



COMMUNITY SERVICES GROUP

FOR THE DEVELOPMENT PERMIT BOARD
JANUARY 12, 2015

1600 HARWOOD STREET (COMPLETE APPLICATION)
DE418164 - ZONE CD-1

PO'S/BM/WL/LH

DEVELOPMENT PERMIT STAFF COMMITTEE MEMBERS

Present:

J. Greer (Chair), Development Services
M. Holm, Engineering Services
D. Naundorf, Social Infrastructure

Also Present:

P. O'Sullivan, Urban Design and Development Planning
B. Balantzyan, Development Services
W. LeBreton, Development Services

APPLICANT:

IBI/HB Architects
Attention: Salim Narayanan
700-1285 West Pender Street
Vancouver, BC
V6E 4B1

PROPERTY OWNER:

Devonshire Properties Inc.
#300-1333 Johnston Street
Pier 32, Granville Island
Vancouver, BC
V6H 3R9

EXECUTIVE SUMMARY

- **Proposal:** To develop this site with a multiple dwelling infill rental buildings and amenity space adjacent to existing towers. The proposal consists of: a nine-storey (97 unit) building at Cardero and Harwood Streets; a four-storey (21 unit) building fronting Beach Avenue; the conversion of 1 office unit to residential (at the base of Laurier tower), and a one-storey amenity building at Beach and Cardero Streets. The total number of new rental units proposed is 119.

See Appendix A Standard Conditions

Appendix B Standard Notes and Conditions of Development Permit

Appendix C Plans and Elevations

Appendix D Urban Design Panel Minutes - September 24, 2014

Appendix E Vancouver Heritage Commission Minutes - September 29, 2014

• **Issues:**

1. Interface of the midrise building at Cardero Street
2. Deletion of the residential unit at the base of the Laurier Tower

- **Urban Design Panel:** Support

DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATION: APPROVE

THAT the Board APPROVE Development Application No. DE418164 submitted, the plans and information forming a part thereof, thereby permitting the development of 119 rental units consisting of a nine-storey building at Cardero and Harwood Streets, a four-storey building fronting Beach Avenue, and a one-storey amenity building at Beach and Cardero Streets, subject to Council's approval of the Form of Development, subject to the following conditions:

1.0 Prior to the issuance of the development permit, revised drawings (sealed and signed) and information shall be submitted to the satisfaction of the Director of Planning, clearly indicating:

- 1.1 provision of high quality materials and the incorporation of passive design shading elements into south and west facades to address solar heat gain;

Note to Applicant: Intent is to reiterate Rezoning Condition 2. Detailed sections and elevations illustrating high quality material treatments at a scale of 1:25 are required.

- 1.2 design development to the public realm and building interface at the base of the mid-rise building along its Cardero Street frontage to further engage and enhance the public experience;

Note to Applicant: Intent is to reiterate Rezoning Condition 3 with specific reference to the condition at the mid-rise's Cardero Street interface. Strengthen the building's relationship to grade by expressing the exterior elevations of the lower level as a grounded extension of the upper floors rather than a differentiated "floating" base.

Provide grade-level residential entries for units facing Cardero Street. Entrances should be enhanced through the use of elements such as low walls, steps, special paving, special planting features, architecturally integrated canopies projecting from the building, and special lighting. Provide a garden setback area dedicated to display gardens and useable outdoor spaces. The existing concrete retaining wall may be deleted and any new retaining walls should be integrated with landscaping and unit entry areas to facilitate smooth transition to the public realm.

- 1.3 design development to the overall proportion of the building at Harwood and Cardero streets (Building B), to minimize its apparent bulkiness, in particular along the Harwood Street frontage; see 0

Note to Applicant: Intent is to reiterate Rezoning Condition 3.

- 1.4 design development to enhance the amenity building at Beach and Cardero Streets as a special building element while also contributing to the pedestrian experience and landscaped streetscape character of Cardero Street and Beach Avenue;

Note to Applicant: Intent is to reiterate Rezoning Condition 5. Building geometry and expression should be distinct but complimentary, rather than appearing foreign to other buildings on the site. Design development should consider a more pedestrian friendly corner and interface with buildings. Consider circulation at the corner and adding a public resting space with street furniture, special paving and landscaping. Public art could also be considered at this corner.

- 1.5 design development to improve site circulation;

Note to Applicant: provide clear identification of building entries to assist way-finding on the ground level plaza. Clearly delineate pedestrian areas from vehicle areas. Provide clear and convenient routes of pedestrian travel from the ground level plaza to Beach Avenue; and to Bidwell Street through the base of the Laurier Tower.

- 1.6 design development to delete the residential unit at the base of the Laurier Tower;

Note to Applicant: The CD-1 anticipates modest infill at the base of the Laurier Tower consisting of only office and amenity uses. Refer also to Heritage Condition A.1.34 which provides for maximizing transparency of views through the lobby areas that are proposed to be infilled at the base of the Laurier, MacDonald and Douglas towers. Additionally, Staff would have concerns about the livability of a residential unit at this location given its proximity to the parking ramp, its compromised privacy given its exposure to the public area near the entry lobby, and its lack of a private outdoor space.

- 2.0 That the conditions set out in Appendix A be met prior to the issuance of the Development Permit.
- 3.0 That the Notes to Applicant and Conditions of the Development Permit set out in Appendix B be approved by the Board.

• **Technical Analysis:** Parcel A (existing Towers 1, 3 & 4 + Buildings 2, 5 & 6)

	PERMITTED (MAXIMUM)	REQUIRED	PROPOSED
Site Size (existing)	-	-	Harwood Street 462.72 ft. Beach Avenue 33.31 ft./448.71 ft./20.80 ft. Cardero Street 265.67 ft. Bidwell Street 91.64 ft.
Site Area (existing)	-	-	89,666 ft. ² (0.833 ha)
Uses	Multiple Dwelling	-	Multiple Dwellings (Buildings 2, 5 & 6)
Floor Area & Density	existing 298,959 ft. ² Additions 89,095 ft. ² Total 388,054 ft. ²	-	existing 298,959 ft. ² Additions 89,081 ft. ² Total 388,040 ft. ²
Balconies ¹	Open 8% x 89,081 ft. ² = 7,126 ft. ² Enclosed 50% x 7,126 ft. ² = 3,563 ft. ²	-	Open 6,655 ft. ²
Height ²	Building 2 38.9 ft. Building 5 93.2 ft. Building 6 13.3 ft.	-	Tower 1 (existing) - infill/use (levels P1 & 1) Tower 3 (existing) - infill/use (level 1) Tower 4 (existing) - infill/add/use (levels P1 & 1) Bldg. 2 (low-rise) - top of guardrail 40.4 ft. - top of parapet wall 38.4 ft. Bldg. 5 (mid-rise) - top of parapet wall 92.9 ft. Bldg. 6 (amenity) - top of parapet wall 13.3 ft.
Horizontal Angle of Daylight ³	-	50°/78.7 ft. or sum of 2 angles of 70°/78.7 ft.	Low-Rise Levels 1 & 2 <50°/78.7 ft. (6 angles) Mid-Rise Levels 1 - 8 <50°/78.7 ft. (1 angle)
Parking ⁴	- Small Car 25% x 321 = 80	existing 198 additions 59 Total 257 Disability Spaces (568 units - 7) x 0.034/unit = 19 + 1 = 20	Standard 249 Small Car 52 Disability 8 Visitor 9 Compact (smart car) 3 Total 321
Bicycle Parking ⁵	- Vertical: 30% x 849 = 254	existing units Class A 561 Class B 6 New Units 149 12 Total 710 18 Horizontal: 50% x 849 = 425 Lockers: 20% x 849 = 170 Electrical Outlets: 1 outlet/2 Class A spaces	Horizontal Class A 350 Class B 0 Vertical 256 - Lockers 243 - Total 849 0 Electrical Outlets: 0 outlets
Loading ⁶	-	Class A 1 Class B 3	Class A 2 Class B 2
Amenity	lesser of 10% x 388,089 ft. ² = 38,809 ft. ² or 15,005 ft. ²	-	14,353 ft. ²
Unit Area ⁷	-	398 ft. ² → 320 ft. ²	Unit 108 327 ft. ² Unit 109 298 ft. ²
Unit Type	-	-	2 - studio 45 - one-bedroom 66 - two-bedroom 6 - three-bedroom 119 New Units 449 units existing 568 units total

¹**Note on Balconies:** Exclusion of balconies from floor area is calculated on the new residential floor area (additions) only.

²**Note on Height:** Pursuant to Section 10.11.1(d) of the Zoning and Development By-law, the Director of Planning may permit a greater height for access and infrastructure required to maintain green roofs or urban agriculture, subject to their siting and sizing in relation to views, overlook, shadowing, noise impacts and applicable policies and guidelines adopted by Council (refer to drawing DP6.00 in Appendix C). See discussion on Page 9 and Standard Conditions A.1.17 and A.1.18.

³**Note on Horizontal Angle of Daylight:** Refer to drawings DP6.01a and DP6.01b in Appendix C. A relaxation of H.A.D. is requested. See discussion on Page 9.

⁴**Note on Parking:** Standard Condition A.1.2 seeks compliance with Section 4.8.4 (Required Disability Parking Spaces) of the Parking By-law.

⁵**Note on Bicycle Parking:** Standard Condition A.1.3 seeks compliance with Section 6.2.1.2 (Table or Number of Required Off-Street Bicycle Spaces) for Class B bicycle space requirements and Section 6.3.13 (Horizontal and Vertical Bicycle Spaces) of the Parking By-law. The surplus 139 Class A bicycle spaces will be required for the development located on Parcel B. Standard Condition A.1.4 seeks compliance with Section 6.3.21 (Electrical Outlets) of the Parking By-law.

⁶**Note on Loading:** Three Class B loading spaces are required. Engineering supports a relaxation to provide two Class A loading spaces to replace one of the Class B loading spaces. Standard Condition A.2.9 seeks provision of an additional Class A loading space required under Schedule C of the Parking By-Law.

⁷**Note on Unit Area:** Pursuant to Section 10.21.2 of the Zoning and Development By-law, the Director of Planning may permit the floor area of a unit to be not less than 320 ft² if they are satisfied that the design and location of the unit provides satisfactory living accommodation. Standard Condition A.1.1 seeks compliance with Section 10.21 (General Regulations) of the Zoning and Development By-law for minimum unit floor area. See discussion on Page 9.

• **Legal Description**

Lot: A
Block: 63
District Lot: 185
Plan: EPP35224

• **History of Application:**

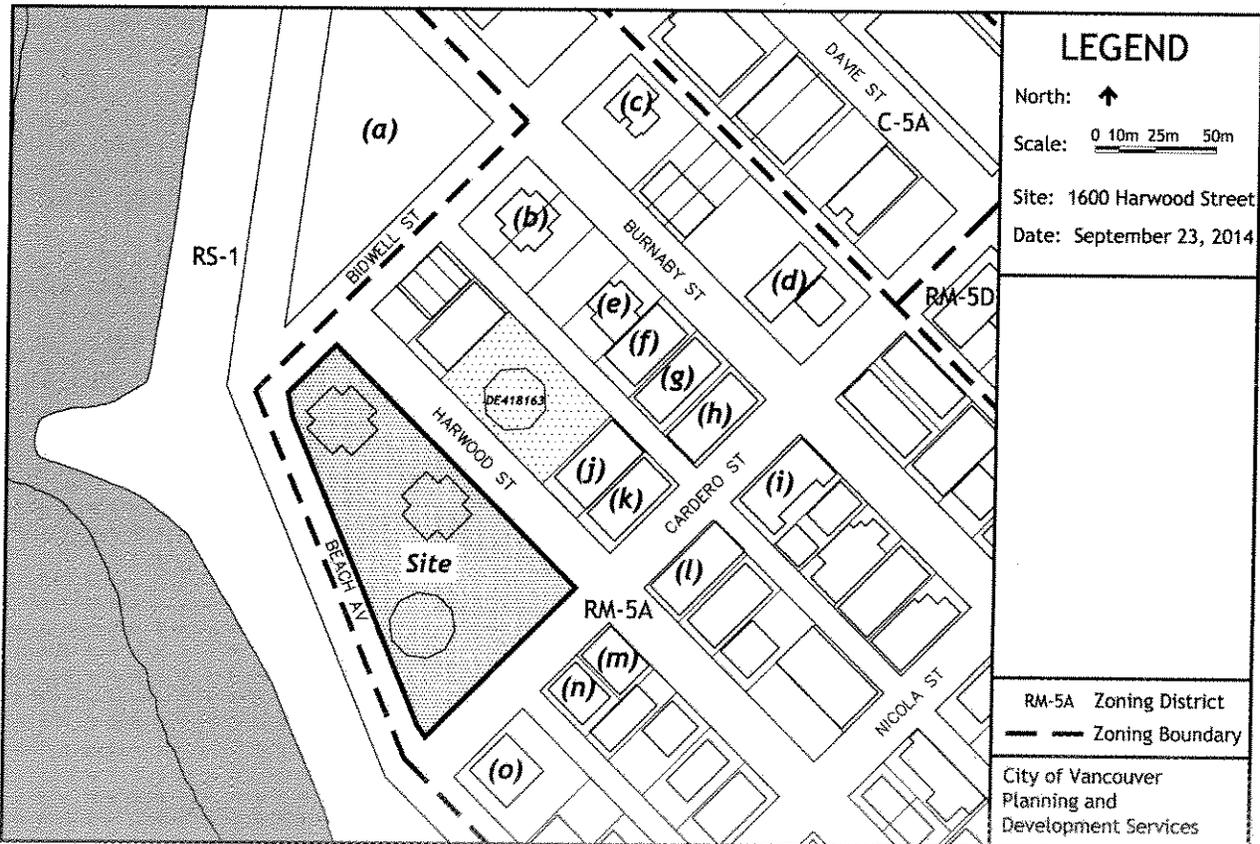
14 07 10 Complete DE submitted
14 11 19 Urban Design Panel
14 12 17 Development Permit Staff Committee

• **Site:**

The proposed infill development is located on the two sites of the existing Beach Towers, 1625 Hardwood Street (DE418163) and 1600 Harwood Street (DE418164). The subject site of this development permit application is located on the full block bounded by Beach Avenue to the west, Bidwell Street to the North, Harwood Street to the East, and Cardero Street to the South. To the north of this parcel is Alexandra Park; and to the south and east are a variety of residential apartment buildings. The blocks surrounding the subject sites contain a variety of building types and heights with a minority of wood frame three- to four-storey apartment buildings and a majority of concrete apartment buildings in the 10- to 22-storey range.

• **Context:** Significant adjacent development includes:

- (a) Alexandra Park
- (b) Braeview Manor - 1260 Bidwell Street - 14-storey residential building
- (c) Alexander Park - 1236 Bidwell Street - 18-storey residential building
- (d) Surfcrest - 1251 Cardero Street - 22-storey residential building
- (e) Heather House - 1650 Burnaby Street - 13-storey residential building
- (f) 1630 Burnaby Street - three-storey residential building
- (g) 1620 Burnaby Street - four-storey residential building
- (h) Casa Del Vandt - 1265 Cardero Street - six-storey residential building
- (i) Baycrest Apartments - 1246 Cardero Street - four-storey residential building
- (j) Vivian - 1609 Harwood Street - three-storey residential building
- (k) Dianne Court - 1315 Cardero Street - eight-storey residential building
- (l) Henry Manor - 1306 Cardero Street - four-storey residential building
- (m) 1558 Harwood Street - three-storey residential building
- (n) 1334 Cardero Street - four-storey residential building
- (o) Plaza Del Mar - 1575 Beach Avenue - 14-storey residential building



• **Background:**

The CD-1 By-law for this site was approved by Council, subject to a series of conditions on February 26, 2013, and enacted on July 22, 2014. This application is brought to the Development Permit Board as part of a larger development that includes 1625 Harwood St (DE418163).

• **Applicable By-laws and Guidelines:**

1. CD-1 (573)
2. West End Community Plan (2013)
3. High Density Housing for Families with Children Guidelines (March 24, 1992)
4. Green Buildings Policy for Rezoning (June 10, 2008; last amended July 22, 2010)
5. Ecocity Policies for Rezoning of Sustainable Large Sites (December 2010)

• **Response to Applicable By-laws and Guidelines:**

1. **CD-1 (573) Bylaw**

Use and Density: The proposed use (multiple residential dwelling) and density conforms to the provisions of the CD-1 bylaw.

Height: The proposed height generally conforms to the provisions of the CD-1 bylaw. A modest height increase in the low-rise building is requested. Refer to Staff commentary under "Height of the Low Rise Building."

2. **West End Community Plan (2013)**

On July 28, 2011, Council approved a community planning process for the West End neighbourhood. An interim rezoning policy was approved as part of the community planning process, and that policy allowed for continued consideration of rezoning applications that were received prior to this date.

The West End Community Plan was adopted by City Council on November 20, 2013. The plan focuses on policies regarding neighbourhood character, housing, the local economy, heritage, transportation and the public realm. This proposal's use, density, heights, landscape and public realm treatments, and form of development, which were established at the time of rezoning, are consistent with the West End Community Plan.

3. **High Density Housing for Families with Children Guidelines (March 24, 1992)**

With the proposed addition of a combined total of 81 units with two or more bedrooms (60% of total new units), including several 2 and 3-bedroom units which may be suitable for families with children, the High Density Housing for Families with Children Guidelines are therefore applicable to the plans for this site. Please refer to Housing Centre staff commentary regarding play areas, amenity rooms, and urban agriculture, on pages 17/18.

4. **Green Buildings Policy for Rezoning (June 10, 2008; last amended July 22, 2010)**

The Rezoning Policy for Green Buildings based on the time of the Rezoning application, requires that the building achieve a minimum of LEED® Gold, with at least 63 points, including 6 optimized energy performance points, 1 water efficiency point and 1 stormwater point. The Policy also requires that the applicant register the project with the Canada Green Building Council. The applicant's response to the associated rezoning condition is provided on page 13 along with a staff assessment.

5. Ecocity Policies for Rezoning of Sustainable Large Sites (December 2010)

The policy is designed to achieve higher sustainability outcomes on large site development through the exploration and implementation of district and renewable energy opportunities, sustainable site design, green mobility and clean vehicle strategies, sustainable rainwater management, solid waste diversion strategies and strategies to achieve sustainable housing affordability and housing mix. The continuation of these rezoning objectives into the detailed design phase are summarized on page 14.

• Other Issues:

Unit Size: Two units on the main floor of the mid-rise building have floor areas less than the minimum 398 sq. ft., and one of those has less floor area than the minimum that the Director of Planning may permit (320 square feet). Staff are seeking compliance with minimum floor areas under Standard Condition A.1.1.

Horizontal Angle of Daylight (H.A.D.): Due to the proximity of the low-rise infill building to the existing Macdonald Tower, six units on the northeast side of the low-rise building contain bedroom spaces that each have generous sized glazing with horizontal angles of daylight, but that do not satisfy the minimum uninterrupted distance (80 ft.). The uninterrupted distance from each of the habitable rooms in question each exceeds 18 ft., well within the relaxable range permitted by the CD-1 (12 ft.). Furthermore, these six units enjoy broad, uninterrupted views to the English Bay from the primary living spaces to the southwest.

The south face of the mid-rise building is located 40 ft. from the Douglas Tower. One unit on floors 2 through 8 contains a bedroom from which the uninterrupted horizontal angle of daylight distance is 30 ft. which is within the relaxable range distance (80 ft.).

Staff are satisfied that livability of the above-noted units is not significantly compromised and recommend that the Board relax the horizontal angle of daylight for these spaces.

Height of the Low Rise Building: This proposal includes an accessible rooftop deck and green roof on the low-rise building which was not part of the Rezoning proposal. Staff are supportive of the green roof and accessible deck and believe that the proposed glass guard and exterior glass enclosed elevator to the rooftop deck represent no significant impact to local public or private views. However, the required guard for this common outdoor space triggers a 2.0 ft. increase in height over the permitted height of CD-1 (573).

Section 10.11 of the Zoning and Development Bylaw, along with the City Bulletin "Roof-mounted Energy Technologies and Green Roofs - Discretionary Height Increases" permits increases in building height to accommodate access and maintenance to green roofs. Staff recommend that the Board use the discretion provided in this section and bulletin to permit an increase in height to the top of the guard. Standard Conditions A.1.16, A.1.17, and A.1.18 seek design development and documentation of the applicable criteria to support consideration for additional height.

• Response to the Urban Design and Landscape Rezoning Conditions of Approval:

Not all conditions of the Rezoning are included for discussion in this section. Only conditions with relevant or remaining issues are included below.

Rezoning Condition 1: Design development to the new buildings for a contemporary architectural character that is distinctive but complementary with the existing on-site residential buildings contributing to the incremental character of the built form and visual quality of the West End.

Applicant Response: The overall approach to design for such an iconic site is one of respect for the original design intentions. The New buildings are treated with an approach that is contemporary whilst incorporating architectural elements from the existing building, e.g. saw-tooth and geometrical form. This results in independent buildings that form a cohesive complex and maintains a unifying language of expression for both Parcels (Parcel A and B). Equally important are the existing conditions of site permeability, views and light.

Staff Assessment: This condition has been satisfied.

Rezoning Condition 2: Provision of high quality material treatments.

Note to applicant: Consider passive design shading elements on the south and west facades to address solar heat gain. Detailed sections and elevations illustrating high quality material treatments are required.

Applicant Response: The new formal language and material qualities complement the existing towers while being contemporary and avoiding mimicry. The thin slab edges of the towers are reflected in the balcony edges of the new buildings and form is now expressed by dynamic overlapping planes. The textures of the cladding materials contrast, with smooth concrete (e.g. stone/porcelain) and contemporary glass, and its vertical continuity reflects the vertical concrete elements on the towers.

Staff Assessment:

This condition has been partially satisfied. Staff are satisfied that the proposed material treatment is appropriate and of high quality. Detailed wall sections at a scale of 1:25 are required. Passive design shading elements should be applied to the midrise building. Refer to Recommended Condition 1.1 and standard condition A.1.19.

Rezoning Condition 3: Design development to the public realm and building interfaces to further engage and enhance the public experience, utilizing high quality materials contributing to the existing mature landscape streetscape character of the West End.

Note to applicant: Along Beach Avenue and Cardero Street, any new retaining walls, below grade slabs or privacy fences should be set back 0.9 m (3 ft.) from property lines.

Applicant Response: The design of the public realm and building interfaces are cohesive. The Landscape design display an interesting array of linear patterns and which are strategically laid out to delineate site permeability, and thus, connect all the building at site. Existing Sculptures and Fountains have also been placed to engage public interest. The Low-rise building deck is designed with extensive green roofs and paths for well-used community space. This new vegetation will provide a positive outlook for resident and neighbors, reduce Heat Island Effect, and reduce storm water runoff.

Staff Assessment:

This condition is partially satisfied. Additional design development is required to improve and integrate the interface between the base of the midrise building and the public realm on Cardero Street. See Recommended Condition 1.2.

Rezoning Condition 4: Design development to the overall proportion of the building at Harwood and Cardero streets (Building B), to minimize its apparent bulkiness, in particular along the Harwood Street frontage.

Applicant Response: The saw-tooth form along Cardero recalls the Beach Avenue façade and provides views to English Bay from all living rooms and increases daylight penetration into the suite The first

two storeys are set back by 22' along Cardero Street to increase and enhance the quality of the public realm. The overall form has been scaled back and the north-east corner cut back to improve views for neighbors and residents alike.

Staff Assessment: Revisions made in this application to address the proportions of the midrise building, particularly to improve views from neighboring buildings to the north, include shaping and cutting building corners; reducing building width along the Hardwood elevation; and sculpting of the balconies on the Cardero Street elevation to soften building corners. Staff and the applicant continue to work closely to achieve building elevations that will reduce the appearance of building bulk; though a certain breadth of form can be anticipated in order to accommodate the CD-1's permitted density within the prescribed building height. Staff are confident in the direction and quality of recent design iterations, and recommend that the rezoning condition be carried through to capture recent improvements to the elevations over those submitted at DE (see Recommended Condition 1.3).

Rezoning Condition 5: Design development to enhance the amenity building at Beach and Cardero streets (Building D) as a special building element while also contributing to the pedestrian experience and landscaped streetscape character of Cardero Street and Beach Avenue.

Note to applicant: Design development should consider a more pedestrian friendly corner and interface with the buildings. Consider circulation at the corner and adding a public resting space with street furniture, special paving and landscaping. Public art could also be considered at this corner.

Applicant Response: The amenity space has been relocated to a prominent location on the corner of Cardero Street and Beach Avenue. The pool building appears to be peeling from the corner below Douglas House, exposing the interior spaces to light. The façade of alternating clear and fritted glass allows ample light to pass while maintaining privacy for the users. A public plaza activates the corner and connects to the roof of the amenity space and tower entrance.

Staff Assessment: Staff are currently working with the design team to achieve a building geometry and expression that is distinct yet compatible with other buildings on the site. Refer to Recommended Condition 1.4.

Rezoning Condition 11: Design development to the entry court areas to mitigate conflicts between pedestrians and vehicles.

Applicant Response: Pedestrian circulation discrete from vehicle area provided. Bollards used to delineate the autocourt from adjacent pedestrian only zones. A tree proposed in the middle of each autocourt will provide further pedestrian refuge while crossing the space.

Staff Assessment: Proposed entry court areas are primary loading areas that intersect with onsite pedestrian pathways. Standard condition A.1.25 requests additional detailed sections through the landscape areas, residential interface and throughout the site.

Rezoning Condition 13: Expansion and detailing of the urban agriculture program.

Note to Applicant: the urban agriculture component requires further design development. The overall number of garden plots and size of planters should be reasonable in proportion to total amount of outdoor space on sites. The metal planters proposed appear too small to have a presence and viability. Locate the garden plots strategically near amenity areas. Provide tool storage, hose bibs, compost bins, outdoor furniture and a starter plant list. Edible plantings may be integrated into the overall planting plan.

Applicant Response: Response Elements provided: raised planters; secure tool storage; hose bibs for watering and cleanup; starter plant list; outdoor furniture.

Staff Assessment: Further design development is needed to ensure plots are universally accessible and to include the necessary infrastructure to support urban agricultural activity such as compost bins, tool storage, a potting bench and hose bibs (see standard condition A.1.42).

Rezoning Condition 14: Repair and revitalization of existing planters, where applicable.

Note to Applicant: the scope of work should include an investigation into the health of existing plants, planter soil health and membrane integrity.

Applicant Response: Where applicable existing planters will be waterproofed and receive new growing medium.

Staff Assessment: Standard condition A.1.27 reiterates the rezoning condition, requiring an investigation into the health of existing plants, planter soil health and membrane integrity.

• **Response to Engineering Rezoning Conditions of Approval:**

Rezoning Condition 24: Class A and B bicycle parking is required for all dwelling units on the site (existing and proposed) and where practical, for the bicycle spaces which will be provided in the existing buildings, electric outlets shall be provided all in accordance with Parking By-Law requirements.

Applicant Response: Drawings have been done accordingly based on the requirements of the Bicycle Parking By-law.

Staff Assessment: The development proposes that some bicycle parking be shared between 1600 and 1625 Harwood Street sites. While access over those spaces was granted through the zoning bylaw enactment process, further work is required to ensure that the spaces will be safe, convenient, and easily accessible by residents on both sites. Standard Condition A.2.11 requires way-finding to the bicycle rooms.

Rezoning Condition 26: Provision of a Green Mobility and Clean Vehicles Strategy that includes the requisite infrastructure where appropriate to prioritize sustainable transportation modes including walking, cycling, public transit, and provisions for low carbon vehicles (e.g., electric vehicles), completed to the satisfaction of the General Manager of Engineering Services, and prior to Development Permit issuance the completion of any legal agreements required by this Strategy on terms and conditions acceptable to the City.

Applicant Response: Electric plug-ins and Car-share vehicles will be provided in the parkade at strategic locations.

Staff Assessment: This condition has not been met. See standard condition A.2.4. Further details are required to understand how the proposed measures will be implemented. Electrical outlets for vehicles have been proposed to meet the requirements of the parking by-law. Three spaces are proposed to be reserved for shared vehicles however locations have not been identified. Standard Condition A.2.5 requires the provision of the spaces and vehicles. The development also proposes several pedestrian improvements adjacent to the site including improved lighting, sidewalks, and crossings.

Rezoning Conditions 29 - 32: Results of the Low Carbon Energy Supply Feasibility Study.

Applicant Response: A Low Carbon Energy Supply Feasibility Study dated June 2014 ("Feasibility Study") has been prepared which identifies feasible measures to achieve more than a 40% reduction in thermal energy consumption and GHG emissions. The study presents the results of feasibility studies, field-testing, and technical investigations and addresses the economic and technical viability of the preferred approaches.

The two initial measures to reduce energy consumption and GHG emissions from the Beach Towers site will involve: 1) replacing the existing central heat plant (CHP) with a more efficient CHP and 2) reducing air leakage from existing buildings. As well other measures are being recommended which together are estimated to achieve a 41.2% reduction in thermal energy consumption and GHG emissions.

Staff Assessment: Staff are satisfied with the results of the Low Carbon Energy Supply Feasibility Study. The requirements to finalize the Implementation Plan, as well as to implement the identified Energy Demand Management Measures, and the new Central Energy Plant, are detailed in standard conditions A.2.16 and A.2.17.

• **Response to Sustainability Rezoning Conditions of Approval:**

Rezoning Condition 9: identification on the plans and elevations of the built elements contributing to the building's sustainability performance in achieving LEED® Gold, including a minimum of 63 points in the LEED® rating system, and, specifically, a minimum of 6 points under Optimize Energy Performance.

Note to Applicant: Provide a LEED® checklist confirming the above and a detailed written description of how the above-noted points have been achieved with reference to specific building features in the development, and notation of the features on the plans and elevations. The checklist and description should be incorporated into the drawing set. Registration of the project is also required under the policy.

Applicant Response: The project is targeted to achieve LEED Gold with 63 points overall with 6 points of Optimize Energy Performance. A LEED checklist is attached to the drawing submittal for reference. The project is also targeting to have 40% carbon reduction as advised by the City. The new project attempts to remediate these under-used and impermeable areas. Asphalt surface parking will be replaced with a new permeable landscaping and green-roofed low and midrise buildings. This new vegetation will provide a positive outlook for resident and neighbors, reduce Heat Island Effect, and reduce storm water runoff.

Staff Assessment: The applicant has provided a LEED score card indicating 63 points overall and 6 points for Optimize Energy Performance. The applicant has not provided a detailed written description of how the above-noted points have been achieved with reference to specific building features in the development (see Standard Condition A.1.15).

• **Sustainability:**

In addition to the Rezoning Policy for Green Buildings, this re-zoned site is subject to the Rezoning Policy for Greener Larger Sites. The proposal is addressing this policy as follows.

Sustainable Site Design: The applicant has provided green roof treatments for the residents of the building as well as naturalized planting, rain gardens, urban agriculture, and storm water management. The roof top gardens provide opportunities for undisturbed eco planting that may attract birds and insects. The large landscape areas reduce heat island effects and provide the reduction of storm water runoff through evapotranspiration and filtration through the soil medium.

Green Mobility and Clean Vehicle Strategies: The provided Green Mobility and Clean Vehicles Strategy lacked details on how the proposed measures will be implemented. See Standard condition A.2.4.

Sustainable Rainwater Management: Standard Condition A.2.6 requires the provision of a Sustainable Rainwater Management Plan that uses sustainable strategies to allow for infiltration, retention, treatment and utilization of rainwater where applicable and appropriate on site.

Solid Waste Diversion Strategies: Standard Condition A.2.7 requires the provision of a Solid Waste Diversion Strategy that addresses waste diversion in all solid waste generating activities within the complex.

District and Renewable Energy Opportunities: See staff assessment for Rezoning conditions 29 - 32 on page 13.

• **Conclusion:**

The proposal for 1600 Harwood Street together with 1625 Harwood Street comprise a high quality infill rental development consistent with the intent envisioned under the West End Community Plan. The provision of the proposed built form along with enhanced landscaping, in lieu of existing surface and covered parking, will improve the environmental quality and streetscape character along the sites' frontages.

Staff conclude that, subject to design improvements, the proposed buildings will contribute positively to the diversity of buildings, the established landscaping and streetscape character of the West End neighbourhood.

URBAN DESIGN PANEL

The Urban Design Panel reviewed this application on November 19, 2014, and provided the following comments:

EVALUATION: 1600 Harwood Street - SUPPORT (7-1)
1625 Harwood Street - SUPPORT (8-0)

- **Introduction:** Patrick O'Sullivan, Development Planner, gave an overview of the context around the site and mentioned that there are two development applications. He noted that the rezonings have already been approved for the site. There are four existing buildings on the site that were built in the 1960's and have a heritage status. One development permit consists of a 4-storey element along Beach Avenue, a 9-storey mid-rise building and an amenity building with a pool and fitness centre with a park on the corner. The other development permit involves two 3-storey buildings and 2-storey townhouses along the lane. Mr. O'Sullivan asked the Panel to comment on the items that were outstanding from the last review. He gave a description of the concerns and how it they have been addressed by the applicant team.

1600 Harwood Street: Panel's Consensus on Key Aspects Needing Improvement:

- Design development to improve the legibility of the entrances;
- Design development to improve the expression of the mid-rise building;
- Consider access through the site to Beach Avenue;
- Design development to improve the amenity space and especially the park on the corner;
- Design development to the auto court cul-de-sac;
- Consider planting larger trees along Beach Avenue to reduce solar gain.

Has the applicant adequately addressed the key aspects needing improvement, listed above?

1625 Harwood Street: Panel's Consensus on Key Aspects Needing Improvement:

- Design development to improve the expression of the buildings around the tower;
- Design development to improve the integration between Parcel A and B;
- Design development to improve the courtyard.

Has the applicant adequately addressed the key aspects needing improvement, listed above?

Mr. O'Sullivan took questions from the Panel.

- **Applicant's Introductory Comments:** Martin Bruckner, Architect, further described the proposal as well as how they addressed the Panel's concerns from the previous review. He noted that they were encouraged to make the amenity building iconic and special. It is kind of an earth building with a green roof. He mentioned that they have enlarged the hard surface at the corner and allowed it to seamlessly meet from the public sidewalk to the private property. There will be seating opportunities at the base of the glass wall and perhaps public art. On Harwood Street they have better clarified the definition of the entries in both the new and the existing buildings. The mid-rise has an entrance off the courtyard with a canopy to identify the entrance. There is also a direct pedestrian access from the sidewalk. On the mid-rise building they have gone back to a more asymmetric expression for the Harwood and Cardero Streets façade and they have added an extra bay of stone cladding. The townhouses around the base of the tower have a lighter massing with stone clad panels and glass. There is some relationship and materiality between the two sites in how the buildings have been expressed. The internal circulation courtyard has raised patios and public access.

Cameron Owen, Landscape Architect, described the landscaping plans and mentioned that they have flanked each of the entries with a common tree. They have also used same type unit paver throughout the site in an organized pattern around the entrances. There are additional stairs on the site and places for people to gather. At the amenity there is a seating wall with a wood top and separated out from the street with tree and pavement. The trees around the back will have evergreen and native plant varieties. The auto court will have a cast in place solution with saw cut joints however the pedestrian route will have unit pavers and have separated the area with plantings and more trees. They are planting trees along Beach Avenue that will help reduce solar gain by providing shading in the summer.

The applicant team took questions from the Panel.

- **Panel's Consensus on Key Aspects Needing Improvement:**

1600 Harwood Street:

- * Design development to improve the expression of the mid-rise building;
- * Design development to the materiality of the mid-rise building;
- * Design development to improve the west stair access;
- * Design development to the access to and across the site to address legibility and wayfinding;
- * Design development to add access to the roof the amenity building;
- * Consider further strengthening the entrance to the Douglas building;
- * Consider adding individual entrances to the ground floor units in the mid-rise and the treatment of the heritage wall;

- Consider adding shade trees and public art to the corner parkette;
- Consider moving the existing art pieces to a spot that makes them visible from Beach Avenue and support public access and appreciation.

1625 Harwood Street:

- Design development to the materiality of the townhouses;
 - Consider improving privacy for the townhouses under the tower;
 - Consider using a different colour and material palette to the mid-rise tower.
- **Related Commentary:** The Panel supported both projects and commended the applicant for a quality response to a very difficult project.

Comments Relating to 1600 Harwood Street:

The Panel thought the applicant had responded to the Panel's previous concerns and that the legibility of the entrances was well done as they are more clearly defined. One Panel member thought there was still work to be done to strengthen the entrance to the Douglas building.

Some of the Panel liked the volumetric changes to the midrise tower but thought it might be a good idea to introduce individual entrances for the ground floor units. Other Panel members thought there should be a requirement to make the building work visually with the rest of the development. Panel members noted that the mid-rise building didn't feel part of the development and it felt pinched and "forced" on the site. Other Panel members mentioned that there is an opportunity to pick up on the angles of the existing building in the midrise. Although there isn't direct access to the beach, the Panel thought the sight lines were strong.

The Panel liked the expression of the amenity space from the street and suggested the applicant add access to the roof top for events such as the fireworks and parades. A couple of Panel members suggested adding trees to give some shade in summer to the seating area as well as some public art.

The Panel supported the landscape improvements and thought the connection to Beach Avenue was the biggest improvement to the site. They noted that it was these kinds of little pieces, private routes that make them more memorable and suitable to this site. Although the easterly access around Tower A works well, the west stair access is not resolved very well. It should either be deleted or come straight off the top of the townhouse with a straight run. One Panel member noted that it makes the vaulted spaces under the tower have more purpose and are being used in ways that they haven't been in the past. The Panel thought the cul-de-sac was much improved with separating the pedestrian from vehicles.

The Panel agreed that the current piece of public art was important and were glad to see it was being kept although they thought the location needed to be carefully considered as they need to be viewed from Beach Avenue. One Panel member suggested that they act as a focal point to draw pedestrians through the space.

Comments Relating to 1625 Harwood Street:

The Panel liked the improvement with the townhouses around the tower as well as the courtyard. They thought the glassiness of the townhouses was a step in the right direction. However, it was noted that the units that slide under the tower seem a little pinched. As well there was some concern about privacy and suggested a landscape response might help. They also wanted to see the landscaping tie together the other side of the street with the site.

A couple of Panel members noted that the townhouses are playing off the midrise and perhaps by shifting the palette on the midrise this would help the expression of the tower and give it its own identity.

- **Applicant's Response:** Mr. Bruckner thanked the Panel for their good comments and said they would take them into consideration to make for a better project. Regarding the mid-rise, Mr. Bruckner said he was happy to find ways to improve the expression. As for the public art they have already had discussion but as yet don't have anything committed. Mr. Bruckner added that they will look at reshaping the plaza to accommodate any public art.

ENGINEERING SERVICES

The recommendations of Engineering Services are contained in the prior-to conditions noted in Appendix A attached to this report.

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

The proposal's form, materiality and configuration has been generally designed to comply with CPTED requirements. Standard Condition A.1.37 seeks standard CPTED performance throughout the design development process.

LANDSCAPE

The recommendations of Landscape are contained in the prior-to conditions noted in Appendix A attached to this report.

HERITAGE PLANNING

The Vancouver Heritage Commission reviewed this application on September 29, 2014 and supported the modern infill additions to the Douglas House, MacDonald House, Laurier House and Columbia House. The minutes of this meeting are attached as Appendix E. Heritage staff recommends ensuring maximum transparency of views through the lobby areas, and included a standard condition A.1.36 in Appendix A of this report to support this recommendation.

HOUSING CENTRE/SOCIAL PLANNING/CULTURAL AFFAIRS

Play Area and Amenity Rooms: The proposed additions to Beach Towers include a combined total of 81 units with two or more bedrooms (60% of total new units) comprised of 75 2 bedroom and 6 3-bedroom units which may be suitable for families with children. The High Density Housing for Families with Children Guidelines are therefore applicable to the plans for this site. The following amenities are proposed:

- Tower A has an amenities gym (with sauna and washrooms) and indoor pool / hot tub on the p2 level; an additional aerobics / yoga amenity area is located on Level p1, and a games room/amenity space is located on level 1. Design development is needed to the level 1 amenity spaces to add a storage closet and accessible washroom(s) with baby change table (see condition A.1.38).
- Tower B has an amenity (party/function) room on Level 1 with kitchenette, storage closet and washroom. Design development is needed to confirm the washroom is wheelchair accessible (see condition A.1.39).
- Tower C has an amenity room Level 1 with an adjacent children's play area, design development is sought to improve the multi-functionality of the amenity area closest to the children's play

area by adding a kitchenette, storage closet, and to improve the connectivity of the multi-purpose indoor amenity area with the outdoor area. Ideally this would provide casual surveillance between the two spaces and functionally allow for family/social events (such as birthday parties) to spill out from indoors to outdoors and vice versa. The washroom(s) adjacent to this amenity space must be accessible and should include a baby change table (see condition A.1.40).

Design development is sought for the children's play area to ensure these areas can accommodate a range of children's play activities, for children of various ages. Play equipment is not required for the children's play areas, but a soft surface play area and creative landscape/play features (such as balancing logs and boulders, a small/tangible water stream or feature, creative motor-skills developing features etc.) which provide a myriad of creative play opportunities for a range of ages is encouraged (see condition A.1.41).

Urban Agriculture: The City of Vancouver Food Policy identifies environmental and social benefits associated with urban agriculture and seeks to encourage opportunities to grow food in the city. The "Urban Agriculture Guidelines for the Private Realm" encourage edible landscaping and shared gardening opportunities in private developments. Consistent with these Guidelines, plans include garden plots, on the level 1 podium. Design development is needed to ensure some of the plots are universally accessible and to include the necessary infrastructure to support urban agricultural activity such as compost bins, tool storage, a potting bench and hose bibs (see condition A.1.42).

ENVIRONMENTAL PROTECTION BRANCH

The 1600 block of Harwood Street has been a residential area since the 1920s, so there is a low risk for environmental concerns. The recommendations of the Environmental Protection Branch are contained in the conditions of Development Permit in Appendix B attached to this report.

PROCESSING CENTRE - BUILDING

This Development Application submission has not been fully reviewed for compliance with the Building By-law. The applicant is responsible for ensuring that the design of the building meets the Building By-law requirements. The options available to assure Building By-law compliance at an early stage of development should be considered by the applicant in consultation with Processing Centre-Building staff.

To ensure that the project does not conflict in any substantial manner with the Building By-law, the designer should know and take into account, at the Development Application stage, the Building By-law requirements which may affect the building design and internal layout. These would generally include: spatial separation, fire separation, exiting, access for physically disabled persons, type of construction materials used, fire-fighting access and energy utilization requirements.

NOTIFICATION

Four site signs were placed on the site (facing Beach, Cardero, Bidwell, and Harwood Streets), providing information on both sites, and their installation was verified on August 7, 2014. On August 8, 2014, 505 notification postcards were sent to neighbouring property owners advising them of the application, and offering additional information on the city's website. Following the requirement to appear at Urban Design Panel for a second time, the same property owners were notified (via postcards mailed on November 4, 2014) of the rescheduled Development Permit Board date. To date a total of 9 written responses have been received. 6 respondents opposed the proposal, and 3 expressed concern or

requested additional information. Concerns about the proposal are summarized below, along with staff responses:

- Accommodation of parking on site during construction;

Staff response: Standard condition A.2.12 requires provision of required parking for the duration of the project.

- The effect of the redevelopment on the heritage status of the existing buildings;

Staff response: The Vancouver Heritage Commission reviewed this application on September 29, 2014 and supported the modern infill additions to the existing towers. Heritage staff recommends ensuring maximum transparency of views through the lobby areas, and included a standard condition A.1.36 in Appendix A of this report to support this recommendation.

- Construction noise and disruption;

Staff response: Construction on the site would be subject to Vancouver Noise Control By-Law #65555 which limits construction on private property between 7:30 and 8pm on any weekday that is not a holiday and between 10am to 8pm on any Saturday that is not a holiday.

- Seismic testing and structural assessments;

Staff response: The design of the excavation, shoring, and foundations for the new construction on the site are being completed by registered geotechnical and structural engineers who are required to provide support of the affected existing structures for all loads prescribed by the current Vancouver Building By-Law, including seismic.

- Building materials, and access to light and views;

Staff response: Staff are satisfied that the proposed material treatment is appropriate and of high quality. Detailed wall sections at a scale of 1:25 are required. Please refer to Recommended Condition 1.1 and standard condition A.1.19.

- Accessibility across the site (particularly to those with limited mobility); and

Staff response: Recommended condition 1.5 seeks design development to improve site circulation and standard condition A.1.23 seeks clarification of intent for pedestrian and universal access for each tower.

- Overall density on the site and across the West End.

Staff response: The proposed use, density, and height of this project conforms to the CD-1 bylaw.

DEVELOPMENT PERMIT STAFF COMMITTEE COMMENTS:

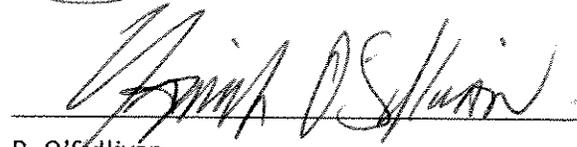
The Staff Committee has considered the approval sought by this application and concluded that with respect to the Zoning and Development By-law it requires decisions by the Development Permit Board.

The application requires the Development Permit Board to exercise discretionary authority as delegated to the Board by Council. It also requires the Board to consider a by-law relaxation, per section 5 (Horizontal Angle of Daylight) of the CD-1 by-law. Staff Committee supports the relaxation proposed.

The Staff Committee is confident that the proposal is consistent with the rezoning and supports the application with the conditions contained in this report.



J. Greer
Chair, Development Permit Staff Committee



P. O'Sullivan
Development Planner



B. Mah
Project Coordinator

Project Facilitator: W. LeBreton

DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATIONS

The following is a list of conditions that must also be met prior to issuance of the Development Permit.

A.1 Standard Conditions

A.1.1 compliance with Section 10.21.2 (Dwelling Units) of the Zoning and Development By-law;

Note to Applicant: The floor area of unit 109 must be increased to a minimum of 320 ft².

A.1.2 compliance with Section 4.8.4 (Required Disability Parking Spaces) of the Parking By-law;

Note to Applicant: A total of twenty disability parking spaces are required.

A.1.3 compliance with Section 6.2.1.2 (Table or Number of Required Off-Street Bicycle Spaces), 6.3.6 (Bicycle Room, Compound, or Locker Access) and Section 6.3.13 (Horizontal and Vertical Bicycle Spaces) of the Parking By-law;

Note to Applicant: Bicycle rooms, compounds or lockers must be located no lower than the first complete parking level below grade with direct access to outside. A minimum of 50% of the required Class A bicycle spaces must be horizontal. A maximum of 30% of the required Class A bicycle spaces may be vertical. All vertical bicycle spaces must be located against a wall. A total of 18 Class B bicycle spaces (6 Class B bicycle spaces per tower) are required. The proposed number of Class A bicycle spaces must match the Bicycle Schedule at each level and the Project Statistics. Clarify the numbers and locations of the Class A bicycle spaces designated and reserved for the development located at 1625 Harwood Street (DE418163).

A.1.4 compliance with Section 6.3.21 (Electrical Outlets) of the Parking By-law;

Note to Applicant: One electrical outlet is required for every two Class A bicycle spaces. A note added on the parking plans to provide the electrical outlets will meet this condition.

A.1.5 clarification of alterations and uses on level P1 and level 1 in Tower 1 and level 1 in Tower 3;

Note to Applicant: Uses should match those represented on the color-coded FSR drawings. All alterations (existing and new) and changes of use should be clearly identified. Clarify and label all rooms, balconies and void spaces. Residential kayak storage room should be added to the amenity areas. Reference to the towers and buildings should be consistent with the building height diagram in the draft CD-1 By-law. Add gridlines to all floor plans. Low-rise floor and roof plans should be rotated to align in the same direction as the parking plans. Delete machine room in mid-rise view analysis drawing DP0.21, indicate elevator overrun (shaft) only.

A.1.6 provision of a minimum of 200 ft.³ of storage space for each dwelling unit;

Note to Applicant: Provide a storage summary at each level and total summary in Project Statistics.

A.1.7 design development to locate, integrate and fully screen any emergency generator, exhaust or intake ventilation, electrical substation and gas meters in a manner that minimizes their visual and acoustic impacts on the building's open space and the Public Realm;

A.1.8 details of all parking spaces to comply with the applicable provisions of the Parking By-law, having particular regard to space sizes, manoeuvring, height clearances, etc.;

Note to Applicant: Spaces located next to walls or structure require extra width. Column sizes, spacing encroachment into parking spaces may be permitted, subject to compliance with the Parking and Loading Design Supplement. Clarify existing, demolished and new parking spaces, including parking hatch legend. Number all parking spaces sequentially and label all small car spaces. Clarify minimum vertical clearance of all disability parking spaces, including all entrances, exits, drive aisles, other access to and egress therefrom.

- A.1.9 sealed and signed FSR Summary Statistics to match floor areas of the project, including all exclusions;

Note to Applicant: Only one set of separate (detached) sealed and signed FSR drawings is required.

- A.1.10 design development to the site signage;

Note to Applicant: Provision of signage details at a scale of 1:50 or larger depicting sample signage incorporated into the full size drawing set is required. The requested signage details are for urban design review purposes. A separate sign permit will be required.

- A.1.11 deletion of all references to the proposed signage, or notation on plans stating: "All signage is shown for reference only and is not approved under this Development Permit. Signage is regulated by the Sign By-law and requires separate approvals. The owner(s) assumes responsibility to achieve compliance with the Sign By-law and obtain the required sign permits.";

Note to Applicant: The Sign By-law Coordinator should be contacted at 604.871.6714 for further information. Clarify all public art sculptures and locations.

- A.1.12 clarification of the maximum building height limit on the elevations and deletion of all background shading on the elevations and sections;

- A.1.13 confirmation that at least 20 percent of all off-street parking spaces shall be available for the charging of electric vehicles;

Note to Applicant: Although this is a Building By-law requirement under Part 13 of the Vancouver Building By-law, the Director of Planning is seeking acknowledgement that this condition can be met during the Building review of this development. For more information, refer to the website link: <http://vancouver.ca/sustainability/EVcharging.htm>.

- A.1.14 submission of an acoustical consultant's report which assesses noise impacts on the site and recommends noise mitigation measures in order to achieve noise criteria;

- A.1.15 identification on the plans and elevations of the built elements contributing to the building's sustainability performance in achieving LEED Gold Equivalency, including at least three optimize energy points, one water efficiency point and one storm water point;

Note to Applicant: Provide a LEED checklist conforming LEED Gold equivalency and a detailed written description of how the above noted points have achieved with reference to specific building features in the development. Both the checklist and description should be incorporated into the approved drawing set.

- A.1.16 design development to further refine and architecturally integrate the mid-rise building's rooftop mechanical penthouse, elevator override service volumes, any cellular communications equipment, photovoltaic panels and/or other service equipment including window washing infrastructure to minimize any incursion into the skyline or views;

Note to Applicant: Complete and coordinated tower elevations and a tower roof plan should be provided at a scale of 1:100. Clearly indicate the dimensions and height of any rooftop mechanical penthouse, elevator override service volumes, photovoltaic panels and other service equipment.

A.1.17 provision of drawings clearly showing how the green roof of the mid-rise building is accessed;

Note to Applicant: A plan of the rooftop mechanical penthouse area at the roof level is required to illustrate access to the green roof. Any areas for maintenance tools should clearly be indicated. Plans must also indicate that roof access is not permitted except for maintenance purpose.

A.1.18 design development to provide access to the roof of the Amenity building;

A.1.19 provision of details incorporated into the full size drawing set of the following:

- 1:25 typical façade wall section of the mid-rise building;
- 1:25 west wall section of the four-storey building on Beach Avenue;
- 1:25 wall section of the Amenity building.

A.1.20 the proposed Form of Development can and does become approved by Council;

Standard Landscape Conditions

A.1.21 architectural and landscape plans to be congruent;

Note to Applicant: with regard to the depiction of outdoor space, further attention will be needed. The architectural plans should include all outdoor hardscaped features, including walls, planters, stairs, walkways, grades and the public realm. The landscape plan should integrate and expand on the architectural plans with regard to soft and hard landscaping, including depiction of grades, spot elevations (top/bottom walls, stairs, landings, surface slope).

A.1.22 provision of detailed grading plan(s) for all open space areas;

A.1.23 clarification of intent for pedestrian and universal access for each tower (A,B,C);

Note to Applicant: it is recommended that a circulation/access plan be submitted. With regard to the needs of mobility challenged, there should be safe and direct pathways to each tower from the street, vehicular drop off zones and convenient points of access. Provide detailed sections through paths of accessible travel with emphasis on grades and slope. Further comments may be outstanding.

A.1.24 provision of additional information and refinements of the landscape submission, as follows:

- a) information on the landscape materials plans to be presented in a clear and accurate manner. For example, the areas shown as white blank space are assumed to be lawn, should be labeled. The labels for “meadow garden” to be applied to the correct areas and the mass planting symbols to be added to the legend. There are ambiguities related to labeling (for example, on sheet DP 7.104, “existing sculpture #2 restored”);
 - b) labeling of “existing” and “proposed” landscape elements;
 - c) improvements to the depiction of edges, walkways, walls, curbs and transitions between materials. For example, on sheet DP7.102, the stairway leading from the roof of Building D down to the street level, terminates with a tree at the base of the stair and unknown material leading to the sidewalk along Cardero Street;
 - d) correction of digital graphic errors that occurred during printing (for example, sheet DP 7.103 dimensions are partially hidden by surface material texture);
-

- e) provision of more standard information and labels (sheet DP 7.100), such as street names, section indicators, north arrows, sheet labels;
- f) provision of large scale, detailed plans for the agriculture amenity outdoor area and play areas (note: these areas should be highly detailed and programmed);
- g) illustration of spot elevations to all outdoor areas (including top/ bottom walls), including offsite context spot elevations in proximity (such as the public sidewalks, inner boulevards and lanes, for example);
- h) full detailing of the public realm with regard to existing and proposed materials, trees, tree protection barriers, planting, walkways and related infrastructure (for example, light poles, fire hydrant);

- A.1.25 provision of additional detailed sections through the landscape areas, residential interface and throughout the site;

Note to Applicant: the submission should contain a full complement of detailed and dimensioned large scale sections through open space zones, including common spaces, urban agriculture/ child care areas, the residential interface, plantings on slab and perimeter edges. To ensure the long term viability of planting on slabs, soil depths must meet or exceed BCLNA planting standards. At the edges, new slabs should angle down to provide deeper soils. Planters on slab above parking areas should take advantage of opportunities to lower the slab, where possible, to create planters that extend above and below the slab.

- A.1.26 expansion and detailing of the urban agriculture program;

Note to Applicant: the urban agriculture component requires further design development. The overall number of garden plots and size of planters should be reasonable in proportion to total amount of outdoor space on site. Locate the garden plots strategically near amenity areas. Provide tool storage, hose bibs, compost bins, outdoor furniture and a starter plant list. Edible plantings may be integrated into the overall planting plan (refer to Social Planning condition A.1.42).

- A.1.27 repair and revitalization of existing planters, where applicable;

Note to Applicant: the scope of work should include an investigation into the health of existing plants, planter soil health and membrane integrity. A rationale should be provided of intent to retain existing or replace with new.

- A.1.28 provision of a phased, "Tree Removal/ Retention Plan" to be coordinated with the arborist report (including the assessment of existing trees, retention value rating, retention feasibility, remediation recommendations, site supervision and letters of undertaking);

Note to Applicant: in addition to sheet DP 7.410, indicate by tree identification number all trees removed and to be retained. Provide a quantity list of trees removed that are sized at 20 cm diameter or greater and less than 20 cm diameter. It has been established that tree removal approvals may be granted at time of phasing of demolition and with proper documentation. Tree removals are subject to further review.

- A.1.29 provision of larger scale tree protection plan(s);

Note to Applicant: in coordination with the arborist report, provide detailed, labeled plans for any area that anticipates construction encroachment or notable disturbance (re-landscaping and walkways) within the critical root zone (to be determined). Coordination with Engineering and Park Board will be needed for decisions regarding city owned trees.

- A.1.30 provision of an overall tree replacement plan;

Note to Applicant: with the associated tree species list, sizes, quantities and an overall total. The tree plan should be respond to the unique waterfront location with regard to location and species. The quantities of new trees should be equal or greater to the quantities of trees removed, unless it can be verified that there are limiting factors. Further comments may be outstanding.

- A.1.31 provision of a "Construction Management Plan" outlining methods for the retention of existing trees during construction;

Note to Applicant: the Plan should include, but not limited to, construction constraints, including the location of construction materials, temporary structures, utilities, site access, development phasing, neighbor impact reduction methods, to the satisfaction of staff. The applicant team should liaise with all related contractors, including civil/electrical/plumbing contractors to proactively identify any conflicts or constraints to tree protection.

- A.1.32 provision of a detailed arborist report for the complete site;

Note to Applicant: noting that an interim arborist report has been submitted for "phase one" partial demolition/redevelopment and applicable tree removals. Critical root zone dimensions and the related methodology and industry critical root zone calculation methods will be needed. The discussion should include a tree assessment for all trees (sized 20 cm or greater) located outside the building envelope (not including street/parking construction), the existing growing condition, all demolition and excavation work in proximity to trees, construction methods and phasing, including re-landscaping. The plans should clearly illustrate and dimension the limits of excavation and any necessary tree canopy pruning. Tree removal permit applications should occur in phases corresponding to the timing of necessary demolition work. Refer to protection of Trees Bylaw, Section 7, for further guidance about protection of trees during construction and arborist report requirements.

- A.1.33 new street trees to be provided adjacent to the development site, to be shown on the development permit plans and confirmed prior to the issuance of the building permit;

Note to Applicant: Contact Eileen Curran, Streets Engineering (604.871.6131) to confirm tree planting locations and Park Board (604.257.8587) for tree species selection and planting requirements. Provide a notation on the plan, "Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services. New trees must be of good standard, minimum 6cm caliper, and installed with approved root barriers, tree guards and appropriate soil. Root barriers shall be 8 feet long and 18 inches in. Planting depth of root ball must be below sidewalk grade. Call Park Board for inspection after tree planting completion".

- A.1.34 provision of an efficient irrigation system for all common outdoor planters and individual hose bibs to be provided for all patios of 100 sq.ft. or greater. Specification notes and irrigation symbols to should be added to the drawing;

Note to Applicant: provide symbols for hose bibs and irrigation line source locations. Provide bolded, highlighted notes on the plans to verify the specification that the irrigation will be provided.

- A.1.35 explore opportunities to mitigate blank walls;

Note to Applicant: in consideration of CPTED principles, exposed walls should be textured to discourage graffiti. In addition, "vine pockets" can be located near the lane edge to establish plants on walls. Provide locations and notations on the plans to verify that this has been provided.

Heritage

- A.1.36 no window treatments/coverings to the glazed walls at the ground floor for the Laurier, MacDonald and Douglas towers in order to maximize transparency of views through the lobby areas that are proposed to be infilled;

Crime Prevention Through Environmental Design (CPTED)

- A.1.37 design development to respond to CPTED principles, having particular regards for:

- (a) theft in the underground parking;
- (b) break and enter;
- (c) mail theft; and
- (d) mischief in alcove and vandalism, such as graffiti.

Note to Applicant: Building features proposed in response to this condition should be noted on the plans and elevations. Consider use of a legend or key to features on the drawings. Consultation with the social housing operators and Park Board staff with experience of the more specific CPTED risks in this area is recommended, and should be included the response to this condition.

Social Planning/Housing Centre/Cultural Affairs

- A.1.38 design development is needed to Tower A level 1 amenity space to add a storage closet and accessible washroom(s) (with baby change table);
- A.1.39 design development to the Tower B amenity (party/function) room on Level 1 (with kitchenette, storage closet and washroom) to confirm the washroom is wheelchair accessible and to add a baby change table;
- A.1.40 design development to the Tower C amenity room Level 1 adjacent to the children's play area, to improve the multi-functionality of the amenity room closest to the children's play area by adding a kitchenette, storage closet, and by improve the connectivity of the multi-purpose indoor amenity area with the outdoor area;

Note to Applicant: Ideally this will provide casual surveillance between the two spaces and functionally allow for family/social events to "spill out" from indoors to outdoors and vice-versa. The washroom(s) adjacent to this amenity space must be accessible and should include a baby change table.

- A.1.41 design development to common outdoor landscaped areas, including the proposed "tot lot" next to Tower C to allow for a range of children's play activities for a range of ages;

Note to Applicant: Play equipment is not required for the children's play areas, but a soft surface play area and creative landscape/play features (such as balancing logs and boulders, sandbox, a small/tangible water stream or feature, creative motor-skills developing features etc.) which provide a myriad of creative play opportunities for a range of ages is encouraged.

- A.1.42 design development to the area containing garden plots to ensure some of the plots are wheelchair accessible, and to include the necessary infrastructure to support urban agricultural activity such as compost bins, tool storage, a potting bench and hose bibs.

- A.2 Standard Engineering Conditions
-

- A.2.1. arrangements shall be made to the satisfaction of the General Manager of Engineering Services and the Director of Legal Services for the proposed encroachment onto City property. Note: an application to the City Surveyor is required;

Note to Applicant: The handwritten annotation on page DP0.06 indicates a proposed below-grade mechanical pipe crossing within Harwood Street between the two development sites.

- A.2.2. deletion of steps, planter and all non-standard landscape features encroaching onto City street;
- A.2.3. provision of final footing design that is contained within the property lines;

Note to Applicant: The generic footings shown on pages DP5.03, 5.11 & 5.20 would encroach onto City streets.

- A.2.4. provision of a Green Mobility Strategy is required for this site, and this has not been satisfactorily addressed as part of this development permit application;

Note to Applicant: If shared vehicle space(s) is proposed for the site, the shared vehicle parking space(s) should preferably be located at-grade for ease of access and to avoid security concerns, be a minimum 2.9m in width, and include completion of a Shared-Vehicle agreement.

- A.2.5. clarification and clear notation on plans of the provision of car-share vehicles in the parkade as noted in the response to the rezoning requirement for a Green Mobility and Clean Vehicles strategy and make arrangements to the satisfaction of the General Manager of Engineering Services and Director of Legal Services for a Shared Vehicle agreement;

- A.2.6. provision of a Sustainable Rainwater Management Plan that utilizes sustainable strategies to allow for infiltration, retention, treatment and utilization of rainwater where applicable and appropriate on site;

- A.2.7. provision of a Solid Waste Diversion Strategy that addresses waste diversion in all solid waste generating activities within the complex;

Note to Applicant: The Strategy must identify/provide space, infrastructure and an operational approach to divert organics and recyclables from the waste stream, and minimize the vehicle trips required for collection, to the satisfaction of the General Manager of Engineering Services, and prior to Development Permit issuance the completion of any agreements required by this Strategy on terms and conditions acceptable to the General Manager of Engineering Services and the Director of Legal Services.

- A.2.8. clear identification and labeling of all spaces and lockers intended for bicycle parking with the title "Bicycle Locker" or "Bicycle Space";

Note to Applicant: labeling spaces as lockers may represent these incorrectly as storage space intended for household belongings.

- A.2.9. provision of all required Class A loading spaces;

Note to Applicant: a minimum one Class A space is required and is in addition to any spaces that are proposed as substitution for required on-site Class B loading. All Class A loading spaces must be identified on the plans.

A.2.10. clarification of the large discrepancy between drawings DP 2.12 and DP 2.01 with particular regard to the reduction in the number of Class A loading spaces and an "existing compactor" located within a space marked existing Class A loading space;

A.2.11. provision of way-finding signage to assist residents from the Columbus Tower to find the Class A bicycle rooms intended for their use on the P1 parking level;

Note to Applicant: Appropriate signage to guide residents from outside the building to the rooms is needed.

A.2.12. arrangements shall be made to the satisfaction of the Director of Planning in consultation with the General Manager of Engineering Services for the provision of required parking for the duration of the project;

Note to Applicant: This is to ensure that the required parking is provided at all stages of development.

A.2.13. provision of design elevations at the property line adjacent all entrances, and within parking and loading areas;

A.2.14. clarification of garbage pick-up operations. Confirmation that a waste hauler can access and pick up from the location shown is required. Pick up operations should not require the use of public property for storage, pick up or return of bins to the storage location;

A.2.15. provision of a separate application to the General Manager of Engineering Services for street trees and or sidewalk improvements is required. Please submit a copy of the landscape plan directly to Engineering for review noting the following rezoning requirements;

i. provision of pedestrian level lighting on the west side of Cardero Street adjacent the site;

ii. provision of corner bulges at the intersection of Cardero Street and Harwood Street on the sides of the street where parking is permitted;

iii. provision of improved curb ramps on all corners adjacent the site and on the south side of Beach Av. opposite the site;

iv. provision of widened concrete sidewalk on Beach Avenue adjacent the site to a minimum 2.4m in width; and

v. provision of street trees adjacent the site where space permits.

A.2.16. provision of energy demand management measures described in the Low Carbon Solutions Feasibility Study shall be submitted in the form of a final Implementation Plan, to be provided by the Applicant to the satisfaction of the General Manager of Engineering Services;

Note to Applicant: The Implementation Plan will detail how greenhouse gas emissions associated with space and domestic hot water heating of the development as a whole (including both new and existing components) shall be reduced by a minimum of 40% over a business-as-usual approach to space and domestic hot water heating. Business-as-usual will take into consideration the status of the existing buildings and mechanical system at the time of submission of the rezoning application as well as a typical approach to space and domestic hot water heating for new construction. Measures to reduce energy consumption and GHG emissions may include implementation of demand site management strategies (for example, reducing air leakage within existing buildings, low carbon energy supply, boiler replacement, etc.

A.2.17. provision of a central energy plant serving all new and existing buildings within the development;

Note to Applicant: The location of the central energy plant shall be submitted to and approved by the General Manager of Engineering Services prior to issuance of development permit.

B.1 Standard Notes to Applicant

- B.1.1 The applicant is advised to note the comments of the Processing Centre-Building, Vancouver Coastal Health Authority and Fire and Rescue Services Departments contained in the Staff Committee Report dated December 17, 2014. Further, confirmation that these comments have been acknowledged and understood, is required to be submitted in writing as part of the "prior-to" response.
- B.1.2 It should be noted that if conditions 1.0 and 2.0 have not been complied with on or before July 12, 2015, this Development Application shall be deemed to be refused, unless the date for compliance is first extended by the Director of Planning.
- B.1.3 This approval is subject to any change in the Official Development Plan and the Zoning and Development By-law or other regulations affecting the development that occurs before the permit is issuable. No permit that contravenes the by-law or regulations can be issued.
- B.1.4 This approval does not in any way constitute a representation or warranty that the necessary approval of the form of development or enactment of the rezoning will be granted by Council. All proceedings by the applicant prior to action by Council are therefore at his/her own risk.
- B.1.5 Revised drawings will not be accepted unless they fulfill all conditions noted above. Further, written explanation describing point-by-point how conditions have been met, must accompany revised drawings. An appointment should be made with the Project Facilitator when the revised drawings are ready for submission.
- B.1.6 Details of swimming pools/hot tubs are to be submitted to the Health Department and Provincial Health Engineer, prior to construction.
- B.1.7 Provision a letter from the qualified professional confirming that the building permit is consistent with the Implementation Plan.

Note to Applicant: All new and existing buildings within the development shall be provided heat without the use of electric baseboard heaters, distributed heat generating equipment, or heat producing fireplaces. The aforementioned letter must be submitted to and approved by the General Manager of Engineering Services prior to issuance of building permit.

- B.1.8 A new development application will be required for any significant changes other than those required by the above-noted conditions.

B.2 Conditions of Development Permit:

- B.2.1 All approved off-street vehicle parking, loading and unloading spaces, and bicycle parking spaces shall be provided in accordance with the relevant requirements of the Parking By-law prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.
- B.2.2 All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.
- B.2.3 All new and existing buildings within the development shall be provided heat without the use of electric baseboard heaters, distributed heat generating equipment, or heat producing

fireplaces. A letter from the qualified professional confirming that the building permit is consistent with the Implementation Plan must be submitted to and approved by the General Manager of Engineering Services prior to issuance of building permit.

- B.2.4 All approved street trees shall be planted in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good condition.
- B.2.5 In accordance with Protection of Trees By-law Number 9958, the removal and replacement of trees is permitted only as indicated on the approved Development Permit drawings.
- B.2.6 A qualified environmental consultant must be available to identify, characterize and appropriately manage any environmental media of suspect quality which may be encountered during subsurface work.
- B.2.7 In the event, contamination of any environmental media are encountered, a Notice of Commencement of Independent Remediation must be submitted to the Ministry of Environment and copied to the City of Vancouver.
- a) Upon completion of remediation, a Notification of Completion of Independent Remediation must be submitted to the Ministry of Environment and copied to the City of Vancouver.
 - b) Submit a copy of the completion of remediation report signed by an Approved Professional stating the lands have been remediated to the applicable land use prior to issuance of an Occupancy Permit.
- B.2.8 Notice of offsite migration must be submitted to the Ministry of Environment and copied to the City of Vancouver if offsite contaminant migration is suspected or identified. Supporting investigation and remediation data/reports must be provided to the City of Vancouver.
- B.2.9 Must comply with all relevant provincial Acts and Regulations (e.g. Environmental Management Act, Contaminated Sites Regulation, hazardous Waste Regulation) and municipal Bylaws (e.g. Fire Bylaw 8191 [s. 4.10.3]).
- B.2.10 All services, including telephone, television cables and electricity, shall be completely underground.
- B.2.11 Amenity spaces (exercise, game, function and party/function rooms, gym and pool) of 14,353 ft.², excluded from the computation of floor space ratio, shall not be put to any other use, except as described in the approved application for the exclusion. Access and availability of the use of all amenity facilities located in this project shall be made to all residents and occupants of the building;

AND

Further, the amenity spaces and facilities approved as part of this Development Permit shall be provided and thereafter be permanently maintained for use by residents and users of this building complex.

- B.2.12 Any phasing of the development, other than that specifically approved, that results in an interruption of continuous construction to completion of the development, will require application to amend the development to determine the interim treatment of the incomplete portions of the site to ensure that the phased development functions are as set out in the approved plans, all to the satisfaction of the Director of Planning.

- B.2.13 The issuance of this permit does not warrant compliance with the relevant provisions of the Provincial Health and Community Care and Assisted Living Acts. The owner is responsible for obtaining any approvals required under the Health Acts. For more information on required approvals and how to obtain these, please contact Vancouver Coastal Health at 604-675-3800 or visit their offices located on the 12th floor of 601 West Broadway. Should compliance with the Health Acts necessitate changes to this permit and/or approved plans, the owner is responsible for obtaining approval for the changes prior to commencement of any work under this permit. Additional fees may be required to change the plans.
- B.2.14 This site is affected by a Development Cost Levy By-law and levies will be required to be paid prior to issuance of Building Permits.

BEACH TOWERS

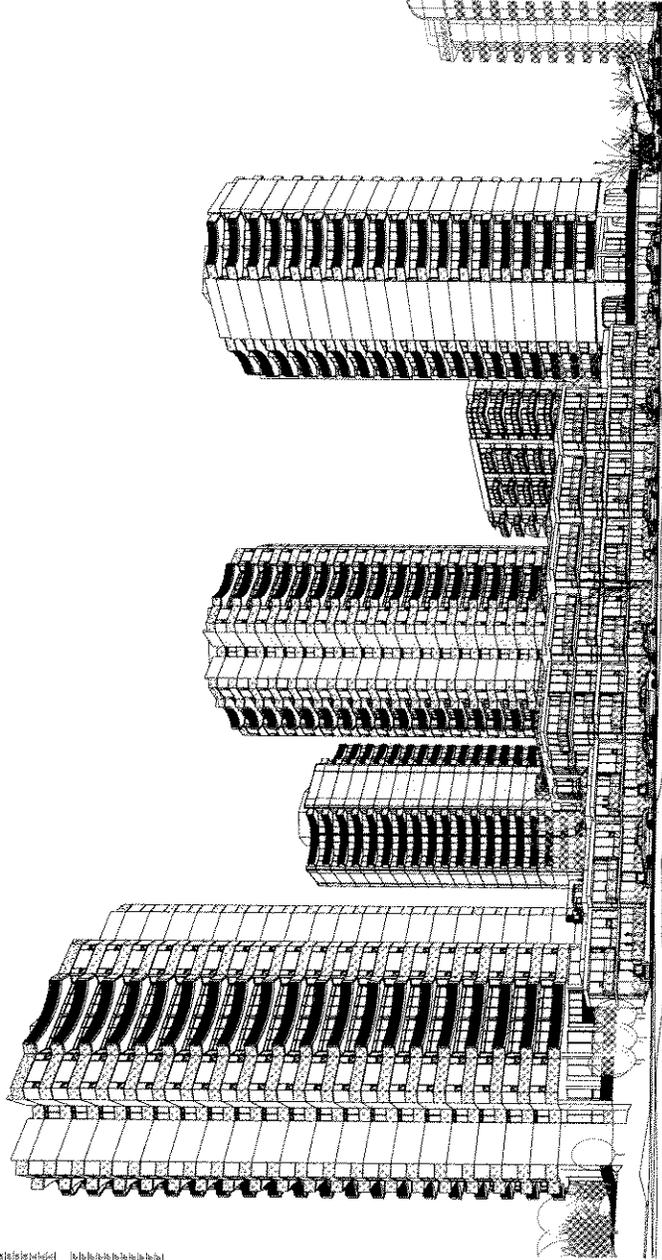
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

ARCHITECTURAL DRAWING LIST

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3	CONCRETE	2014-07-09
4	STEEL	2014-07-09
5	MECHANICAL	2014-07-09
6	ELECTRICAL	2014-07-09
7	PLUMBING	2014-07-09
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100	PLUMBING	2014-07-09



DEVONSHIRE PROPERTIES INC.
BEACH TOWERS INVESTMENT INC. &
EMERSON INVESTMENTS INC.

IBI GROUP ARCHITECTS
705-1185 W. 15th Street
Vancouver BC V6E 1B1, Canada
Tel: 604 683 8797 Fax: 604 683 9432
ibigroup.com

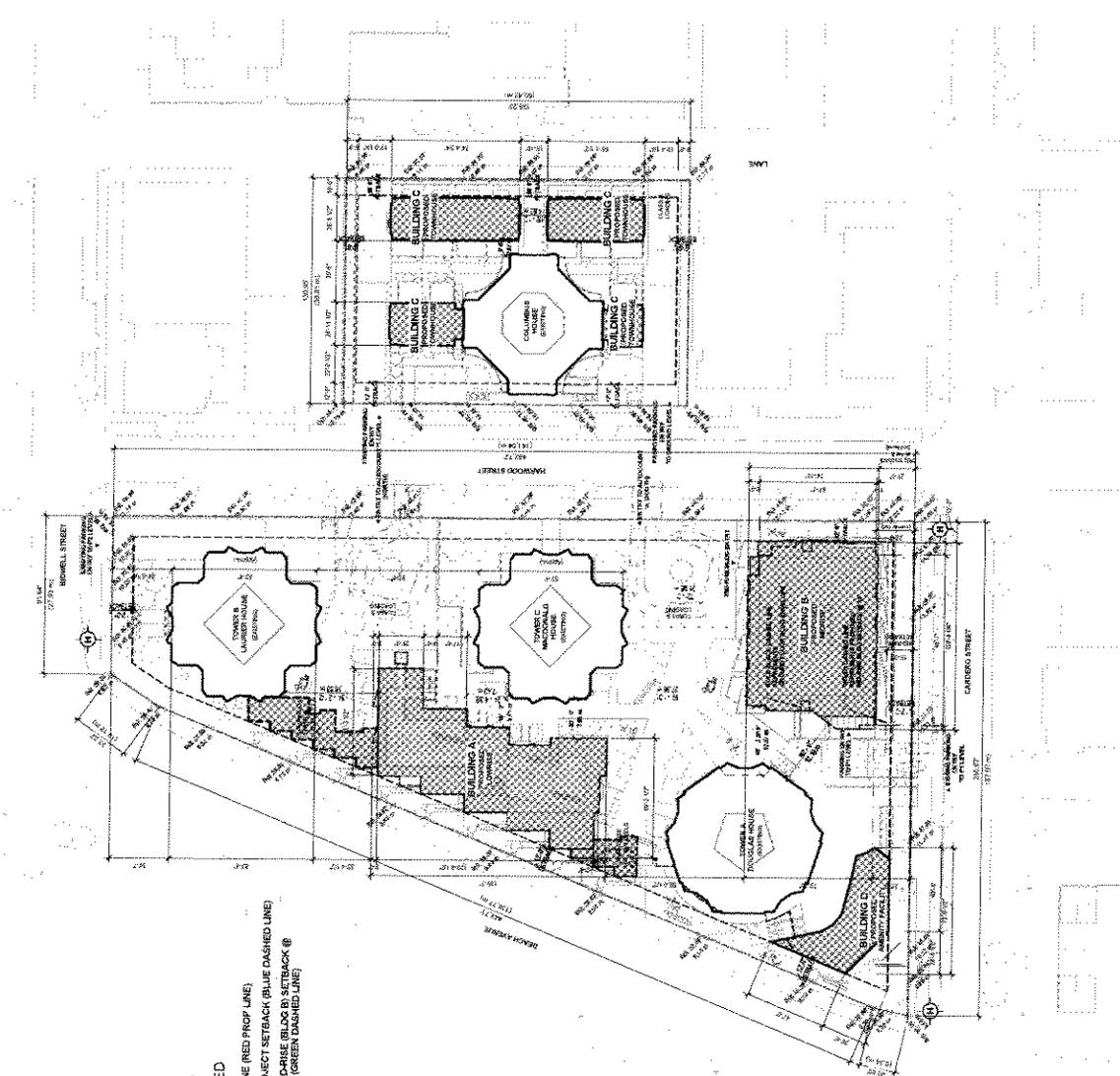


ISSUED FOR DP APPLICATION
DATE: JULY 09, 2014

Date: 2014-07-09
Project No. 28999
Scale:

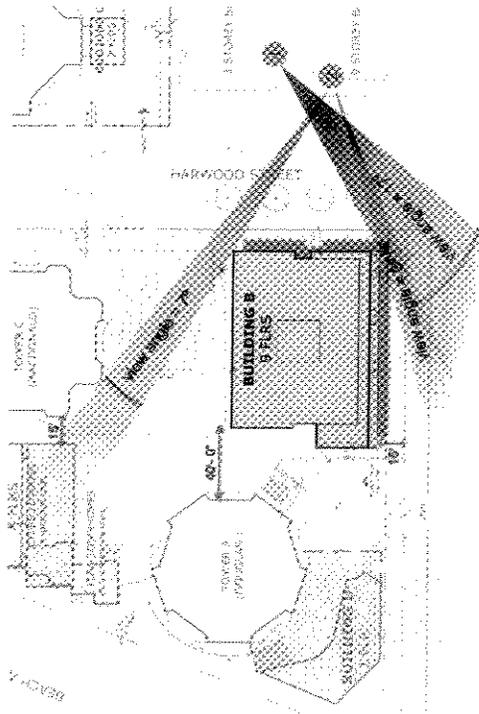
DP0.00

DEVONSHIRE PROPERTIES INC. BRANCH TOWERS DEVELOPMENT INC. & ENGLISH BAY DEVELOPMENT INC.		
PROJECT: BEACH TOWERS DATE: 2020 DRAWN BY: [Name] CHECKED BY: [Name] PROJECT NO: 2020-09		
PROPOSED SITE PLAN		DP0.06

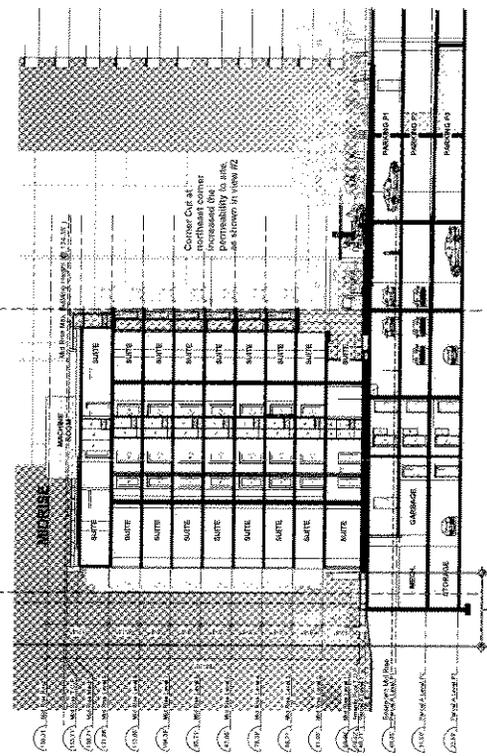
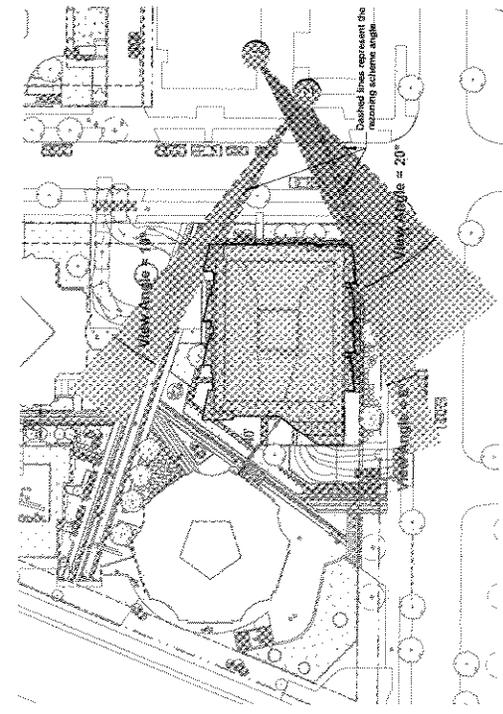
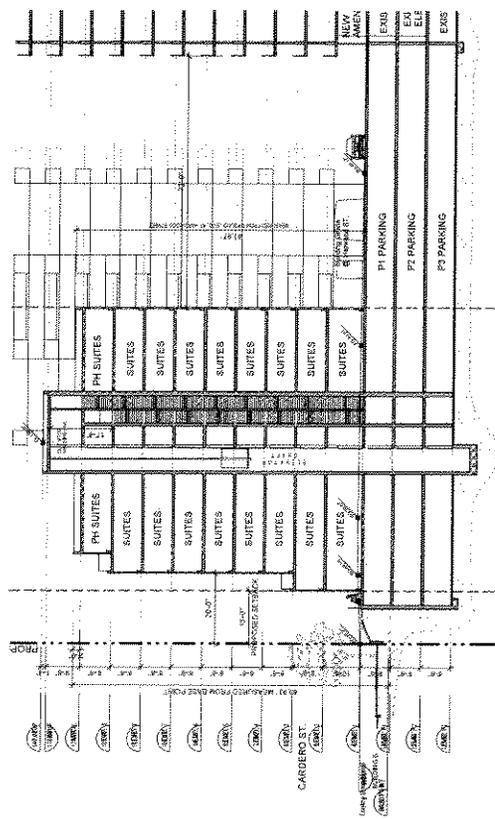


- LEGEND**
- EXISTING
 - PROPOSED
 - PROPERTY LINE (RED DASHED LINE)
 - OVERALL PROJECT SETBACK (BLUE DASHED LINE)
 - PROPOSED IMPAIRE (BLOCK BY SETBACK @ CARRO ST. (GREEN DASHED LINE))

SITE PLAN



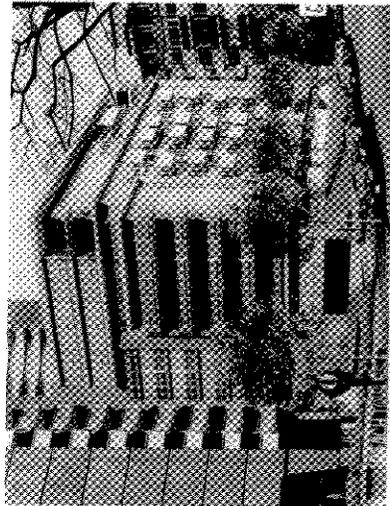
SECTION ALONG HARWOOD STREET



Current plan has wider sidewalk to enhance pedestrian scale

<p>DEVONSHIRE PROPERTIES INC. BEACH TOWERS INVESTMENT FUND, A HOLDING COMPANY (INCORPORATED IN BC)</p>		<p>IBI GROUP 1181 WEST 10TH AVENUE VANCOUVER, BC V6H 3G1 TEL: 604.681.1111 WWW.IBIGROUP.COM</p>	
<p>PROJECT TITLE BEACH TOWERS 1800 BEACH AVENUE 1801 HARWOOD STREET VANCOUVER, BC</p>		<p>PROJECT NO. 20020 DATE JULY 09, 2014 SCALE 1/8" = 1'-0" CONTRACT NO. 101-101 PROJECT NO. 101-101</p>	
<p>PROJECT NO. 20020 DATE JULY 09, 2014 SCALE 1/8" = 1'-0" CONTRACT NO. 101-101 PROJECT NO. 101-101</p>		<p>SHEET NUMBER MIDRISE VIEW ANALYSIS PROJECT NUMBER DP0.21</p>	

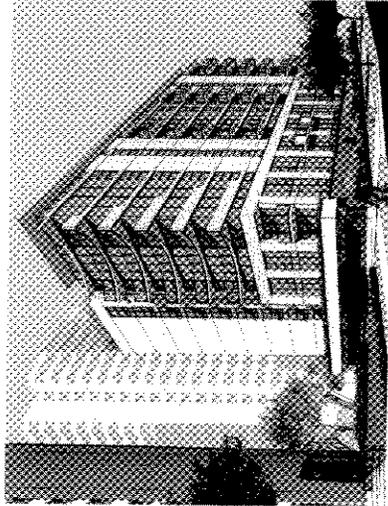
ORIGINAL SCHEME SEPT. 21, 2011 (UDP)



Urban Design Panel (UDP) Comments

- Reduce Mass of building to increase permeability through the site
- Create more separation between its adjacent tower (Douglas Tower A)

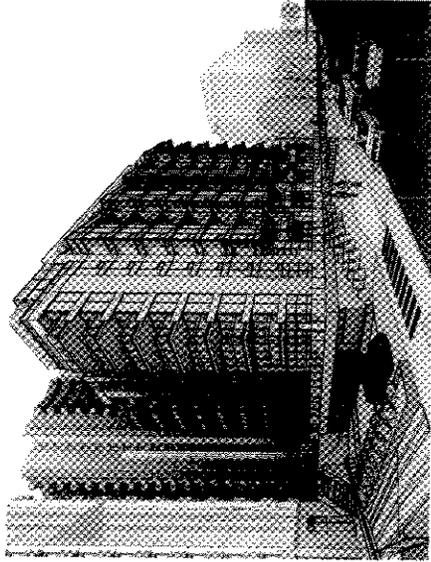
REZONING SCHEME MAY 17, 2012



Respond to UDP Comments

- The Midrise has been reshaped and the length along Cardero has decreased such that the separation between it and its neighboring tower has been increased from 25 to 40'
- The new form is also simpler and more refined, featuring a two (2) storey base that relates more with the street
- The parking podium has also been revised, removing the stepped landscape and instead returning the existing "park like landscape" that currently fronts the street.
- Curvilinear balconies has been introduced on the west and north elevation to reference towers adjacent

NEW SCHEME JULY 09, 2014



Design Progress

- The massing is further reshaped (EG: corner cuts were considered) to provide better view angles for its neighboring buildings and to give architectural continuity from the existing landscape along Beach Avenue.
- The two (2) storey base is further recessed along South (Cardero Street) to enhance the pedestrian scale value from a 15' setback to 22'.
- Glass balcony railings soften the building corners and connects with the form and shape of the existing buildings in pleasing harmony (EG: Douglas and MacDonald Towers respectively)
- Architectural concrete frame and sand stone panels are used to create a contemporary feel whilst respecting the overall heritage character.
- Concrete frames are limited to select areas but highly considered as an Architectural finish to blend-in with the context of the site.

<p>CLIENT DEVONSHIRE PROPERTIES INC. BEACH TOWERS PARTNERSHIP INC. & ENGLISH INVESTMENTS INC.</p>	
<p>PROJECT 185 HAWKWOOD STREET, VANCOUVER, BC</p>	
<p>DATE JULY 09, 2014</p>	
<p>SCALE 1:100</p>	
<p>PROJECT NO. 78009</p>	
<p>CHARTER ON: 13</p>	
<p>DATE JULY 09, 2014</p>	
<p>PROJECT NAME MIDRISE MASSING STUDY</p>	
<p>PROJECT NO. DP0.22</p>	

DEVONSHIRE PROPERTIES INC.
 BEACH TOWERS INVESTMENT INC. & ENGLISH BAY INVESTMENT INC.

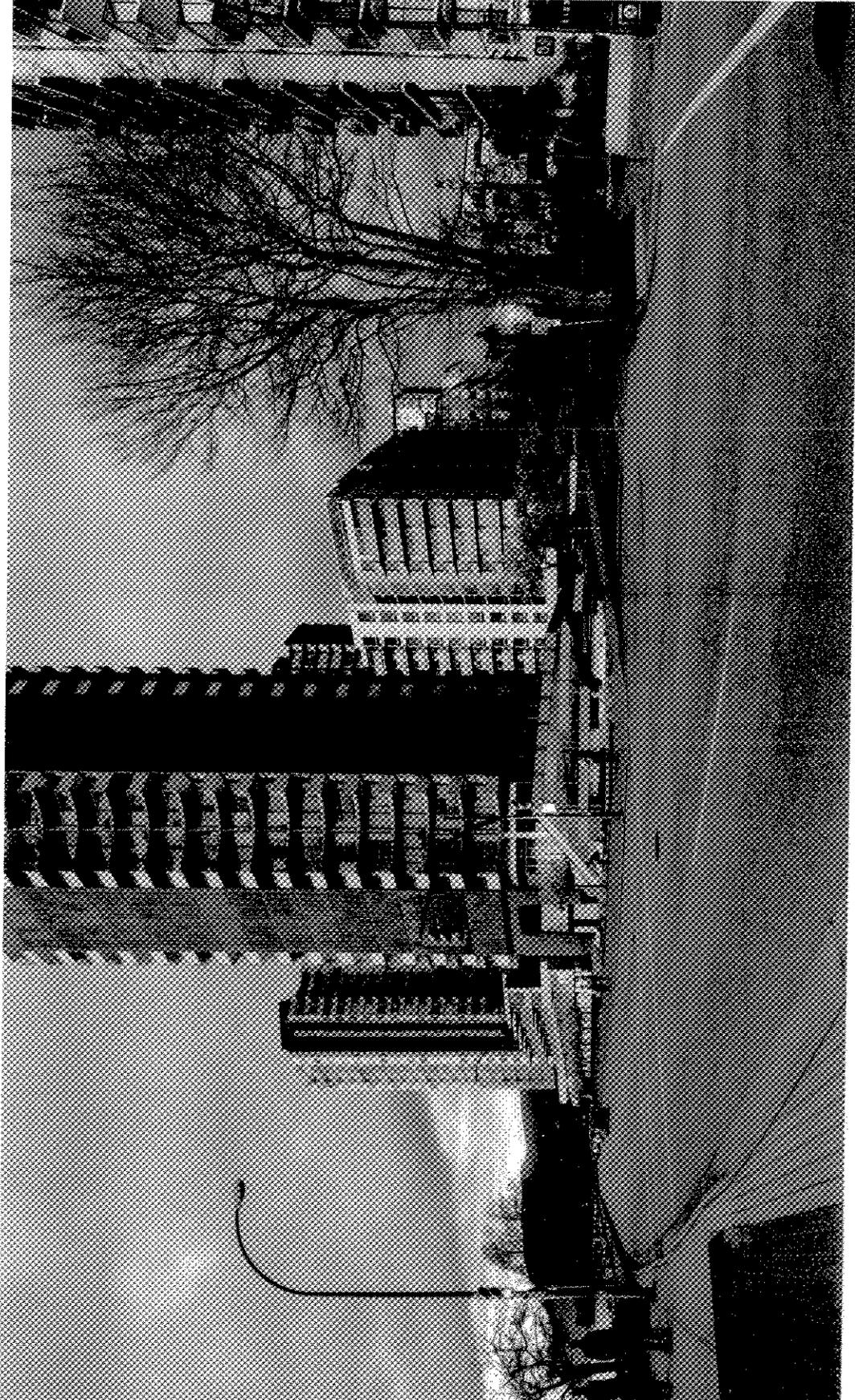
IBI GROUP INC.
 1000 AVENUE AVENUE
 SUITE 1000
 VANCOUVER BC V6P 6E6
 TEL: 604.681.1111
 WWW.IBIGROUP.COM

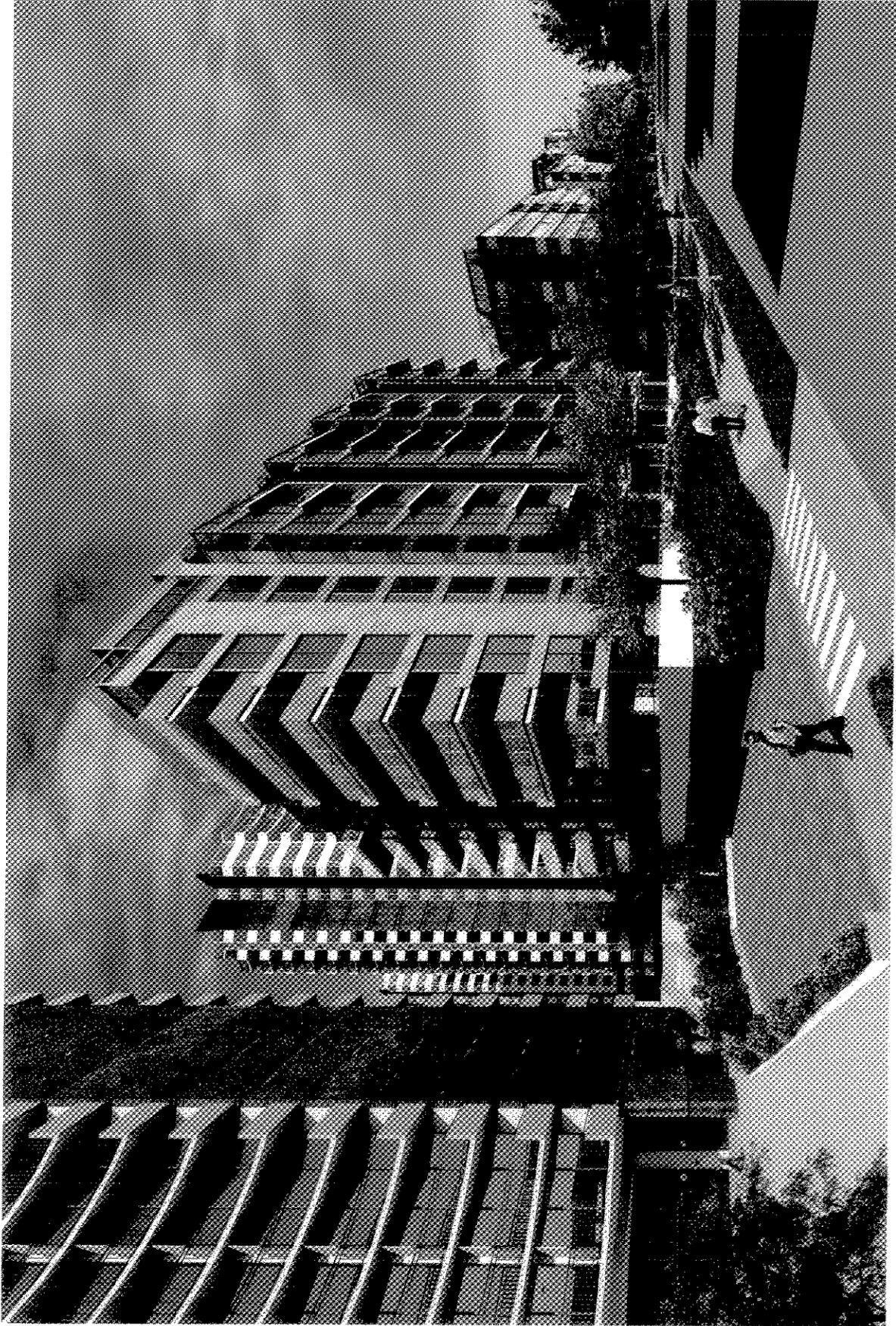
BEACH TOWERS
 1851 HANCOCK STREET
 VANCOUVER BC

PROJECT NO: 2009
 DRAWN BY: STS
 CHECKED BY: STS
 DATE: 01/10/2014

PERSPECTIVES RENDERING

SHEET NUMBER: **DP0.33**





DEVONSHIRE PROPERTIES INC. BEACH TOWERS DEVELOPMENT INC. A EXISTENT PART OF DEVONSHIRE		PROJECT NO. 20000 DRAWN BY: [Signature] DATE: JUL 08 2008 SCALE: 1/4" = 1'-0" SHEET: 001 DATE: JUL 08 2008	
PROJECT NO. 20000 DRAWN BY: [Signature] DATE: JUL 08 2008 SCALE: 1/4" = 1'-0" SHEET: 001 DATE: JUL 08 2008		PERSPECTIVES RENDERING	
PROJECT NO. 20000 DRAWN BY: [Signature] DATE: JUL 08 2008 SCALE: 1/4" = 1'-0" SHEET: 001 DATE: JUL 08 2008		DP0.35	

DEVONSHIRE PROPERTIES INC.
 BEACH TOWERS DEVELOPMENT INC. & DESIGN AND CONSTRUCTION INC.

IBI GROUP INC.
 700-1020 WEST 10TH AVENUE, SUITE 200
 VANCOUVER, BC V6H 3G5
 TEL: 604-275-1111 FAX: 604-275-1112
 www.ibigroup.com

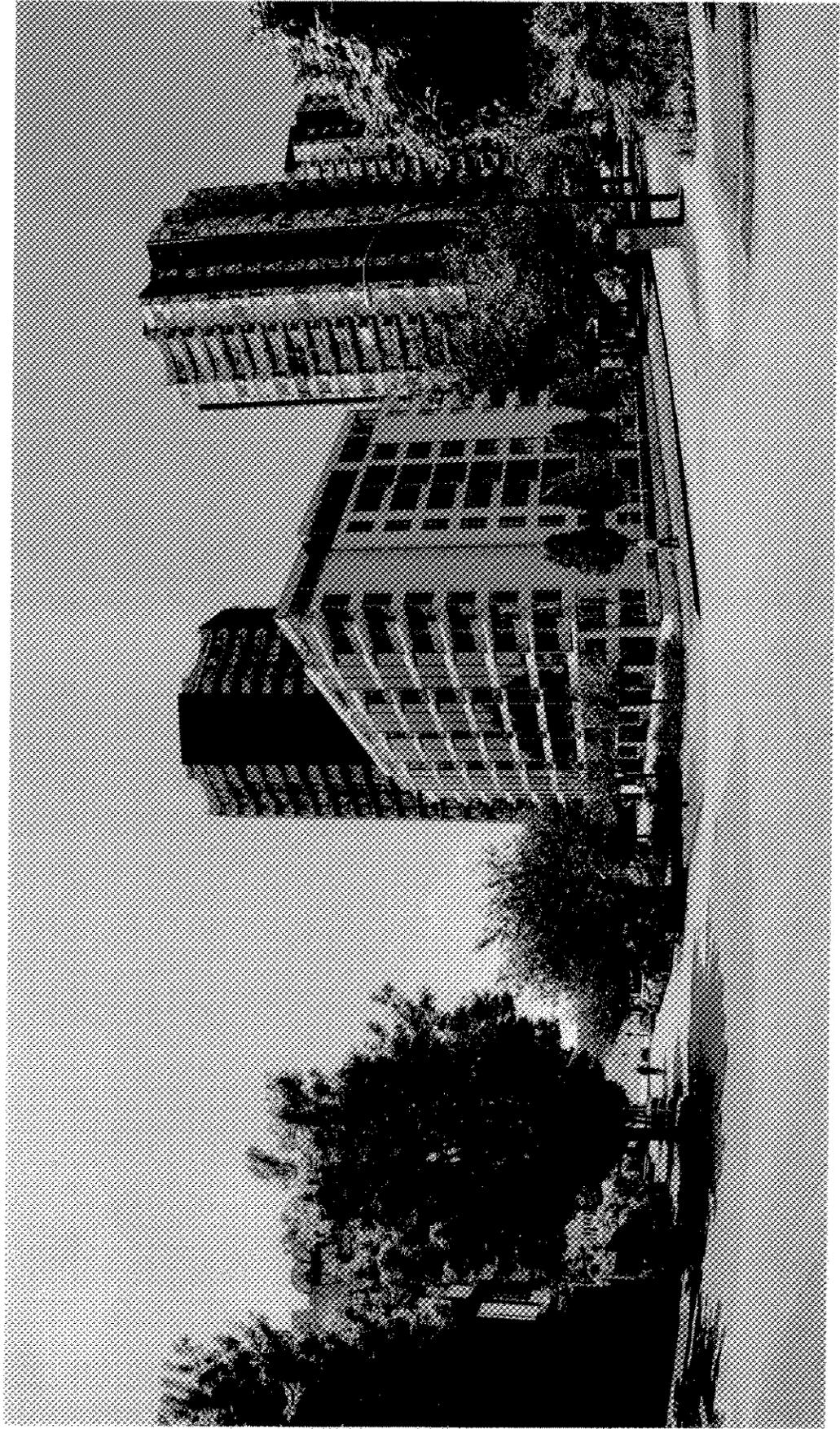
PROJECT TITLE:
 BEACH TOWERS
 1800 BEACH AVENUE
 1801 HAWKWOOD STREET,
 VANCOUVER, BC

PROJECT NO.: 2889
DATE: 27 FEB 2014
SCALE: 1/4" = 1'-0"
DATE: 27 FEB 2014

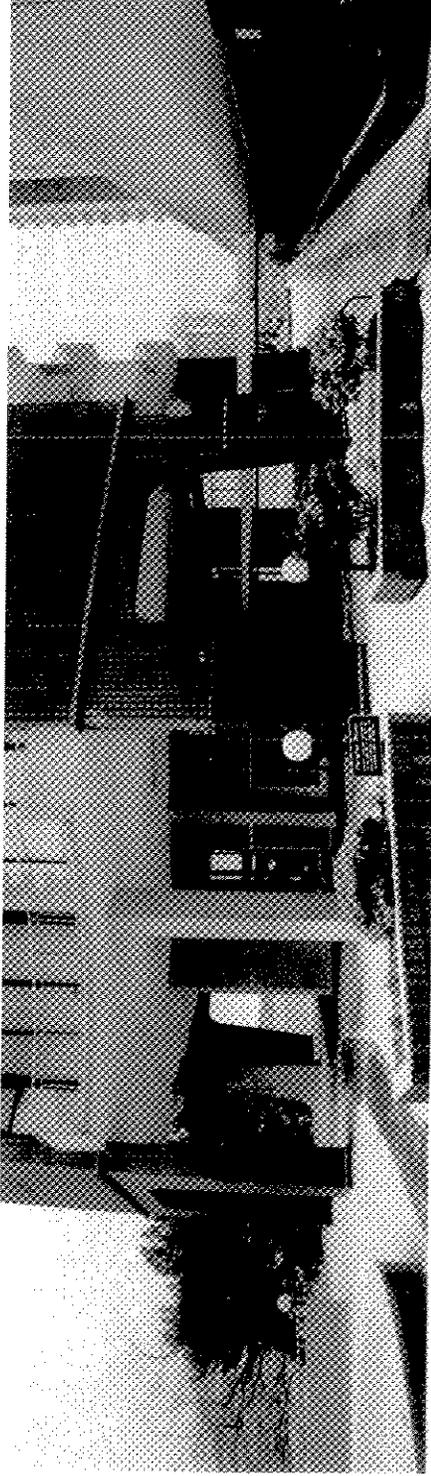
PROJECT NO.: 2889
DATE: 27 FEB 2014
SCALE: 1/4" = 1'-0"
DATE: 27 FEB 2014

PERSPECTIVES RENDERING

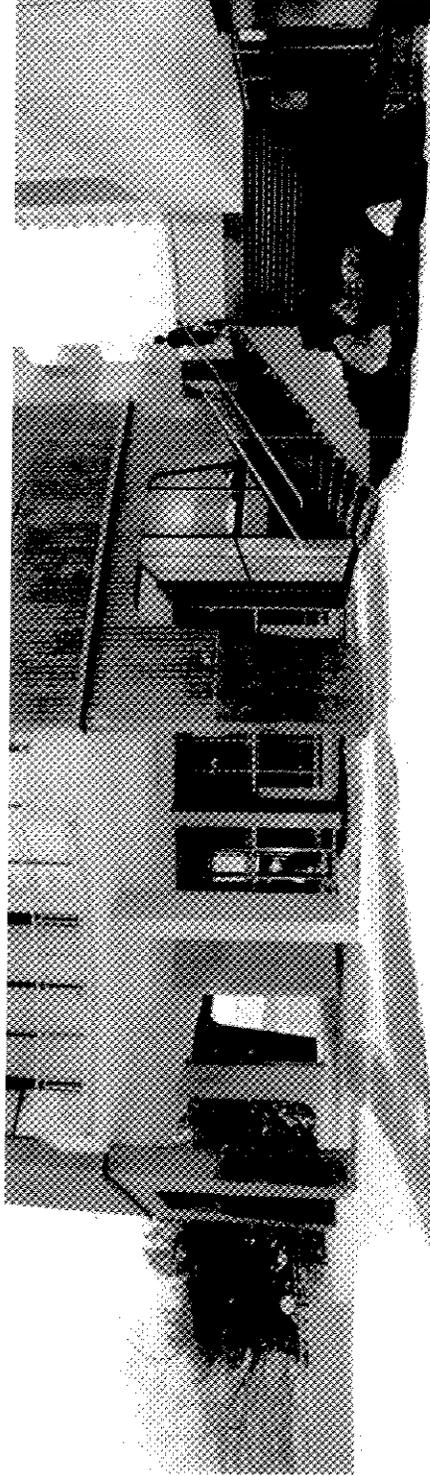
DP0.36



TOWER A (DOUGLAS)
(View from Cardero Street)



EXISTING



INFILL WITH EXTERIOR GLAZED WALL

CLIENT DEVONSHIRE PROPERTIES INC. BEACH TOWERS INVESTMENTS INC. & DEVELOPMENT INVESTMENT TRUST	
COMMENTS This drawing is prepared for the purpose of illustrating the proposed design and construction of the project. It is not to be used for any other purpose without the written consent of the architect.	
NO. 1	DATE 2024
PROJECT TITLE BEACH TOWERS	PROJECT ADDRESS 1800 BEACH AVENUE, VANGOVER, BC
ARCHITECT JBI ARCHITECTS 100-1000 WILLOW STREET, VANCOUVER, BC	DATE JULY 20, 2024
SCALE N/A	PROJECT NUMBER DP0.41

TOWER A (DOUGLAS)
(View from the Plaza/East Entrance)



EXISTING

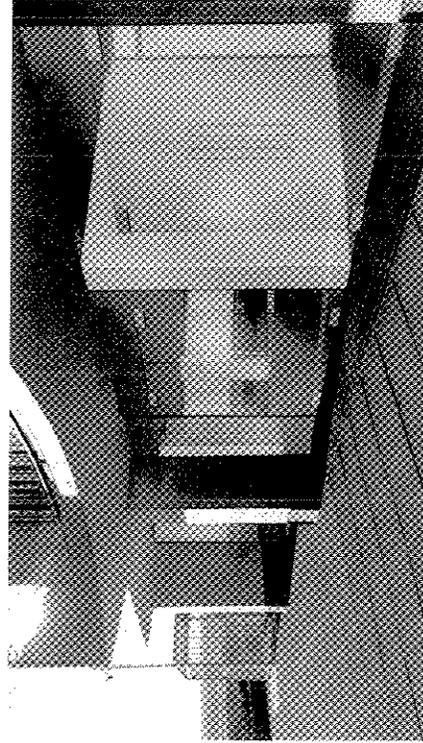


INFILL WITH EXTERIOR GLAZED WALL

TOWER B (LAURIER)
(View from the Plaza/South Entrance)



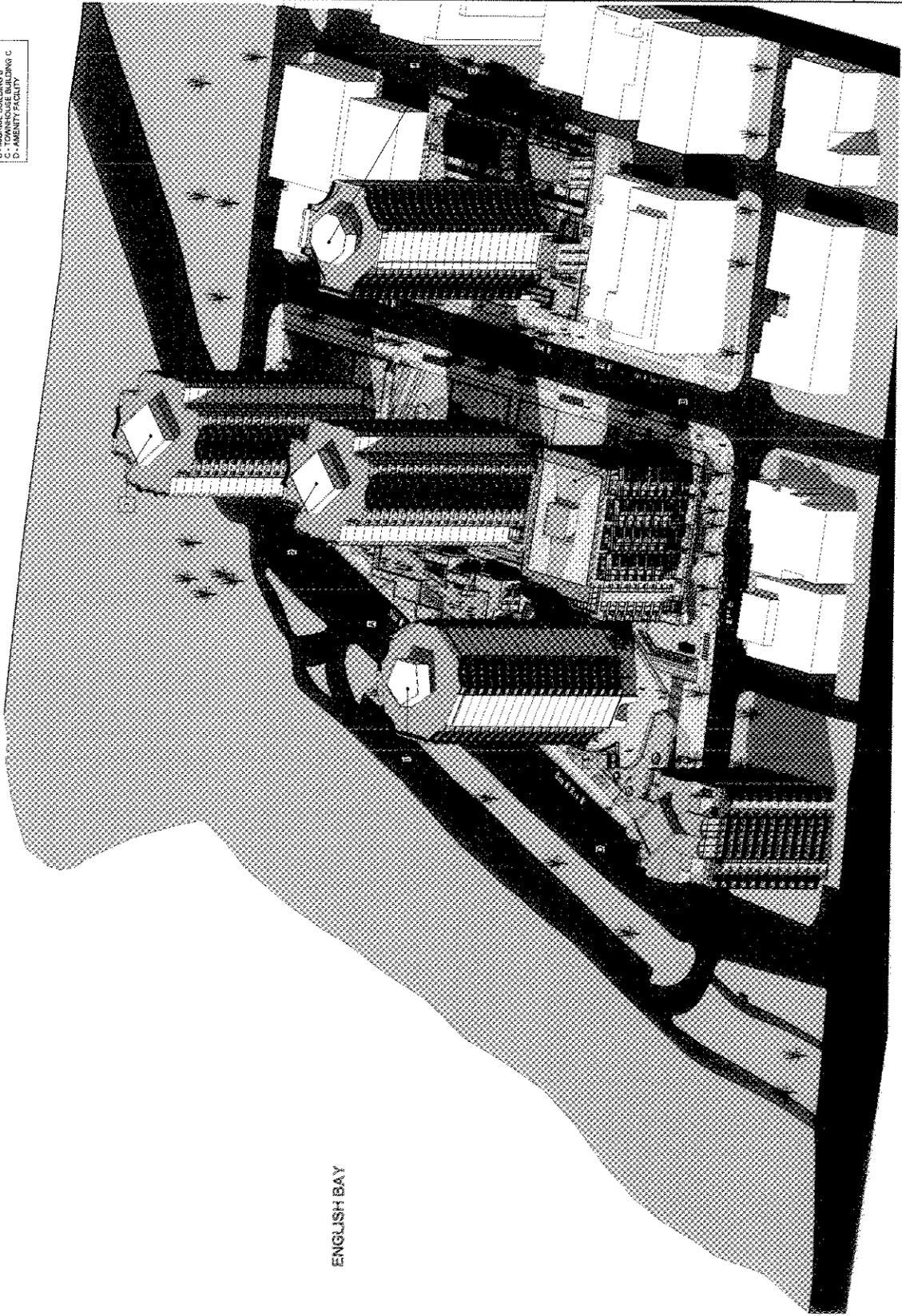
EXISTING



INFILL WITH EXTERIOR GLAZED WALL

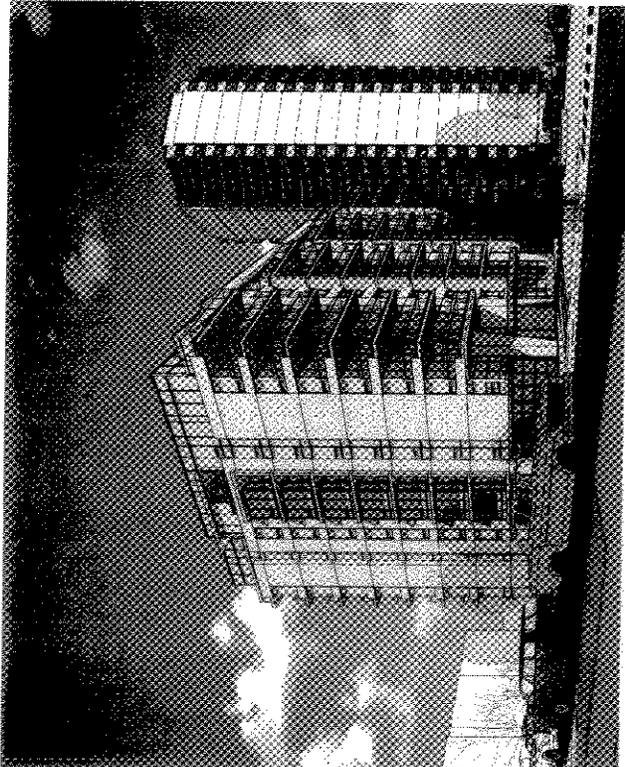
DEVONSHIRE PROPERTIES INC. PROJECT TOWERS DEVELOPMENT INC. & ENGLISHWAY MANAGEMENTS INC.	
IBI GROUP INC. 185 WEST 4TH STREET, SUITE 200 VANCOUVER, BC V6C 1T6 TEL: 604.681.3831 WWW.IBIGROUP.COM	
BEACH TOWERS 185 WEST 4TH STREET 1851 HARWOOD STREET VANCOUVER, BC	
PROJECT NO. 2009	SHEET NO. 01
DATE: 2011.11.24	SCALE: 1/8" = 1'-0"
TOWER INFILL VIEW ANALYSIS	
PROJECT NUMBER: 01	
DP0.42	

- LEGEND:**
- 1 - DOUGLAS HOUSE
 - 2 - JARVIS HOUSE
 - 3 - LAUREN HOUSE
 - 4 - COLUMBUS HOUSE
 - 5 - JAMES HOUSE
 - 6 - MADRIS BUILDINGS
 - C - TOWNHOUSE BUILDING C
 - D - AMENITY FACILITY

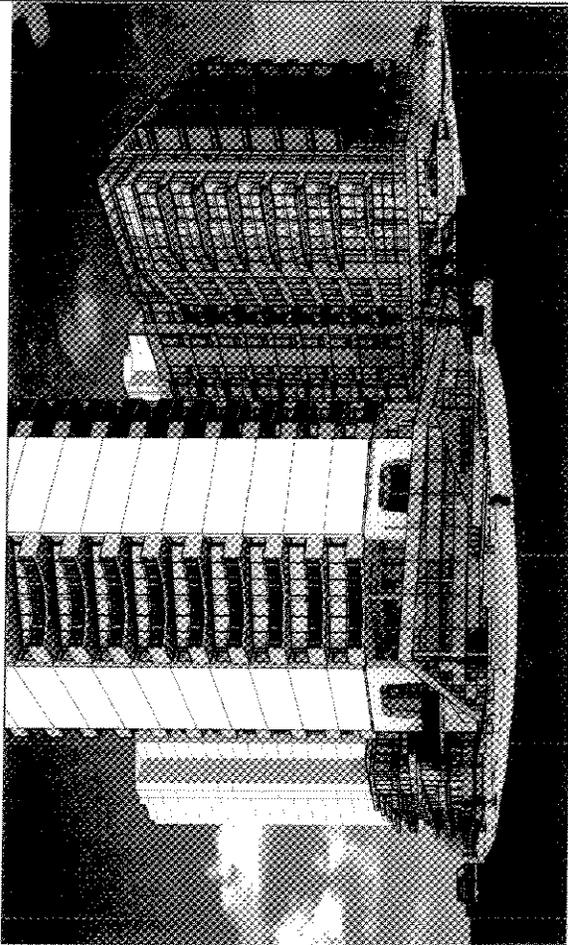


ENGLISH BAY

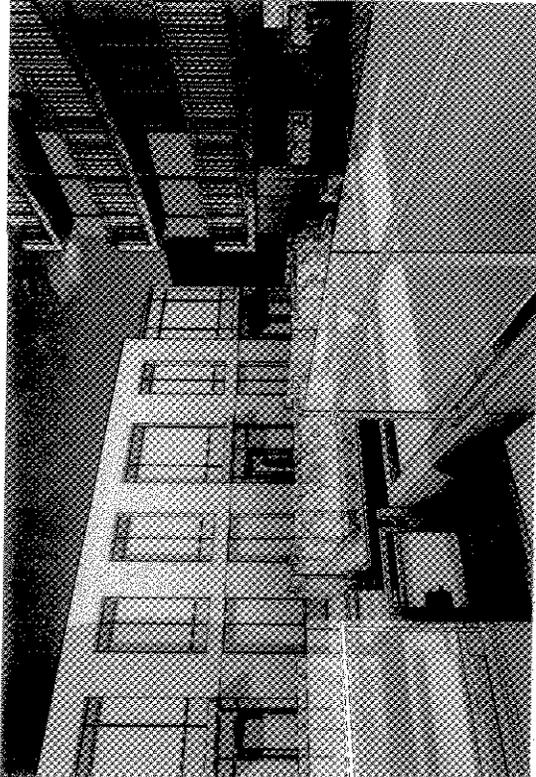
DEVONSHIRE PROPERTIES INC. BEACH TOWERS INVESTMENT P.C. & DEVELOPMENT INVESTMENT TRUST		PROJECT NO. 2009-0001 SHEET NO. 1 OF 1 DATE: 04/15/09	
IBI GROUP 100-1100 WEST DAVENPORT STREET VANCOUVER, BC V6E 3T9 TEL: 604.681.1111 WWW.IBIGROUP.COM		BEACH TOWERS 1800 BEACH AVENUE 1801 HAYWOOD STREET VANCOUVER, BC	
PROJECT NO. 2009-0001 SHEET NO. 1 OF 1 DATE: 04/15/09		AERIAL VIEW FROM SOUTHEAST	
DRAWN BY: [Name] CHECKED BY: [Name] DATE: 04/15/09		PROJECT NO. 2009-0001 SHEET NO. 1 OF 1 DATE: 04/15/09	
PROJECT NO. 2009-0001 SHEET NO. 1 OF 1 DATE: 04/15/09		PROJECT NO. 2009-0001 SHEET NO. 1 OF 1 DATE: 04/15/09	



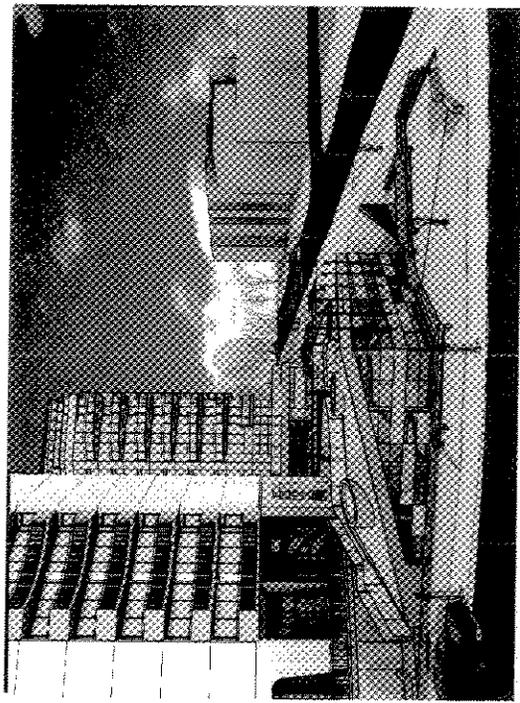
MIDRISE VIEW FROM HARWOOD TOWNHOUSE



VIEW AT AMENITY



VIEW FROM SUITE COURTYARD



AMENITY VIEW FROM BEACH STREET

DEVONSHIRE PROPERTIES INC.
 1800 BEACH AVENUE, SUITE 100
 BEACH, FLORIDA 33434-1000

IBI GROUP ARCHITECTS
 1800 BEACH AVENUE, SUITE 100
 BEACH, FLORIDA 33434-1000

PROJECT TITLE:
BEACH TOWERS
 1800 BEACH AVENUE,
 1801 HARWOOD STREET,
 BEACH, FLORIDA 33434

PROJECT NUMBER:
DP0.54

DATE: JULY 20, 2014

SCALE: N.T.S.

PROJECT LOCATION: BEACH, FLORIDA

CLIENT: DEVONSHIRE PROPERTIES INC.

ARCHITECT: IBI GROUP ARCHITECTS

DATE: JULY 20, 2014

PROJECT TITLE:
BEACH TOWERS
 1800 BEACH AVENUE,
 1801 HARWOOD STREET,
 BEACH, FLORIDA 33434

PROJECT NUMBER:
DP0.54

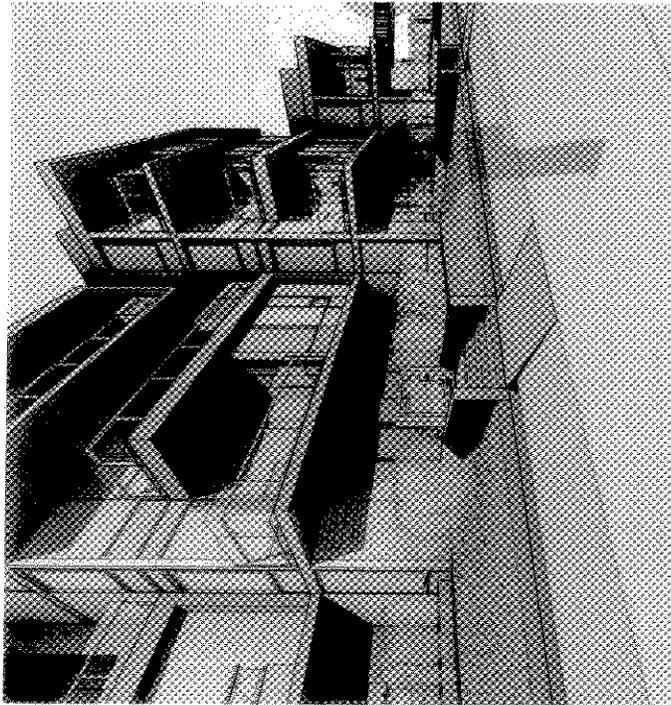
DATE: JULY 20, 2014

SCALE: N.T.S.

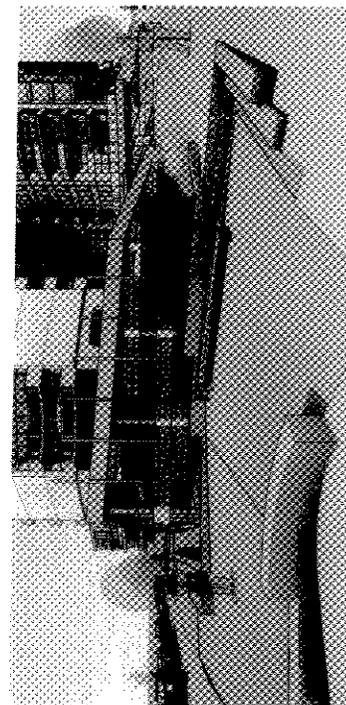
PROJECT LOCATION: BEACH, FLORIDA

CLIENT: DEVONSHIRE PROPERTIES INC.

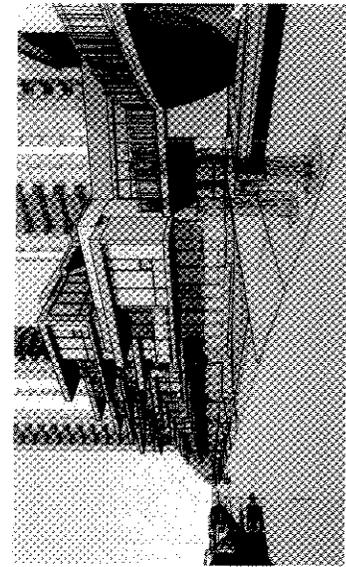
ARCHITECT: IBI GROUP ARCHITECTS



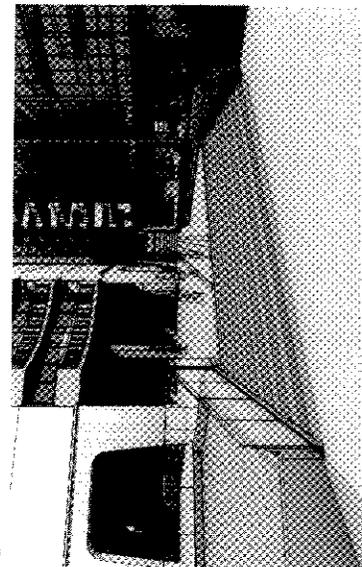
1 STREETSCAPE VIEW FROM BEACH AVENUE



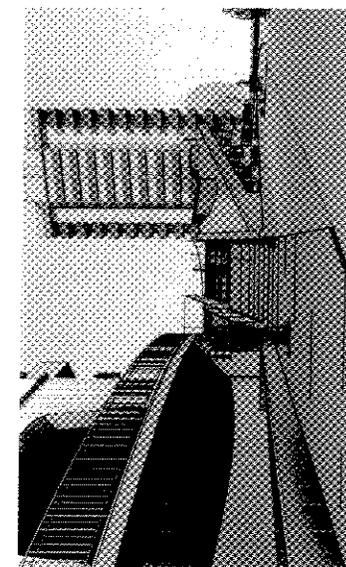
2 STREETSCAPE VIEW FROM AMENITY COURTYARD



3 STREETSCAPE VIEW FROM BEACH AVENUE

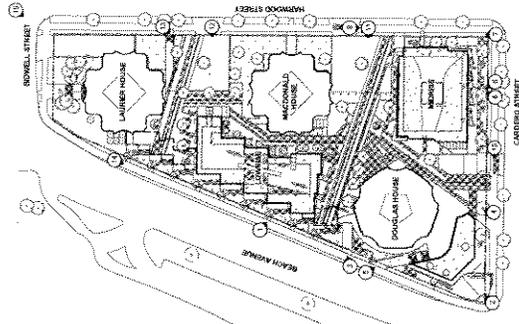


4 STREETSCAPE VIEW FROM CARDERO



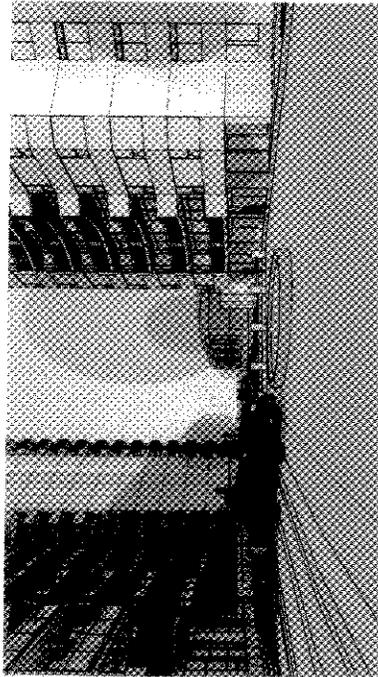
5 STREETSCAPE VIEW FROM STAIR AT AMENITY

KEYPLAN

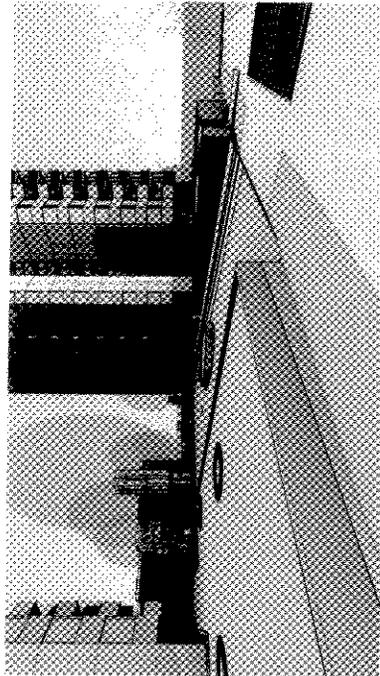


<p>CLIENT DEVONSHIRE PROPERTIES INC. BEACH TOWERS INVESTMENT INC. & PROPERTIES INVESTMENT INC.</p>	<p>PROJECT BEACH TOWERS 1871 HARWOOD STREET VANCOUVER, BC</p>	<p>ARCHITECT IBI 100-1111 AVENUE 6 VANCOUVER, BC V6P 5G6 TEL: 604.681.1111 WWW.IBI.CA</p>	<p>PROJECT NO. 2009 DRAWN BY: JRM CHECKED BY: JRM DATE: JULY 10, 2014</p>	<p>PROJECT NAME STREETSCAPE VIEWS</p>	<p>PROJECT NUMBER DP0.55</p>
<p>NOTES: 1. THIS DRAWING IS A PART OF A LARGER SET OF DRAWINGS. 2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED. 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED. 5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED. 6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED. 7. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED. 8. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED. 9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED. 10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.</p>					

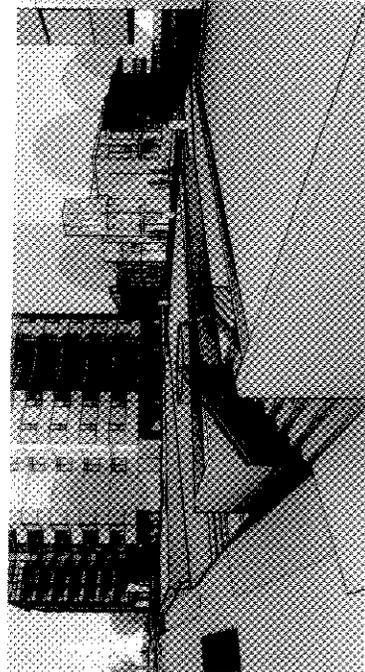
- appendix C ; page 32 of



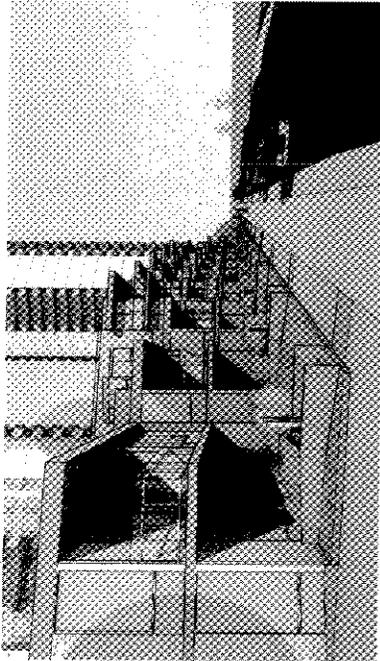
11 STREETScape VIEW TOWARD AUTOCOURT



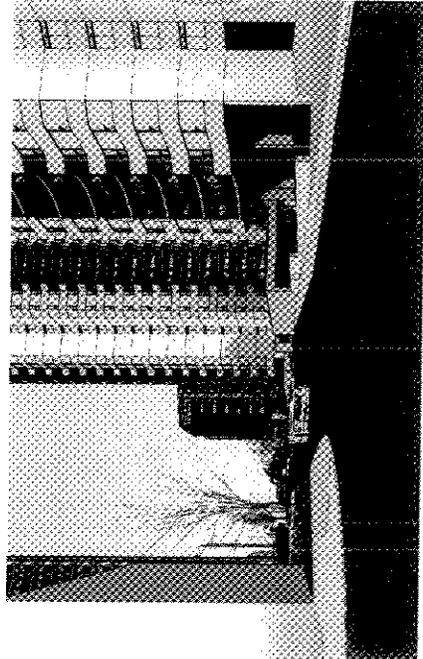
12 STREETScape VIEW TOWARD AUTOCOURT



13 STREETScape VIEW TOWARD AUTOCOURT

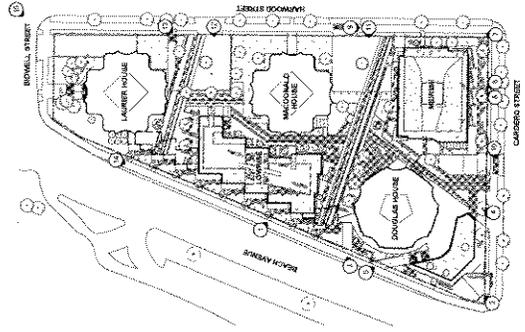


14 STREETScape VIEW FROM BEACH AVENUE



15 STREETScape VIEW FROM BIDWELL STREET

KEYPLAN



DEVONSHIRE PROPERTIES INC. BEACH TOWERS INVESTMENT LLC & CONSULTANT INVESTMENT LLC			PROJECT TITLE BEACH TOWERS 1600 BEACH AVENUE 1851 HERWOOD STREET FARMINGDALE, DC	PROJECT NO. 2809 DRAWING NO. 01	SCALE DATE: JULY 28, 2014	SHEET NO. STREETScape VIEWS	SHEET NUMBER DP0.57
PROJECT LOCATION 1600 BEACH AVENUE 1851 HERWOOD STREET FARMINGDALE, DC							
PROJECT NO. 2809 DRAWING NO. 01		PROJECT TITLE BEACH TOWERS 1600 BEACH AVENUE 1851 HERWOOD STREET FARMINGDALE, DC		PROJECT NO. 2809 DRAWING NO. 01		SHEET NO. STREETScape VIEWS	
PROJECT LOCATION 1600 BEACH AVENUE 1851 HERWOOD STREET FARMINGDALE, DC		PROJECT TITLE BEACH TOWERS 1600 BEACH AVENUE 1851 HERWOOD STREET FARMINGDALE, DC		PROJECT NO. 2809 DRAWING NO. 01		SHEET NO. STREETScape VIEWS	
PROJECT NO. 2809 DRAWING NO. 01		PROJECT TITLE BEACH TOWERS 1600 BEACH AVENUE 1851 HERWOOD STREET FARMINGDALE, DC		PROJECT NO. 2809 DRAWING NO. 01		SHEET NO. STREETScape VIEWS	
PROJECT LOCATION 1600 BEACH AVENUE 1851 HERWOOD STREET FARMINGDALE, DC		PROJECT TITLE BEACH TOWERS 1600 BEACH AVENUE 1851 HERWOOD STREET FARMINGDALE, DC		PROJECT NO. 2809 DRAWING NO. 01		SHEET NO. STREETScape VIEWS	

DEVONSHIRE PROPERTIES INC.
 BEACH TOWERS INVESTMENT INC. & ENGLISH BAY INVESTMENTS INC.

IBI
 INTERNATIONAL BUILDING DESIGN
 1000 WEST 10TH AVENUE, SUITE 1000
 VANCOUVER, BC V6H 1G5
 TEL: 604.681.1111
 WWW.IBIDesign.com

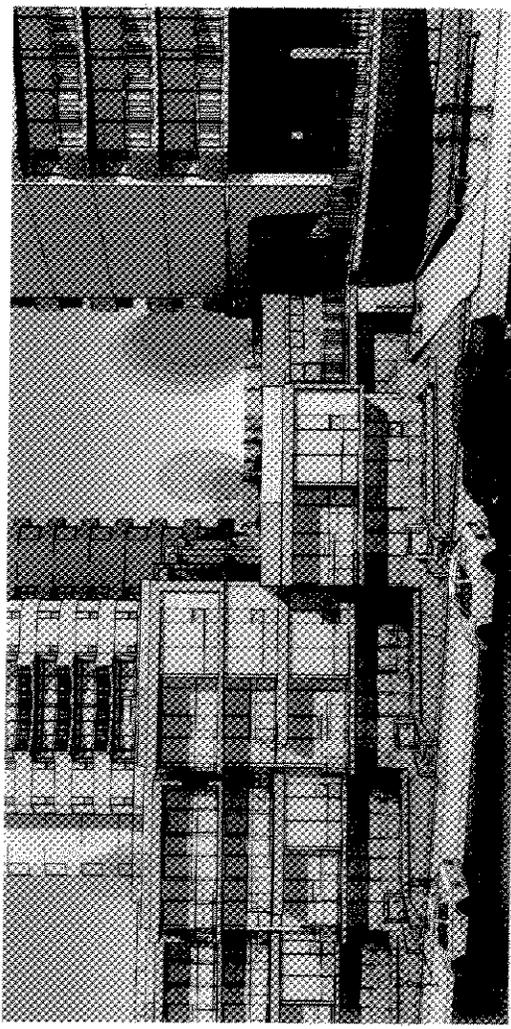
BEACH TOWERS
 1051 HANCOCK STREET,
 VANCOUVER, BC

PROJECT NO: 2009
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 CHECKED BY: [blank]
 DATE: [blank]

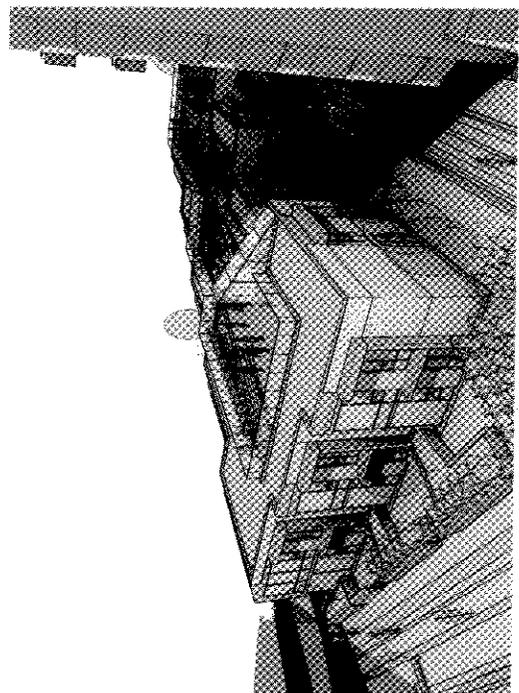
LOWRISE PERSPECTIVES

SHEET NO: [blank]

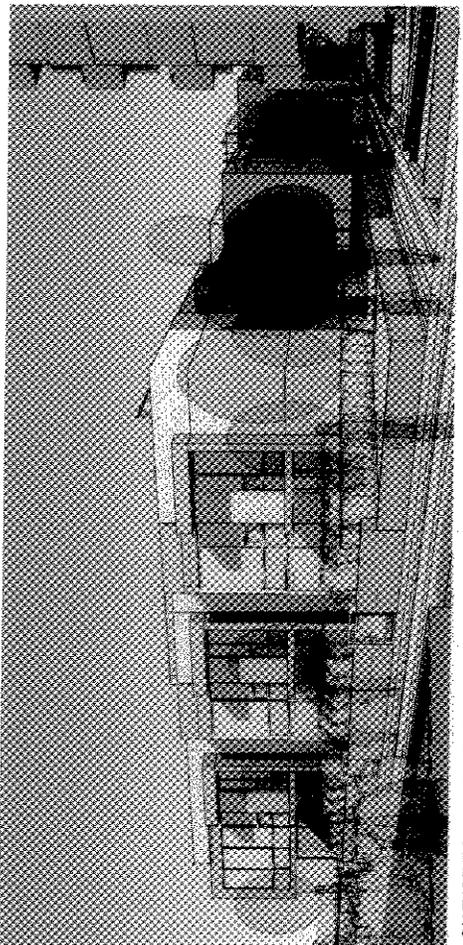
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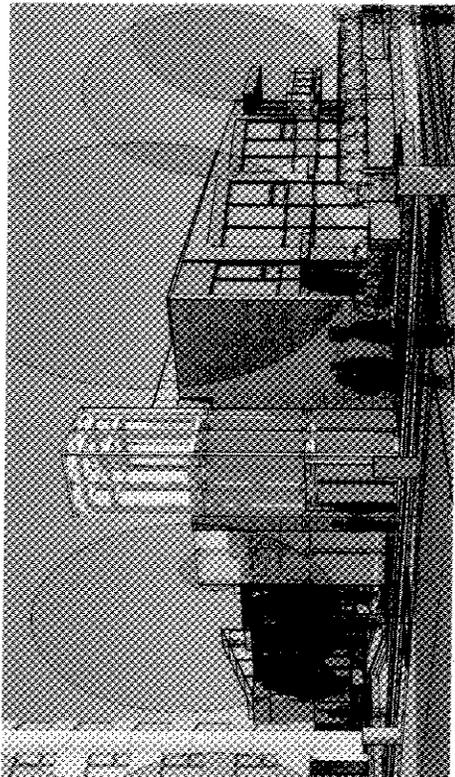
LOWRISE TOWNHOUSE FROM BEACH AVENUE



VIEW OF LOWRISE ROOF TERRACE

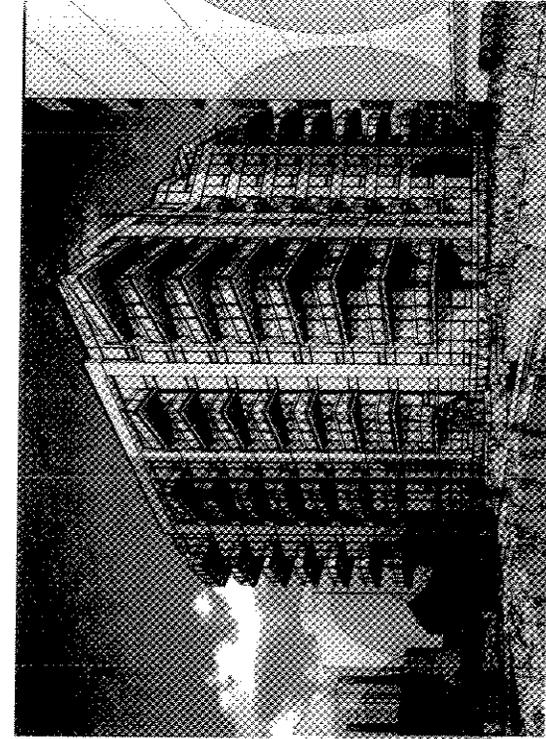


LOWRISE TOWNHOUSE VIEW FROM PLAZA

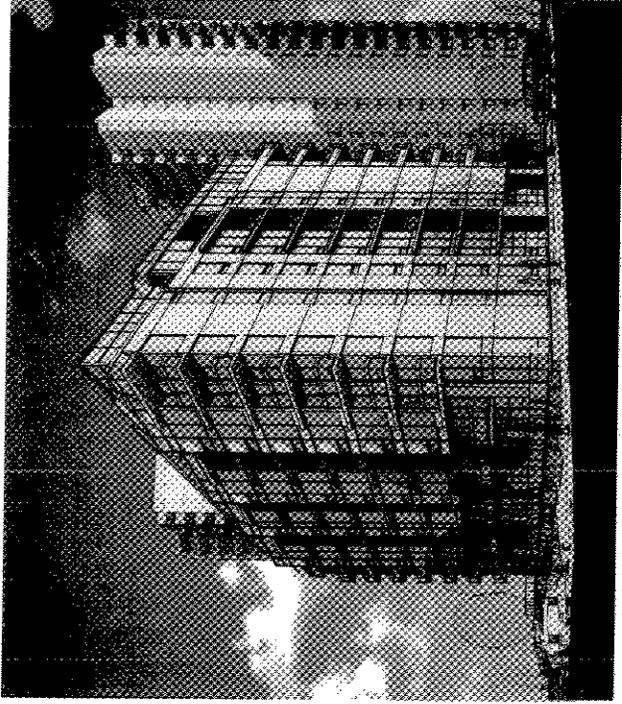


ELEVATOR ACCESS TO ROOF TERRACE

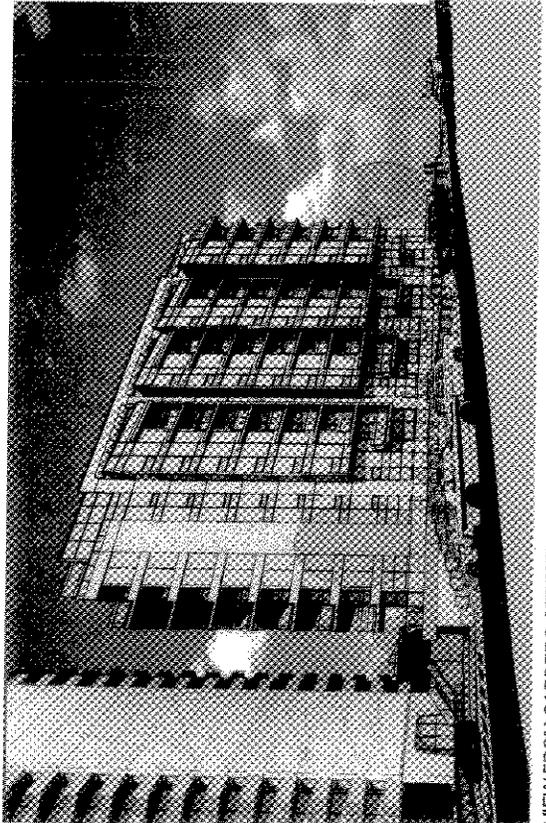
DEVONSHIRE PROPERTIES INC. BEACH TOWERS PAVEMENT INC. & EXCLUSIVE INVESTMENTS INC.	
IBI GROUP 100 J.W. AUBREY DRIVE SUITE 1000 VANCOUVER, BC V6L 2R9 TEL: 604.278.1111 FAX: 604.278.1112 WWW.IBIGROUP.COM	
BEACH TOWERS 1021 HARWOOD STREET VANCOUVER, BC	
PROJECT NO.: 2008	DRAWN BY: E.S.
CHECKED BY: J.S.	DATE: JUL 24, 2014
MIDRISE PERSPECTIVES	
SHEET NUMBER:	
DP0.62	



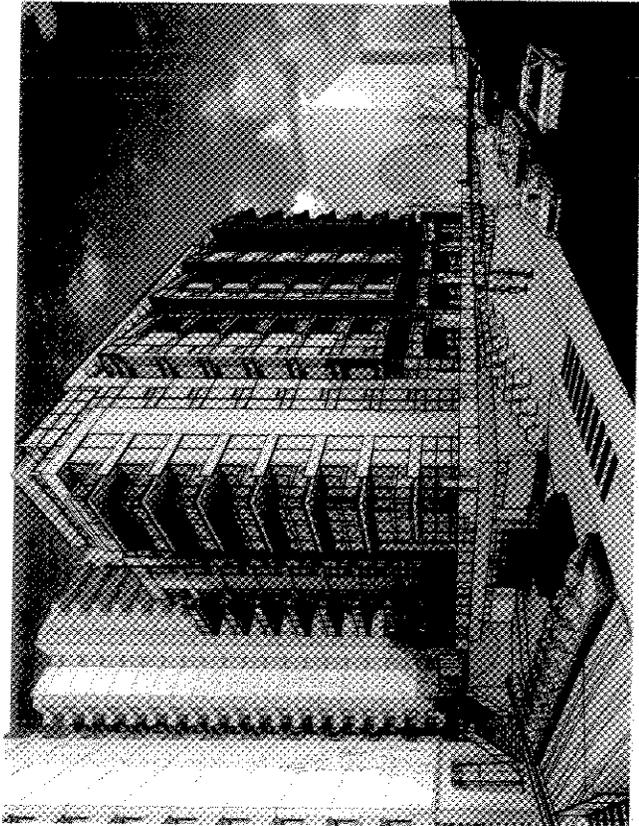
VIEW FROM PLAZA



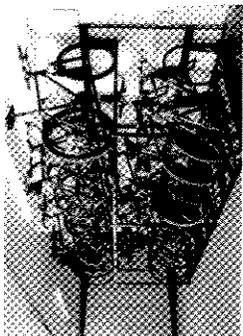
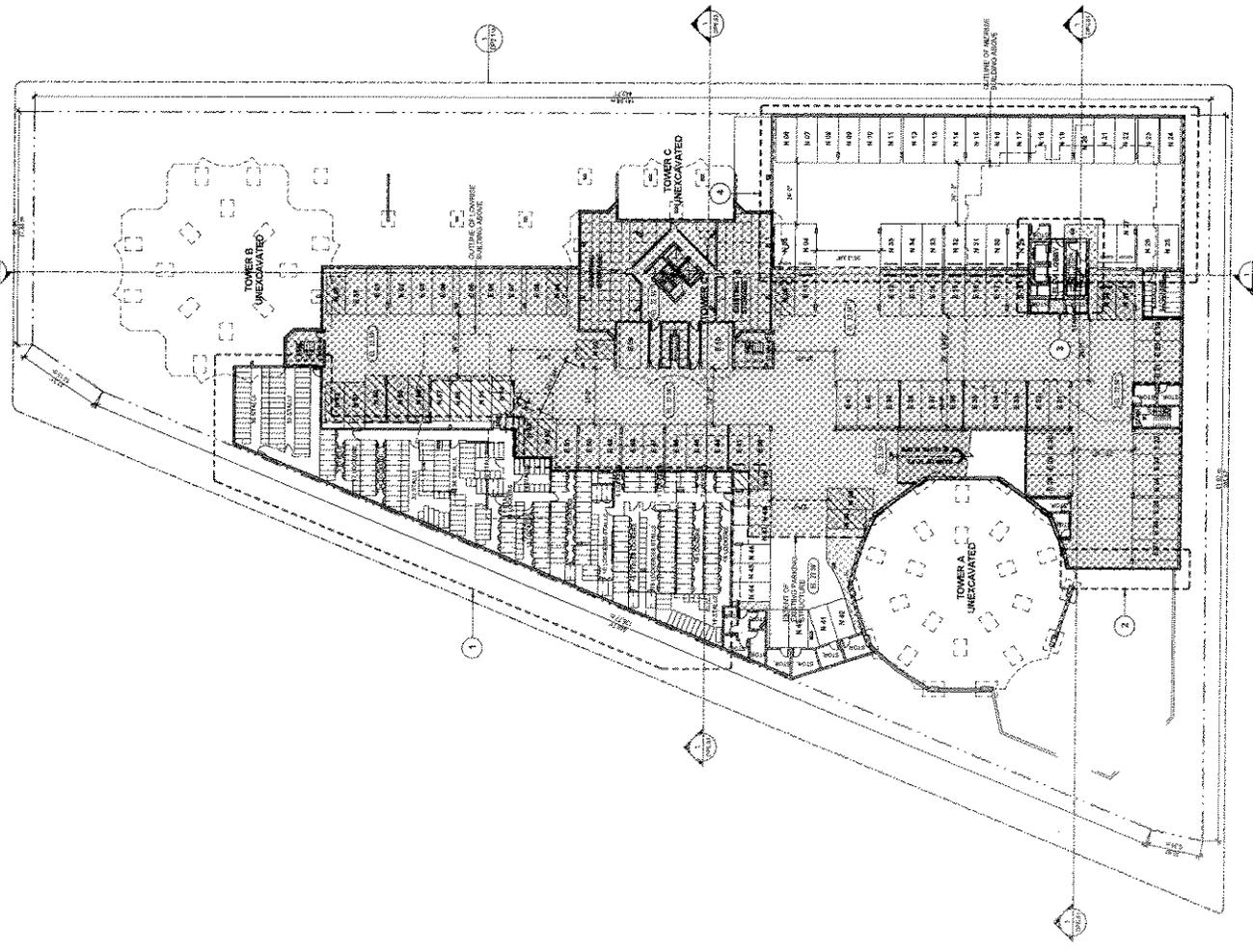
VIEW AT SOUTH HARWOOD STREET



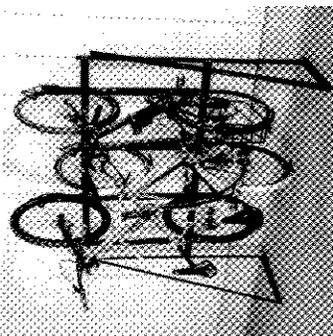
VIEW FROM CARDERO STREET



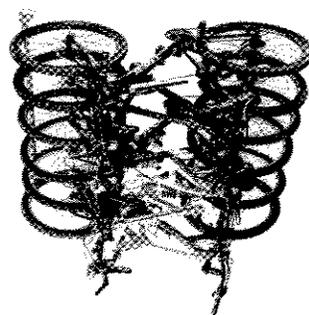
VIEW FROM FRONT OF MIDRISE



POTENTIAL HORIZONTAL STACKING BIKE SYSTEM



POTENTIAL VERTICAL STACKING BIKE SYSTEM



POTENTIAL VERTICAL STACKING BIKE SYSTEM (WALL MOUNTED)

- LANDSCAPE CALLOUTS**
- 1 EXISTING TREE
 - 2 NEW TREE
 - 3 LANDSCAPED STALL
- LANDSCAPE CALLOUTS TO EXISTING PLANS**
- 1 NEW CONSTRUCTION FOR MORE PARKING SPACE AND LANDSCAPE
 - 2 REMOVE EXISTING WALL UP TO THE EAST
 - 3 REMOVE EXISTING WALL UP TO THE WEST
 - 4 REMOVE EXISTING WALL UP TO THE WEST
 - 5 REMOVE EXISTING WALL UP TO THE WEST
 - 6 REMOVE EXISTING WALL UP TO THE WEST

BEACH TOWERS

1600 BEACH AVENUE
 1601 HARRWOOD STREET
 ANNAPOLIS, MD

DATE: JULY 28, 2014
 SCALE: 3/8" = 1'-0"

PROJECT NO: 2014-001
 SHEET NO: 01

CONTRACT NO: 2014-001
 SHEET NO: 01

DATE: JULY 28, 2014

BEACH TOWERS

1600 BEACH AVENUE
 1601 HARRWOOD STREET
 ANNAPOLIS, MD

DATE: JULY 28, 2014
 SCALE: 3/8" = 1'-0"

PROJECT NO: 2014-001
 SHEET NO: 01

CONTRACT NO: 2014-001
 SHEET NO: 01

DATE: JULY 28, 2014

BEACH TOWERS

1600 BEACH AVENUE
 1601 HARRWOOD STREET
 ANNAPOLIS, MD

DATE: JULY 28, 2014
 SCALE: 3/8" = 1'-0"

PROJECT NO: 2014-001
 SHEET NO: 01

CONTRACT NO: 2014-001
 SHEET NO: 01

DATE: JULY 28, 2014

DEVONSHIRE PROPERTIES INC.
 BEACH TOWERS INVESTMENT INC. & COMPANY INVESTMENT TRUST

JBI JBI ARCHITECTS
 100-1100 New Market Road
 Annapolis, MD 21403
 (410) 293-1100

BEACH TOWERS
 1600 BEACH AVENUE
 1601 HARRWOOD STREET
 ANNAPOLIS, MD

DATE: JULY 28, 2014
 SCALE: 3/8" = 1'-0"

PROJECT NO: 2014-001
 SHEET NO: 01

CONTRACT NO: 2014-001
 SHEET NO: 01

DATE: JULY 28, 2014

OVERALL P3 PARKING PLAN

SHEET NUMBER: **DP2.11**

DEVONSHIRE PROPERTIES INC.
 (BRANCH) 12000 INVESTMENT INC. & ENGLISH BAY INVESTMENT INC.

IBI
 100-100 PROSPECT RD
 VANCOUVER BC V6E 2E6
 TEL: 604-271-1111
 WWW.IBI-CANADA.COM

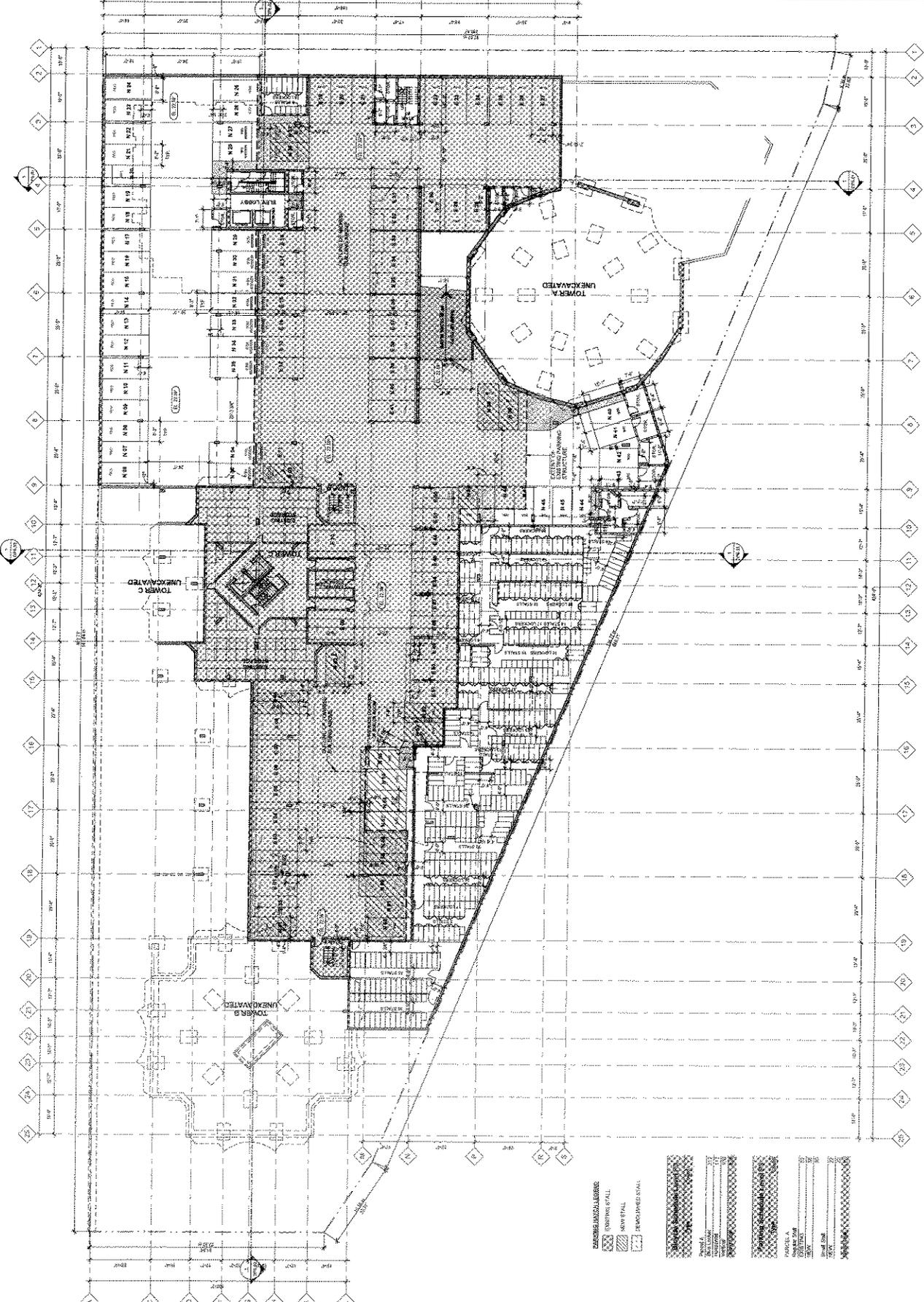
BEACH TOWERS
 1871 HARBORCREEK STREET
 VANCOUVER BC

PARCEL A P3 PARKING PLAN

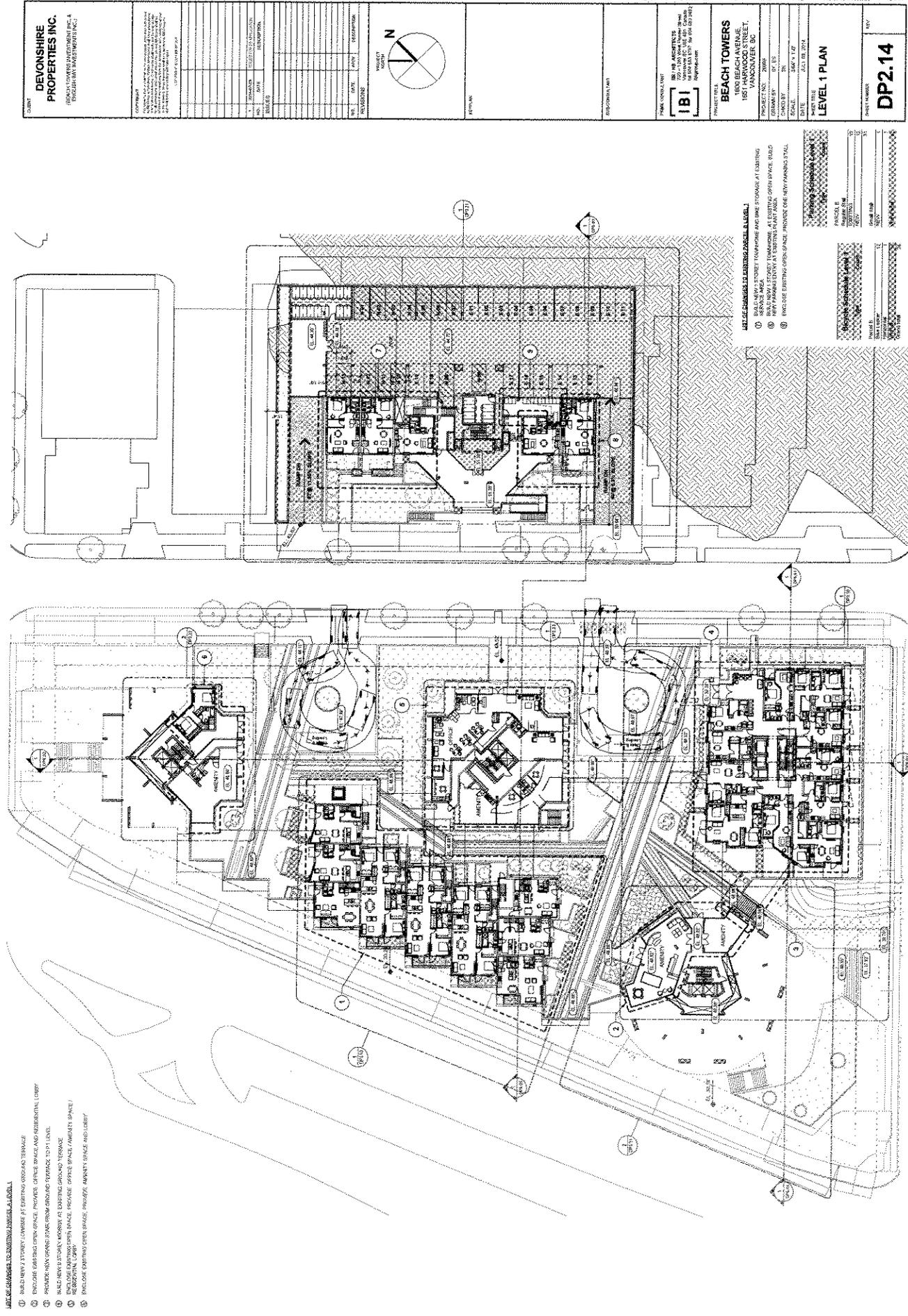
DATE: 2011.07.27
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: 20098

SCALE: 1:100

PROJECT NUMBER: **DP2.11a**



Appendix C ; page of 41



- LANDSCAPE WORKS TO EXISTING CONDITIONS AS SHOWN**
- 1. BUILD NEW 7 STORY TOWER AT EXISTING UNDER TERRACE
 - 2. ENCLOSE EXISTING OPEN SPACE, PROVIDE OFFICE SPACE AND RECREATIONAL LOBBY
 - 3. PROVIDE NEW OPENING SPACES FROM EXISTING TERRACE TO SYLVA
 - 4. BUILD NEW 5 STORY TOWER AT EXISTING OPEN SPACE
 - 5. ENCLOSE EXISTING OPEN SPACE, PROVIDE OFFICE SPACE, AMENITY SPACE / RECREATIONAL LOBBY
 - 6. ENCLOSE EXISTING OPEN SPACE, PROVIDE AMENITY SPACE AND LOBBY

- LEVEL CHANGES TO EXISTING FLOOR SLAB**
- 1. BUILD NEW 7 STORY TOWER AT EXISTING
 - 2. BUILD NEW 5 STORY TOWER AT EXISTING OPEN SPACE, BUILD NEW PARKING SPACES AT EXISTING PLANT AREA
 - 3. ENCLOSE EXISTING OPEN SPACE, PROVIDE OFFICE PARKING SPACES

Existing Schedule Level 1	1	1	1
Existing Schedule Level 2	2	2	2
Existing Schedule Level 3	3	3	3
Existing Schedule Level 4	4	4	4
Existing Schedule Level 5	5	5	5
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Existing Schedule Level 11	11	11	11
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Existing Schedule Level 14	14	14	14
Existing Schedule Level 15	15	15	15
Existing Schedule Level 16	16	16	16
Existing Schedule Level 17	17	17	17
Existing Schedule Level 18	18	18	18
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Existing Schedule Level 96	96	96	96
Existing Schedule Level 97	97	97	97
Existing Schedule Level 98	98	98	98
Existing Schedule Level 99	99	99	99
Existing Schedule Level 100	100	100	100

DEVONSHIRE PROPERTIES INC.
1801 BEACH AVENUE, SUITE 2000
VANCOUVER, BC V6G 1S2

LEVEL 1 PLAN

PROJECT NO: 2008

DATE: JULY 10, 2014

PROJECT NUMBER: **DP2.14**

CLIENT
DEVONSHIRE PROPERTIES INC.
BEACH TOWERS MANAGEMENT INC. & BRIDGESWAY INVESTMENT INC.

PROJECT
BEACH TOWERS
1500 BEACH AVENUE
1501 HARWOOD STREET
VANCOUVER, BC

PROJECT NO. 200889

DATE JAN 10, 2012

LEVEL 3-8 PLAN

PROJECT NUMBER
DP2.16

SCALE 1/8" = 1'-0"

DATE JAN 10, 2012

PROJECT NO. 200889

CLIENT
DEVONSHIRE PROPERTIES INC.
BEACH TOWERS MANAGEMENT INC. & BRIDGESWAY INVESTMENT INC.

PROJECT
BEACH TOWERS
1500 BEACH AVENUE
1501 HARWOOD STREET
VANCOUVER, BC

PROJECT NO. 200889

DATE JAN 10, 2012

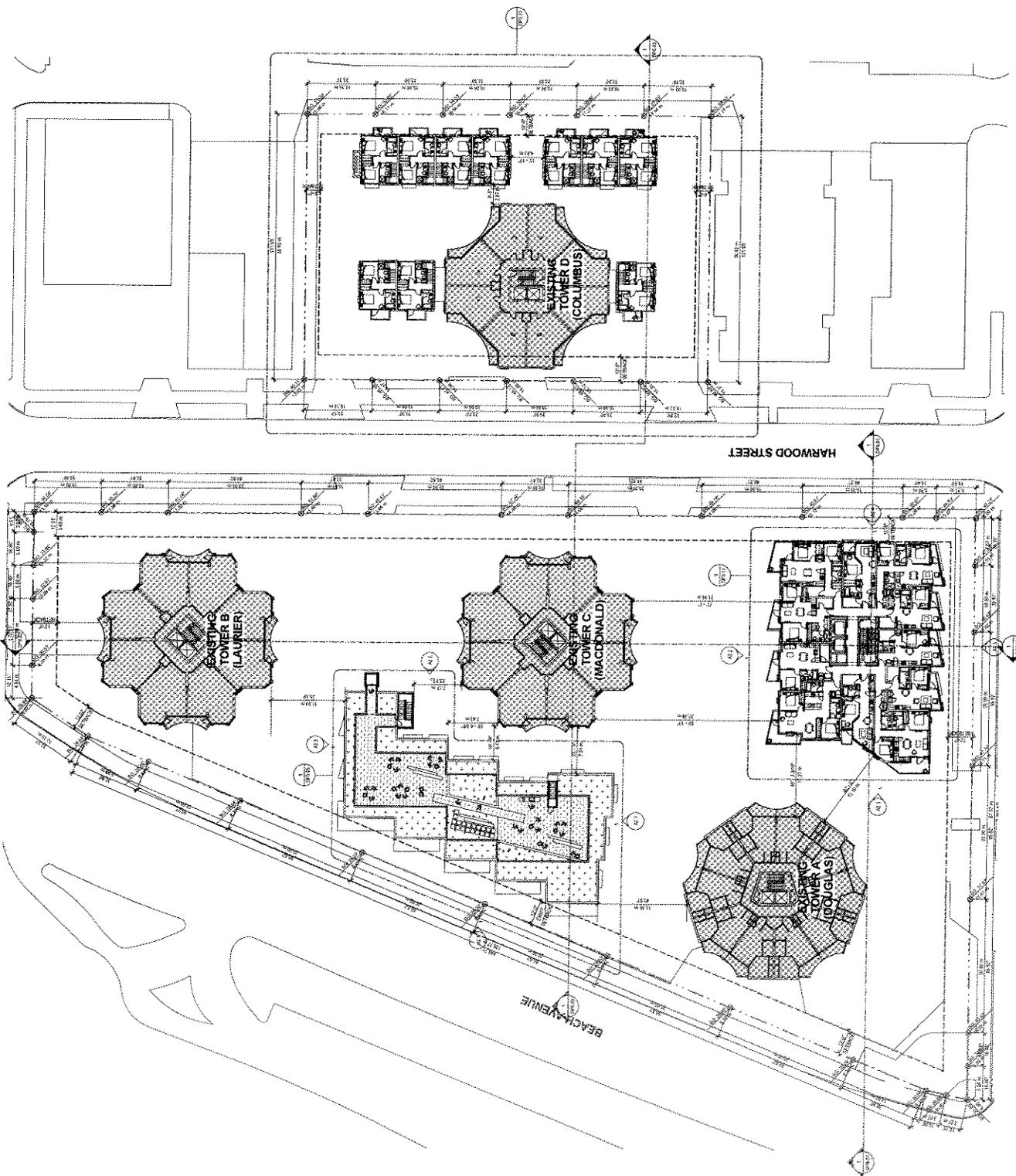
LEVEL 3-8 PLAN

PROJECT NUMBER
DP2.16

SCALE 1/8" = 1'-0"

DATE JAN 10, 2012

PROJECT NO. 200889



DEVONSHIRE PROPERTIES INC.
 BEACH TOWERS INVESTMENT INC. & AFFILIATES (INCORPORATED IN BRITISH COLUMBIA)

IBI
 INCORPORATED IN BRITISH COLUMBIA
 1100 WEST PLYMOUTH STREET
 VANCOUVER, BC V6E 2M5
 TEL: 604.681.8888
 WWW.IBI.CA

PROJECT TITLE:
BEACH TOWERS
 1900 BEACH AVENUE,
 1851 HARWOOD STREET,
 VANCOUVER, BC

PROJECT NO.: 2000
DATE: JULY 19, 2014
SCALE: 3/4" = 1'-0"
SHEET TITLE: LEVEL 9 PLAN
SHEET NUMBER: DP2.17

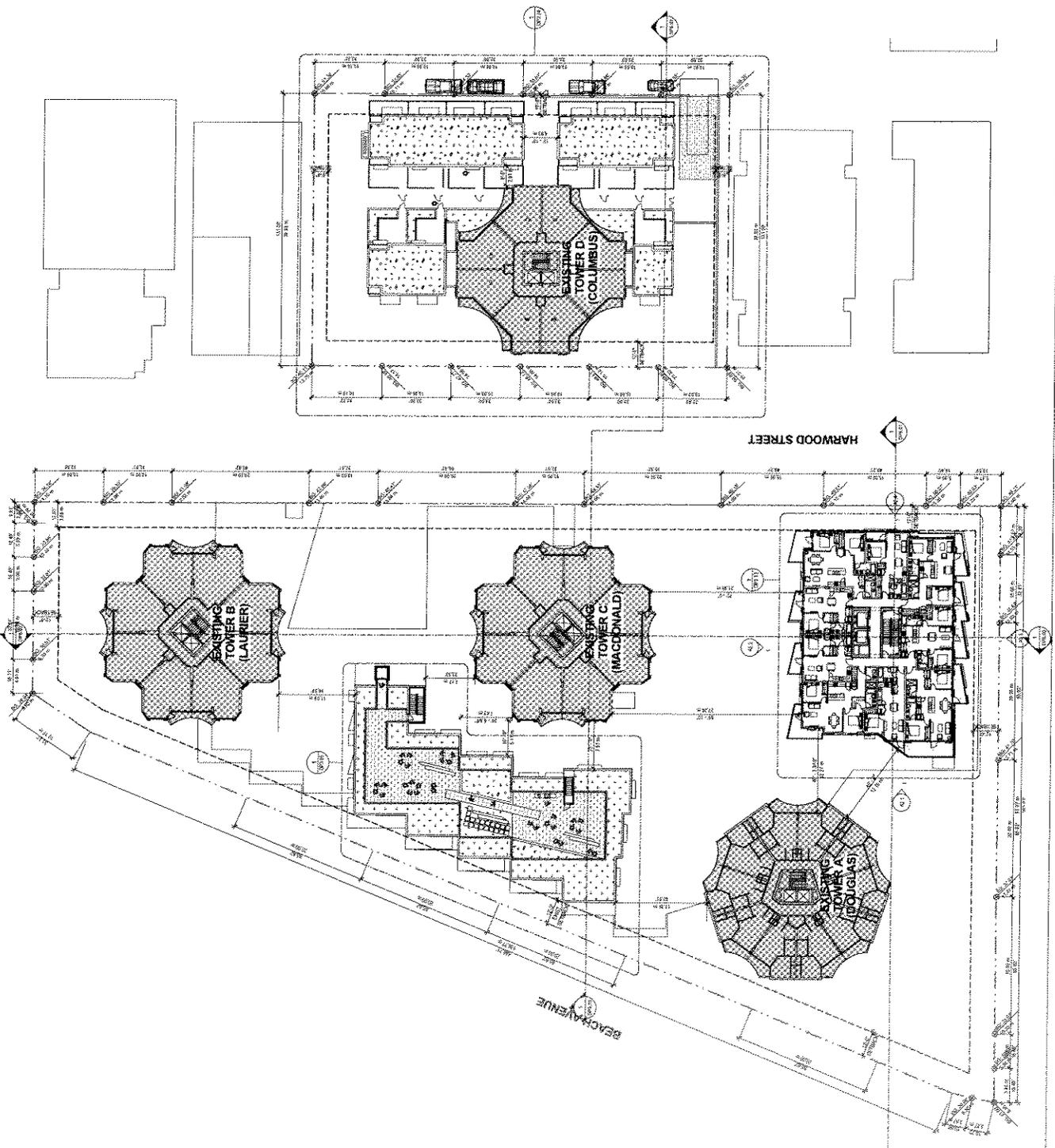
DATE: JULY 19, 2014
SCALE: 3/4" = 1'-0"

PROJECT NO.: 2000
DATE: JULY 19, 2014
SCALE: 3/4" = 1'-0"

SHEET TITLE: LEVEL 9 PLAN
SHEET NUMBER: DP2.17

DATE: JULY 19, 2014
SCALE: 3/4" = 1'-0"

SHEET NUMBER: DP2.17



Appendix C ; page 49

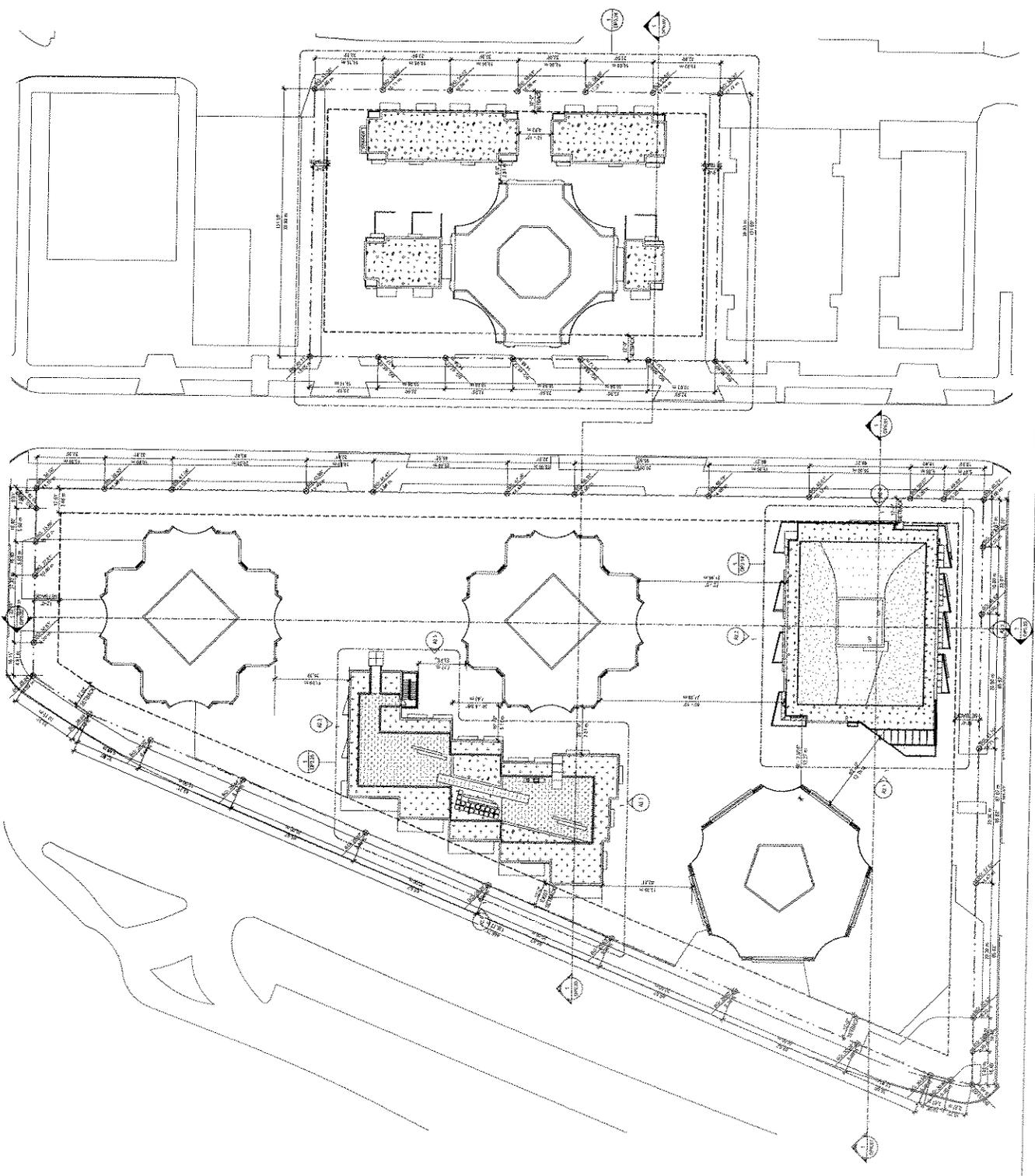
DEVONSHIRE PROPERTIES INC.
 1000 WESTERN AVENUE, SUITE 100
 VANCOUVER, BRITISH COLUMBIA V6E 3R7
 TEL: (604) 681-1111 FAX: (604) 681-1112
 WWW.DEVONSHIREPROPERTIES.COM

IBI
 INTERIOR BUILDINGS INC.
 1000 WESTERN AVENUE, SUITE 100
 VANCOUVER, BRITISH COLUMBIA V6E 3R7
 TEL: (604) 681-1111 FAX: (604) 681-1112
 WWW.IBIBUILDINGS.COM

BEACH TOWERS
 1800 BEACH AVENUE
 VANCOUVER, BC
 PROJECT NO. 200709
 DRAWN BY: ST. ES.
 CHECK BY: SA
 SCALE: 1/8" = 1'-0"
 DATE: 2012.09.27

ROOF PLAN

SHEET NUMBER
DP2.18



DEVONSHIRE PROPERTIES INC.
 BEACH TOWERS PARTNERSHIP INC. & EMERALD PARK PARTNERSHIP INC.

IBI
 INC. ARCHITECTS
 1800 BEACH AVENUE
 SUITE 100
 VANCOUVER, BC

BEACH TOWERS
 1800 BEACH AVENUE
 SUITE 100
 VANCOUVER, BC

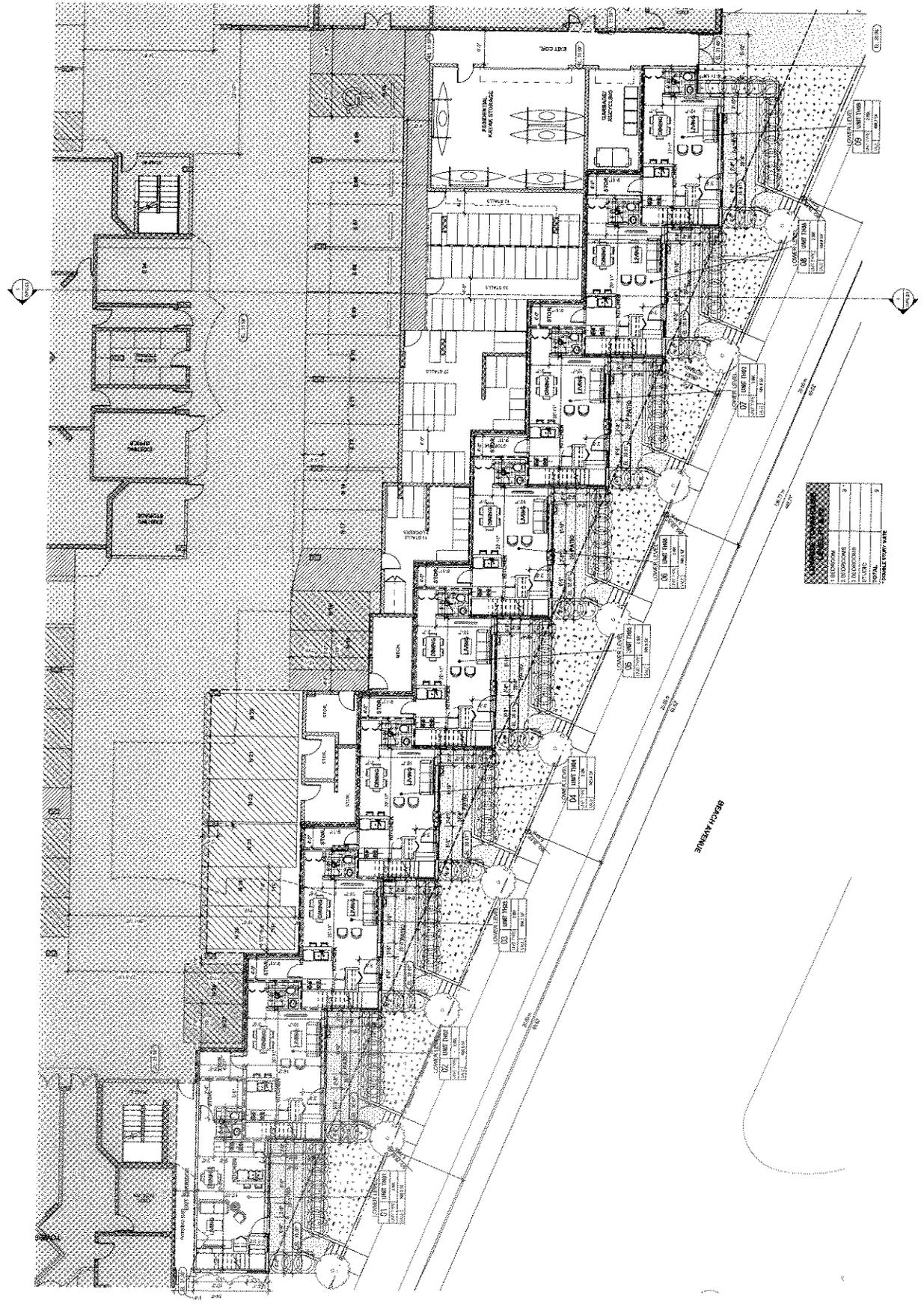
PROJECT TITLE: BEACH TOWERS
 DRAWN BY: J.T. ES.
 PROJECT NO.: 200808
 DATE: JAN 18, 2016
 SCALE: 1/8" = 1'-0"
 CHECKED BY: J.T. ES.
 PROJECT NO.: 200808

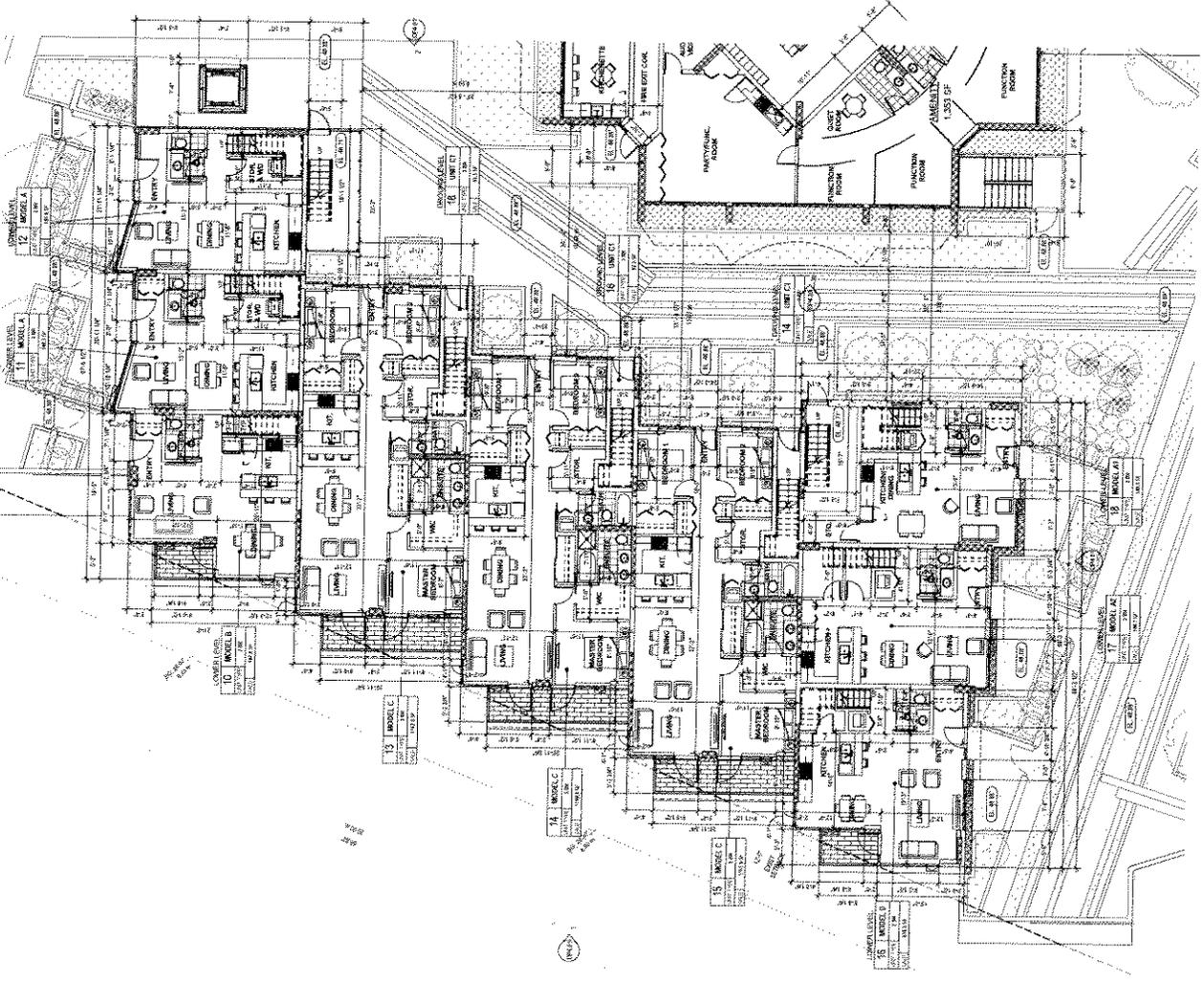
LOWRISE LEVEL P2
PLAN

SHEET NUMBER: **DP3.01**

NORTH
 N
 NORTH

BEACH AVENUE





DEVONSHIRE PROPERTIES INC.
 BEACH TOWERS 1501 BEACH AVENUE, SUITE 1100
 VANCOUVER, BC V6G 1S1

IBI
 INCORPORATED
 1000 WEST 10TH AVENUE, SUITE 1000
 VANCOUVER, BC V6H 1T1

BEACH TOWERS
 1501 BEACH AVENUE, SUITE 1100
 VANCOUVER, BC V6G 1S1

PROJECT NO: 20000
 DRAWING NO: 01-03
 DATE: JUL 29, 2016

LOWRISE LEVEL 1 PLAN

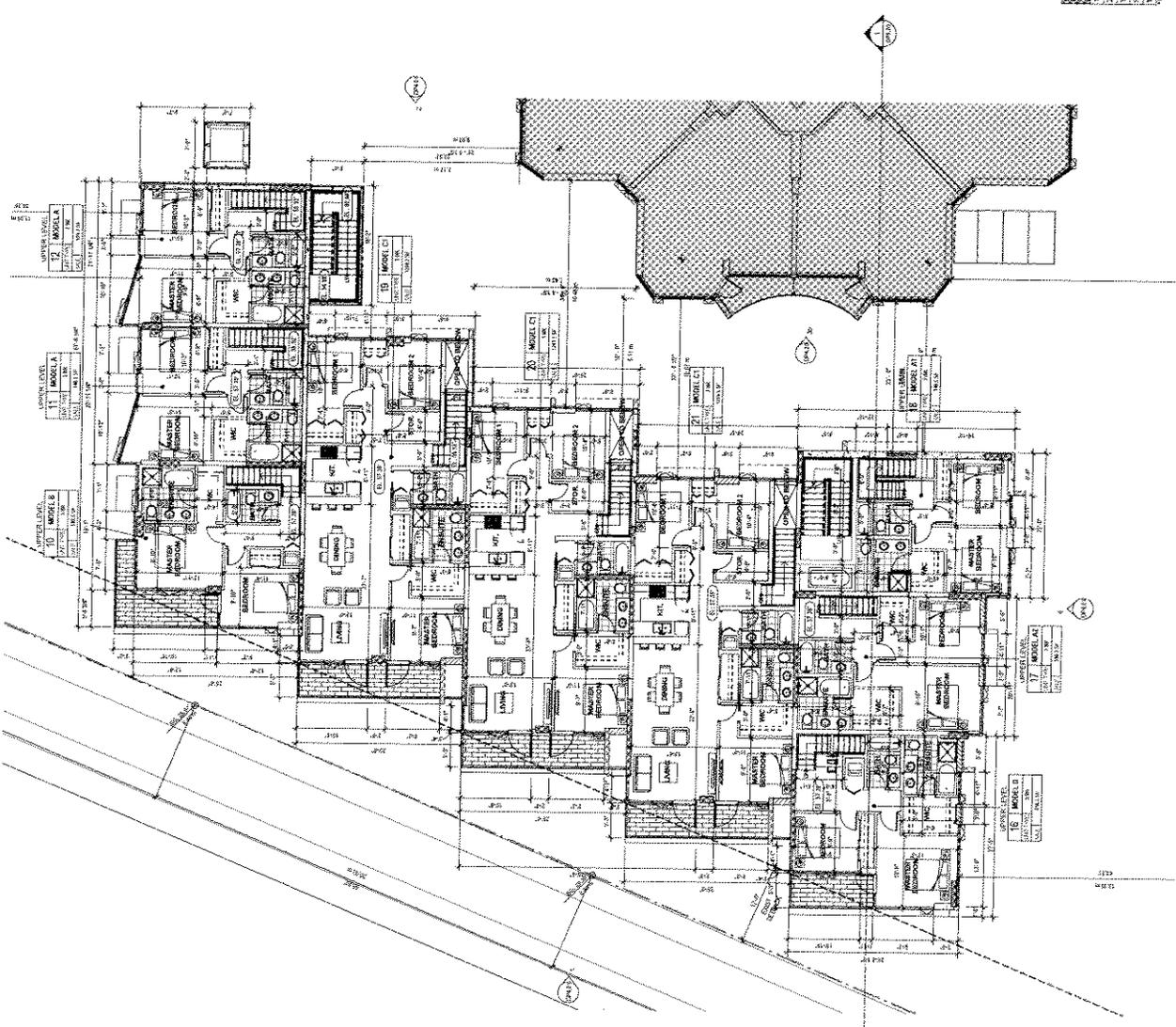
DRAWN BY: []
 CHECKED BY: []
 DATE: []

ROOM	AREA (SQ. FT.)
BEDROOM	
BATHROOM	
KITCHENETTE	
DINING	
LIVING	
FUNCTION ROOM	
TOTAL	
NET AREA	

DP3.03

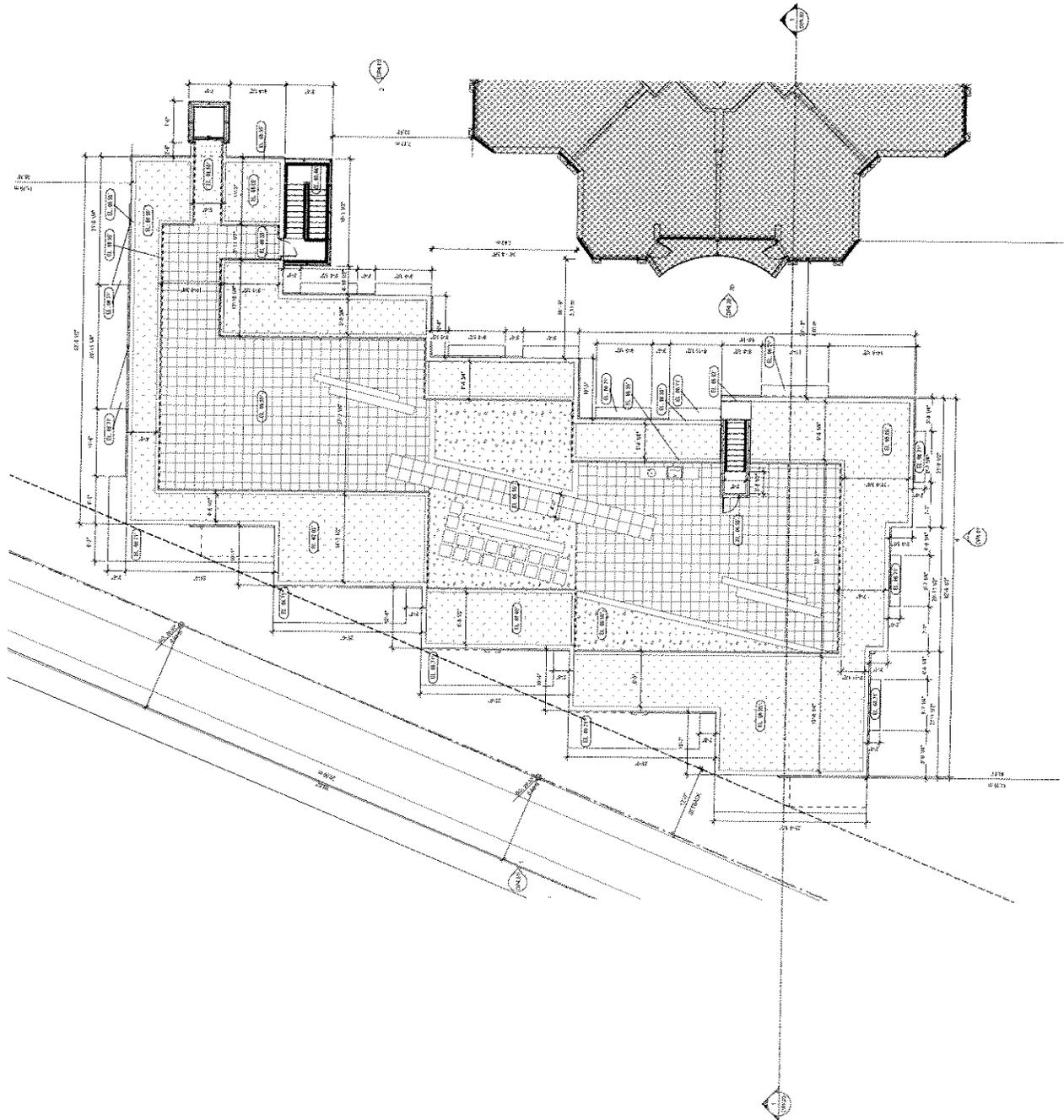
Appendix C ; page of 53

DEVONSHIRE PROPERTIES INC. 1800 BEACH AVENUE VANCOUVER, BC V6L 1Y7				IBI 1800 BEACH AVENUE VANCOUVER, BC V6L 1Y7 VANCOUVER, BC
BEACH TOWERS 1800 BEACH AVENUE VANCOUVER, BC V6L 1Y7 VANCOUVER, BC				
PROJECT NO. 2006 DRAWN BY: [Name] CHECKED BY: [Name] SCALE: 1/8" = 1'-0" DATE: JULY 20, 2014		SHEET NO. 10 LOWRISE LEVEL 2 PLAN		
PROJECT NUMBER DP3.04				



1	FOUNDATION
2	CONCRETE
3	WOOD
4	GLASS
5	MECHANICAL EQUIPMENT

Appendix C ; page of 54



DEVONSHIRE PROPERTIES INC. (BEACH TOWERS PART OF THE N.L. FINLAYSON INVESTMENT TRUST)				PROJECT NUMBER: 2014-001 DATE: 01/15/2014 DRAWN BY: [Redacted] CHECKED BY: [Redacted]		PROJECT: BEACH TOWERS 181 HAVWOOD STREET VANCOUVER, BC	DRAWING NO: 2014-001-01 SCALE: 1/8" = 1'-0" DATE: 01/15/2014	LOWRISE ROOF PLAN	DP3.05
CONTRACTOR: [Redacted]									

Appendix C ; page 55 of 55

DEVONSHIRE PROPERTIES INC.
 1000 WEST 10TH AVENUE, SUITE 100
 VANCOUVER, BC V6H 3G9
 TEL: (604) 681-1111

PROJECT: BEACH TOWERS
LOCATION: 1500 WILSON AVENUE, VANCOUVER, BC
PROJECT NO.: 200809
DATE: JUL 09 2018
SCALE: 1/8" = 1'-0"

ARCHITECT: IBI GROUP INC.
 1000 WEST 10TH AVENUE, SUITE 100
 VANCOUVER, BC V6H 3G9
 TEL: (604) 681-1111

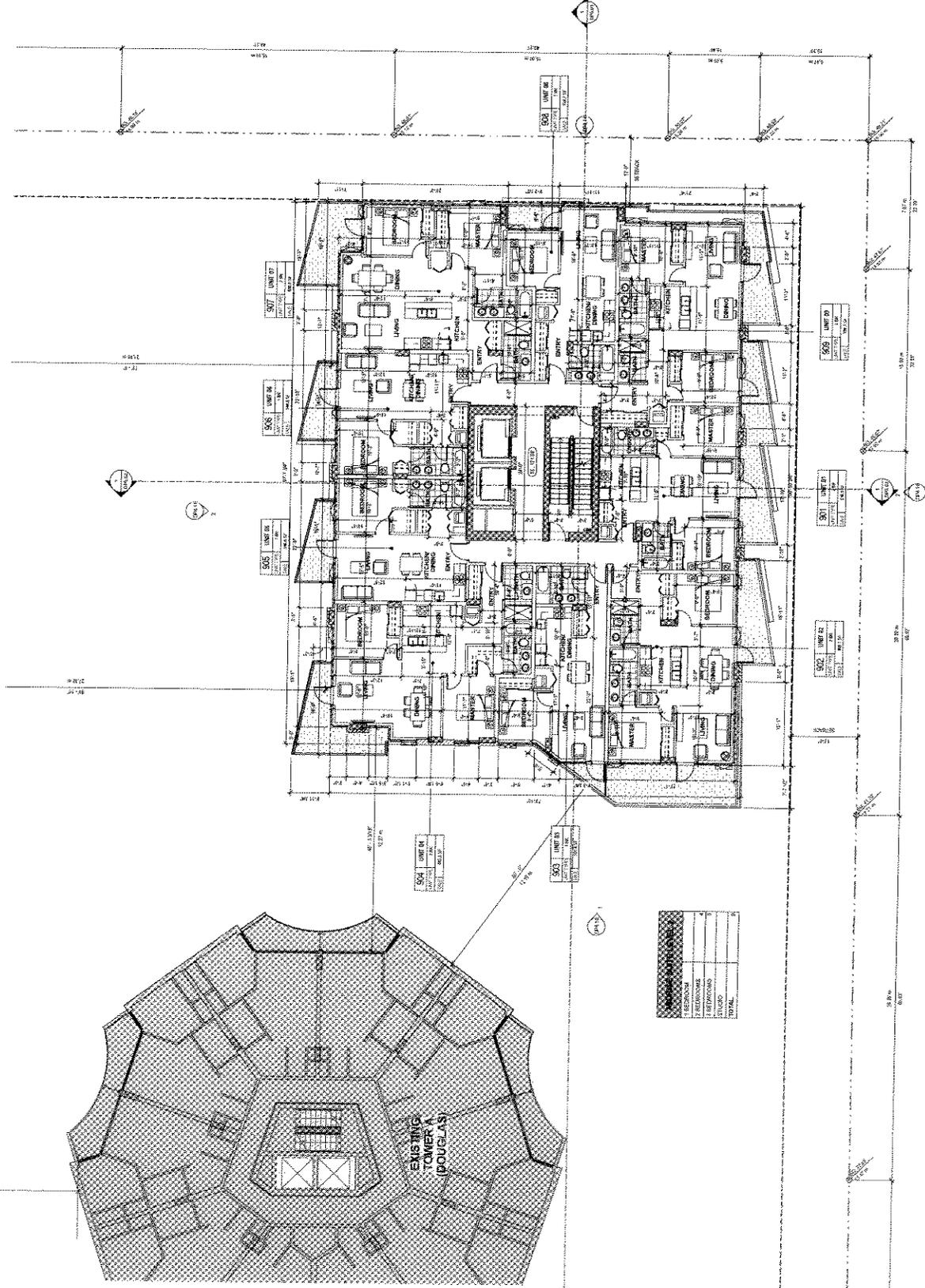
CLIENT: DEVONSHIRE PROPERTIES INC.

PROJECT NUMBER: 200809

DATE: JUL 09 2018

SCALE: 1/8" = 1'-0"

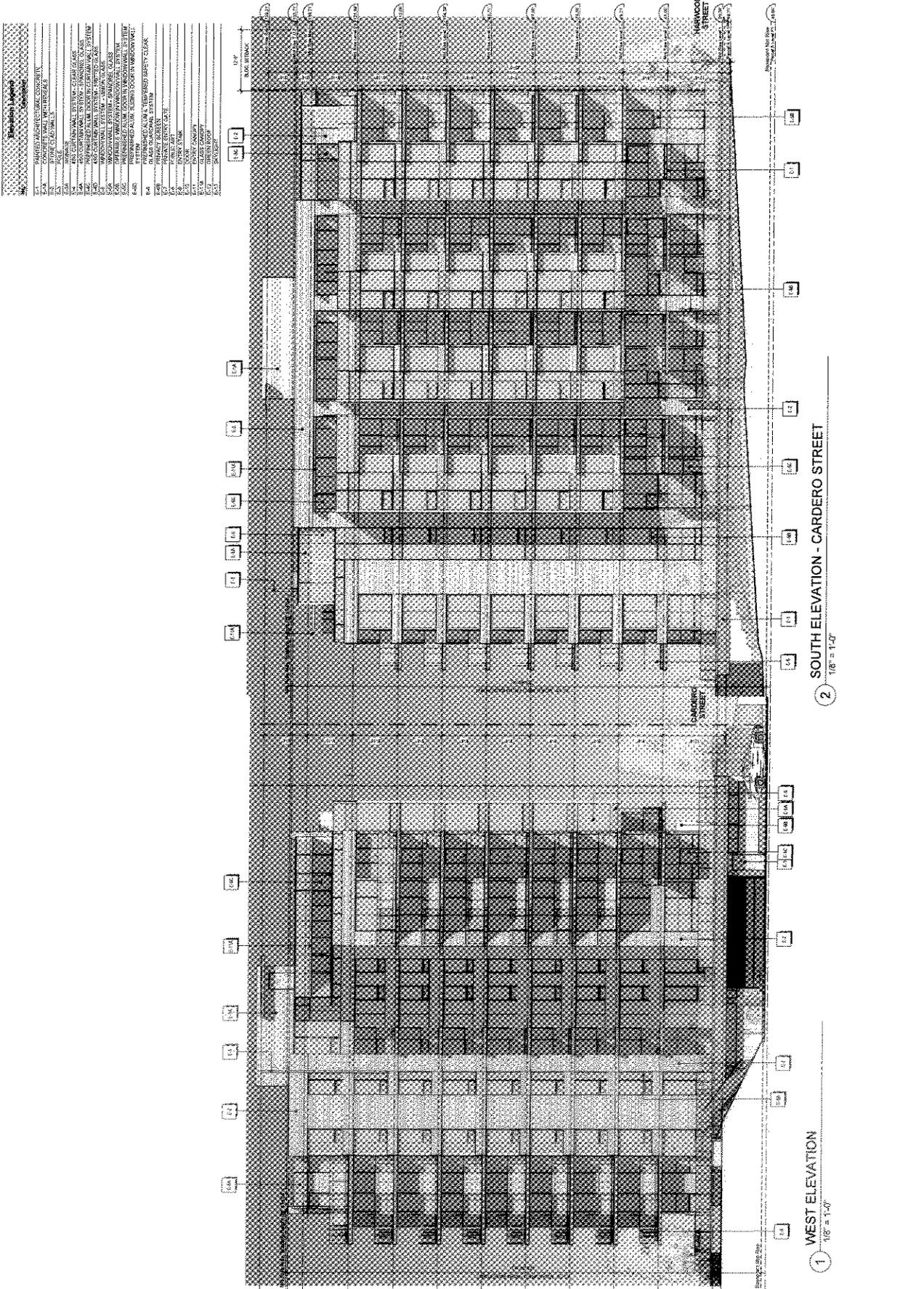
PROJECT NAME: BEACH TOWERS
FLOOR PLAN: MIDRISE LEVEL 9
PLAN: DP3.13



Appendix ; page of 59

1.1	MARKET RESEARCH, CONSULTING
1.2	GENERAL CONTRACTOR
1.3	GENERAL CONTRACTOR
1.4	GENERAL CONTRACTOR
1.5	GENERAL CONTRACTOR
1.6	GENERAL CONTRACTOR
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1.98	GENERAL CONTRACTOR
1.99	GENERAL CONTRACTOR
2.00	GENERAL CONTRACTOR

DEVONSHIRE PROPERTIES INC. 180 BEACH AVENUE VANCOUVER BC	
PROJECT NO. 2009	
DATE: JULY 20, 2014	
DRAWN BY: [Signature]	
CHECKED BY: [Signature]	
SCALE: 1/8" = 1'-0"	
SHEET NO. 2	
PROJECT: BEACH TOWERS 180 BEACH AVENUE VANCOUVER BC	
SOUTH ELEVATION	
DP4.10	



Appendix C : page 66

Materials Legend

1	CONCRETE
2	BRICK
3	GLAZED ALUMINUM CURTAIN WALL
4	GLAZED ALUMINUM WINDOW
5	GLAZED ALUMINUM DOOR
6	GLAZED ALUMINUM PARTITION
7	GLAZED ALUMINUM RAILING
8	GLAZED ALUMINUM BALCONY
9	GLAZED ALUMINUM SIGNAGE
10	GLAZED ALUMINUM ENTRANCE
11	GLAZED ALUMINUM STAIRCASE
12	GLAZED ALUMINUM ELEVATOR
13	GLAZED ALUMINUM LIFT
14	GLAZED ALUMINUM ESCAPE
15	GLAZED ALUMINUM STAIR
16	GLAZED ALUMINUM RAMP
17	GLAZED ALUMINUM PLATFORM
18	GLAZED ALUMINUM CANOPY
19	GLAZED ALUMINUM AWNING
20	GLAZED ALUMINUM BALCONY RAILING
21	GLAZED ALUMINUM STAIR RAILING
22	GLAZED ALUMINUM ESCAPE RAILING
23	GLAZED ALUMINUM STAIR PLATFORM
24	GLAZED ALUMINUM STAIR CANOPY
25	GLAZED ALUMINUM STAIR AWNING
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98	GLAZED ALUMINUM STAIR BALCONY RAILING
99	GLAZED ALUMINUM STAIR PLATFORM RAILING
100	GLAZED ALUMINUM STAIR CANOPY RAILING

DEVONSHIRE PROPERTIES INC.
 BEACH TOWERS INVESTMENT INC. & AFFILIATED INVESTMENT GROUP

BEACH TOWERS
 1600 BEACH AVENUE,
 1601 HARWOOD STREET,
 VANCOUVER, BC

PROJECT TITLE
 BEACH TOWERS

PROJECT NO.
 2008

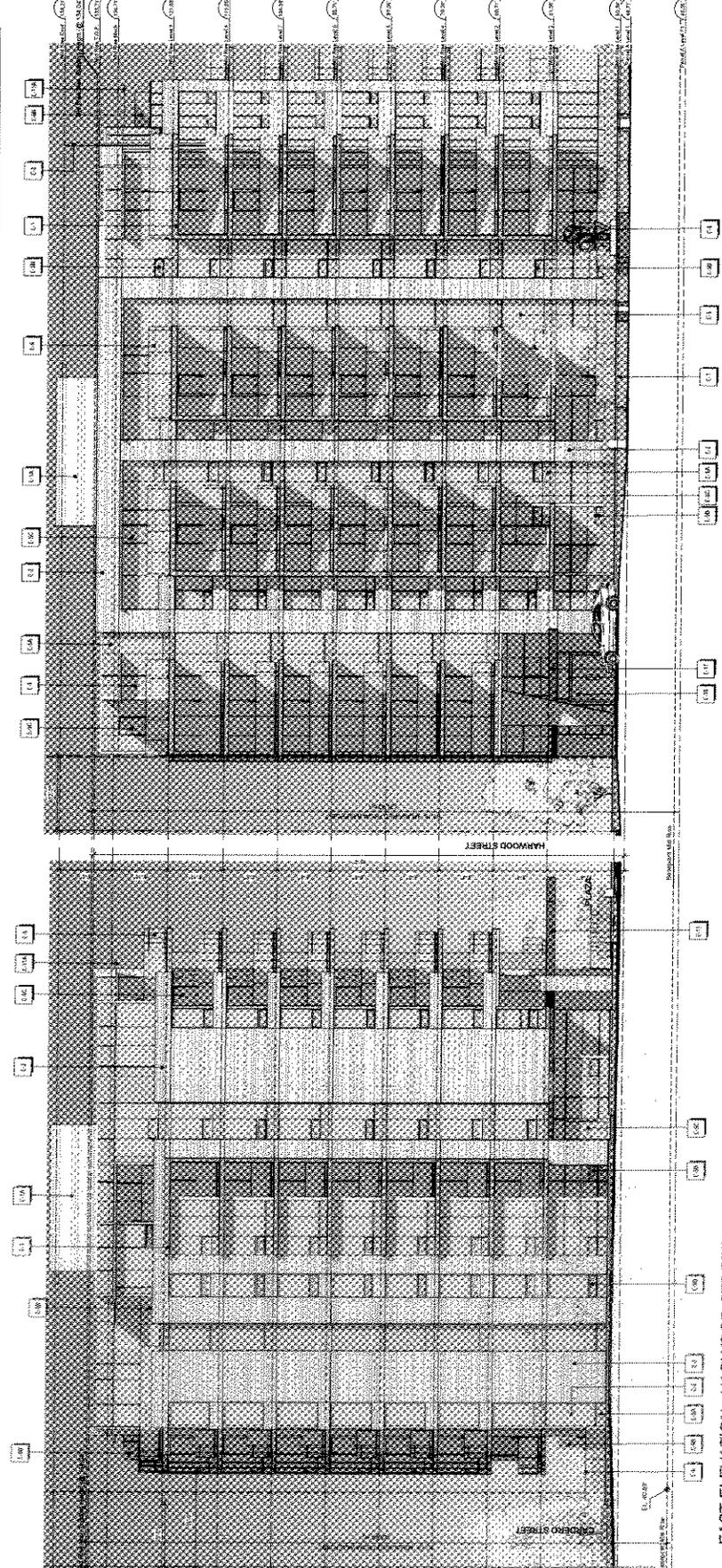
CONTRACT NO.
 2008

SCALE
 1/8" = 1'-0"

DATE
 JULY 10, 2014

SHEET NO.
 MIDRISE WEST & NORTH ELEVATIONS

SHEET NUMBER
 DP4.11



1 EAST ELEVATION - HARWOOD STREET
 1/8" = 1'-0"

2 NORTH ELEVATION - COURTYARD
 1/8" = 1'-0"

Appendix C : page of 67

DEVONSHIRE PROPERTIES INC.
 BEACH TOWERS RESIDENTIAL & COMMERCIAL DEVELOPMENT

PROJECT INFO
 PROJECT NO: 2009
 DRAWN BY: S.C.S.
 CHECKED BY: S.C.S.
 DATE: JULY 20, 2014

PROJECT NAME
 BEACH TOWERS
 1800 BRAD AVE
 VANCOUVER, BC
 V6L 2G9

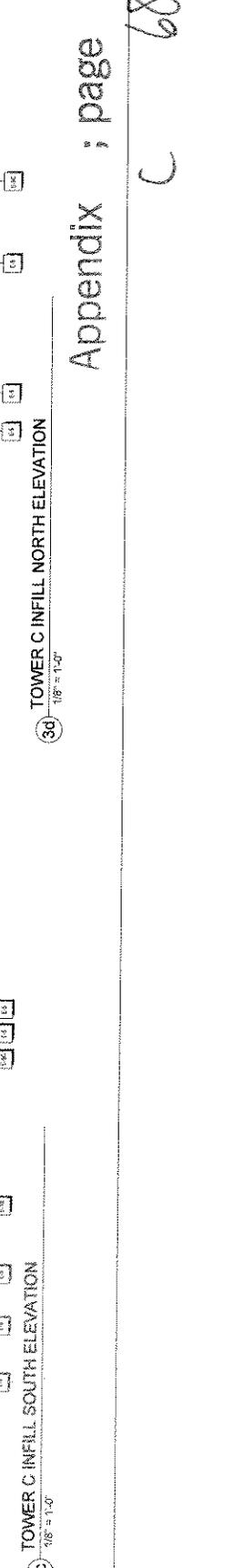
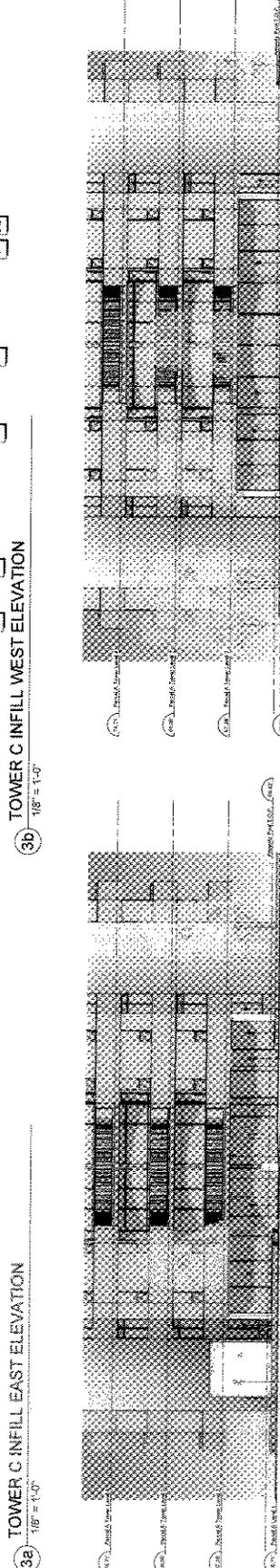
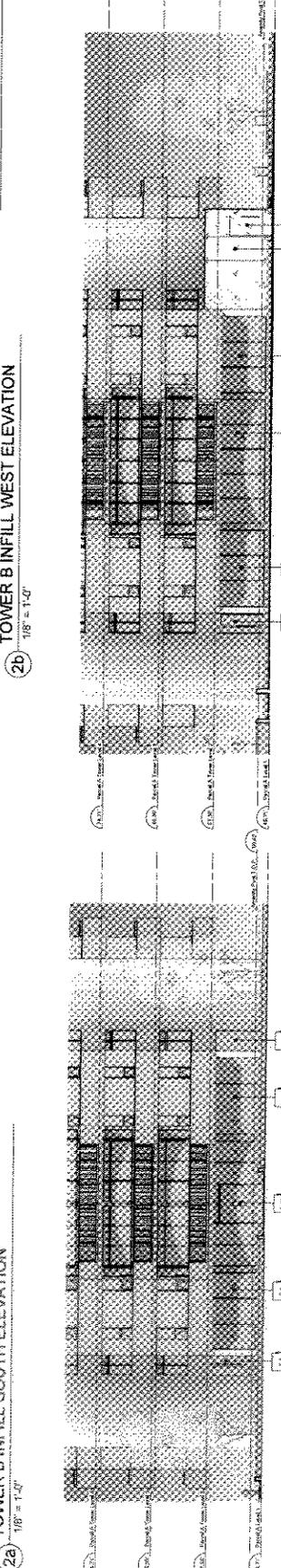
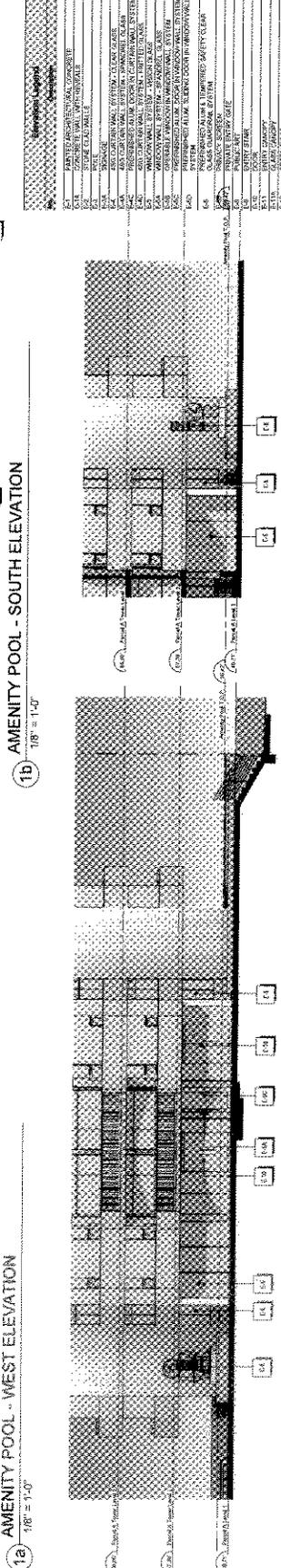
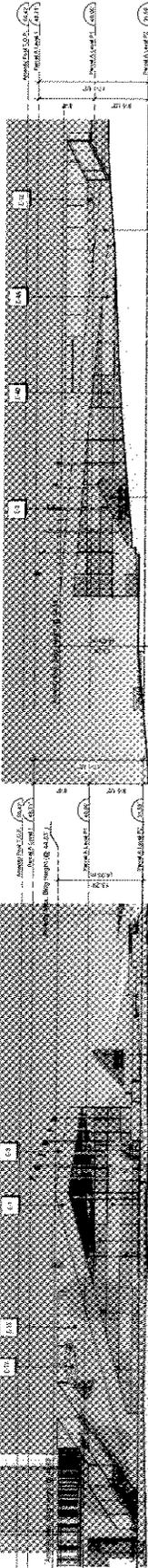
CLIENT
 DEVONSHIRE PROPERTIES INC.

SCALE
 1/8" = 1'-0"

DATE
 JULY 20, 2014

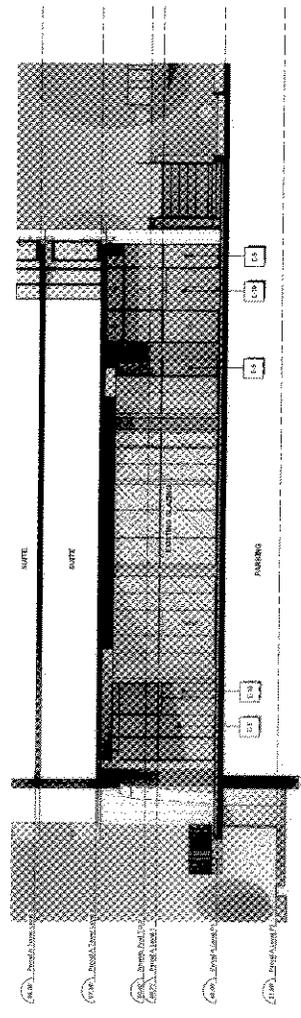
SHEET NUMBER
 DP4.30

TITLE
 AMENITY & TOWER INFILLS ELEVATIONS

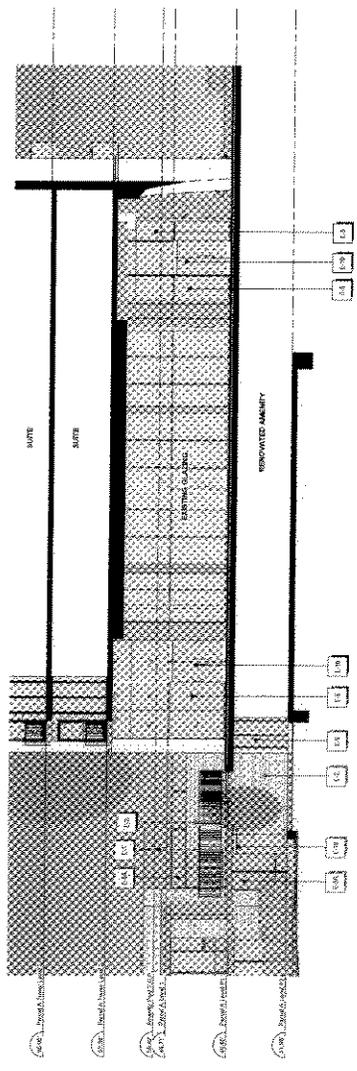


Appendix ; page

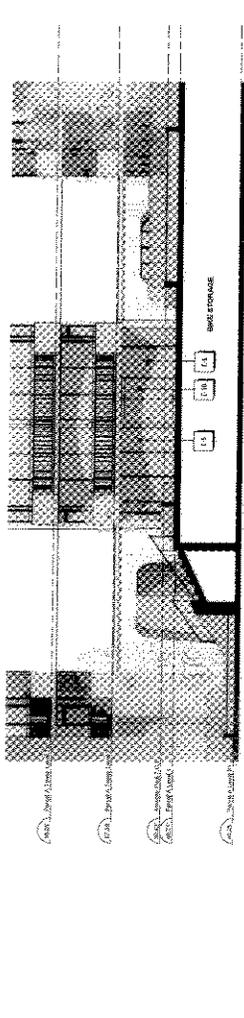
C 68



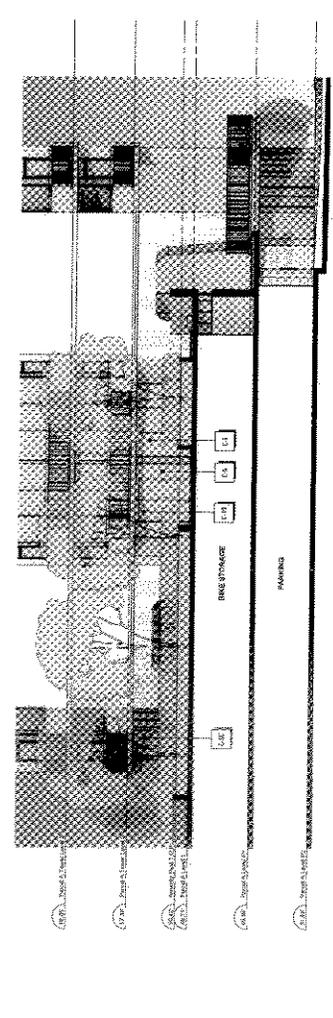
1 TOWER A INFILL SOUTHEAST
1/8" = 1'-0"



2 TOWER A INFILL SOUTHWEST
1/8" = 1'-0"



3 TOWER A INFILL NORTHEAST
1/8" = 1'-0"



4 TOWER A INFILL NORTHWEST
1/8" = 1'-0"

Revision Log

NO.	DATE	DESCRIPTION
1		
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DEVONSHIRE PROPERTIES INC.
BEACH TOWERS INVESTMENT INC. & TRUST (BY INSTRUMENT 1802)

IBI
1111 W. AVENUE
100-100 West Tower Place
VANCOUVER, BC V6E 2V6
Tel: 604.681.1111
www.ibi.com

BEACH TOWERS
1500 BEACH AVENUE
1001 HARWOOD STREET
VANCOUVER BC

PROJECT NO.: 2009
DRAWING NO.: 101
CONTRACT NO.: 101
SCALE: 1/8" = 1'-0"
DATE: JULY 30, 2014

SHEET TITLE:
AMENITY & TOWER INFILL

SHEET NUMBER:
DP4.31

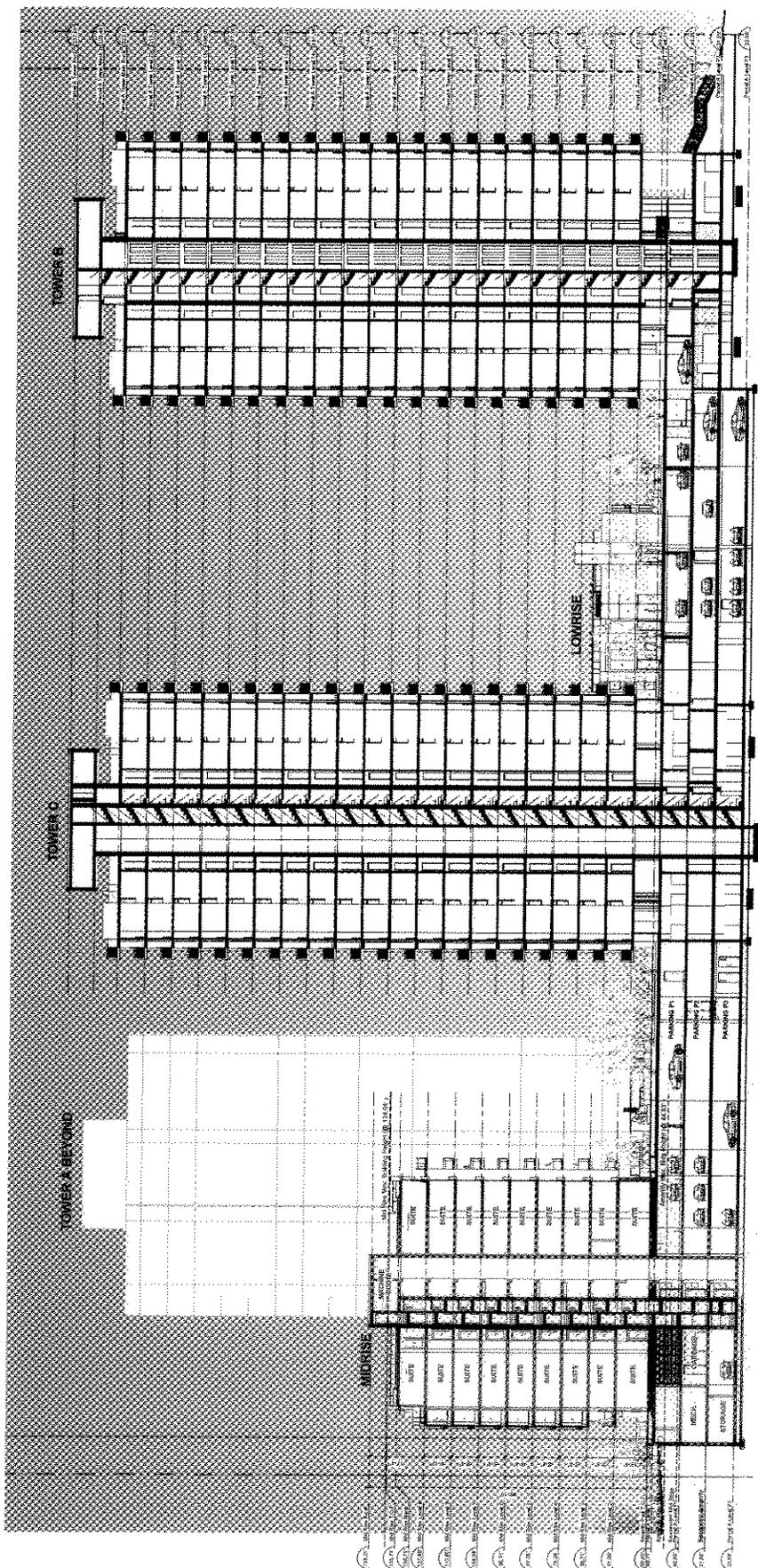
DEVONSHIRE PROPERTIES INC.
 BEACH TOWERS APARTMENT BLDG. & GALLERY (BY INDUSTRIES INC.)

IBI GROUP INC.
 100-1000 WEST 10TH AVENUE, SUITE 1000
 VANCOUVER, BC V6E 2S6
 TEL: 604.681.1111 FAX: 604.681.1112
 WWW.IBIGROUP.COM

PROJECT TITLE: BEACH TOWERS
ADDRESS: 1810 BEACH AVENUE, 1817 HARWOOD STREET, VANCOUVER, BC
PROJECT NO.: 2009
DATE: JULY 20, 2014

BUILDING SECTION B
 DRAWN BY: []
 CHECKED BY: []
 DATE: JULY 20, 2014

DP5.02



Appendix ; page of
 C 71

DEVONSHIRE PROPERTIES INC.
 REAL ESTATE INVESTMENT TRUST &
 COMMON INVESTMENT FUND

BEACH TOWERS
 1800 BEACH AVENUE
 1600 BEACH STREET
 WILMINGTON, DE 19802

DP5.03

BUILDING SECTION C

SHEET NUMBER: DP5.03
 REV:

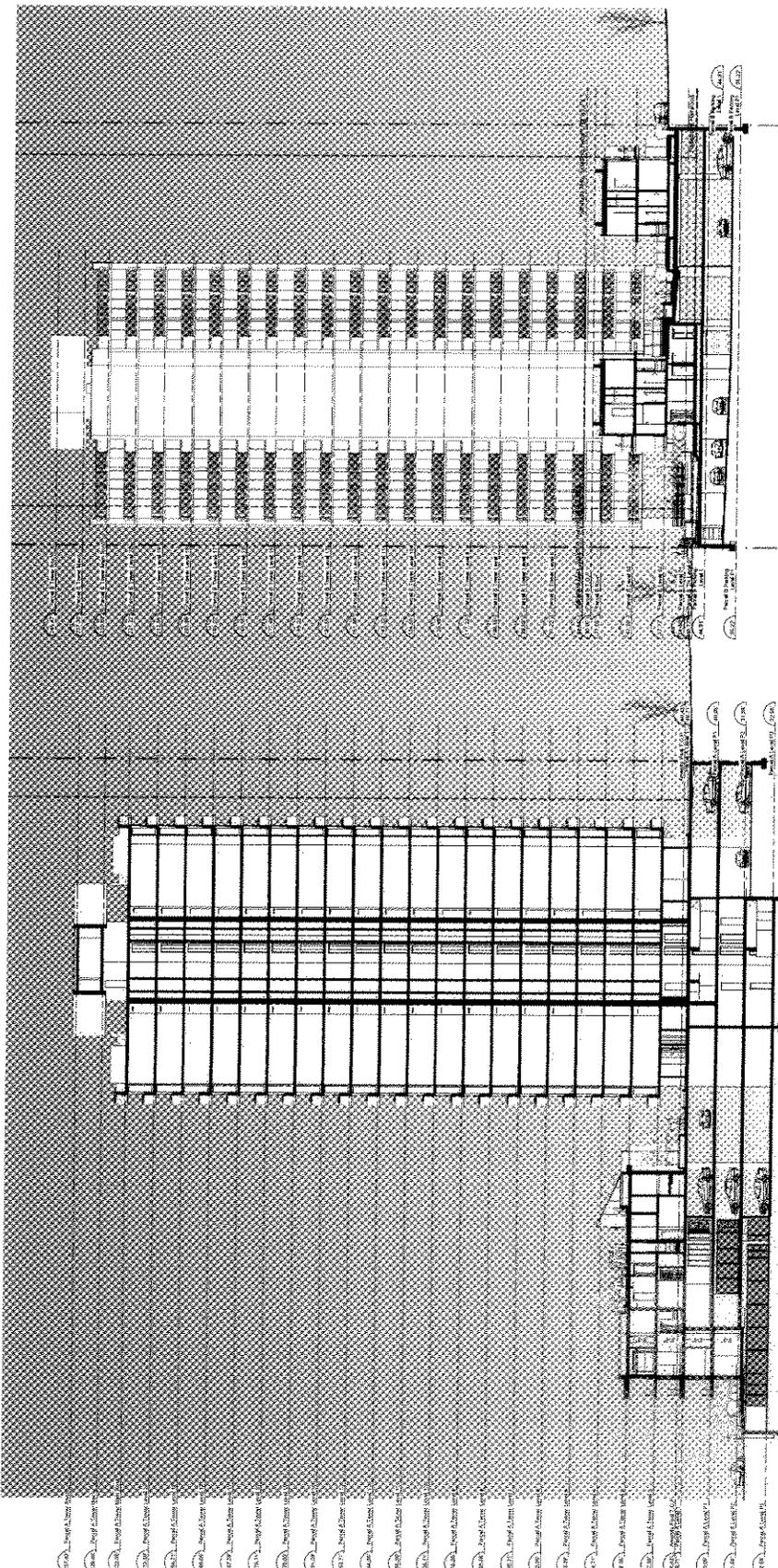
PROJECT TITLE: BEACH TOWERS
 1800 BEACH AVENUE
 1600 BEACH STREET
 WILMINGTON, DE 19802

PROJECT NO.: 200808
 DRAWN BY: [Name]
 CHECK BY: [Name]
 SCALE: 1/8" = 1'-0"
 DATE: JUL 13, 2014

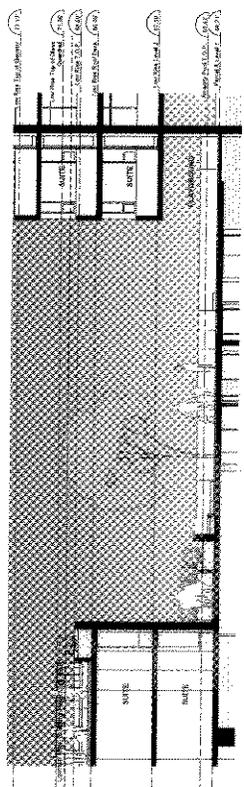
PROJECT NO.: 200808
 DRAWN BY: [Name]
 CHECK BY: [Name]
 SCALE: 1/8" = 1'-0"
 DATE: JUL 13, 2014

PROJECT TITLE: BEACH TOWERS
 1800 BEACH AVENUE
 1600 BEACH STREET
 WILMINGTON, DE 19802

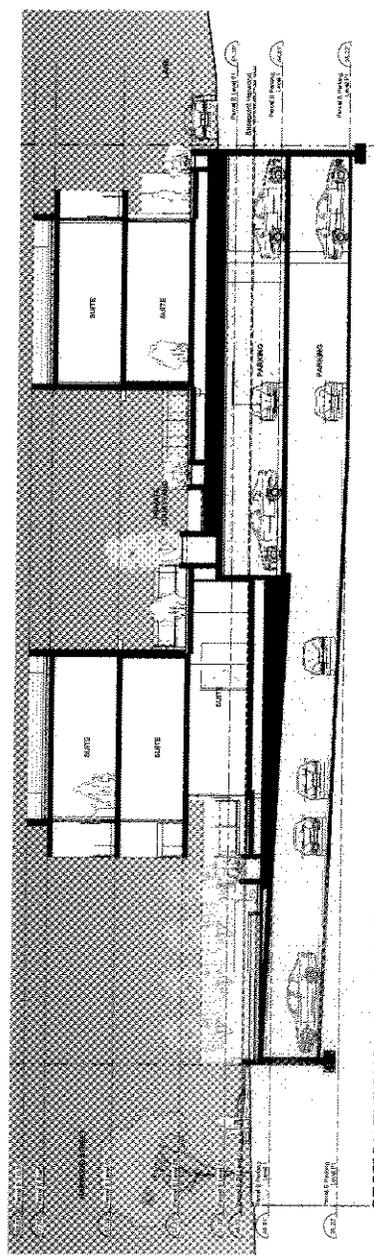
PROJECT NO.: 200808
 DRAWN BY: [Name]
 CHECK BY: [Name]
 SCALE: 1/8" = 1'-0"
 DATE: JUL 13, 2014



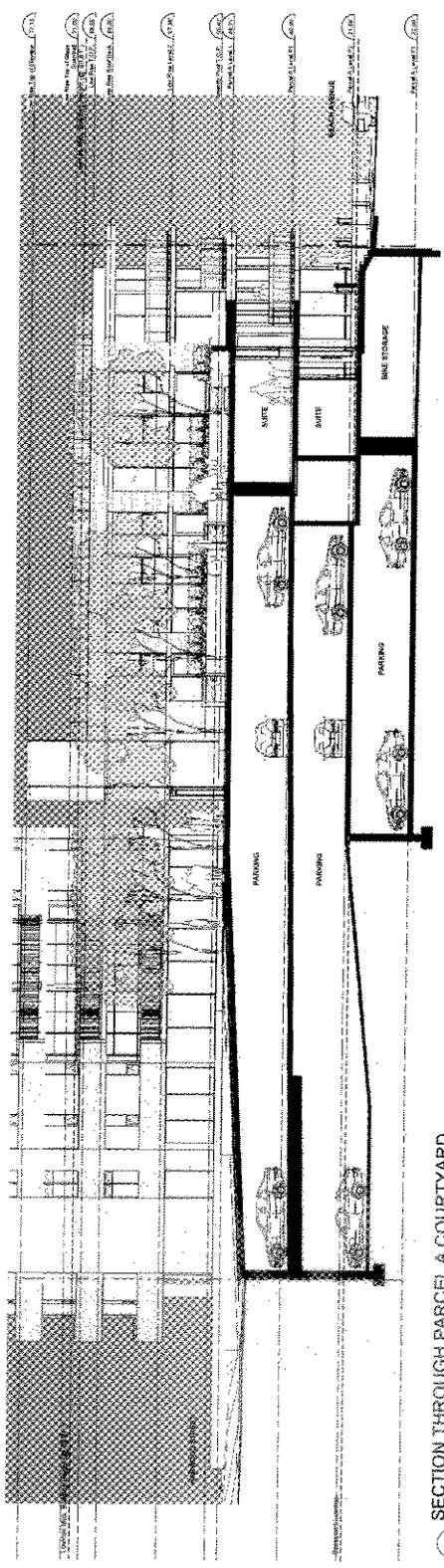
Appendix ; page of
 C 72



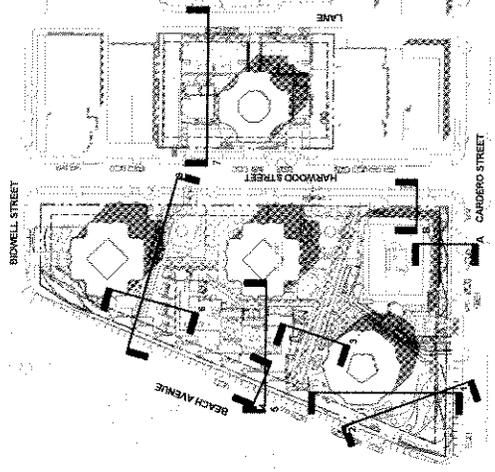
6 SECTION THROUGH LOWRISE & TOWER B COURTYARD
1/8" = 1'-0"



7 SECTION THROUGH PARCEL B SITE
1/8" = 1'-0"



8 SECTION THROUGH PARCEL A COURTYARD
1/8" = 1'-0"



KEY PLAN

DEVONSHIRE PROPERTIES INC. BEACH TOWERS PROJECT NO. 4 1875 HAWOOD STREET, VANCOUVER, BC	PROJECT NO. 20090 SHEET NO. 101 DATE: JUL 18, 2014	IBI INCORPORATED 1000 WEST 10TH AVENUE VANCOUVER, BC	BEACH TOWERS 1875 HAWOOD STREET, VANCOUVER, BC	DRAWN BY: [Name] CHECKED BY: [Name] SCALE: 1/8" = 1'-0" DATE: JUL 18, 2014	ENLARGED SECTIONS	DP5.11

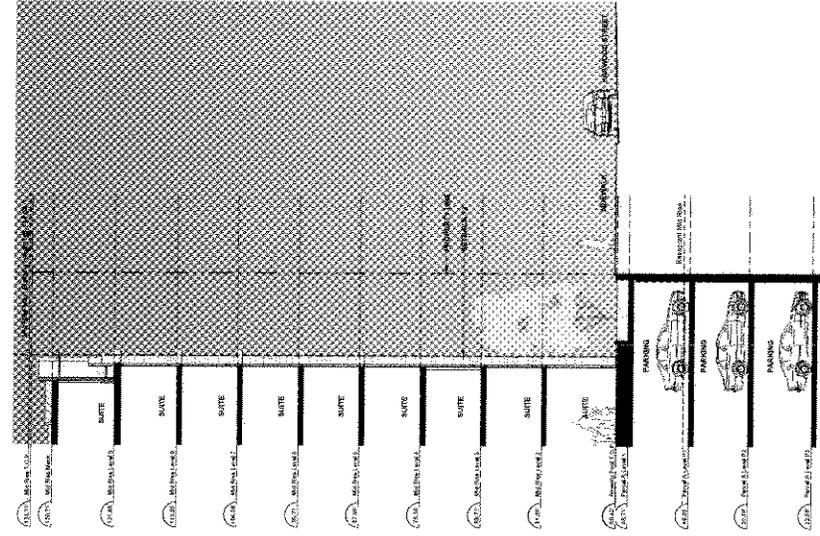
DEVONSHIRE PROPERTIES INC.
 BEACH TOWERS INVESTMENTS INC. & ENGLISH BAY INVESTMENTS INC.

PROJECT NO. 2589
COMMITTEE 01
DATE 06/11/14
DATE 06/11/14
DATE 06/11/14

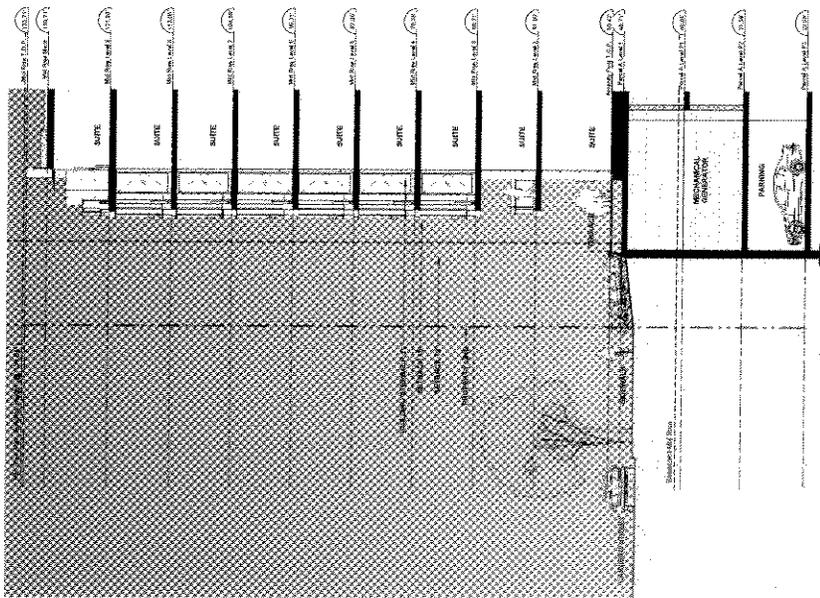
PROJECT NO. 2589
COMMITTEE 01
DATE 06/11/14
DATE 06/11/14
DATE 06/11/14

STREET SCAPE SECTIONS

DP5.20



(B) LANDSCAPE SECTION THROUGH HARWOOD STREET
 1/8" = 1'-0"



(A) LANDSCAPE SECTION THROUGH CARDERO STREET
 1/8" = 1'-0"

Appendix ; page of 75
 C

DEVONSHIRE PROPERTIES INC.
 BEACH TOWERS INVESTMENT INC. &
 BUILDING BASE INVESTMENT INC.

PROJECT TITLE: **BEACH TOWERS**
 1800 BEACH AVENUE,
 1807 HARWOOD STREET,
 VANCOUVER, BC

DATE: 04/11/2014

SCALE: 1:100

PROJECT NO.: 2008

CLIENT: [Redacted]

DESIGNER: [Redacted]

DATE: 04/11/2014

BUILDING BASE PLAN DIAGRAM

PROJECT NO.: **DP6.00**

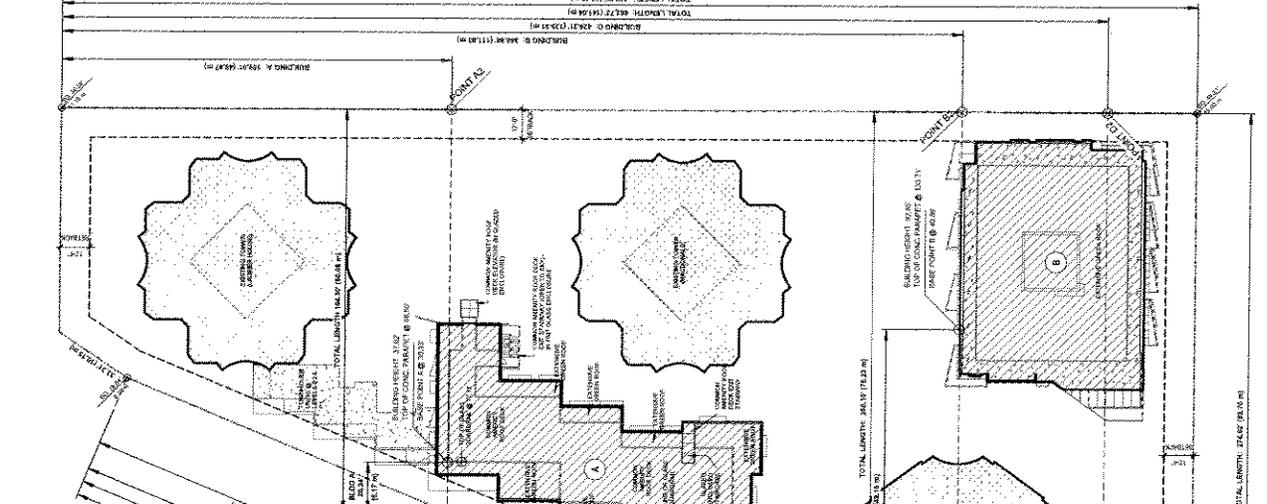
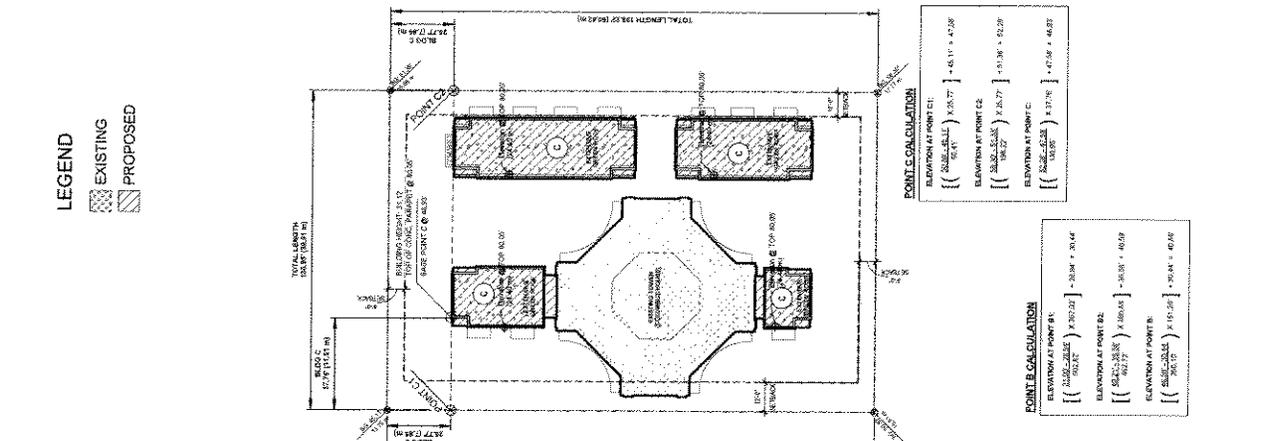
DATE: 04/11/2014

SCALE: 1:100

CLIENT: [Redacted]

DESIGNER: [Redacted]

DATE: 04/11/2014



LEGEND

EXISTING (hatched pattern)

PROPOSED (dotted pattern)

POINT A CALCULATION

ELEVATION AT POINT A:

$$\left(\frac{50.00}{100.00} \right) \times 110.00 + 20.00 = 75.00$$

$$\left(\frac{50.00}{100.00} \right) \times 110.00 + 20.00 = 75.00$$

$$\left(\frac{50.00}{100.00} \right) \times 110.00 + 20.00 = 75.00$$

POINT B CALCULATION

ELEVATION AT POINT B:

$$\left(\frac{50.00}{100.00} \right) \times 110.00 + 20.00 = 75.00$$

$$\left(\frac{50.00}{100.00} \right) \times 110.00 + 20.00 = 75.00$$

$$\left(\frac{50.00}{100.00} \right) \times 110.00 + 20.00 = 75.00$$

POINT C CALCULATION

ELEVATION AT POINT C:

$$\left(\frac{50.00}{100.00} \right) \times 110.00 + 20.00 = 75.00$$

$$\left(\frac{50.00}{100.00} \right) \times 110.00 + 20.00 = 75.00$$

$$\left(\frac{50.00}{100.00} \right) \times 110.00 + 20.00 = 75.00$$

POINT D CALCULATION

ELEVATION AT POINT D:

$$\left(\frac{50.00}{100.00} \right) \times 110.00 + 20.00 = 75.00$$

$$\left(\frac{50.00}{100.00} \right) \times 110.00 + 20.00 = 75.00$$

$$\left(\frac{50.00}{100.00} \right) \times 110.00 + 20.00 = 75.00$$

NOTES

1. The owner has provided the following information for the site and building.
2. The site is located in the City of Vancouver, British Columbia.
3. The building is a multi-story structure.
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100. The building is a multi-story structure.

DEVONSHIRE PROPERTIES INC.
 BEACH TOWERS PARTMENT INC. A
 FULLER BAY INVESTMENTS INC.

PROJECT: BEACH TOWERS
ADDRESS: 1801 BEACH AVENUE, BEACH, BC V8L 2L5
PHONE: (604) 253-1111
FAX: (604) 253-1112
WEBSITE: www.devonshire.com

CLIENT: BEACH TOWERS PARTMENT INC.
DATE: JULY 10, 2014

PROJECT NO.: 2014-07-01
DATE: JULY 10, 2014

PROJECT NAME: BEACH TOWERS
ADDRESS: 1801 BEACH AVENUE, BEACH, BC V8L 2L5
PHONE: (604) 253-1111
FAX: (604) 253-1112
WEBSITE: www.devonshire.com

PROJECT NO.: 2014-07-01
DATE: JULY 10, 2014

PROJECT NAME: BEACH TOWERS
ADDRESS: 1801 BEACH AVENUE, BEACH, BC V8L 2L5
PHONE: (604) 253-1111
FAX: (604) 253-1112
WEBSITE: www.devonshire.com

VIEW ANGLE DESIGN
 Horizontal Design Angle per the International Building Code (IBC) shall be maintained at a minimum of 1.0 degree above the horizon plane.

VIEW ANGLE DESIGN
 Make the provisions as per 5.2 with a distance of 7.62 m. (b) The minimum distance of view angle with a sum of 70 degree without obscuring any obstruction over a distance of 7.62 m.

VIEW ANGLE DESIGN
 Make the provisions as per 5.4 (a) & (b) by the minimum distance of view angle. View is not less than 3.7 m.

VIEW ANGLE DESIGN
 Make the provisions as per 5.2 with a distance of 7.62 m. (b) The minimum distance of view angle with a sum of 70 degree without obscuring any obstruction over a distance of 7.62 m.

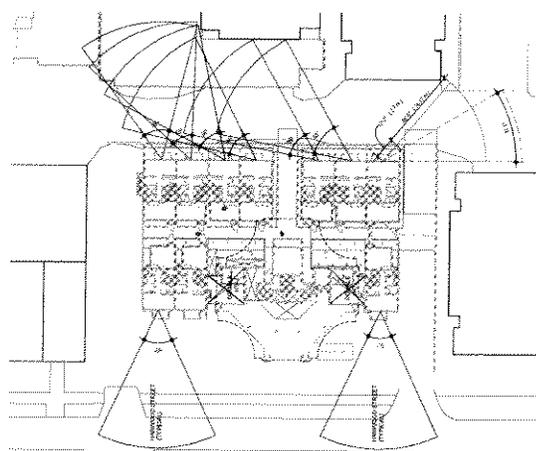
VIEW ANGLE DESIGN
 Make the provisions as per 5.4 (a) & (b) by the minimum distance of view angle. View is not less than 3.7 m.

VIEW ANGLE DESIGN
 Make the provisions as per 5.2 with a distance of 7.62 m. (b) The minimum distance of view angle with a sum of 70 degree without obscuring any obstruction over a distance of 7.62 m.

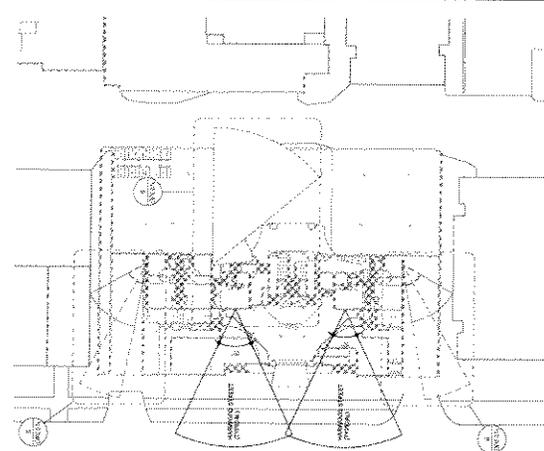
VIEW ANGLE DESIGN
 Make the provisions as per 5.4 (a) & (b) by the minimum distance of view angle. View is not less than 3.7 m.

VIEW ANGLE DESIGN
 Make the provisions as per 5.2 with a distance of 7.62 m. (b) The minimum distance of view angle with a sum of 70 degree without obscuring any obstruction over a distance of 7.62 m.

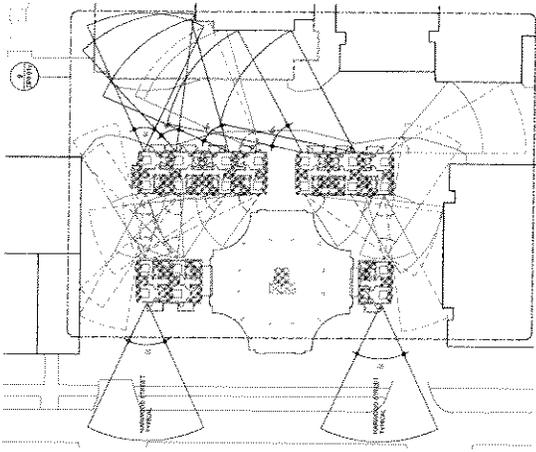
VIEW ANGLE DESIGN
 Make the provisions as per 5.4 (a) & (b) by the minimum distance of view angle. View is not less than 3.7 m.



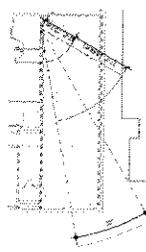
2 VIEW ANGLE TOWNHOUSE LEVEL 2
 1/32" = 1'-0"



1 VIEW ANGLE TOWNHOUSE LEVEL 1
 1/32" = 1'-0"



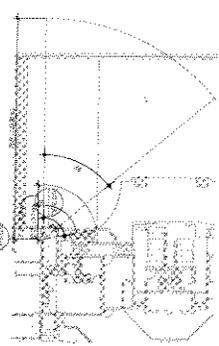
3 VIEW ANGLE TOWNHOUSE LEVEL 3
 1/32" = 1'-0"



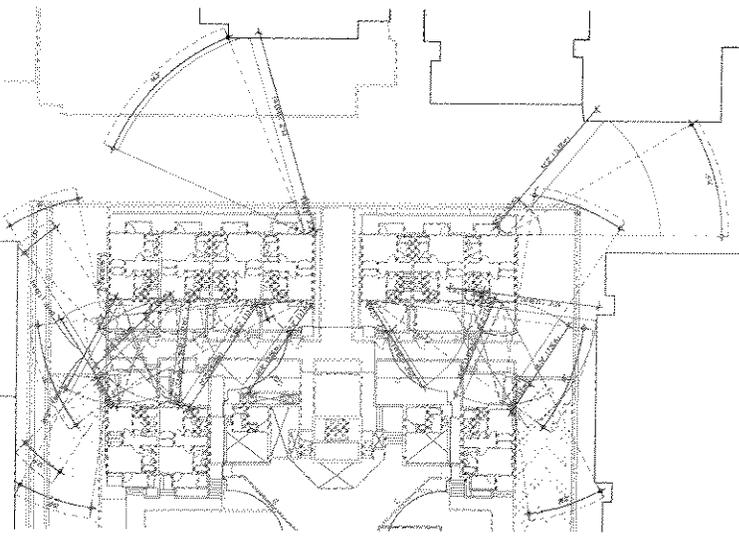
4 Inset - View Angle - Townhouse Level 1 - a
 1" = 20'-0"



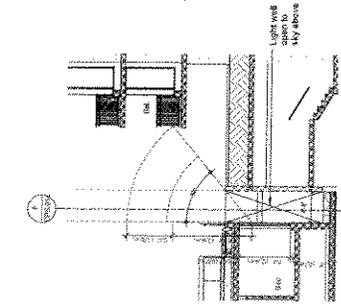
5 Inset - View Angle - Townhouse Level 1 - b
 1" = 20'-0"



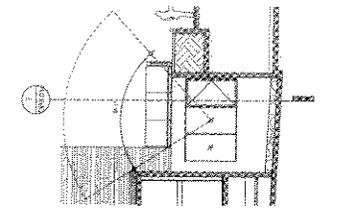
6 Inset - View Angle - Townhouse Level 1 - c
 1" = 20'-0"



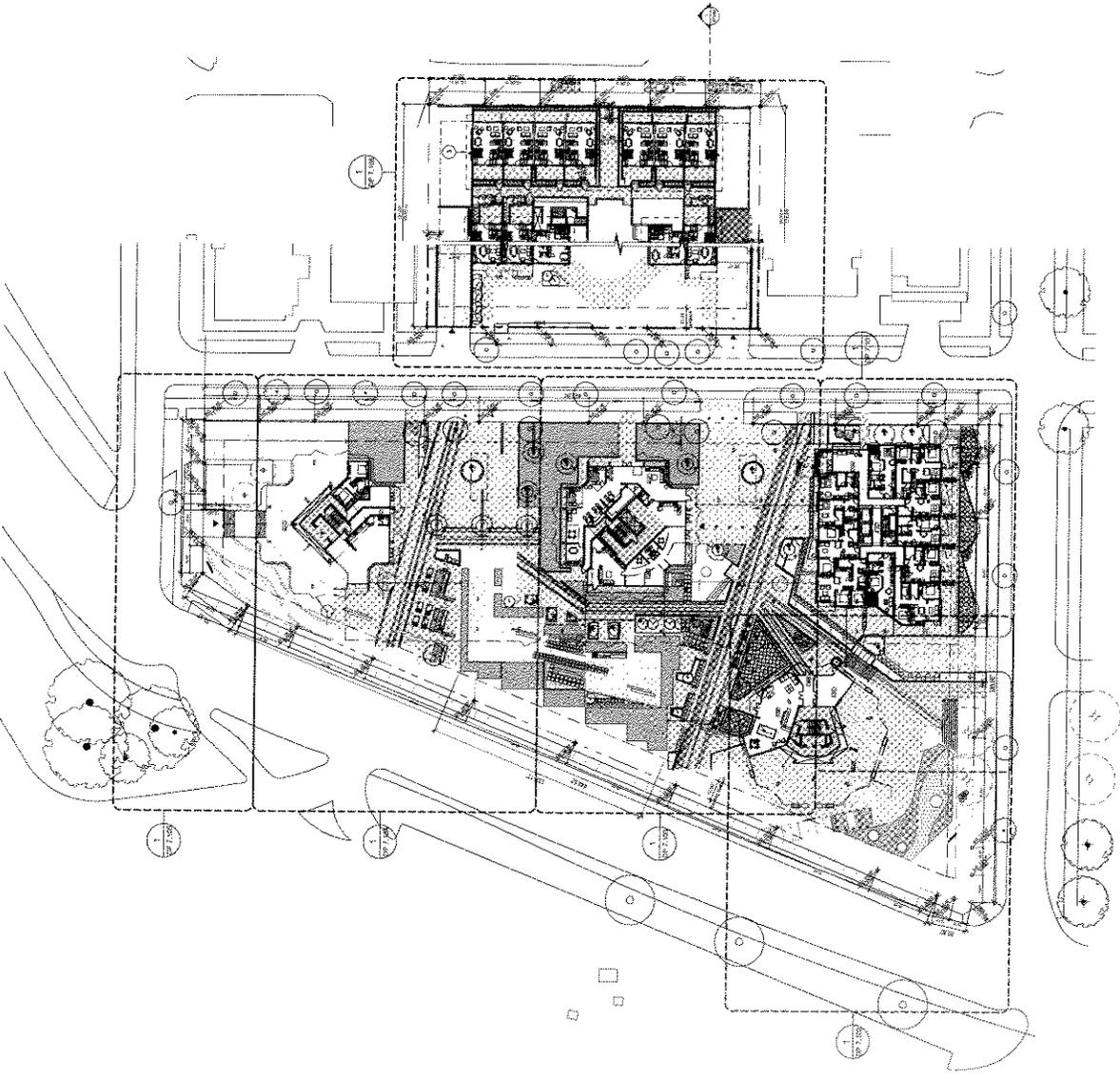
9 Inset - View Angle - Townhouse Level 3
 1" = 20'-0"



7 Inset - Section through Lightwell 1
 1/8" = 1'-0"



8 Inset - Section through Lightwell 2
 1/8" = 1'-0"



SEAL:

I, **IBI GROUP ARCHITECTS**, being a corporation duly organized and existing under the laws of the Province of British Columbia, do hereby certify that the above is a true and correct copy of the original as submitted to me for my professional seal and signature.

DATE: **REVISIONS BY**

IBI GROUP ARCHITECTS
 1000 BEACON AVENUE
 VANCOUVER, BC
 V6A 4K6

PROJECT TITLE:
BEACH TOWERS

1000 BEACON AVE & 1651 HARWOOD ST.
 VANCOUVER, BC

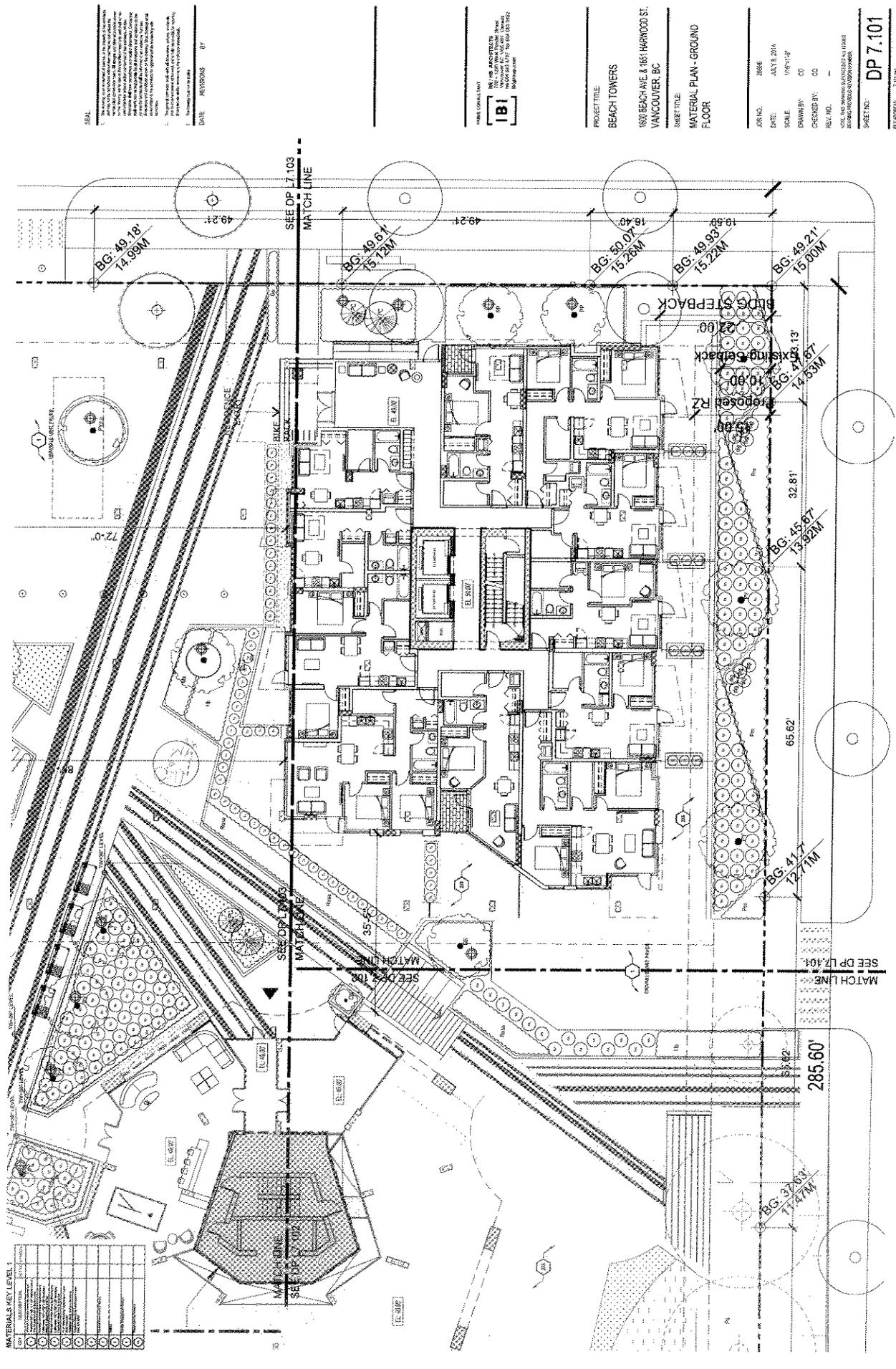
SHEET TITLE:
OVERALL LANDSCAPE PLAN

JOB NO.: 2898
 DATE: JULY 8, 2014
 SCALE: 1/8" = 1'-0"
 DRAWN BY: CO
 CHECKED BY: CO
 REV. NO.: —

WKS. 5 - 6 (DRAWING SUPERVISOR) LINDSAY BURNHAM (PROFESSIONAL NUMBER)

SHEET NO.: **DP 7.100**

REV. APPROVED: T. TAMM
 DATE OF REVISION:



MATERIALS KEY LEVEL 1

NO.	DESCRIPTION
1	CONCRETE
2	BRICK
3	GLAZED TERRAZZO
4	WOOD
5	PAINT
6	ROOFING
7	MECHANICAL
8	ELECTRICAL
9	PLUMBING
10	INSULATION
11	GLASS
12	STEEL
13	ASBESTOS
14	CEILING
15	FLOORING
16	WALLS
17	ROOF
18	MECHANICAL
19	ELECTRICAL
20	PLUMBING
21	INSULATION
22	GLASS
23	STEEL
24	ASBESTOS
25	CEILING
26	FLOORING
27	WALLS
28	ROOF
29	MECHANICAL
30	ELECTRICAL
31	PLUMBING
32	INSULATION
33	GLASS
34	STEEL
35	ASBESTOS
36	CEILING
37	FLOORING
38	WALLS
39	ROOF
40	MECHANICAL
41	ELECTRICAL
42	PLUMBING
43	INSULATION
44	GLASS
45	STEEL
46	ASBESTOS
47	CEILING
48	FLOORING
49	WALLS
50	ROOF

SEAL

1. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

DATE: 08/20/2010

IBI

INTERNATIONAL BUILDING DESIGN

100 WEST BROADWAY, SUITE 2000
VANCOUVER, BC V6C 2M5
TEL: 604.681.1111
WWW.IBIDesign.com

PROJECT TITLE:
BEACH TOWERS

**1800 BEACH AVE & 1801 HARWOOD ST.
VANCOUVER, BC**

SHEET TITLE:
MATERIAL PLAN - GROUND
FLOOR

JOB NO.: 2888

DATE: JAN 13, 2014

SCALE: 1/8"=1'-0"

DRAWN BY: CC

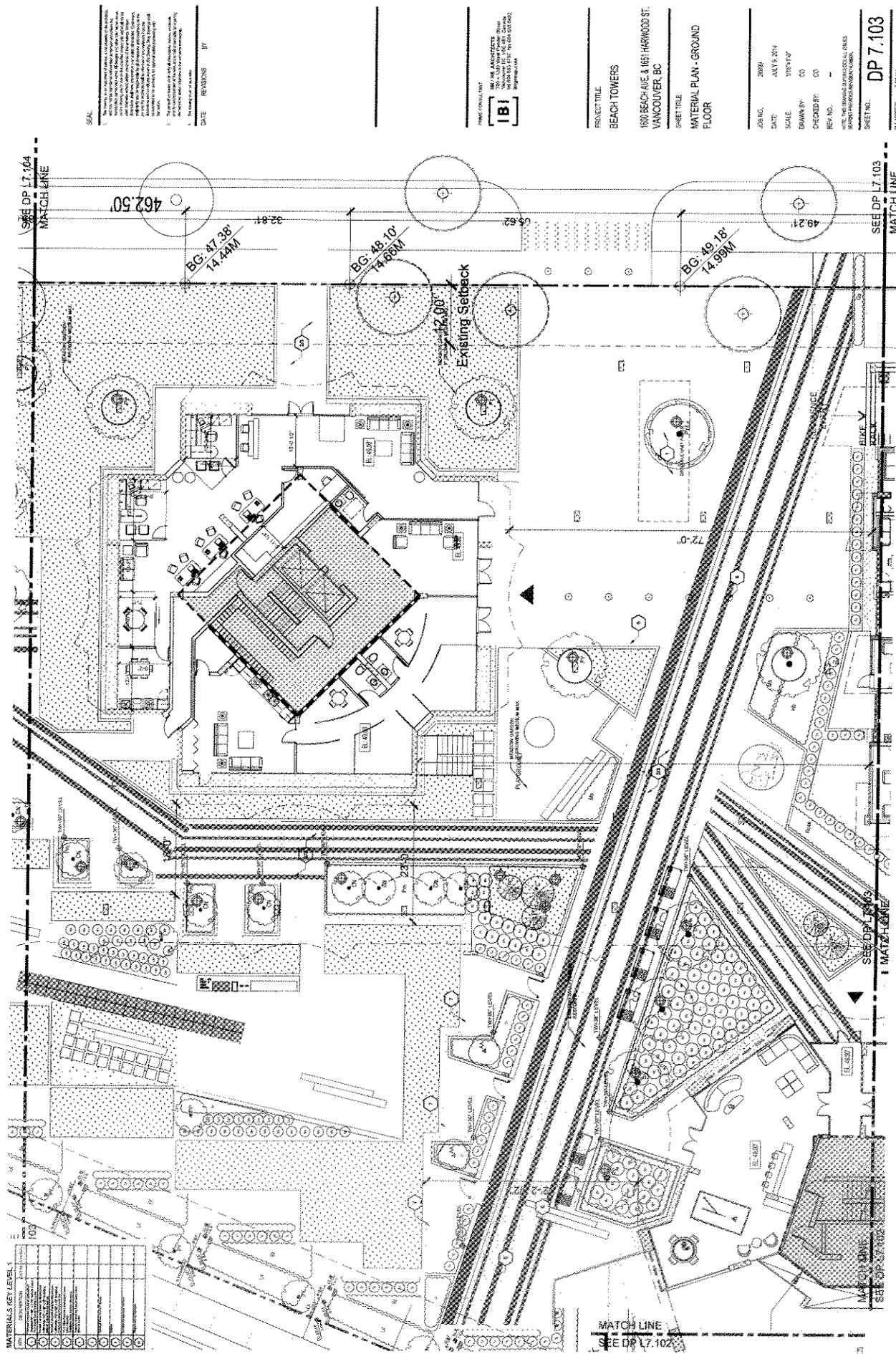
CHECKED BY: CC

REV. NO.: --

SHEET NO.: DP 7.101

REV. NO.: 01

DATE: 08/20/2010



MATERIALS KEY LEVEL 1

1	CONCRETE
2	GRAVEL
3	ASPHALT
4	PAVING
5	LANDSCAPE
6	WOOD
7	STEEL
8	GLASS
9	BRICK
10	STONE
11	ROOFING
12	INSULATION
13	MECHANICAL
14	ELECTRICAL
15	PLUMBING
16	FINISHES
17	LANDSCAPE
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22	LANDSCAPE
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50	LANDSCAPE

SCALE: 1/8" = 1'-0"

DATE: 07/15/10

REVISIONS:

PROJECT TITLE: BEACH TOWERS

1800 BEACH AVE & 1857 HARWOOD ST. VANCOUVER, BC

SHEET TITLE: MATERIAL PLAN - GROUND FLOOR

JOB NO. 2008

DATE: JULY 15, 2010

SCALE: 1/8" = 1'-0"

DRAWN BY: CD

CHECKED BY: CD

REV. NO. ---

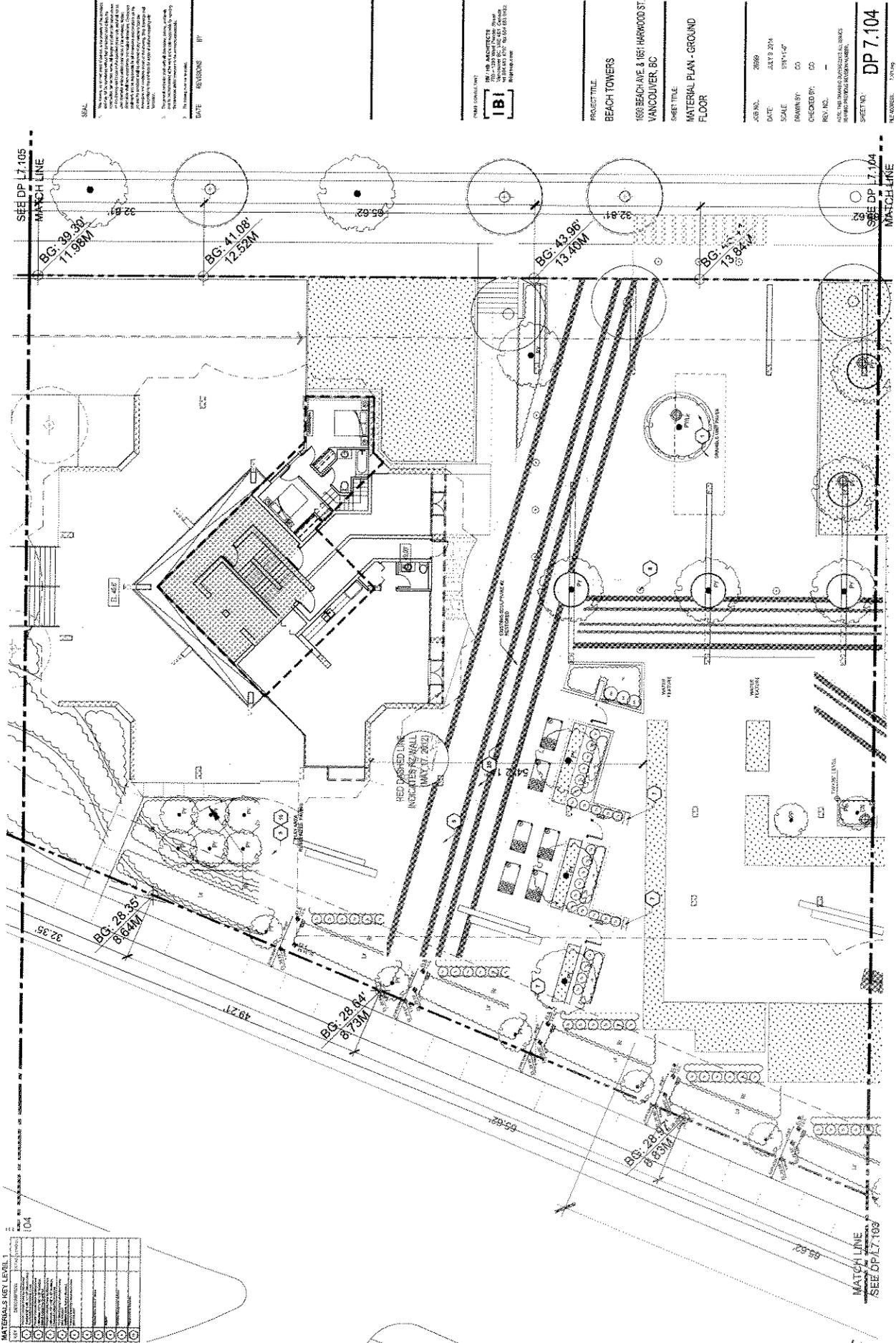
SHEET NO. DP 7.103

DATE PLOTTED: 7/15/10

Appendix ; page of 83

MATERIALS KEY LEVEL 1

1	Asph/Flt
2	Gravel
3	Gravel
4	Gravel
5	Gravel
6	Gravel
7	Gravel
8	Gravel
9	Gravel
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98	Gravel
99	Gravel
100	Gravel



SCALE:
 1. THIS DRAWING IS A PRELIMINARY DESIGN AND IS NOT TO BE USED FOR CONSTRUCTION.
 2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
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 8. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 9. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 10. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 DATE: REVISIONS: 01

PROJECT TITLE:
BEACH TOWERS
 1810 BEACH AVE & 161 HARWOOD ST.
 VANCOUVER, BC

ARCHITECT:
IBI
 1810 BEACH AVE & 161 HARWOOD ST.
 VANCOUVER, BC
 V6G 1S6
 TEL: 604.681.1111
 WWW.IBI.CA

DATE: JULY 3, 2014
 SCALE: 1/8"=1'-0"
 DRAWN BY: CS
 CHECKED BY: CS
 REV. NO.: -

SHEET NO.: **DP 7.104**
 SHEET TITLE: MATERIAL PLAN - GROUND FLOOR
 DATE PLOTTED: 1/1/2014

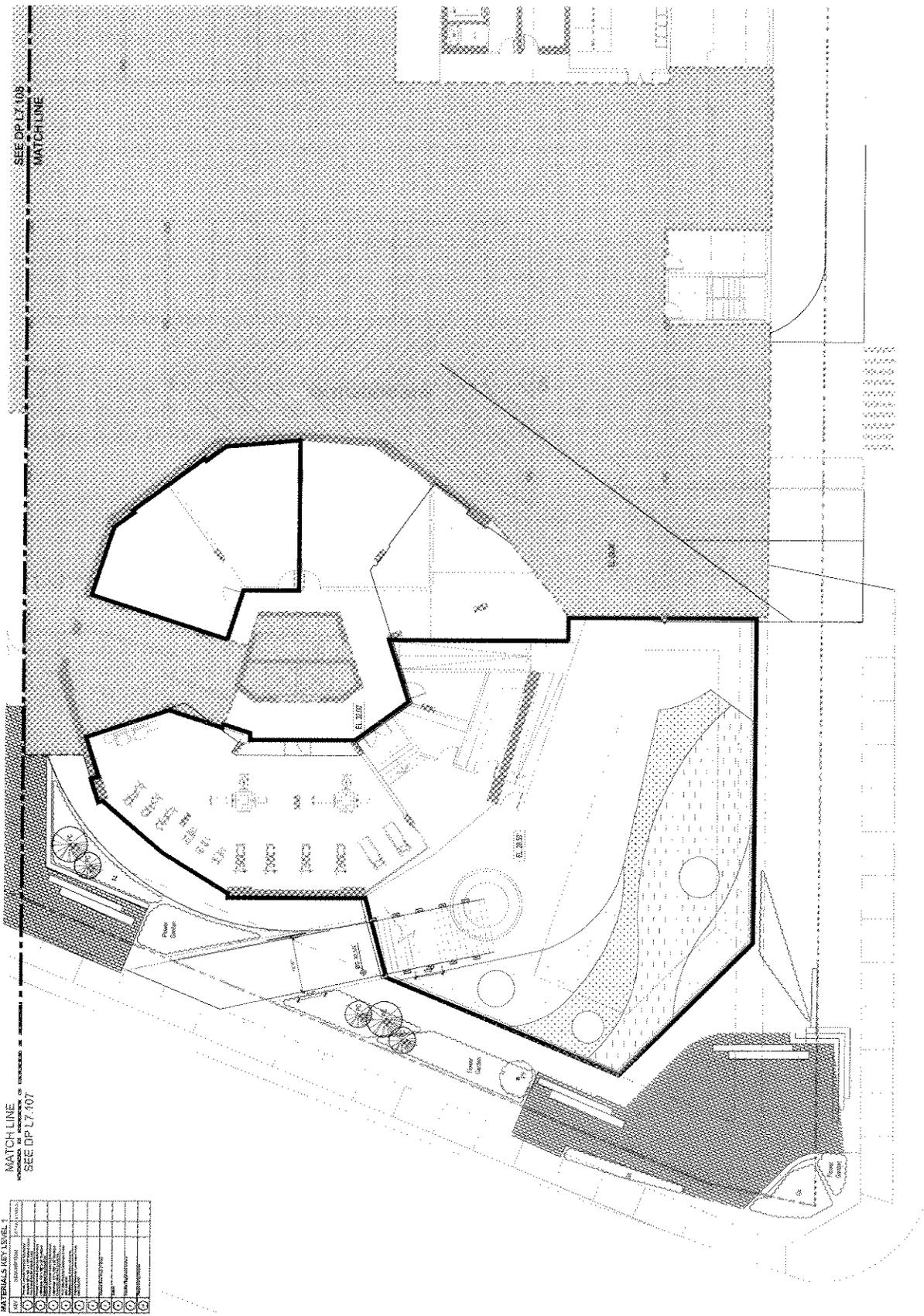
Appendix C ; page 84 of 84

MATERIALS KEY (LEVEL 2)

1	Asph/Flt
2	Gravel
3	Concrete
4	Grass
5	Gravel
6	Gravel
7	Gravel
8	Gravel
9	Gravel
10	Gravel
11	Gravel
12	Gravel
13	Gravel
14	Gravel
15	Gravel
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94	Gravel
95	Gravel
96	Gravel
97	Gravel
98	Gravel
99	Gravel
100	Gravel

MATCH LINE
SEE DP L7.107

SEE DP L7.108
MATCHLINE



SEAL

1. This drawing is the property of the City of Vancouver and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the City of Vancouver.

2. The professional seal of the engineer, architect, or other professional is required for this drawing to be used for construction purposes.

3. The professional seal of the engineer, architect, or other professional is required for this drawing to be used for construction purposes.

DATE: REVISIONS: BY:

IBI GROUP INC.

100-1100 West Broadway Street
Vancouver, BC V6E 2E6
Tel: 604.681.2111 Fax: 604.681.2100
www.ibigroup.com

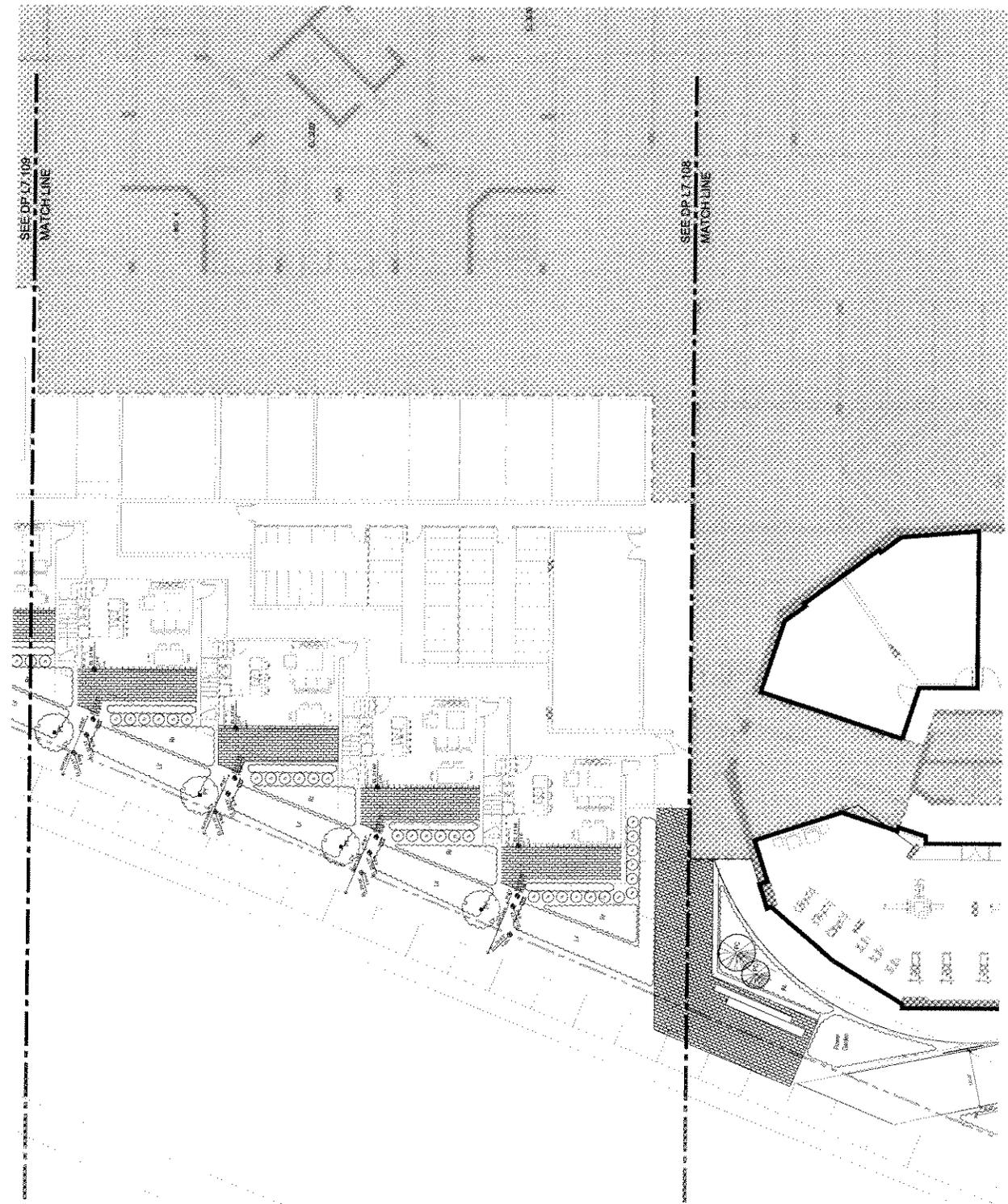
PROJECT TITLE
BEACH TOWERS
1830 BEACH AVE & 1871 HARWOOD ST
VANCOUVER, BC
SHEET TITLE
MATERIAL PLAN - PARKING
LEVEL 2

JOB NO. 20088
DATE: JUN 20, 2014
SCALE: 8/11 = 1/4"
DRAWN BY: CO
CHECKED BY: CD
REV. NO. -
NOTE: THE DRAWING IS PART OF A SET OF DRAWINGS FOR THE BEACH TOWERS PROJECT.
SHEET NO. DP 7.107
FILE NUMBER: 17108
DATE LAST REVISED:

Appendix C ; page of 87

LINE
 MATERIALS (SEE LEVEL 1)
 L7.108

NO.	SYMBOL	DESCRIPTION
1	(Symbol)	Asph/Flt
2	(Symbol)	Gravel
3	(Symbol)	Gravel
4	(Symbol)	Gravel
5	(Symbol)	Gravel
6	(Symbol)	Gravel
7	(Symbol)	Gravel
8	(Symbol)	Gravel
9	(Symbol)	Gravel
10	(Symbol)	Gravel
11	(Symbol)	Gravel
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100	(Symbol)	Gravel



SCALE:
 1. The drawings are prepared to a scale of 1/8" = 1'-0".
 2. The drawings are prepared to a scale of 1/4" = 1'-0".
 3. The drawings are prepared to a scale of 1/2" = 1'-0".
 4. The drawings are prepared to a scale of 3/4" = 1'-0".
 5. The drawings are prepared to a scale of 1" = 1'-0".
 6. The drawings are prepared to a scale of 1 1/4" = 1'-0".
 7. The drawings are prepared to a scale of 1 1/2" = 1'-0".
 8. The drawings are prepared to a scale of 1 3/4" = 1'-0".
 9. The drawings are prepared to a scale of 2" = 1'-0".
 10. The drawings are prepared to a scale of 2 1/4" = 1'-0".
 11. The drawings are prepared to a scale of 2 1/2" = 1'-0".
 12. The drawings are prepared to a scale of 2 3/4" = 1'-0".
 13. The drawings are prepared to a scale of 3" = 1'-0".
 14. The drawings are prepared to a scale of 3 1/4" = 1'-0".
 15. The drawings are prepared to a scale of 3 1/2" = 1'-0".
 16. The drawings are prepared to a scale of 3 3/4" = 1'-0".
 17. The drawings are prepared to a scale of 4" = 1'-0".
 18. The drawings are prepared to a scale of 4 1/4" = 1'-0".
 19. The drawings are prepared to a scale of 4 1/2" = 1'-0".
 20. The drawings are prepared to a scale of 4 3/4" = 1'-0".
 21. The drawings are prepared to a scale of 5" = 1'-0".
 22. The drawings are prepared to a scale of 5 1/4" = 1'-0".
 23. The drawings are prepared to a scale of 5 1/2" = 1'-0".
 24. The drawings are prepared to a scale of 5 3/4" = 1'-0".
 25. The drawings are prepared to a scale of 6" = 1'-0".
 26. The drawings are prepared to a scale of 6 1/4" = 1'-0".
 27. The drawings are prepared to a scale of 6 1/2" = 1'-0".
 28. The drawings are prepared to a scale of 6 3/4" = 1'-0".
 29. The drawings are prepared to a scale of 7" = 1'-0".
 30. The drawings are prepared to a scale of 7 1/4" = 1'-0".
 31. The drawings are prepared to a scale of 7 1/2" = 1'-0".
 32. The drawings are prepared to a scale of 7 3/4" = 1'-0".
 33. The drawings are prepared to a scale of 8" = 1'-0".
 34. The drawings are prepared to a scale of 8 1/4" = 1'-0".
 35. The drawings are prepared to a scale of 8 1/2" = 1'-0".
 36. The drawings are prepared to a scale of 8 3/4" = 1'-0".
 37. The drawings are prepared to a scale of 9" = 1'-0".
 38. The drawings are prepared to a scale of 9 1/4" = 1'-0".
 39. The drawings are prepared to a scale of 9 1/2" = 1'-0".
 40. The drawings are prepared to a scale of 9 3/4" = 1'-0".
 41. The drawings are prepared to a scale of 10" = 1'-0".
 42. The drawings are prepared to a scale of 10 1/4" = 1'-0".
 43. The drawings are prepared to a scale of 10 1/2" = 1'-0".
 44. The drawings are prepared to a scale of 10 3/4" = 1'-0".
 45. The drawings are prepared to a scale of 11" = 1'-0".
 46. The drawings are prepared to a scale of 11 1/4" = 1'-0".
 47. The drawings are prepared to a scale of 11 1/2" = 1'-0".
 48. The drawings are prepared to a scale of 11 3/4" = 1'-0".
 49. The drawings are prepared to a scale of 12" = 1'-0".
 50. The drawings are prepared to a scale of 12 1/4" = 1'-0".
 51. The drawings are prepared to a scale of 12 1/2" = 1'-0".
 52. The drawings are prepared to a scale of 12 3/4" = 1'-0".
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 54. The drawings are prepared to a scale of 13 1/4" = 1'-0".
 55. The drawings are prepared to a scale of 13 1/2" = 1'-0".
 56. The drawings are prepared to a scale of 13 3/4" = 1'-0".
 57. The drawings are prepared to a scale of 14" = 1'-0".
 58. The drawings are prepared to a scale of 14 1/4" = 1'-0".
 59. The drawings are prepared to a scale of 14 1/2" = 1'-0".
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 61. The drawings are prepared to a scale of 15" = 1'-0".
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 81. The drawings are prepared to a scale of 20" = 1'-0".
 82. The drawings are prepared to a scale of 20 1/4" = 1'-0".
 83. The drawings are prepared to a scale of 20 1/2" = 1'-0".
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 85. The drawings are prepared to a scale of 21" = 1'-0".
 86. The drawings are prepared to a scale of 21 1/4" = 1'-0".
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 89. The drawings are prepared to a scale of 22" = 1'-0".
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 96. The drawings are prepared to a scale of 23 3/4" = 1'-0".
 97. The drawings are prepared to a scale of 24" = 1'-0".
 98. The drawings are prepared to a scale of 24 1/4" = 1'-0".
 99. The drawings are prepared to a scale of 24 1/2" = 1'-0".
 100. The drawings are prepared to a scale of 24 3/4" = 1'-0".

PROJECT TITLE:
 BEACH TOWERS
 1870 BEACH AVE & 1851 HARWOOD ST
 VANCOUVER, BC
 SHEET TITLE:
 MATERIAL PLAN - PARKING
 LEVEL 2

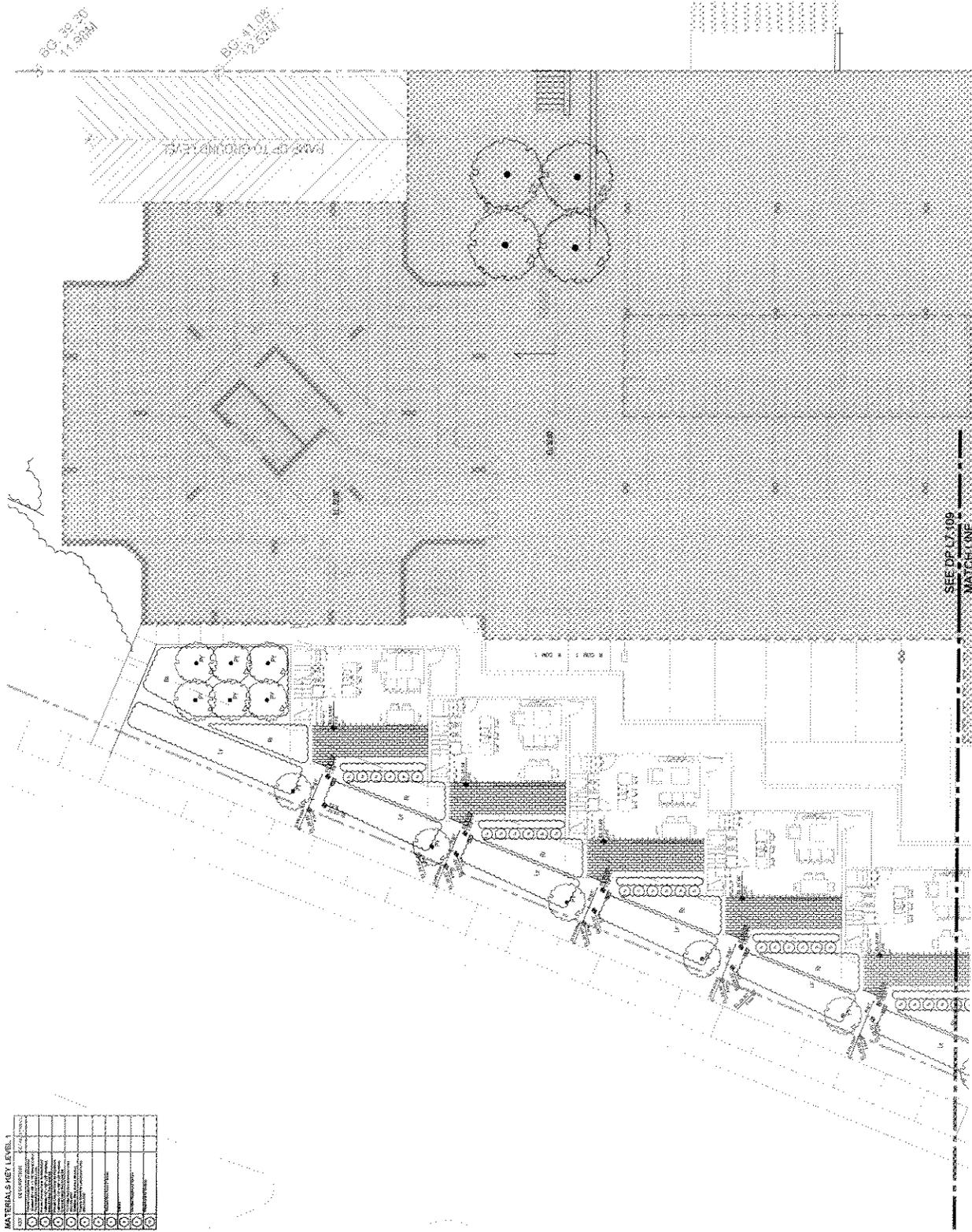
JOB NO.: 2388
 DATE: JAN 20, 2014
 SCALE: 1/8" = 1'-0"
 DRAWN BY: CD
 CHECKED BY: CD
 REV. NO.: -

DATE: 1/20/14
 REVISIONS: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

SHEET NO.: DP 7.108

MATERIALS KEY LEVEL 1

NO.	SYMBOL	DESCRIPTION
1	(Symbol)	ASPHALT
2	(Symbol)	GRAVEL
3	(Symbol)	CONCRETE
4	(Symbol)	BRICK
5	(Symbol)	CLAY TILE
6	(Symbol)	GLAZED CERAMIC TILE
7	(Symbol)	WOOD
8	(Symbol)	PAINT
9	(Symbol)	ROOFING
10	(Symbol)	INSULATION
11	(Symbol)	GLASS
12	(Symbol)	IRON
13	(Symbol)	STEEL
14	(Symbol)	ALUMINUM
15	(Symbol)	COPPER
16	(Symbol)	ZINC
17	(Symbol)	LEAD
18	(Symbol)	BRASS
19	(Symbol)	STAINLESS STEEL
20	(Symbol)	PLASTER
21	(Symbol)	GYP. BOARD
22	(Symbol)	CEILING
23	(Symbol)	FLOORING
24	(Symbol)	WALL PAPER
25	(Symbol)	GLASS BLOCK
26	(Symbol)	TRANSOM
27	(Symbol)	SCREEN DOOR
28	(Symbol)	SCREEN WINDOW
29	(Symbol)	SLIDING GLASS DOOR
30	(Symbol)	SLIDING GLASS WINDOW
31	(Symbol)	FIXED GLASS WINDOW
32	(Symbol)	FIXED GLASS DOOR
33	(Symbol)	FIXED GLASS PARTITION
34	(Symbol)	FIXED GLASS CURTAIN WALL
35	(Symbol)	FIXED GLASS BALCONY RAILING
36	(Symbol)	FIXED GLASS STAIR RAILING
37	(Symbol)	FIXED GLASS ELEVATOR RAILING
38	(Symbol)	FIXED GLASS ENTRANCE
39	(Symbol)	FIXED GLASS EXIT
40	(Symbol)	FIXED GLASS PARTITION
41	(Symbol)	FIXED GLASS CURTAIN WALL
42	(Symbol)	FIXED GLASS BALCONY RAILING
43	(Symbol)	FIXED GLASS STAIR RAILING
44	(Symbol)	FIXED GLASS ELEVATOR RAILING
45	(Symbol)	FIXED GLASS ENTRANCE
46	(Symbol)	FIXED GLASS EXIT
47	(Symbol)	FIXED GLASS PARTITION
48	(Symbol)	FIXED GLASS CURTAIN WALL
49	(Symbol)	FIXED GLASS BALCONY RAILING
50	(Symbol)	FIXED GLASS STAIR RAILING
51	(Symbol)	FIXED GLASS ELEVATOR RAILING
52	(Symbol)	FIXED GLASS ENTRANCE
53	(Symbol)	FIXED GLASS EXIT
54	(Symbol)	FIXED GLASS PARTITION
55	(Symbol)	FIXED GLASS CURTAIN WALL
56	(Symbol)	FIXED GLASS BALCONY RAILING
57	(Symbol)	FIXED GLASS STAIR RAILING
58	(Symbol)	FIXED GLASS ELEVATOR RAILING
59	(Symbol)	FIXED GLASS ENTRANCE
60	(Symbol)	FIXED GLASS EXIT
61	(Symbol)	FIXED GLASS PARTITION
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67	(Symbol)	FIXED GLASS EXIT
68	(Symbol)	FIXED GLASS PARTITION
69	(Symbol)	FIXED GLASS CURTAIN WALL
70	(Symbol)	FIXED GLASS BALCONY RAILING
71	(Symbol)	FIXED GLASS STAIR RAILING
72	(Symbol)	FIXED GLASS ELEVATOR RAILING
73	(Symbol)	FIXED GLASS ENTRANCE
74	(Symbol)	FIXED GLASS EXIT
75	(Symbol)	FIXED GLASS PARTITION
76	(Symbol)	FIXED GLASS CURTAIN WALL
77	(Symbol)	FIXED GLASS BALCONY RAILING
78	(Symbol)	FIXED GLASS STAIR RAILING
79	(Symbol)	FIXED GLASS ELEVATOR RAILING
80	(Symbol)	FIXED GLASS ENTRANCE
81	(Symbol)	FIXED GLASS EXIT
82	(Symbol)	FIXED GLASS PARTITION
83	(Symbol)	FIXED GLASS CURTAIN WALL
84	(Symbol)	FIXED GLASS BALCONY RAILING
85	(Symbol)	FIXED GLASS STAIR RAILING
86	(Symbol)	FIXED GLASS ELEVATOR RAILING
87	(Symbol)	FIXED GLASS ENTRANCE
88	(Symbol)	FIXED GLASS EXIT
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91	(Symbol)	FIXED GLASS BALCONY RAILING
92	(Symbol)	FIXED GLASS STAIR RAILING
93	(Symbol)	FIXED GLASS ELEVATOR RAILING
94	(Symbol)	FIXED GLASS ENTRANCE
95	(Symbol)	FIXED GLASS EXIT
96	(Symbol)	FIXED GLASS PARTITION
97	(Symbol)	FIXED GLASS CURTAIN WALL
98	(Symbol)	FIXED GLASS BALCONY RAILING
99	(Symbol)	FIXED GLASS STAIR RAILING
100	(Symbol)	FIXED GLASS ELEVATOR RAILING



SEAL

The professional seal of the architect is required for all drawings. It shall be placed on the drawing in a prominent position and shall be in accordance with the provisions of the Architects Act, R.S.B.C. 1996, Chapter 427, and the regulations thereunder. The seal shall be in the form of a circle or oval and shall contain the name of the architect, the number of the architect's registration, and the words "REGISTERED ARCHITECT" and "BRITISH COLUMBIA". The seal shall be in black ink and shall be placed on the drawing in a prominent position.

1. The professional seal of the architect is required for all drawings. It shall be placed on the drawing in a prominent position and shall be in accordance with the provisions of the Architects Act, R.S.B.C. 1996, Chapter 427, and the regulations thereunder. The seal shall be in the form of a circle or oval and shall contain the name of the architect, the number of the architect's registration, and the words "REGISTERED ARCHITECT" and "BRITISH COLUMBIA". The seal shall be in black ink and shall be placed on the drawing in a prominent position.

2. The professional seal of the architect is required for all drawings. It shall be placed on the drawing in a prominent position and shall be in accordance with the provisions of the Architects Act, R.S.B.C. 1996, Chapter 427, and the regulations thereunder. The seal shall be in the form of a circle or oval and shall contain the name of the architect, the number of the architect's registration, and the words "REGISTERED ARCHITECT" and "BRITISH COLUMBIA". The seal shall be in black ink and shall be placed on the drawing in a prominent position.

DATE: _____ REVISIONS BY: _____

IBI GROUP INC.

IBI ARCHITECTS

100 - 1150 WEST 4TH AVENUE, SUITE 2000
 VANCOUVER, BC V6H 4T6
 TEL: 604.681.2222 FAX: 604.681.2223
 www.ibigroup.com

PROJECT TITLE: BEACH TOWERS

1888 BEACH AVE & 18TH HARWOOD ST.
 VANCOUVER, BC

SHEET TITLE: MATERIAL PLAN - PARKING LEVEL 2

JOB NO. 20089

DATE: JAN 20, 2014

SCALE: 1/8"=1'-0"

DRAWN BY: CJ

CHECKED BY: CD

REV. NO. --

NOTE: THIS DRAWING IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION.

SHEET NO. DP 7.109

FILE NUMBER: 10089

DATE PLOTTED: 1/20/14

MATERIALS KEY LOWRISE ROOF

KEY	DESCRIPTION	DETAIL SYMBOL
1	1/2" (12.5mm) Gypsum Board Per Section 05 50 00 - Gypsum Board 05 50 00 - Gypsum Board 05 50 00 - Gypsum Board	
2	1/2" (12.5mm) Gypsum Board Per Section 05 50 00 - Gypsum Board 05 50 00 - Gypsum Board 05 50 00 - Gypsum Board	
3	1/2" (12.5mm) Gypsum Board Per Section 05 50 00 - Gypsum Board 05 50 00 - Gypsum Board 05 50 00 - Gypsum Board	

PLANT LIST ROOF

Trees	ETY.	MIN. SIZE	SPACING	COMMENTS	SYMBOL
	A	5m tall			

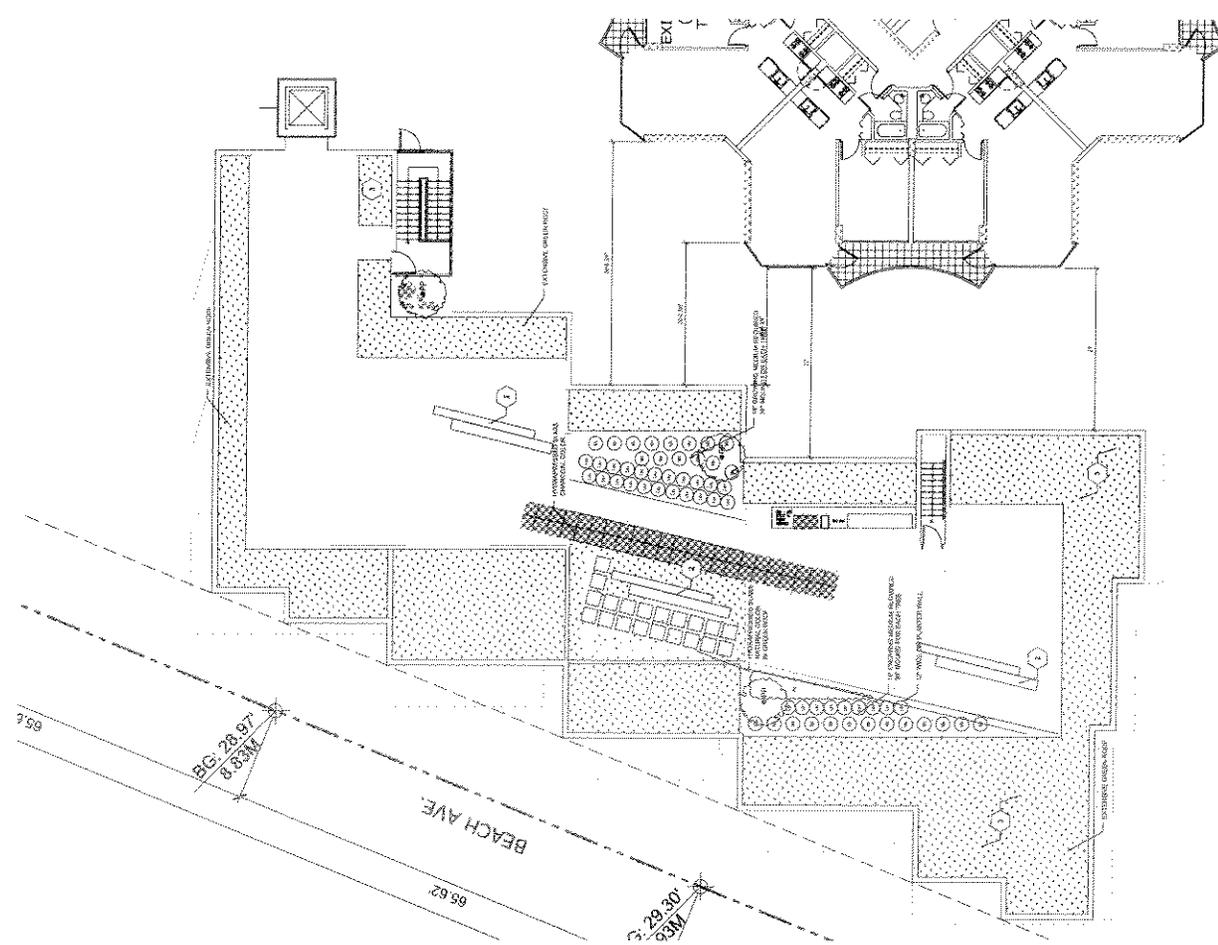
Shrubs

SHRUBS COLLAGES: PERMANALS	ETY.	MIN. SIZE	SPACING	COMMENTS	SYMBOL
1. <i>Arctostaphylos uva-ursi</i> (Manzanita)	100	400mm	1000mm		
2. <i>Arctostaphylos uva-ursi</i> (Manzanita)	100	400mm	1000mm		
3. <i>Arctostaphylos uva-ursi</i> (Manzanita)	100	400mm	1000mm		

Extensive Green Roof

EXTENSIVE GREEN ROOF	ETY.	MIN. SIZE	SPACING	COMMENTS	SYMBOL
	A	5m tall			

NOTE: 1. VERIFY ALL PLANT MATERIALS TO BE USED IN ACCORDANCE WITH THE PROJECT AND MATERIALS LIST. ALL PLANT MATERIALS TO BE USED IN ACCORDANCE WITH THE PROJECT AND MATERIALS LIST. ALL PLANT MATERIALS TO BE USED IN ACCORDANCE WITH THE PROJECT AND MATERIALS LIST. ALL PLANT MATERIALS TO BE USED IN ACCORDANCE WITH THE PROJECT AND MATERIALS LIST.



DATE: REVISIONS BY

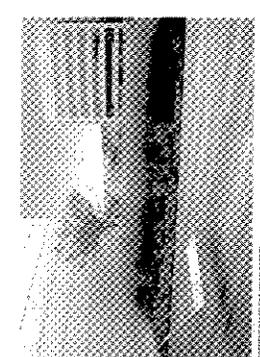


IBI GROUP INC. ARCHITECTS
100-10100 166th Street, Surrey, BC V4N 1C7
Tel: 604.581.1000
www.ibigroup.com

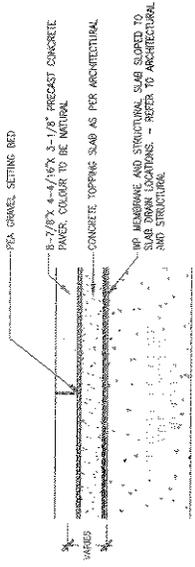
PROJECT TITLE: BEACH TOWERS
600 BEACH AVE & 101 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE: MATERIAL PLAN - LOWRISE ROOF LEVEL

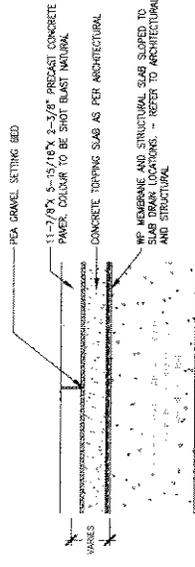
JOB NO.: 2009
DATE: 08.1.2014
SCALE: 1/8"=1'-0"
DRAWN BY: CO
CHECKED BY: CO
REV. NO.: -
KEY TO DRAWING: REFER TO ALL SHEETS FOR DIMENSIONS AND NOTES.
SHEET NO.: DP 7.110
SCALE: 1/8"=1'-0"
DATE: 08.1.2014



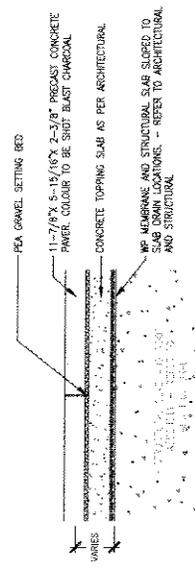
Appendix ; page of C 90



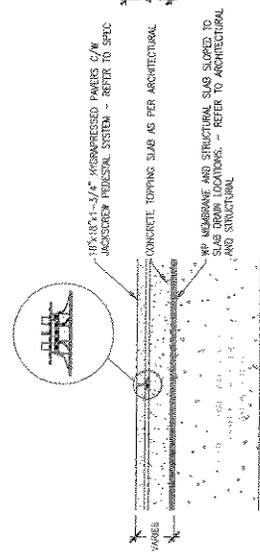
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SCALE: NTS



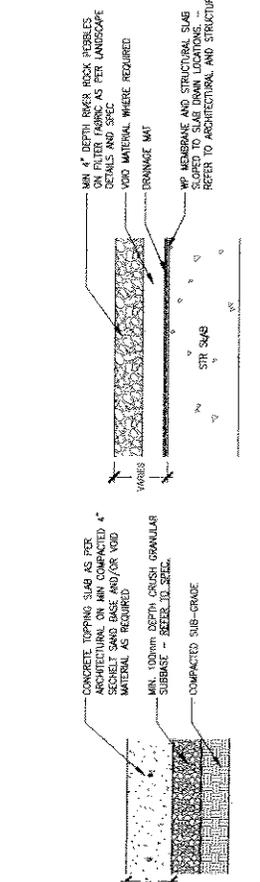
2 PRECAST CONCRETE PAVERS - TYPE 2
SCALE: NTS



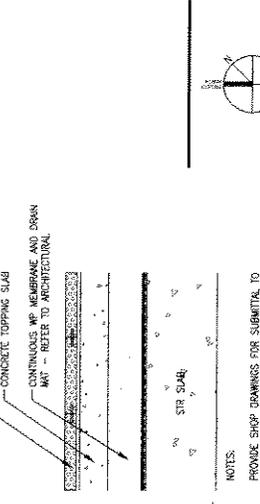
3 PRECAST CONCRETE PAVERS - TYPE 3
SCALE: NTS



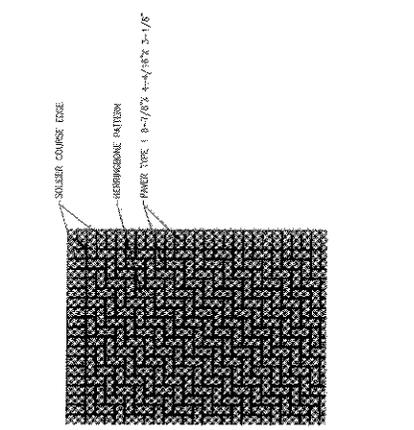
4 HYDRAPRESSED SLABS WITH PEDESTAL SYSTEM - TYPE 4
SCALE: NTS



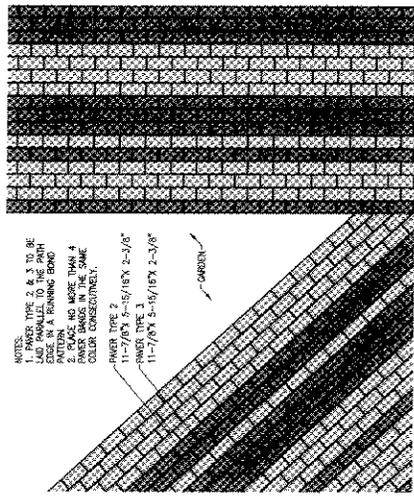
6 RIVER ROCK PEBBLES ON STRUCTURE, TYP.
SCALE: NTS



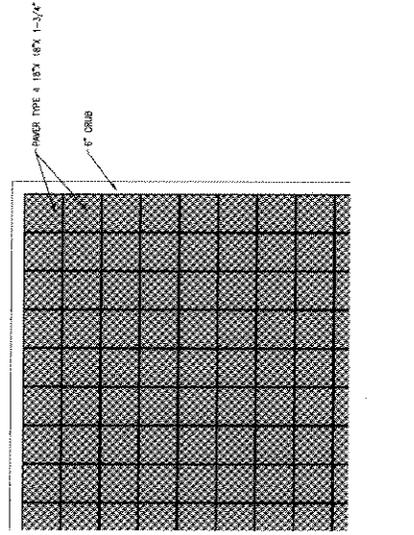
7 EUROFLEX IMPACT PROTECTION SLAB
SCALE: NTS



1 TYPICAL PAVING PATTERN PLAN VIEW - PAVES TYPE 1
SCALE: NTS



2, 3 TYPICAL PAVING PATTERN PAVES PLAN VIEW - TYPE 2 & 3
SCALE: NTS



4 TYPICAL PAVING PATTERN PAVES PLAN VIEW - TYPE 4
SCALE: NTS

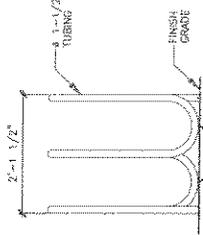
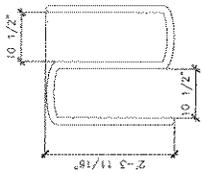
DATE: REVISIONS: BY:

IBI GROUP INC. ARCHITECTS
100-10150 WEST 101ST STREET
VANCOUVER, BC V6W 1G6
TEL: 604.273.1111 FAX: 604.273.1122
www.ibigroup.com

PROJECT TITLE:
BEACH TOWERS
1800 BEACH AVE & 161 HARWOOD ST.
VANCOUVER, BC
SHEET TITLE:
SITE DETAILS

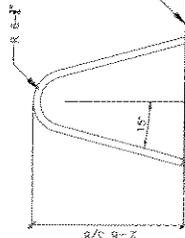
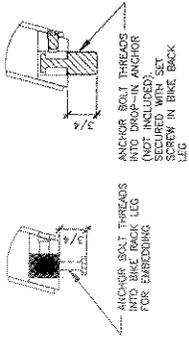
JOB NO.: 10586
DATE: JULY 8, 2014
SCALE: NTS
DRAWN BY: TR
CHECKED BY: CS
REV. NO.: —
NOTE: THE FINISH ELEVATIONS AND DIMENSIONS ARE FOR INFORMATION ONLY.
SHEET NO.: DP-7.202
FILE NUMBER: 1000-1000-0000-0000
SCALE: NTS

Appendix C ; page of 92



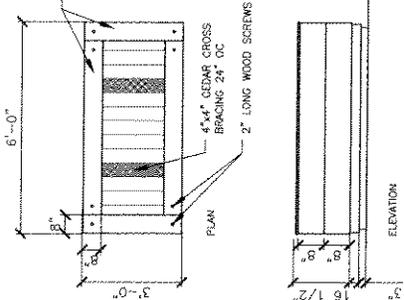
NOTE: RACK TO BE LANDSCAPE FORMS T.O. MODEL.
 2. INSTALL PER MANUFACTURERS INSTRUCTIONS.
 3. (2) ANCHOR BOLTS AND SET SCREWS INCLUDED.

8 FLO BIKE RACK
 SCALE: NTS

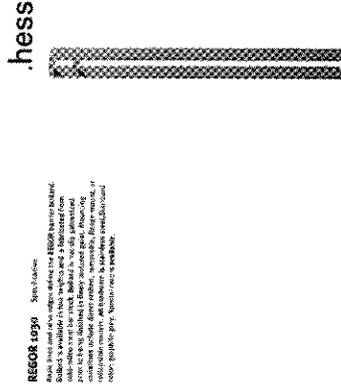


NOTE: RACK TO BE LANDSCAPE FORMS T.O. MODEL.
 2. INSTALL PER MANUFACTURERS INSTRUCTIONS.
 3. (2) ANCHOR BOLTS AND SET SCREWS INCLUDED.

9 RAISED WOOD PLANTER
 SCALE: NTS



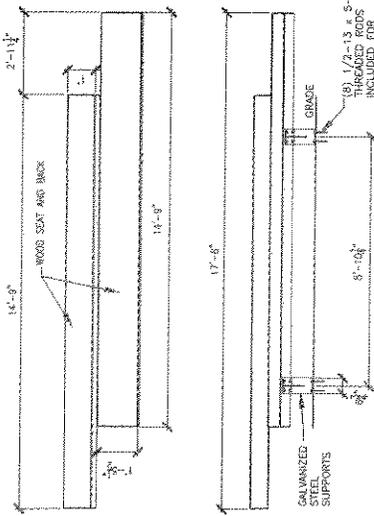
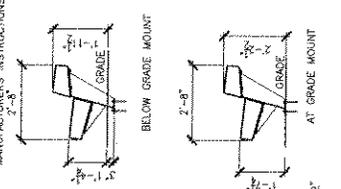
9 RAISED WOOD PLANTER
 SCALE: NTS



REGOR 4930 Sign Holder
 Made from recycled plastic, the REGOR Sign Holder is a durable, weather-resistant sign holder for use in any outdoor setting. The sign holder is made of high quality, recycled plastic and is designed to hold signs up to 18 inches wide and 12 inches high. The sign holder is easy to install and is suitable for use in any outdoor setting. The sign holder is made of high quality, recycled plastic and is designed to hold signs up to 18 inches wide and 12 inches high.

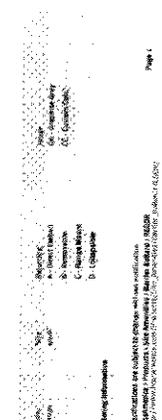
9 RAISED WOOD PLANTER
 SCALE: NTS

NOTE: BENCH TO BE LANDSCAPE FORMS T.O. MODEL.
 2. SURFACE MOUNT; INSTALL PER MANUFACTURERS INSTRUCTIONS.



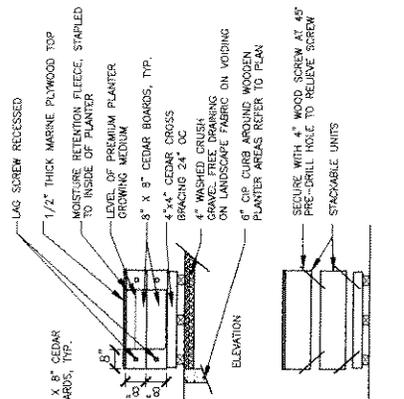
10 TRAPECIO BENCH
 SCALE: NTS

11 HESS REGOR BOLLARD
 SCALE: NTS

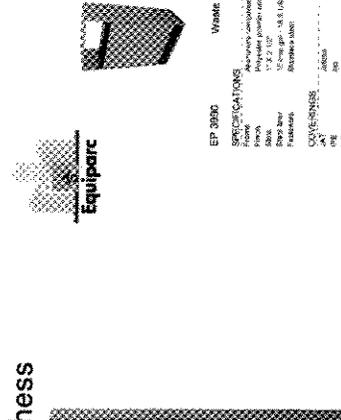


REGOR BOLLARD
 Made from recycled plastic, the REGOR Bollard is a durable, weather-resistant bollard for use in any outdoor setting. The bollard is made of high quality, recycled plastic and is designed to hold signs up to 18 inches wide and 12 inches high. The bollard is easy to install and is suitable for use in any outdoor setting. The bollard is made of high quality, recycled plastic and is designed to hold signs up to 18 inches wide and 12 inches high.

11 HESS REGOR BOLLARD
 SCALE: NTS



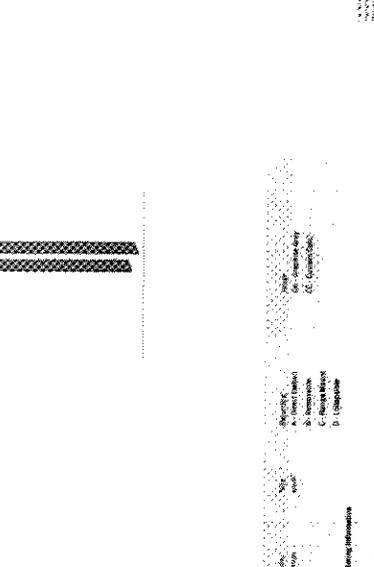
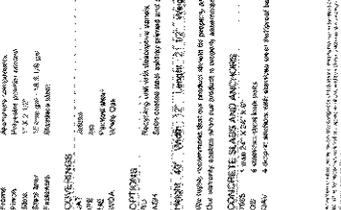
9 RAISED WOOD PLANTER
 SCALE: NTS



REGOR 4930 Sign Holder
 Made from recycled plastic, the REGOR Sign Holder is a durable, weather-resistant sign holder for use in any outdoor setting. The sign holder is made of high quality, recycled plastic and is designed to hold signs up to 18 inches wide and 12 inches high. The sign holder is easy to install and is suitable for use in any outdoor setting. The sign holder is made of high quality, recycled plastic and is designed to hold signs up to 18 inches wide and 12 inches high.

9 RAISED WOOD PLANTER
 SCALE: NTS

NOTE: BENCH TO BE LANDSCAPE FORMS T.O. MODEL.
 2. SURFACE MOUNT; INSTALL PER MANUFACTURERS INSTRUCTIONS.



10 TRAPECIO BENCH
 SCALE: NTS

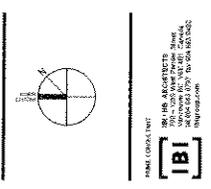
12 EQUIPARC EP3990 TRASH RECEPTACLE
 SCALE: NTS



EQUIPARC EP3990 Trash Receptacle
 Made from recycled plastic, the EQUIPARC EP3990 Trash Receptacle is a durable, weather-resistant trash receptacle for use in any outdoor setting. The receptacle is made of high quality, recycled plastic and is designed to hold trash up to 18 inches wide and 12 inches high. The receptacle is easy to install and is suitable for use in any outdoor setting. The receptacle is made of high quality, recycled plastic and is designed to hold trash up to 18 inches wide and 12 inches high.

9 RAISED WOOD PLANTER
 SCALE: NTS

SCALE: 1/8" = 1'-0"
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PROJECT TITLE: BEACH TOWERS
 1800 BENCH AVE & 1661 HARWOOD ST.
 VANCOUVER, BC
 SHEET TITLE: SITE DETAILS

PROJECT TITLE: BEACH TOWERS
 1800 BENCH AVE & 1661 HARWOOD ST.
 VANCOUVER, BC
 SHEET TITLE: SITE DETAILS

DATE: JULY 1, 2014
 DRAWN BY: TR
 CHECKED BY: CD
 SCALE: NTS
 SHEET NO.: DP-7.203
 TOTAL SHEETS: 10

Appendix : page of 93
 C

SCALE

1. Minimum 1/4" (6mm) thick plywood (3/4" thick preferred)

2. All hardware should be stainless steel or galvanized steel

3. All hardware should be 1/2" (13mm) diameter unless otherwise specified

4. All hardware should be 1/2" (13mm) diameter unless otherwise specified

5. All hardware should be 1/2" (13mm) diameter unless otherwise specified

6. All hardware should be 1/2" (13mm) diameter unless otherwise specified

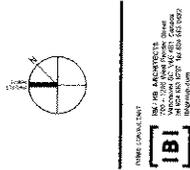
7. All hardware should be 1/2" (13mm) diameter unless otherwise specified

8. All hardware should be 1/2" (13mm) diameter unless otherwise specified

9. All hardware should be 1/2" (13mm) diameter unless otherwise specified

10. All hardware should be 1/2" (13mm) diameter unless otherwise specified

DATE: REVISION: BY:



PROJECT TITLE:
BENCH TOWERS

PROJECT ADDRESS:
180 BEACH AVE & 1867 HAWKWOOD ST.
VANCOUVER, BC

DATE: 2014.08.14

SCALE: NTS

DRAWN BY: TR

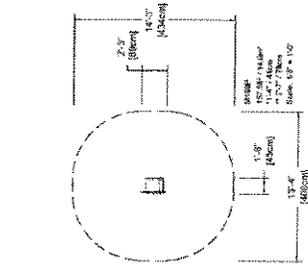
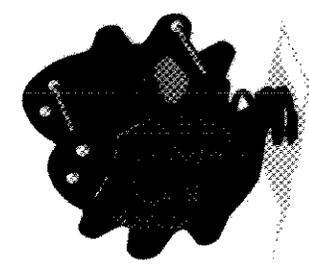
CHECKED BY: CO

NO. NO.:

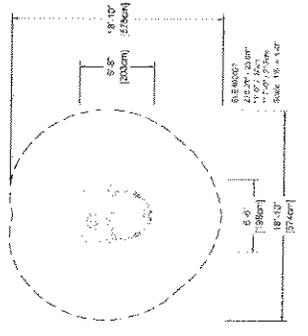
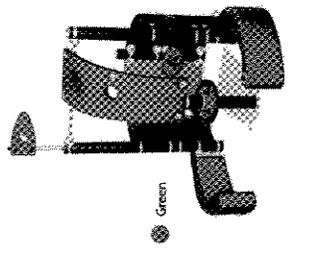
SHEET NO.: DP-7.204

SHEET TITLE: KOMPAN PLAY STRUCTURE: THE SCOUT

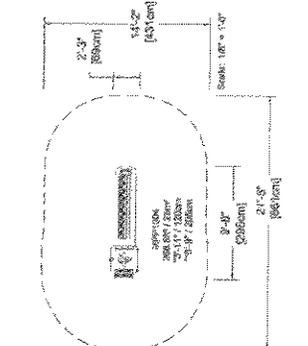
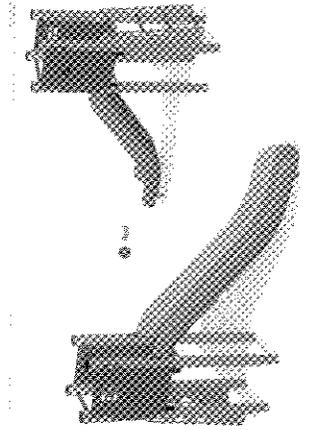
SCALE: NTS



13 KOMPAN PLAY STRUCTURE: LADY BUG SPRINGER
SCALE: NTS



14 KOMPAN PLAY STRUCTURE: THE VOYAGER
SCALE: NTS



15 KOMPAN PLAY STRUCTURE: THE SCOUT
SCALE: NTS

SEAL

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DATE: _____
 REVISIONS: BY _____

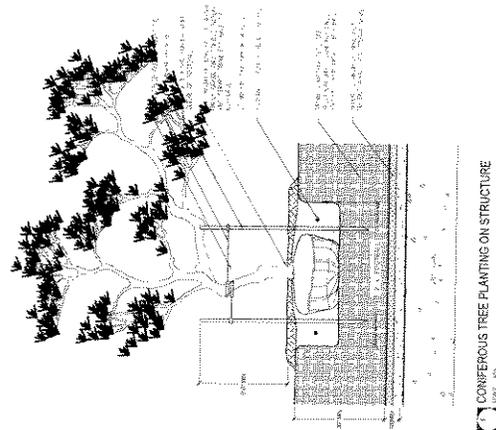
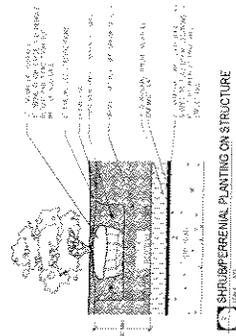
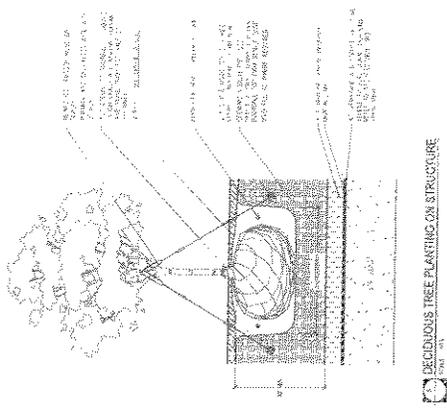
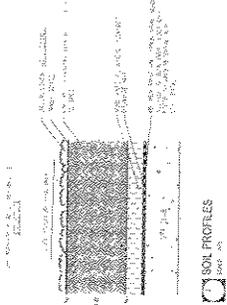
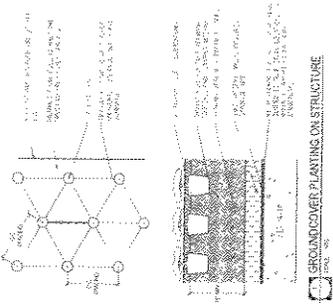
IBI
 PROFESSIONAL CONSULTANT
 1800 BEACH AVE. SUITE 100
 VANCOUVER, BC V6G 1S4
 TEL: 604.273.1800
 FAX: 604.273.1801
 WWW.IBI-CANADA.COM

PROJECT TITLE:
BENCH TOWERS
 1800 BEACH AVE & 1801 HARWOOD ST.
 VANCOUVER, BC

SHEET TITLE:
SITE DETAILS

JOB NO.: 2009
 DATE: JAN 2, 2014
 SCALE: N/A
 DRAWN BY:
 CHECKED BY: CD
 REV. NO.: -

SHEET NO.: **DP 7.205**
 PROJECT NO.:
 DRAWING NO.:
 SHEET NO.:
 SHEET NO.:



PLANT LIST LV1.1

Trees

QTY.	MIN. SIZE	SPACING	COMMENTS
3	7'-0" multi-stem		
4	6cm cal		
12	6cm cal		
12	6cm cal		
5	6cm cal		
TBD	6cm cal		
6	4cm cal		
36	6cm cal		

Shrubs

SHRUBS / GRASSES / PERENNIALS	QTY.	MIN. SIZE	SPACING	COMMENTS
AA <i>Artemisia tridentata</i> / Sandcherry	3	7'-0" multi-stem		
BB <i>Cornus Florida</i> / Dogwood	4	6cm cal		
CC <i>Cornus Florida</i> / Dogwood	12	6cm cal		
DD <i>Cornus Florida</i> / Dogwood	12	6cm cal		
EE <i>Cornus Florida</i> / Dogwood	5	6cm cal		
FF <i>Prunus pennsylvanica</i> / Black Cherry	TBD	6cm cal		
GG <i>Prunus pennsylvanica</i> / Black Cherry	6	4cm cal		
HH <i>Prunus pennsylvanica</i> / Black Cherry	36	6cm cal		

Butterfly Gardens

SHRUBS / GRASSES / PERENNIALS	QTY.	MIN. SIZE	SPACING	COMMENTS
AI <i>Azalea japonica</i> / Eleanora	57	#3 Pot	24" OC	Pink only
AJ <i>Crocosmia</i> / Yellow Bell	120	#3 Pot	24" OC	
AK <i>Fuchsia</i> / Fuchsia	500	#2 Pot	24" OC	
AL <i>Lavandula</i> / Lavender	40	#1 Pot	24" OC	
AM <i>Liriodendron</i> / Yellow Pencil	1,200	#1 Pot	14" OC	
AN <i>Miscanthus sinensis</i> / Morning Glory	60	#3 Pot	30" OC	
AO <i>Nepeta</i> / Catnip	30	#1 Pot	30" OC	
AP <i>Physalis peruviana</i> / Swoosh Fern	20	#1 Pot	30" OC	
AQ <i>Rosa</i> / Flower Carpet	72	#10 Pot	30" OC	
AR <i>Rhododendron</i>	120	#10 Pot	30" OC	
AS <i>Taxus</i> / Holly	218	3'-0" Tall	30" OC	

CLIMBING VINES

CLIMBING VINES	QTY.	MIN. SIZE	SPACING	COMMENTS
AT <i>Clematis</i> / Clematis	4	#3 Pot		
AU <i>Clematis</i> / Clematis	6	#3 Pot		
AV <i>Parthenocissus vitacea</i> / Boston Ivy	11	#1 Pot		

PLANT LIST LV1.1

Trees

QTY.	MIN. SIZE	SPACING	COMMENTS
5	6cm cal		
16	10cm cal		

Shrubs

SHRUBS / GRASSES / PERENNIALS	QTY.	MIN. SIZE	SPACING	COMMENTS
AZ <i>Azalea japonica</i> / Eleanora	87	#3 Pot	24" OC	
BA <i>Berberis thunbergii</i> / Japanese Barberry	45	#3 POT	38" OC	
BB <i>Berberis thunbergii</i> / Japanese Barberry	xx	#2 Pot	30" OC	
BC <i>Rosa rugosa</i> / Rugosa Rose	xx	3'-0" Tall	24" OC	
BD <i>Taxus</i> / Holly	xx	3'-0" Tall	24" OC	

Rain Gardens

SHRUBS / GRASSES / PERENNIALS	QTY.	MIN. SIZE	SPACING	COMMENTS
BE <i>Carex</i> / Carex	150	15cm Pot	18" OC	
BF <i>Carex</i> / Carex	150	15cm Pot	18" OC	
BG <i>Carex</i> / Carex	150	15cm Pot	18" OC	

CLIMBING VINES

CLIMBING VINES	QTY.	MIN. SIZE	SPACING	COMMENTS
BH <i>Clematis</i> / Clematis	4	#3 Pot		
BI <i>Clematis</i> / Clematis	6	#3 Pot		
BJ <i>Parthenocissus vitacea</i> / Boston Ivy	11	#1 Pot		

Rain Gardens

SHRUBS / GRASSES / PERENNIALS	QTY.	MIN. SIZE	SPACING	COMMENTS
CK <i>Carex</i> / Carex	150	15cm Pot	18" OC	
CL <i>Carex</i> / Carex	150	15cm Pot	18" OC	
CM <i>Carex</i> / Carex	150	15cm Pot	18" OC	

CLIMBING VINES

CLIMBING VINES	QTY.	MIN. SIZE	SPACING	COMMENTS
CN <i>Clematis</i> / Clematis	4	#3 Pot		
CO <i>Clematis</i> / Clematis	6	#3 Pot		
CP <i>Parthenocissus vitacea</i> / Boston Ivy	11	#1 Pot		

PLANT LIST LV1.1

Trees

QTY.	MIN. SIZE	SPACING	COMMENTS
5	6cm cal		
16	10cm cal		

Shrubs

SHRUBS / GRASSES / PERENNIALS	QTY.	MIN. SIZE	SPACING	COMMENTS
CA <i>Azalea japonica</i> / Eleanora	87	#3 Pot	24" OC	
CB <i>Berberis thunbergii</i> / Japanese Barberry	45	#3 POT	38" OC	
CC <i>Berberis thunbergii</i> / Japanese Barberry	xx	#2 Pot	30" OC	
CD <i>Rosa rugosa</i> / Rugosa Rose	xx	3'-0" Tall	24" OC	
CE <i>Taxus</i> / Holly	xx	3'-0" Tall	24" OC	

Rain Gardens

SHRUBS / GRASSES / PERENNIALS	QTY.	MIN. SIZE	SPACING	COMMENTS
CF <i>Carex</i> / Carex	150	15cm Pot	18" OC	
CG <i>Carex</i> / Carex	150	15cm Pot	18" OC	
CH <i>Carex</i> / Carex	150	15cm Pot	18" OC	

CLIMBING VINES

CLIMBING VINES	QTY.	MIN. SIZE	SPACING	COMMENTS
CI <i>Clematis</i> / Clematis	4	#3 Pot		
CJ <i>Clematis</i> / Clematis	6	#3 Pot		
CK <i>Parthenocissus vitacea</i> / Boston Ivy	11	#1 Pot		

Rain Gardens

SHRUBS / GRASSES / PERENNIALS	QTY.	MIN. SIZE	SPACING	COMMENTS
CL <i>Carex</i> / Carex	150	15cm Pot	18" OC	
CM <i>Carex</i> / Carex	150	15cm Pot	18" OC	
CN <i>Carex</i> / Carex	150	15cm Pot	18" OC	

CLIMBING VINES

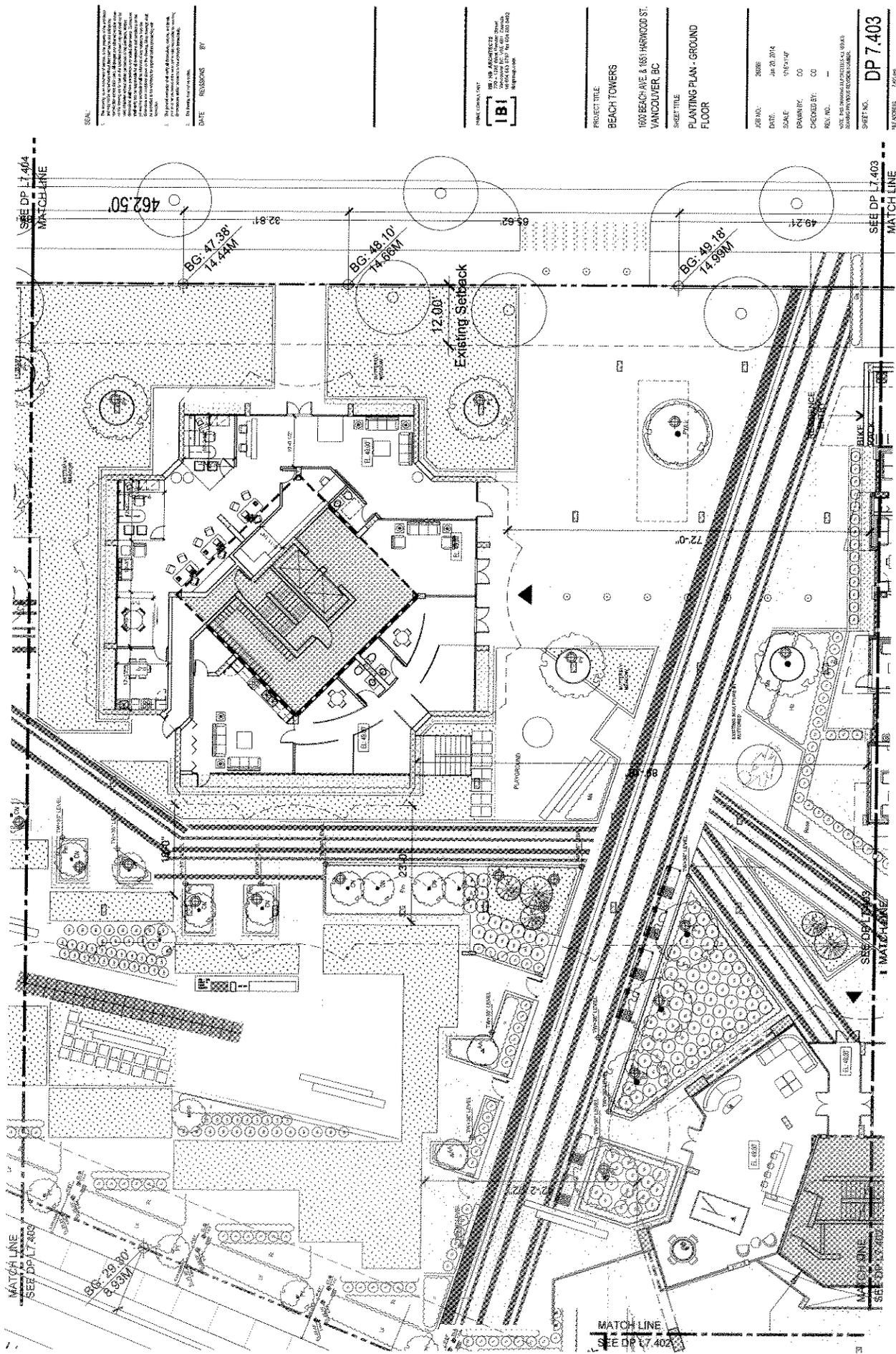
CLIMBING VINES	QTY.	MIN. SIZE	SPACING	COMMENTS
CO <i>Clematis</i> / Clematis	4	#3 Pot		
CP <i>Clematis</i> / Clematis	6	#3 Pot		
CQ <i>Parthenocissus vitacea</i> / Boston Ivy	11	#1 Pot		

IBI
 1000 WEST 10TH AVENUE
 VANCOUVER, BC
 V6H 1T6
 TEL: 604.273.8888
 FAX: 604.273.8889
 WWW.IBI-CANADA.COM

PROJECT TITLE
 BEACH TOWERS
 1800 BEACH AVENUE, 1801 HARRWOOD ST.
 VANCOUVER, BC
 SHEET TITLE
 PLANTING LIST

DATE: JUN 22, 2014
 SCALE: 1/8" = 1'-0"
 DRAWN BY: CD
 CHECKED BY: CD
 REV. NO.: --
 SHEET NO.: DP 7.400
 PERCENT COMPLETE: 100%

APPENDIX C ; page 96



SEAL

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DATE: 08/15/2018 BY: [Signature]

IBI GROUP INC.

1000 WEST 10TH AVENUE, SUITE 1000
 VANCOUVER, BC V6H 3G9
 TEL: 604.681.1111
 WWW.IBIGROUP.COM

PROJECT TITLE:
 BEACH TOWERS
 1800 BEACH AVE & 1801 HARWOOD ST.
 VANCOUVER, BC

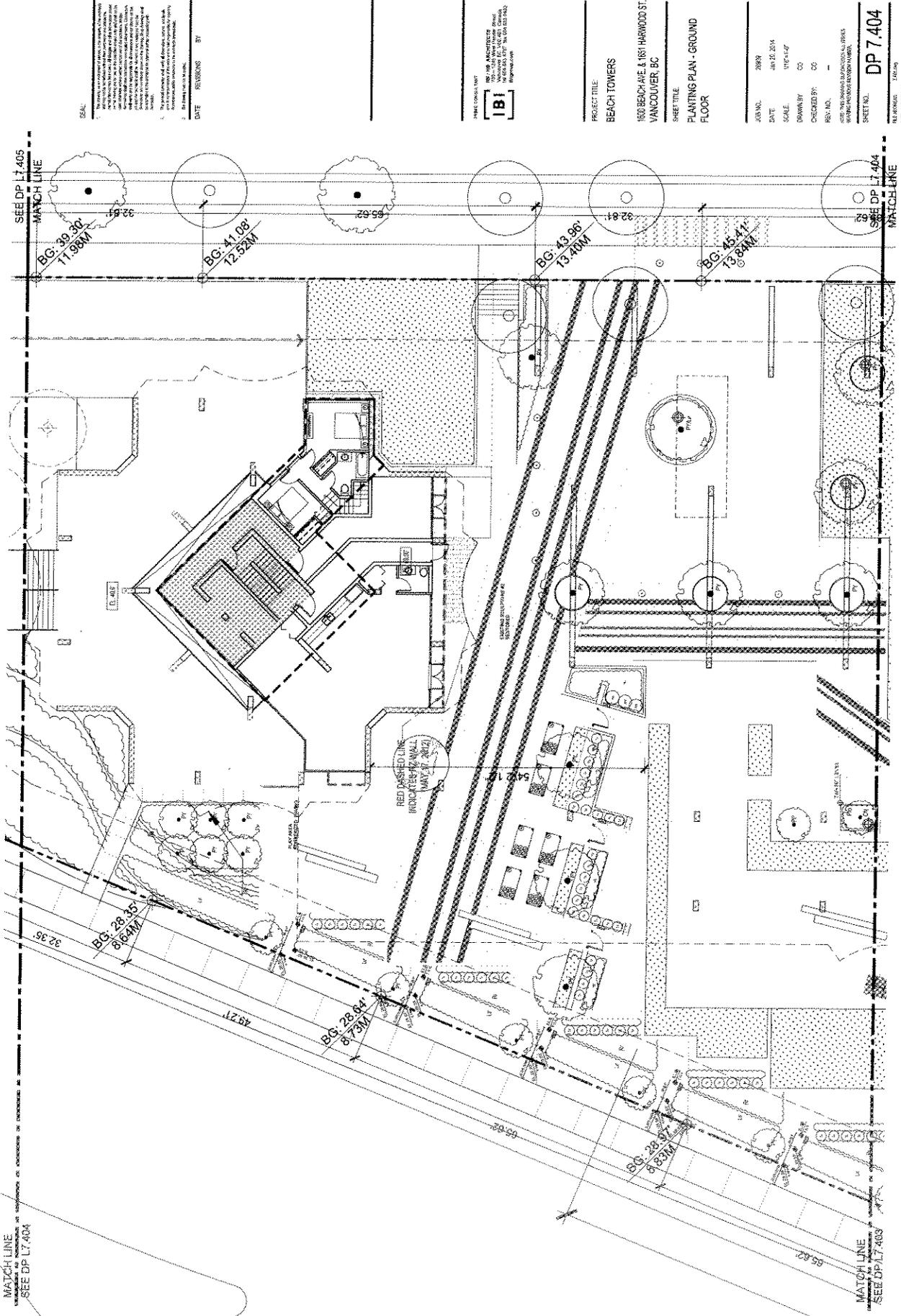
SHEET TITLE:
 PLANTING PLAN - GROUND
 FLOOR

JOB NO.: 2388R
 DATE: JAN 20, 2014
 SCALE: 1/8" = 1'-0"
 DRAWN BY: CO
 CHECKED BY: CO
 REV. NO.: --

DATE: 08/15/2018 BY: [Signature]

SHEET NO.: DP 7.403

Appendix C ; page 99 of 100



1. The contractor shall verify all dimensions, notes, and details shown on this drawing against the field conditions. If any discrepancy is found, the contractor shall immediately notify the architect in writing. The architect shall be notified in writing within 14 days of the date of discovery of the discrepancy. If the contractor fails to notify the architect within this time frame, the contractor shall be deemed to have accepted the dimensions, notes, and details shown on this drawing as correct.

2. The contractor shall be responsible for obtaining all necessary permits and approvals for the construction of the project. The contractor shall be responsible for obtaining all necessary insurance and bonding for the project.

DATE: 08/15/2014
 BY: [Signature]

PROJECT TITLE:
 BEACH TOWERS
 1830 BEACH AVE & 1811 HARWOOD ST.
 VANCOUVER, BC

SHEET TITLE:
 PLANTING PLAN - GROUND
 FLOOR

JOB NO.: 2088
 DATE: JUN 22, 2014
 SCALE: 1/4" = 1'-0"
 DRAWN BY: CC
 CHECKED BY: CC
 REV. NO.: -

SHEET NO.: DP 7.404
 OF 10 SHEETS

Appendix C ; page 100

LINE L7.408



DATE REVISIONS BY

PROJECT TITLE
 BEACH TOWERS
 1800 BEACH AVE. & 1861 HARWOOD ST.
 VANCOUVER, BC

SHEET TITLE
 PLANTING PLAN - PARKING
 LEVEL 2

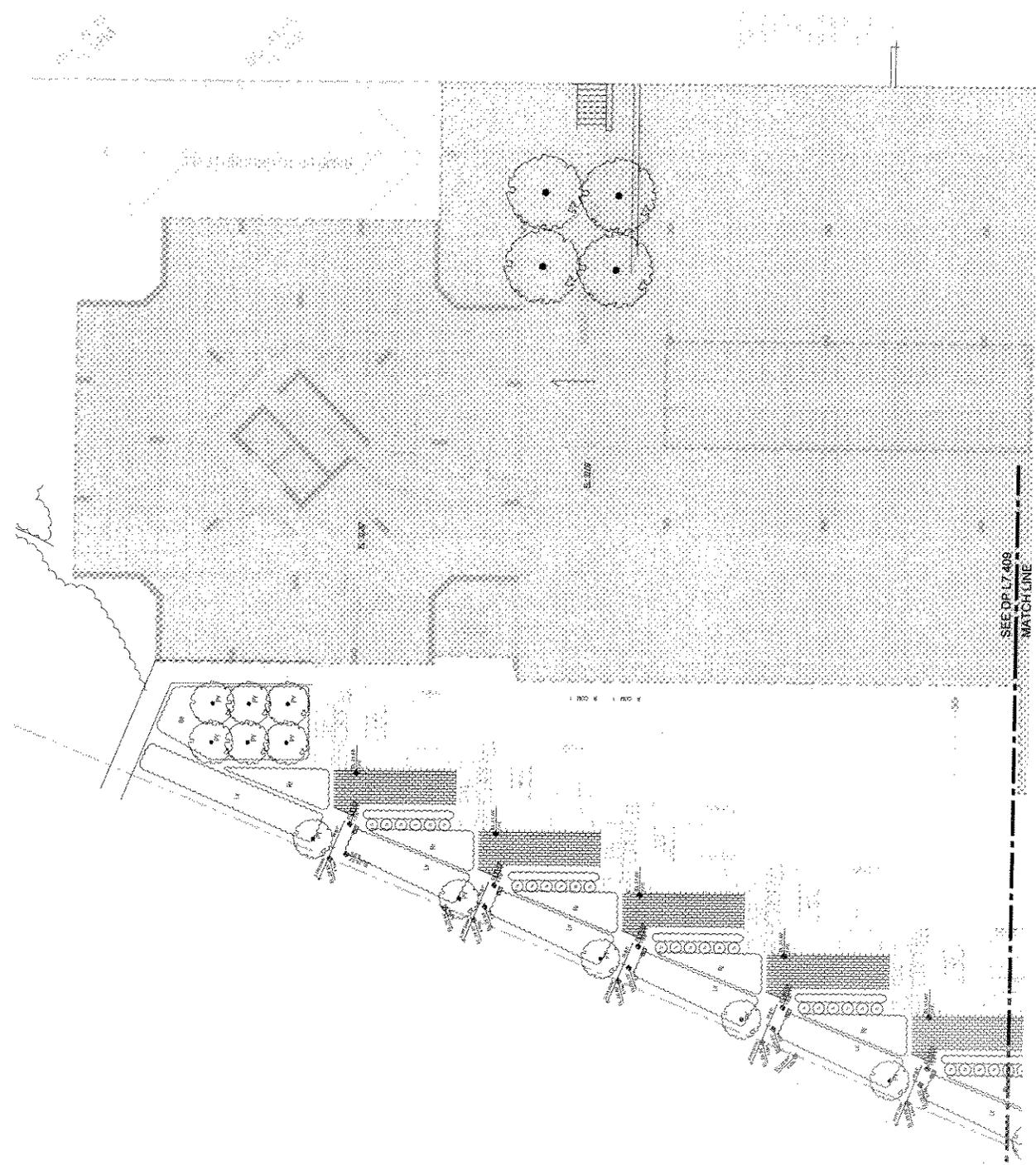
JOB NO. 2006
 DATE JAN 27, 2014
 SCALE 1/8"=1'-0"
 DRAWN BY CD
 CHECKED BY CD
 REV. NO. -

FOR THE ARCHITECTS
 IBI GROUP
 1000 WEST 10TH AVENUE
 VANCOUVER, BC V6H 3G8
 TEL: 604.681.2100
 WWW.IBIGROUP.COM

FOR THE ENGINEER
 1800 BEACH AVE. & 1861 HARWOOD ST.
 VANCOUVER, BC

DATE REVISIONS BY

Appendix C ; page of 164



SCALE:

The overall dimensions of sheets, plots, drawings, and other documents shall be in accordance with the standards of the American Institute of Architects (AIA) and the International Standards Organization (ISO). The designer shall ensure that all drawings are legible and that all dimensions are clearly indicated. The designer shall also ensure that all drawings are in accordance with the standards of the American Institute of Architects (AIA) and the International Standards Organization (ISO).

1. All drawings shall be in accordance with the standards of the American Institute of Architects (AIA) and the International Standards Organization (ISO).
 2. All drawings shall be in accordance with the standards of the American Institute of Architects (AIA) and the International Standards Organization (ISO).
 3. All drawings shall be in accordance with the standards of the American Institute of Architects (AIA) and the International Standards Organization (ISO).

DATE REVISIONS BY

IBI

IBI GROUP ARCHITECTS
 180 BEACH AVE. #101
 VANCOUVER, BC V6G 2S1
 TEL: 604 681 1800
 WWW.IBI-ARCHITECTS.COM

PROJECT TITLE:

BEACH TOWERS
 180 BEACH AVE. #101 HARRISWOOD ST.
 VANCOUVER, BC

SHEET TITLE:

PLANTING PLAN - PARKING
 LEVEL 2

ADDRESS: 2689
 DATE: JUN 13, 2014
 SCALE: 1/8"=1'-0"
 DRAWN BY: CD
 CHECKED BY: CD
 REV. NO.: --

SEE THE DRAWING PARTS FOR ALL NOTES
 AND DIMENSIONS PERTAINING TO THIS SHEET.

SHEET NO. **DP 7.409**

DATE PLOTTED: 3:42 PM
 PLOTTER MODEL:

3. Address:	1600 Harwood Street
DE:	418164
Description:	To construct infill rental housing adjacent to existing towers plus amenity space containing a total of 118 dwelling units.
Zoning:	CD-1
Application Status:	Development Application
Review:	Second (First as Development Application)
Architect:	IBI Group
Owner:	Beach Towers Investments Inc.
Delegation:	Martin Bruckner, IBI Group Salim Narayana, IBI Group Cameron Owen, IBI Group
Staff:	Patrick O'Sullivan

EVALUATION: NON-SUPPORT (3-4)

- **Introduction:** Patrick O'Sullivan, Development Planner, introduced a proposal for a development permit following rezoning. He mentioned that the CD-1 has been enacted for the site and that the density, height and form of development are now part of the new CD-1. Mr. O'Sullivan described the Policy and mentioned that the application came in under the interim Rezoning Policy as part of the West End Community Planning process. As well the proposal is being developed under the STIR program which encourages the building of secured market rental housing. Mr. O'Sullivan described the context for the area noting the mix of mainly concrete residential rental buildings and Alexandra Park to the north. In describing the site, Mr. O'Sullivan mentioned that the existing towers were identified in the City of Vancouver's recent Landmark Inventory in the "A" category as a cultural landscape and for architectural design. The applicant has provided a Statement of Significance for the existing towers as part of the Rezoning. As well at Rezoning the site was reviewed and supported by the Vancouver Heritage Commission. Built in the 1960's, the site is among Vancouver's best known and iconic rental housing complexes with 607 rental units. The existing towers range from 19 to 21 storeys. While the application is not seeking any heritage benefits, staff and the applicant are working together to have the site added to the Heritage Register.

Mr. O'Sullivan described the proposal and mentioned that it will have 118 secured market rental units. The proposal is for a 4-storey ground-oriented building fronting Beach Avenue with a 9-storey mid-rise building, 1-storey amenity building that is partially below grade (with fitness centre and pool) and enclosure of the base of the existing towers.

Advice from the Panel on this application is sought on the following:

- Comments on the success of the proposal's composition, materials and expression:
 - Generally, and how it relates to the historic context;
 - In particular, the expression of the Beach Avenue frontage.
- Comments on your level of support for the requested height relaxation on Beach Avenue frontage building.
- Comments on the livability of the residential units in general and 1651 Harwood Townhouse Unit 04 in particular.
- Comments on the overall landscape design as proposed in terms of daylight exposure, choice of materials and plant selection.

Mr. O'Sullivan took questions from the Panel.

- **Applicant's Introductory Comments:** Martin Bruckner, Architect, further described the proposal and mentioned that they have gone through an extensive process with both city staff and the community. The mid-rise is 9-storeys and relates to the adjacent building and is landscaped around the edges. He noted that each of the three existing underground parking levels had their own entrance and so they are planning to take one out. They are retaining the crossing but the upper level parking will be removed. Mr. Bruckner described the material palette noting the window wall construction with spandrel glass and concrete balconies and slab edges. They are using prefabricated stone tile panels to give a distinctive look. The amenity space will probably be the first to get built to replace the existing pool and along with an amenity room. There is a small pocket park at the corner. The townhouse expression along Beach Avenue will replicate the current saw-tooth form of the existing parking structure. The balconies and slabs are a lighter concrete to contrast with the existing materials. The spandrels will be polished precast panels with windows built in and some are gold anodized. The ground floor townhouses are set back with individual access. The roof of the townhouses will have access by stair and elevator and will be landscaped a space for the residents.

Cameron Owen, Landscape Architect, described the landscaping plans and noted the pocket park on the corner of Beach Avenue and Cardero Street. They will be using pavers and providing seating benches. He described the planting and mentioned that they are trying to have a look of a seaside meadow which will also include cherry trees. The townhouses will have a private patio that is separated by a green hedge. There are two main access points that provide view corridors through the site that will have seating at the edges. Urban agriculture is also planned for the area. Children's play has been moved closer to the indoor amenity space. Mr. Owen mentioned that there is better circulation through the site that has been reinforced with plantings. Along Cardero Street is a berm with plantings to give a west coast expression. Most of the new buildings will have extensive green roofs.

The applicant team took questions from the Panel.

- **Panel's Consensus on Key Aspects Needing Improvement:**
 - Design development to improve the legibility of the entrances;
 - Design development to improve the expression of the mid-rise building;
 - Consider access through the site to Beach Avenue;
 - Design development to improve the amenity space and especially the park on the corner;
 - Design development to the auto court cul-de-sac;
 - Consider planting larger trees along Beach Avenue to reduce solar gain.
- **Related Commentary:** The Panel did not support the proposal.

The Panel said they appreciated the effort by the applicant to improve the views in the new building along Beach Avenue. They had no issue with the height relaxation for the guards on the lower level roof deck, and liked the treatment of the ground plane and how the landscaping had been handled to enhance legibility. One Panel member, however wanted to see better legibility of the building entrances. Most of the Panel supported the material and colour palette.

Some Panel members thought the mid-rise elevation was more successful in earlier plans and thought it should not retain the grades of the old parkade but rather should come down to ground at the parkade entrance to improve the grading condition relative to the context. As well one Panel member thought that the blue glass was too dark.

The Panel noted that there are some strong diagonals out to the views but dead ends with no access to the street or the beach which they found frustrating. They also wanted to see the paving patterns reinforce the cherry trees as they felt that they were a strong feature of the site.

The Panel thought the two corner treatments along Beach Avenue at the amenity building required some design development to make them more useable. They wanted to see an area that would welcome people to sit and enjoy the street. As well they thought the amenity space was rather remote and not in the most appropriate location on the site.

The Panel thought the auto court cul-de-sac was inappropriate in the context of the space and that it should be a much greener landscaped environment.

Some Panel members mentioned that since the public art has been moved into the centre of the site it can no longer be considered public art. One Panel member noted that public art should be reviewed in terms of what it can give back to the public.

From a sustainability perspective, it was suggested that larger trees be planted on Beach Avenue to provide reduction of solar gain in the summer but still allow views through to the beach in the winter. Solar shading elements could be added on the southwest facade of the mid-rise tower.

- **Applicant's Response:** Mr. Bruckner said he appreciated the Panel's input as it will help to make a better project. He said they are working on the public art requirement for the site and will be located in a public area such as the westerly corner on the Beach Avenue frontage. He added that they didn't intend to have dark glass on the mid-rise but will be low-e glass that is pretty transparent.

4. Address:	1625 Harwood Street
DE:	418163
Description:	to construct infill rental housing consisting of four townhouse buildings containing a total of 15 dwelling units.
Zoning:	CD-1
Application Status:	Development Application
Review:	Second (First as Development Application)
Architect:	IBI Group
Owner:	Beach Towers Investments Inc.
Delegation:	Martin Bruckner, IBI Group Salim Narayana, IBI Group Cameron Owen, IBI Group
Staff:	Patrick O'Sullivan

EVALUATION: NON-SUPPORT (3-4)

- **Introduction:** Patrick O'Sullivan, Development Planner, introduced a proposal for a development permit following rezoning. He mentioned that the CD-1 has been enacted for the site and that the density, height and form of development are now part of the new CD-1. Mr. O'Sullivan described the Policy and mentioned that the application came in under the interim Rezoning Policy as part of the West End Community Planning process. As well the proposal is being developed under the STIR program which encourages the building of secured market rental housing. Mr. O'Sullivan described the context for the area noting the mix of mainly concrete residential rental buildings and Alexandra Park to the north. In describing the site, Mr. O'Sullivan mentioned that the existing towers were identified in the City of Vancouver's recent Landmark Inventory in the "A" category as a cultural landscape and for architectural design. The applicant has provided a Statement of Significance for the existing towers as part of the Rezoning. As well at Rezoning the site was reviewed and supported by the Vancouver Heritage Commission. Built in the 1960's, the site is among Vancouver's best known and iconic rental housing complexes with 607 rental units. The existing towers range from 19 to 21 storeys. While the application is not seeking any heritage benefits, staff and the applicant are working together to have the site added to the Heritage Register.

Mr. O'Sullivan described the proposal and mentioned that it is for a modest addition of two and 3-storey townhouses located to the sides and rear of the tower with 15 secured market rental units.

Advice from the Panel on this application is sought on the following:

- Comments on the success of the proposal's composition, materials and expression:
 - Generally, and how it relates to the historic context;
 - In particular, the expression of the Beach Avenue frontage.
- Comments on your level of support for the requested height relaxation on Beach Avenue frontage building.
- Comments on the livability of the residential units in general and 1651 Harwood Townhouse Unit 04 in particular.
- Comments on the overall landscape design as proposed in terms of daylight exposure, choice of materials and plant selection.

Mr. O'Sullivan took questions from the Panel.

- **Applicant's Introductory Comments:** Martin Bruckner, Architect, mentioned that the infill opportunities are less on this site. It is a mid-block site and will have 3-storey townhouses

flanking the existing building with a courtyard to provide outdoor space for the residents. He added that they will be building a new central heating plant on this site that will heat the entire site.

Cameron Owen, Landscape Architect, described the landscaping plans and mentioned that there will be a gate out on the street to access the townhouses for privacy. In the back there will be patios with gates and there is a wall across the lane with a hedge. The existing trees will be retained and as well extensive green roofs are planned.

- **Panel's Consensus on Key Aspects Needing Improvement:**
 - Design development to improve the expression of the buildings around the tower;
 - Design development to improve the integration between Parcel A and B;
 - Design development to improve the courtyard.
- **Related Commentary:** The Panel did not support the proposal.

The Panel thought the integration of the townhouses at the base of the tower was not successful. They particularly did not like the way the two smaller buildings related to the tower and noted that the buildings are of a different architectural typology than the tower. One Panel member suggested the buildings might want to reflect the original architecture. They however did agree that the livability of the units was adequate and had no concerns with the 04 unit.

The Panel thought that activating the lane was a good idea but thought there could be better integration between Parcel A and B with a more positive linkage between the two.

A couple of Panel members mentioned that the built-up planters in the courtyard make the area unlivable. The courtyard should be opened up and the intrusiveness of barriers reduced.

- **Applicant's Response:** Mr. Bruckner said he appreciated the Panel's input as it will help to make a better project. He said they are working on the public art requirement for the site and will be located in a public area such as the westerly corner on the Beach Avenue frontage. He added that they didn't intend to have dark glass on the mid-rise but will be low-e glass that is pretty transparent.

Adjournment

There being no further business the meeting adjourned at 7:35 p.m.



VANCOUVER HERITAGE COMMISSION

MINUTES

September 29, 2014

A meeting of the Vancouver Heritage Commission was held on Monday, September 29, 2014, at 11:03 am, in the Town Hall Meeting Room, Main Floor, Vancouver City Hall.

- PRESENT:** Richard Keate, Chair
Terry Brunette
Michael Kluckner
Joel Massey
Mollie Massie
Anthony Norfolk
Jenny Sandy
Jon Stovell*
- ABSENT:** David Cuan, Leave of Absence
Lihua Livia Huang, Leave of Absence
Kim Maust, Vice-Chair, Leave of Absence
- ALSO PRESENT:** Councillor Heather Deal, Council Liaison
John Coupar, Parks Board Liaison
Marco D'Agostini, Senior Heritage Planner, Staff Liaison
- CITY CLERK'S OFFICE:** Bonnie Kennett, Meeting Coordinator

* Denotes absence for a portion of the meeting.

Leave of Absence Requests

MOVED by Commissioner Sandy
SECONDED by Commissioner Kluckner

THAT the Vancouver Heritage Commission approve leaves of absence for Commissioners Cuan, Huang and Maust for this meeting.

CARRIED UNANIMOUSLY

MOVED by Commissioner Norfolk
SECONDED by Commissioner Kluckner

THAT the Vancouver Heritage Commission approve leaves of absence for Commissioners Keate, Massie and Sandy for the meeting to be held on November 17, 2014.

CARRIED UNANIMOUSLY

Approval of Minutes

MOVED by Commissioner Norfolk
SECONDED by Commissioner Sandy

THAT the Vancouver Heritage Commission approve the minutes from the meeting held July 28, 2014, as circulated.

CARRIED UNANIMOUSLY

1. Business Arising from the Minutes

None.

2. Conservation Review

(a) 1600 Beach Avenue /1625 Harwood Street (Beach Towers)

Issues:

- (i) are the proposed new buildings visually compatible with, subordinate to and distinguishable from the heritage resources?
- (ii) does the proposed infill at the base of the existing towers respond to the Heritage Commission's motion of February 2012?

Applicants: Martin Bruckner, Architect, IBI/HB Architects
Zev Shafran, Owner
Robert Lemon, Heritage Consultant
Cameron Owen, Landscape Architect

Staff: Marco D'Agostini, Senior Heritage Planner

Staff and the applicant reviewed the application and responded to questions.

MOVED by Commissioner Stovell
SECONDED by Commissioner Massie

THAT the Vancouver Heritage Commission supports the modern infill additions to the Douglas House, MacDonald House, Laurier House and Columbia House, located at 1600 Beach Avenue and 1651 Harwood Street, Beach Towers, as presented at the September 29, 2014, meeting.

CARRIED
(Commissioners Brunette and Keate opposed)

MOVED by Commissioner Sandy
SECONDED by Commissioner Stovell

THAT the Vancouver Heritage Commission requests there be a minimum depth of the curtain wall frame at the base or glass fence.

CARRIED UNANIMOUSLY

MOVED by Commissioner Sandy
SECONDED by Commissioner Stovell

THAT the Vancouver Heritage Commission requests no window coverings be used on the tower bases that would obscure their transparency.

CARRIED UNANIMOUSLY

(b) 826 East Georgia Street - Thomas & Jessie Crawford House

Issues:

- (i) Conservation Plan
- (ii) Compatibility of modest changes to the exterior, including the recessed entry to the lower level suite at the front

Applicants: Mike Lemon, Birmingham & Wood Architects
Elana Zysblat, Heritage Consultant

Staff: Hugh McLean, Heritage Group

Staff and the applicant reviewed the application and responded to questions.

MOVED by Commissioner Kluckner
SECONDED by Commissioner Norfolk

THAT the Vancouver Heritage Commission supports the Development Permit Application at 826 East Georgia Street, Thomas & Jessie Crawford House, as presented at the September 29, 2014, meeting and requests that further design development be given to the basement suite entry area to make it more balanced to the rest of the house.

CARRIED UNANIMOUSLY

* * * * *

The Commission recessed at 12:23 pm and reconvened at 12:33 pm.

* * * * *