PLANTING ON GRADE



TREE PLANTING ON SLAB, MINIMUM DEPTH



TREE PLANTING ON INSULATED SLAB

REVISIONS	NO.	DATE	DESCRIPTION
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(508 HELMCKEN)

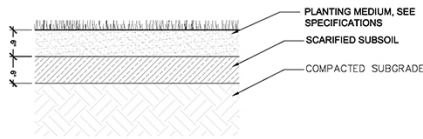
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APPLICATION

LANDSCAPE DETAILS
-PLANTING

DATE DRAWN BY: GJ
CHECKED BY: AL
SCALE: 1" = 1'-0"
JOB NUMBER: 15034

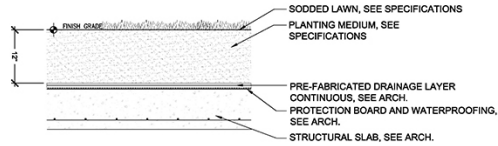


L8.01

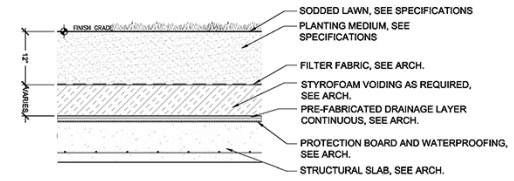


LAWN TYP. ON GRADE

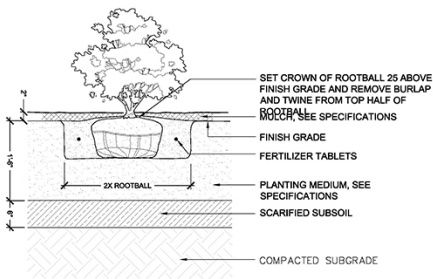
1 LAWN
SCALE: 1"=1'-0"



LAWN PLANTING ON SLAB,
MINIMUM DEPTH

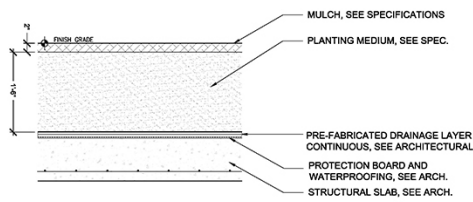


LAWN PLANTING ON SLAB, WITH
VOIDING

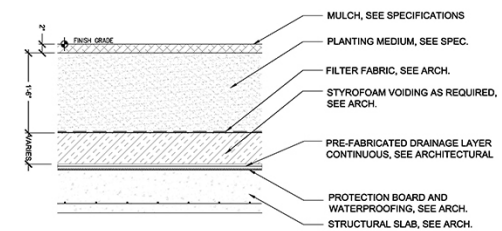


SHRUB PLANTING ON GRADE

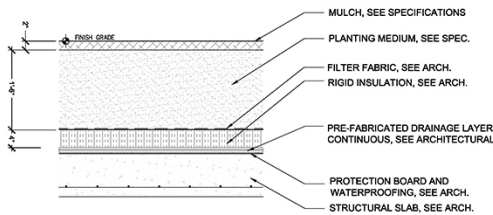
2 SHRUB PLANTING
SCALE: 1"=1'-0"



SHRUB PLANTING ON SLAB,
MINIMUM DEPTH

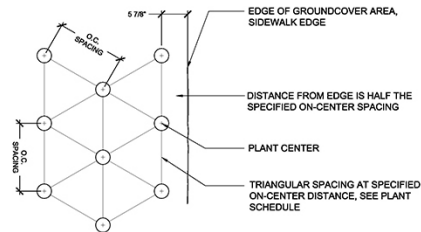


SHRUB PLANTING ON SLAB, WITH
VOIDING



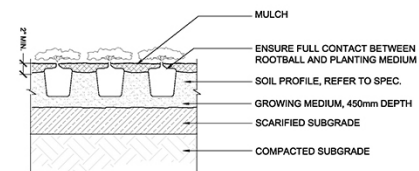
SHRUB PLANTING ON INSULATED
SLAB

2 SHRUB PLANTING
SCALE: 1"=1'-0"



PLANT LAYOUT

3 GROUNDCOVER PLANTING
SCALE: 1"=1'-0"



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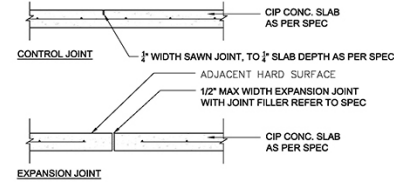
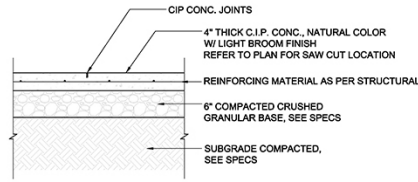
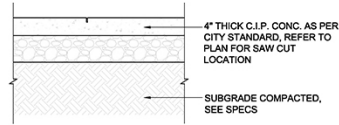
DEVELOPMENT PERMIT
APPLICATION

LANDSCAPE DETAILS
-PLANTING

DATE
DRAWN BY: GJ
CHECKED BY: SL
SCALE: 1" = 1'-0"

JOB NUMBER 15034

PROJECT NORTH TRUE NORTH L8.02

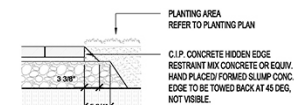
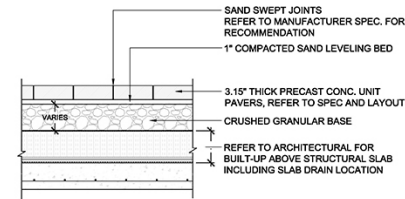
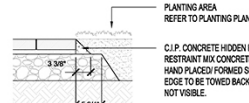
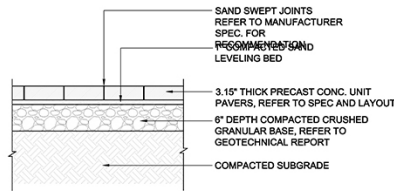


- NOTE:
1. CONSTRUCT ALL CONTROL JOINTS AT CONSISTENT WIDTH
2. CUT JOINTS BEFORE RANDOM CRACKING OCCURS
3. CONFIRM ALL CONSTRUCTION JOINTS & SAW CUTS WITH PFS PRIOR TO COMMENCING RELATED WORK. SPACE AT 10' MAX. REFER TO LAYOUT PLAN.

1 CIP CONCRETE PAVING
SCALE: 1" = 1'-0"

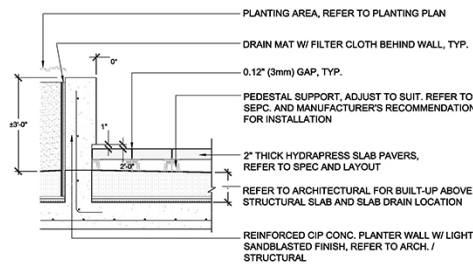
2 CIP CONCRETE PAVING - VEHICULAR
SCALE: 1" = 1'-0"

3 CIP CONCRETE JOINTS, TYP.
SCALE: 1" = 1'-0"

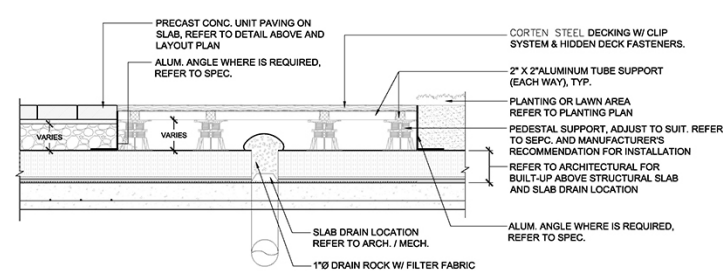


4 PRECAST CONCRETE UNIT PAVING
SCALE: 1" = 1'-0"

5 PRECAST CONCRETE UNIT PAVING ON SLAB
SCALE: 1" = 1'-0"



6 PRECAST CONCRETE UNIT PAVING ON PEDESTAL (LEVEL 10)
SCALE: N.T.S.



7 CORTEN STEEL DECK ON PEDESTAL
SCALE: 1" = 1'-0"

REVISIONS	NO.	DATE	DESCRIPTION
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(508 HELMCKEN)

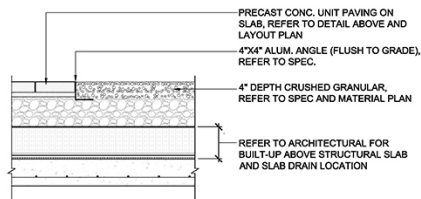
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LANDSCAPE DETAILS
-PAVING

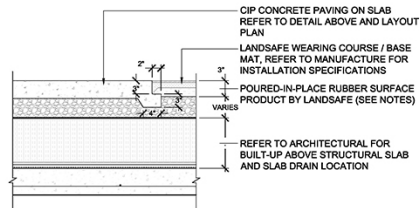
DATE
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CHECKED BY: SL
SCALE: 1" = 1'-0"

JOB NUMBER 15034

PROJECT NORTH TRUE NORTH
L8.03

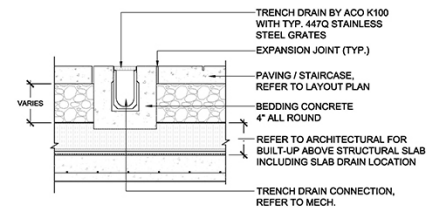


1 CRUSHED GRANULAR ON SLAB
SCALE: 1" = 1'-0"



- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. TOTAL THICKNESS OF POURED-IN-PLACE RUBBER SURFACING SYSTEM IS BASED UPON MAXIMUM FALL HEIGHT OF PLAY EQUIPMENT.
 3. COLOUR: REFER TO LAYOUT PLAN

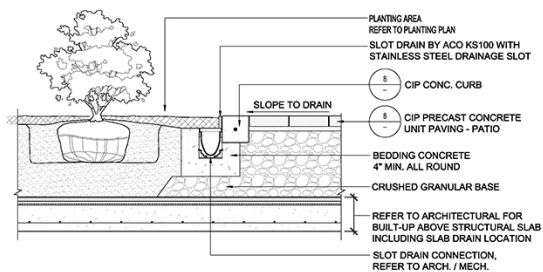
2 RUBBERIZED PLAYGROUND SURFACE
SCALE: 1" = 1'-0"



NOTES:

1. A MINIMUM CONCRETE STRENGTH OF 25MPa IS RECOMMENDED FOR TRENCH DRAIN ONLY. THE CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
2. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 3mm ABOVE THE TOP OF THE CHANNEL EDGE.
3. EXPANSION AND CRACK CONTROL JOINTS ARE RECOMMENDED TO PROTECT THE CHANNEL AND THE CONCRETE SURROUND.
4. REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR COMPLETE DETAILS.
5. THE GRATED TRENCH DRAINAGE SYSTEM SHALL BE ACO KLASSIKRAIN K100 SYSTEM AS MANUFACTURED BY ACO POLYCRETE PTY LTD.

3 TRENCH DRAIN
SCALE: 1" = 1'-0"



NOTES:

1. SPECIFIC SITE CONDITIONS MAY REQUIRE AN INCREASE IN THE CONCRETE ENCASEMENT DIMENSIONS AND/OR REINFORCEMENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE CONCRETE ENCASEMENT IS DESIGNED FOR THE APPLICATION. A MINIMUM CONCRETE STRENGTH OF 25MPa IS RECOMMENDED. THE CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS. ENGINEERING ADVICE MAY BE REQUIRED.
2. THE FINISHED LEVEL OF THE PAVERS MUST BE APPROXIMATELY 3mm ABOVE THE TOP OF THE BRICKSLOT.
3. THE PAVER COURSE ADJACENT TO THE BRICKSLOT MUST BE FULLY BONDED TO THE CONCRETE ENCASEMENT.

4 SLOT DRAIN
SCALE: 1" = 1'-0"

gbl

GBL ARCHITECTS INC.
129 EAST 8TH AVENUE TEL: 404.736.1156
UNIVERSITY, NC 27596 FAX: 404.736.1079
WWW.GBLARCHITECTS.COM
NOTES

REVISIONS		
NO.	DATE	DESCRIPTION
1.	SEPT 26, 2015	DP SUBMISSION

1111 RICHARDS
(508 HELMCKEN)

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APPLICATION

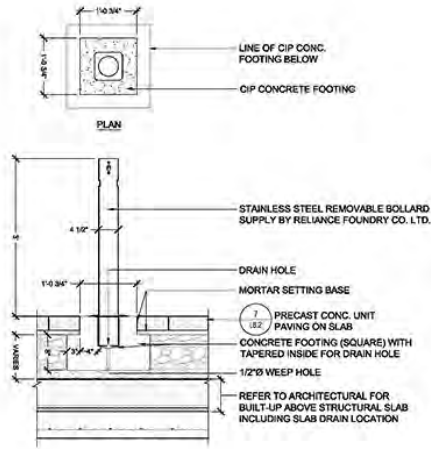
LANDSCAPE DETAILS
-PAVING

DATE
DRAWN BY: GJ
CHECKED BY: JL
SCALE: 1" = 1'-0"

JOB NUMBER 15034



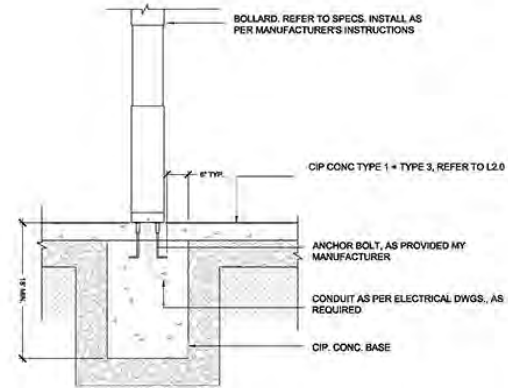
L8.04



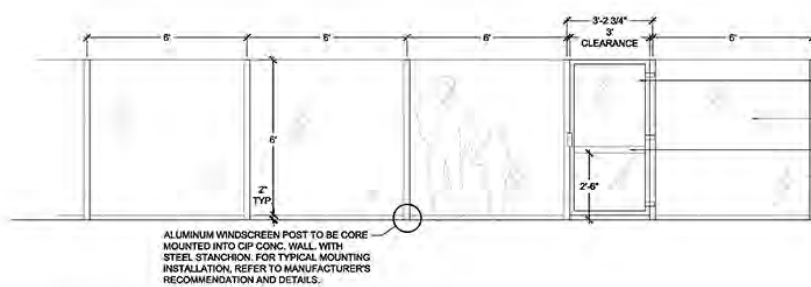
1 REMOVABLE BOLLARD
SCALE: 1" = 1'-0"



SAMPLE PHOTO OF BOLLARD



2 FIXED BOLLARD
SCALE: 1" = 1'-0"



- NOTES:
1. PROVIDE ENGINEERED SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
 2. REFER TO MANUFACTURER'S SPECIFICATION FOR FINISH.

GLASS GATE SYSTEM WITH GATE LOCK, LATCH, & SELF-CLOSING HINGES SUPPLY BY C.R. LAURENCE
FINISH: ALUMINUM (OR APPROVED EQUAL)
12mm (1/2") MONOLITHIC TEMPERED GLASS
FLAT POLISH ALL EXPOSED EDGES
3'-0" LONG PANIC BAR BEYOND (FACING PLAY AREA)
2" X 2-5/8" RECTANGULAR ALUMINUM WINDSCREEN POSTS SUPPLY BY C.R. LAURENCE (AWS ALUM. WINDSCREEN SYSTEM)
COLOUR: GREY
WINDSCREEN GUIDE

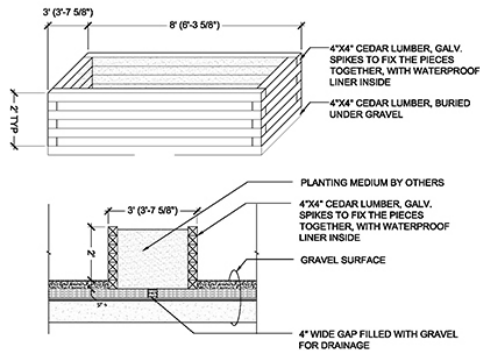


SAMPLE PHOTO OF GLASS PANELS

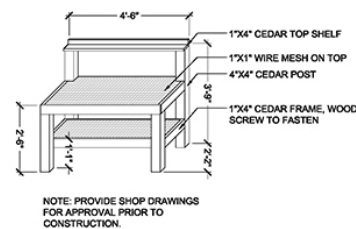


SAMPLE PHOTO OF GATE

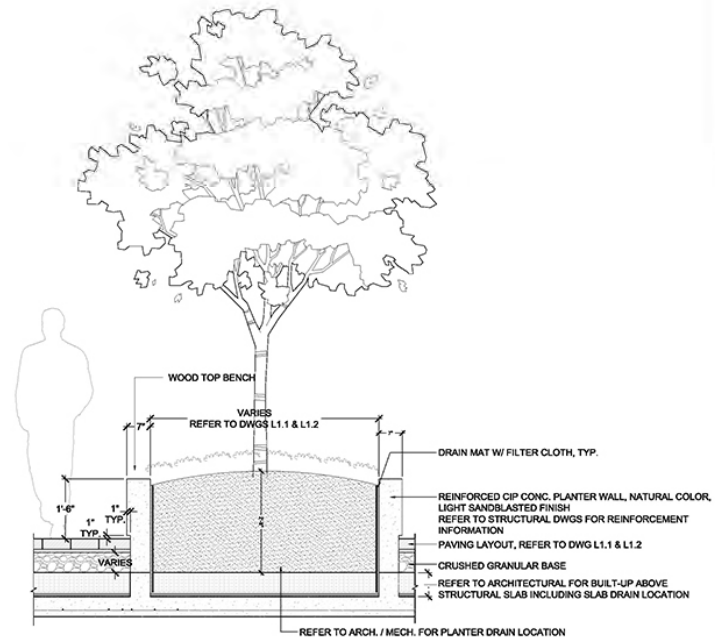
1 6'-0" HT. GLASS PANELS SCREEN
SCALE: 1/2" = 1'-0"



2 WOOD PLANTER
SCALE: 1/2" = 1'-0"



3 WOOD POTTING BENCH
SCALE: 1/2" = 1'-0"



4 CIP CONCRETE PLANTER
SCALE: 3/4" = 1'-0"

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(508) HELMCKEN

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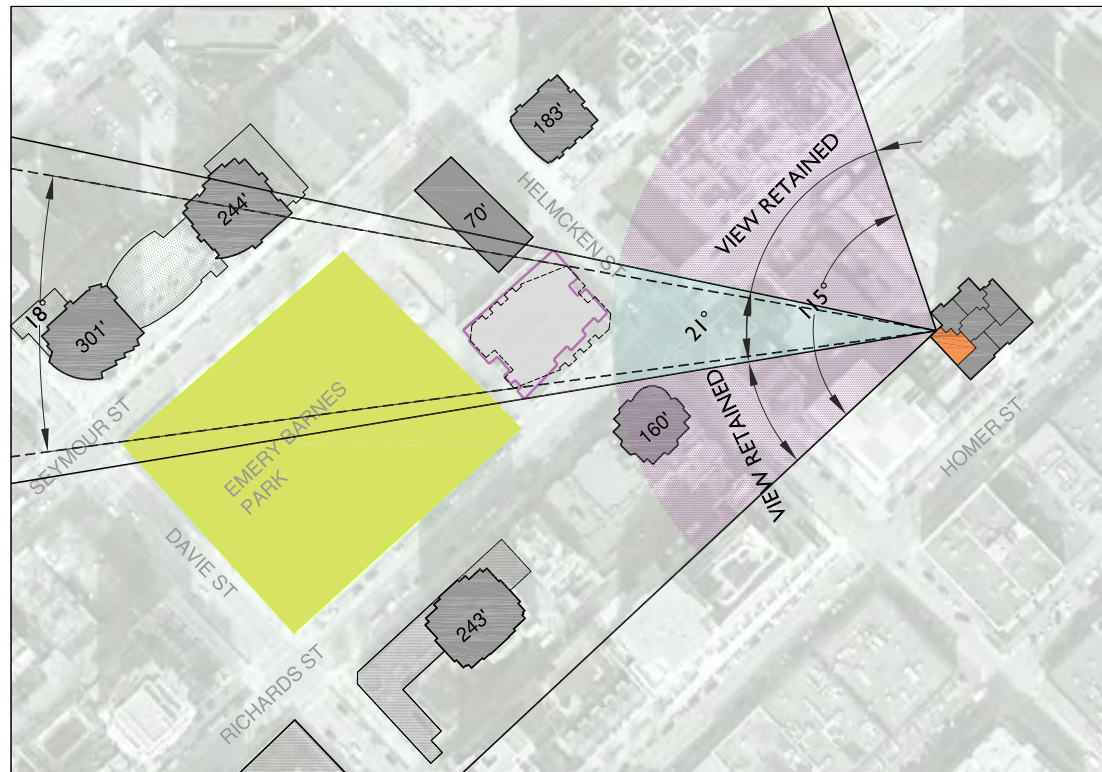
LANDSCAPE DETAILS
-FEATURES


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JOB NUMBER 15034

PROJECT NORTH

L8.06

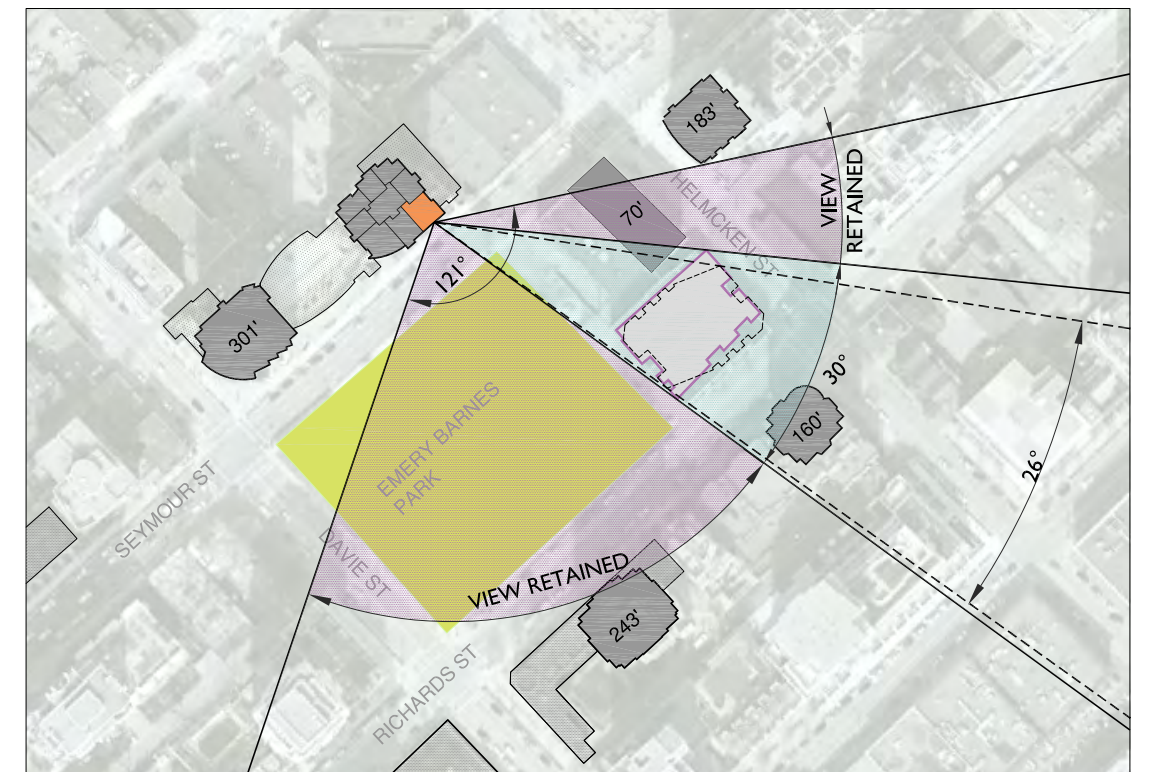




DOMUS
 Height 257'

— Proposed tower height 320'
 - - - Rezoning tower height 320'

Existing view angles retained
 Existing view angle interrupted

18% of 115 degree view interrupted by proposed development





BRAVA NORTH
 Height 244'

— Proposed tower height 320'
 - - - Rezoning tower height 320'

Existing view angles retained
 Existing view angle interrupted

25% of 121 degree view interrupted by proposed development





FREESIA
 Height 183'

— Proposed tower height 320'
 - - - Rezoning tower height 320'

Existing view angles retained
 Existing view angle interrupted

43% of 106 degree view interrupted by proposed development





ROBINSON
 Height 183'

— Proposed tower height 320'
 - - - Rezoning tower height 320'

Existing view angles retained
 Existing view angle interrupted

52% of 147 degree view interrupted by proposed development

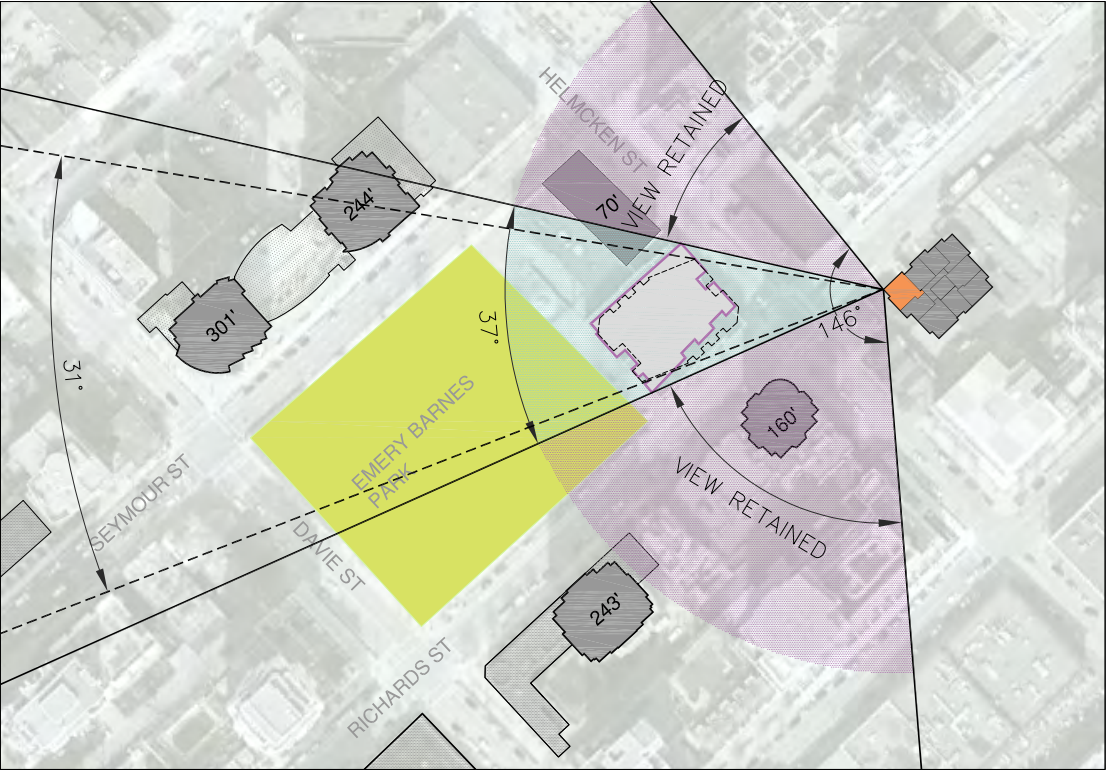




PARK PLAZA
 Height 243'

— Proposed tower height 320'
 - - - Rezoning tower height 320'

Existing view angles retained
 Existing view angle interrupted

19% of 148 degree view interrupted by proposed development





1088 RICHARDS
 Height 180'

— Proposed tower height 320'
 - - - Rezoning tower height 320'

Existing view angles retained
 Existing view angle interrupted

25% of 146 degree view interrupted by proposed development

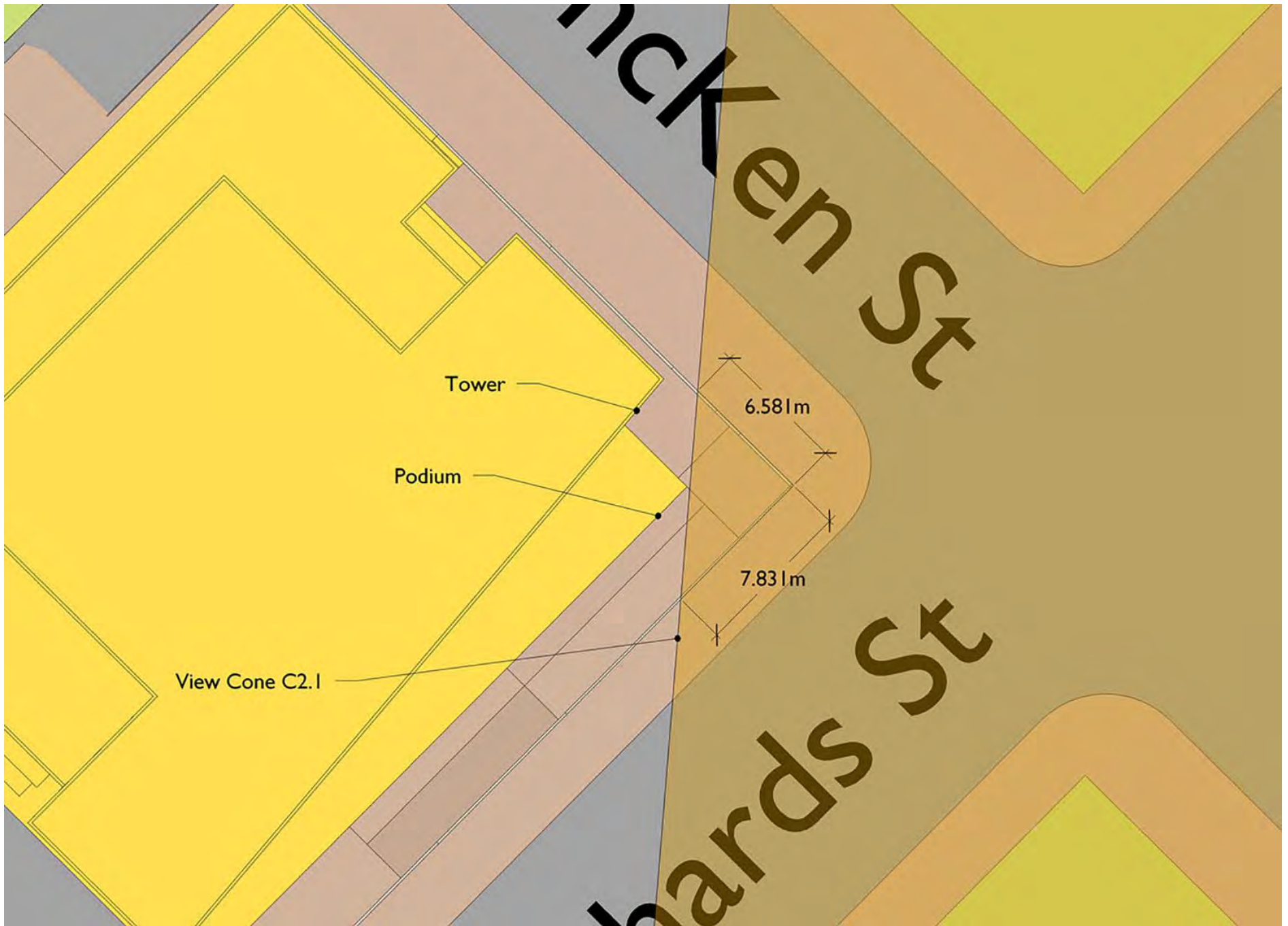



1099 RICHARDS
 Height 180'

— Proposed tower height 320'
 - - - Rezoning tower height 320'

Existing view angles retained
 Existing view angle interrupted

44% of 146 degree view interrupted by proposed development



1111 RICHARDS (508 HELMCKEN) DESIGN RATIONALE

SITE CONTEXT

The site is located at the western corner of Richards and Helmcken Street – positioned at the convergence of three surrounding contextual zones. **EMERY BARNES PARK** flanks the western edge of the site, providing a large public green space and unobstructed views to the site from Davie Street. The **URBAN GRID** of Helmcken and Richards streets front the southern and eastern edges of the site, distinguished by the Richards Bike Lane, future Helmcken Greenway, and the neighbouring eight storey heritage Brookland Court. On a larger scale, the surrounding **YALETOWN SKYLINE** provides a variety of architectural styles and residential tower expressions. Establishing a building form and character that appropriately responds to all three of these unique contexts is the foundation of the proposed tower's conceptual design.

BUILDING MASSING

Starting with the approved rezoning massing, the building concept has been re-evaluated from its most basic form. By taking into consideration comments from the City staff, public, and previous Urban Design Panel, we were able to establish a massing concept that is much more responsive to the surrounding context and presents the density on this site in a scaled-down, finer texture.

The most basic gesture of this approach was to visually bisect the tower with a recessed spine. From there, we bumped out the base to emphasize a volume at a similar scale to the neighbouring Brookland Court. An undercut is then provided between the tower and base to further the distinction between the two. The volume closest to the park is stepped down two storeys to reduce the height along the park edge. This results in three volumes that can each take on a distinct character in response to the context that is shaping it.

PROPORTION & ARTICULATION

The three volumes are further scaled through a consistent proportion of eight storeys that is derived from the height of Brookland Court, maintaining a consistent scale throughout the entire building composition. Each volume is uniquely modulated in response to one of the three contextual zones.

The **URBAN BASE** is eight storeys in height to match Brookland Court. The main façade consists of glazing and stone panels, while an outer screen of vertical aluminum fins creates a volume that feels more uniformly solid – particularly when

viewed from the street at oblique angles. The rhythm of fins is shifted at levels five and eight, aligning with the midpoint of the window bays and cornice line in Brookland Court.

The **PARK TOWER** is 32 storeys of dwellings wrapped in balconies to provide large private outdoor space directly adjacent to public park. At the base of this volume, a Montessori School projects out – providing an active edge with children during the day and serving as a backlit “lantern” along the park edge in the evening. The balconies are broken into four modules of eight. The bottom module has the smallest amount of balcony frontage to minimize overlook to the adjacent building. Each module progressively increases going up, as the views increase and overlook issues decrease.

Finally, the **YALETOWN TOWER** – at 24 storeys – sits above the base and projects up to the underside of the view cone. It is clad in thermally superior curtain wall glazing and shrouded in a diamond patterned solar lattice. The diamond shape provides for uniform shading going from the southeast to southwest facades and gives this volume a unique identity as it relates to the vertical expression of the Urban Base and horizontal expression of the Park Tower. The eight storey module is continued here by repeating the diamond pattern three times over the 24 storeys.

LANDSCAPE

Design Intent

The landscape for 508 Helmcken is intended to:

- Integrate with the design guidelines for the streetscapes of Downtown South
- Maintain pedestrian, cyclist, and Park board service vehicle access to Emery Barnes Park
- Provide an attractive, well designed interface to Emery Barnes Park to the west, south and east of the new building that can be used by pedestrians and cyclists
- Retain all existing trees and landscape in Emery Barnes Park and introduce a landscape screen between the dog off-leash area and the mews along the east side of the new building
- Provide a buffer between the Montessori Preschool's outdoor playspace and Emery Barnes Park while ensuring easy access for preschoolers into the park to use its playground and other facilities.

Helmcken Streetscape

The Helmcken streetscape responds to the guidelines for Downtown South with a double row of red maple trees to match the proposed new street trees on the north side of the block. All street trees will be newly planted to achieve the intended double row canopy. Trees will be planted in the Downtown South grates and surrounding details within a poured concrete sidewalk. Space has been allocated for a full bike station on the development site within a building setback to avoid conflicts with movement on the public sidewalk.

Richards Streetscape

The Richards streetscape also conforms to the Downtown South guidelines with a double row of newly planted red maple trees. The adjacent entries to the market and rental apartments are located on a deck a few steps up from the street and flanked on both sides by water features and planters. A ramp access is provided from the corner. The southern of the two water features also provides an access and acoustic buffer to the outdoor eating terrace of the restaurant that occupies the southwest corner of the building. The activity on the eating terrace provides animation and interest along both Richards Street and the access route along the south side of the building.

Southside Interface to the Park

The south edge of the development site is a service lane paved with concrete pavers that also form the surface of the outdoor eating patio for the restaurant. The east section of the service lane is configured to maintain access for the Vancouver Park Board to a small pump building within the park with a moveable bollard to prevent use by other vehicles.

West of the park maintenance access the service lane is designed for pedestrian access to the park for building residents and for the Montessori Preschool. The preschool will have a covered and fenced outdoor playspace next to its indoor facilities with a gated access from the lane.

Westside Mews

The eastern edge of the development site is a paved mews featuring a herringbone pattern in a lively mix of concrete colours. The mews functions for access by vehicles to the underground parking entrance near Helmcken Street and two loading bays to

the south. It also will be shared with pedestrians, cyclists, garbage trucks, park service vehicles, and Handy Dart service for Brookland Court.

Level 10 Outdoor Amenity Space

An outdoor area on Level 10 provides an outdoor deck next to the amenity space for rental tenants. A row of trees wraps around these outdoor spaces as a feature of the building façade at Level 10. The amenity space deck is on the north half of this roof area. It is designed with corten steel paving, moveable outdoor tables and chairs, and a barbeque. The trees are planted within a strip of planter around the outer edges. A water feature is designed to mediate between the amenity deck and the adjacent patio as a visual and acoustic buffer.

Level 34 Outdoor Amenity Space

A roof deck on Level 34 serves the residents of the market units with an outdoor deck next to their indoor amenity space. Furnishings and a partial glass canopy provide for outdoor eating and lounging. Raised beds for urban agriculture are also available for the use of residents. Views from this outdoor amenity to the Emery Park and north mountain are maintained.

Nighttime Lighting Concept

The lighting concept offers a number of features to provide visual interest and assist wayfinding at night, including:

- Uplighting of the street trees that are located on private property
- Recessed lights in the handrails, retaining walls, and ground plane around the entrances to the building
- Underwater lighting within the water features
- Lighting within the canopy over the preschool playspace
- Recessed lights designed to be driven over within the paving of the mews to alert users to the location of the underground parking ramp and the intersection with the east-west service lane.

On the upper decks, lighting is used to illuminate the central water feature on Level 10. Recessed wall lights, uplighting of the building walls, and lights within the overhead canopy on Level 34 are used to delineate the edges of the amenity decks and provide ambient lighting for night use.

**508 Helmcken
Conditions of Approval**

Urban Design Tower

1. Design development to accommodate the Downtown South public realm setbacks and hard and soft landscape treatment, extending at least 16.8 m (55 ft.) from the corner of Richards Street.

Note to applicant: Intent is to provide room for the characteristic street interface for this neighbourhood, which includes a double row of street trees, and to ensure sufficient pedestrian-oriented space on both sides of this significant location on the intersection of two bikeways and two vehicle roadways. See also Landscape conditions regarding a more active character for the exterior design. See Downtown South design guidelines.

RESPONSE: Building has been setback as noted. Double row of street trees shown in landscape plans.

2. Design development to the upper portion of the tower to enhance its architectural contribution to the city skyline, and to visually distinguish the uppermost floors from the rest of the building.

Note to applicant: As this proposal is designed to just under the view cone line, the top of the tower will be readily visible from distant locations. Further design development should consider reducing the height of some portions of the perimeter to be notably lower than others, by setting back or terracing the upper floors, or some combination thereof. Consideration should be given to massing changes that will also reduce the length of shadowing and the apparent height as seen from the park. Note that service equipment including window washing apparatus, cell towers or antennae cannot extend into the view cone.

RESPONSE: Tower massing has been re-designed with extra consideration given to step the top. The tower face fronting Richards is 35 storeys while the tower face fronting the park drops down to 33 storeys.

3. Design development to reduce the apparent visual mass of the tower through exterior design, composition, and finishes.

Note to applicant: Consider the use of graduated changes to balconies, colours and materials in the vertical axis, or similar visual effects to support the vertical massing elements proposed and to reduce the apparent size of the floor plates.

RESPONSE: The building concept has been completely revised and now proposes a "three building scheme." Each building responds separately to the three unique site contexts - Emery Barnes Park, the urban grid and public realm, and the Yaletown skyline. The overall building composition integrates these three elements to create a much more layered and rich massing.

4. Consideration to locate residents' bulk storage below grade, to limit the size of the tower.

Base

5. Provision of commercial space on grade on Richards Street and facing onto Emery Barnes Park.

Note to applicant: Intent is to create a more active space that can serve the general public, and to maximize the opportunity of this corner that is unique in terms of sunlight and expected pedestrian traffic. This can be accomplished by replacing the proposed townhouses on Richards Street with commercial retail space. The commercial space should be designed to accommodate food service or a small restaurant, with provision for outdoor patio space on the site.

RESPONSE: Commercial space has been provided at grade, fronting Helmcken, Richards, and the park. Patio space provided along park edge.

6. Substantial reduction in the amount of private entrance and lobby space occupying the building along the ground floor, especially at the intersection of Richards and Helmcken streets.

Note to applicant: Intent is to limit the amount of passive circulation space located adjacent to the public realm interface, to allow more active uses to face the sidewalk.

RESPONSE: There are now separate lobbies for the market and rental directly adjacent to each other and fronting Richards Street. This allows for a more compact lobby area and opens up the corner of Richards and Helmcken for commercial use.

7. Design development to provide variety and interest to the architectural expression of the building with high quality durable materials that will contribute to the character and quality of the area.

Note to applicant: A high quality development that establishes a robust compatible character with the existing neighbourhood fabric is sought.

RESPONSE: The building concept has been completely revised and now proposes a "three building scheme." Each building responds separately to the three unique site contexts - Emery Barnes Park, the urban grid and public realm, and the Yaletown skyline. The overall building composition integrates these three elements to create a much more layered and rich massing.

8. Design development to the ground-oriented storefront, display and weather protection to ensure variety and pedestrian interest in the expression of tenancies along the street frontages.

Note to applicant: Continuous weather protection should be provided.

RESPONSE: Continuous canopy shown along commercial and lobby

frontages. The restaurant and retail store frontages feature a prominently glazed envelope that will allow future tenants to create a unique frontage and identity.

9. Provision of a signage strategy to ensure a well-conceived approach to announcing the various tenancies.

Note to applicant: Strategy should confirm signage hierarchy, location and type in a separate package from the drawing set, provided for reference. Back-lit box signs are not supported. The strategy should demonstrate a fine-grained and creative approach that reflects this unique location.

RESPONSE: Coordination is on-going with a public art consultant and future tenants to fully integrate the signage, canopies, and public art features along the ground floor frontages. A separate package will be submitted with further development of these details.

Sustainability

10. Identification on the plans and elevations of the built elements contributing to the building's sustainability performance as required by the Green Buildings Policy for Rezoning, including at a minimum 63 points in the LEED® rating system, six optimize energy performance points, one water efficiency point, and one storm water point.

Note to applicant: Provide a LEED® checklist confirming the above and a detailed written description of how the above-noted points have been achieved with reference to specific building features in the development, and notation of the features on the plans and elevations. The checklist and description should be incorporated into the drawing set. Registration and application for certification of the project is also required under the policy.

RESPONSE: Sustainability features have been noted. Separate sheet included with more elaborate sustainability rationale and updated LEED checklist.

Crime Prevention Through Environmental Design (CPTED)

11. Design development to respond to CPTED principles, having particular regards for:
 - (a) theft in the underground parking;
 - (b) residential break and enter;
 - (c) mail theft; and
 - (d) mischief in alcove and vandalism, such as graffiti.

Note to applicant: Building features proposed in response to this condition should be noted on the plans and elevations. Consider use of a legend or key to features on the drawings. Consultation with the social housing operators and Park Board staff with experience of the more specific CPTED risks in this area is recommended, and should be included the response to this condition.

RESPONSE: Car share, CRU, and daycare stalls have been located at P1 and P2 with a separate secured access to the residential parking below. All elevator lobbies will be secured with high visibility. Market and rental mailboxes are set away from the main entry while highly visible to traffic to and from elevators. The ground level in particular has been kept as open and simple as possible to enhance sightlines and clearly delineate public from private.

Landscape

12. Design development to Helmcken Street and Richards Street to provide a high quality public realm that includes the Downtown South/ New Yaletown design standards and a double row of street trees at grade (applicable to building setback portions only).

Note to applicant: The water feature, as proposed, should be deleted. The underground slab at or near the property lines to angle down to provide contiguous soil volumes for the inside row of trees or landscaping on private property.

RESPONSE (PFS): The water feature at the corner of Helmcken Street and Richards Street has been deleted. Underground slab has been stepped down to provide contiguous soil volumes for the inside row of trees and landscape. Water feature at Richards lobby entrance was provided to enhance entry and create a high quality public realm. See landscape plan L1.01 and sections L7.02.

13. Further design development to the south and west side of the building (at grade) to respond to the anticipated programming opportunities, the park context, circulation, ownership and demarcation of property lines.

Note to applicant: In addition to activities associated with the site, the west lane and possibly a portion of the south edge should be open and accessible for pedestrians on- and off-site, including circulation to and from the park to the adjoining street. For the northern portion of the west lane, pedestrian safety and traffic calming measures need to be considered. The relationship to the park requires improvement. The area south of the bollards in the west lane and the connections to the park should be pedestrian oriented, enhanced with special paving, layered planting and trees. The south side perimeter should be pedestrian oriented and relate to the specific programming of the adjacent uses, including the school. There is an opportunity for café seating and a patio that takes advantage of the adjacent park amenity. Careful attention will be needed to ensure that the overall approach to edge definition between the public park, Richards Street and private property is consistent with the intended use while clearly demarcating ownership. Incorporate additional planting where circulation is not necessary. Landscape materials should be informed by, and compliment, the park. Provision of enlarged details and a maintenance plan to ensure the success of the proposed trees shown on the high rise balconies.

Note to Applicant: While the provision of permanent landscaping on patios and planters is supported, there are concerns about the limitations of soil volume related to the size of planters and lack of

access to the patios for periodic maintenance. Further details of the proposal need to be provided.

RESPONSE (PFS): Requirements have been met. The west lane and south lane were designed to be open and accessible for park users. Based on the on-site meeting with City staffs, Fixed and movable bollards were located carefully to allow Park maintenance truck to access and temporarily park at the south end of the west lane and east end of the south lane adjacent to the pump room. A safe access protected by two fixed bollards connects the schoolyard to the park to take advantage of the park amenity. Park interface is defined by the special paving and additional planting. The restaurant's outdoor patio is defined by rail and small planters at the south side to ensure Park vehicle can access the pump room anytime. See L.c diagram plan.

14. Provision of enlarged details and a maintenance plan to ensure the success of the proposed trees shown on the high rise balconies.

Note to Applicant: While the provision of permanent landscaping on patios and planters is supported, there are concerns about the limitations of soil volume related to the size of planters and lack of access to the patios for periodic maintenance. Further details of the proposal need to be provided.

RESPONSE (PFS): The proposed trees located on the high rise private units' balconies on the rezoning application drawings have been removed. Only level 10 and level 34 amenity levels have trees planted in planter. There is no maintenance access issue. Enlarged details are provided in the drawing set. See L1.02, L1.03 and L8.05.

15. Site utilities and vents to be located on private property and integrated discreetly into the building, avoiding landscaped and common areas.

RESPONSE (PFS): Vents and site utilities have been located on the west lane to avoid impacts to landscaped and common areas. See landscape plan L.01.

16. At time of development permit application, the following:

- (a) Provision of a detailed Landscape Plan illustrating soft and hard landscape treatment.

Note to applicant: The Landscape plan should include a planting plan listing common and botanical name, size and quantity of all existing/ proposed plant material. Plant material should be clearly illustrated on the Landscape Plan and keyed to the Plant List. Illustrate and clarify all outdoor surface/paving materials, site furniture, bicycle racks, lighting, trash receptacles, hose bibs, signs, retaining wall treatment, anti-skateboard guards (where applicable), parking vents, at-grade utilities, and public realm (building edge to the curb, street trees, lamp posts, fire hydrants, sidewalk treatment).

RESPONSE (PFS): See landscape planting plans L4.01-4.03, material plan L1.01-1.03 and lighting plans L6.01-6.03.

- (b) Provision of a Tree Plan, including a strategy to retain/protect existing street trees and trees in the park.

Note to applicant: On busy commercial streets, site security fencing and construction staging may serve as tree protection. Existing street trees should be retained within the public realm. In the event that street trees require removal, new street trees must be provided. Contact Eileen Curran, Streets Engineering (604.871.6131) and Park Board (604.257.8587) for street tree information. New street tree planting should include a notation on the plan: "Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services. New trees must be of good standard, minimum 6cm caliper, and installed with approved root barriers, tree guards and appropriate soil. Root barriers shall be 8 feet long and 18 inches in depth. Planting depth of root ball must be below sidewalk grade. Call Park Board for inspection after tree planting completion".

RESPONSE (PFS): See Landscape Demolition plan L0.1, arborist's report and tree management plan. New street trees were proposed to replace the existing street trees based on the arborist's report. The required notation has been added to the planting plan L4.01-4.03.

- (c) Provision of large-scale sections [typical] through the landscaped areas, including the ground-oriented residential interface, the slab-patio-planter relationship, the double row of street trees, the lane interface, common areas and upper storey planters.

Note to applicant: The sections should include the planter materials, tree canopy, tree stem, outline of the root ball, voiding, built up membrane and dimensions.

RESPONSE (PFS): The proposed ground-oriented residential units shown on the rezoning plan have been deleted. The sections for the street interface and the lane interface are on L7.01-7.02. The planting and planter details are on L8.01-8.05.

- (d) Provision of spot elevations to all outdoor areas (including top/bottom walls), including off-site context spot elevations in proximity (such as the park, public sidewalks, inner boulevards and lanes).

RESPONSE (PFS): Spot elevations are provided to all outdoor areas. See grading plan L3.01-L3.03.

17. Provision of adequate soil volumes and depths for planting on slabs and in planters.

Note to applicant: To ensure the long term viability of planting in non-continuous growing medium, soil depths must meet or exceed BCLNA planting standards. At the edges, new slabs should angle down to provide deeper soils.

RESPONSE (PFS): Underground slab has been stepped down to

provide contiguous soil volumes for the inside row of trees and landscape. The volume of planting medium has been calculated to meet BCSLA/BCLNA recommended soil volume. See L7.01-7.02 for sections and L4.01 for soil volume calculation.

18. Provision of an efficient irrigation system for all common outdoor planters (existing and new) and individual hose bibs to be provided for all patios of m 9.3 m² (100 sq. ft.) or greater in size. Specification notes and irrigation symbols to should be added to the drawing.

RESPONSE (PFS): Hose bibs have been added to the Level 10 and 34 plans, see L1.02-1.03. An irrigation note has been added to the planting plan L4.01-4.03.

Engineering

19. Compliance with the Parking and Loading Design Supplement to the satisfaction of the General Manager of Engineering Services.

Note to applicant: The following items are required to meet provisions of the Parking By-law and the Parking and Loading Design Supplement:

- (a) Provision of an Operations and Passenger Loading Management Plan, to the satisfaction of the Director of Planning in consultation with the General Manager of Engineering Services, from the operator of the proposed Montessori School which addresses but is not limited to how and where school children will be picked up and dropped off, where parents arriving by bike will unload their children including designated school drop-off spaces and expected pick up and drop off times.
- (b) Provision of on-site passenger loading spaces for use by the Montessori School, to the satisfaction of the General Manager of Engineering Services.

Note to Applicant: Consideration should be given to the provision of wider passenger loading spaces to facilitate faster and easier vehicle manoeuvring into and out of the space and reduced delays for residents who must drive past these spaces to exit.

RESPONSE: 8 pick-up/drop-off spaces for the Montessori school have been provided directly adjacent to the elevator on P2.

- (c) The following are related to the parking ramp:
 - i. Provide design elevations on both sides of the parking ramp at all break points and clarification of the length of ramp at the specified slope.

RESPONSE: Slopes and dimensions are shown.

- ii. Modify the parking entry ramp, to the satisfaction of the General Manager of Engineering Services, to provide adequate space for independent vehicle access to and from the parking ramp into the lane.

Note to Applicant: A corner-cut for the outbound vehicle will be required. Please clearly show turning swaths of vehicles indicating independent two-way access.

RESPONSE: Ramp has been re-designed to allow for adequate maneuvering space.

- iii. Provision of overhead doors at the rear of each loading space to ensure ease of furniture or goods movement particularly for the northerly loading space.

Note to applicant: Consideration to provide additional height and depth for the loading spaces beyond by-law obligations to accommodate SU9 vehicles is recommended.

RESPONSE: Loading has been re-designed to provide more direct access with oversized doors to both the market and rental lobbies.

- iv. Provision of 2.7 m x 2.7 m (approximately 9 ft. X 9 ft.) corner cuts to enable unimpeded movement of two vehicles to pass one another through right angled turns in the parkade where 200 or more vehicles are served.

RESPONSE: 9 ft. x 9ft. corner cuts provided at P1 and P2 prior to entering secure residential parking.

- v. Clarify the proposed Class A bicycle spaces for the school and clearly identify them as being for the school and ensure they are located on the P1 parking level.

RESPONSE: Separate bicycle storage rooms have been provided for the CRU and Montessori school at P1.

- (d) The following comments are related to the operation of the closed lane and are intended to ensure the closed portion of lane provides the operational needs of all users.

- i. Provide an appropriate number and type of bollards located to allow convenient pedestrian and cycling access through the bollards while limiting vehicular access to only those permitted beyond them. Note that the bollards should be located further south to ensure access to and from the loading bays. Please show turning swaths for vehicles using the loading bays.

RESPONSE: Six fixed telescoping bollards have been provided between west lane to the pump station to ensure the safe access to the park. Two movable bollards (one at west lane and one at Richards Street) are provided for the maintenance vehicle access from west lane and Richards Street. See L.b site plan.

- ii. Provide detailed technical information about the proposed telescoping bollards in the lane and make arrangements to the satisfaction of the General Manager of Engineering Services and Director of Legal Services for

their maintenance, repair and operation.

Note to applicant: Provide clarification on how the bollards will function, i.e., are they intended to be operated manually? The provision of lockable flip-down and/or removable bollards may be required as telescoping bollards may impact underground utilities.

RESPONSE: Telescoping removable bollards with locks have been provided. See landscape detail drawings L8.04.

- iii. Redesign of the on-site garbage room is required; access is not possible as shown.

Note to applicant: Please provide written confirmation that a waste hauler can access and pick up from the garbage storage location. Pick up operations should not rely on bins being stored on the street or lane for pick up; bins are to be returned to storage areas immediately after emptying.

RESPONSE: Garbage room has been re-located on P1 for easier access. Garbage holding area provided along lane.

- (e) The following note is to be placed on the landscape and site plans: This plan is Not For Construction of any public property facilities. A minimum of 8 weeks prior to the start of any construction on public property a landscape plan must be submitted to Engineering Services for review. No work on public property may begin until such plans receive "For Construction" approval and related permits are issued. Please contact Frank Battista at 604.873.7317 or Kevin Cavell at 604.873.7773 for details.

RESPONSE: Note has been placed on the landscape and site plans L1.01.

- (f) Requirements regarding the proposed sub-ground parking structures below sewers infrastructure in the lane West of Richards are as follows:
 - i. No sewer pipes should sit directly on top of the parking structure roof.
 - ii. There must be suitable protection in the roof structure to ensure that groundwater from the trench zone (or from leaky pipe joints) does not penetrate the roof.
 - iii. The pipe(s) must also be located in suitable aggregate backfill with adequate clearance between pipe and roof to allow the City to safely excavate and replace/repair in the future without undue risk of damaging the roof. The minimum adequate clearance is 300 mm from the outside bell invert of the lowest pipe to the nearest development structural boundary. Provision of a sacrificial concrete slab is recommended between the parkade structure and

the utilities.

RESPONSE: Acknowledged by design team.

Social Infrastructure

20. Design development to ensure that a minimum of 25 percent of the proposed rental units be designed to be suitable for families with children.

RESPONSE: 42 out of 110 (38%) rental units are two and three bedroom.

21. Design development of the second-floor indoor amenity room to include a kitchenette and storage space, and accessible WC with change table.

RESPONSE: Amenity spaces have been re-located to level 10 for rental and level 34 for market. Both areas incorporate kitchenette and an accessible WC with change table.

22. Design development of outdoor amenity at rooftop level to include shared garden plots, tool storage, a potting bench, a compost bin for yard waste, and hose-bib.

RESPONSE: Required amenities have been provided at rooftop level, see L1.03 and detail L8.05.