CITY OF VANCOUVER

COMMUNITY SERVICES GROUP

DEVELOPMENT PERMIT STAFF COMMITTEE REPORT
DECEMBER 17, 2014

FOR THE DEVELOPMENT PERMIT BOARD
JANUARY 12, 2015

1625 HARWOOD STREET (COMPLETE APPLICATION)
DE418163 - ZONE CD-1

PO'S/BM/WL/LH

DEVELOPMENT PERMIT STAFF COMMITTEE MEMBERS

Present:
J. Greer (Chair), Development Services
M. Holm, Engineering Services
D. Naundorf, Social Infrastructure

Also Present:
P. O'Sullivan, Urban Design and Development Planning
B. Balantzyan, Development Services
W. LeBreton, Development Services

APPLICANT:
IBI/HB Architects
Attention: Salim Narayanan
700-1285 West Pender Street
Vancouver, BC
V6E 4B1

PROPERTY OWNER:
Devonshire Properties Inc.
#300-1333 Johnston Street
Pier 32, Granville Island
Vancouver, BC
V6H 3R9

EXECUTIVE SUMMARY

- **Proposal:** To develop this site with a multiple dwelling infill rental buildings adjacent to the existing tower. The proposal consists of a total of 15 dwelling units within two three-storey buildings fronting Harwood Street, two two-storey buildings along the lane, and infill at the base of the existing tower.

See Appendix A Standard Conditions
Appendix B Standard Notes and Conditions of Development Permit
Appendix C Plans and Elevations
Appendix D Urban Design Panel Minutes - September 24, 2014
Appendix E Vancouver Heritage Commission Minutes - September 29, 2014

- **Issues:**
  1. Daylight access to unit TH04

- Urban Design Panel: Support

DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATION: APPROVE

THAT the Board APPROVE Development Application No. DE418163 submitted, the plans and information forming a part thereof, thereby permitting the development of multiple infill rental buildings consisting of 15 rental units in two three-storey buildings fronting Harwood Street, two two-storey buildings along the lane, and infill at the base of the existing tower, subject to Council's approval of the Form of Development, subject to the following conditions:

1.0 Prior to the issuance of the development permit, revised drawings (sealed and signed) and information shall be submitted to the satisfaction of the Director of Planning, clearly indicating:

1.1 design development to improve the livability of the two townhouse units, TH03 and TH02, at the base of the Columbus Tower;

Note to Applicant: The living spaces of both units are largely exposed to view from the tower's entry. Design development is required to improve privacy and to provide a private outdoor space for each.

1.2 design development to improve the quality of the courtyard space;

Note to Applicant: the proposed courtyard walkway is a narrow, depressed, straight-run path bound by concrete planters. Design development is required to effectively widen and soften the principal walkway of the courtyard. Consider reducing the depth of private decks to provide additional space to terrace the walkway edges with planting or raise the walkway itself. Also consider varying the route of the path to add dimension to the courtyard.

1.3 design development to comply with the Horizontal Angle of Daylight provision of the CD-1 bylaw for the bedroom of unit TH04.

Note to Applicant: The proposed lightwell does not provide sufficient access to daylight for the proposed habitable space. Refer to additional discussion, page 8.

2.0 That the conditions set out in Appendix A be met prior to the issuance of the Development Permit.

3.0 That the Notes to Applicant and Conditions of the Development Permit set out in Appendix B be approved by the Board.

- **Technical Analysis:** Parcel B (existing Tower 1 + Buildings 2)

	PERMITTED (MAXIMUM)	REQUIRED	PROPOSED
Site Size (existing)	-	-	Harwood Street 198.25 ft. Lane 198.22 ft. Northwest 130.95 ft. Southeast 130.97 ft.
Site Area (existing)	-	-	25,942 ft.^{2} (0.241 ha)
Uses	Multiple Dwelling	-	Multiple Dwellings (**Buildings 2**)
Floor Area & Density	existing 85,398 ft.^{2} **Additions** 10,905 ft.^{2} Total 96,303 ft.^{2}	-	existing 85,398 ft.^{2} **Additions** 10,884 ft.^{2} Total 96,282 ft.^{2}
Balconies[1]	Open 8% x 10,884 ft.^{2} = 871 ft.^{2} Enclosed 50% x 871 ft.^{2} = 435 ft.^{2}	-	Open 508 ft.^{2}
Height	Building 1 194.9 ft. Building 2 33.8 ft.	-	Tower 1 (existing) - add/use (1st floor) **Buildings 2** (north attached) - top of parapet wall 32.3 ft.
Horizontal Angle of Daylight[2]	-	50°/78.7 ft. or sum of 2 angles of 70°/78.7 ft.	Level 1 **<50°/78.7 ft. (3 angles)** Level 2 **<50°/78.7 ft. (1 angle)** Level 3 **<50°/78.7 ft. (12 angles)**
Parking[3]	- Small Car 25% x 93 spaces = 23	existing 57 **Additions** 7 Total 64 Disability Spaces (167 units - 7) x 0.034/unit = 5 + 1 = 6	Standard 87 Small Car 4 Disability 2 Total 93
Bicycle Parking[4]	- Vertical: 30% x 66 = 20	Class A / Class B existing units 190 / 6 **New Units** 19 / n/r Total 209 / 6 Horizontal: 50% x 66 = 33 Lockers: 20% x 66 = 13 Electrical Outlets: 1 outlet/2 Class A spaces	Class A / Class B Horizontal 12 / **0** Vertical 13 / - Lockers 41 / - Total **66** / **0** Electrical Outlets: **0 outlets**
Loading	-	Class A n/r Class B 1	Class A 0 Class B 1
Amenity	lesser of 10% x 96,279 ft.^{2} = *9,628 ft.^{2}* or 10,764 ft.^{2}	-	0 ft.^{2}
Unit Area[5]	-	398 ft.^{2} → 320 ft.^{2}	TH02 332 ft.^{2} TH03 351 ft.^{2}
Unit Type	-	-	2 - studio 3 - one-bedroom 10 - two-bedroom (townhouses) 15 **New Units** 152 units existing 167 units total

[1]**Note on Balconies:** Exclusion of balconies from floor area is calculated on the new residential floor area (additions) only.

[2]**Note on Horizontal Angles of Daylight:** A relaxation of H.A.D. is requested. See drawing DP6.01c in Appendix C and refer to discussion on page 8 and recommended Condition 1.3.

[3]**Note on Parking:** A.1.1 seeks compliance with Section 4.8.4 (Required Disability Parking Spaces) of the Parking By-law.

[4]**Note on Bicycle Parking:** Standard Condition A.1.2 seeks compliance with Section 6.2.1.2 (Table or Number of Required Off-Street Bicycle Spaces) of the Parking By-law for Class A and B bicycle space requirements. Standard Condition A.1.3 seeks compliance with Section 6.3.21 (Electrical Outlets) of the Parking By-law.

[5]**Note on Unit Area:** Pursuant to Section 10.21.2 of the Zoning and Development By-law, the Director of Planning may permit the floor area of a unit to be not less than 320 ft^2 if they are satisfied that the design and location of the unit provides satisfactory living accommodation. Refer to discussion on page 8.

- **Legal Description**
  Lot: 1
  Block: 63
  District Lot: 185
  Plan: EPP34820

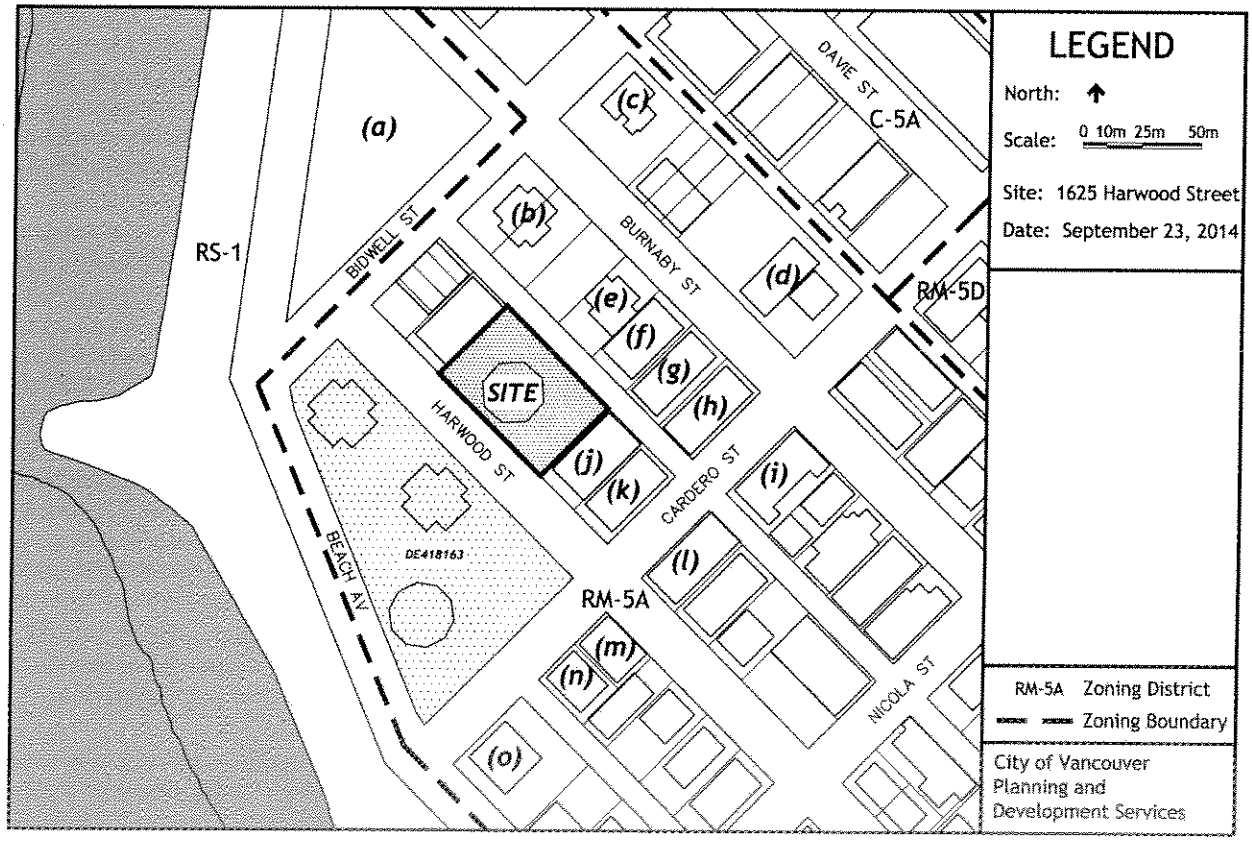
- **History of Application:**
  14 07 10 Complete DE submitted
  14 11 19 Urban Design Panel
  14 12 17 Development Permit Staff Committee

- **Site:**

The proposed infill development is located on the two sites of the existing Beach Towers, 1625 Hardwood St. (DE418163) and 1600 Harwood St. (DE418164). The subject site of this development permit application is located in the mid-block of Harwood St. between Bidwell St. and Cardero St. To the west is a full-block site comprising the 1600 Harwood St. of the proposed development. To the north is Alexandra Park; to the south and east are a variety of residential apartment buildings. The blocks surrounding the subject sites contain a variety of building types and heights with a minority of wood frame three- to four-storey apartment buildings and a majority of concrete apartment buildings in the 10- to 22-storey range.

- **Context:** Significant adjacent development includes:

(a) Alexandra Park
(b) Braeview Manor - 1260 Bidwell Street - 14-storey residential building
(c) Alexander Park - 1236 Bidwell Street - 18-storey residential building
(d) Surfcrest - 1251 Cardero Street - 22-storey residential building
(e) Heather House - 1650 Burnaby Street -13-storey residential building
(f) 1630 Burnaby Street - three-storey residential building
(g) 1620 Burnaby Street - four-storey residential building
(h) Casa Del Vandt - 1265 Cardero Street - six-storey residential building
(i) Baycrest Apartments - 1246 Cardero Street - four-storey residential building
(j) Vivian - 1609 Harwood Street - three-storey residential building
(k) Dianne Court - 1315 Cardero Street - eight-storey residential building
(l) Henry Manor - 1306 Cardero Street - four-storey residential building
(m) 1558 Harwood Street - three-storey residential building
(n) 1334 Cardero Street - four-storey residential building
(o) Plaza Del Mar - 1575 Beach Avenue - 14-storey residential building



- **Background:**

The CD-1 By-law for this site was approved by Council, subject to a series of conditions on February 26, 2013, and enacted on July 22, 2014. This application is brought to the Development Permit Board as part of a larger development that includes 1600 Harwood St (DE418164).

- **Applicable By-laws and Guidelines:**

1. CD-1 (574)
2. West End Community Plan (2013)
3. Short Term Incentives for Rental Housing (STIR) Program (2009)
4. Rezoning Applications and Heritage Revitalization Agreements during Community Plan Programs in the West End, Marpole and Grandview-Woodland (July 28, 2011)
5. Housing and Homelessness Strategy (February 1, 2011)
6. High Density Housing for Families with Children Guidelines (March 24, 1992)
7. Rental Housing Stock Official Development Plan (May 2007)
8. Green Buildings Policy for Rezonings (June 10, 2008; last amended July 22, 2010)
9. Ecocity Policies for Rezoning of Sustainable Large Sites (December 2010)
10. Financing Growth Policy (Community Amenity Contributions) (January 20, 1999; last amended February 12, 2004)

- **Response to Applicable By-laws and Guidelines:**

1. CD-1 (574) Bylaw

Use and Density: The proposed use (multiple residential dwelling) and density conforms to the provisions of the CD-1 bylaw.

Height: The proposed height conforms to the provisions of the CD-1 bylaw.

2. West End Community Plan (2013)

On July 28, 2011, Council approved a community planning process for the West End neighbourhood. An interim rezoning policy was approved as part of the community planning process, and that policy allowed for continued consideration of rezoning applications that were received prior to this date.

The West End Community Plan was adopted by City Council on November 20, 2013. The plan focuses on policies regarding neighbourhood character, housing, the local economy, heritage, transportation and the public realm. This proposal's use, density, heights, landscape and public realm treatments, and form of development, which were established at the time of rezoning, are consistent with the West End Community Plan.

3. High Density Housing for Families with Children Guidelines (March 24, 1992)

With the proposed addition of a combined total of 81 units (on both of the with two or more bedrooms (60% of total new units), including several 2 and 3-bedroom units which may be suitable for families with children, the High Density Housing for Families with Children Guidelines are therefore applicable to the plans for this site. Please refer to Housing Centre staff commentary on page 14.

4. Green Buildings Policy for Rezonings (June 10, 2008; last amended July 22, 2010)

The Rezoning Policy for Green Buildings based on the time of the Rezoning application, requires that the building achieve a minimum of LEED® Gold, with at least 63 points, including 6 optimized energy performance points, 1 water efficiency point and 1 stormwater point. The Policy also requires that the applicant register the project with the Canada Green Building Council (CaGBC). The applicant's response to the associated rezoning condition is provided on page 10 along with a staff assessment.

5. Ecocity Policies for Rezoning of Sustainable Large Sites (December 2010)

The policy is designed to achieve higher sustainability outcomes on large site development through the exploration and implementation of district and renewable energy opportunities, sustainable site design, green mobility and clean vehicle strategies, sustainable rainwater management, solid waste diversion strategies and strategies to achieve sustainable housing affordability and housing mix. The continuation of these rezoning objectives into the detailed design phase is summarized on page 11.

- **Other Issues:**

Horizontal Angle of Daylight (H.A.D.): The only source of daylight to bedroom of Unit TH04 is provided by a deep lightwell of dimensions 4'6 x 13'2. Staff are concerned about the livability of this space and are seeking compliance with the CD-1's H.A.D. requirements under Recommended Condition 1.3. It is anticipated that design development to the layout of the unit will be required to achieve this.

A number of habitable rooms of the proposed infill buildings have horizontal angles of daylight with an uninterrupted distance less than the standard 80 ft. but greater than the minimum relaxable range permitted by the CD-1 (12 ft.). The proposed uninterrupted distances are in the range typical of an infill or courtyard development. Given the central location of the existing tower on the site, and the low-scale of the proposed infill buildings, staff are satisfied that livability of these units is not significantly compromised and recommend that the Board relax the H.A.D. for these spaces.

Unit Size: As per section 10.21.2 of the Zoning and Development Bylaw, a dwelling unit must be at least 390 sq. ft., except that the Director of Planning may permit a floor area no less than 320 sq. ft. As proposed, the floor area of the infill units at the base of the tower, TH02 and TH03, are 332 and 351 sq. ft. respectively - both greater than the minimum. Staff are satisfied that the proposed floor areas of the two units present no significant livability concerns. Also, in light of the improvements to privacy and the provision of private outdoor spaces of the units sought under recommended Condition 1.1, Staff is recommending that the Development Permit Board relax the floor area to the areas proposed.

- **Responses to the Urban Design and Landscape Rezoning Conditions of Approval:**

Not all conditions of the Rezoning are included for discussion in this section. Only conditions with relevant or remaining issues are included below.

Rezoning Condition 6: Design development to the new buildings to develop a contemporary architectural character that is distinctive but complementary with the existing residential building while contributing to the character and visual quality of the West End.

Applicant Response: The new buildings reflect the same contemporary architecture of the new buildings on Beach Avenue Site. The new form and shape of the townhouse building is distinct around the area, which adds variety to the street character in the West End.

Staff Assessment: The condition has been satisfied.

Rezoning Condition 7: Provision of high quality material treatments.

Note to applicant: Consider passive design shading elements on the south and west facades to address solar heat gain. Detailed sections and elevations illustrating high quality material treatments are required.

Applicant Response: High quality and durable materials are used to stand the test of time. Natural daylight and natural ventilation are also considered in design.

Staff Assessment: Staff are satisfied that the proposed material treatment is appropriate and of high quality. Detailed wall sections at a scale of 1:25 are required (see standard condition A.1.14).

Rezoning Condition 14: Repair and revitalization of existing planters, where applicable.

Note to Applicant: the scope of work should include an investigation into the health of existing plants, planter soil health and membrane integrity.

Applicant Response: Where applicable existing planters will be waterproofed and receive new growing medium.

Staff Assessment: Standard condition A.1.22 requests an investigation into the health of existing plants, planter soil health and membrane integrity.

- **Response to Engineering Rezoning Conditions of Approval:**

Rezoning Condition 24: Class A and B bicycle parking is required for all dwelling units on the site (existing and proposed) and where practical, for the bicycle spaces which will be provided in the existing buildings, electric outlets shall be provided all in accordance with Parking By-Law requirements.

Applicant Response: Drawings have been done accordingly based on the requirements of the Bicycle Parking By-law.

Staff Assessment: The development proposes that some bicycle parking be shared between 1600 Beach and 1625 Harwood Street sites. While access over those spaces was granted through the zoning bylaw enactment process, further work is required to ensure that the spaces will be safe, convenient, and easily accessible by residents on both sites. A standard condition for 1600 Harwood (DE418164) requires way-finding to its bicycle rooms.

Rezoning Condition 26: Provision of a Green Mobility and Clean Vehicles Strategy that includes the requisite infrastructure where appropriate to prioritize sustainable transportation modes including walking, cycling, public transit, and provisions for low carbon vehicles (e.g., electric vehicles), completed to the satisfaction of the General Manager of Engineering Services, and prior to Development Permit issuance the completion of any legal agreements required by this Strategy on terms and conditions acceptable to the City.

Applicant Response: Electric plug-ins and Car-share vehicles will be provided in the parkade at strategic locations.

Staff Assessment: This condition has not been met. See standard condition A.2.5. Further details are required to understand how the proposed measures will be implemented. Electrical outlets for vehicles have been proposed to meet the requirements of the parking by-law. Three spaces are proposed to be reserved for shared vehicles however locations have not been identified. Standard Condition A.2.5 requires the provision of the spaces and vehicles. The development also proposes several pedestrian improvements adjacent to the site including improved lighting, sidewalks, and crossings.

Rezoning Conditions 29 - 32: Results of the Low Carbon Energy Supply Feasibility Study.

Applicant Response: A Low Carbon Energy Supply Feasibility Study dated June 2014 ("Feasibility Study") has been prepared which identifies feasible measures to achieve more than a 40% reduction in thermal energy consumption and GHG emissions. The study presents the results of feasibility studies, field-testing, and technical investigations and addresses the economic and technical viability of the preferred approaches.

The two initial measures to reduce energy consumption and GHG emissions from the Beach Towers site will involve: 1) replacing the existing central heat plant (CHP) with a more efficient CHP and 2) reducing air leakage from existing buildings. As well other measures are being recommended which together are estimated to achieve a 41.2% reduction in thermal energy consumption and GHG emissions.

Staff Assessment: Staff are satisfied with the results of the Low Carbon Energy Supply Feasibility Study. The requirements to finalize the Implementation Plan, as well as to implement the identified Energy Demand Management Measures, and the new Central Energy Plant, are detailed in standard conditions A.2.15 and A.2.16.

- **Response to Sustainability Rezoning Conditions of Approval:**

Rezoning Condition 9: identification on the plans and elevations of the built elements contributing to the building's sustainability performance in achieving LEED® Gold, including a minimum of 63 points in the LEED® rating system, and, specifically, a minimum of 6 points under Optimize Energy Performance.

Note to Applicant: Provide a LEED® checklist confirming the above and a detailed written description of how the above-noted points have been achieved with reference to specific building features in the development, and notation of the features on the plans and elevations. The checklist and description should be incorporated into the drawing set. Registration of the project is also required under the policy..

Applicant Response: The project is targeted to achieve LEED Gold with 63 points overall with 6 points of Optimize Energy Performance. A LEED checklist is attached to the drawing submittal for reference. The project is also targeting to have 40% carbon reduction as advised by the City. The new project attempts to remediate these under-used and impermeable areas. Asphalt surface parking will be replaced with a new permeable landscaping and green-roofed low and midrise buildings. This new vegetation will provide a positive outlook for resident and neighbors, reduce Heat Island Effect, and reduce stormwater runoff.

Staff Assessment: The applicant has provided a LEED score card indicating 63 points overall and 6 points for Optimize Energy Performance. The applicant has not provided a detailed written description of how the above-noted points have been achieved with reference to specific building features in the development (see Standard Condition A.1.13).

- **Sustainability:**

In addition to the Rezoning Policy for Green Buildings, this re-zoned site is subject to the Rezoning Policy for Sustainable Large Sites. The proposal is addressing this policy as follows.

Sustainable Site Design: The applicant has provided green roof treatments for the residents of the building as well as naturalized planting, rain gardens, urban agriculture, and storm water management. The roof top gardens provide opportunities for undisturbed eco planting that may attract birds and insects. The large landscape areas reduce heat island effects and provide the reduction of storm water runoff through evapotranspiration and filtration through the soil medium.

Green Mobility and Clean Vehicle Strategies: The provided Green Mobility and Clean Vehicles Strategy lacked details on how the proposed measures will be implemented. See Standard condition A.2.5.

Sustainable Rainwater Management: Standard Condition A.2.3 requires the provision of a Sustainable Rainwater Management Plan that uses sustainable strategies to allow for infiltration, retention, treatment and utilization of rainwater where applicable and appropriate on site.

Solid Waste Diversion Strategies: Standard Condition A.2.4 requires the provision of a Solid Waste Diversion Strategy that addresses waste diversion in all solid waste generating activities within the complex.

District and Renewable Energy Opportunities: See staff assessment for Rezoning conditions 29 - 32 on page 10.

- **Conclusion:**

The proposal for 1625 Harwood Street together with 1600 Harwood Street comprise a high quality infill rental development consistent with the intent envisioned under the West End Community Plan. The modest insertion of low-rise townhouses at 1625 Harwood Street will successfully integrate with the original tower structure and podium. The provision of the proposed built form along with enhanced landscaping, in lieu of existing surface and covered parking, will improve the environmental quality and streetscape character along the sites' frontages.

Staff conclude that, subject to design improvements, the proposed buildings will contribute positively to the diversity of buildings, the established landscaping and streetscape character of the West End neighbourhood.

URBAN DESIGN PANEL

The Urban Design Panel reviewed this application on November 19, 2014, and provided the following comments:

EVALUATION: 1600 Harwood Street - SUPPORT (7-1)
1625 Harwood Street - SUPPORT (8-0)

- Introduction: Patrick O'Sullivan, Development Planner, gave an overview of the context around the site and mentioned that there are two development applications. He noted that the rezonings have already been approved for the site. There are four existing buildings on the site that were built in the 1960's and have a heritage status. One development permit consists of a 4-storey

element along Beach Avenue, a 9-storey mid-rise building and an amenity building with a pool and fitness centre with a park on the corner. The other development permit involves two 3-storey buildings and 2-storey townhouses along the lane. Mr. O'Sullivan asked the Panel to comment on the items that were outstanding from the last review. He gave a description of the concerns and how it they have been addressed by the applicant team.

1600 Harwood Street: Panel's Consensus on Key Aspects Needing Improvement:
- Design development to improve the legibility of the entrances;
- Design development to improve the expression of the mid-rise building;
- Consider access through the site to Beach Avenue;
- Design development to improve the amenity space and especially the park on the corner;
- Design development to the auto court cul-de-sac;
- Consider planting larger trees along Beach Avenue to reduce solar gain.

Has the applicant adequately addressed the key aspects needing improvement, listed above?

1625 Harwood Street: Panel's Consensus on Key Aspects Needing Improvement:
- Design development to improve the expression of the buildings around the tower;
- Design development to improve the integration between Parcel A and B;
- Design development to improve the courtyard.

Has the applicant adequately addressed the key aspects needing improvement, listed above?

Mr. O'Sullivan took questions from the Panel.

- **Applicant's Introductory Comments:** Martin Bruckner, Architect, further described the proposal as well as how they addressed the Panel's concerns from the previous review. He noted that they were encouraged to make the amenity building iconic and special. It is kind of an earth building with a green roof. He mentioned that they have enlarged the hard surface at the corner and allowed it to seamlessly meet from the public sidewalk to the private property. There will be seating opportunities at the base of the glass wall and perhaps public art. On Harwood Street they have better clarified the definition of the entries in both the new and the existing buildings. The mid-rise has an entrance off the courtyard with a canopy to identify the entrance. There is also a direct pedestrian access from the sidewalk. On the mid-rise building they have gone back to a more asymmetric expression for the Harwood and Cardero Streets façade and they have added an extra bay of stone cladding. The townhouses around the base of the tower have a lighter massing with stone clad panels and glass. There is some relationship and materiality between the two sites in how the buildings have been expressed. The internal circulation courtyard has raised patios and public access.

  Cameron Owen, Landscape Architect, described the landscaping plans and mentioned that they have flanked each of the entries with a common tree. They have also used same type unit paver throughout the site in an organized pattern around the entrances. There are additional stairs on the site and places for people to gather. At the amenity there is a seating wall with a wood top and separated out from the street with tree and pavement. The trees around the back will have evergreen and native plant varieties. The auto court will have a cast in place solution with saw cut joints however the pedestrian route will have unit pavers and have separated the area with plantings and more trees. They are planting trees along Beach Avenue that will help reduce solar gain by providing shading in the summer.

  The applicant team took questions from the Panel.

- Panel's Consensus on Key Aspects Needing Improvement:

  1600 Harwood Street:
  - Design development to improve the expression of the mid-rise building;

- Design development to the materiality of the mid-rise building;
- Design development to improve the west stair access;
- Design development to the access to and across the site to address legibility and wayfinding;
- Design development to add access to the roof the amenity building;
- Consider further strengthening the entrance to the Douglas building;
- Consider adding individual entrances to the ground floor units in the mid-rise and the treatment of the heritage wall;
- Consider adding shade trees and public art to the corner parkette;
- Consider moving the existing art pieces to a spot that makes them visible from Beach Avenue and support public access and appreciation.

1625 Harwood Street:
- Design development to the materiality of the townhouses;
- Consider improving privacy for the townhouses under the tower;
- Consider using a different colour and material palette to the mid-rise tower.

- **Related Commentary:** The Panel supported both projects and commended the applicant for a quality response to a very difficult project.

Comments Relating to 1600 Harwood Street:
The Panel thought the applicant had responded to the Panel's previous concerns and that the legibility of the entrances was well done as they are more clearly defined. One Panel member thought there was still work to be done to strengthen the entrance to the Douglas building.

Some of the Panel liked the volumetric changes to the midrise tower but thought it might be a good idea to introduce individual entrances for the ground floor units. Other Panel members thought there should be a requirement to make the building work visually with the rest of the development. Panel members noted that the mid-rise building didn't feel part of the development and it felt pinched and "forced" on the site. Other Panel members mentioned that there is an opportunity to pick up on the angles of the existing building in the midrise. Although there isn't direct access to the beach, the Panel thought the sight lines were strong.

The Panel liked the expression of the amenity space from the street and suggested the applicant add access to the roof top for events such as the fireworks and parades. A couple of Panel members suggested adding trees to give some shade in summer to the seating area as well as some public art.

The Panel supported the landscape improvements and thought the connection to Beach Avenue was the biggest improvement to the site. They noted that it was these kinds of little pieces, private routes that make them more memorable and suitable to this site. Although the easterly access around Tower A works well, the west stair access is not resolved very well. It should either be deleted or come straight off the top of the townhouse with a straight run. One Panel member noted that it makes the vaulted spaces under the tower have more purpose and are being used in ways that they haven't been in the past. The Panel thought the cul-de-sac was much improved with separating the pedestrian from vehicles.

The Panel agreed that the current piece of public art was important and were glad to see it was being kept although they thought the location needed to be carefully considered as they need to be viewed from Beach Avenue. One Panel member suggested that they act as a focal point to draw pedestrians through the space.

Comments Relating to 1625 Harwood Street:
The Panel liked the improvement with the townhouses around the tower as well as the courtyard. They thought the glassiness of the townhouses was a step in the right direction. However, it was

noted that the units that slide under the tower seem a little pinched. As well there was some concern about privacy and suggested a landscape response might help. They also wanted to see the landscaping tie together the other side of the street with the site.

A couple of Panel members noted that the townhouses are playing off the midrise and perhaps by shifting the palette on the midrise this would help the expression of the tower and give it its own identity.

- **Applicant's Response:** Mr. Bruckner thanked the Panel for their good comments and said they would take them into consideration to make for a better project. Regarding the mid-rise, Mr. Bruckner said he was happy to find ways to improve the expression. As for the public art they have already had discussion but as yet don't have anything committed. Mr. Bruckner added that they will look at reshaping the plaza to accommodate any public art.

ENGINEERING SERVICES

The recommendations of Engineering Services are contained in the prior-to conditions noted in Appendix A attached to this report.

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

The proposal's form, materiality and configuration has been generally designed to comply with CPTED requirements. Standard Condition A.1.31 seeks standard CPTED performance throughout the design development process.

LANDSCAPE

The recommendations of Landscape are contained in the prior-to conditions noted in Appendix A attached to this report.

HERITAGE PLANNING

The Vancouver Heritage Commission reviewed this application on September 29, 2014. The minutes of this meeting are attached as Appendix G.

HOUSING CENTRE/SOCIAL PLANNING/CULTURAL AFFAIRS

The proposed additions to Beach Towers (DE418164 and DE418163) include a combined total of 81 units with two or more bedrooms (60% of total new units) comprised of 75 2 bedroom and 6 3-bedroom units which may be suitable for families with children. The High Density Housing for Families with Children Guidelines are therefore applicable to the plans for these sites.

10 of the new units at 1625 Harwood Street have 2 or more bedrooms which may be suitable for families with Children. As these units are located in a ground-oriented townhouse form of development and have many qualities of ground-oriented family housing, no specific amenities for families with children are required on this site. Additional extensive amenities meeting the intent of the guidelines are provided for at 1600 Harwood Street. Design development conditions related to these proposed amenities are addressed in the staff report for 1600 Harwood Street (DE418164).

ENVIRONMENTAL PROTECTION BRANCH

The 1600 block of Harwood Street has been a residential area since the 1920s. A Fire Permit (FI406750) was issued in 2009 for the removal of a heating fuel oil underground storage tank (UST). The environmental report (2009) for the UST removal indicated the soils surrounding the former UST location were remediated to comply with the Ministry of Environment Contaminated Sites Regulation Commercial Land use standard for Extractable Petroleum Hydrocarbon. Groundwater was observed at the Site; however no investigation was completed to confirm groundwater environmental condition. There exists a possibility that groundwater may be impacted on the Site and/or hydrocarbon contamination may have traveled through the groundwater system. The recommendations of the Environmental Protection Branch are contained in the conditions of development permit noted in Appendix B attached to this report.

PROCESSING CENTRE - BUILDING

This Development Application submission has not been fully reviewed for compliance with the Building By-law. The applicant is responsible for ensuring that the design of the building meets the Building By-law requirements. The options available to assure Building By-law compliance at an early stage of development should be considered by the applicant in consultation with Processing Centre-Building staff.

To ensure that the project does not conflict in any substantial manner with the Building By-law, the designer should know and take into account, at the Development Application stage, the Building By-law requirements which may affect the building design and internal layout. These would generally include: spatial separation, fire separation, exiting, access for physically disabled persons, type of construction materials used, fire fighting access and energy utilization requirements.

NOTIFICATION

Four site signs were placed on the site (facing Beach, Cardero, Bidwell, and Harwood Streets), providing information on both sites, and their installation was verified on August 7, 2014. On August 8, 2014, 505 notification postcards were sent to neighbouring property owners advising them of the application, and offering additional information on the city's website. Following the requirement to appear at Urban Design Panel for a second time, the same property owners were notified (via postcards mailed on November 4, 2014) of the rescheduled Development Permit Board date. To date a total of 9 written responses have been received. 6 respondents opposed the proposal, and 3 expressed concern or requested additional information. Concerns about the proposal are summarized below, along with staff responses:

- Accommodation of parking on site during construction;

  Staff response: Standard condition A.2.12 requires provision of required parking for the duration of the project.

- The effect of the redevelopment on the heritage status of the existing buildings;

  Staff response: The Vancouver Heritage Commission reviewed this application on September 29, 2014 and supported the modern infill additions to the existing tower.

- Construction noise and disruption;

Staff response: Construction on the site would be subject to Vancouver Noise Control By-Law #65555 which limits construction on private property between 7:30 and 8pm on any weekday that is not a holiday and between 10am to 8pm on any Saturday that is not a holiday.

- Seismic testing and structural assessments;

  Staff response: The design of the excavation, shoring, and foundations for the new construction on the site are being completed by registered geotechnical and structural engineers who are required to provide support of the affected existing structures for all loads prescribed by the current Vancouver Building By-Law, including seismic.

- Building materials, and access to light and views;

  Staff response: Staff are satisfied that the proposed material treatment is appropriate and of high quality. Detailed wall sections at a scale of 1:25 are required. Please refer to Recommended Conditions 1.1 and 1.3, and standard condition A.1.14.

- Overall density on the site and across the West End.

  Staff response: The proposed use, density, and height of this project conforms to the CD-1 bylaw.

DEVELOPMENT PERMIT STAFF COMMITTEE COMMENTS:

The Staff Committee has considered the approval sought by this application and concluded that with respect to the Zoning and Development By-law it requires decisions by the Development Permit Board.

The application requires the Development Permit Board to exercise discretionary authority as delegated to the Board by Council. It also requires the Board to consider a by-law relaxation, per section 5 (Horizontal Angle of Daylight) of the CD-1 by-law. Staff Committee supports the relaxation proposed.

The Staff Committee is confident that the proposal is consistent with the rezoning and supports the application with the conditions contained in this report.

J. Greer
Chair, Development Permit Staff Committee

P. O'Sullivan
Development Planner

B. Mah
Project Coordinator

Project Facilitator: W. LeBreton

DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATIONS

The following is a list of conditions that must also be met prior to issuance of the Development Permit.

A.1 Standard Conditions

A.1.1 compliance with Section 4.8.4 (Required Disability Parking Spaces) of the Parking By-law;

Note to Applicant: A total of six disability parking spaces are required.

A.1.2 compliance with Section 6.2.1.2 (Table or Number of Required Off-Street Bicycle Spaces) of the Parking By-law;

Note to Applicant: The development proposes that some bicycle parking be shared between 1600 Harwood and 1625 Harwood Street sites. While access over those spaces was granted through the rezoning enactment process, the number of Class A bicycle spaces should match the Bicycle Schedule at each level and the Project Statistics. Six Class B bicycle spaces are required.

A.1.3 compliance with Section 6.3.21 (Electrical Outlets) of the Parking By-law;

Note to Applicant: One electrical outlet is required for every two Class A bicycle spaces. A note added on the parking plans to provide the electrical outlets will meet this condition.

A.1.4 provision of a minimum of 200 $ft.^3$ of storage space for each dwelling unit;

Note to Applicant: Provide a storage summary at each level and total summary in Project Statistics.

A.1.5 clarification of alterations and uses on level 1 and level 2 in existing Tower;

Note to Applicant: Uses should match those represented on the color-coded FSR drawings. All alterations (existing and new) and changes of use should be clearly identified. Clarify and label all rooms, balconies and void spaces. Reference to the tower and buildings should be consistent with the building height diagram in the draft CD-1 By-law. Add gridlines to all floor plans.

A.1.6 design development to locate, integrate and fully screen any emergency generator, exhaust or intake ventilation, electrical substation and gas meters in a manner that minimizes their visual and acoustic impacts on the building's open space and the Public Realm;

A.1.7 details of all parking spaces to comply with the applicable provisions of the Parking By-law, having particular regard to space sizes, manoeuvring, height clearances, etc.;

Note to Applicant: Spaces located next to walls or structure require extra width. Column sizes, spacing encroachment into parking spaces may be permitted, subject to compliance with the Parking and Loading Design Supplement. Clarify existing, demolished and new parking spaces, including parking hatch legend. Number all parking spaces sequentially and label all small car spaces. Clarify minimum vertical clearance of all disability parking spaces, including all entrances, exits, drive aisles, other access to and egress therefrom.

A.1.8 clarification of the maximum building height on the elevations and deletion of all background shading on the elevations and sections;

A.1.9 sealed and signed FSR Summary Statistics to match the floor areas and uses of the project, including all exclusions;

Note to Applicant: Only one set of separate (detached) sealed and signed FSR drawings is required.

A.1.10 confirmation that at least 20 percent of all off-street parking spaces shall be available for the charging of electric vehicles;

Note to Applicant: Although this is a Building By-law requirement under Part 13 of the Vancouver Building By-law, the Director of Planning is seeking acknowledgement that this condition can be met during the Building review of this development. For more information, refer to the website link: http://vancouver.ca/sustainability/EVcharging.htm.

A.1.11 submission of an acoustical consultant's report which assesses noise impacts on the site and recommends noise mitigation measures in order to achieve noise criteria;

A.1.12 design development to the site signage;

Note to Applicant: Provision of signage details at a scale of 1:50 or larger depicting sample signage incorporated into the full size drawing set is required. The requested signage details are for urban design review purposes. A separate sign permit will be required.

A.1.13 identification on the plans and elevations of the built elements contributing to the building's sustainability performance in achieving LEED Gold Equivalency, including at least three optimize energy points, one water efficiency point and one storm water point;

Note to Applicant: Provide a LEED checklist conforming LEED Gold equivalency and a detailed written description of how the above noted points have achieved with reference to specific building features in the development. Both the checklist and description should be incorporated into the approved drawing set.

A.1.14 provision of 1:25 typical façade wall section of proposed infill buildings incorporated into the full size drawing set;

A.1.15 the proposed Form of Development can and does become approved by Council;

Standard Landscape Conditions

A.1.16 architectural and landscape plans to be congruent;

Note to Applicant: with regard to the depiction of outdoor space, further attention will be needed. The architectural plans should include all outdoor hardscaped features, including walls, planters, stairs, walkways, grades and the public realm. The landscape plan should integrate and expand on the architectural plans with regard to soft and hard landscaping, including depiction of grades, spot elevations (top/bottom walls, stairs, landings, surface slope)

A.1.17 provision of detailed grading plan(s) for all open space areas;

A.1.18 provision of a pedestrian circulation/ access plan;

Note to Applicant: there should be safe and direct pathways to each tower from the street, vehicular drop off zones and convenient points of access. Provide detailed sections through paths of accessible travel with emphasis on grades and slope.

A.1.19 integration of edible plantings into the overall planting plan

A.1.20 provision of additional information and refinements of the landscape submission, as follows:

a) information on the landscape materials plans to be presented in a clear and accurate manner. There are ambiguities related to labeling. The textures representing materials on the plans should be appended to a related reference on the legend.
b) labeling of "existing" and "proposed" landscape elements;
c) improvements to the depiction of edges, walkways, walls, curbs and transitions between materials.
d) provision of more standard information and labels such as street names, section indicators, north arrows, sheet labels;
e) illustration of spot elevations to all outdoor areas (including top/ bottom walls), including offsite context spot elevations in proximity (such as the public sidewalks, inner boulevards and lanes, for example);
f) full detailing of the public realm with regard to existing and proposed materials, trees, tree protection barriers, planting, walkways and related infrastructure (for example, light poles, fire hydrant);

A.1.21 provision of additional detailed sections through the landscape areas, residential interface and throughout the site;

Note to Applicant: the submission should contain a full complement of detailed and dimensioned large scale sections through open space zones, including common spaces, the residential interface, ground oriented patios, plantings on slab and perimeter edges. To ensure the long term viability of planting on slabs, soil depths must meet or exceed BCLNA planting standards. At the edges, new slabs should angle down to provide deeper soils. Planters on slab above parking areas should take advantage of opportunities to lower the slab, where possible, to create planters that extend above and below the slab

A.1.22 repair and revitalisation of existing planters, where applicable;

Note to Applicant: the scope of work should include an investigation into the health of existing plants, planter soil health and membrane integrity. A rationale should be provided of intent to retain existing or replace with new.

A.1.23 provision of a phased, "Tree Removal/ Retention Plan" to be coordinated with the arborist report (including the assessment of existing trees, retention value rating, retention feasibility, remediation recommendations, site supervision and letters of undertaking);

Note to Applicant: in addition to sheet DP 7.410, indicate by tree identification number all trees removed and to be retained. Provide a quantity list of trees removed that are sized at 20 cm diameter or greater and less than 20 cm diameter. It has been established that tree removal approvals may be granted at time of phasing of demolition and with proper documentation. Tree removals are subject to further review.

A.1.24 provision of larger scale tree protection plan(s);

Note to Applicant: in coordination with the arborist report, provide detailed, labelled plans for any area that anticipates construction encroachment or notable disturbance (re-landscaping and walkways) within the critical root zone (to be determined). Coordination with Engineering and Park Board will needed for decisions regarding city owned trees.

A.1.25 provision of an overall tree replacement plan;

Note to Applicant: with the associated tree species list, sizes, quantities and an overall total. The tree plan should be respond to the unique waterfront location with regard to location and species. The quantities of new trees should be equal or greater to the quantities of trees removed, unless it can be verified that there are limiting factors. Further comments may be outstanding.

A.1.26 provision of a "Construction Management Plan" outlining methods for the retention of existing trees during construction;

Note to Applicant: the Plan should include, but not limited to, construction constraints, including the location of construction materials, temporary structures, utilities, site access, development phasing, neighbor impact reduction methods, to the satisfaction of staff. The applicant team should liaise with all related contractors, including civil/electrical/plumbing contractors to proactively identify any conflicts or constraints to tree protection.

A.1.27 provision of a detailed arborist report for the complete site;

Note to Applicant: noting that an interim arborist report has been submitted for "phase one" partial demolition/redevelopment and applicable tree removals. Critical root zone dimensions and the related methodology and industry critical root zone calculation methods will be needed. The discussion should include a tree assessment for all trees (sized 20 cm or greater) located outside the building envelope (not including street/parking construction), the existing growing condition, all demolition and excavation work in proximity to trees, construction methods and phasing, including re-landscaping. The plans should clearly illustrate and dimension the limits of excavation and any necessary tree canopy pruning. Tree removal permit applications should occur in phases corresponding to the timing of necessary demolition work. Refer to protection of Trees Bylaw, Section 7, for further guidance about protection of trees during construction and arborist report requirements.

A.1.28 new street trees to be provided adjacent to the development site, to be shown on the development permit plans and confirmed prior to the issuance of the building permit.

Note to Applicant: Contact Eileen Curran, Streets Engineering (604.871.6131) to confirm tree planting locations and Park Board (604.257.8587) for tree species selection and planting requirements. Provide a notation on the plan, "Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services. New trees must be of good standard, minimum 6cm caliper, and installed with approved root barriers, tree guards and appropriate soil. Root barriers shall be 8 feet long and 18 inches in. Planting depth of root ball must be below sidewalk grade. Call Park Board for inspection after tree planting completion".

A.1.29 provision of an efficient irrigation system for all common outdoor planters and individual hose bibs to be provided for all patios of 100 sq.ft. or greater. Specification notes and irrigation symbols to should be added to the drawing;

Note to Applicant: provide symbols for hose bibs and irrigation line source locations. Provide bolded, highlighted notes on the plans to verify the specification that the irrigation will be provided.

A.1.30 explore opportunities to mitigate blank walls;

Note to Applicant: in consideration of CPTED principles, exposed walls should be textured to discourage graffiti. In addition, "vine pockets" can be located near the lane edge to establish

plants on walls. Provide locations and notations on the plans to verify that this has been provided.

Crime Prevention Through Environmental Design (CPTED)

A.1.31 design development to respond to CPTED principles, having particular regards for:

(a) theft in the underground parking;
(b) break and enter;
(c) mail theft; and
(d) mischief in alcove and vandalism, such as graffiti.

Note to Applicant: Building features proposed in response to this condition should be noted on the plans and elevations. Consider use of a legend or key to features on the drawings. Consultation with the social housing operators and Park Board staff with experience of the more specific CPTED risks in this area is recommended, and should be included the response to this condition.

A.2 Standard Engineering Conditions

A.2.1. arrangements shall be made to the satisfaction of the General Manager of Engineering Services and the Director of Legal Services for the proposed encroachment onto City property. Note: an application to the City Surveyor is required;

Note to Applicant: The handwritten annotation on page DP0.06 indicates a proposed below-grade mechanical pipe crossing within Harwood Street between the two development sites.

A.2.2. provision of final footing design that is contained within the property lines;

Note to Applicant: The generic footings shown on pages DP5.03, 5.11 & 5.20 would encroach onto City streets.

A.2.3. provision of a Sustainable Rainwater Management Plan that utilizes sustainable strategies to allow for infiltration, retention, treatment and utilization of rainwater where applicable and appropriate on site;

A.2.4. provision of a Solid Waste Diversion Strategy that addresses waste diversion in all solid waste generating activities within the complex;

Note to Applicant: The Strategy must identify/provide space, infrastructure and an operational approach to divert organics and recyclables from the waste stream, and minimize the vehicle trips required for collection, to the satisfaction of the General Manager of Engineering Services, and prior to Development Permit issuance the completion of any agreements required by this Strategy on terms and conditions acceptable to the General Manager of Engineering Services and the Director of Legal Services.

A.2.5. provision of a Green Mobility Strategy is required for this site, as this has not been satisfactorily addressed as part of this DE application;

Note to Applicant: If shared vehicle space(s) is proposed for the site, the shared vehicle parking space(s) should preferably be located at-grade for ease of access and to avoid security concerns, be a minimum 2.9m in width, and include completion of a Shared-Vehicle agreement.

A.2.6. clear identification and labeling of all bicycle spaces and bicycle lockers with the title "Bicycle Locker" or "Bicycle Space";

Note to Applicant: labelling spaces as lockers may represent these incorrectly as storage space.

A.2.7. identification on parcel A where the remainder of the Class A bicycle spaces for the Columbus Tower on Parcel B are located and confirmation that they are located on the P1 parking level;

Note to Applicant: these are to be as easily accessible to the residents of the Columbus Tower as possible.

A.2.8. provision of Class A loading spaces is required as a condition of rezoning and does not appear to have been met;

Note to Applicant: the required Class A loading for the building on parcel B should be met on that site.

A.2.9. provision of design elevations at the property line adjacent all entrances and within parking and loading areas;

A.2.10. clarification of why parking spaces E71, E72 and E94 identified as obstructed with mechanical ducts on drawing DP 2.03 are shown labelled as parking space N 06, N 07, & N 0-9 on drawing DP 2.14;

A.2.11. design and location of all crossings, to the satisfaction of the General Manager of Engineering Services. Modify crossing design to avoid existing street tree;

Note to Applicant: Submission of a crossing application is required.

A.2.12. arrangements shall be made, to the satisfaction of the Director of Planning in consultation with the General Manager of Engineering Services, for the provision of required parking for the duration of the project;

A.2.13. clarification of garbage pick-up operations. Confirmation that a waste hauler can access and pick up from the location shown is required;

Note to Applicant: Pick up operations should not require the use of public property for storage, pick up or return of bins to the storage location.

A.2.14. provision of a separate application to the General Manager of Engineering Services for street trees and or sidewalk improvements;

A.2.15. provision of energy demand management measures described in the Low Carbon Solutions Feasibility Study shall be submitted in the form of a final Implementation Plan, to be provided by the Applicant to the satisfaction of the General Manager of Engineering Services;

Note to Applicant: The Implementation Plan will detail how greenhouse gas emissions associated with space and domestic hot water heating of the development as a whole (including both new and existing components) shall be reduced by a minimum of 40% over a business-as-usual approach to space and domestic hot water heating. Business-as-usual will take into consideration the status of the existing buildings and mechanical system at the time of submission of the rezoning application as well as a typical approach to space and domestic hot water heating for new construction. Measures to reduce energy consumption and GHG emissions may include implementation of demand site management strategies (for example,

reducing air leakage within existing buildings, low carbon energy supply, boiler replacement, etc.

A.2.16. provision of a central energy plant serving all new and existing buildings within the development;

Note to Applicant: The location of the central energy plant shall be submitted to and approved by the General Manager of Engineering Services prior to issuance of development permit.

B.1 Standard Notes to Applicant

B.1.1 The applicant is advised to note the comments of the Processing Centre-Building, Vancouver Coastal Health Authority and Fire and Rescue Services Departments contained in the Staff Committee Report dated December 17, 2014. Further, confirmation that these comments have been acknowledged and understood, is required to be submitted in writing as part of the "prior-to" response.

B.1.2 It should be noted that if conditions 1.0 and 2.0 have not been complied with on or before July 12, 2015, this Development Application shall be deemed to be refused, unless the date for compliance is first extended by the Director of Planning.

B.1.3 This approval is subject to any change in the Official Development Plan and the Zoning and Development Bylaw or other regulations affecting the development that occurs before the permit is issuable. No permit that contravenes the bylaw or regulations can be issued.

B.1.4 This approval does not in any way constitute a representation or warranty that the necessary approval of the form of development or enactment of the rezoning will be granted by Council. All proceedings by the applicant prior to action by Council are therefore at his/her own risk.

B.1.5 Revised drawings will not be accepted unless they fulfill all conditions noted above. Further, written explanation describing point-by-point how conditions have been met, must accompany revised drawings. An appointment should be made with the Project Facilitator when the revised drawings are ready for submission.

B.1.6 Details of swimming pools/hot tubs are to be submitted to the Health Department and Provincial Health Engineer, prior to construction.

B.1.7 Provision a letter from the qualified professional confirming that the building permit is consistent with the Implementation Plan.

Note to Applicant: All new and existing buildings within the development shall be provided heat without the use of electric baseboard heaters, distributed heat generating equipment, or heat producing fireplaces. The aforementioned letter must be submitted to and approved by the General Manager of Engineering Services prior to issuance of building permit.

B.1.8 A new development application will be required for any significant changes other than those required by the above-noted conditions.

B.2 Conditions of Development Permit:

B.2.1 All approved off-street vehicle parking, loading and unloading spaces, and bicycle parking spaces shall be provided in accordance with the relevant requirements of the Parking By-law prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.

B.2.2 All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.

B.2.3 All new and existing buildings within the development shall be provided heat without the use of electric baseboard heaters, distributed heat generating equipment, or heat producing

fireplaces. A letter from the qualified professional confirming that the building permit is consistent with the Implementation Plan must be submitted to and approved by the General Manager of Engineering Services prior to issuance of building permit.

B.2.4 All approved street trees shall be planted in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good condition.

B.2.5 In accordance with Protection of Trees By-law Number 9958, the removal and replacement of trees is permitted only as indicated on the approved Development Permit drawings.

B.2.6 A qualified environmental consultant must be available to identify, characterize and appropriately manage any environmental media of suspect quality which may be encountered during subsurface work.

B.2.7 In the event, contamination of any environmental media are encountered, a Notice of Commencement of Independent Remediation must be submitted to the Ministry of Environment and copied to the City of Vancouver.

a) Upon completion of remediation, a Notification of Completion of Independent Remediation must be submitted to the Ministry of Environment and copied to the City of Vancouver.
b) Submit a copy of the completion of remediation report signed by an Approved Professional stating the lands have been remediated to the applicable land use prior to issuance of an Occupancy Permit.

B.2.8 Notice of offsite migration must be submitted to the Ministry of Environment and copied to the City of Vancouver if offsite contaminant migration is suspected or identified. Supporting investigation and remediation data/reports must be provided to the City of Vancouver.

B.2.9 Must comply with all relevant provincial Acts and Regulations (e.g. Environmental Management Act, Contaminated Sites Regulation, hazardous Waste Regulation) and municipal Bylaws (e.g. Fire Bylaw 8191 [s. 4.10.3]).

B.2.10 All services, including telephone, television cables and electricity, shall be completely underground.

B.2.11 Any phasing of the development, other than that specifically approved, that results in an interruption of continuous construction to completion of the development, will require application to amend the development to determine the interim treatment of the incomplete portions of the site to ensure that the phased development functions are as set out in the approved plans, all to the satisfaction of the Director of Planning.

B.2.12 The issuance of this permit does not warrant compliance with the relevant provisions of the Provincial Health and Community Care and Assisted Living Acts. The owner is responsible for obtaining any approvals required under the Health Acts. For more information on required approvals and how to obtain these, please contact Vancouver Coastal Health at 604-675-3800 or visit their offices located on the 12th floor of 601 West Broadway. Should compliance with the Health Acts necessitate changes to this permit and/or approved plans, the owner is responsible for obtaining approval for the changes prior to commencement of any work under this permit. Additional fees may be required to change the plans.

B.2.13 This site is affected by a Development Cost Levy By-law and levies will be required to be paid prior to issuance of Building Permits.

BEACH TOWERS

1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

ARCHITECTURAL DRAWING LIST

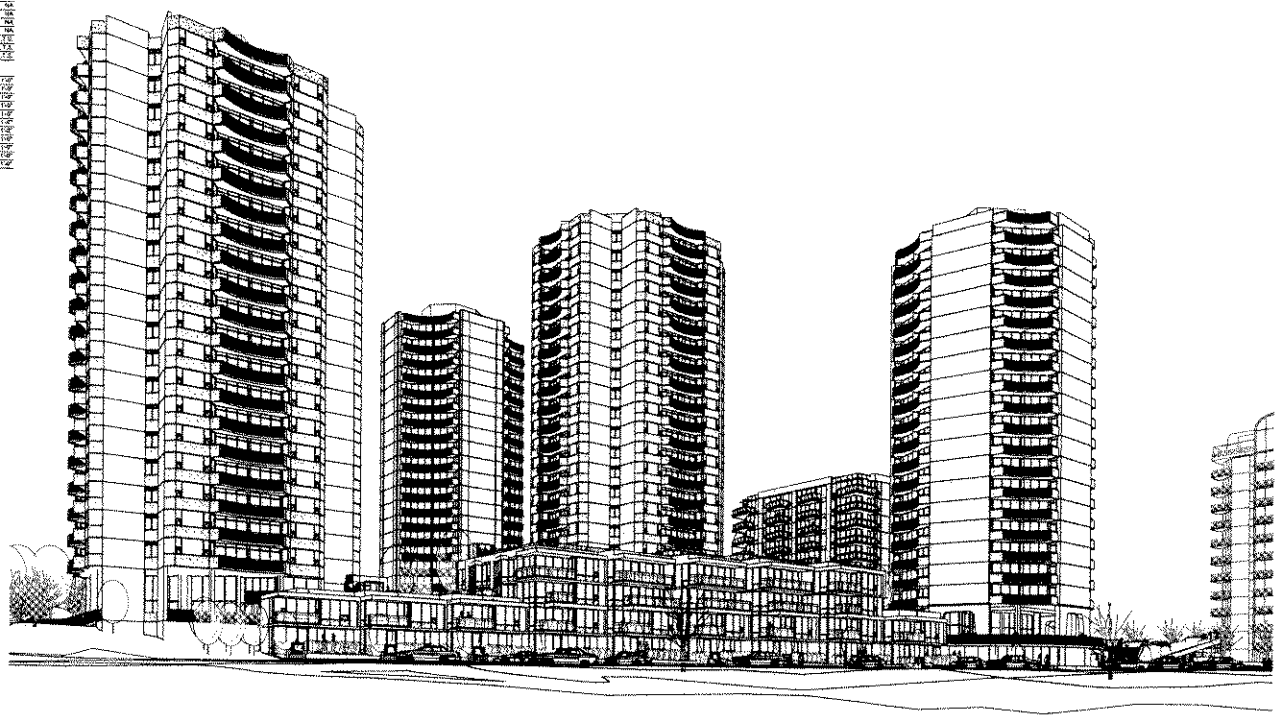
NO.	SHEET TITLE	SCALE
DP0 - GENERAL		
DP0.00	COVERPAGE	
DP0.01	PROJECT INFORMATION	
DP0.02	PROJECT STATISTICS	
DP0.03	CONTEXT PLAN	1/64" = 1'-0"
DP0.03a	CONTEXT PLAN (DPA HIGHRISE BUILDINGS)	
DP0.04	CONTEXT PERSPECTIVE	N.T.S.
DP0.05	SITE PHOTOS	N.T.S.
DP0.06	STREETSCAPE ELEVATIONS	N.T.S.
DP0.08	TOWNSITE SITE PLAN	1/32" = 1'-0"
DP0.09	PROPOSED SITE PLAN	1/32" = 1'-0"
DP0.10	SHADOW STUDY	N.T.S.
DP0.11	VIEW IMPACT STUDY	N.T.S.
DP0.12	SUSTAINABILITY & LEED CHECKLIST	N.T.S.
DP0.13	SUSTAINABILITY SUMMARY	N.T.S.
DP0.14	DESIGN RATIONALE	N.T.S.
DP0.15	DESIGN RATIONALE	N.T.S.
DP0.16	MEWS VIEW ANALYSIS	N.T.S.
DP0.17	MEWS VIEW ANALYSIS	N.T.S.
DP0.18	MEWS VIEW ANALYSIS	N.T.S.
DP0.19	MEWS MASSING STUDY	N.T.S.
DP0.20	MEWS MASSING STUDY	N.T.S.
DP0.21	PERSPECTIVES RENDERING	N.T.S.
DP0.22	PERSPECTIVES RENDERING	N.T.S.
DP0.23	PERSPECTIVES RENDERING	N.T.S.
DP0.24	PERSPECTIVES RENDERING	N.T.S.
DP0.25	PERSPECTIVES RENDERING	N.T.S.
DP0.26	PERSPECTIVES RENDERING	N.T.S.
DP0.27	PERSPECTIVES RENDERING	N.T.S.
DP0.28	PERSPECTIVES RENDERING	N.T.S.
DP0.29	TOWER 3 (MIX) - VIEW ANALYSIS	N.T.S.
DP0.30	TOWER 3 (MIX) - VIEW ANALYSIS	N.T.S.
DP0.31	TOWER 3 (MIX) - VIEW ANALYSIS	N.T.S.
DP0.32	TOWER 3 (MIX) - VIEW ANALYSIS	N.T.S.
DP0.33	AERIAL VIEW FROM SOUTHWEST	N.T.S.
DP0.34	AERIAL VIEW FROM SOUTHWEST	N.T.S.
DP0.35	SITE PERSPECTIVES	N.T.S.
DP0.36	BUILDING PERSPECTIVES	N.T.S.
DP0.37	BUILDING PERSPECTIVES	N.T.S.
DP0.38	STREETSCAPE VIEWS	N.T.S.
DP0.39	STREETSCAPE VIEWS	N.T.S.
DP0.40	STREETSCAPE VIEWS	N.T.S.
DP0.41	STREETSCAPE VIEWS	N.T.S.
DP0.42	LOW RISE PERSPECTIVES	N.T.S.
DP0.43	LOW RISE PERSPECTIVES	N.T.S.
DP0.44	LOW RISE PERSPECTIVES	N.T.S.
DP0.45	LOW RISE PERSPECTIVES	N.T.S.
DP0.46	MEWS PERSPECTIVES	N.T.S.
DP0.47	MEWS PERSPECTIVES	N.T.S.
DP0.48	HARWOOD TOWNHOUSE PERSPECTIVES	N.T.S.
DP0.49	HARWOOD TOWNHOUSE PERSPECTIVE	N.T.S.
DP0.50	MEWS PERSPECTIVE SECTION	N.T.S.
DP0.51	CHARGE PERSPECTIVE SECTION	N.T.S.
DP0.52	HARWOOD PERSPECTIVE SECTION	N.T.S.
DP0.53	MEWS - CAR CROSS VIEW	N.T.S.
DP1 - SITE INFO		
DP1.00	SITE DRAINAGE	1/32" = 1'-0"
DP1.01	COVERAGE OUTRIGHT DIAGRAM	1/32" = 1'-0"
DP1.02	MERGE, AMENITY & PARCEL B SETBACK DIAGRAM	1/32" = 1'-0"
DP1.03	BUILDING GRADE & SITE SURVEY (PARCEL A & B)	N.T.S.
DP1.04	SITE SURVEY DIAGRAMS	N.T.S.
DP2 - OVERALL PLANS		
DP2.00	OVERALL EXISTING PARKING PLAN (PLAN)	1/32" = 1'-0"
DP2.01	OVERALL EXISTING PARKING PLAN	1/32" = 1'-0"
DP2.02	OVERALL EXISTING LEVEL 1 PLAN	1/32" = 1'-0"
DP2.03	OVERALL EXISTING LEVEL 2 PLAN	1/32" = 1'-0"
DP2.04	OVERALL EXISTING TYPICAL LEVEL	1/32" = 1'-0"
DP2.05	OVERALL EXISTING ROOF PLAN	1/32" = 1'-0"
DP2.06	PARCEL A INTERMEDIATE	1/32" = 1'-0"
DP2.07	PARCEL A FINAL	1/32" = 1'-0"
DP2.08	PARCEL A (1) PARKING PLAN	1/32" = 1'-0"
DP2.09	PARCEL A (2) PARKING PLAN	1/32" = 1'-0"
DP2.10	PARCEL A (3) PARKING PLAN	1/32" = 1'-0"
DP2.11	LEVEL 1 PLAN	1/32" = 1'-0"
DP2.12	LEVEL 2 PLAN	1/32" = 1'-0"
DP2.13	LEVEL 3 PLAN	1/32" = 1'-0"
DP2.14	LEVEL 4 PLAN	1/32" = 1'-0"
DP2.15	ROOF PLAN	1/32" = 1'-0"
DP3 - ENLARGED PLANS		
DP3.00	COVERAGE LEVEL P3 PLAN	1/8" = 1'-0"
DP3.01	COVERAGE LEVEL P2 PLAN	1/8" = 1'-0"
DP3.02	COVERAGE LEVEL 1 PLAN	1/8" = 1'-0"
DP3.03	COVERAGE LEVEL 2 PLAN	1/8" = 1'-0"
DP3.04	COVERAGE ROOF PLAN	1/8" = 1'-0"
DP3.05	MEWS LEVEL 1 PLAN	1/8" = 1'-0"
DP3.06	MEWS LEVEL 2 PLAN	1/8" = 1'-0"
DP3.07	MEWS LEVEL 3A PLAN	1/8" = 1'-0"
DP3.08	MEWS LEVEL 3 PLAN	1/8" = 1'-0"
DP3.09	MEWS ROOF PLAN	1/8" = 1'-0"
DP3.10	HARWOOD TOWNHOUSE LEVEL P1 PLAN	1/8" = 1'-0"
DP3.11	HARWOOD TOWNHOUSE LEVEL 1 PLAN	1/8" = 1'-0"
DP3.12	HARWOOD TOWNHOUSE LEVEL 2 PLAN	1/8" = 1'-0"
DP3.13	HARWOOD TOWNHOUSE LEVEL 3 PLAN	1/8" = 1'-0"
DP3.14	HARWOOD TOWNHOUSE ROOF PLAN	1/8" = 1'-0"
DP3.15	AMENITY PLAN	1/8" = 1'-0"
DP3.16	TOWER A (MIX) PLAN	1/8" = 1'-0"
DP3.17	TOWER B (MIX) PLAN	1/8" = 1'-0"
DP3.18	TOWER C (MIX) PLAN	1/8" = 1'-0"
DP4 - ELEVATIONS		
DP4.00	COVERAGE ELEVATIONS	1/8" = 1'-0"
DP4.01	MEWS EAST & SOUTH ELEVATIONS	1/8" = 1'-0"
DP4.02	MEWS WEST & NORTH ELEVATIONS	1/8" = 1'-0"
DP4.03	HARWOOD TOWNHOUSE ELEVATIONS	1/8" = 1'-0"
DP4.04	HARWOOD TOWNHOUSE ELEVATIONS	1/8" = 1'-0"
DP4.05	AMENITY & TOWER A (MIX) ELEVATIONS	1/8" = 1'-0"
DP4.06	AMENITY & TOWER B (MIX) ELEVATIONS	1/8" = 1'-0"
DP5 - SECTIONS		
DP5.00	BUILDING SECTIONS 1	1/32" = 1'-0"
DP5.01	BUILDING SECTIONS 2	1/32" = 1'-0"
DP5.02	BUILDING SECTIONS 3	1/32" = 1'-0"
DP5.03	BUILDING SECTIONS 4	1/32" = 1'-0"
DP5.04	BUILDING SECTIONS	1/8" = 1'-0"
DP5.05	BUILDING SECTIONS	1/8" = 1'-0"
DP5.06	STREET SCAPE SECTIONS	1/8" = 1'-0"

ARCHITECTURAL DRAWING LIST

NO.	SHEET TITLE	SCALE
DP6 - DRAWINGS & FSR OVERLAYS		
DP6.00	BUILDING GRADE PLAN DIAGRAM	N.T.S.
DP6.01	COVERAGE HORIZONTAL ANGLE OF DAYLIGHT	1/32" = 1'-0"
DP6.02	MEWS HORIZONTAL ANGLE OF DAYLIGHT	1/32" = 1'-0"
DP6.03	TOWNHOUSE HORIZONTAL ANGLE OF DAYLIGHT	1/32" = 1'-0"
DP6.04	FSR SUMMARY STATISTICS	N.T.S.
DP6.05	COVERAGE LEVEL P3 FSR OVERLAY	1/8" = 1'-0"
DP6.06	COVERAGE LEVEL P2 FSR OVERLAY	1/8" = 1'-0"
DP6.07	COVERAGE LEVEL 1 (MIX) FSR OVERLAY	1/8" = 1'-0"
DP6.08	COVERAGE ROOF FSR OVERLAY	1/8" = 1'-0"
DP6.09	MEWS(MIX) LEVEL 1 FSR OVERLAY	1/8" = 1'-0"
DP6.10	MEWS(MIX) LEVEL 2 FSR OVERLAY	1/8" = 1'-0"
DP6.11	MEWS(MIX) LEVEL 3A FSR OVERLAY	1/8" = 1'-0"
DP6.12	MEWS(MIX) LEVEL 3 FSR OVERLAY	1/8" = 1'-0"
DP6.13	MEWS(MIX) ROOF FSR OVERLAY	1/8" = 1'-0"
DP6.14	HARWOOD TOWNHOUSE LEVEL 1 FSR OVERLAY	1/8" = 1'-0"
DP6.15	HARWOOD TOWNHOUSE LEVEL 2 FSR OVERLAY	1/8" = 1'-0"
DP6.16	HARWOOD TOWNHOUSE LEVEL 3 FSR OVERLAY	1/8" = 1'-0"
DP6.17	TOWER A (MIX) FSR OVERLAY	1/8" = 1'-0"
DP6.18	TOWER B (MIX) FSR OVERLAY	1/8" = 1'-0"
DP6.19	TOWER C (MIX) & AMENITY FSR OVERLAY	1/8" = 1'-0"

LANDSCAPE DRAWING LIST

NO.	SHEET TITLE	SCALE
DP7.1 - MATERIAL PLAN		
DP7.100	OVERALL LANDSCAPE PLAN	1/32" = 1'-0"
DP7.101	MATERIAL PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.102	MATERIAL PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.103	MATERIAL PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.104	MATERIAL PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.105	MATERIAL PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.106	MATERIAL PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.107	MATERIAL PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.108	MATERIAL PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.109	MATERIAL PLAN - PARKING LEVEL 1	1/16" = 1'-0"
DP7.110	MATERIAL PLAN - PARKING LEVEL 1	1/16" = 1'-0"
DP7.111	MATERIAL PLAN - PARKING LEVEL 1	1/16" = 1'-0"
DP7.112	MATERIAL PLAN - COVERAGE ROOF LEVEL	1/16" = 1'-0"
DP7.2 - SITE DETAILS		
DP7.201	SITE DETAILS	NS
DP7.202	SITE DETAILS	NS
DP7.203	SITE DETAILS	NS
DP7.204	SITE DETAILS	NS
DP7.205	SITE DETAILS	N.T.S.
DP7.206	SITE DETAILS	N.T.S.
DP7.207	SITE DETAILS	N.T.S.
DP7.3 - PLANTING PLAN		
DP7.300	PLANTING LEGEND	
DP7.301	PLANTING PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.302	PLANTING PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.303	PLANTING PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.304	PLANTING PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.305	PLANTING PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.306	PLANTING PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.307	PLANTING PLAN - GROUND FLOOR	1/16" = 1'-0"
DP7.308	PLANTING PLAN - PARKING LEVEL 1	1/16" = 1'-0"
DP7.309	PLANTING PLAN - PARKING LEVEL 1	1/16" = 1'-0"
DP7.310	PLANTING PLAN - PARKING LEVEL 1	1/16" = 1'-0"
DP7.311	TREE PLAN	1/16" = 1'-0"



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DEVONSHIRE PROPERTIES INC.
(BEACH TOWERS INVESTMENT INC. & ENGLISH BAY INVESTMENTS INC.)

ISSUED FOR DP APPLICATION
DATE: JULY 09, 2014

Date: 2014-07-09
Project No: 26999
Scale:

DP0.00

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Acoustic Consultant

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Associates
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Vancouver, BC V6B 2Y5
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Project Particulars

Property Address

PARCEL A

1600 Beach Avenue
Lot 'A' Except Portions in Ex. Pl. 9688
Block 83, District Lot 185
Group 1, NWD Plan 11809
Vancouver BC

PARCEL B

1651 Harwood Street
The East Half and West Half of Lots 27 to 29
Block 83, District Lot 185, Group 1, NWD, Plan 92
Vancouver BC

Applicable Zoning, Policies & Guidelines

- RM-5, RM-5A, RM-5B, and RM-5C Districts Schedule
- Eco-Density Charter
- STIR (Short Term Incentives for Rental)
- Rezoning Policy for Greener Buildings
- West End RM-5, RM-5A, RM-5B and RM-5C Guidelines
- West End Residential Areas Policy Plan
- Housing Families with Children at High Densities Guidelines

Site Description

Built in the mid 1960's Beach Towers is one of Vancouver's best known and iconic rental housing complexes. The Property comprises 607 existing rental apartments in four towers on two sites – 1600 Beach Avenue (Parcel A) and 1651 Harwood Street (Parcel B). The existing towers range in height from 19 to 21 floors. The combined area of the two sites is approximately 115,700 sq ft (2.7 acres) and each is zoned RM-5A. To the West is Beach Avenue and English Bay; to the South and East are a variety of residential apartment buildings; and to the North is Alexandra Park.

Current Site

The current site is very under utilized, composed mostly of surface parking accessable from Harwood street, with two more parking entrances off Bidwell and Cardero. Along Beach the above grade Parking's blank facade stretches from one end of the site to the other. Due to the sloping nature of the site, a mid-level hard-scaped plaza exists. This space is rarely utilized with no amenities or security for visitors.

GENERAL NOTES:

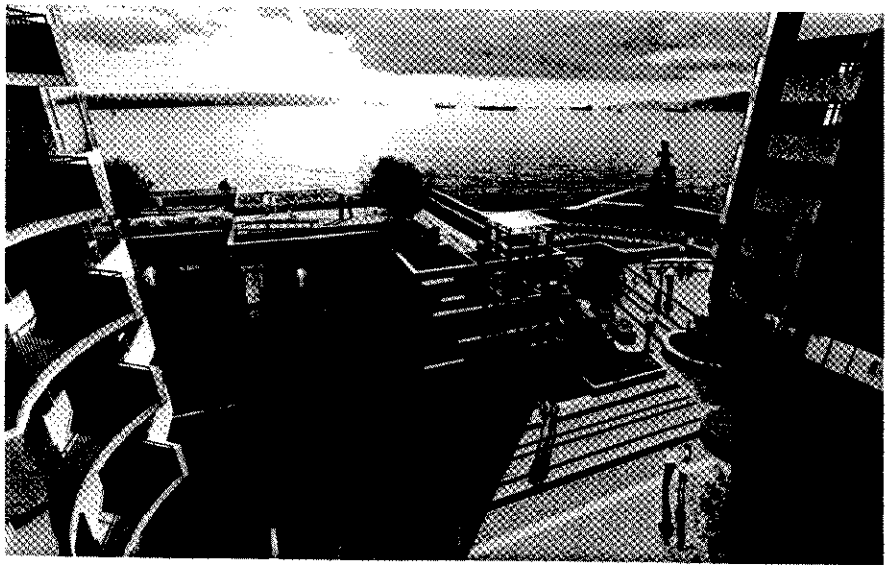
1) THE DESIGN OF THE PARKING STRUCTURE REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH SECTION 4.13 OF THE PARKING BY-LAW

2) THE DESIGN OF THE BICYCLE SPACES (INCLUDING BICYCLE ROOMS, COMPOUNDS, LOCKERS, AND/OR REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF SECTION 6 OF THE PARKING BY-LAW.

3) DESIGN DEVELOPMENT TO LOCATE, INTEGRATE AND FULL SCREEN ANY EMERGENCY GENERATOR, EXHAUST OR INTAKE VENTILATION, ELECTRICAL SUBSTATION AND GAS METERS IN A MANNER THAT MINIMIZES THEIR VISUAL AND ACOUSTIC IMPACTS ON THE BUILDING'S OPEN SPACE AND PUBLIC REALM.

4) MECHANICAL EQUIPMENT (VENTILATORS, GENERATORS, COMPACTORS AND EXHAUST SYSTEM) SHALL BE DESIGNED AND LOCATED TO MINIMIZE NOISE IMPACTS ON THE NEIGHBORHOOD AND COMPLY WITH NOISE BY-LAW 6555.

5) THE ACOUSTICAL MEASURES WILL BE INCORPORATED INTO THE FINAL DESIGN AND CONSTRUCTION BASED ON THE CONSULTANT'S RECOMMENDATIONS.



CLIENT
DEVONSHIRE PROPERTIES INC.
(BEACH TOWERS INVESTMENT INC. & ENGLISH BAY INVESTMENTS INC.)

COPYRIGHT

NO.	DATE	DESCRIPTION
1	2014-07-08	ISSUED FOR REVIEW

ISSUED

NO.	DATE	APPR.	DESCRIPTION

REVISIONS

KEYPLAN

SUB-CONSULTANT

PRIME CONSULTANT
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PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO	20999
DRAWN BY	RK
CHKD BY	Chkdbw
SCALE	
DATE	JULY 08, 2014

SHEET TITLE
PROJECT INFORMATION

SHEET NUMBER **DP0.01a** REV

File Location: D:\dbprojects\Documents\A13-20999-Beach Ave CONTROL 2014_rgrm.rvt
Last Saved: 7/8/2014 9:41:43 AM

PARCEL A | Building B — MIDRISE AT THE CORNER OF HARWOOD & CARDERO

	Level	Gross Area	Exclusion			Sub-Total	FSR Total	Open Balcony
T.O.P.	Roof							
	Mech							
	Level 8	7,069 SF			34 SF	34 SF	7,035 SF	1,085 SF
	Level 7	7,629 SF	314 SF		52 SF	366 SF	7,263 SF	674 SF
	Level 6	7,628 SF	314 SF		52 SF	366 SF	7,262 SF	674 SF
	Level 5	7,629 SF	314 SF		52 SF	366 SF	7,262 SF	674 SF
	Level 4	7,629 SF	314 SF		52 SF	366 SF	7,263 SF	674 SF
	Level 3	7,629 SF	314 SF		52 SF	366 SF	7,262 SF	674 SF
	Level 2	7,628 SF	314 SF		52 SF	366 SF	7,262 SF	674 SF
	Level 1	7,339 SF					6,929 SF	538 SF
LOBBY	Level 1	7,337 SF					6,920 SF	
		[illegible]	[illegible]			[illegible]	[illegible]	[illegible]

Studio	1BR	2BR	3BR	Total
	4	5		9
	5	6		11
	5	6		11
	5	6		11
	5	6		11
	5	6		11
	6	5		11
	8	3		11
2	6	3		11
[illegible]	[illegible]	[illegible]		97

PARCEL A | Building A — LOWRISE + TOWNHOUSE ALONG BEACH AVENUE

	Level	Gross Area	Exclusion			Sub-Total	FSR Total	Open Balcony
T.O.P.	Roof							
Lowrise	Level 2	7,192 SF	75 SF	106 SF	78 SF	259 SF	6,933 SF	516 SF
Lowrise	Level 1	7,198 SF		240 SF	49 SF	329 SF	6,869 SF	418 SF
TH	Level P1	4,488 SF			38 SF	38 SF	4,450 SF	564 SF
TH	Level P2	4,477 SF		368 SF	52 SF	421 SF	4,056 SF	
		[illegible]	354 SF	36 SF	410 SF	[illegible]	[illegible]	[illegible]

PARCEL B | Building C — HARWOOD TOWNHOUSE ALONG HARWOOD STREET

	Level	Gross Area	Exclusion			Sub-Total	FSR Total	Open Balcony
T.O.P.	Roof							
TH	Level 3	4,509 SF			112 SF	487 SF	4,387 SF	376 SF
TH	Level 2	4,509 SF		265 SF	96 SF	374 SF	4,124 SF	133 SF
TH	Level 1	2,602 SF		186 SF	33 SF	238 SF	2,363 SF	
		[illegible]				[illegible]	[illegible]	[illegible]

PARCEL A | Building D — AMENITY FACILITY AT CORNER OF BEACH + CARDERO

Level	Gross Area		Security Exclusion	FSR Total
Level P2	3,817 SF	4,690 SF	8,507 SF	0 SF

PARCEL B — INFILL AROUND EXISTING TOWERS

Level	Tower A (Douglas)	Tower B (Laurier)	Tower C (MacDonald)	Sub-Total	Exclusion								Sub-Total	FSR Total
Level 1	1,351 SF	1,309 SF	3,299 SF	5,958 SF	1,476 SF	128 SF	782 SF	168 SF	9 SF	1,231 SF		33 SF	3,961 SF	2,367 SF
Level P1	1,922 SF			1,923 SF	1,923 SF								1,923 SF	0 SF
	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]								[illegible]	2,367 SF

SITE TOTAL

Parcel Location	Gross Area	FSR Exclusion	FSR Total	Open Balcony Area	Percentage
PARCEL A	107,301 SF	18,279 SF	89,022 SF	7,188 SF	8.2%
PARCEL B	11,516 SF	732 SF	10,884 SF	553 SF	4.7%
	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]

Parcel Location	Studio	1 BR	2 BR	3 BR	Total
PARCEL A	2	46	64	6	118
PARCEL B	2	3	10		15
	4	49	74	6	133

* NOTE: 133 NEW UNITS + 1 TWO-BEDROOM UNIT (CHANGE OF USE) AT LAURIER TOWER

PARKING REQUIREMENTS

	Area		Required				Provided			
	Imperial	Metric	Res. (R)	Visitor (V)	HC	R+V+HC	Res. (R)	Visitor (V)	HC	R+V+HC
Existing	298,936.48 SF	27,772.29 m²	180				188			200
Proposed	89,022.38 SF	8,270.45 m²	38	10	8		108	9	5	121
Subtotal	387,960.86 SF	36,042.74 m²	201				304			321
Existing	85,388.62 SF	7,933.50 m²	82				72			73
Proposed	10,883.78 SF	1,011.14 m²	7		2		18		2	21
Subtotal	96,272.26 SF	8,944.63 m²	89				89			93
Total	484,240.15 SF	44,987.38 m²	321	10	10	341	393	9	10	414

PARKING FORMULA
Per VBBL - Section 4.5A.1 (A minimum of one space per 100m² of Gross floor area)

Per VBBL - Section 4.8.4.7 a. multiple dwelling or live-work use, there must be at least one disability parking space for each building that contains at least seven residential units and an additional 0.034 space; b. non-residential uses, there must be at least one disability parking space for each building that contains at least 500 m² of gross floor area and an additional 0.4 parking space for each 1000 m² of gross floor area)

	EXISTING STALLS	NEW STALLS	TOTAL STALLS
GROUND			
P1 LEVEL	76	13	89
P2 LEVEL	72	20	92
P3 LEVEL	52	27	89
SUBTOTAL	200	81	113
		321	321
GROUND LEVEL	19	13	32
P1 LEVEL	53	8	61
SUBTOTAL	72	21	93
			414

Type	Count	Percentage
PARCEL A		
Compact Stall	3	0.7%
Handicap Stall	8	1.9%
Regular Stall	258	62.3%
Small Stall	52	12.6%
	321	
PARCEL B		
Handicap Stall	2	0.5%
Regular Stall	87	21%
Small Stall	4	1%
	93	
Grand total	414	

BICYCLE PARKING REQUIREMENTS

	No. of Units	Required		Provided				
		CLASS A	CLASS B	CLASS A Horizontal	Vertical	Bike Locker	Sub-Total	CLASS B
PARCEL A								
EXISTING	449	461						
PROPOSED	118	136	6	405	202	195	852	6
SUB-TOTAL	568	712						
PARCEL B								
EXISTING	153	186						
PROPOSED	16	19	6	20	38		67	6
SUB-TOTAL	167	205						
TOTAL	736	916	12	363	273	284	919	12

PARKING FORMULA
Per VBBL - Section 6.2.1.2 (Class A - a minimum of 1.25 spaces for every dwelling unit)
(Class B - a minimum of 6 spaces for any development containing a min. of 20 dwelling units)

	PARCEL A	PARCEL B	TOTAL
GROUND		26	26
P1 LEVEL	282	41	323
P2 LEVEL	141		141
P3 LEVEL	429		429
TOTAL	852	67	919

* NOTE: PER THE REZONING REVIEW, BIKE STALLS REQUIRED FOR PARCEL B CAN BE PLACED IN FULL OR PARTIAL IN PARCEL A

A TOTAL OF 108 BIKE STALLS ARE REQUIRED FOR PARCEL B - (142 Nos. OF WHICH ARE ALLOCATED IN PARCEL A & 67 Nos ARE ALLOCATED IN PARCEL B)

Type	Count	Percentage
Parcel A		
Bike Locker	241	26.8%
Horizontal	351	38.2%
Vertical	258	28.1%
	852	
Parcel B		
Bike Locker	41	4.5%
Horizontal	12	1.3%
Vertical	14	1.5%
	67	
Grand total	919	

Type	Count	Percentage
COMBINED		
Bike Locker	284	30.9%
Horizontal	363	39.5%
Vertical	272	29.6%
Grand total	919	

UNIT BREAKDOWN

	Unit Range	Unit No. and Areas
Lowrise Townhouse Units (P2/P1)		
2 Bedroom Unit	964-1,068 SF	9
Total No. of Units		9
Lowrise from Ground (Lower + Upper Level)		
1 Bedroom Unit	NONE	0
2 Bedroom Unit	1,067-1,233 SF	6
3 Bedroom Unit	1,148-1,341 SF	6
Total No. of Units		12
Total No. of Bldg A Units		21
Ground Floor		
Studio	377-396 SF	2
1 Bedroom Unit	425-557 SF	5
2 Bedroom Unit	846-811 SF	3
Total No. of Units		11
Level 2		
Studio	NONE	0
1 Bedroom Unit	461-631 SF	5
2 Bedroom Unit	584-741 SF	6
Total No. of Units		11
Level 3-8		
1 Bedroom Unit	421-530 SF	30
2 Bedroom Unit	550-798 SF	36
Total No. of Units		66
Level 9		
1 Bedroom Unit	525-652 SF	4
2 Bedroom Unit	676-882 SF	5
Total No. of Units		9
Total No. of Bldg B Units		97
Ground Floor		
Studio	417-434 SF	2
1 Bedroom Unit	574-592 SF	3
Total No. of Units		5
Level 2/3		
2 Bedroom Unit	686-835 SF	10
Total No. of Units		10
Total No. of Bldg C Units		15
Total No. of Units		133

* NOTE: 133 NEW UNITS + 1 TWO-BEDROOM UNIT (CHANGE OF USE) AT LAURIER TOWER

Unit Breakdown per Parcel		No. of Units
Beach Avenue (PARCEL A)		
Studio		2
1 Bedroom Unit		46
2 Bedroom Unit		65
3 Bedroom Unit		6
Subtotal		118
Harwood Street (PARCEL B)		
Studio		2
1 Bedroom Unit		3
2 Bedroom Unit		10
Subtotal		15
Combined (PARCEL A + B)		
Studio		4
1 Bedroom Unit		49
2 Bedroom Unit		75
3 Bedroom Unit		6
Total		133

* NOTE: 133 NEW UNITS + 1 TWO-BEDROOM UNIT (CHANGE OF USE) AT LAURIER TOWER

SUMMARY

Zoning: RM-5a ZONING

Site Dimensions: PARCEL A (WEST PARCEL): 91.64' (BIDWELL) x 462.72' (HARWOOD) x 285.67' (CARDERO) x 502.63' (BEACH)

PARCEL B (EAST PARCEL): 131' x 198'

Site Area: 88,863 SF (8,330 m²) (0.833 ha, on Survey Dwgs)

Site Setbacks:

	PERMITTED		PROPOSED	
FRONT (EAST)	12'-0"	(3.7 m)	12'-0"	(3.7 m)
FRONT (NORTH)	12'-0"	(3.7 m)	12'-0"	(3.7 m)
FRONT (SOUTH)	12'-0"	(3.7 m)	12'-0"	(3.7 m) (15'-0" on Midrise Bldg)
FRONT (WEST)	12'-0"	(3.7 m)	12'-0"	(3.7 m)

Building Height:

	PERMITTED		PROPOSED	
MIDRISE	93.18'	(28.40 m)	93.18'	(28.40 m)
LOWRISE	38.64'	(11.83 m)	38.64'	(11.66 m)
AMENITY	13.29'	(4.05 m)	13.29'	(4.05 m)

NOTE: Height measured from the Base Point

FSR for New Development

PERMITTED: 89,043 SF (8,276.4 m²) PROPOSED: 89,022 SF (8,270.45 m²)

FSR Breakdown

	Existing	Infill at Base of Towers	Lowrise	Midrise	Sub-total	Total
FSR Area	298,938 SF	2,367 SF	22,349 SF	64,306 SF	89,022 SF	387,961 SF
FSR	3.32	0.03	0.25	0.72	0.99	4.32
No. of Units	449		21	97	118	566
No. of Floors	TWR A - 18; TWR B & C - 20	1	6	10		
New Amenity						
Site Coverage	19.35%		16.09%			35.34%

Site Area: 25,947 SF (2,410 m²) (0.241 ha, on Survey Dwgs)

Site Setbacks:

	PERMITTED		PROPOSED	
FRONT (WEST)	12'-0"	(3.7 m)	12'-0"	(3.7 m)
REAR (EAST)	6'-0"	(2.1 m)	10'-0"	(3.0 m)
SIDE (NORTH)	6'-9"	(2.1 m)	6'-9"	(2.1 m)
SIDE (SOUTH)	6'-9"	(2.1 m)	6'-9"	(2.1 m)

Building Height:

	PERMITTED		PROPOSED	
HARWOOD	33.79'	(10.30 m)	33.79'	(10.30 m)

NOTE: Height measured from the Base Point

FSR for New Development

PERMITTED: 10,894 SF (1,013.1 m²) PROPOSED: 10,884 SF (1,011.14 m²)

FSR Breakdown

	Existing		Total
FSR Area	85,395 SF	10,884 SF	96,279 SF
FSR	3.29	0.42	3.71
No. of Units	152	15	167
No. of Floors	21	4	
Site Coverage	17.10%	13.35%	30.45%

COMBINED TOTAL (PARCEL A + PARCEL B)

Site Area: 10746 m² 115,666 SF

	Existing		Total
Proposed Exclusions			
FSR Area	384,334 SF	99,906 SF	484,240 SF
FSR	3.32	0.86	4.18
No. Of Units	601	133	734
New + Renovated Amenity			9,340 SF

VEHICLE AND BICYCLE PARKING SUMMARY

	MIN. REQUIREMENT	PROPOSED
PARKING	343	414
BIKE PARKING (CLASS A)	919	919
BIKE PARKING (CLASS B)	12	12
LOADING PARCEL A	3 CLASS B	3 CLASS A & 2 CLASS B*
LOADING PARCEL B	1 CLASS B	1 CLASS B

* NOTE: 2 Class A replaces 1 Class B Loading Stall

[illegible]

[illegible]

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1	2014-07-08	[illegible]

ISSUES

NO.	DATE	APPR	DESCRIPTION

REVISIONS

KEYPLAN

SUB-CONSULTANT

PRIME CONSULTANT
IBI / HB ARCHITECTS
700 – 1285 West Pender Street
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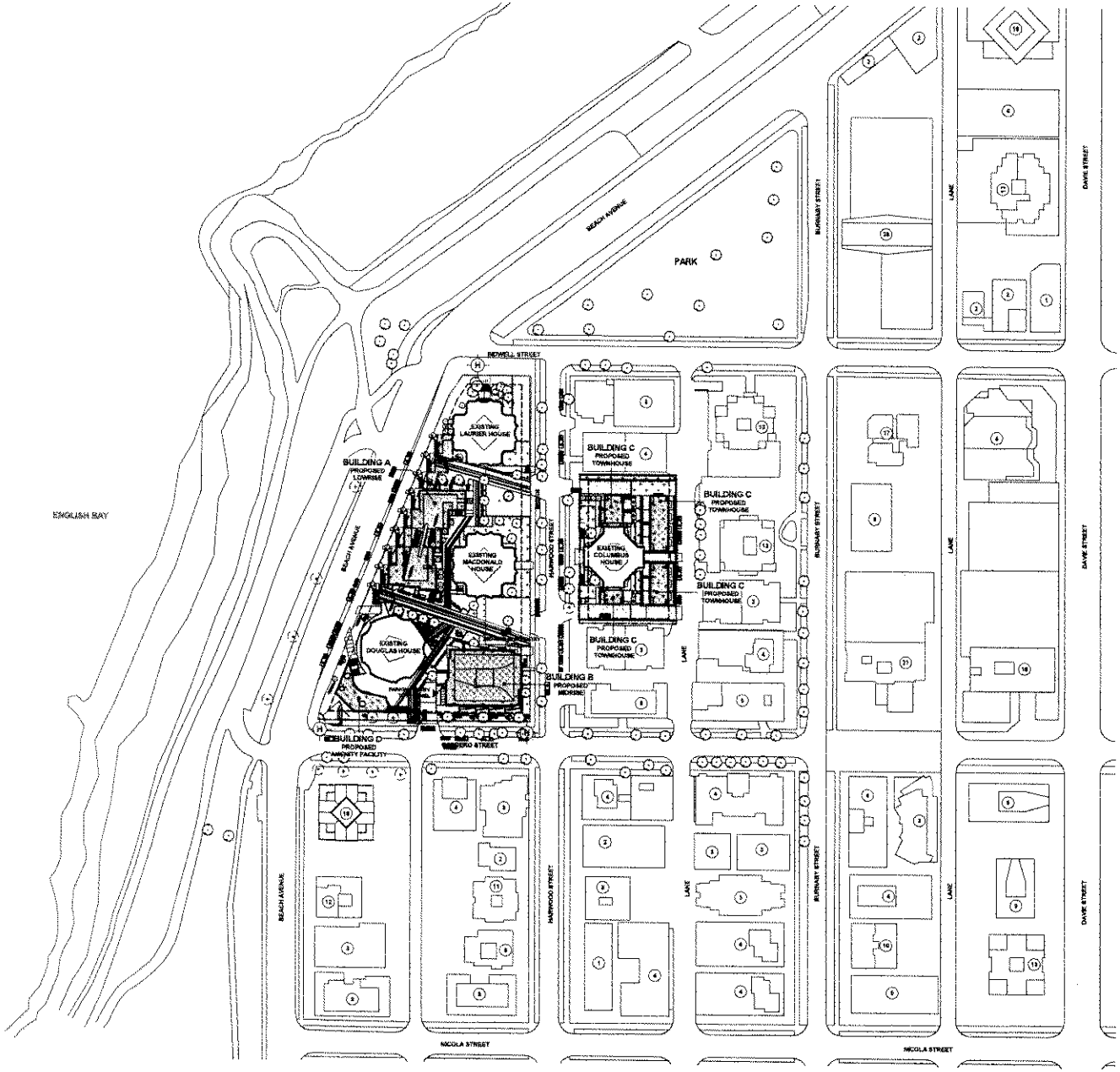
ibigroup.com

PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO. 26999
DRAWN BY PK
CHK'D BY SN
SCALE -
DATE JULY 08, 2014

SHEET TITLE
PROJECT STATISTICS

SHEET NUMBER
DP0.01b
REV



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NO.	DATE	APPR	DESCRIPTION

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PROJECT NORTH

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PRIME CONSULTANT

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IBI / HB ARCHITECTS
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PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	25899
DRAWN BY	SY, ES
CHKD BY	BN
SCALE	1/64" = 1'-0"
DATE	JULY 08, 2014

SHEET TITLE:

CONTEXT PLAN

SHEET NUMBER

DP0.02

REV

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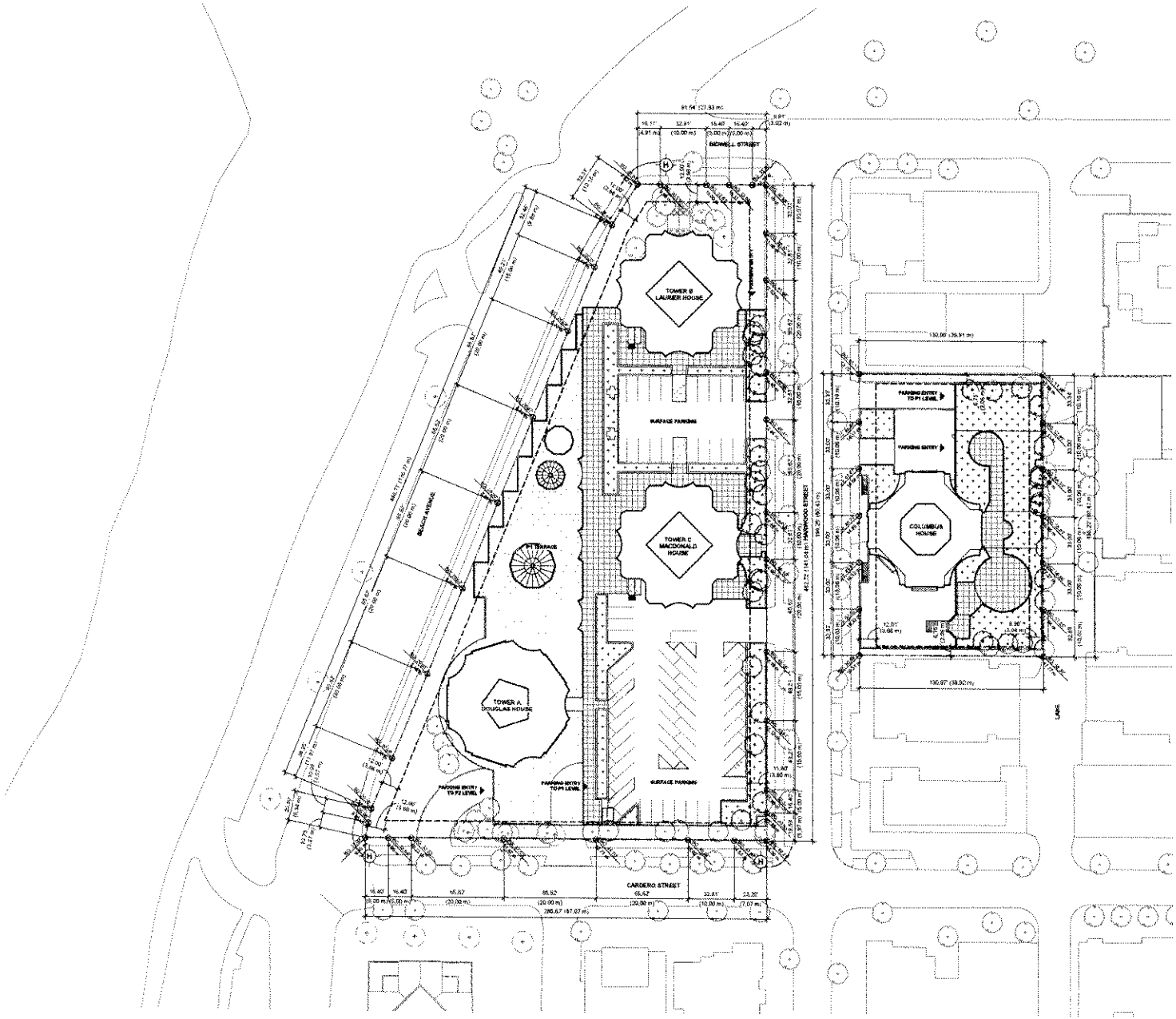
Appendix C ; page 4 of



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NO.	DATE	DESCRIPTION
1	2014-07-08	ISSUED FOR DP APPLICATION

ISSUES

NO.	DATE	APVR	DESCRIPTION

REVISIONS

PROJECT NORTH

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SUB-CONSULTANT

PRIME CONSULTANT

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ibigroup.com

PROJECT TITLE

BEACH TOWERS

1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO:	26999
DRAWN BY:	SY EG
CHKD BY:	DK
SCALE:	1/32" = 1'-0"
DATE:	JUL 7 08, 2014

SHEET TITLE

CURRENT SITE PLAN

SHEET NUMBER **DP0.05** REV

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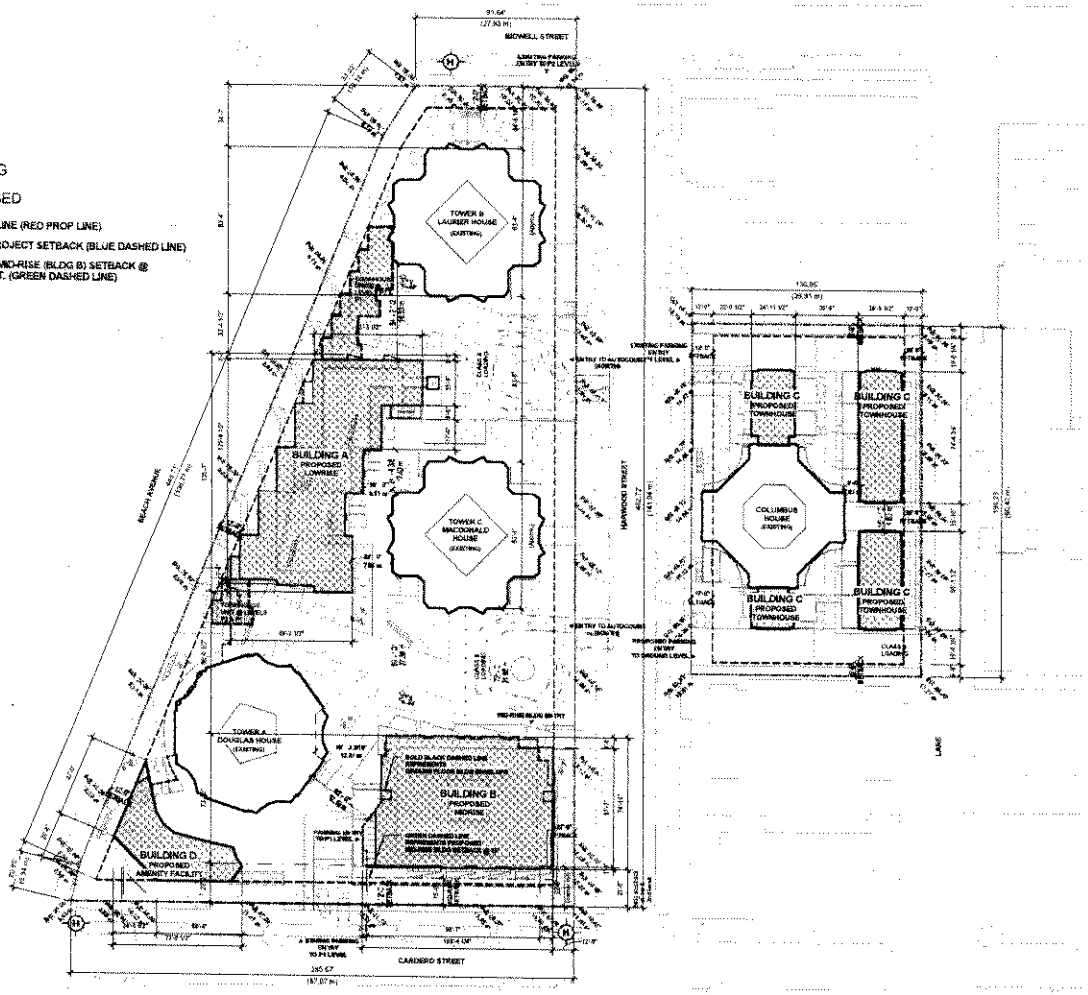

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1	2014-07-08	ISSUED FOR REVIEW

ISSUED

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PROJECT NORTH
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PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO	26999
DRAWN BY	SV, ES
CHKD BY	SN
SCALE	1/32" = 1'-0"
DATE	JULY 09, 2014

SHEET TITLE
PROPOSED SITE PLAN

SHEET NUMBER
DP0.06
REV

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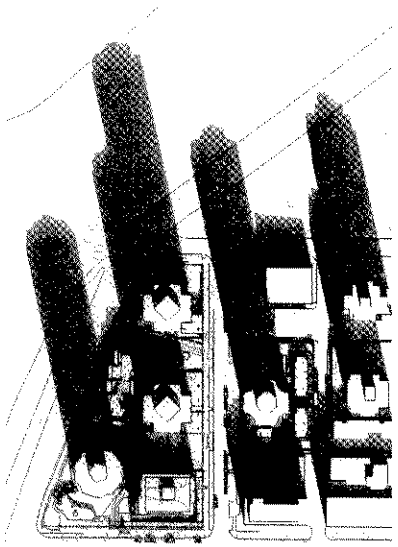
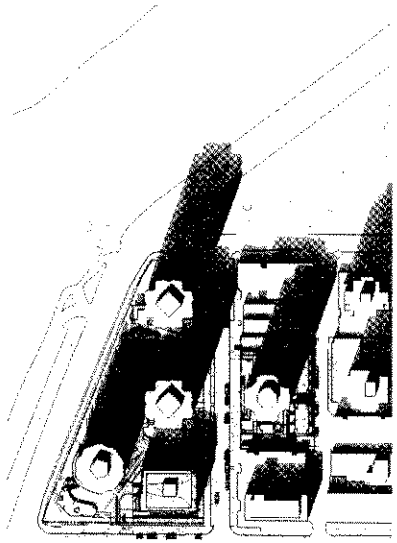
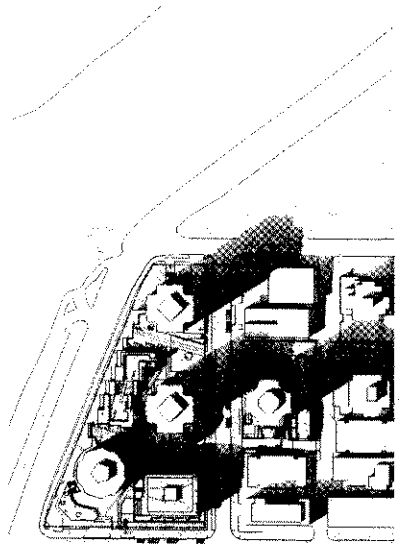


1 SPRING EQUINOX - 10 AM
NTS



2 SPRING EQUINOX - 12PM
NTS



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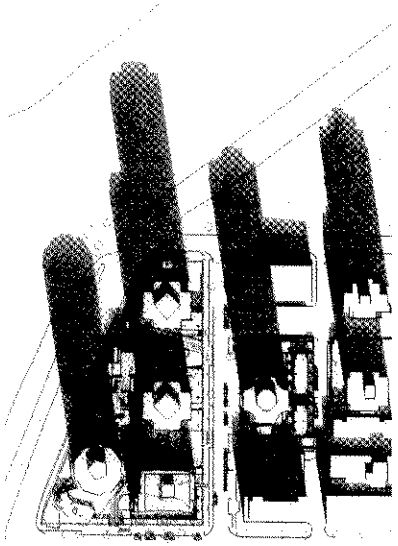

4 FALL EQUINOX - 10AM
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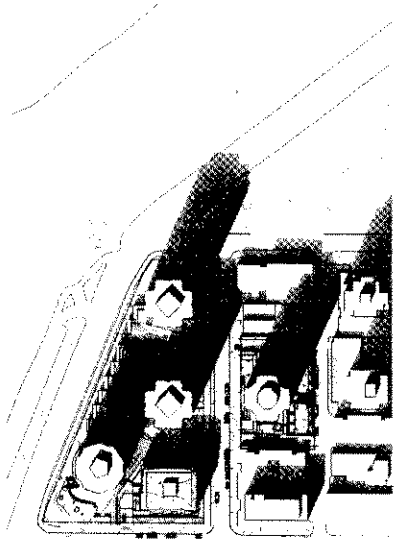

5 FALL EQUINOX - 12PM
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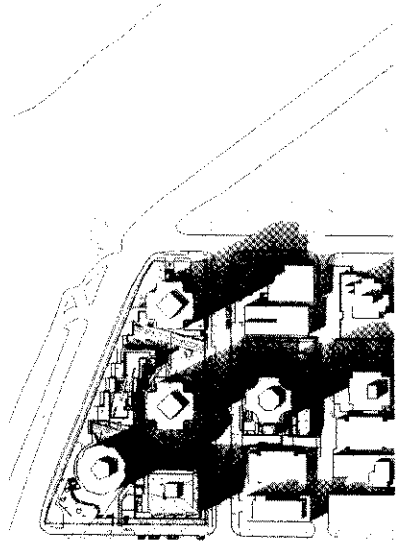

6 FALL EQUINOX - 2PM
NTS

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NO.	DATE	APPR.	DESCRIPTION

REVISIONS

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SUB-CONSULTANT

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tel 604 683 8797 fax 604 683 0482
ibigroup.com

PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	25890
DRAWN BY:	SY, CS
CHKD BY:	SH
SCALE:	N.T.S.
DATE:	JULY 08, 2014

SHEET TITLE
SHADOW STUDY

SHEET NUMBER
DP0.07
REV

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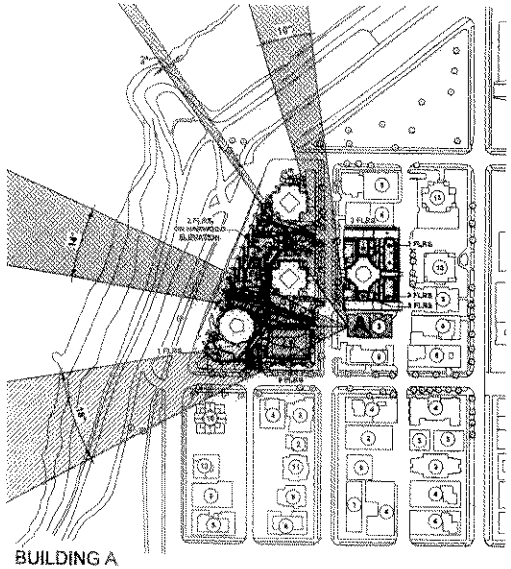
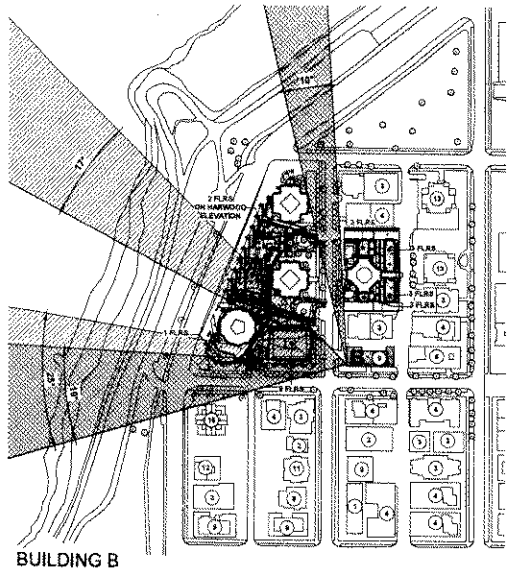
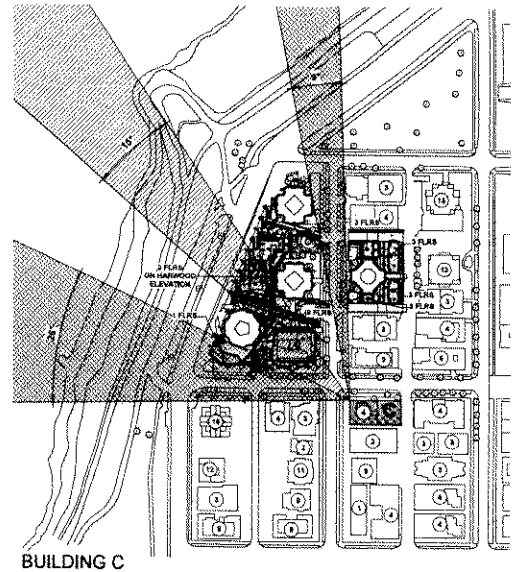


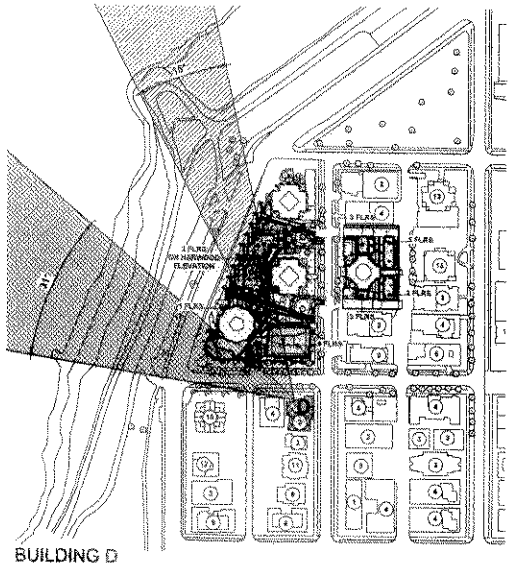
BUILDING A



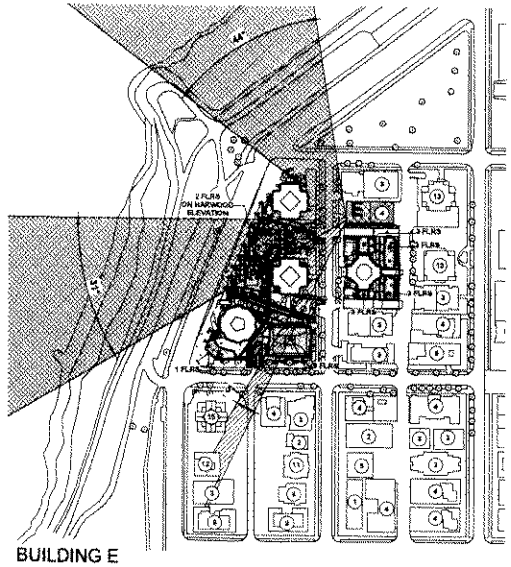
BUILDING B



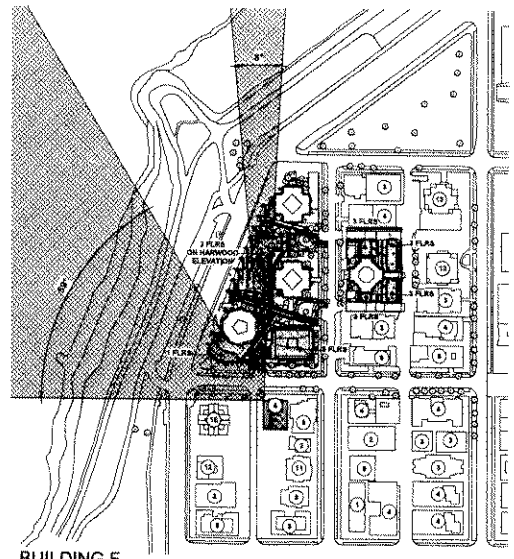
BUILDING C



BUILDING D



BUILDING E



BUILDING F

NOTE: ALL OF THE VIEW ARE CALCULATED FROM 3RD FLOOR OF THE EXISTING BUILDING

VIEW IMPACT LEGEND

CURRENT VIEW

PROPOSED VIEW

Neighbour View Analysis

Building	Address	Existing Angle of "C"	Proposed Angle of "C"	NET Loss of Angle of "C"
A	1669 HARWOOD STREET	44°	26°	18°
B	1715 CARDERO STREET	52°	29°	23°
C	1308 CARDERO STREET	50°	33°	16°
D	1654 HARWOOD STREET	46°	31°	15°
E	1675 HARWOOD STREET	80°	75°	5°
F	1334 CARDERO STREET	67°	62°	5°

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1	2014-07-09	ISSUED FOR DP APPLICATION

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NO.	DATE	APPR	DESCRIPTION

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SUB-CONSULTANT

PRIME CONSULTANT

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Vancouver BC V6E 4B1 Canada
Tel 604 683 8797 Fax 604 683 2693
ibigroup.com

PROJECT TITLE

BEACH TOWERS

1500 BEACH AVENUE
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO	28990
DRAWN BY	SY, ES
CHKD BY	SN
SCALE	N.T.S.
DATE	JULY 09, 2014

SHEET TITLE

VIEW IMPACT STUDY

SHEET NUMBER

DP0.08

REV

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LEED CHECKLIST

Yes	?	No			
69	12	15	**Total Project Points Achievable**		**96 Points**
Certified 40-49 Points			Silver 50-59 Points	Gold 60-79 Points	Platinum 80 Points and Above

Yes	?	No			
			Prerequ 1	Construction Activity Pollution Prevention	Required
1			Credit 1	Site Selection	1
2	3	0	Credit 2	Development, Density and Community Connectivity	2, 3
1	1	0	Credit 3	Brownfield Redevelopment	1
4	1	0	Credit 4.1	Alternative Transportation, Public Transportation Access	1
1	1	0	Credit 4.2	Alternative Transportation, Bicycle Storage & Changing	1
1	1	0	Credit 4.3	Alternative Transportation, Low-Emitting & Fuel Efficient...	1
2	0	0	Credit 4.4	Alternative Transportation, Parking Capacity	2
1	1	0	Credit 5.1	Site Development, Protect and Restore Habitat	1
1	1	0	Credit 5.2	Site Development, Maximize Open Space	1
1	1	0	Credit 6.1	Stormwater Design, Quantity Control	1
1	1	0	Credit 6.2	Stormwater Design, Quality Control	1
1	1	0	Credit 7.1	Heat Island Effect, Non-Roof	1
1	1	0	Credit 7.2	Heat Island Effect, Roof	1
1	1	0	Credit 8	Light Pollution Reduction	1

Yes	?	No			
			Prerequ 1	Water Use Reduction	Required
2	1	0	Credit 1	Water Efficient Landscaping	2, 4
1	1	0	Credit 2	Innovative Wastewater Technologies	2
2	2	0	Credit 3	Water Use Reduction	2-4

Yes	?	No			
			Prerequ 1	Fundamental Commissioning of Building Energy Systems	Required
			Prerequ 2	Minimum Energy Performance	Required
			Prerequ 3	Fundamental Refrigerant Management	Required
4	0	0	Credit 1	Optimize Energy Performance	1-19
2	0	0	Credit 2	On-Site Renewable Energy	1-3
1	1	0	Credit 3	Enhanced Commissioning	2
1	1	0	Credit 4	Enhanced Refrigerant Management	2
1	1	0	Credit 5	Measurement and Verification	2
2	1	0	Credit 6	Green Power	2

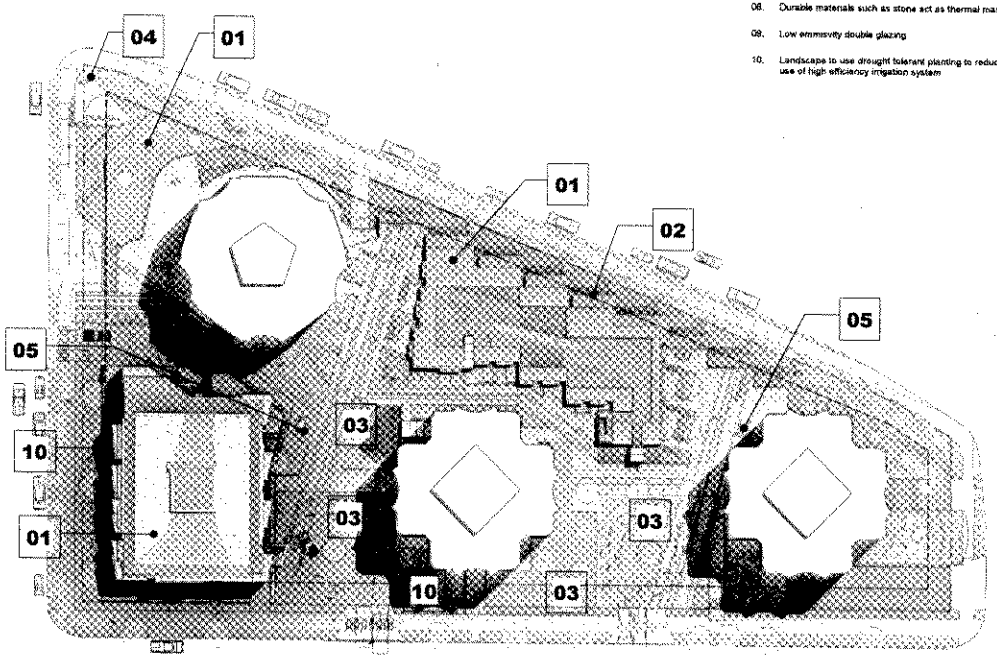
Yes	?	No			
			Prerequ 1	Storage and Collection of Recyclables	Required
1	1	0	Credit 1.1	Building Reuse: Maintain Existing Walls, Floors, and Roof	1-3
1	1	0	Credit 1.2	Building Reuse: Maintain Interior Non-Structural Elements	1
1	1	0	Credit 2	Construction Waste Management	1-2
1	1	0	Credit 3	Materials Reuse	1-2
2	0	0	Credit 4	Recycled Content	1-2
2	0	0	Credit 5	Regional Materials	1-2
1	1	0	Credit 6	Rapidly Renewable Materials	1
1	1	0	Credit 7	Certified Wood	1

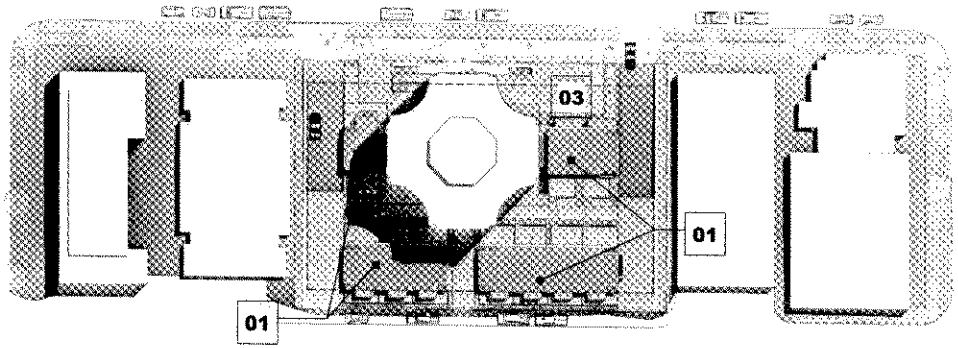
Yes	?	No			
			Prerequ 1	Minimum Indoor Air Quality Performance	Required
			Prerequ 2	Environmental Tobacco Smoke (ETS) Control	Required
1	1	0	Credit 1	Outdoor Air Delivery Monitoring	1
1	1	0	Credit 2	Increased Ventilation	1
1	1	0	Credit 3.1	Construction IAQ Management Plan: During Construction	1
1	1	0	Credit 3.2	Construction IAQ Management Plan: Before Occupancy	1
1	1	0	Credit 4.1	Low-Emitting Materials: Adhesives and Sealants	1
1	1	0	Credit 4.2	Low-Emitting Materials: Paints and Coatings	1
1	1	0	Credit 4.3	Low-Emitting Materials: Flooring Systems	1
1	1	0	Credit 4.4	Low-Emitting Materials: Composite Wood and Agrifiber...	1
1	1	0	Credit 5	Indoor Chemical and Pollutant Source Control	1
1	1	0	Credit 6.1	Controllability of Systems: Lighting	1
1	1	0	Credit 6.2	Controllability of Systems: Thermal Comfort	1
1	1	0	Credit 7.1	Thermal Comfort: Design	1
1	1	0	Credit 7.2	Thermal Comfort: Verification	1
1	1	0	Credit 8.1	Daylight and Views: Daylight	1
1	1	0	Credit 8.2	Daylight and Views: Views	1

Yes	?	No			
1	1	0	Credit 1.1	Innovation in Design	1
1	1	0	Credit 1.2	Innovation in Design	1
1	1	0	Credit 1.3	Innovation in Design	1
1	1	0	Credit 1.4	Innovation in Design	1
1	1	0	Credit 1.5	Innovation in Design	1
1	1	0	Credit 2	LEED® Accredited Professional	1

Yes	?	No			
1	1	0	Credit 1	Materials Reuse	1
1	1	0	Credit 2.1	Regional Priority Credit	1
1	1	0	Credit 2.2	Regional Priority Credit	1
1	1	0	Credit 2.3	Regional Priority Credit	1

01. Extensive Green Roofs mitigate storm water runoff while water-efficient landscaping reduces potable water need; reduces Heat Island Effect.
02. Facades are shaded by large occupiable balconies that provide access to outdoor space and natural ventilation
03. Impervious surface parking moved underground and replaced with landscaping usable outdoor space.
04. Glazing provides daylighting to amenity space.
05. Retain Existing Sculptural Art and reused in new construction
06. Glazing Strategy to reduce glazing and to provide overhangs and shading devices on Southern and Western Exposure
07. Glazing to wall ratio to be less than 45%
08. Durable materials such as stone act as thermal massing.
09. Low emmisivity double glazing
10. Landscape to use drought tolerant planting to reduce irrigation demand and use of high efficiency irrigation system





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1	2014-07-09	ISSUED FOR DP APPLICATION

ISSUES

NO.	DATE	APPR.	DESCRIPTION

REVISIONS

KEYPLAN

SUB-CONSULTANT

PRIME CONSULTANT
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ibigroup.com

PROJECT TITLE
BEACH TOWERS
1500 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	26669
DRAWN BY	SY ES
CHKD BY	BN
SCALE	N.T.S.
DATE	JULY 09, 2014

SHEET TITLE
SUSTAINABILITY & LEED CHECKLIST

SHEET NUMBER **DP0.09a** REV

Last Saved: 7/9/2014 9:10:24 PM File Location: D:\Develop\Devonshire\A12-10169-Beach Ave\CD\TAU_2014_sustain.rvt

01. Extensive Green Roofs mitigate storm water runoff while water-efficient landscaping reduces potable water need; reduces Heat Island Effect.

02. Facades are shaded by large occupiable balconies that provide access to outdoor space and natural ventilation.

03. Impervious surface parking moved underground and replaced with landscaping usable outdoor space.

04. Glazing provides daylighting to amenity space.

05. Retain Existing Sculptural Art and reused in new construction

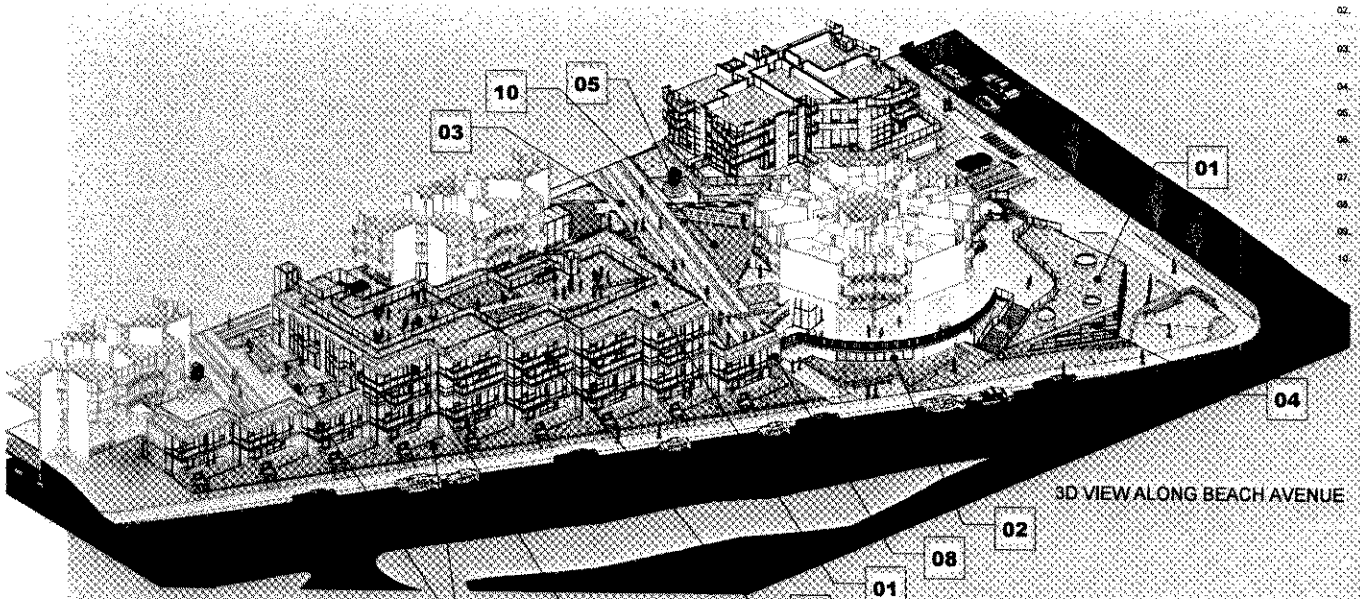
06. Glazing Strategy to reduce glazing and to provide overhangs and shading devices on Southern and Western Exposure

07. Glazing to wall ratio to be less than 40%

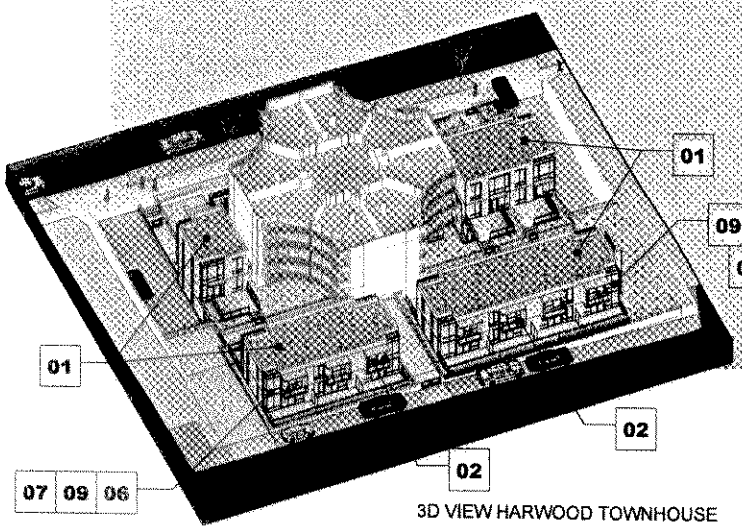
08. Durable materials such as stone and as thermal massing.

09. Low emmivity double glazing

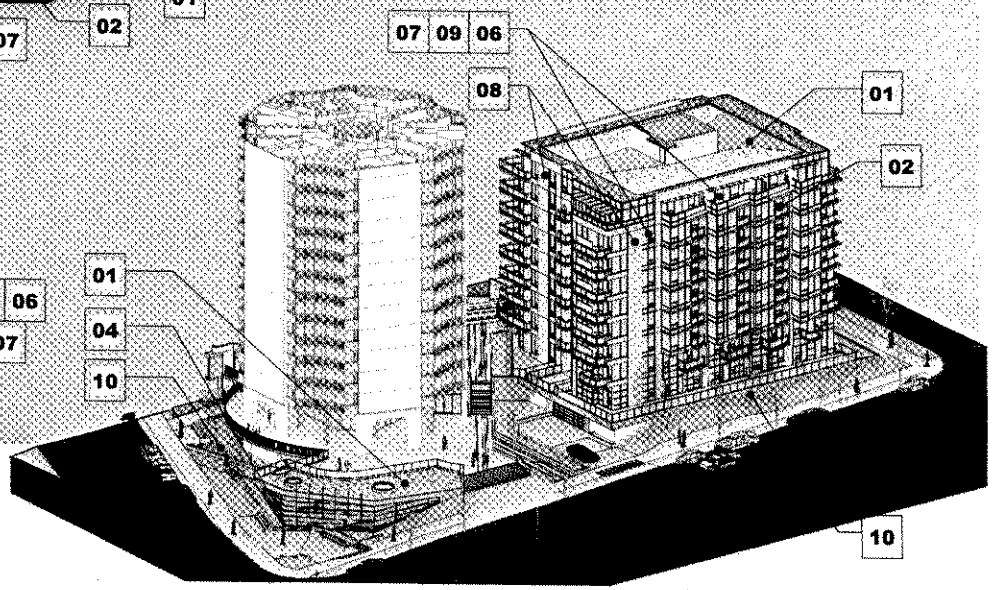
10. Landscape to use drought tolerant planting to reduce irrigation demand and use of high efficiency irrigation system



3D VIEW ALONG BEACH AVENUE



3D VIEW HARWOOD TOWNHOUSE



3D VIEW ALONG CARDOVA STREET

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1	2014-07-08	ISSUED FOR DP APPLICATION

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NO.	DATE	APPR.	DESCRIPTION

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PRIME CONSULTANT

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PROJECT TITLE

BEACH TOWERS

1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO	26999
DRAWN BY	Author
CHKD BY	Checker
SCALE	N.T.S.
DATE	JULY 09, 2014

SHEET TITLE

SUSTAINABILITY APPROACH

SHEET NUMBER **DP0.09b** REV

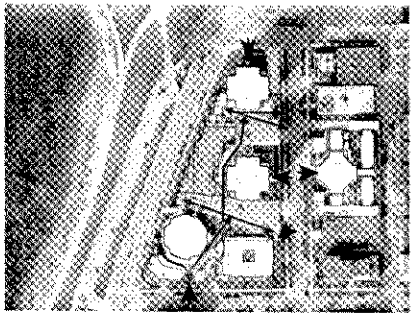
Last Saved: 7/9/2014 9:51:10 AM File Location: D:\Autocrypt\Projects\Projects\26999-Beach And Harwood\2014_sustainability.rvt

Urban Design - Site

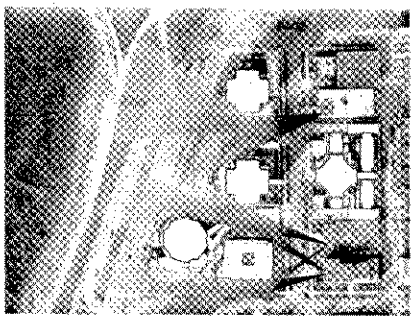
The site plan is motivated by maintaining views and light, sustainability, Crime Prevention Through Environmental Design (CPTED) and an improved ground plane experience.

Views between towers are preserved by centering the townhomes on the site and setting back all groundplanes. While the site maintains its visual permeability, main entrances are clearly defined and help to define public and private.

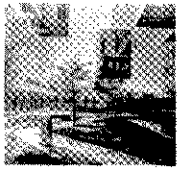
Well-lit paths, courtyards and streetscapes throughout the site maintain pedestrian traffic around ground-oriented townhomes. These open spaces become extensive green roofs and paths for well-used community space that also decreases stormwater runoff and Heat Island Effect.

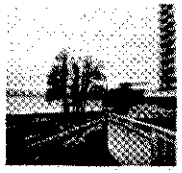


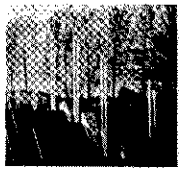
Multiple pathways and open spaces increase pedestrian traffic through and around the site. Clearly defined, well-lit entrances define public and private realms and increase safety.



Site permeability for natural surveillance, preserving views through site for pedestrians and bicycles (blue) and neighbours (purple).







Influences from existing site and contemporary urban sites

Architectural Design - Site

The overall approach to design for such an iconic site is one of reverence to the original design intentions. The language of the geometry and the materials is carefully considered. Equally important are the existing conditions of site permeability, views and light.

The new formal language and material qualities complement the existing towers while being contemporary and avoiding mimicry. The thin slab edges of the towers are reflected in the balcony edges of the new buildings and form is now expressed by dynamic overlapping planes.

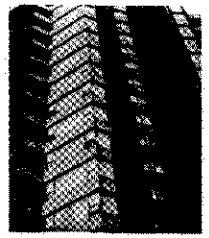
The textures of the cladding materials contrast with smooth concrete and contemporary glass, and its vertical continuity reflects the vertical concrete elements on the towers.

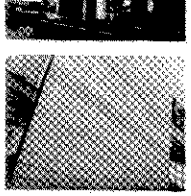
Each new building is treated with an approach unique to its particular conditions and site. This results in independent buildings that form a cohesive complex.

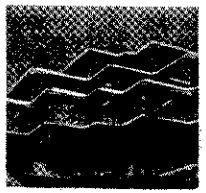
Infill at Existing Towers

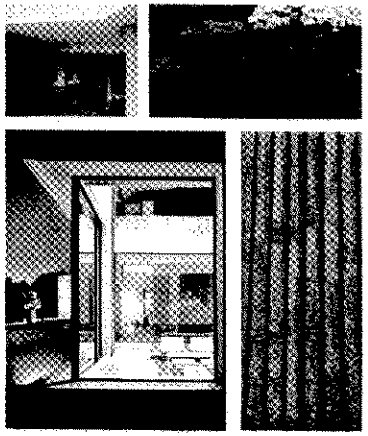
The infill palette spaces respect the current edge conditions and expression of geometry and are set back to minimize their impact. The use of frameless glass reinforces the appearance of lightness on the ground level.

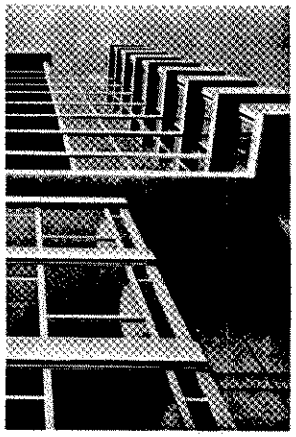
Infill at Columbus Tower conceals the parkade and adds two studio rental units. The mullions on the glazing reference the existing glazing on this tower. The prominent Harwood Street entrance is maintained.

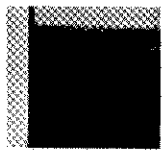












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KEYPLAN

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PROJECT TITLE

BEACH TOWERS

1500 BEACH AVENUE,
1551 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO:	76899
DRAWN BY:	SY, ES
CHKD BY:	SN
SCALE:	N.T.S.
DATE:	JULY 09, 2014

SHEET TITLE

DESIGN RATIONALE

SHEET NUMBER: **DP0.10** REV

File Location: D:\Users\jsyee\Documents\ACC-76899-Beach Ave-CENTRAL_2014_sjyee.rvt

Last Saved: 7/8/2014 9:10:08 PM

[illegible] Beach Avenue

The east-west form of the existing parking structure and podium is an important characteristic along Beach Ave, and this is applied to the new towers and townhouses. Contrast concepts are reinforced by removing black black tests, individual lighting, increasing eyes on the street, and a clear distinction between public and private.

Corner windows further support this two-tone form and create a pedestrian view of English Bay. The form and the use of solid metal individual expansion joint primary accentuate the exterior spaces of the townhouses. Deep balconies help create the south facade to mitigate solar heat gain and provide outdoor space for residents.

On the roof of the townhouse building, an extensive landscaped place for the residents use. The access points, an open-to-above, glass-enclosed stair and glass elevator are designed to maximize their visual impact and height.

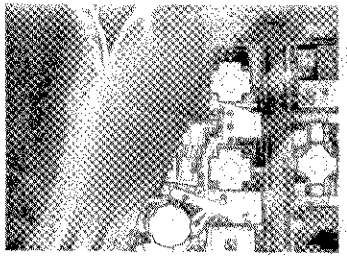
Rooftop Oasis with extensive landscaping on townhouse roof.

Building B - Mid Rise on Cardero St and Beach Ave

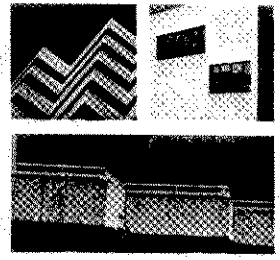
The sun-south form along Cardero results the Beach Ave facade and provides views to English Bay from all living rooms and increases daylight penetration into the suite.

The first two storeys are set back by 20' along Cardero St. to increase and enhance the quality of the public realm. The overall form has been scaled back and the north-east corner cut back to improve views for neighbours and residents alike.

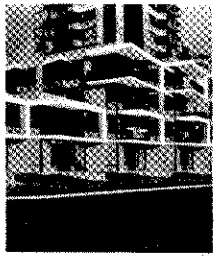
Glass balcony railings soften the building corners and connect with the form and shape of the existing buildings in passing namely JHS Douglas and Mackenzie Towers respectively. Concrete frames are employed strategically as a contemporary interpretation of the vertical concrete elements of the towers.



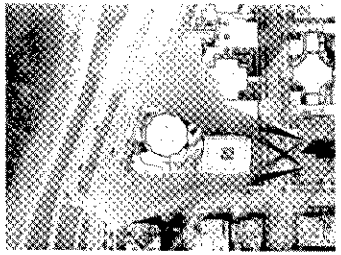
Form and massing influenced by current conditions of the site and views and light for suites



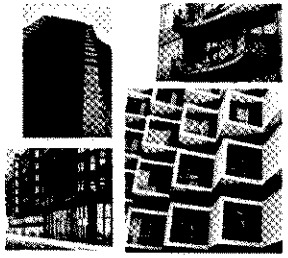
Site and contemporary influences of form and materials



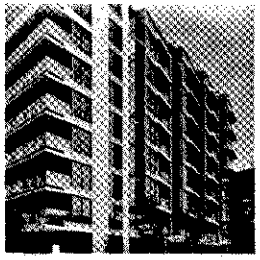
Contemporary application on proposed townhouse



Form and massing influenced by views through the site and views from suite living rooms.



Site and contemporary influences of form and materials



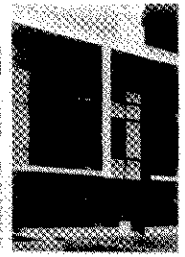
Contemporary application on proposed townhouse.

[illegible] Building

Three-storey townhouse form, Colonial Homes along Hornby, and four-storey townhouse along a courtyard. The townhouses are oriented east-west to minimize solar heat gain and maximize light. Deep overhangs and balconies to the south east help to mitigate solar heat gain. Operable glazing at the front and back of the units provide passive ventilation.

The lower height of the tank townhouses helps to transition into the rest of the neighbourhood. Courtyard between the rows of townhouses provides light, air and green space for the enjoyment of residents.

Contemporary influences of stained concrete, elevation and modern forms.

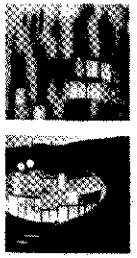


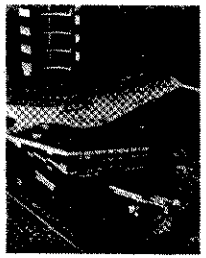
Homogenous townhouses with deep balconies providing shade and private outdoor

Mackenzie [illegible] Building

The amenity space has been relocated to a prominent location on the corner of Cardero St and Beach Ave. The post building appears to be peeling from the corner below Douglas House, exposing the interior spaces to light. The facade of alternating clear and frosted glass offers ample light to case while maintaining privacy for the users.

A public plaza activates the corner and connects to the mall of the amenity space and tower entrance.





Influences of form and materials: underground buildings; softened and softened glazing; peeling.

The amenity building peeled from the corner

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PROJECT TITLE

BEACH TOWERS

1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO	36869
DRAWN BY	Author
CHKD BY	Chkdby
SCALE	N.T.S.
DATE	JULY 09, 2014

SHEET TITLE

DESIGN RATIONALE

SHEET NUMBER

DP0.11

REV

Rev. Location: C:\Users\Author\Documents\ATU\36869-Beach Ave-CENTRAL_2014_v.rvt

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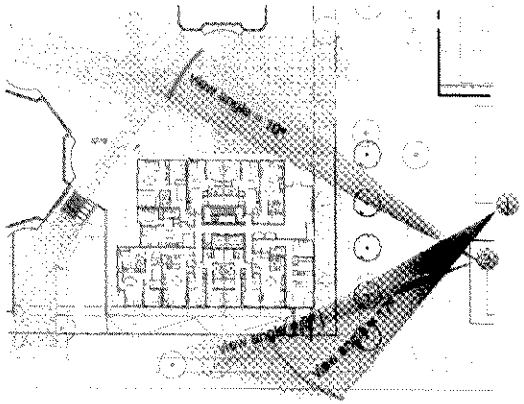
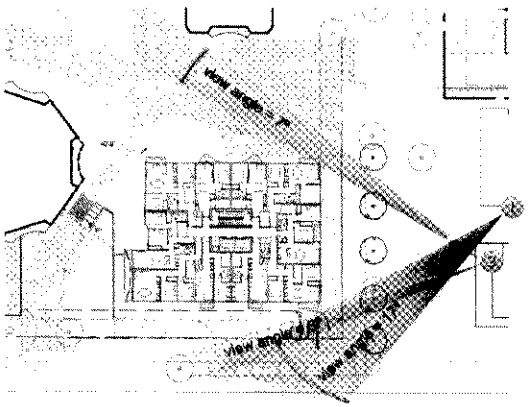
REZONING SCHEME MAY 17, 2012

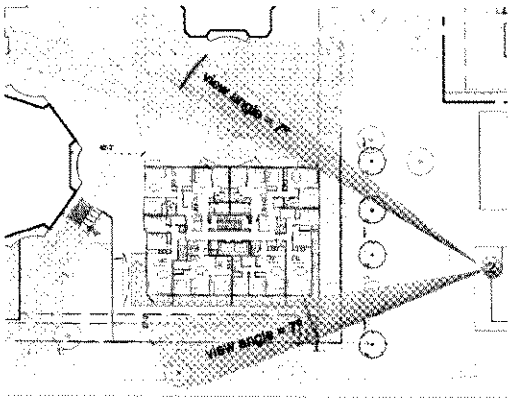
GROUND FLOOR



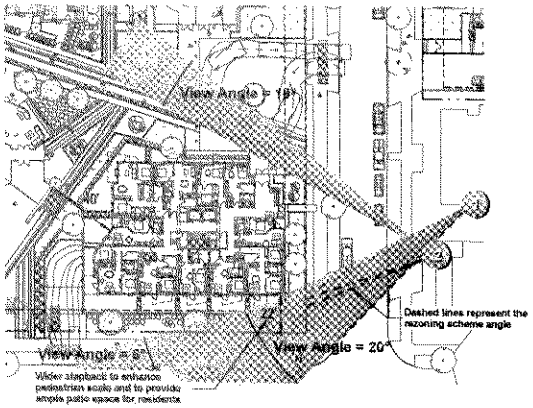
TYPICAL FLOOR

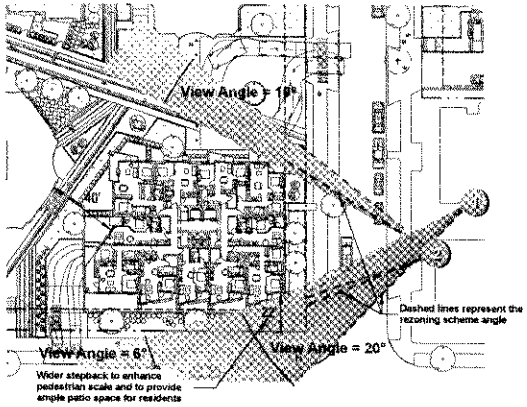


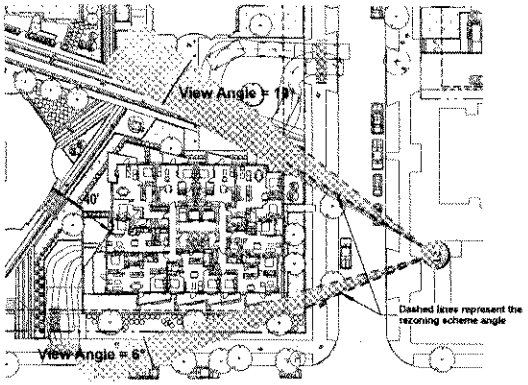
FLOOR LEVEL 9



NEW SCHEME JULY 09, 2014







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PROJECT TITLE

BEACH TOWERS

1600 BEACH AVENUE
1551 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	26869
DRAWN BY	SY, EZ
CHKD BY	GN
SCALE	N.T.S.
DATE	JULY 09, 2014

SHEET TITLE

MIDRISE VIEW ANALYSIS

SHEET NUMBER **DP0.20** REV

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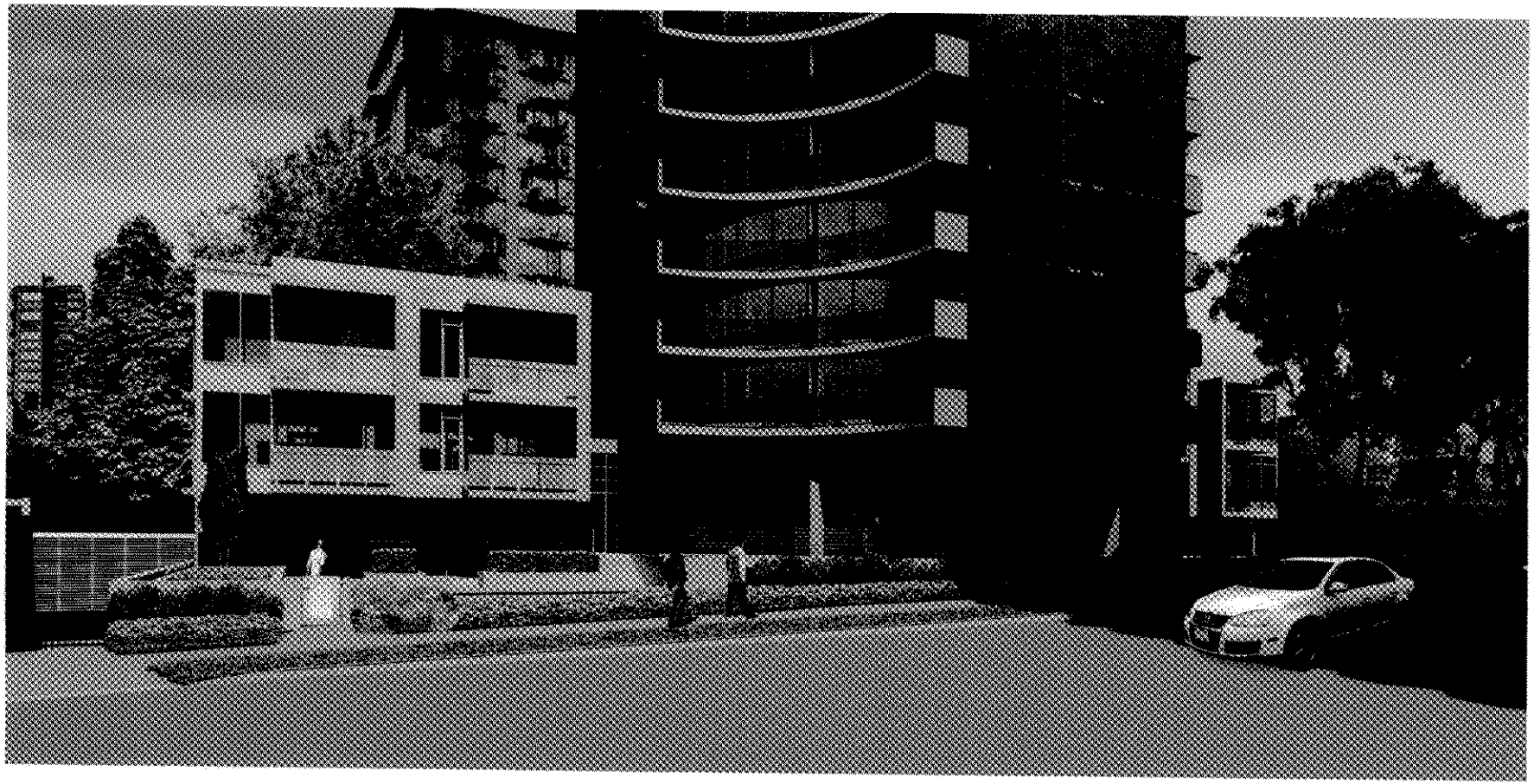

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PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

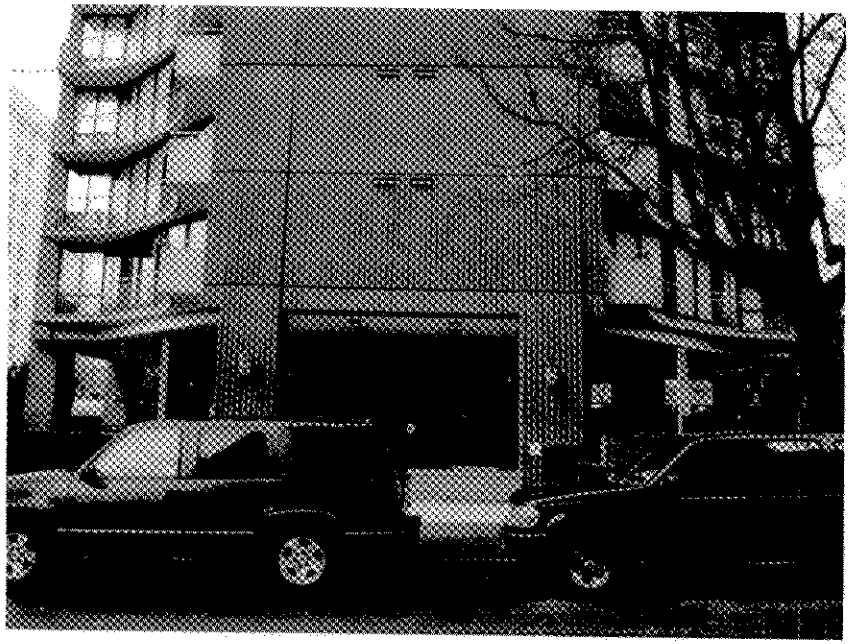
PROJECT NO.	20609
DRAWN BY	SY, EO
CHKD BY	SH
SCALE	N.T.S.
DATE	JULY 09, 2014

SHEET TITLE
PERSPECTIVES RENDERING

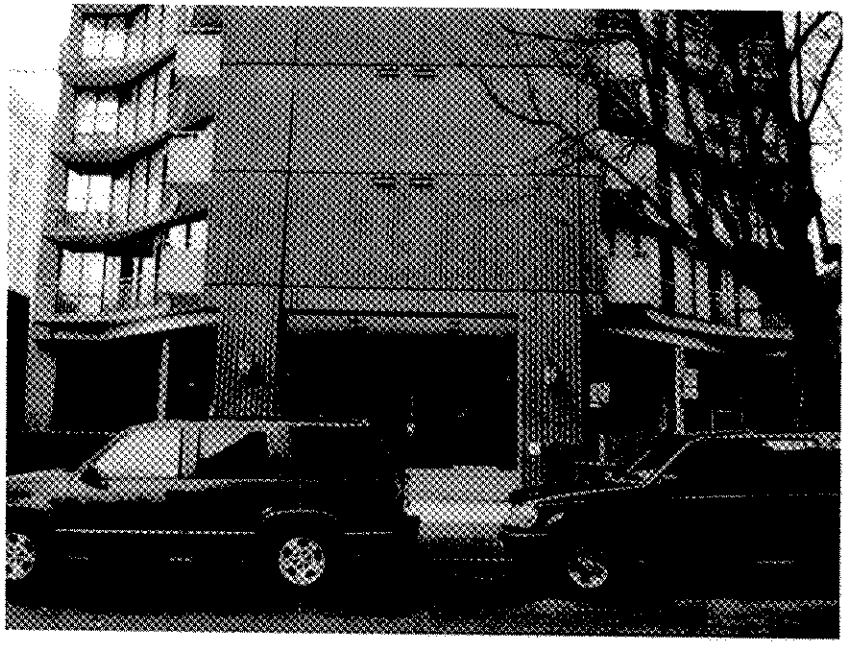
SHEET NUMBER **DP0.37** REV

LAST SAVED: 7/9/2014 9:34:14 AM Plot Location: D:\Users\jsweet\Documents\CTL-IBI\Beach Ave\CENTRAL_2014_sjw.dwg

COLUMBUS TOWER
(View from Harwood Street)



EXISITING



INFILL WITH EXTERIOR GLAZED WALL

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PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	26889
DRAWN BY	SY, EZ
CHKD BY	SN
SCALE	N.T.S.
DATE	JULY 09, 2014

SHEET TITLE
TOWER INFILL VIEW ANALYSIS

SHEET NUMBER **DP0.44** REV

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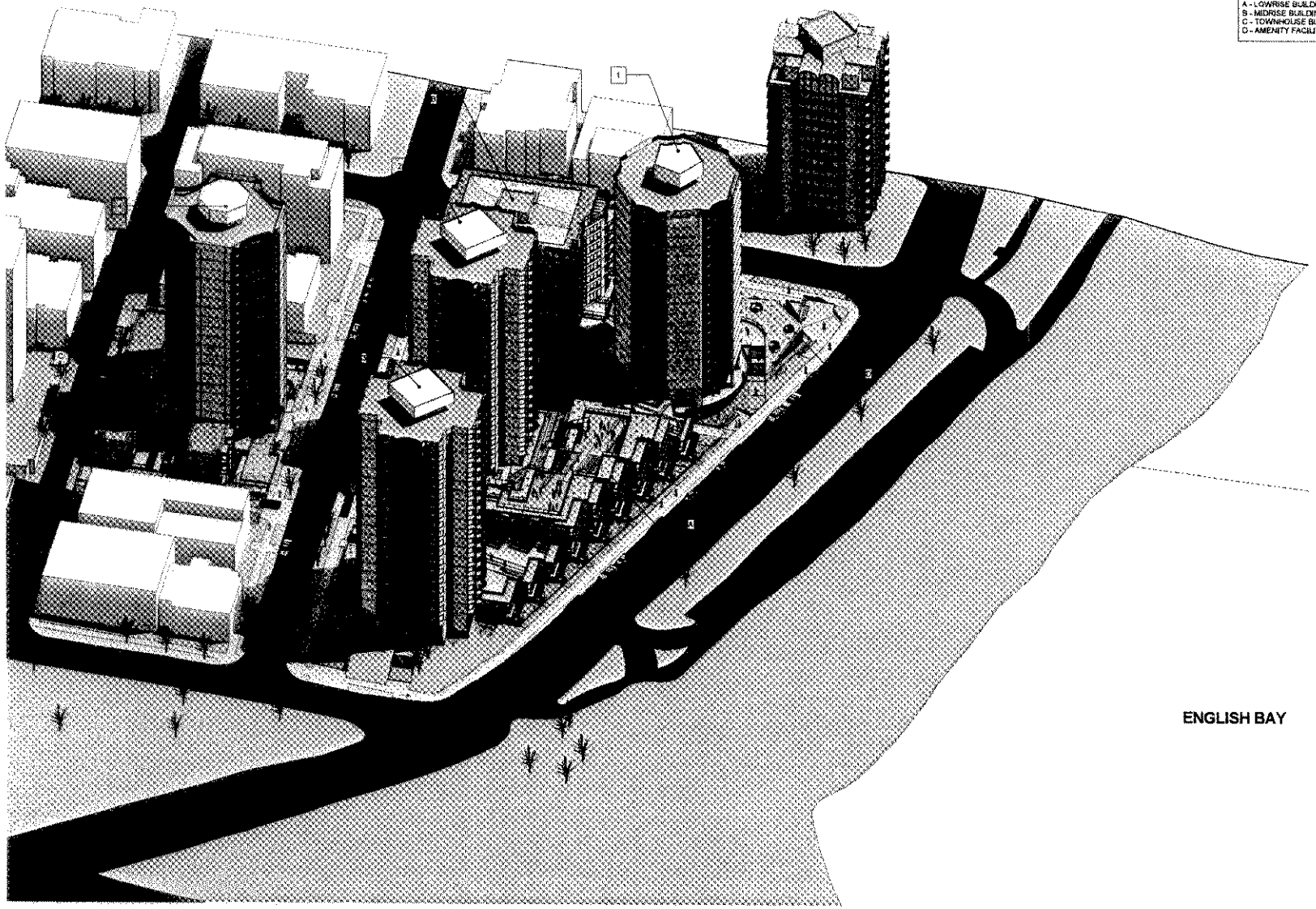

LEGEND:

1 - DOUGLAS HOUSE
2 - MACDONALD HOUSE
3 - LAURIER HOUSE
4 - COLUMBUS HOUSE
A - LOWRISE BUILDING A
B - MIDRISE BUILDING B
C - TOWNHOUSE BUILDING C
D - AMENITY FACILITY

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ISSUES

NO.	DATE	DESCRIPTION

REVISIONS

NO.	DATE	APPR.	DESCRIPTION

KEYPLAN

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PROJECT TITLE

BEACH TOWERS

1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	26889
DRAWN BY	SY, ES
CHK'D BY	SN
SCALE	N.T.S.
DATE	JULY 09, 2014

SHEET TITLE

AERIAL VIEW FROM NORTHWEST

SHEET NUMBER

DP0.50

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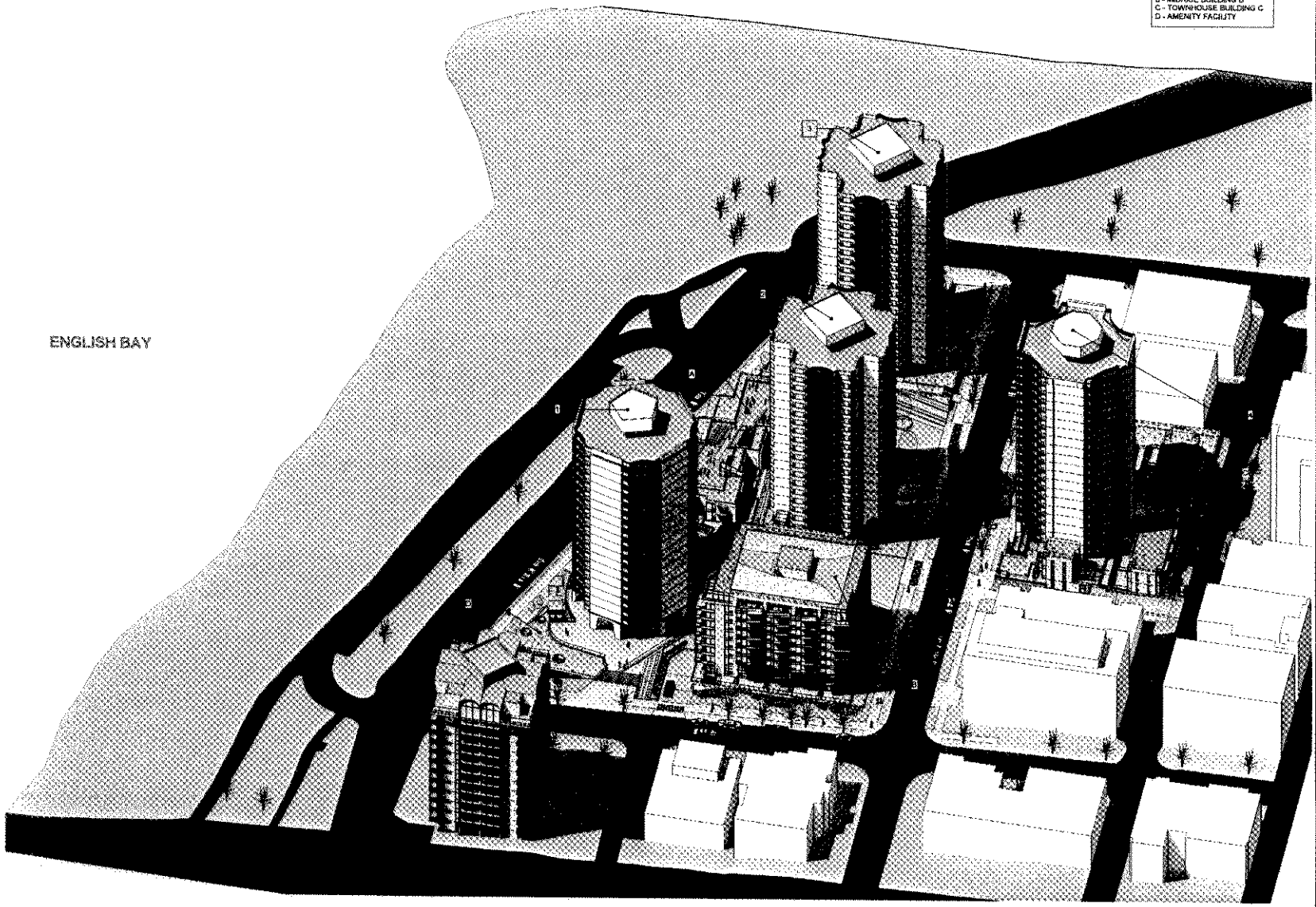

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NO.	DATE	APPR.	DESCRIPTION

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PRIME CONSULTANT

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PROJECT TITLE

BEACH TOWERS

1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO:	38899
DRAWN BY:	SY ES
CHKD BY:	SN
SCALE:	N.T.S.
DATE:	JULY 09, 2014

SHEET TITLE

AERIAL VIEW FROM SOUTHEAST

SHEET NUMBER: **DP0.51**

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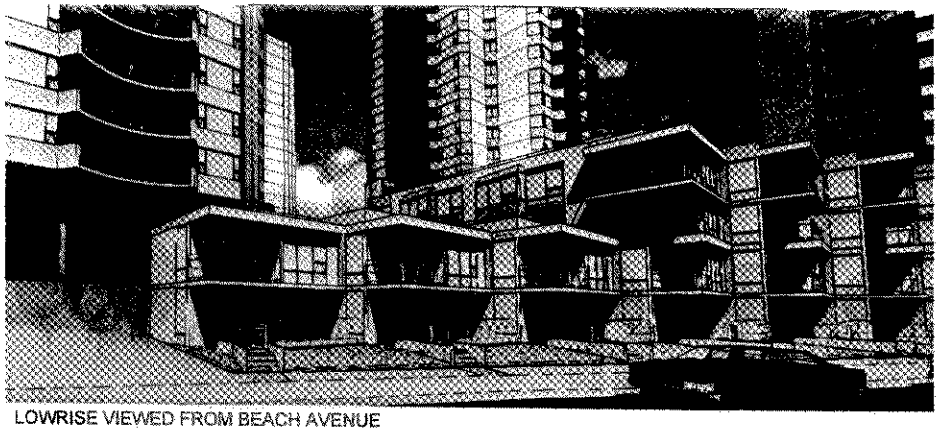
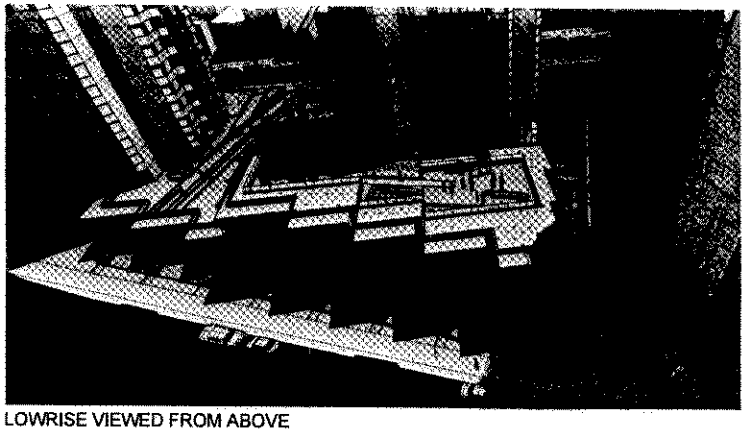


LOWRISE VIEWED FROM BEACH AVENUE



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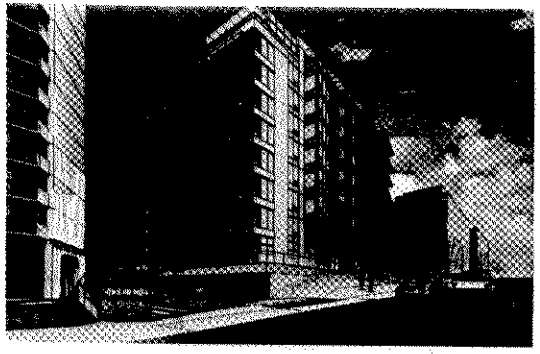
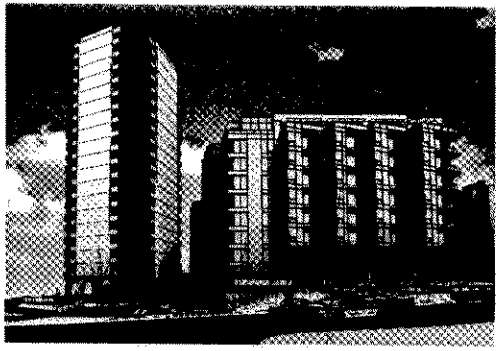
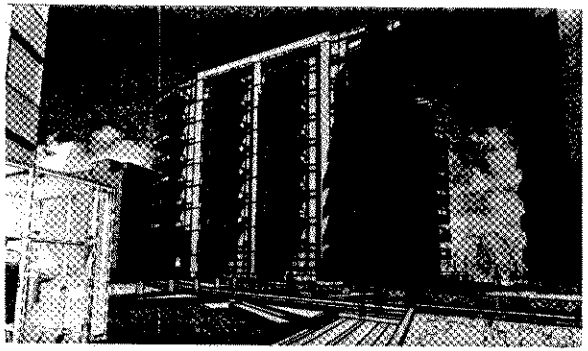


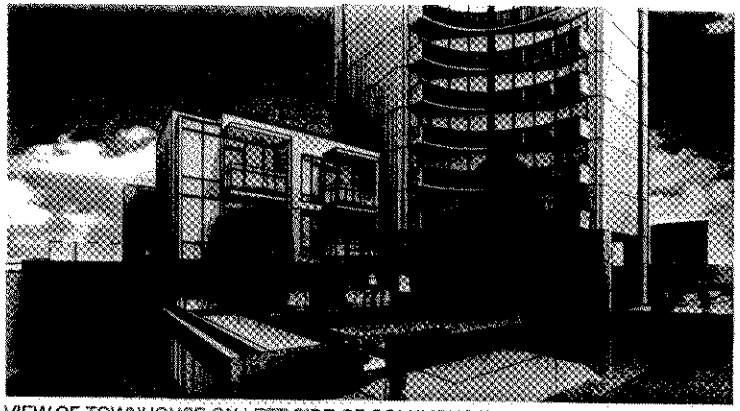
MIDRISE VIEWED FROM BEACH AVENUE



MIDRISE VIEWED FROM CADERO STREET

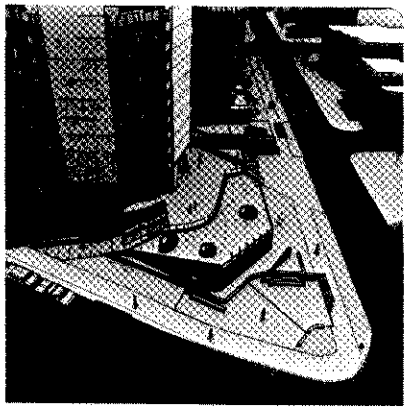


MIDRISE VIEWED FROM INNER COURTYARD



VIEW OF TOWNHOUSE ON LEFT SIDE OF COLUMBUS TOWER

TOWNHOUSE CLOSE UP



AMENITY PAVILION FROM ABOVE

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1	2014-07-09	ISSUED FOR DP APPLICATION

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REVISIONS

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PRIME CONSULTANT

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PROJECT TITLE

BEACH TOWERS

1500 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO:	28888
DRAWN BY:	SY, ES
CHKD BY:	SN
SCALE:	N.T.S.
DATE:	JULY 09, 2014

SHEET TITLE

BUILDING PERSPECTIVES

SHEET NUMBER: **DP0.53**

REV

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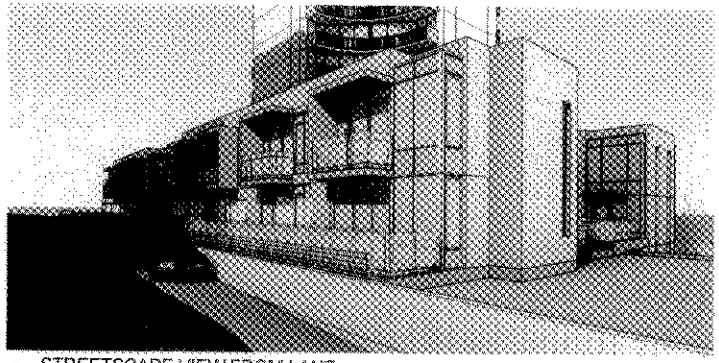
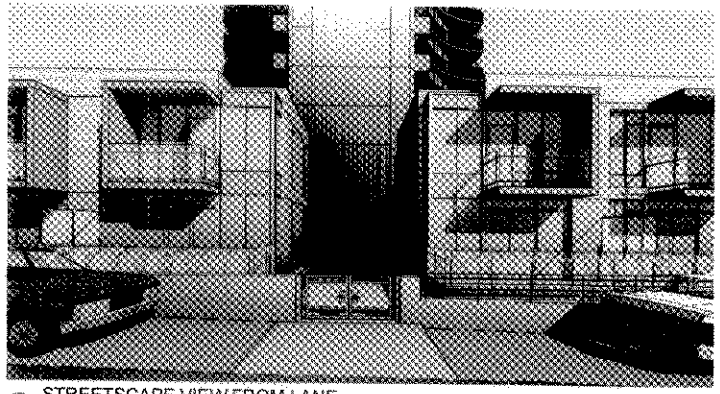
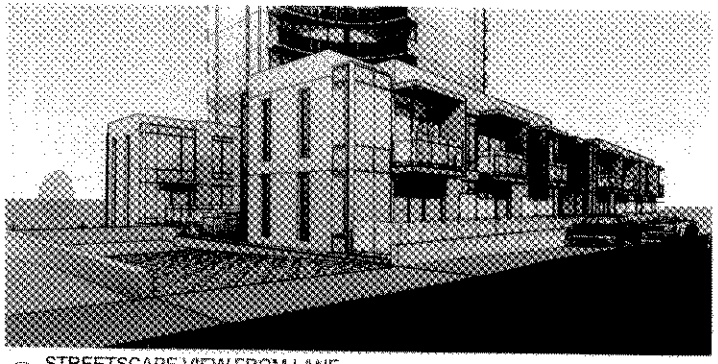


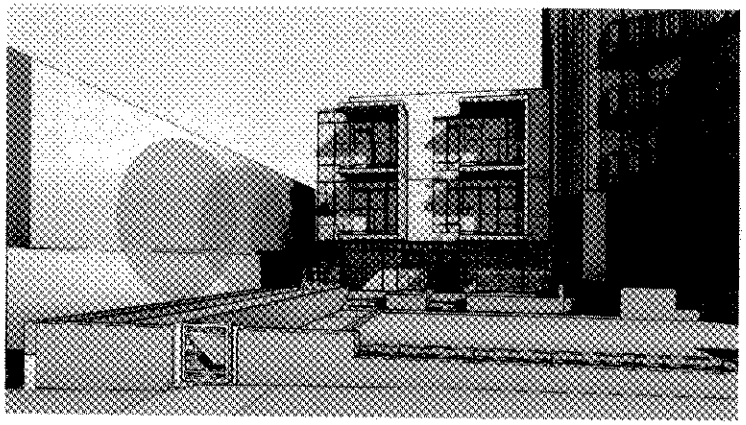
1 STREETSCAPE VIEW FROM LANE



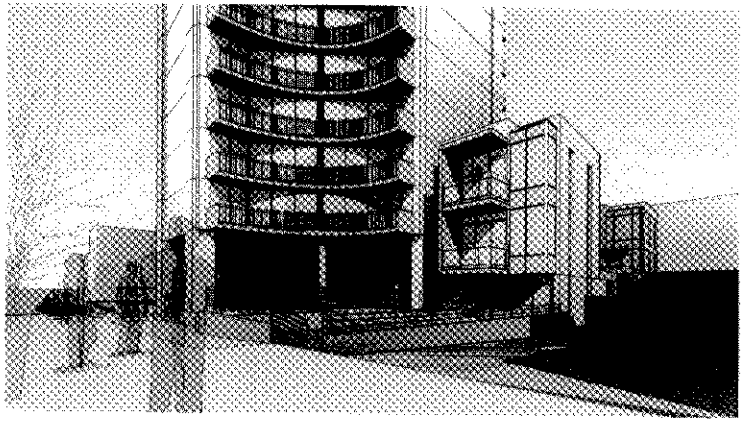
2 STREETSCAPE VIEW FROM LANE



3 STREETSCAPE VIEW FROM LANE

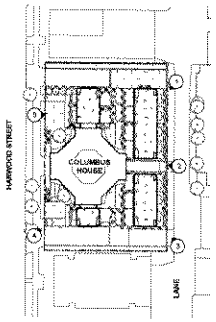


4 STREETSCAPE VIEW FROM HARWOOD STREET



5 STREETSCAPE VIEW FROM HARWOOD STREET

KEYPLAN



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PROJECT TITLE

BEACH TOWERS

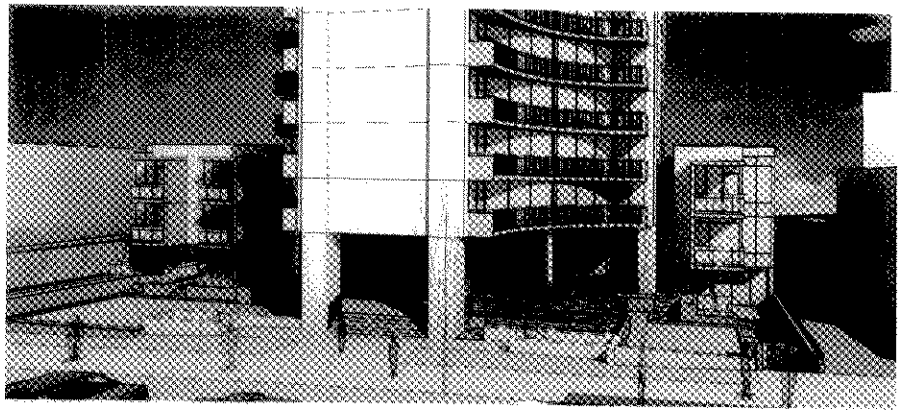
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	25880
DRAWN BY	RY, ES
CHKD BY	RN
SCALE	N.T.S.
DATE	JULY 09 2014

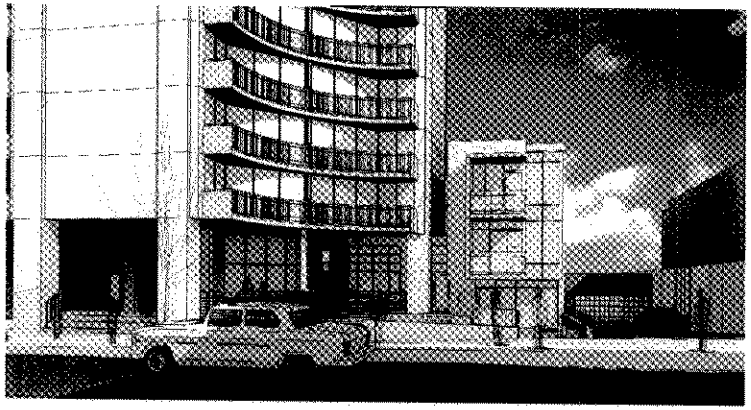
SHEET TITLE

STREETSCAPE VIEWS

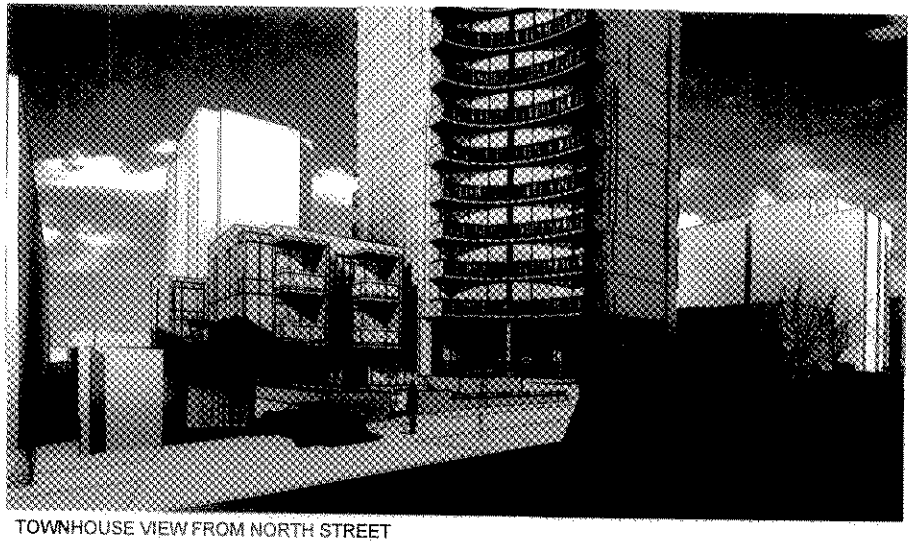
SHEET NUMBER **DP0.58** REV



TOWNHOUSE FROM VIEW



TOWNHOUSE CORNER FRONT VIEW



TOWNHOUSE VIEW FROM NORTH STREET

TOWNHOUSE INNER COURTYARD

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PROJECT TITLE

BEACH TOWERS

1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO	28986
DRAWN BY	XY, ES
CHKD BY	SN
SCALE	N.T.S.
DATE	JULY 09, 2014

SHEET TITLE

HARWOOD TOWNHOUSE PERSPECTIVES

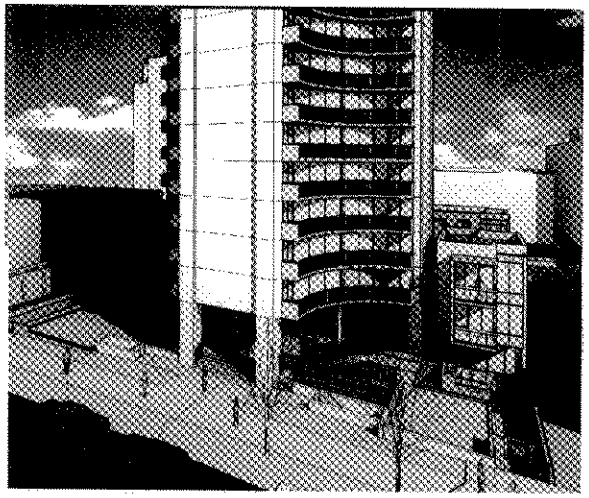
SHEET NUMBER

DP0.64

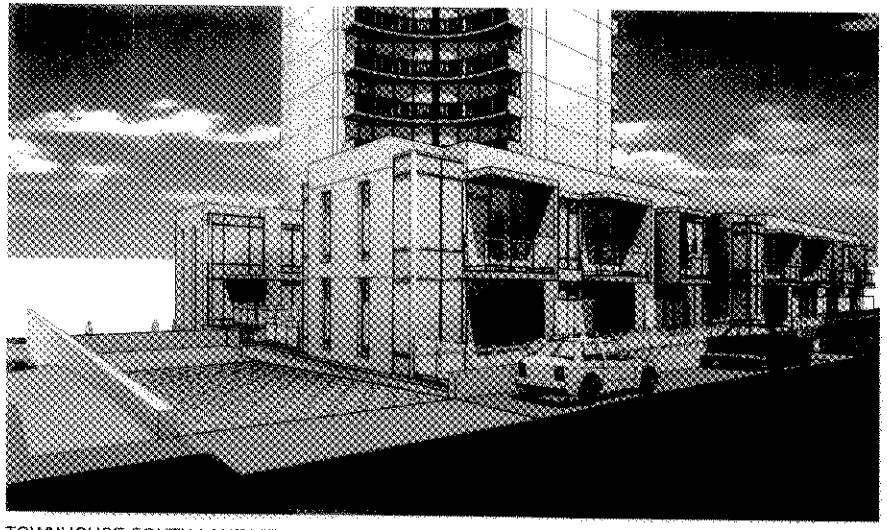
REV

Appendix C ; page 20 of

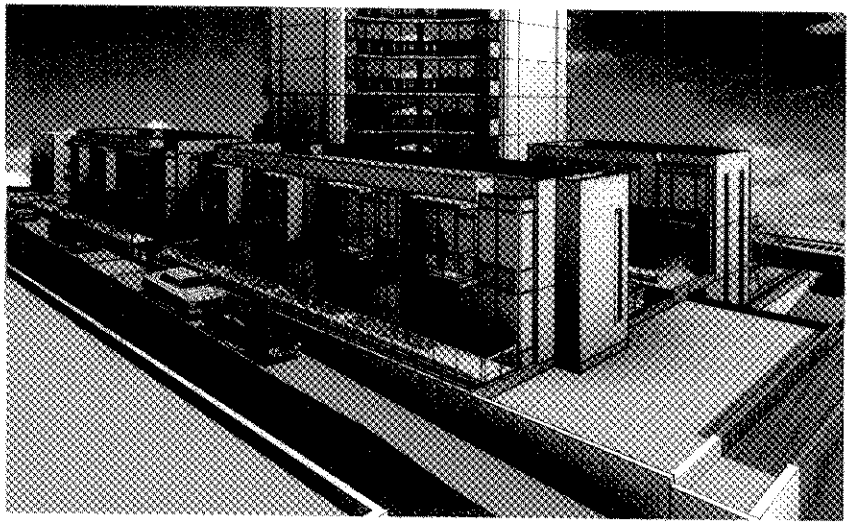
TOWNHOUSE VIEW FROM HARWOOD STREET



TH - TOWNHOUSE VIEW FROM ABOVE



TOWNHOUSE SOUTH LANE VIEW



TH - TOWNHOUSE SOUTH LANE VIEW NORTH

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PROJECT TITLE

BEACH TOWERS

1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	28899
DRAWN BY:	SY, EB
CHKD BY:	BN
SCALE:	N.T.S.
DATE:	JULY 09, 2014

SHEET TITLE

HARWOOD TOWNHOUSE PERSPECTIVE

SHEET NUMBER **DP0.65** REV

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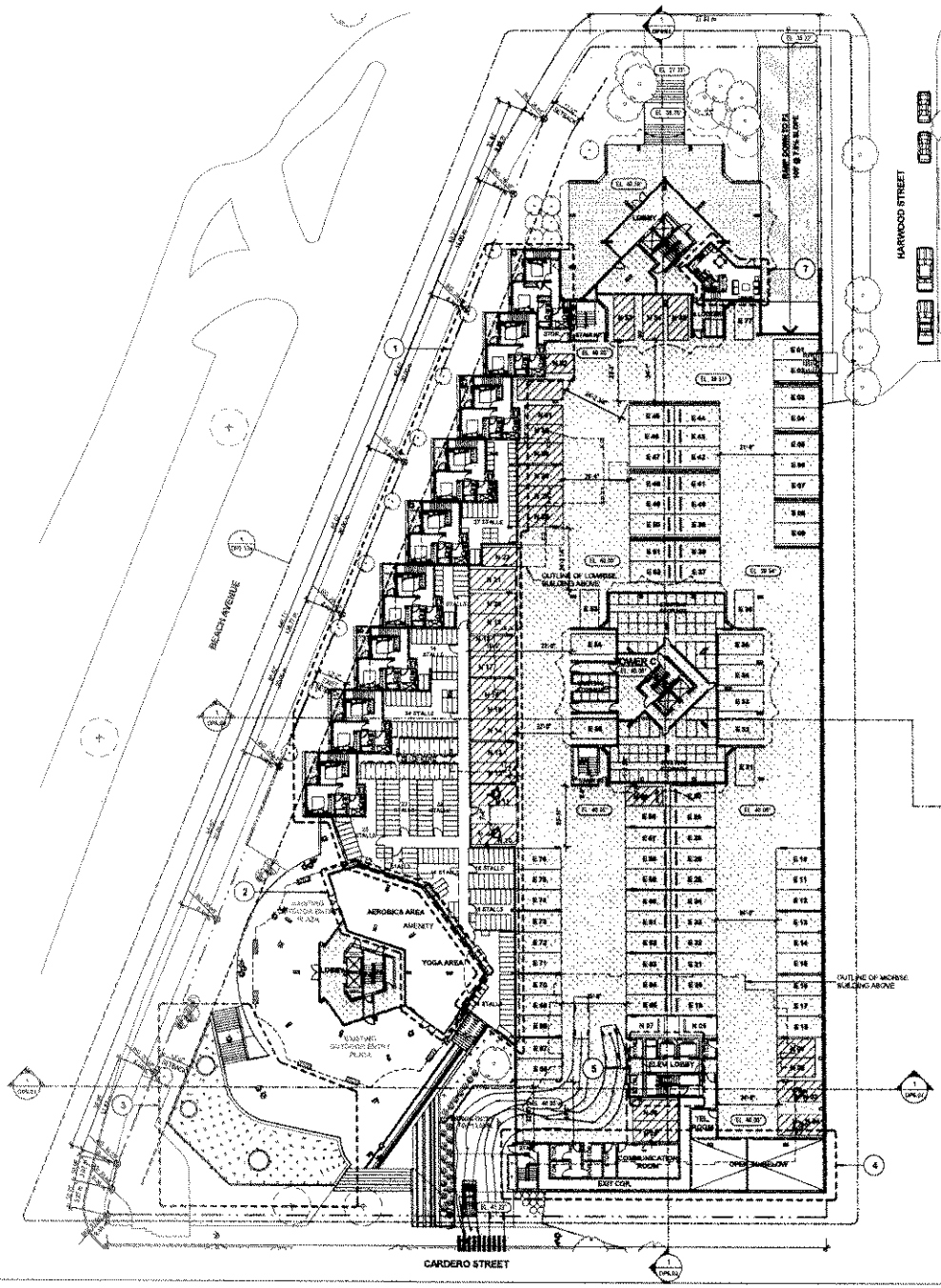

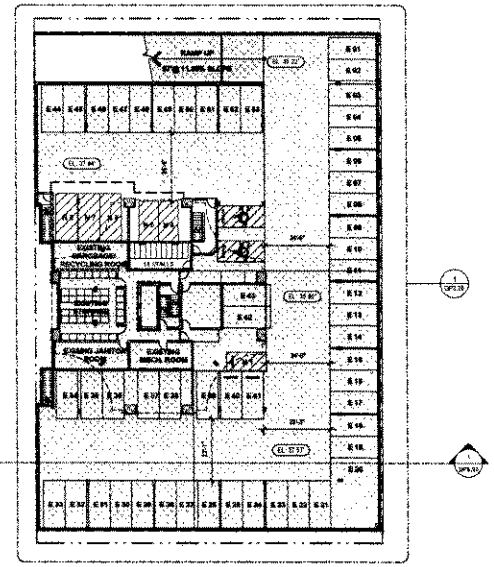

PARKING HATCH LEGEND

- EXISTING STALL
- NEW STALL
- DEMOLISHED STALL

LIST OF CHANGES TO EXISTING P1 LEVEL

1. DEMOLISH EXISTING TERRACE, BUILD UPPER LEVEL OF NEW 2 STOREY TOWNHOUSE, PROVIDE MORE BIKE ROOMS
2. ENCLOSE EXISTING OPEN SPACE, PROVIDE MORE OFFICE SPACE
3. REMOVE EXISTING RAMP, PROVIDE LANDSCAPING TERRACE AND GRAND STAIR TO BEACH AVENUE
4. ADD ELEV/MORISE EXIT/BIKE ROOM AT EXISTING PARKING SPACE
5. NEW MORISE CORE DOWN THROUGH TO P1 LEVEL
6. NEW SUITE RENOVATION TO EXISTING INTERIOR OFFICE SPACE

Bicycle Schedule Level P1

Type	Count
Parcel A	
Bike Locker	28
Horizontal	132
Vertical	93
	253
Parcel B	
Bike Locker	29
Horizontal	11
Vertical	2
	41
Grand total	323

Parking Schedule Level P1

Type	Count
PARCEL A	
Regular Stall	
EXISTING	72
NEW	20
	92
Small Stall	
EXISTING	4
NEW	8
	12
Compact Stall	
NEW	1
	1
Handicap Stall	
NEW	4
	4
Sub-Total	109
PARCEL B	
Regular Stall	
EXISTING	52
NEW	3
	55
Small Stall	
NEW	1
	1
Handicap Stall	
NEW	2
	2
Sub-Total	61
Grand total	170

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NO.	DATE	APPR.	DESCRIPTION

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SUB-CONSULTANT

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PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	26999
DRAWN BY	DY, EG
CHKD BY	SN
SCALE	3/64" = 1'-0"
DATE	JULY 09, 2014

SHEET TITLE
OVERALL P1 PARKING PLAN

SHEET NUMBER
DP2.13
REV

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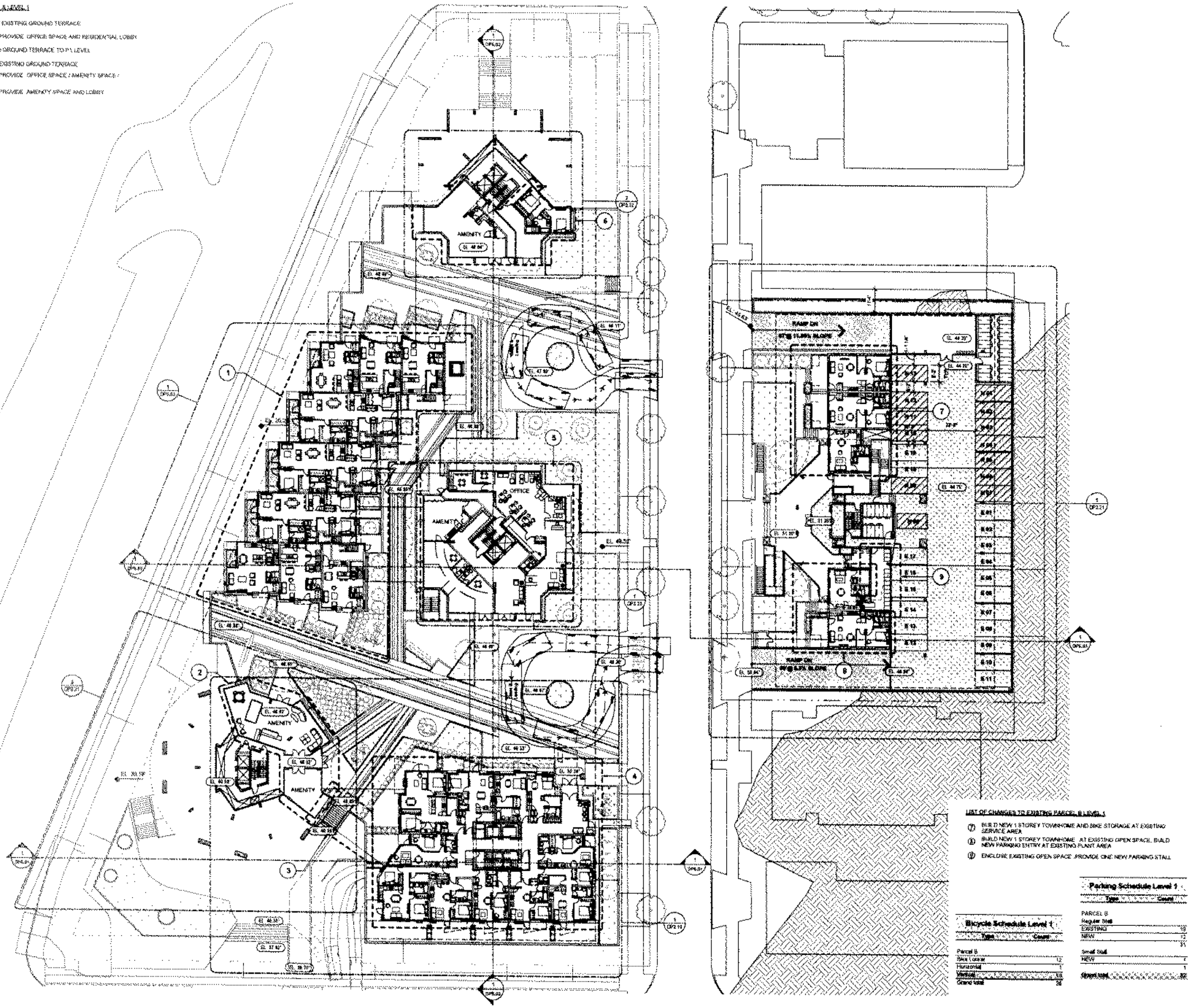
LIST OF CHANGES TO EXISTING PARCEL A LEVEL 1

1. BUILD NEW 2 STOREY LOWRISE AT EXISTING GROUND TERRACE
2. ENCLOSE EXISTING OPEN SPACE, PROVIDE OFFICE SPACE AND RESIDENTIAL LOBBY
3. PROVIDE NEW GRAND STAIR FROM GROUND TERRACE TO P1 LEVEL
4. BUILD NEW 9 STOREY MIDRISE AT EXISTING GROUND TERRACE
5. ENCLOSE EXISTING OPEN SPACE, PROVIDE OFFICE SPACE / AMENITY SPACE / RESIDENTIAL LOBBY
6. ENCLOSE EXISTING OPEN SPACE, PROVIDE AMENITY SPACE AND LOBBY



LIST OF CHANGES TO EXISTING PARCEL B LEVEL 1

7. BUILD NEW 1 STOREY TOWNHOME AND BIKE STORAGE AT EXISTING SERVICE AREA
8. BUILD NEW 1 STOREY TOWNHOME AT EXISTING OPEN SPACE, BUILD NEW PARKING ENTRY AT EXISTING PLANT AREA
9. ENCLOSE EXISTING OPEN SPACE, PROVIDE ONE NEW PARKING STALL

Bicycle Schedule Level 1

Type	Count
Parcel B	
Bike Locker	12
Horizontal	1
Vertical	13
Grand total	26

Parking Schedule Level 1

Type	Count
PARCEL B	
Regular Stall	
EXISTING	19
NEW	12
	31
Small Stall	
NEW	1
	1
Grand total	32

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NO.	DATE	DESCRIPTION
1	2014-07-04	[illegible]

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SUB-CONSULTANT

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700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada

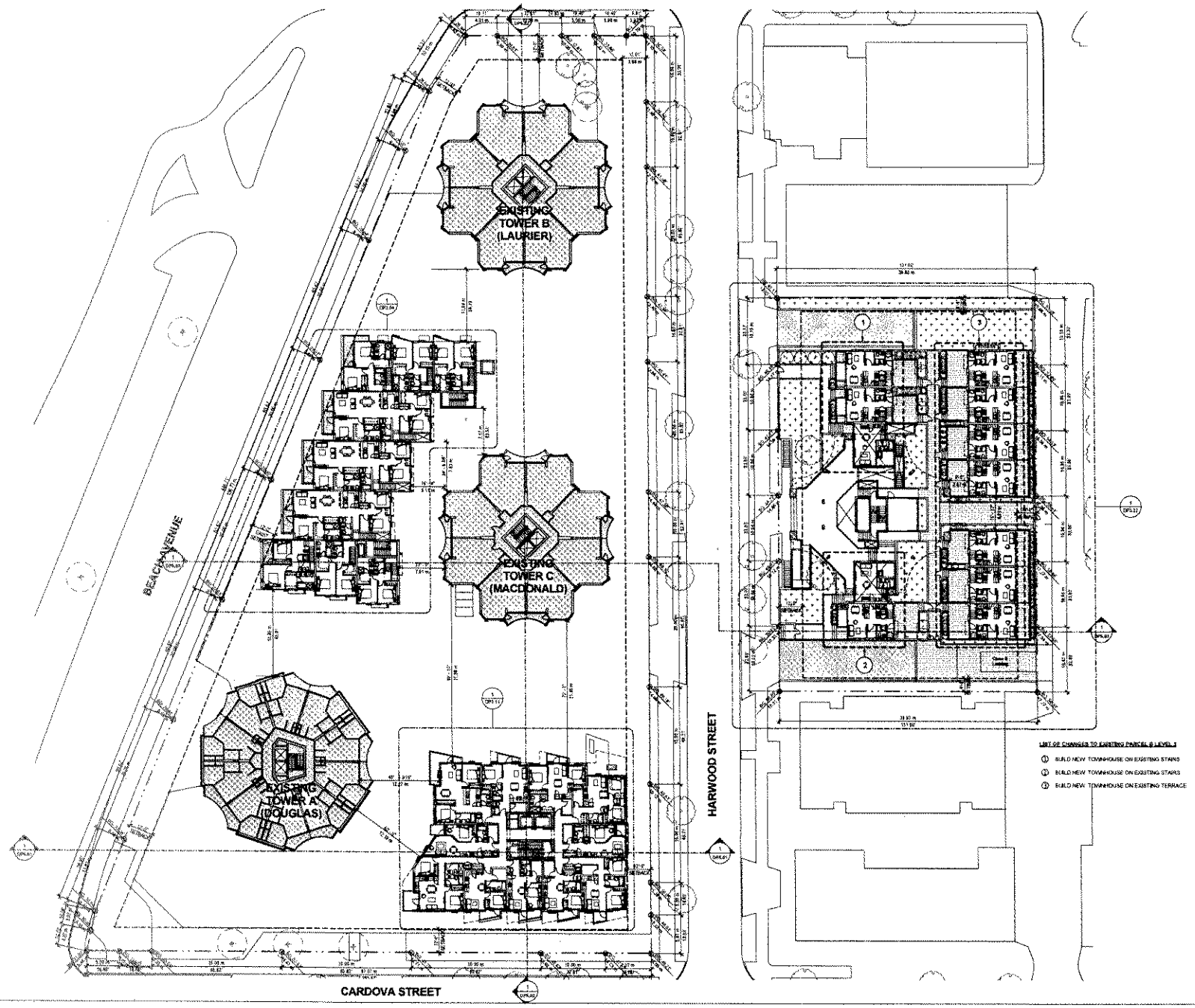
PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	26999
DRAWN BY	SY, EG
CHK'D BY:	SN
SCALE	3/64" = 1'-0"
DATE	JULY 09, 2014

SHEET TITLE
LEVEL 1 PLAN

SHEET NUMBER
DP2.14

Appendix C ; page 23 of



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Vancouver BC V6E 4B1 Canada
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PROJECT TITLE

BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	36869
DRAWN BY	BY, ES
CHKD BY	SN
SCALE	3/64" = 1'-0"
DATE	JULY 09, 2014

SHEET TITLE

LEVEL 2 PLAN

SHEET NUMBER **DP2.15** REV

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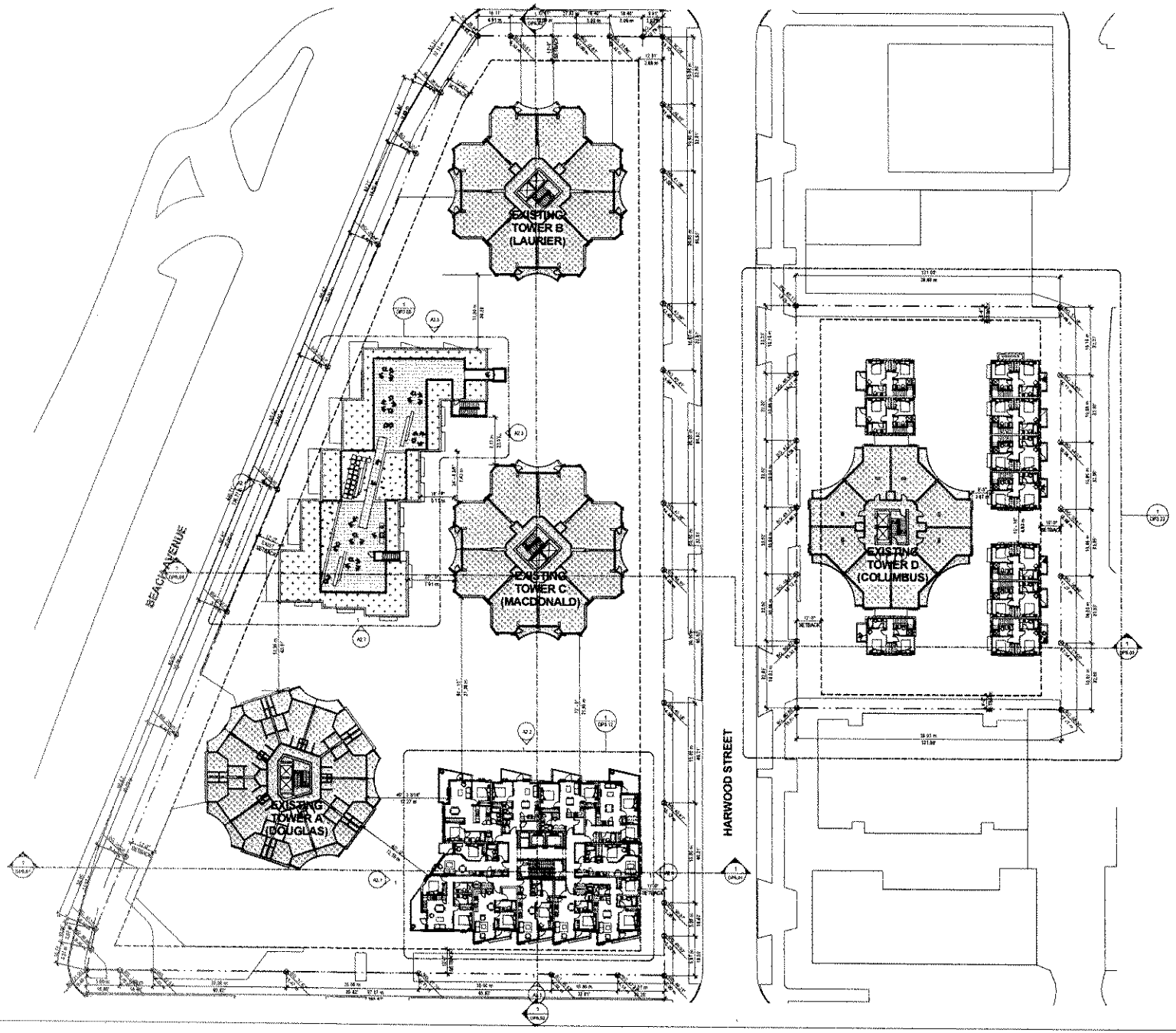

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NO.	DATE	APPR.	DESCRIPTION

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ibigroup.com

PROJECT TITLE

BEACH TOWERS

1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO	26899
DRAWN BY	BY, ES
CHKD BY	SN
SCALE	3/64" = 1'-0"
DATE	JULY 09, 2014

SHEET TITLE

LEVEL 3-8 PLAN

SHEET NUMBER

DP2.16

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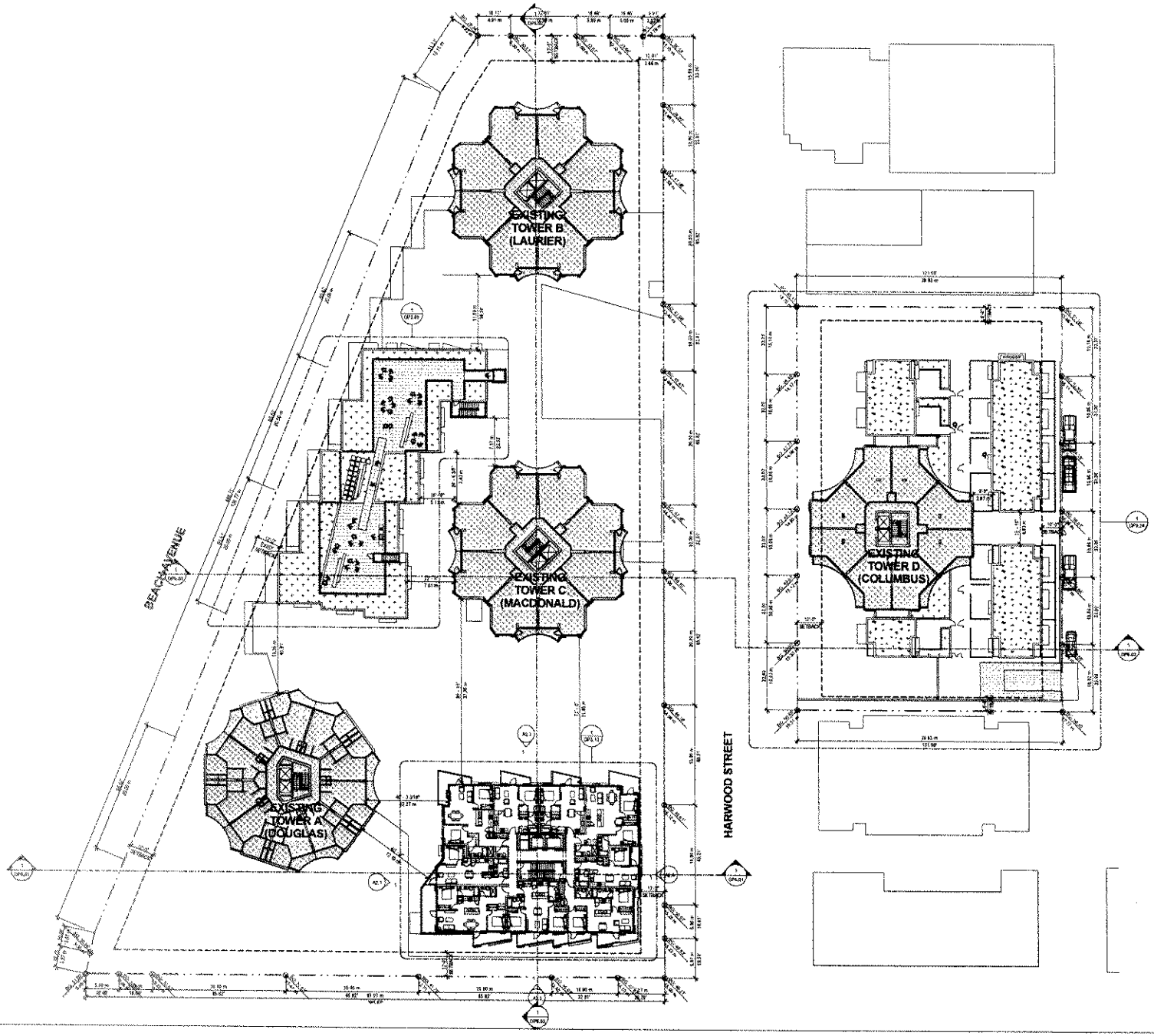

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(BEACH TOWERS INVESTMENT INC. & ENGLISH BAY INVESTMENTS INC.)

NO.	DATE	DESCRIPTION
1	2014-07-09	ISSUED FOR REVIEW

ISSUES

NO.	DATE	APPR.	DESCRIPTION

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tel 604 683 8797 fax 604 683 0491
ibigroup.com

PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO	26899
DRAWN BY	BY ES
CHKD BY	BN
SCALE	3/64" = 1'-0"
DATE	JULY 09 2014

SHEET TITLE
LEVEL 9 PLAN

SHEET NUMBER
DP2.17
REV

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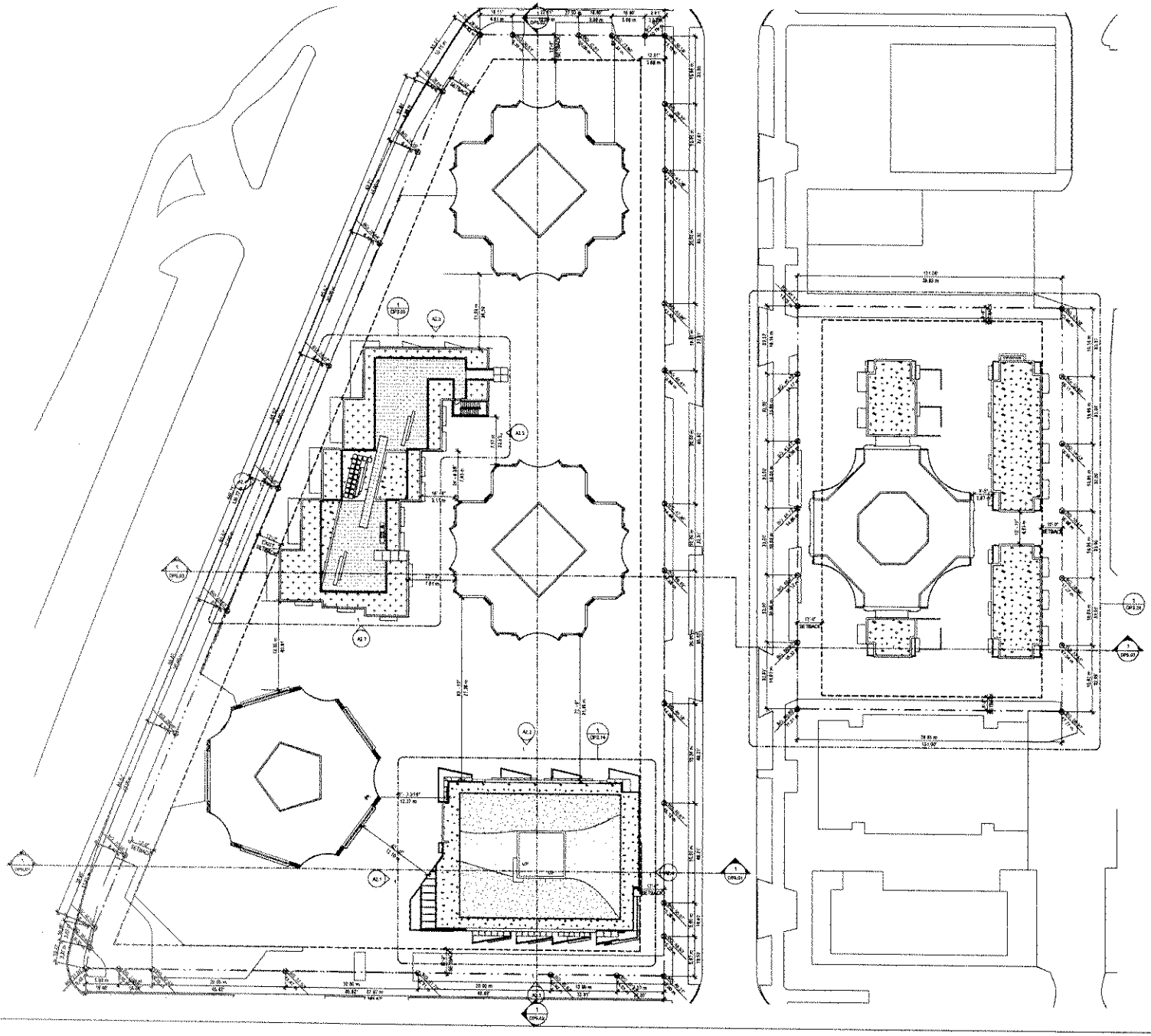

CLIENT
DEVONSHIRE PROPERTIES INC.
(BEACH TOWERS INVESTMENT INC. & ENGLISH BAY INVESTMENTS INC.)

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NO.	DATE	DESCRIPTION
1	2014-07-08	ISSUED FOR DP APPLICATION

ISSUES

NO.	DATE	APPR.	DESCRIPTION

REVISIONS

PROJECT NORTH
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KEYPLAN

SUB-CONSULTANT

PRIME CONSULTANT
IBI
IBI / HB ARCHITECTS
700 - 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 5797 fax 604 683 0482
ibigroup.com

PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	26868
DRAWN BY	SY, ES
CHKD BY	SN
SCALE	1/64" = 1'-0"
DATE	JULY 08, 2014

SHEET TITLE
ROOF PLAN

SHEET NUMBER
DP2.18
REV

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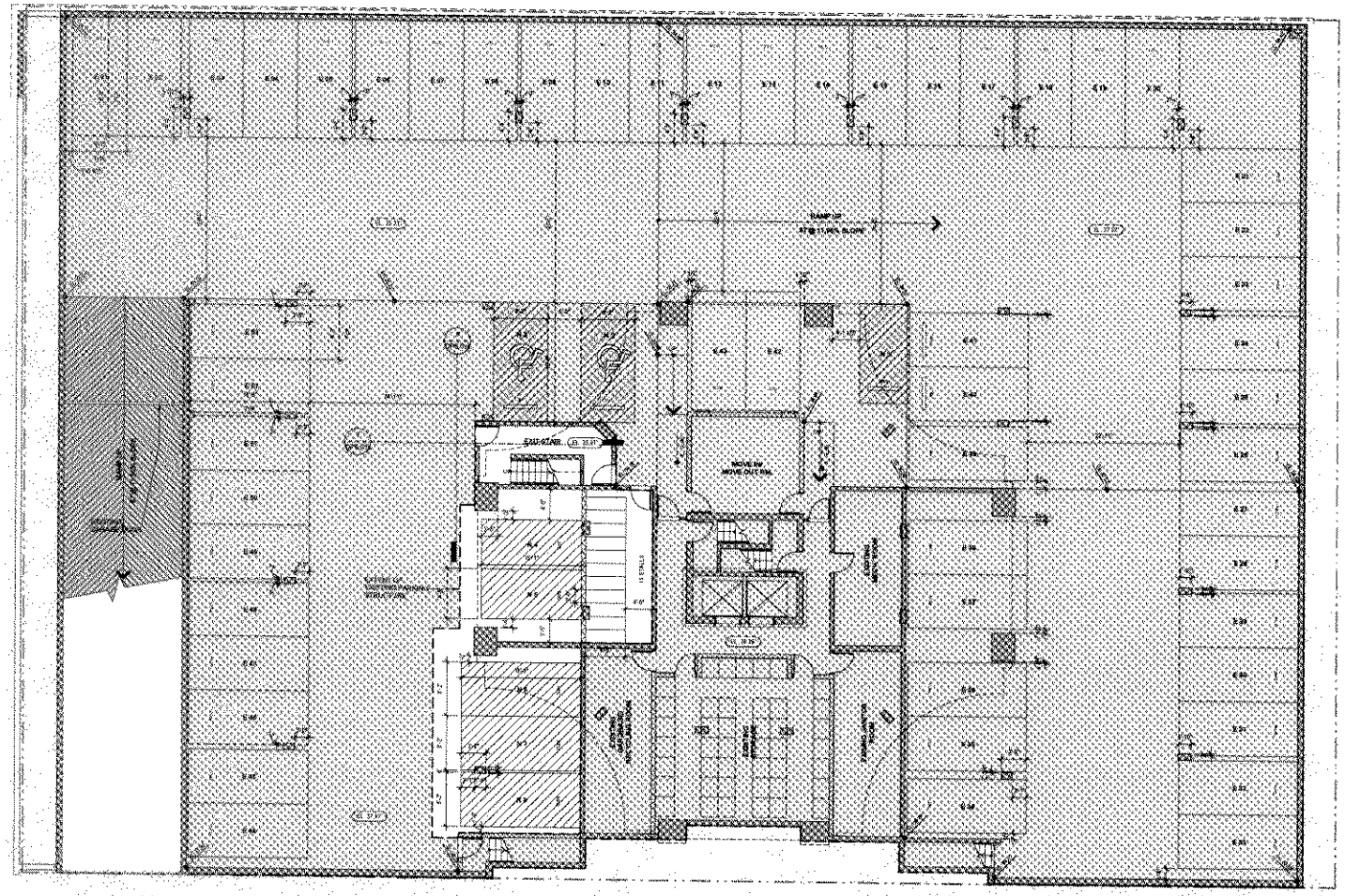

Bicycle Schedule Level P1	
Type	Count
Parcel B	
Bike Locker	36
Horizontal	11
Parcel B	47
Grand total	47

Parking Schedule Level P1	
Type	Count
PARCEL B	
Regular Stall	
EXISTING	53
NEW	13
	66
Small Stall	
NEW	3
	3
Handicap Stall	
NEW	2
	2
Grand Total	71

CLIENT

DEVONSHIRE PROPERTIES INC.

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NO.	DRAWING DATE	PROJECT DESCRIPTION DESCRIPTION
1	20140708	

REVISIONS

NO.	DATE	APPR.	DESCRIPTION

KEYPLAN

SITE/CONSULTANT

PRIME CONSULTANT

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tel 604 683 8797 fax 604 683 8682
ibigroup.com

PROJECT TITLE

BEACH TOWERS

1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO	28866
DRAWN BY	SY, ES
CHKD BY	SN
SCALE	1/8" = 1'-0"
DATE	JULY 08, 2014

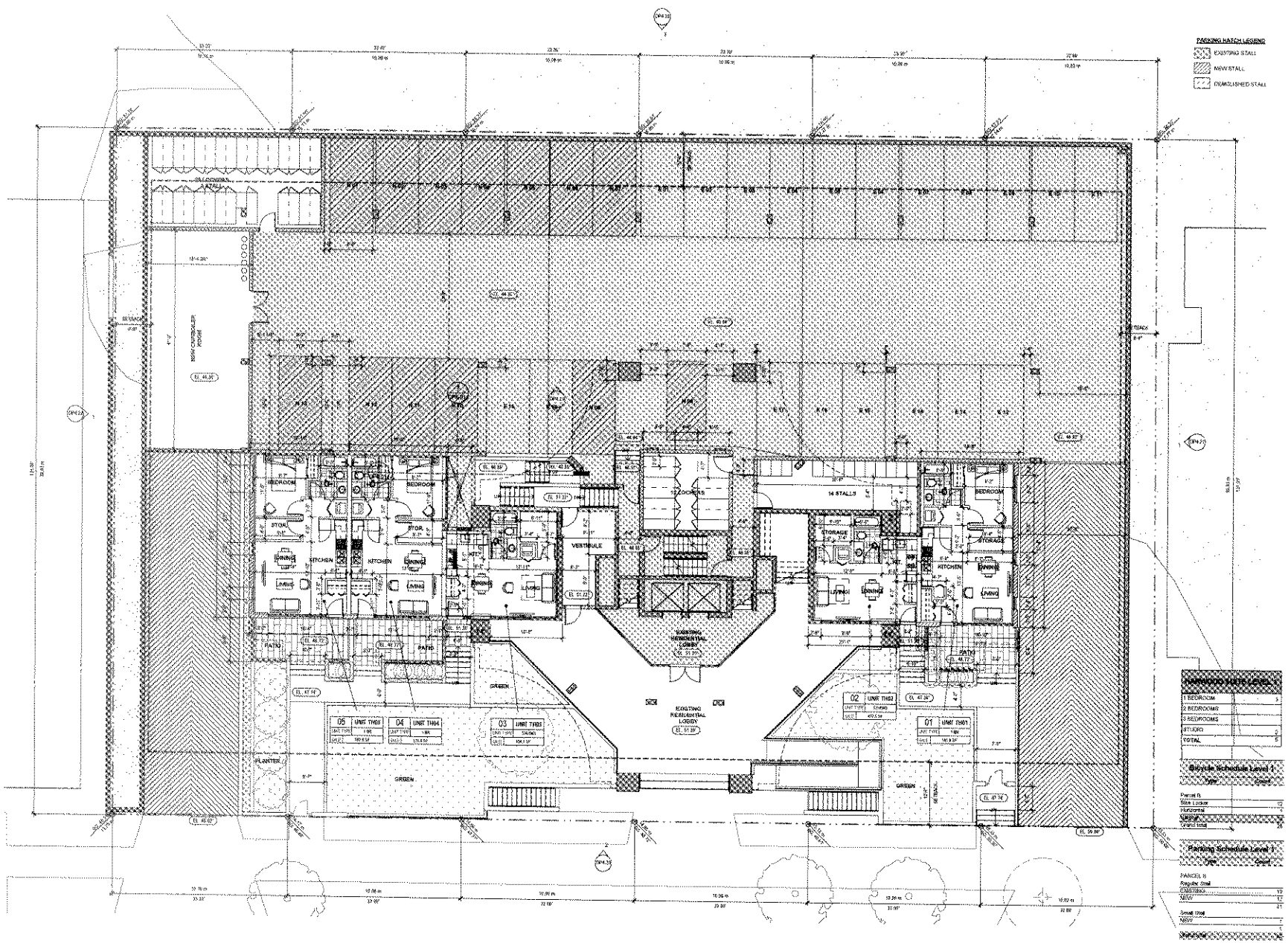
SHEET TITLE

HARWOOD TOWNHOUSE LEVEL P1 PLAN

SHEET NUMBER

DP3.20

REV



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1	2014-07-08	ISSUED FOR DP APPLICATION

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NO.	DATE	APPR.	DESCRIPTION

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PRIME CONSULTANT
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Vancouver BC V6E 4B1 Canada
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ibigroup.com

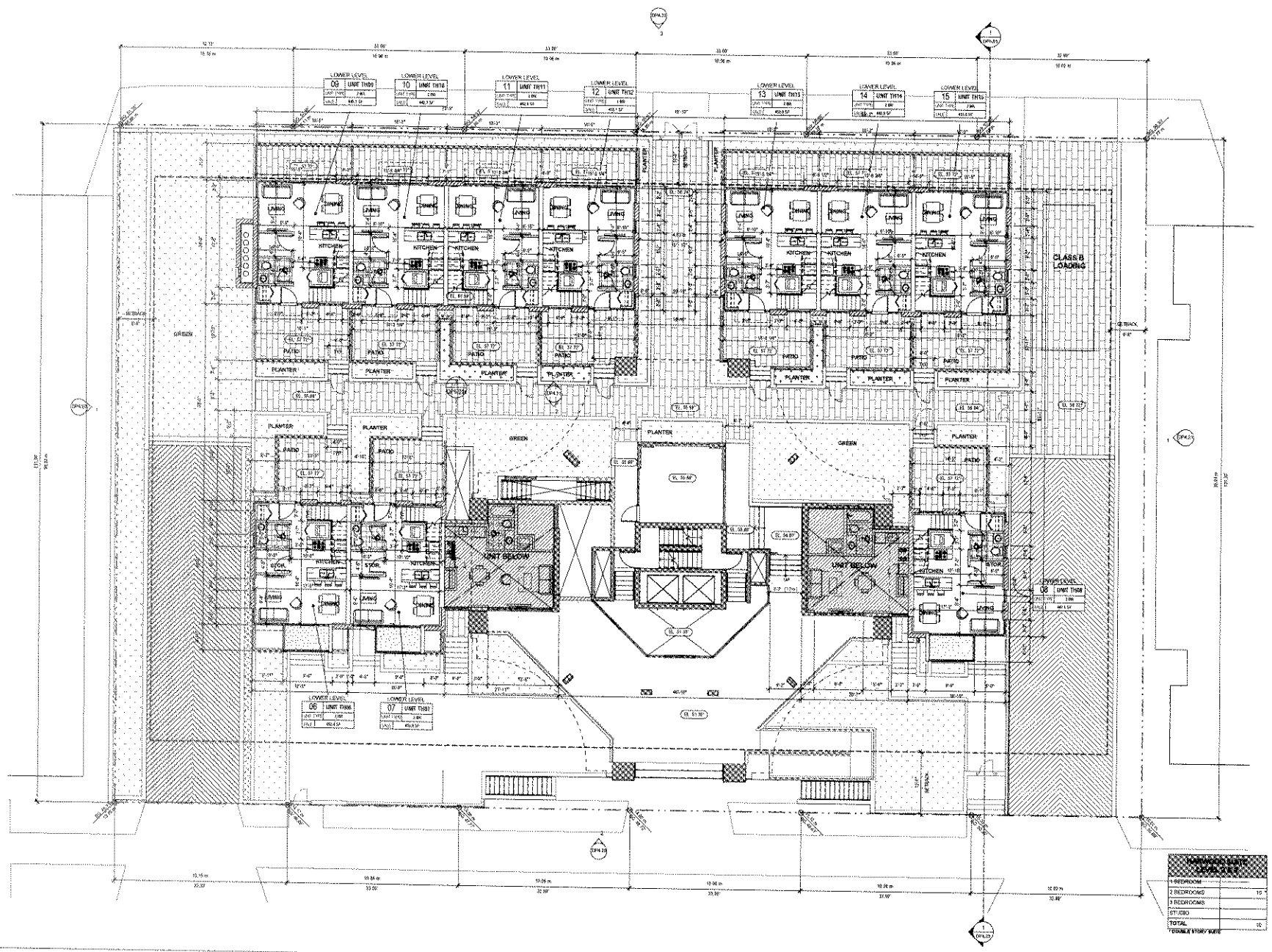
PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO 26999
DRAWN BY BY, ES
CHKD BY BH
SCALE 1/8" = 1'-0"
DATE JULY 09, 2014

SHEET TITLE
HARWOOD TOWNHOUSE LEVEL 1 PLAN

SHEET NUMBER **DP3.21** REV

Appendix C ; page 29 of



HARWOOD UNIT TYPE MIX	
1 BEDROOM	
2 BEDROOMS	10
3 BEDROOMS	
STUDIO	
TOTAL	10

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NO.	DATE	DRAWN	RECEIPTS OF APPROVAL
1			

ISSUED

NO.	DATE	DRAWN	DESCRIPTION

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SUB-CONSULTANT

PRIME CONSULTANT
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700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 6757 fax 604 683 0882
ibigroup.com

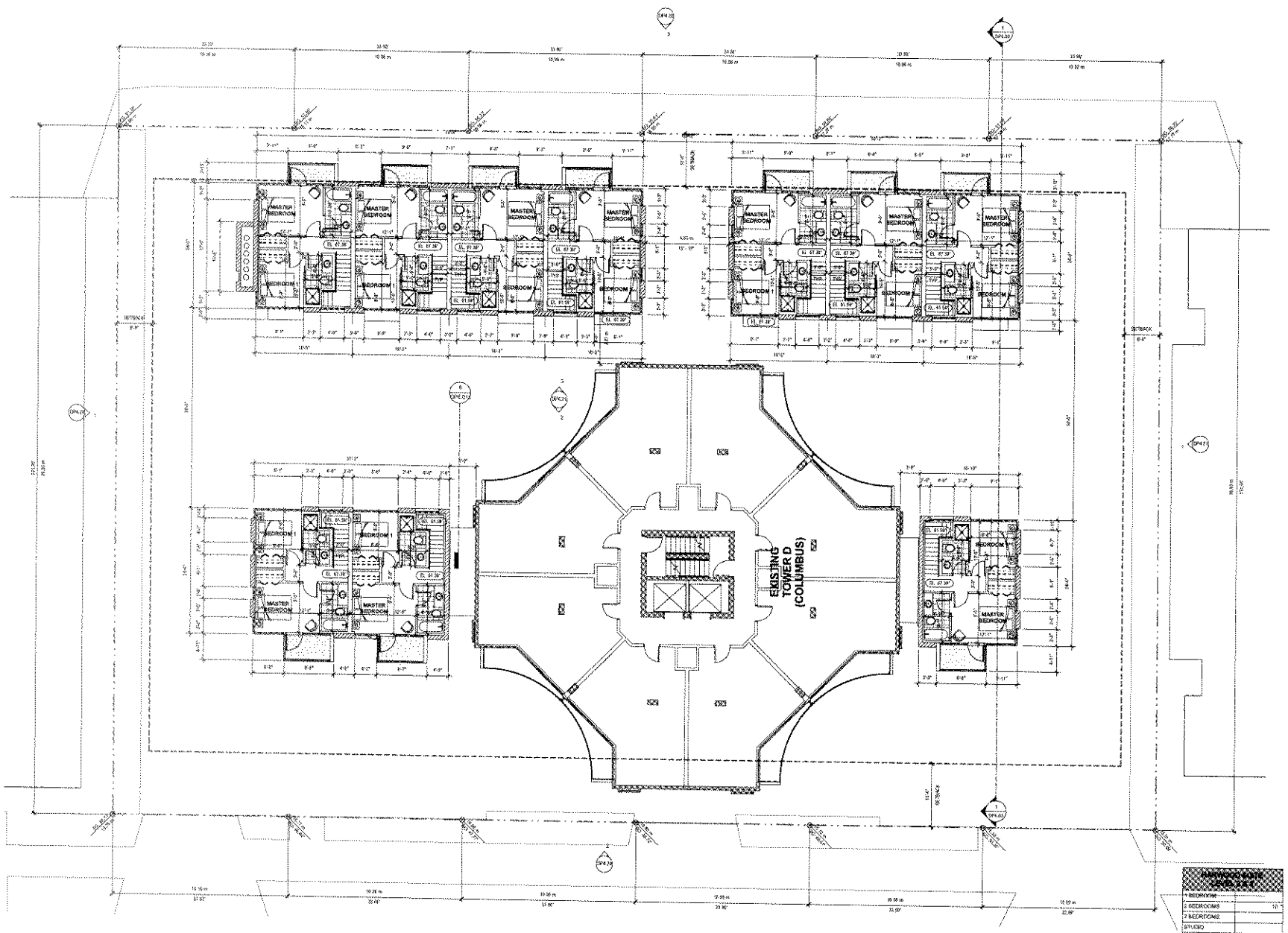
PROJECT TITLE
BEACH TOWERS
1800 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	26999
DRAWN BY	ZY, EN
CHKD BY	BN
SCALE	1/8" = 1'-0"
DATE	JULY 09, 2014

SHEET TITLE
HARWOOD TOWNHOUSE LEVEL 2 PLAN

SHEET NUMBER **DP3.22** REV

Appendix C ; page 3 of



HARWOOD SUITE MIX	
1 BEDROOM	
2 BEDROOMS	10
3 BEDROOMS	
STUDIO	
TOTAL	10

TOWNHOUSE STORY SUITE

CLIENT

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NO.	DATE	DESCRIPTION
1	2014-07-09	ISSUED FOR DP APPLICATION

ISSUES

NO.	DATE	APPR	DESCRIPTION

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PROJECT NORTH

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SUB-CONSULTANT

PRIME CONSULTANT

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700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 6797 fax 604 683 9682
ibigroup.com

PROJECT TITLE

BEACH TOWERS

1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO	29999
DRAWN BY	SY, EB
CHK'D BY	SN
SCALE	1/8" = 1'-0"
DATE	JULY 09 2014

SHEET TITLE

HARWOOD TOWNHOUSE LEVEL 3 PLAN

SHEET NUMBER

DP3.23

REV

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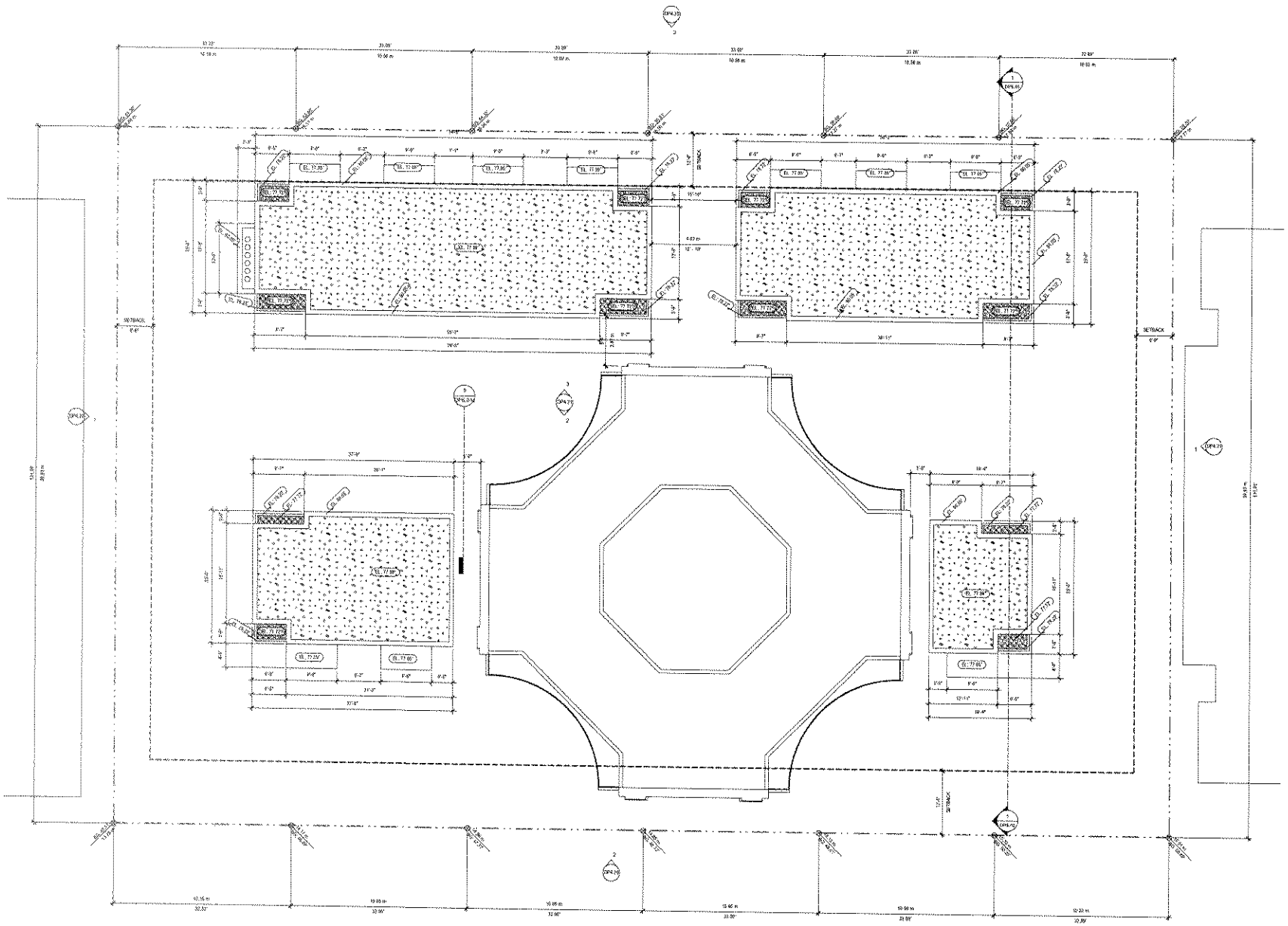

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1	2014-07-09	ISSUE FOR DP APPLICATION

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NO.	DATE	APPR.	DESCRIPTION

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PRIME CONSULTANT
IBI GROUP ARCHITECTS
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Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 683 8492
ibigroup.com

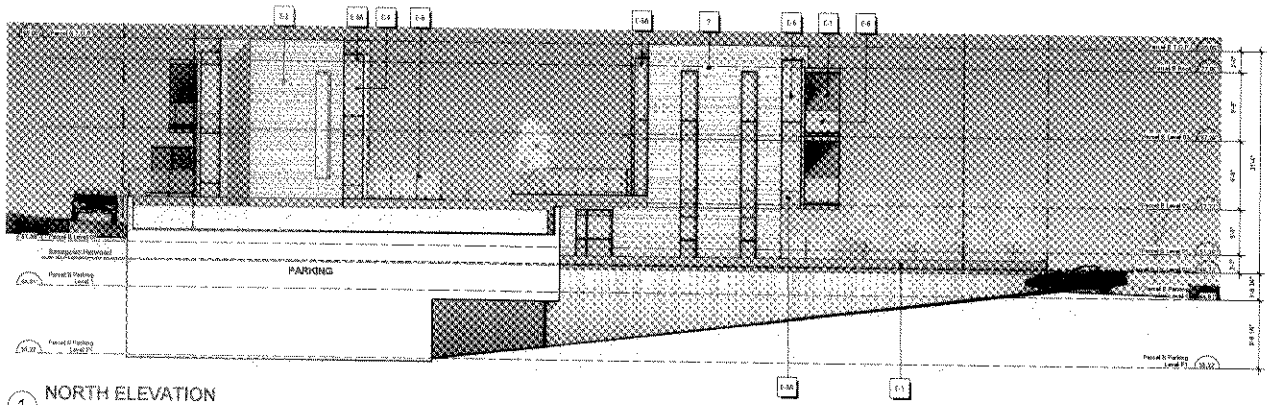
PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO. 28899
DRAWN BY BY, EH
CHKD BY BN
SCALE 1/8" = 1'-0"
DATE JULY 09, 2014

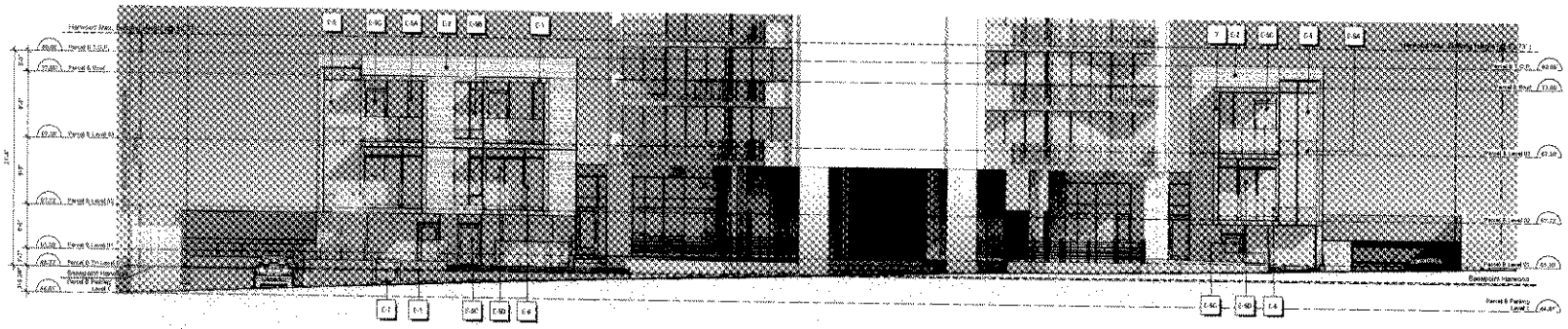
SHEET TITLE
HARWOOD TOWNHOUSE ROOF PLAN

SHEET NUMBER **DP3.24**
REV

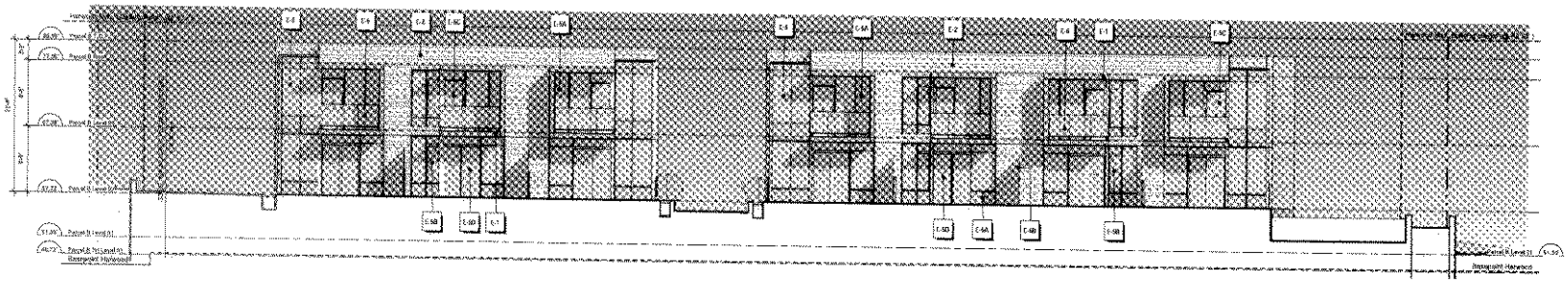
Appendix C ; page 32 of



1 NORTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION - HARWOOD STREET
1/8" = 1'-0"



3 EAST ELEVATION - LANE SIDE
1/8" = 1'-0"

Elevation Legend

No.	Description
E-1	PAINTED ARCHITECTURAL CONCRETE
E-1A	CONCRETE WALL WITH REVEALS
E-2	STONE CLAD WALLS
E-3	POLE
E-3A	SIGNAGE
E-4	450 CURTAIN WALL SYSTEM - CLEAR GLASS
E-4A	450 CURTAIN WALL SYSTEM - FRANSHEK GLASS
E-4C	PREFINISHED ALUM. DOOR IN CURTAIN WALL SYSTEM
E-4D	450 CURTAIN WALL SYSTEM - FRITTED GLASS
E-5	WINDOW WALL SYSTEM - VISION GLASS
E-5A	WINDOW WALL SYSTEM - SPANDREL GLASS
E-5B	OPERABLE WINDOW IN WINDOW WALL SYSTEM
E-5C	PREFINISHED ALUM. DOOR IN WINDOW WALL SYSTEM
E-5D	PREFINISHED ALUM. SLIDING DOOR IN WINDOW WALL SYSTEM
E-6	PREFINISHED ALUM & TEMPERED SAFETY CLEAR GLASS GUARDRAIL SYSTEM
E-6B	PRIVACY SCREEN
E-7	PRIVATE ENTRY GATE
E-8	PUBLIC ART
E-9	ENTRY STAIR
E-10	DOOR
E-11	ENTRY CANOPY
E-11A	GLASS CANOPY
E-12	GREEN ROOF
E-13	SKYLIGHT

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NO.	DATE	DESCRIPTION
1	2014-07-09	ISSUED FOR APPLICATION

ISSUED

NO.	DATE	ABBR.	DESCRIPTION

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SUB-CONSULTANT

PRIME CONSULTANT
IBI GROUP ARCHITECTS
700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
Tel 604 683 8797 Fax 604 683 6492
ibigroup.com

PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO	26999
DRAWN BY	BY, ES
CHKD BY	BN
SCALE	1/8" = 1'-0"
DATE	JULY 09, 2014

SHEET TITLE
HARWOOD TOWNHOUSE ELEVATIONS

SHEET NUMBER
DP4.20

REV

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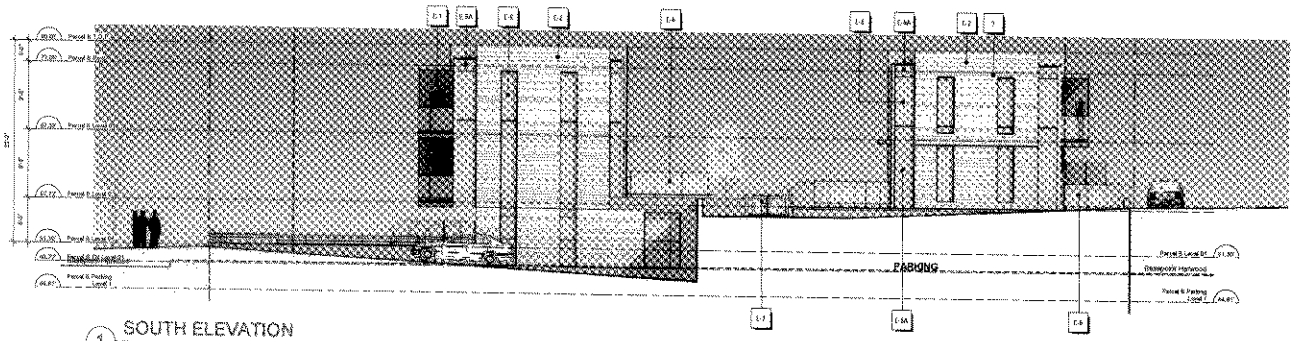
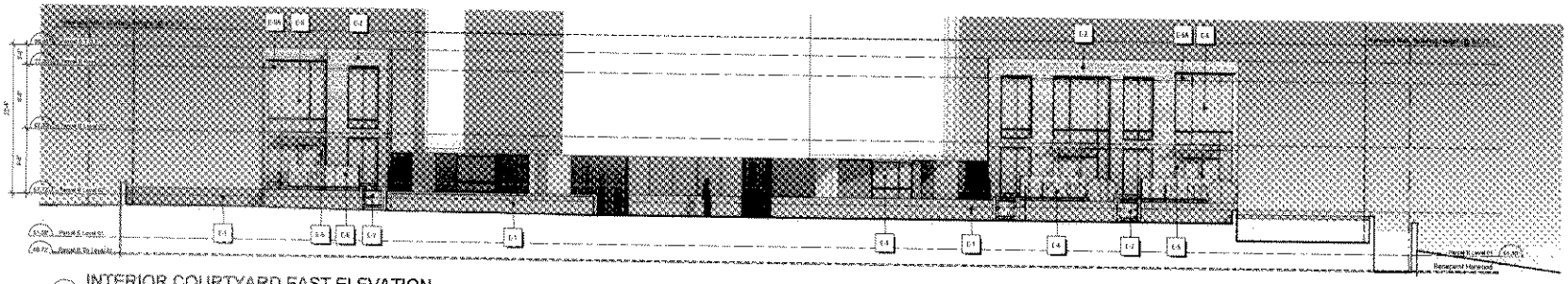
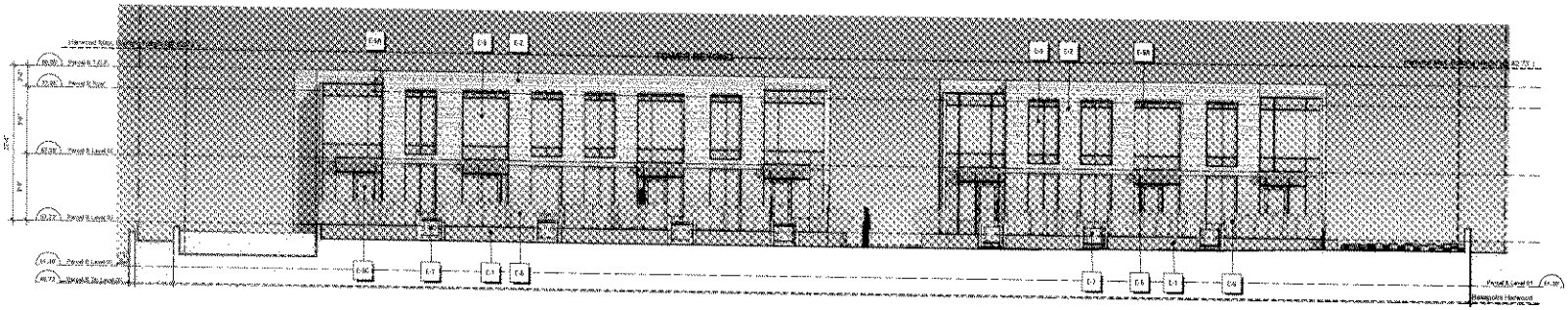


1 SOUTH ELEVATION
1/8" = 1'-0"



2 INTERIOR COURTYARD EAST ELEVATION
1/8" = 1'-0"



3 INTERIOR COURTYARD WEST ELEVATION
1/8" = 1'-0"

Elevation Legend

No.	Description
E-1	PAINTED ARCHITECTURAL CONCRETE
E-1A	CONCRETE WALL WITH REVEALS
E-2	STONE CLAD WALLS
E-3	POLE
E-3A	SIGNAGE
E-4	4SG CURTAIN WALL SYSTEM - CLEAR GLASS
E-4A	4SG CURTAIN WALL SYSTEM - SPANDREL GLASS
E-4B	PREFINISHED ALUM. DOOR IN CURTAIN WALL SYSTEM
E-4D	4SG CURTAIN WALL SYSTEM - FRITTED GLASS
E-5	WINDOW WALL SYSTEM - VISION GLASS
E-5A	WINDOW WALL SYSTEM - SPANDREL GLASS
E-5B	OPERABLE WINDOW IN WINDOW WALL SYSTEM
E-5C	PREFINISHED ALUM. DOOR IN WINDOW WALL SYSTEM
E-5D	PREFINISHED ALUM. SLIDING DOOR IN WINDOW WALL SYSTEM
E-6	PREFINISHED ALUM & TEMPERED SAFETY CLEAR GLASS GUARDRAIL SYSTEM
E-6B	PRIVACY SCREEN
E-7	PRIVATE ENTRY GATE
E-8	PUBLIC ART
E-9	ENTRY STAIR
E-10	DOOR
E-11	ENTRY CANOPY
E-11A	GLASS CANOPY
E-12	GREEN ROOF
E-13	SKYLIGHT

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(BEACH TOWERS INVESTMENT INC. & ENGLISH BAY INVESTMENTS INC.)

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1	2014/07/08	ISSUED FOR APPLICATION

ISSUED

NO.	DATE	APPR.	DESCRIPTION

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PRIME CONSULTANT
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Vancouver BC V6E 4B1 Canada
tel 604 683 4797 fax 604 683 0493
ibigroup.com

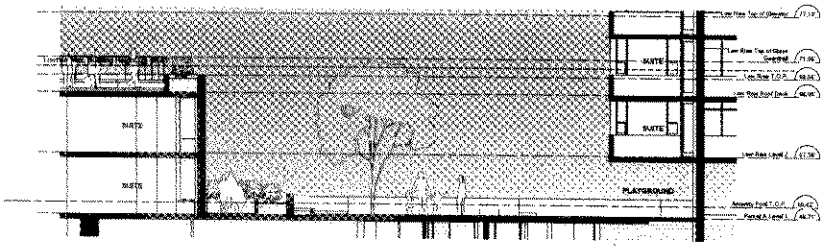
PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1621 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	28999
DRAWN BY	SY, EE
CHK'D BY	MN
SCALE	1/8" = 1'-0"
DATE	JULY 08, 2014

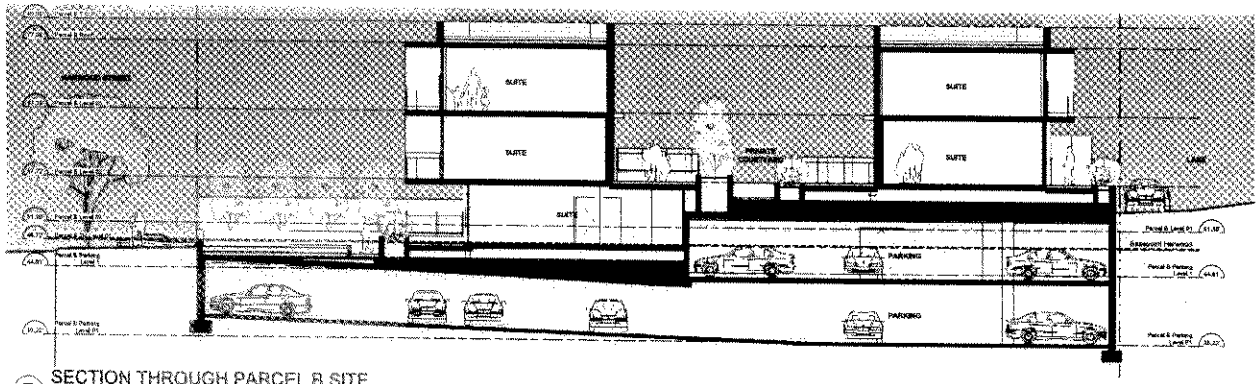
SHEET TITLE
HARWOOD TOWNHOUSE ELEVATIONS

SHEET NUMBER **DP4.21** REV

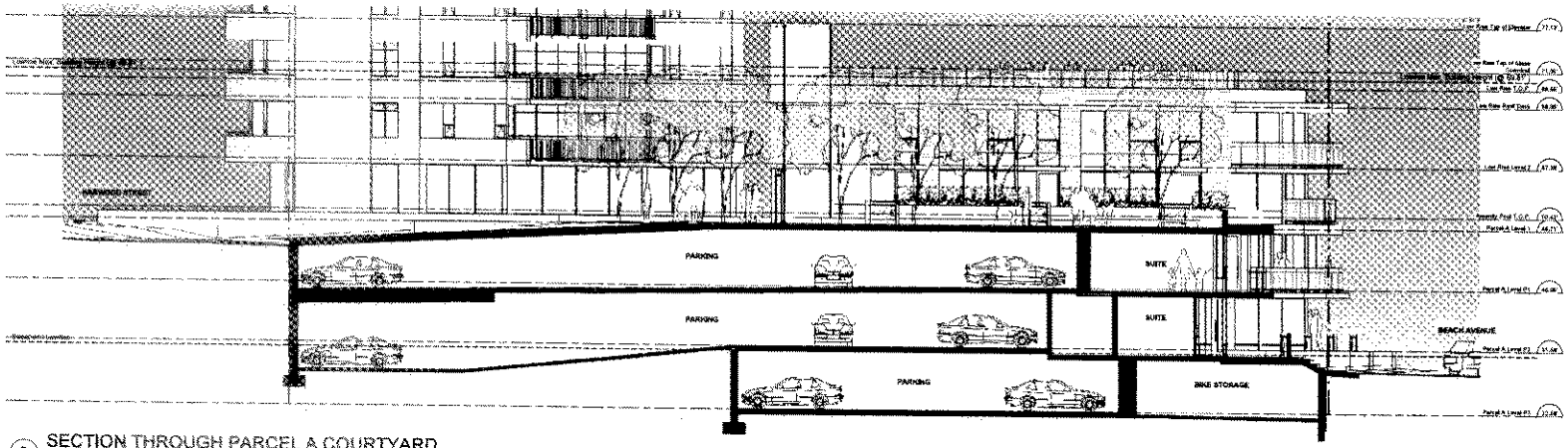
Appendix C ; page 34 of



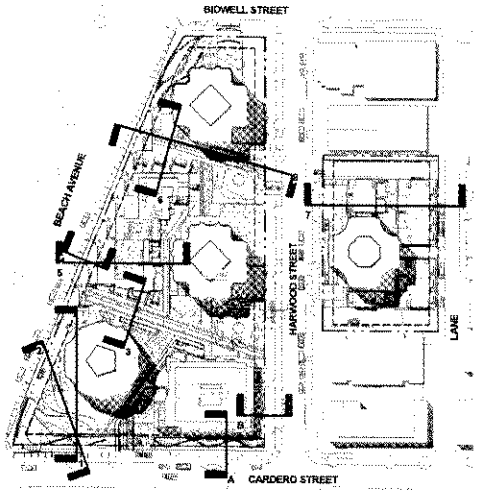
6 SECTION THROUGH LOWRISE & TOWER B COURTYARD
1/8" = 1'-0"



7 SECTION THROUGH PARCEL B SITE
1/8" = 1'-0"



8 SECTION THROUGH PARCEL A COURTYARD
1/8" = 1'-0"



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(BEACH TOWERS INVESTMENT INC. & ENGLISH BAY INVESTMENTS INC.)

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NO.	DATE	DESCRIPTION
1	2014-07-09	ISSUED FOR DP APPLICATION

ISSUES

NO.	DATE	APPR.	DESCRIPTION

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SUB-CONSULTANT

PRIME CONSULTANT
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IBI / HB ARCHITECTS
700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 683 0482
ibigroup.com

PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	28989
DRAWN BY	SY
CHKD BY	SN
SCALE	1/8" = 1'-0"
DATE	JULY 09, 2014

SHEET TITLE
ENLARGED SECTIONS

SHEET NUMBER
DP5.11
REV

Last Saved: 7/9/2014 1:17:28 PM
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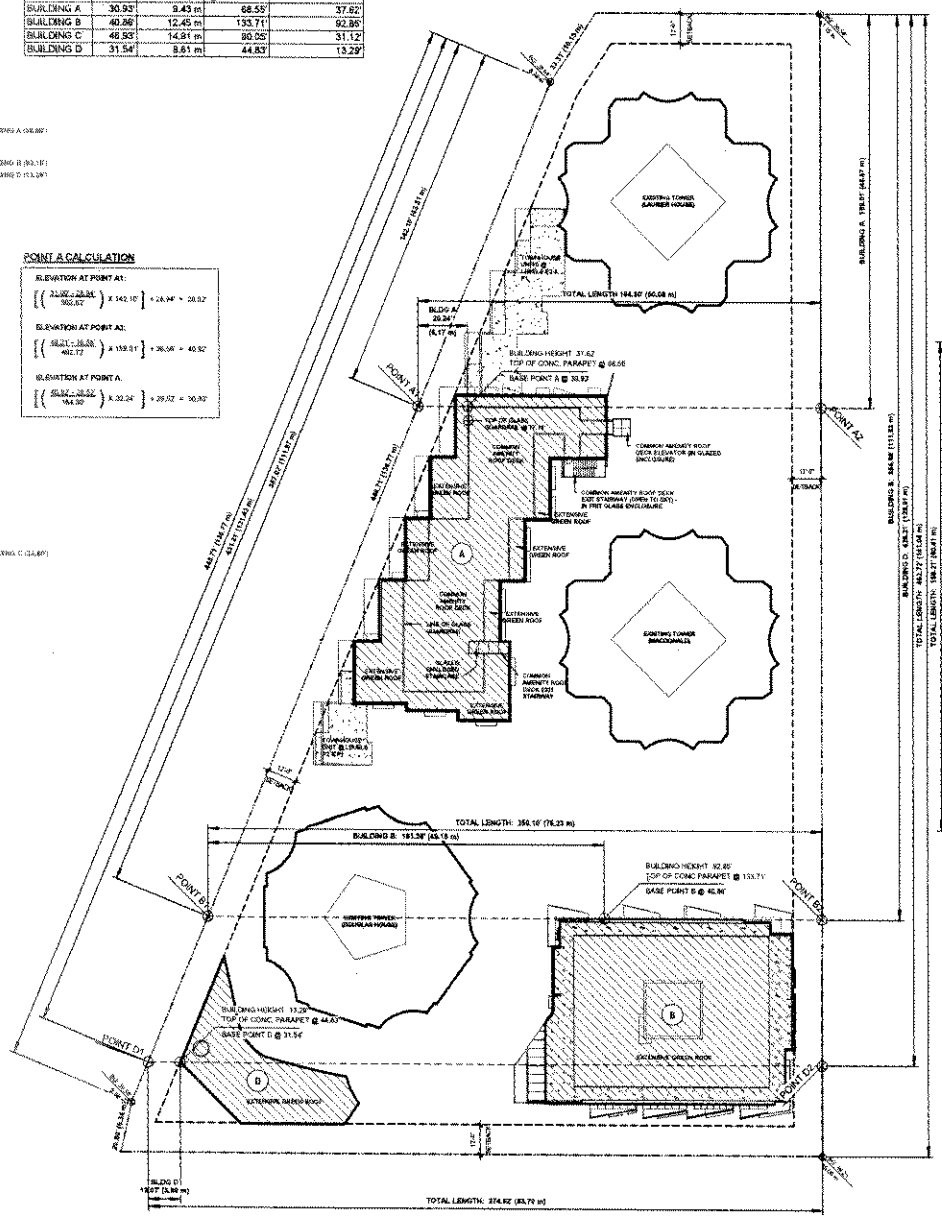
	BASE POINT	BASE POINT (METRIC)	GEO. ELEV @ PARAPET	BLDG HEIGHT @ CONC. PARAPET
BUILDING A	30.93'	9.43 m	68.55'	37.62'
BUILDING B	40.86'	12.45 m	133.71'	92.86'
BUILDING C	48.93'	14.91 m	80.05'	31.12'
BUILDING D	31.54'	9.61 m	44.83'	13.29'



POINT A CALCULATION

ELEVATION AT POINT A1:

$$\left[\left(\frac{21.92' - 28.94'}{502.82'}\right) \times 142.10'\right] + 28.94' = 28.92'$$

ELEVATION AT POINT A2:

$$\left[\left(\frac{58.21' - 36.58'}{462.72'}\right) \times 159.91'\right] + 36.58' = 40.92'$$

ELEVATION AT POINT A:

$$\left[\left(\frac{58.92' - 30.93'}{164.50'}\right) \times 20.24'\right] + 30.93' = 30.92'$$

POINT B CALCULATION

ELEVATION AT POINT B1:

$$\left[\left(\frac{21.92' - 28.94'}{502.82'}\right) \times 367.02'\right] + 28.94' = 30.44'$$

ELEVATION AT POINT B2:

$$\left[\left(\frac{58.21' - 36.58'}{462.72'}\right) \times 366.84'\right] + 36.58' = 40.58'$$

ELEVATION AT POINT B:

$$\left[\left(\frac{58.92' - 30.44'}{260.12'}\right) \times 161.26'\right] + 30.44' = 40.66'$$

POINT C CALCULATION

ELEVATION AT POINT C1:

$$\left[\left(\frac{50.87' - 46.11'}{60.41'}\right) \times 25.77'\right] + 46.11' = 47.58'$$

ELEVATION AT POINT C2:

$$\left[\left(\frac{53.36' - 51.38'}{198.22'}\right) \times 25.77'\right] + 51.38' = 52.05'$$

ELEVATION AT POINT C:

$$\left[\left(\frac{53.36' - 47.58'}{130.95'}\right) \times 37.76'\right] + 47.58' = 48.33'$$

POINT D CALCULATION

ELEVATION AT POINT D1:

$$\left[\left(\frac{21.92' - 28.94'}{502.82'}\right) \times 63.12'\right] + 28.94' = 30.77'$$

ELEVATION AT POINT D2:

$$\left[\left(\frac{58.21' - 36.58'}{462.72'}\right) \times 106.21'\right] + 36.58' = 38.23'$$

ELEVATION AT POINT D:

$$\left[\left(\frac{58.21' - 30.77'}{374.92'}\right) \times 13.27'\right] + 30.77' = 31.54'$$

CLIENT
DEVONSHIRE PROPERTIES INC.
(BEACH TOWERS INVESTMENT INC., A ENGLISH BAY INVESTMENTS INC.)

NO.	DATE	DESCRIPTION
1	2014-07-08	ISSUED FOR INFORMATION

ISSUES

NO.	DATE	APPR.	DESCRIPTION

REVISIONS

PROJECT NORTH
N

KEYPLAN

SUB-CONSULTANT

PRIME CONSULTANT
IBI / IBI ARCHITECTS
700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 683 0482
ibigroup.com

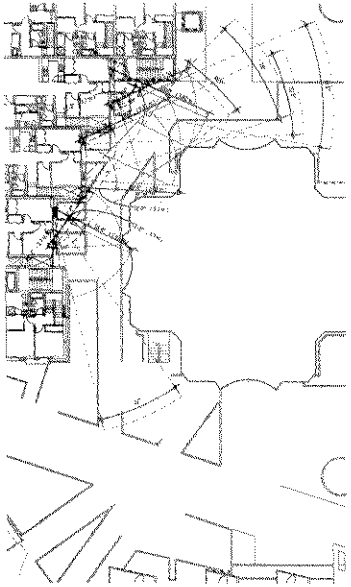
PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO: 25888
DRAWN BY: SY, ES
CHKD BY: Checker
SCALE: N.T.S.
DATE: JULY 09, 2014

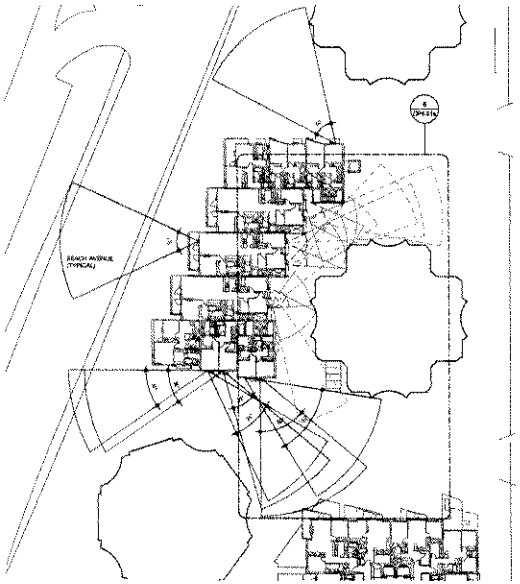
SHEET TITLE
BUILDING BASE PLAN DIAGRAM

SHEET NUMBER
DP6.00
REV

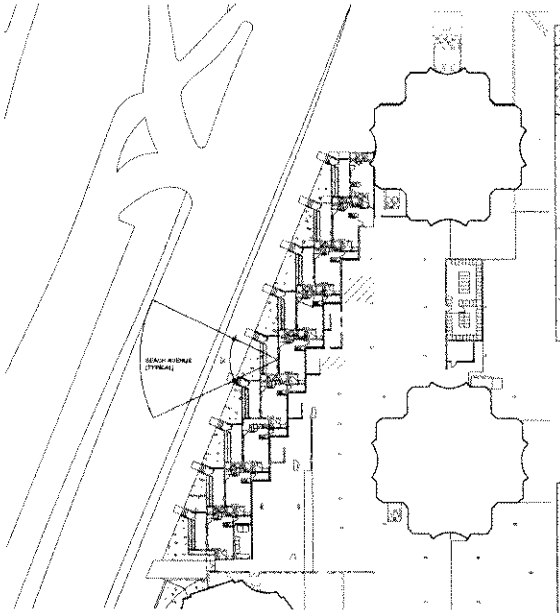
Appendix C ; page 36 of



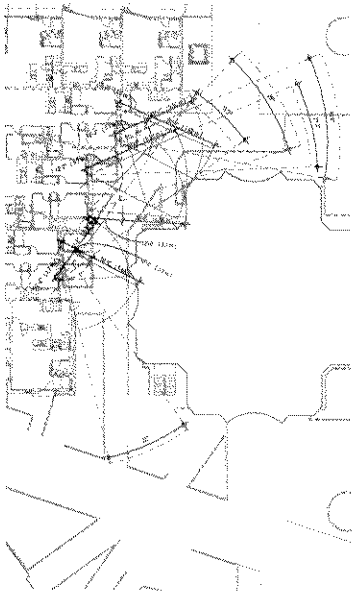
6 Inset - View Angle Lowrise Level 2
1" = 20'-0"



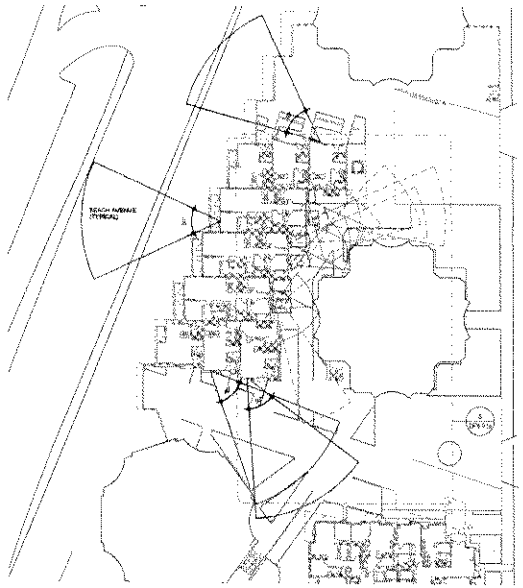
4 LOWRRISE LEVEL 2 DAYLIGHT ANGLE
1/32" = 1'-0"



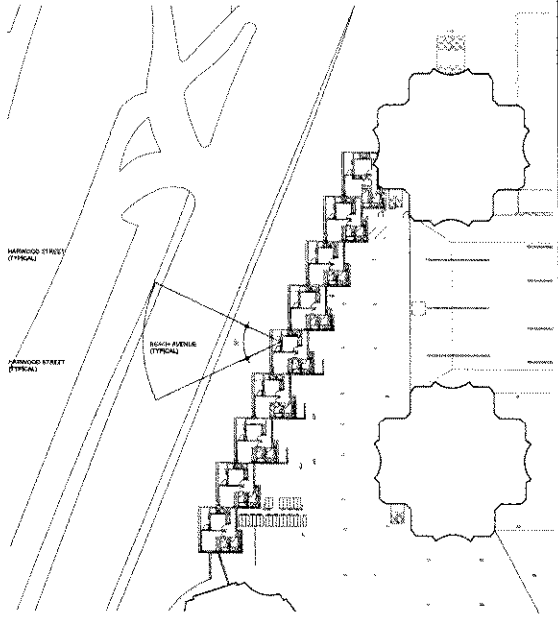
2 DP - View Angle Parcel A Level TH P2
1/32" = 1'-0"



5 Inset - View Angle Lowrise Level 1
1" = 20'-0"

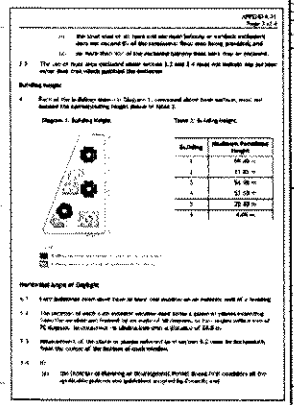


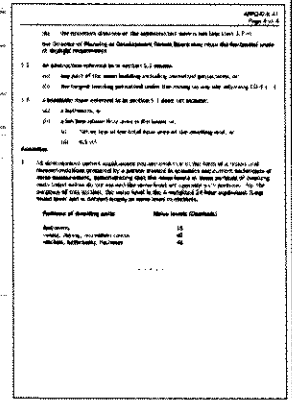
3 LOWRISE LEVEL 1 DAYLIGHT ANGLE
1/32" = 1'-0"



1 DP - View Angle Parcel A Level TH P1
1/32" = 1'-0"

VIEW CONE LEGEND	
VIEW CONE COLOR	Horizontal Daylight Angle per the proposed CD1 Bylaw provisions for Beach Towers: Beach Avenue(appendix A1 pages 3-6) & Harwood Sites (appendix A-2...
	Meets the provisions as per 5.2 with single angle of 50 degrees without encountering any obstruction over a distance of 24.0 m. Meets the provisions as per 5.2 with two angles with a sum of 70 degrees without encountering any obstruction over a distance of 24.0 m.
	Meets the provisions as per 5.4 (a) & (b) the minimum distance of unobstructed view is not less than 3.7m.





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DEVONSHIRE PROPERTIES INC.
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NO.	DATE	DESCRIPTION
1	2014-07-09	PRELIMINARY APPLICATION

ISSUED

NO.	DATE	APPR.	DESCRIPTION

REVISIONS

PROJECT NORTH
N

KEYPLAN

SUB-CONSULTANT

PRIME CONSULTANT
IBI
IBI / HB ARCHITECTS
700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
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ibigroup.com

PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO	33890
DRAWN BY	SY ES
CHKD BY	SN
SCALE	1/32" = 1'-0"
DATE	JULY 08, 2014

SHEET TITLE
LOWRISE HORIZONTAL ANGLE OF DAYLIGHT

SHEET NUMBER
DP6.01a
REV

Last Saved: 7/8/2014 12:50:44 PM
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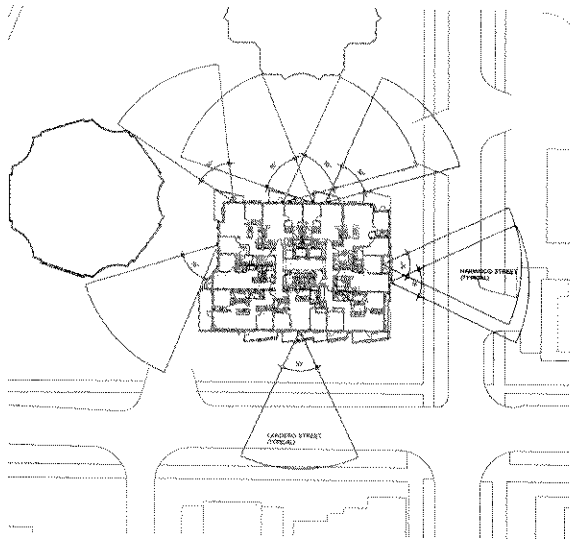
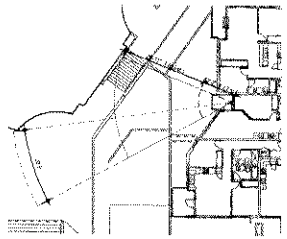
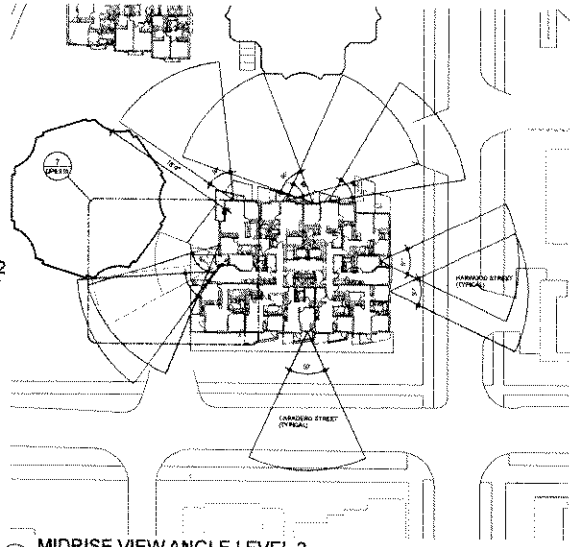


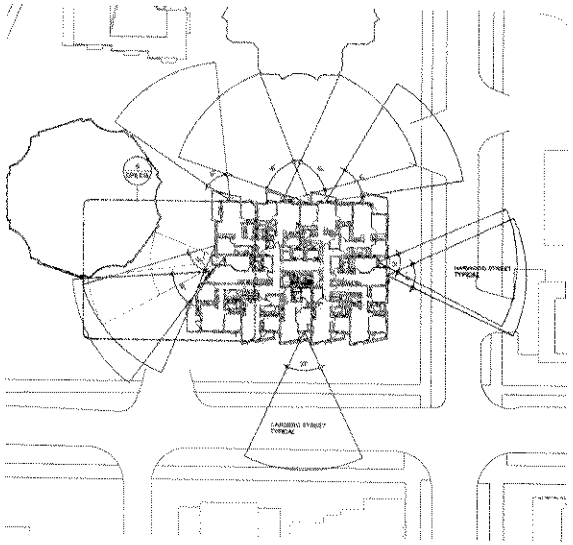
4 MIDRISE VIEW LEVEL 9
1/32" = 1'-0"



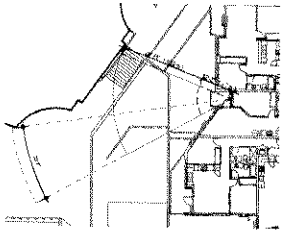
7 Inset - View Angle - Midrise Level 2
1" = 20'-0"



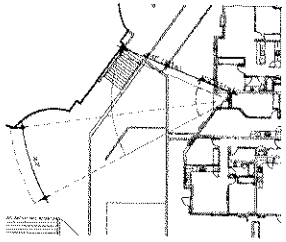
2 MIDRISE VIEW ANGLE LEVEL 2
1/32" = 1'-0"



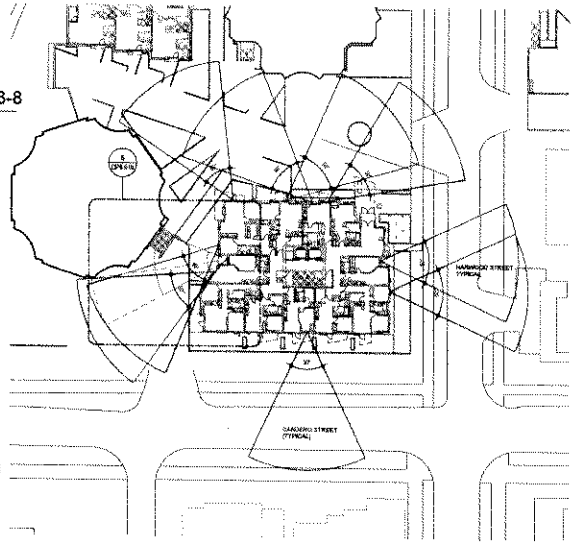
3 MIDRISE VIEW ANGLE LEVEL 3-8
1/32" = 1'-0"



6 Inset - View Angle - Midrise Level 3-8
1" = 20'-0"



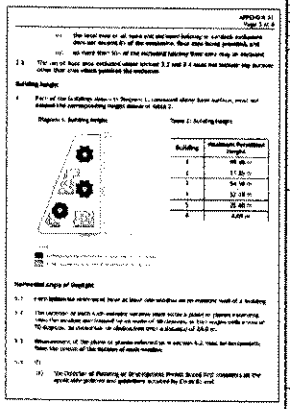
5 Inset - View angle - Midrise Level 1
1" = 20'-0"

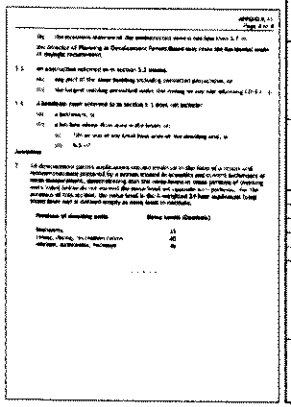


1 MIDRISE VIEW ANGLE LEVEL 1
1/32" = 1'-0"

VIEW CONE LEGEND

VIEW CONE COLOR	Horizontal Daylight Angle per the proposed CD1 Bylaw provisions for Beach Towers: Beach Avenue(appendix A1 pages 3-6) & Harwood Sites (appendix A-2)
	Meets the provisions as per 5.2 with single angle of 50 degrees without encountering any obstruction over a distance of 24.0 m. Meets the provisions as per 5.2 with two angles with a sum of 70 degrees without encountering any obstruction over a distance of 24.0 m.
	Meets the provisions as per 5.4 (a) & (b) the minimum distance of unobstructed view is not less than 3.7m.





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NO.	DATE	DESCRIPTION
1	2014-07-08	CONDITIONAL REVIEW

ISSUES

NO.	DATE	APPR.	DESCRIPTION

REVISIONS

PROJECT NORTH
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KEYPLAN

SUB-CONSULTANT

PRIME CONSULTANT
IBI / HB ARCHITECTS
700 – 1285 West Pender Street
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ibigroup.com

PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE,
1651 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO.	26989
DRAWN BY	SY, ES
CHKD BY	SN
SCALE	1/32" = 1'-0"
DATE	JULY 09, 2014

SHEET TITLE
MIDRISE HORIZONTAL ANGLE OF DAYLIGHT

SHEET NUMBER
DP6.01b
REV

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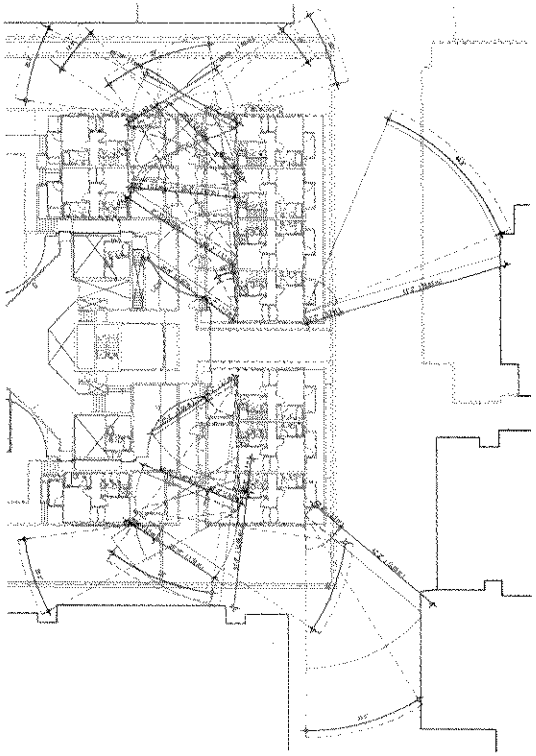
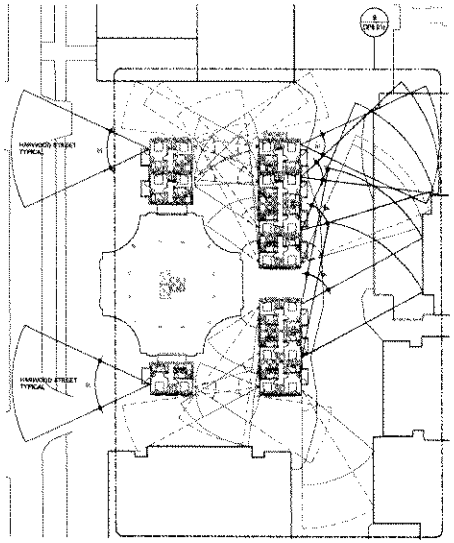
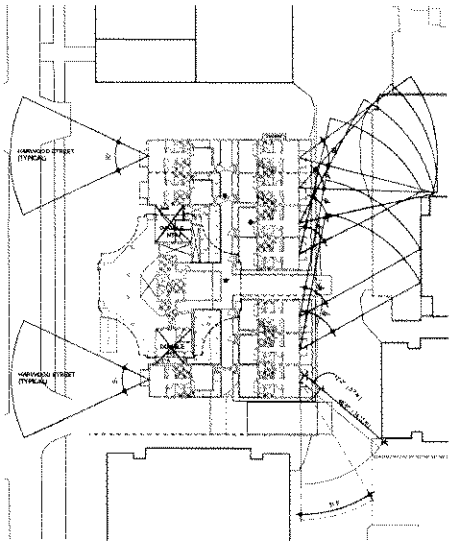


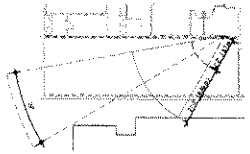
9 Inset - View Angle - Townhouse Level 3
1" = 20'-0"



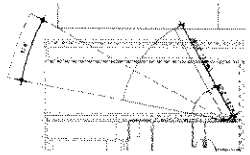
3 VIEW ANGLE TOWNHOUSE LEVEL 3
1/32" = 1'-0"



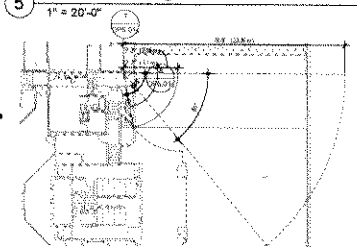
2 VIEW ANGLE TOWNHOUSE LEVEL 2
1/32" = 1'-0"



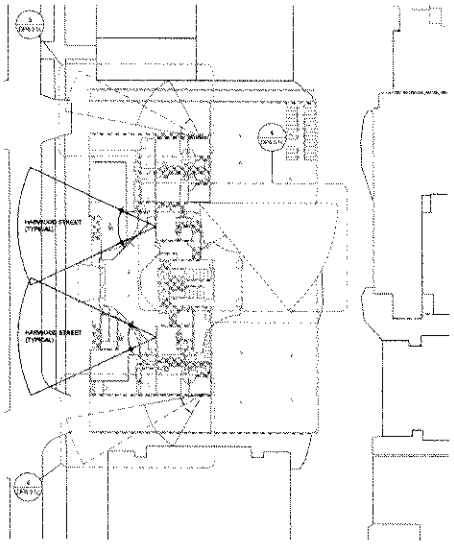
4 Inset - View Angle - Townhouse Level 1 - a
1" = 20'-0"



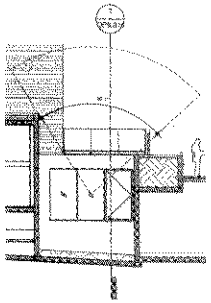
5 Inset - View Angle - Townhouse Level 1 - b
1" = 20'-0"



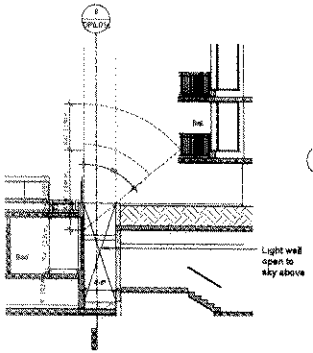
6 Inset - View Angle - Townhouse Level 1 - c
1" = 20'-0"



1 VIEW ANGLE TOWNHOUSE LEVEL 1
1/32" = 1'-0"

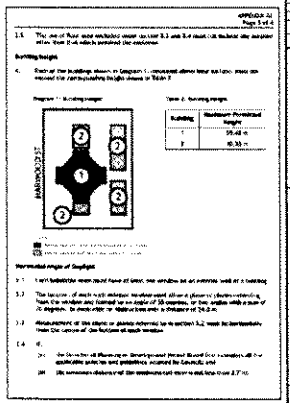


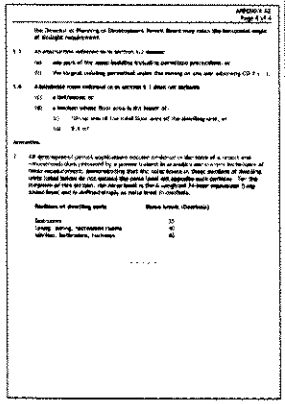
8 Inset - Section through Lightwell 2
1/8" = 1'-0"



7 Inset - Section through Lightwell 1
1/8" = 1'-0"

VIEW CONE LEGEND	
VIEW CONE COLOR	Horizontal Daylight Angle per the proposed CD1 Bylaw provisions for Beach Towers: Beach Avenue(appendix A1 pages 3-6) & Harwood Sites (appendix A-2)
	Meets the provisions as per 5.2 with single angle of 50 degrees without encountering any obstruction over a distance of 24.0 m. Meets the provisions as per 5.2 with two angles with a sum of 70 degrees without encountering any obstruction over a distance of 24.0 m.
	Meets the provisions as per 5.4 (a) & (b) the minimum distance of unobstructed view is not less than 3.7m.





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NO.	DATE	DESCRIPTION
1	2014-07-08	ISSUED FOR DP APPLICATION

ISSUES

NO.	DATE	APPR.	DESCRIPTION

REVISIONS

PROJECT NORTH
N

KEYPLAN

SUB-CONSULTANT

FIRM CONSULTANT
IBI / HB ARCHITECTS
700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 682 0400
ibigroup.com

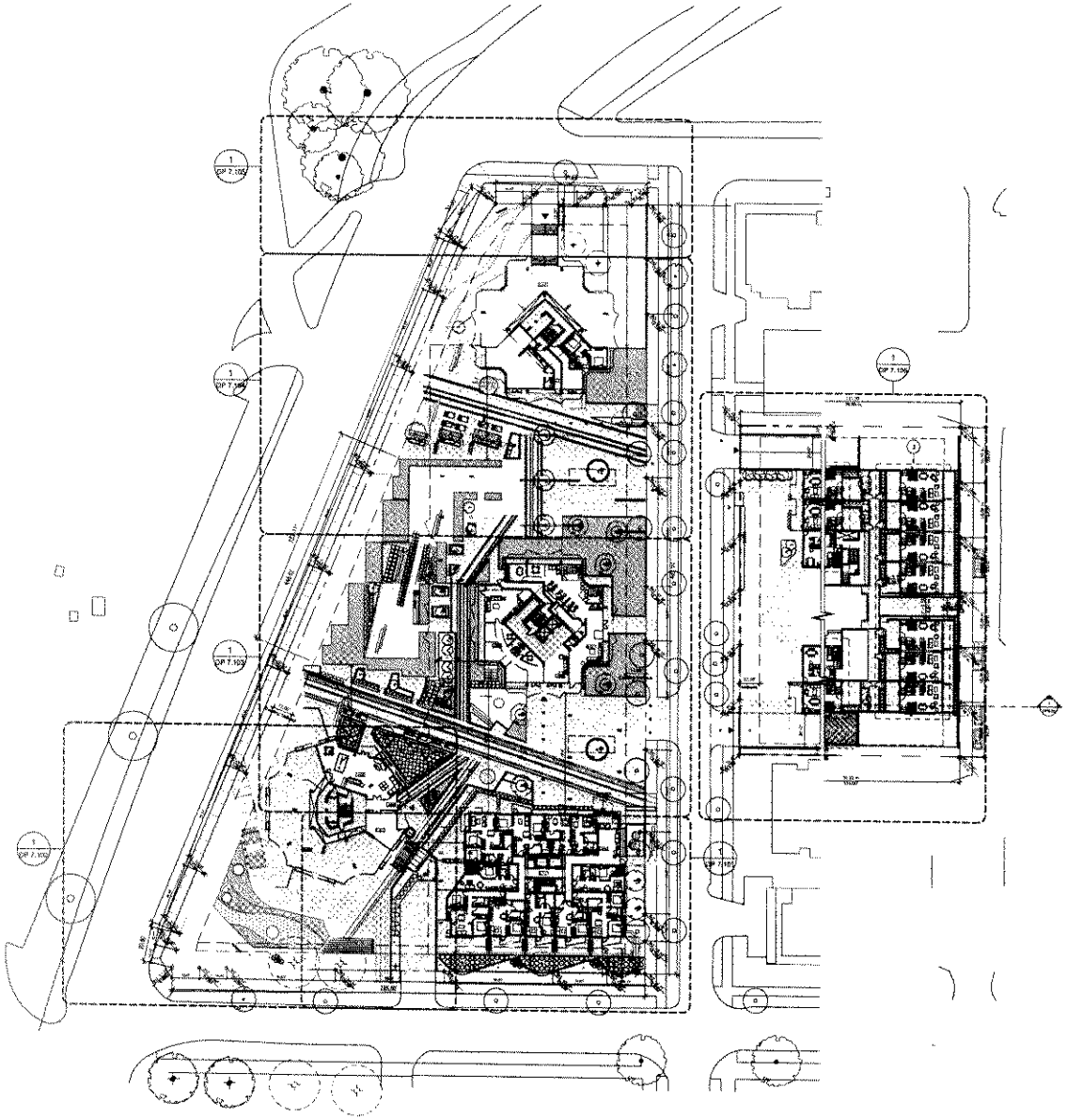
PROJECT TITLE
BEACH TOWERS
1600 BEACH AVENUE
1551 HARWOOD STREET,
VANCOUVER, BC

PROJECT NO:	26986
DRAWN BY:	BY, EB
CHKD BY:	BH
SCALE:	N.T.S.
DATE:	JULY 09, 2014

SHEET TITLE
TOWNHOUSE HORIZONTAL ANGLE OF DAYLIGHT

SHEET NUMBER
DP6.01c
REV

Appendix C ; page 39 of



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1. This drawing, as an instrument of service, is the property of the architects and are to be returned upon request and retained unless legal permission and a fee are arranged. All designs and other information shown on this drawing are for the specified project only and shall not be used otherwise without written permission of the architects. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on site. Any discrepancies must be reported, prior to commencement of any variations from the dimensions and conditions shown on this drawing. Shop drawings must be submitted to the architects for approval before proceeding with fabrication.

4. The general contractor shall verify all dimensions, levels, and bearings prior to commencement of the work and is fully responsible for reporting discrepancies and/or variations to the architects immediately.

5. This drawing must not be scaled.

DATE	REVISIONS	BY

PRIME CONSULTANT

IBI GROUP ARCHITECTS
700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 9767 fax 604 683 0462
ibigroup.com

PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

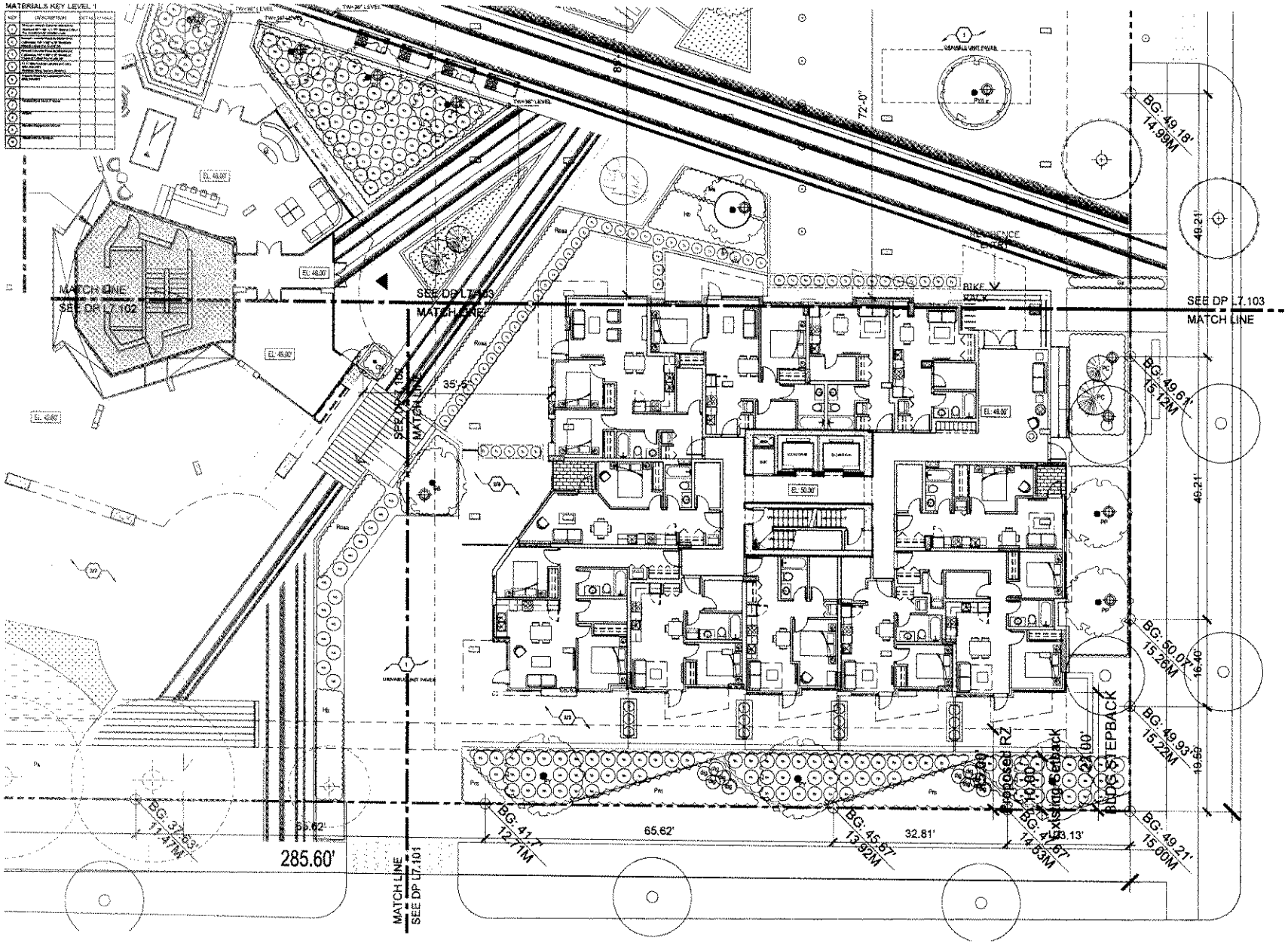
OVERALL LANDSCAPE PLAN

JOB NO.:	26999
DATE:	JULY 9, 2014
SCALE:	1/32"=1'-0"
DRAWN BY:	CQ
CHECKED BY:	CQ
REV. NO.:	—

NOTE: THIS DRAWING SUPERCEDES ALL DRAWINGS BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.100

FILE ADDRESS: 7.100.dwg
DATE LAST REVISED:



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2. The general contractor shall verify dimensions, grades, and levels prior to commencement of the work and is fully responsible for reporting discrepancies and/or omissions to the architects immediately.
3. This drawing must not be scaled.

DATE	REVISIONS	BY

PRIME CONSULTANT

IBI / HB ARCHITECTS
700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 8767 fax 604 683 0462
ibigroup.com

PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

MATERIAL PLAN - GROUND FLOOR

JOB NO.:	26999
DATE:	JULY 9, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CO
CHECKED BY:	CO
REV. NO.:	--

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

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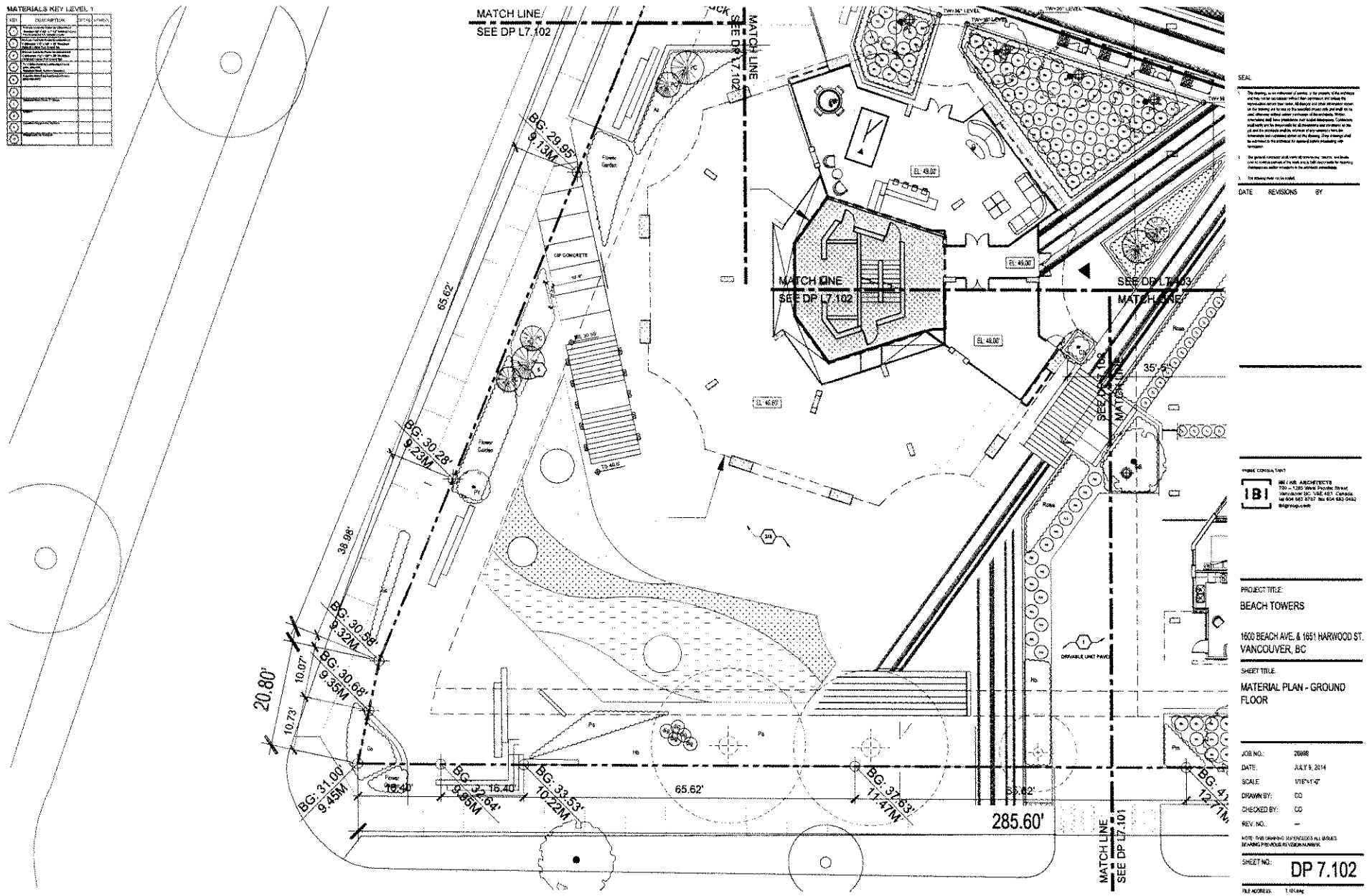
FILE ADDRESS: 7.101.dwg
DATE LAST REVISED: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BG: 29.95'
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9.23M
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9.32M
BG: 30.68'
9.35M
BG: 31.00'
9.45M
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9.95M
BG: 33.53'
10.22M
BG: 37.63'
11.47M
65.62'
38.98'
20.80'
10.07'
10.73'
16.40'
65.62'
285.60'
35'
EL: 49.00
EL: 49.30
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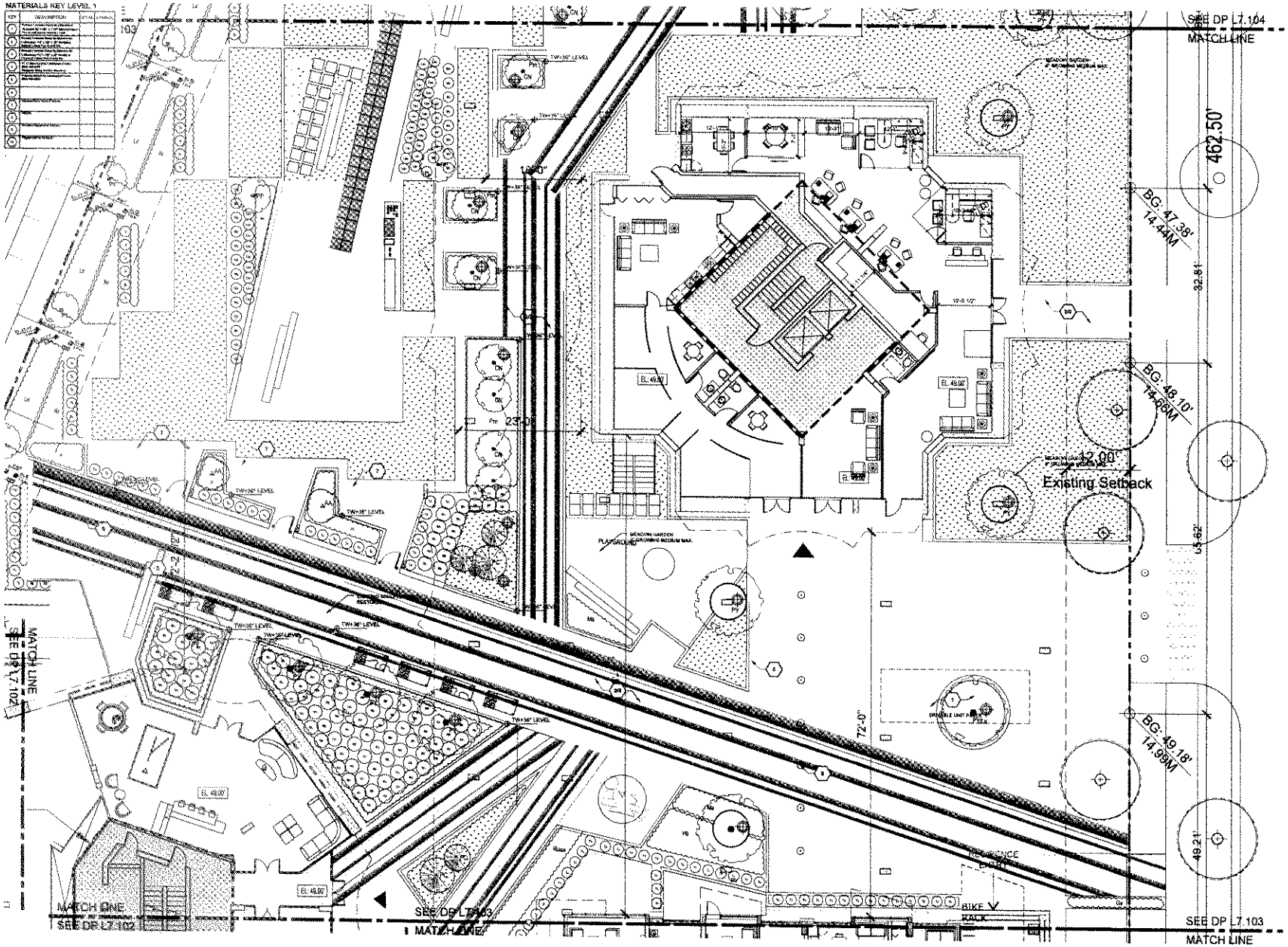
EL: 46.60
SEAL
DATE
REVISIONS
BY
IBI
PROJECT TITLE:
BEACH TOWERS
1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC
SHEET TITLE:
MATERIAL PLAN - GROUND FLOOR
JOB NO.:
DATE:
JULY 9, 2014
SCALE:
DRAWN BY:
CO
CHECKED BY:
CO
REV. NO.:
SHEET NO:
DP 7.102



SEAL:

DATE REVISIONS BY

PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

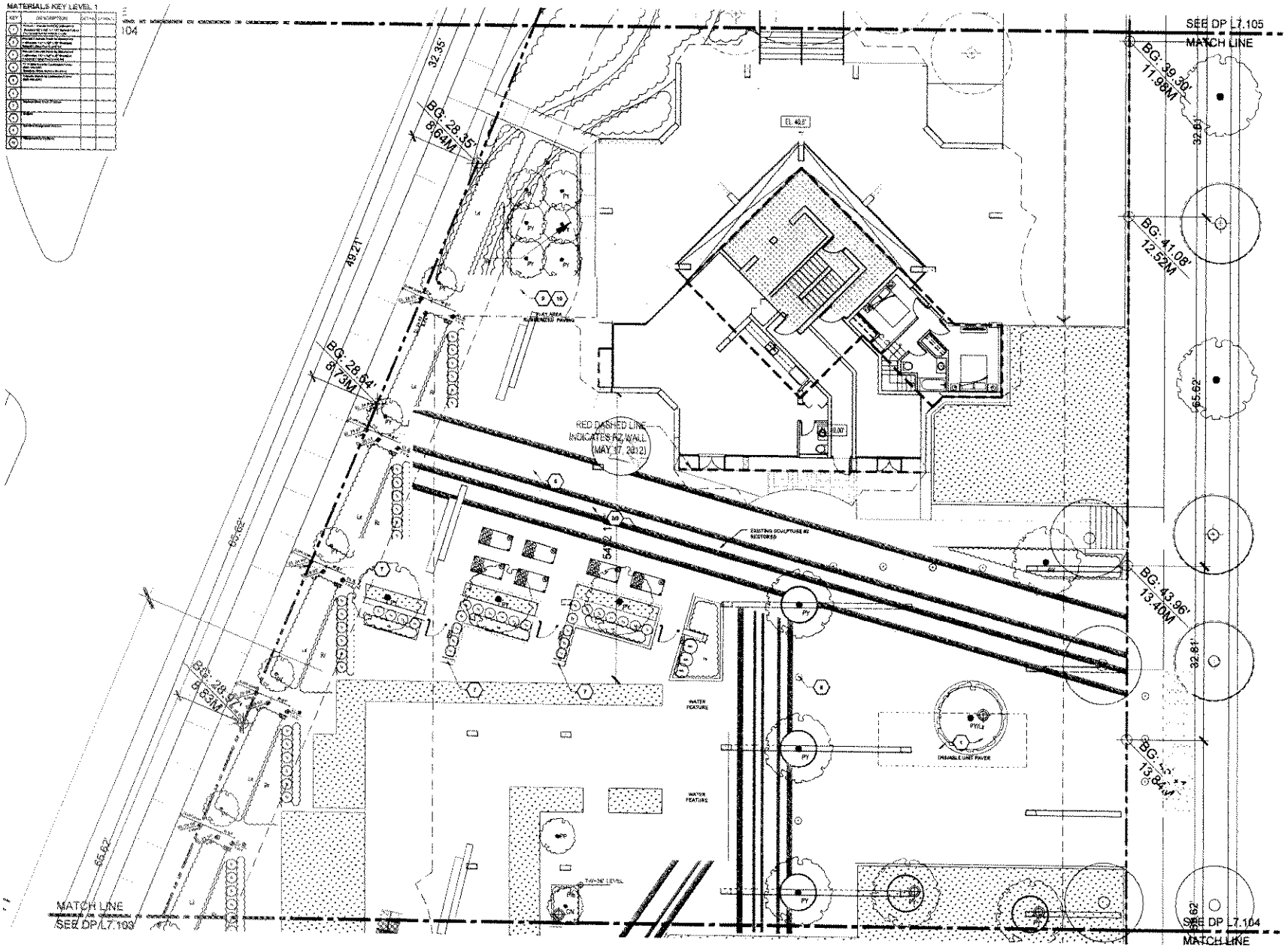
SHEET TITLE:

MATERIAL PLAN - GROUND FLOOR

JOB NO.: 26889
DATE: JULY 9, 2014
SCALE: 1/16"=1'-0"
DRAWN BY: CO
CHECKED BY: CO
REV. NO.: –

SHEET NO.: DP 7.103

Appendix C ; page 43 of



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DATE REVISIONS BY

PRIME CONSULTANT

IBI / HB ARCHITECTS
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Vancouver BC V6E 4L1 Canada
tel 604 683 8797 fax 604 683 0492
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PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

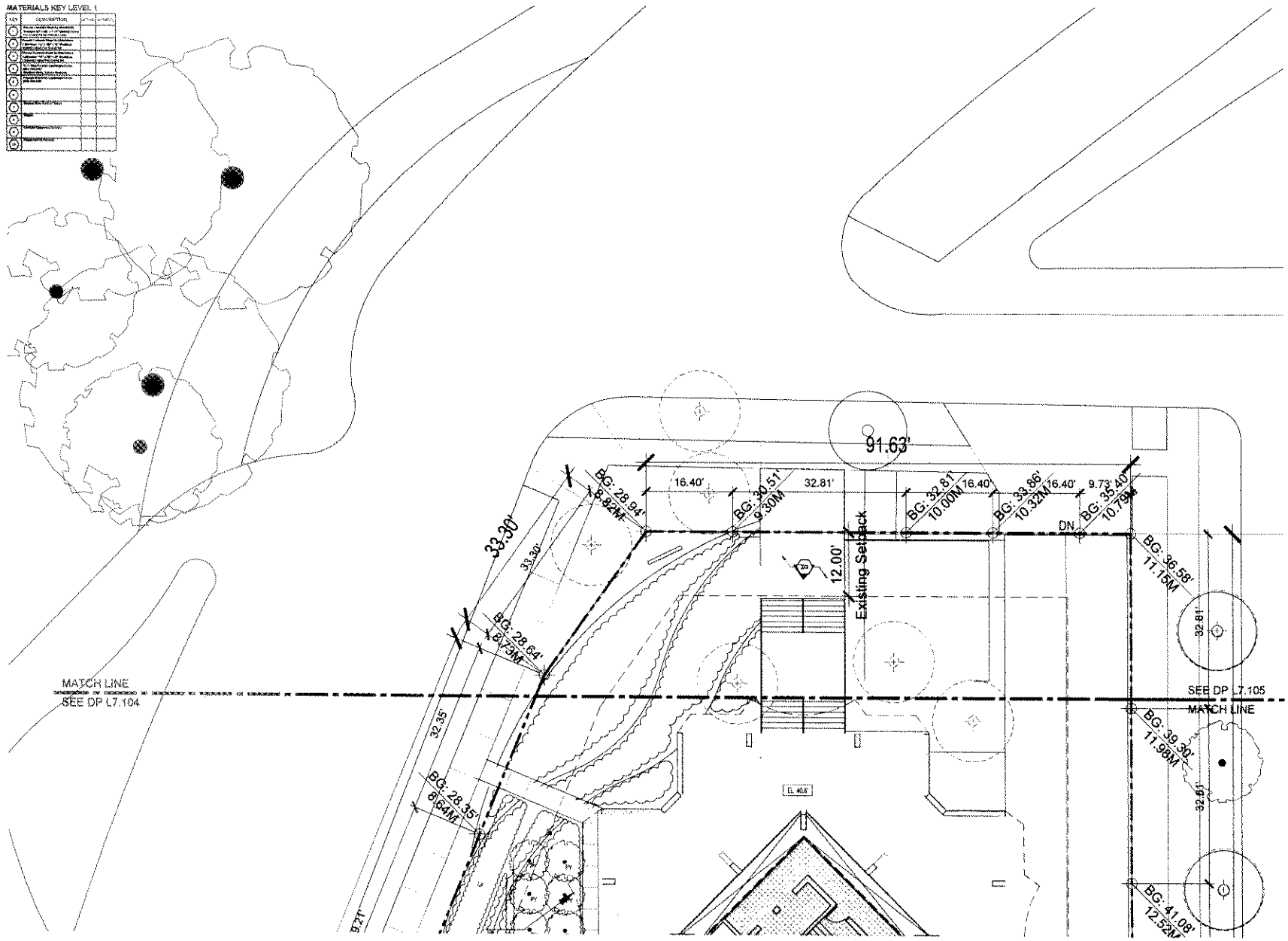
MATERIAL PLAN - GROUND FLOOR

JOB NO.:	26999
DATE:	JULY 9, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CO
CHECKED BY:	CO
REV. NO.:	—

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.104

FILE ADDRESS: 7.104.dwg
DATE LAST REVISED: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16.40'
16.40'
9.73'
BG: 28.94'
8.82M
BG: 30.51'
9.30M
BG: 32.81'
10.00M
BG: 33.86'
10.32M
BG: 35.40'
10.79M
DN
33.30'
33.30'
12.00'
Existing Setback
BG: 36.58'
11.15M
32.81'
BG: 28.64'
8.73M
MATCH LINE
SEE DP L7.104
SEE DP L7.105
MATCH LINE
32.35'
BG: 39.36'
11.98M
32.81'
BG: 28.35'
8.64M
EL 40.6
BG: 41.08'
12.52M
PROJECT TITLE:
BEACH TOWERS
1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC
SHEET TITLE:
MATERIAL PLAN - GROUND FLOOR
JOB NO.:
DATE:
JULY 9, 2014
SCALE:
DRAWN BY:
CO
CHECKED BY:
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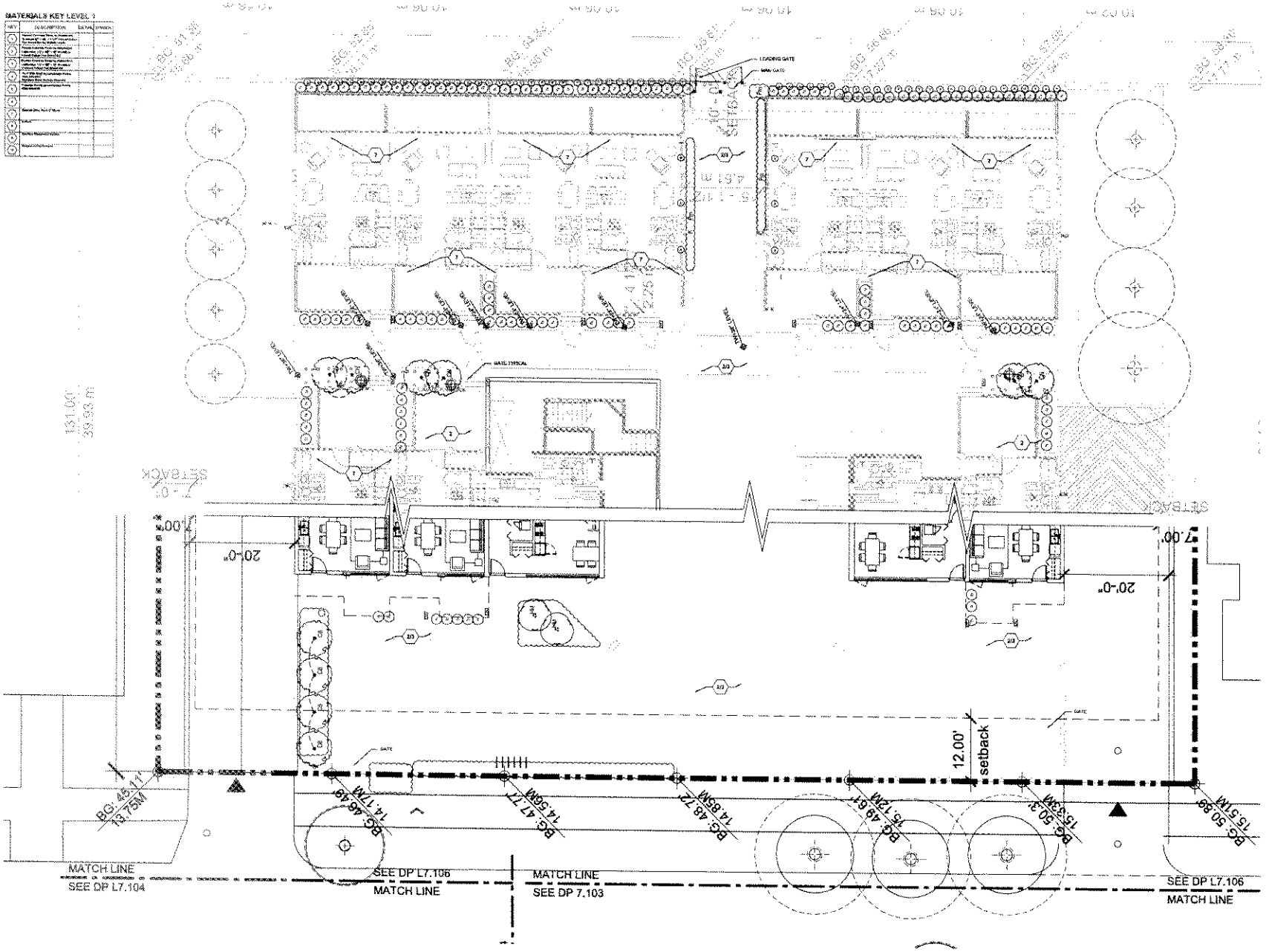
REV. NO.:
SHEET NO.:
DP 7.105



SEAL:

DATE	REVISIONS	BY

PRIME CONSULTANT

IBI

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700 - 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 5797 fax 604 683 0842
ibigroup.com

PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

MATERIAL PLAN - GROUND FLOOR

JOB NO.:	26909
DATE:	JULY 9, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CD
CHECKED BY:	CD
REV. NO.:	—

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.106

FILE ADDRESS: 7.106.dwg
DATE LAST REVISED:

MATERIALS KEY LEVEL 1

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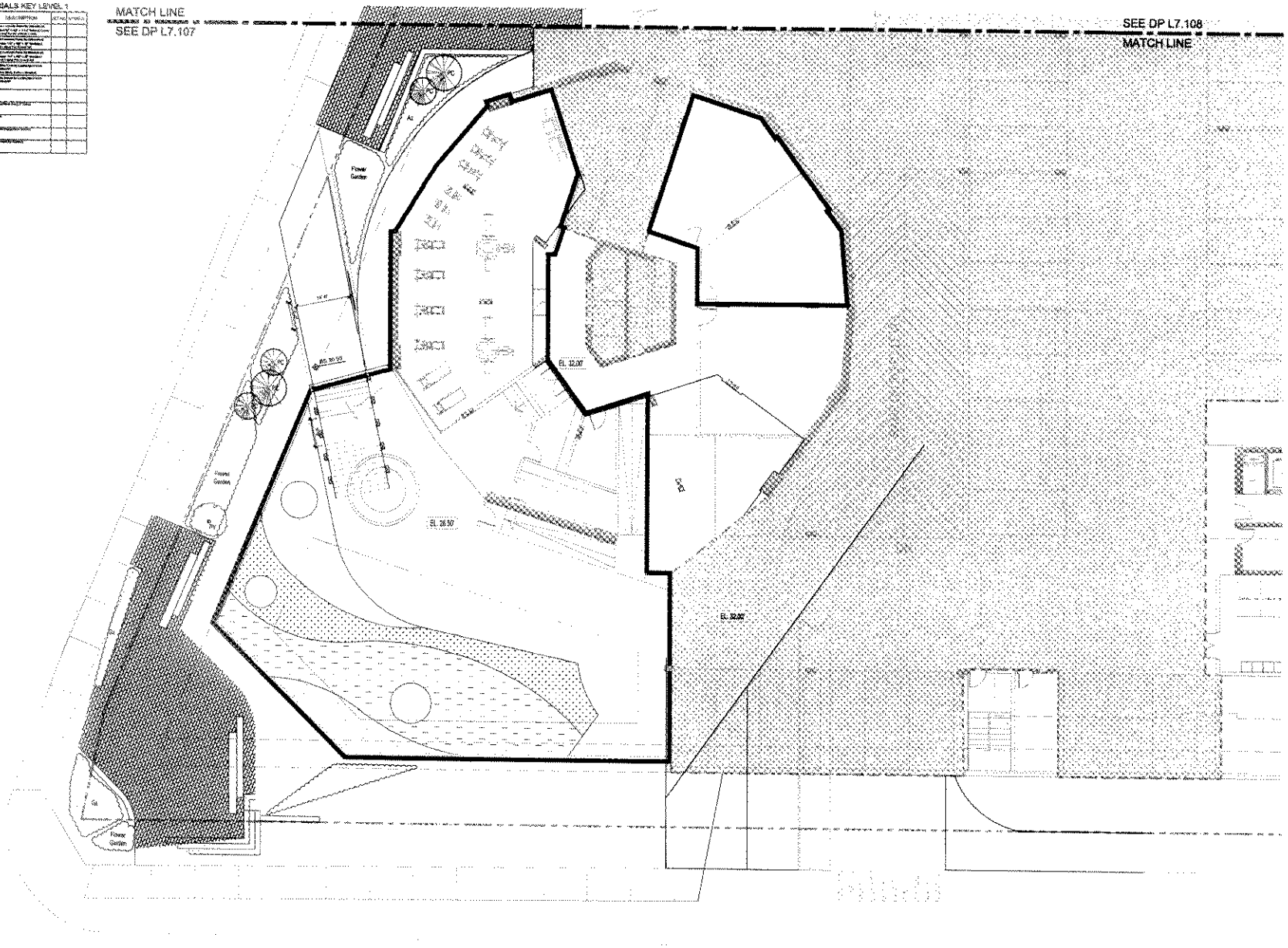

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2. The general contractor shall verify all dimensions, datums, and levels prior to commencement of the work and is fully responsible for reporting discrepancies and/or omissions to the architects immediately.

3. This drawing must not be scaled.

DATE	REVISIONS	BY

PRIME CONSULTANT

IBI GROUP ARCHITECTS
700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 4797 fax 604 683 0683
ibigroup.com

PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1551 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

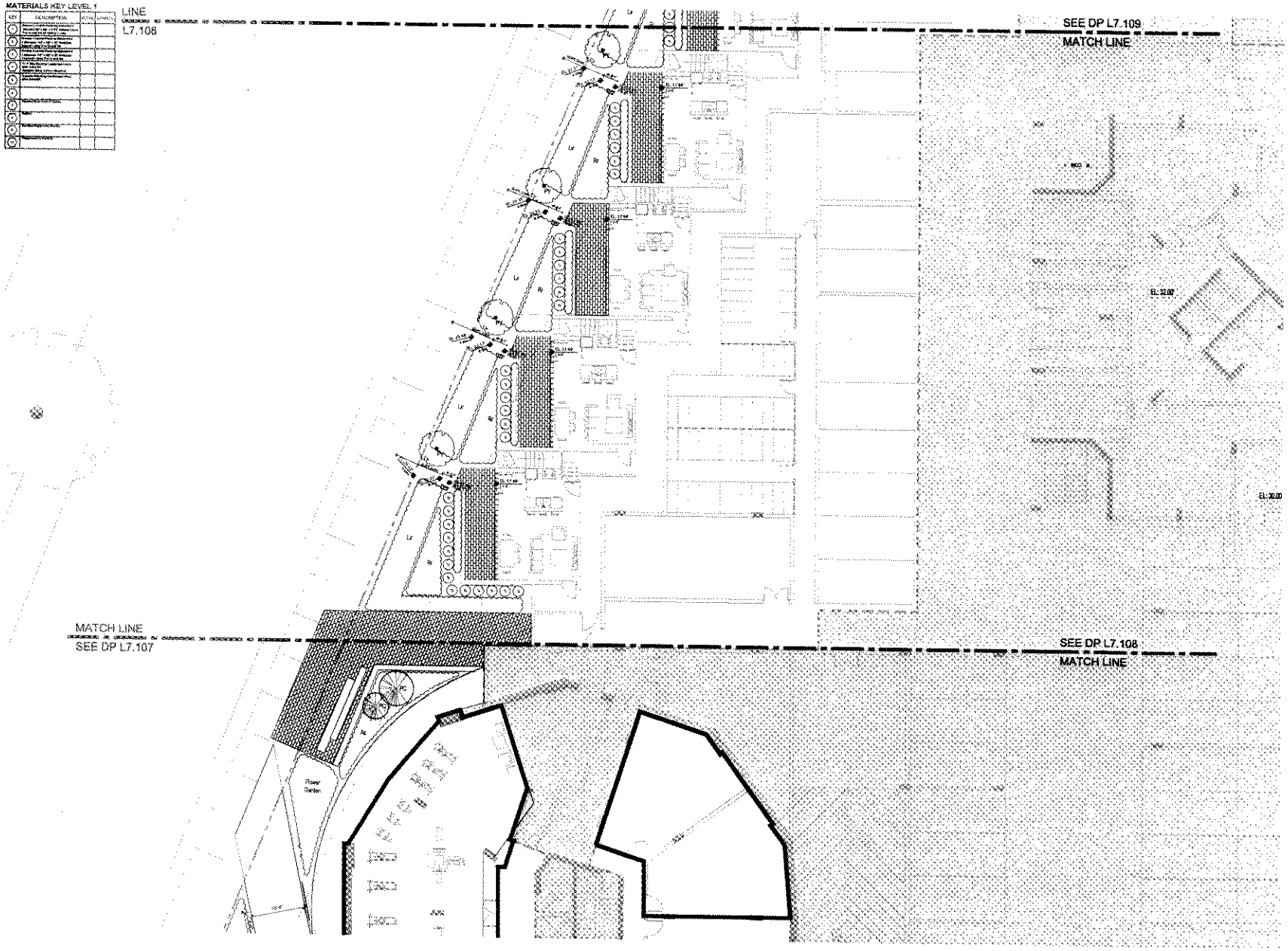
MATERIAL PLAN - PARKING LEVEL 2

JOB NO.	26999
DATE:	Jan 20, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CO
CHECKED BY:	CO
REV. NO.:	--

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.107

FILE NAME/NO.: 7.107.dwg
DATE LAST REVISED:



SEAL:

DATE REVISIONS BY

PRIME CONSULTANT

IBI / HB ARCHITECTS
700—1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 683 0482
ibigroup.com

PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

MATERIAL PLAN - PARKING LEVEL 2

JOB NO.:	28896
DATE:	Jan 20, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CD
CHECKED BY:	CD
REV. NO.:	—

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.108

FILE ADDRESS: 7.107.dwg
DATE LAST REVISED:

MATERIALS KEY LEVEL 1

KEY	DESCRIPTION	QUANTITY	REMARKS
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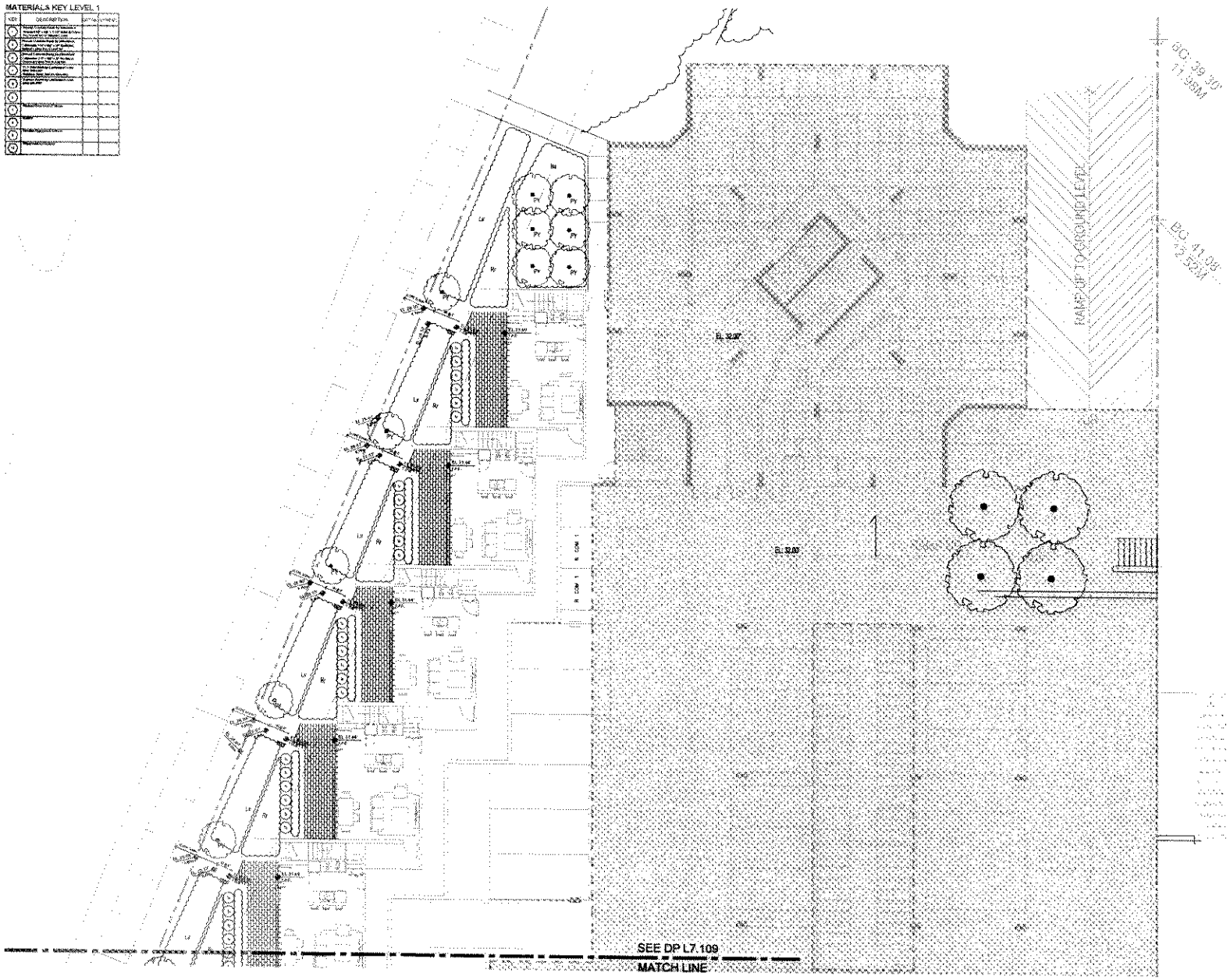

SEAL

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2. The general contractor shall verify all dimensions, datum, and levels prior to commencement of the work and is held responsible for reporting inconsistencies and/or omissions to the architects immediately.
3. This drawing must not be scaled.

DATE	REVISIONS	BY

PRIME CONSULTANT

IBI GROUP / IBI / HB ARCHITECTS
700 – 1285 West Pender Street
Vancouver BC, V6E 4B1 Canada
tel 604 683 8797 fax 604 683 0840
ibigroup.com

PROJECT TITLE:

BEACH TOWERS

1500 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE

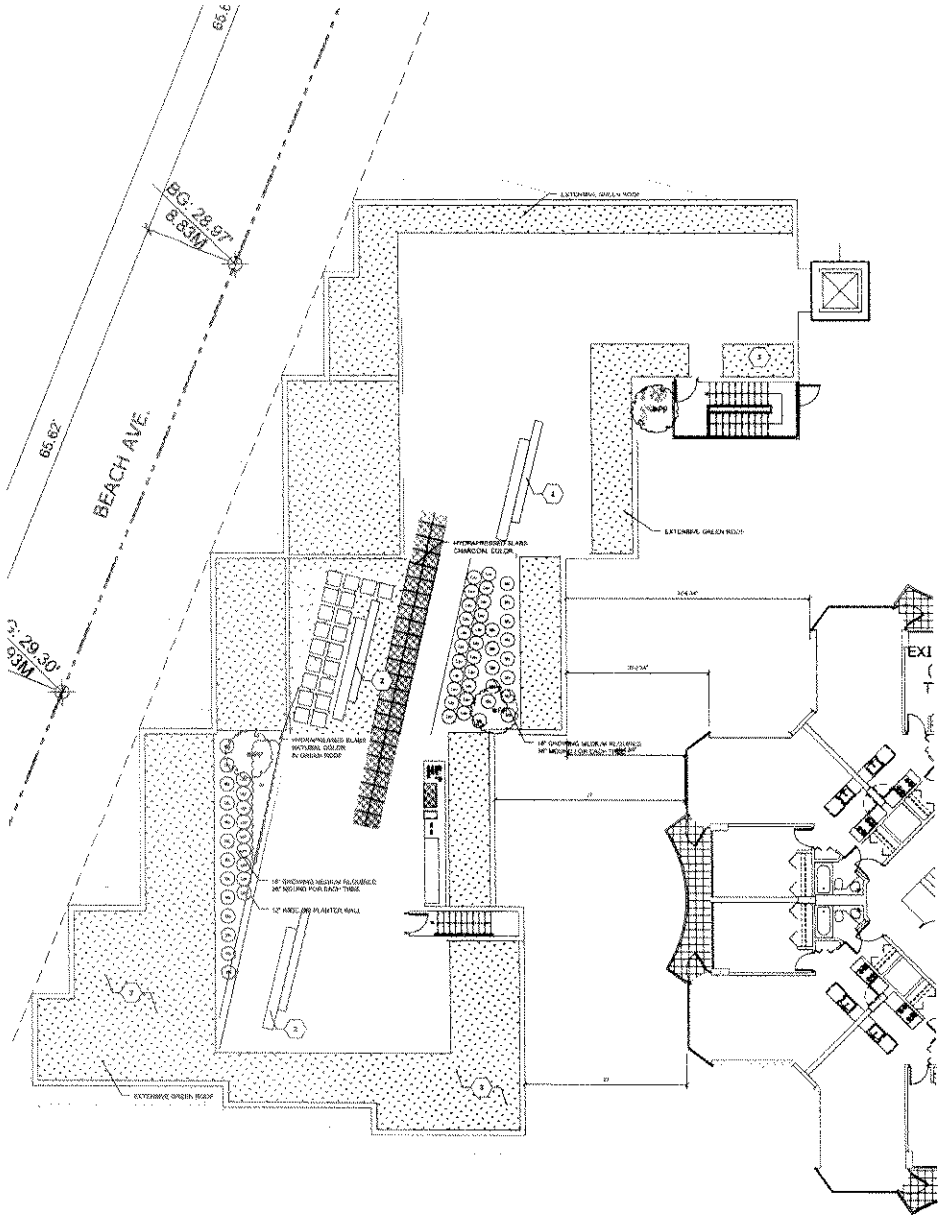
MATERIAL PLAN - PARKING LEVEL 2

JOB NO.	28099
DATE:	Jan 20, 2014
SCALE	1/16"=1'-0"
DRAWN BY:	CD
CHECKED BY:	CD
REV. NO.	--

NOTE: THIS DRAWING SUPERSEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.109

FILE ADDRESS: 7.107.dwg
DATE LAST REVISED:



MATERIALS KEY LOWRISE ROOF

KEY	DESCRIPTION	DETAIL	SYMBOL
1	Hydrapressed Slabs by Abbotsford 24" x 24" Natural & Charcoal Colours Pan Ground or Pedestal System Required		
2	Trapezoid Bench by Landscape Forms (604) 940-4367		
3	NATS LiveRoof Custom Series Mk 4.25" (604) 294-4265		

PLANT LIST ROOF

Trees

		QTY.	MIN. SIZE	SPACING	COMMENTS	SYMBOL
CN	Cornus mas / Cornelian Cherry	3	from cat			

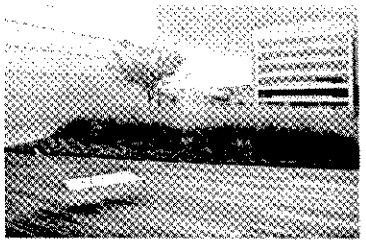
Shrubs

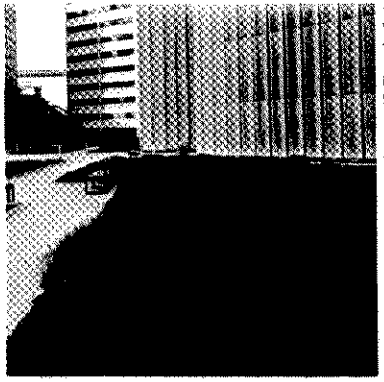
SHRUBS / GRASSES / PERENNIALS						
Ao	Arctostaphylos uva-ursi / Bearberry	180	#1 Pot	12" OC		
Lan	Lonicera angustifolia / Lanonicer	40	#2 Pot	24" OC	Kopi	
Ms	Miscanthus Morning Light / Maidenhair Grass	40	#5 Pot			

Extensive Green Roof

NATS LiveRoof Custom Series Mk 4.25" System.

NOTE
1. INSTALL ALL PLANT MATERIAL TO CITY OF VANCOUVER STANDARDS. PROVIDE AND INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH BCLNA / BCSLA LANDSCAPE STANDARDS.
2. AREA OF SEARCH BRITISH COLUMBIA, WASHINGTON AND OREGON.
3. PROVIDE GRADE #1 AND FIRST-FREE PLANT MATERIAL FROM CERTIFIED NURSERIES. PROVIDE GUARANTEE OF CERTIFICATION.
4. PROVIDE HOSE BIB ON ROOF FOR USE ASSOCIATED WITH THE ROOF PLANTINGS.
5. ALL PLANT MATERIAL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM CW RAIN SENSORS.


PRECEDENT IMAGE FOR ROOF GARDEN


PRECEDENT IMAGE FOR EXTENSIVE GREEN ROOF

SEAL:

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4. The general contractor shall verify all dimensions, notes, and details prior to commencement of the work and shall be responsible for reporting discrepancies and/or conditions to the architect immediately.
5. The drawing must not be scaled.

DATE:	REVISIONS	BY:

PRIME CONSULTANT

IBI / HB ARCHITECTS
700 – 1193 Wood Pavilion Street
Vancouver BC, V6E 4B1 Canada
tel 604 683 8797 fax 604 683 0462
ibigroup.com

PROJECT TITLE:

BEACH TOWERS

1650 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

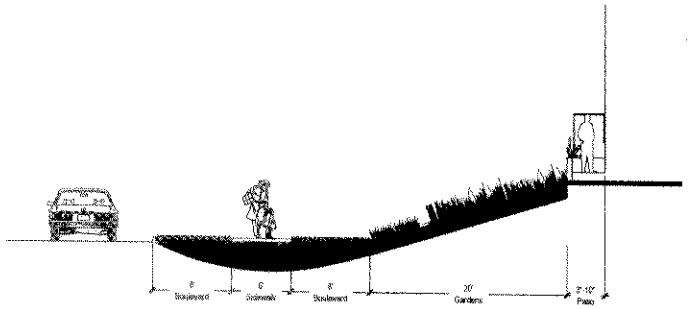
MATERIAL PLAN - LOWRISE ROOF LEVEL

JOB NO.:	26899
DATE:	July 9, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CO
CHECKED BY:	CO
REV. NO.:	—

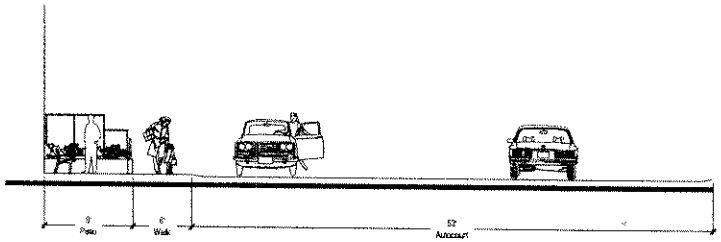
NOTE: THIS DRAWING SUPERCEDES ALL REVES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.110

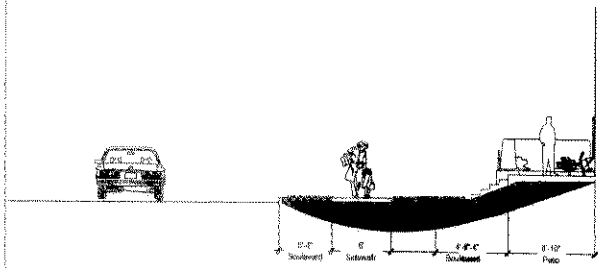
FILE ADDRESS: T:\Drawing
DATE LAST REVISED:



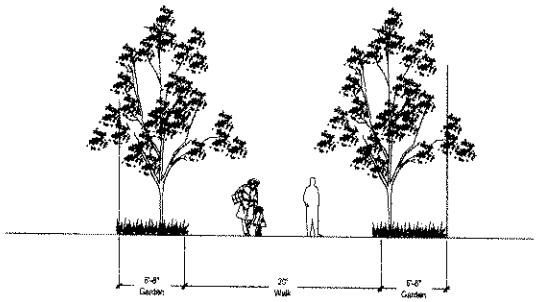
CARDERO STREET



AUTOCOURT



BEACH AVENUE



EAST PODIUM AXIS

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3. This drawing must not be scaled.

DATE	REVISIONS	BY

PRIME CONSULTANT

IBI GROUP ARCHITECTS
700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 683 9482
ibigroup.com

PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

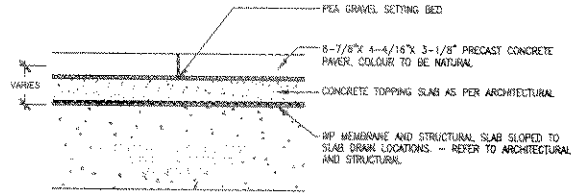
SITE DETAILS

JOB NO.:	26998
DATE:	July 9, 2014
SCALE:	N/A
DRAWN BY:	
CHECKED BY:	CO
REV. NO.:	---

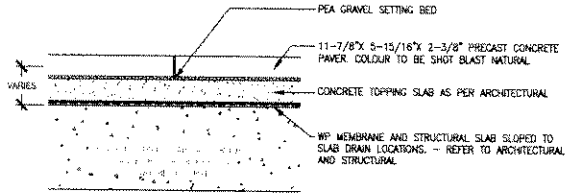
NOTE: THIS DRAWING SUPERSEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.201

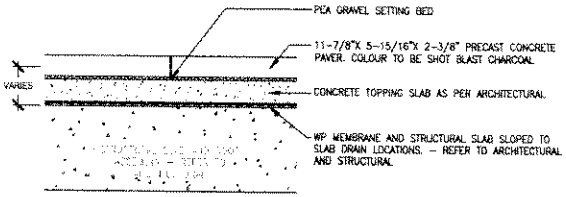
FILE NAME: 7.201.dwg
DATE LAST REVISED:



1 PRECASE CONCRETE PAVERS - TYPE 1 DRIVABLE
SCALE: NTS



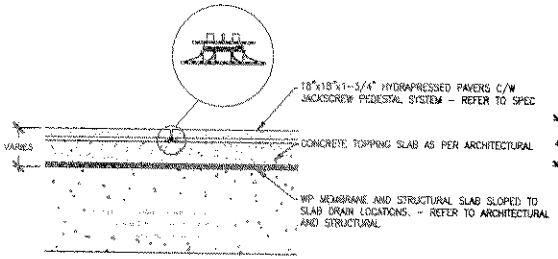
2 PRECAST CONCRETE PAVERS - TYPE 2
SCALE: NTS



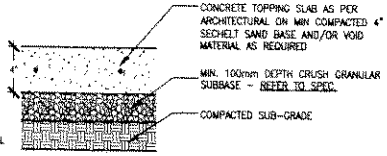
3 PRECAST CONCRETE PAVERS - TYPE 3
SCALE: NTS

SEAL

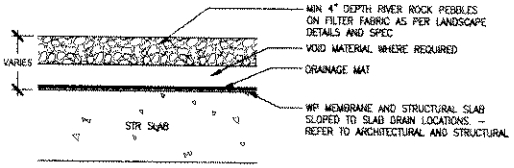
DATE	REVISIONS	BY



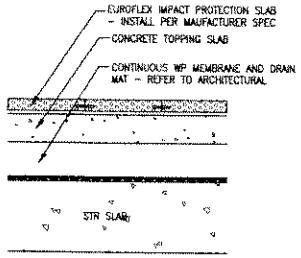
4 HYDRAPRESSED SLABS WITH PEDESTAL SYSTEM - TYPE 4
SCALE: NTS



5 CIP CONCRETE PAVING AT GRADE, TYP.
SCALE: NTS



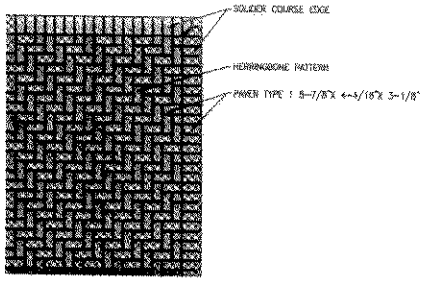
6 RIVER ROCK/PEBBLES ON STRUCTURE, TYP.
SCALE: NTS



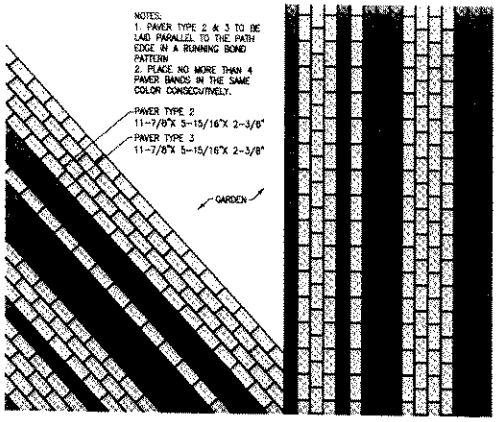
NOTES:

PROVIDE SHOP DRAWINGS FOR SUBMITTAL TO CONSULTANT PRIOR TO FABRICATION. REFER TO SPEC

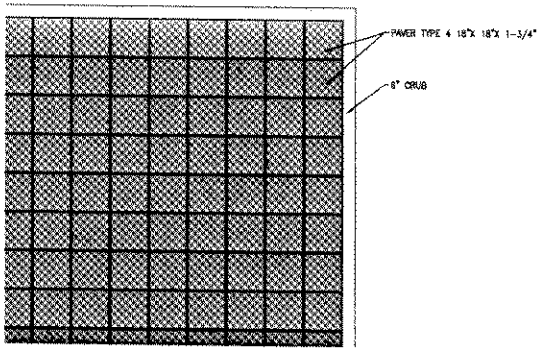
7 EUROFLEX IMPACT PROTECTION SLAB
SCALE: NTS



1 TYPICAL PAVING PATTERN PLAN VIEW - PAVER TYPE 1
SCALE: NTS



2,3 TYPICAL PAVING PATTERN PAVER PLAN VIEW - TYPE 2 & 3
SCALE: NTS



4 TYPICAL PAVING PATTERN PAVERN PLAN VIEW - TYPE 4
SCALE: NTS

PRIME CONSULTANT

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PROJECT TITLE:
BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

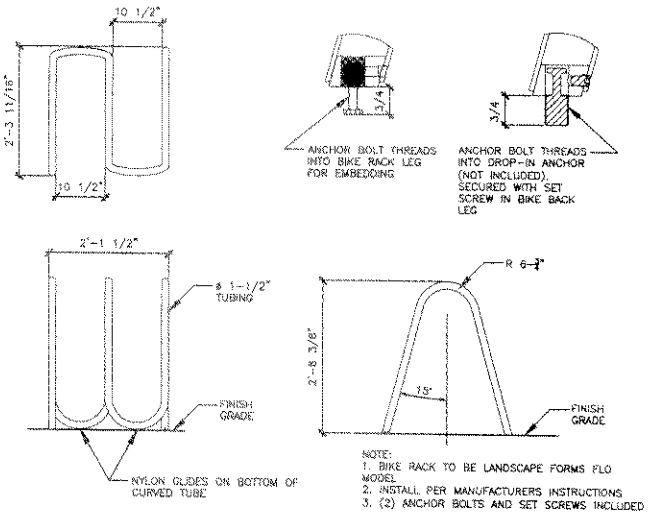
SHEET TITLE:
SITE DETAILS

JOB NO.:	26992
DATE:	JULY 9, 2014
SCALE:	NTS
DRAWN BY:	TR
CHECKED BY:	CO
REV. NO.:	---

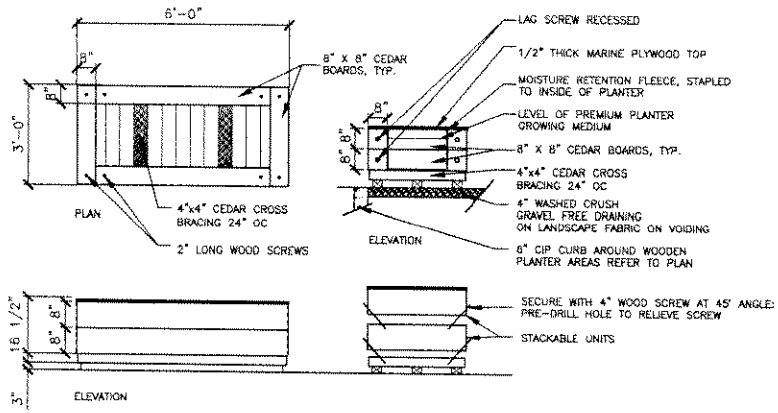
NOTE: THIS DRAWING SUPERSEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP-7.202

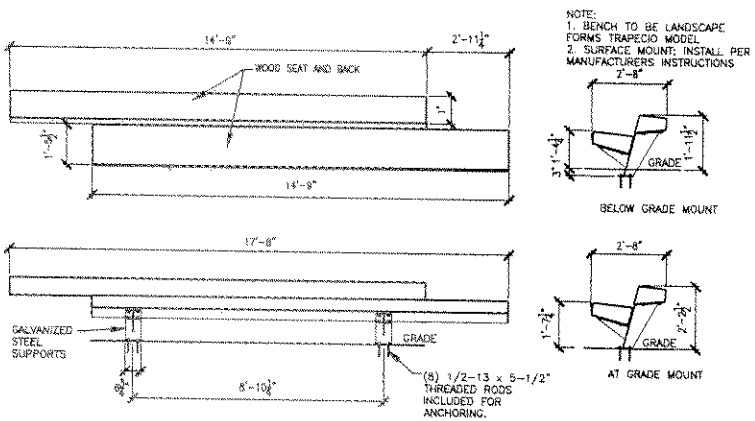
FILE ADDRESS: Beach-Harwood.dwg
DATE LAST REVISED:



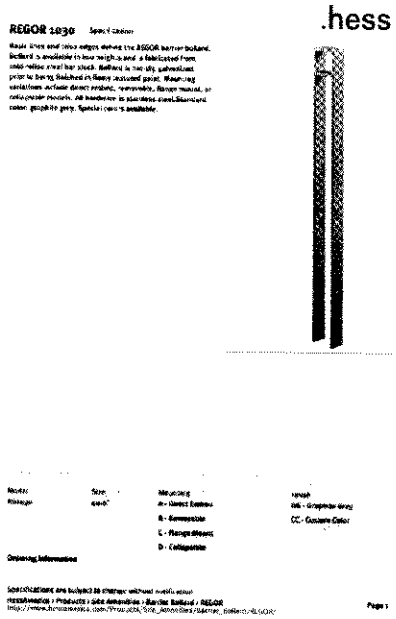
8 'FLO' BIKE RACK
SCALE: NTS



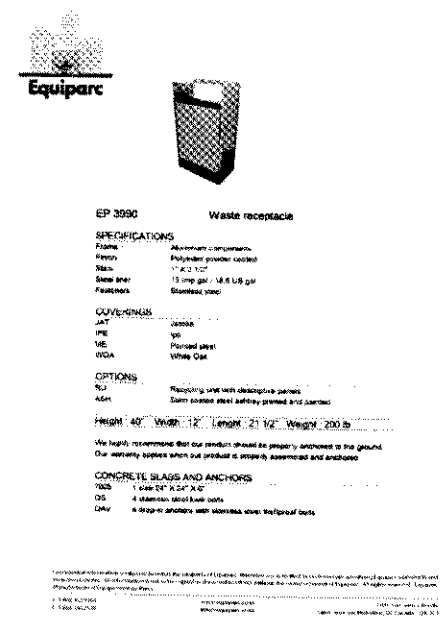
9 RAISED WOOD PLANTER
SCALE: NTS



10 'TRAPECIO' BENCH
SCALE: NTS



11 HESS REGOR BOLLARD
SCALE: NTS



12 EQUIPARC EP3990 TRASH RECEPTACLE
SCALE: NTS

SEAL

DATE	REVISIONS	BY

PRIME CONSULTANT

IBI GROUP ARCHITECTS
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Vancouver BC V6E V6J Canada
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PROJECT TITLE:
BEACH TOWERS

1600 BEACH AVE. & 1661 HARWOOD ST.
VANCOUVER, BC

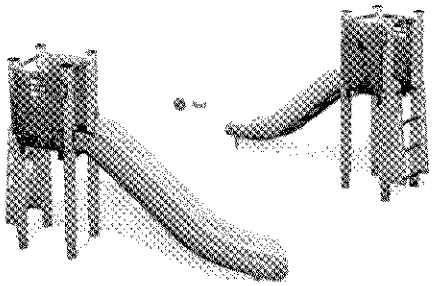
SHEET TITLE
SITE DETAILS

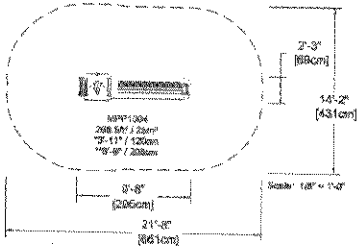
JOB NO.	28999
DATE	JULY 9, 2014
SCALE:	NTS
DRAWN BY:	TR
CHECKED BY:	CD
REV. NO.	---

NOTE THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

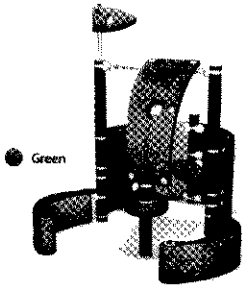
SHEET NO.: DP-7.203

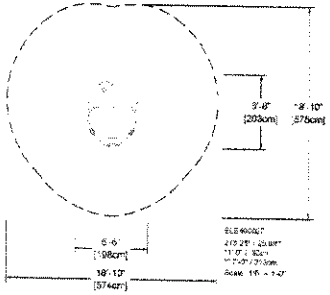
FILE ACCESS: SeaBeachDetails.dwg
DATE LAST REVISED:



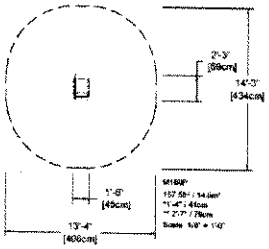


13 KOMPAN PLAY STRUCTURE: THE SCOUT
SCALE: NTS





14 KOMPAN PLAY STRUCTURE: THE VOYAGER
SCALE: NTS



15 KOMPAN PLAY STRUCTURE: LADY BUG SPRINGER
SCALE: NTS

SEAL:

DATE	REVISIONS	BY

PRIME CONSULTANT

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PROJECT TITLE:
BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

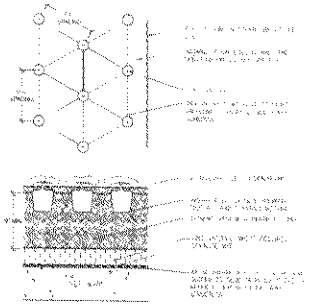
SHEET TITLE:
SITE DETAILS

JOB NO.	26999
DATE	JULY 9, 2014
SCALE	NTS
DRAWN BY:	TR
CHECKED BY:	CD
REV. NO.	—

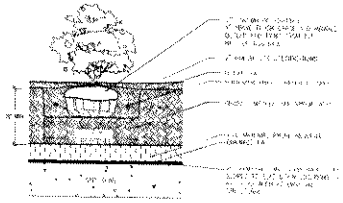
NOTE: THIS DRAWING SUPERSEDES ALL SERVICE BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP-7.204

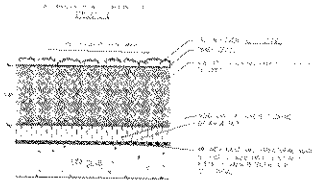
FILE ADDRESS: Beach-vancouver.dwg
DATE LAST REVISED:



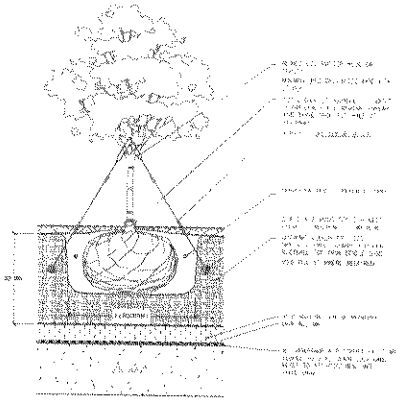
GROUNDCOVER PLANTING ON STRUCTURE



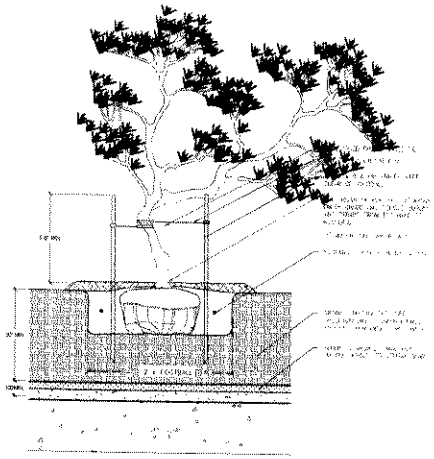
SHRUB/PERRENIAL PLANTING ON STRUCTURE



SOIL PROFILES



DECIDUOUS TREE PLANTING ON STRUCTURE



CONIFEROUS TREE PLANTING ON STRUCTURE

SEAL

DATE	REVISIONS	BY

PRIME CONSULTANT

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ibigroup.com

PROJECT TITLE

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE

SITE DETAILS

JOB NO.	26899
DATE	July 9, 2014
SCALE	N/A
DRAWN BY	
CHECKED BY	CD
REV. NO.	–

NOTE: THIS DRAWING SUPERSEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO. DP 7.205

FILE ADDRESS: 7.201.dwg
DATE LAST REVISED

PLANT LIST LVL1

Trees

		QTY.	MIN. SIZE	SPACING	COMMENTS
AA	*Amelanchier alnifolia* / Serviceberry	3	7'-0" multi-stem		
CB	*Carpinus 'Franz Fontaine'* / Hornbeam	4	6cm cal.		
CN	*Cornus 'Eddie's White Wonder'* / Dogwood	12	6cm cal.		
HM	*Hamamelis mollis* / Witch Hazel	12	6cm cal.		
PC	*Pinus contorta* / Shore Pine	5	1.5m	B&B	
P	*Prunus serrulata 'Ukon'* / Ukon Cherry	TBD	6cm cal.	Potential Street tree infill per Park Board (Cabot Lyford)	
PP	*Parrotia persica* / Persian Ironwood	6	4cm cal.	B&B	
PY	*Prunus yedoensis 'Akebono'* / Daybreak Cherry	36	6cm cal.	Spacing as per Engineering (Eileen Curran)	

Shrubs

SHRUBS / GRASSES / PERENNIALS					
Az	*Azalea japonica 'Eikan Gaza'* / Evergreen azalea	87	#3 Pot	24" OC	Pink only
Ci	*Choisya 'Aztec Pearl'* / Mexican Orange	120	#3 Pot	24" OC	
Hb	Hebe x franciscana 'Blue Gem'	300	#2 Pot	24" OC	
Lav	*Lavendula 'Hidcote'* / Lavender	40	#1 Pot	24" OC	
Lil	*Liriope spicata* / Lilyturf	1250	#1 Pot	14" OC	
Ma	*Miscanthus sinensis 'Morning Light'* / Maiden Grass	60	#3 Pot	30" OC	
Nep	*Nepeta* / Catmint	30	#1 Pot		
Pm	*Polystichum munitum* / Sword Fern	20	#1 Pot		
Rosa	*Rosa x 'WOA9740QA' P.P.A.F.* / Flower Carpet Amber Rose	72	#2 Pot	30" OC	
Rh	*Rhododendron*	125	#10 Pot	36" OC	Pink flowers
Tx	Taxus 'Hicksii' / Hick's Yew	218	3'-0" Tall	30" OC	Males only. Full / bushy.
CLIMBING VINES					
carm	*Clematis armandii* / Evergreen Clematis	4	#3 Pot		
cmont	*Clematis 'Montana'* / Clematis	6	#3 Pot		
pat	*Parthenocissus tricuspidata* / Boston Ivy	11	#1 Pot	3' OC	

Butterfly Gardens

Achilea millefolium
Allium cernuum
Allium cernuum
Aquilegia formosa
Arctostaphylos uva-ursi
Aster subspicatus
Blechnum spicant
Campanula rotundifolia
Carex densa, C. pachystachya
Eriophyllum lanatum
Festuca idahoensis, F. roemeri and F. rubra
Fragaria chiloensis, F. virginiana, F. vesca
Gaultheria shallon pectatly
Geum triflorum
Heuchera micrantha, H. cylindrica
Penstemon procerus
Penstemon serrulatus
Polypodium glycyrrhiza
Polystichum munitum
Potentilla nivea
Sisyrinchium idahoense
Solidago canadensis
Sedum divergens
Sedum oreganum
Sedum spathulifolium

NOTE
1. INSTALL ALL PLANT MATERIAL TO CITY OF VANCOUVER STANDARDS. PROVIDE AND INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH BCLSA / BCNLA LANDSCAPE STANDARDS.
2. AREA OF SEARCH: BRITISH COLUMBIA, WASHINGTON AND OREGON.
3. PROVIDE DISEASE AND PEST-FREE PLANT MATERIAL FROM CERTIFIED NURSERIES. PROVIDE GUARANTEE OF CERTIFICATION.
4. PROVIDE HOSE BIB ON ROOF FOR USES ASSOCIATED WITH THE ROOF PLANTINGS.
5. ALL PLANT MATERIAL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM C/W RAIN SENSORS.

PLANT LIST LVLP1

Trees

		QTY.	MIN. SIZE	SPACING	COMMENTS
CN	Cornus 'Eddie's White Wonder' / Dogwood		6cm cal		
PC	*Pinus contorta* / Shore Pine	5	2m Tall		
PY	Prunus yed. 'Akebono' / Daybreak Cherry	16	10cm cal		Wire basket

Shrubs

SHRUBS / GRASSES / PERENNIALS					
Az	*Azalea japonica 'Eikan Gaza'* / Evergreen azalea	87	#3 Pot	24" OC	Red
Bt	*Berberis thunbergii f. atropurpurea 'Atropurpurea Nana'*	45	#3 pOT	36" OC	
Rr	*Rosa rugosa 'Pink Pavement'* / Hardy Shrub Rose	xx	#2 Pot	30"OC	
Tx	Taxus 'Hicksii' / Hick's Yew	xx	3'-0" Tall	24" OC	Males only. Full / bushy.
CLIMBING VINES					
carm	Clematis armandii / Evergreen Clematis	4	#3 Pot		
cmont	Clematis 'Montana' / Clematis	6	#3 Pot		
pat	*Parthenocissus tricuspidata* / Boston Ivy	11	#1 Pot	3' OC	

Rain Gardens

cb	Carex buchanii / Leatherleaf sedge	150	15cm Pot	18" OC	
cm	Carex muskingumensis / Palm sedge	150	15cm Pot	18" OC	
im	Iris missouriensis / Western blue iris	150	15cm Pot	18" OC	

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SEAL:

DATE	REVISIONS	BY

PRIME CONSULTANT

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PROJECT TITLE:
BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

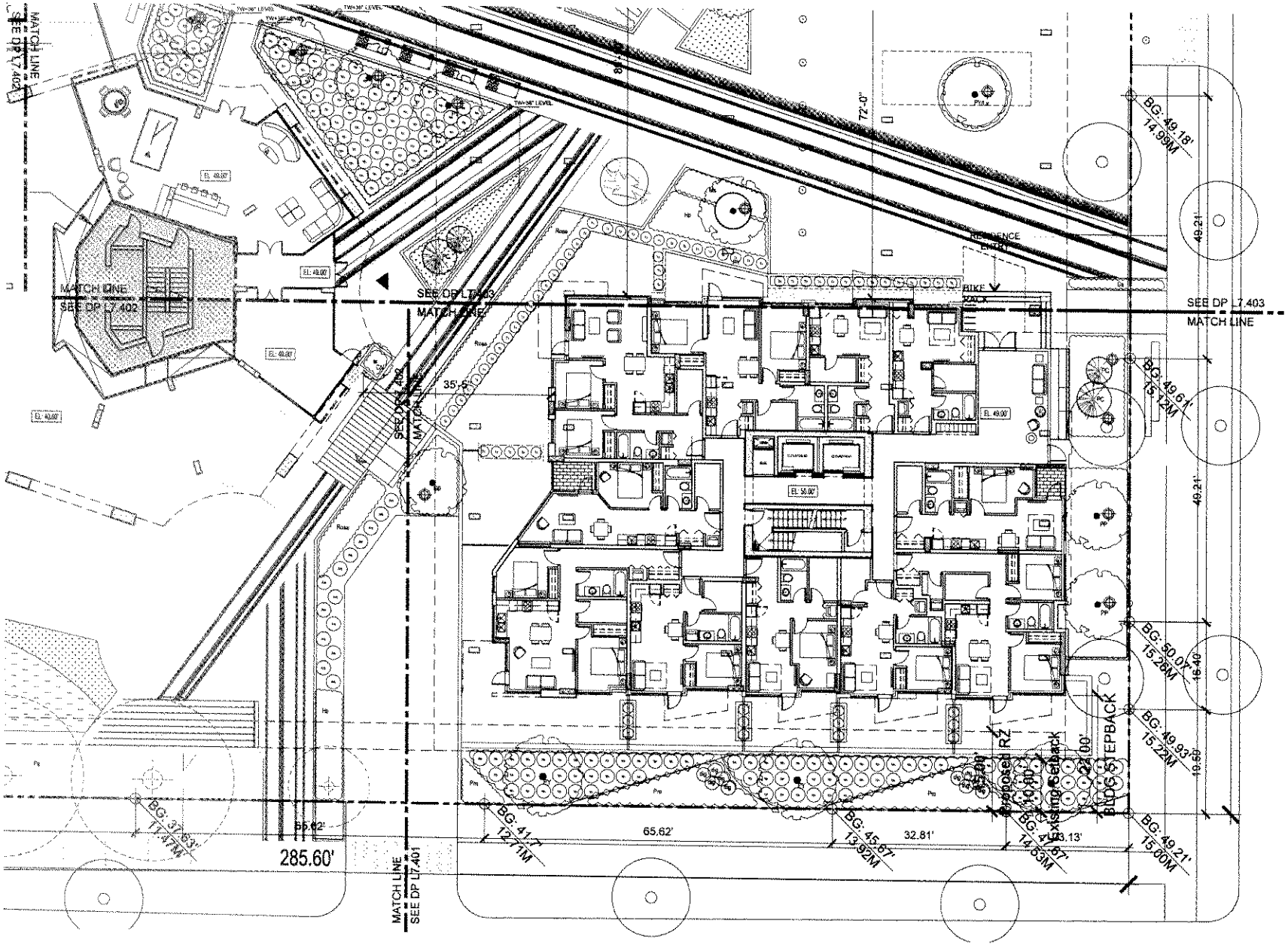
SHEET TITLE:
PLANTING LIST

JOB NO.	28999
DATE:	Jan 20, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CO
CHECKED BY:	CO
REV. NO..	--

NOTE: THIS DRAWING SUPERSEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.. DP 7.400

FILE ADDRESS: 7.400.dwg
DATE LAST REVISED



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2. The general contractor shall verify all dimensions, levels, and details and be responsible for the same and is held responsible for reporting the previous and/or omissions to the architects immediately.
3. This drawing must not be scaled.

DATE	REVISIONS	BY

PRIME CONSULTANT

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PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

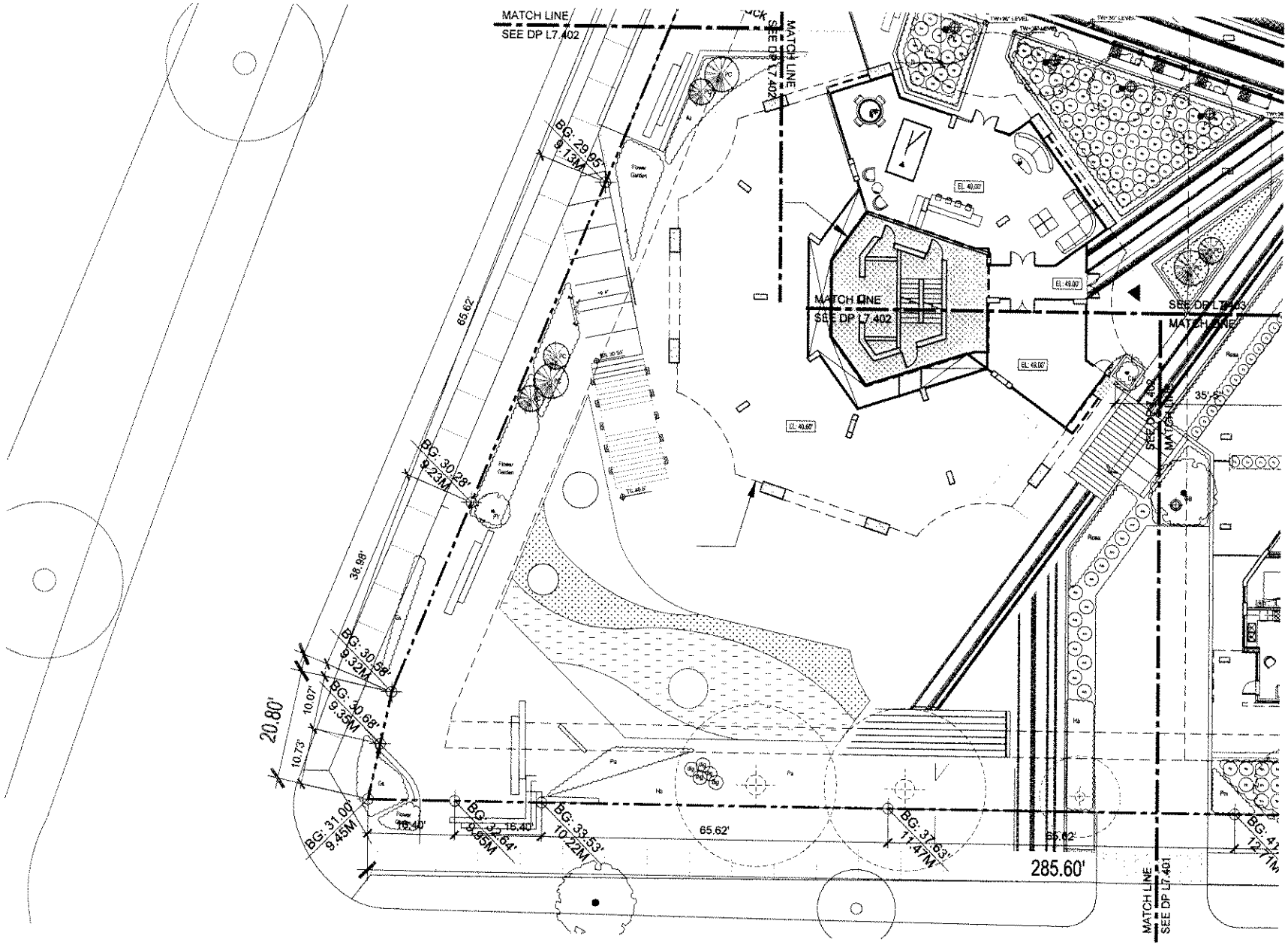
PLANTING PLAN - GROUND FLOOR

JOB NO.:	26699
DATE:	Jan 20, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CD
CHECKED BY:	CD
REV. NO.:	--

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.401

FILE ADDRESS: 7.401.DWG
DATE LAST REVISED:



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3. The drawing must not be scaled.

DATE	REVISIONS	BY

PRIME CONSULTANT

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tel 604 683 4797 fax 604 683 0482
ibigroup.com

PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

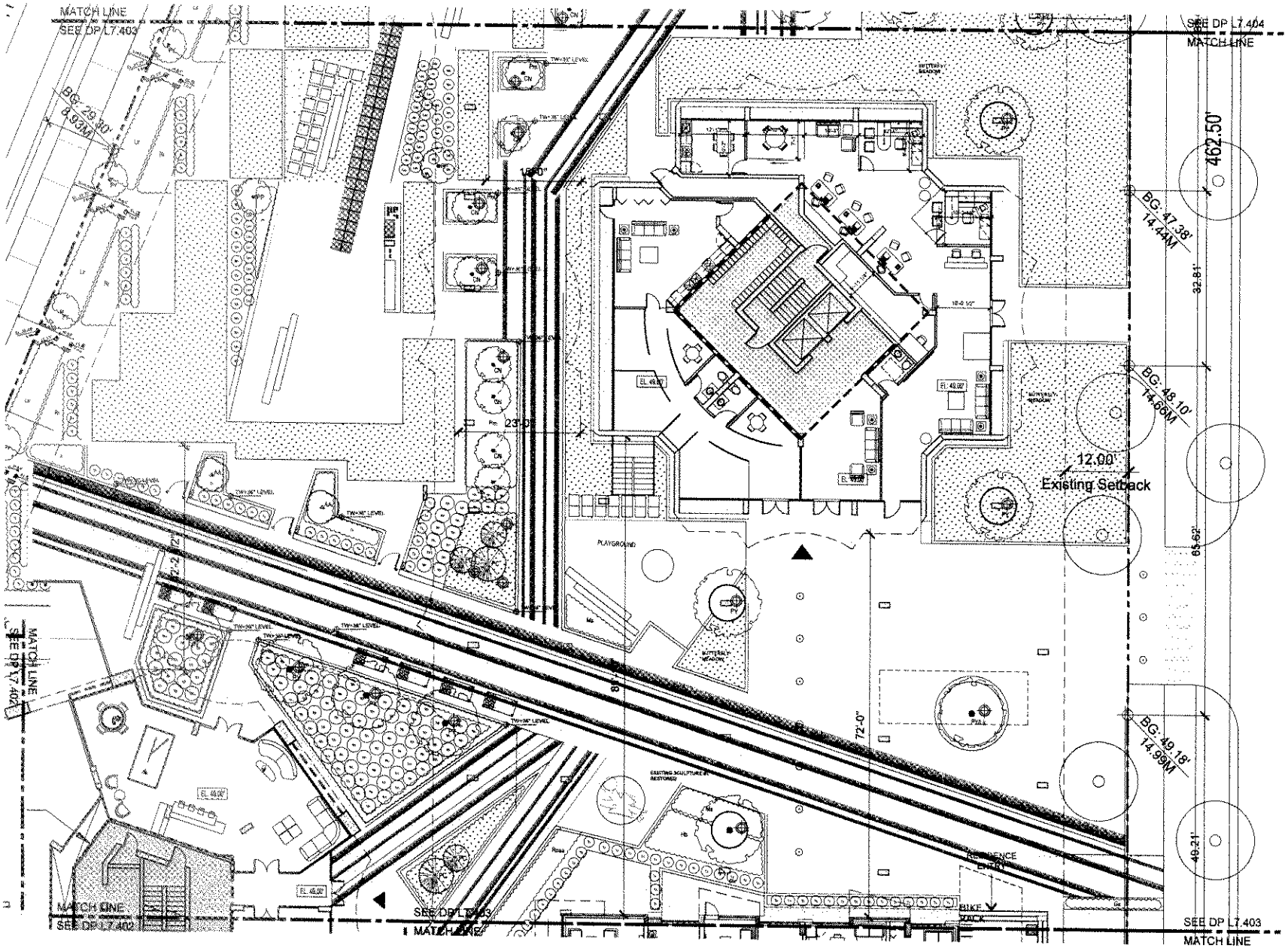
PLANTING PLAN - GROUND FLOOR

JOB NO.:	26599
DATE:	Jan 20, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CO
CHECKED BY:	CO
REV. NO.:	–

NOTE: THIS DRAWING SUPERSEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.402

FILE ADDRESS: 7.402.dwg
DATE LAST REVISED:



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2. The general contractor shall verify all dimensions, datums, and levels prior to commencement of the work and is fully responsible for reporting discrepancies and/or omissions to the architects immediately.
3. Not drawing is not to scale.

DATE	REVISIONS	BY

PRIME CONSULTANT

IBI / HB ARCHITECTS
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Tel 604 683 8797 Fax 604 683 5482
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PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

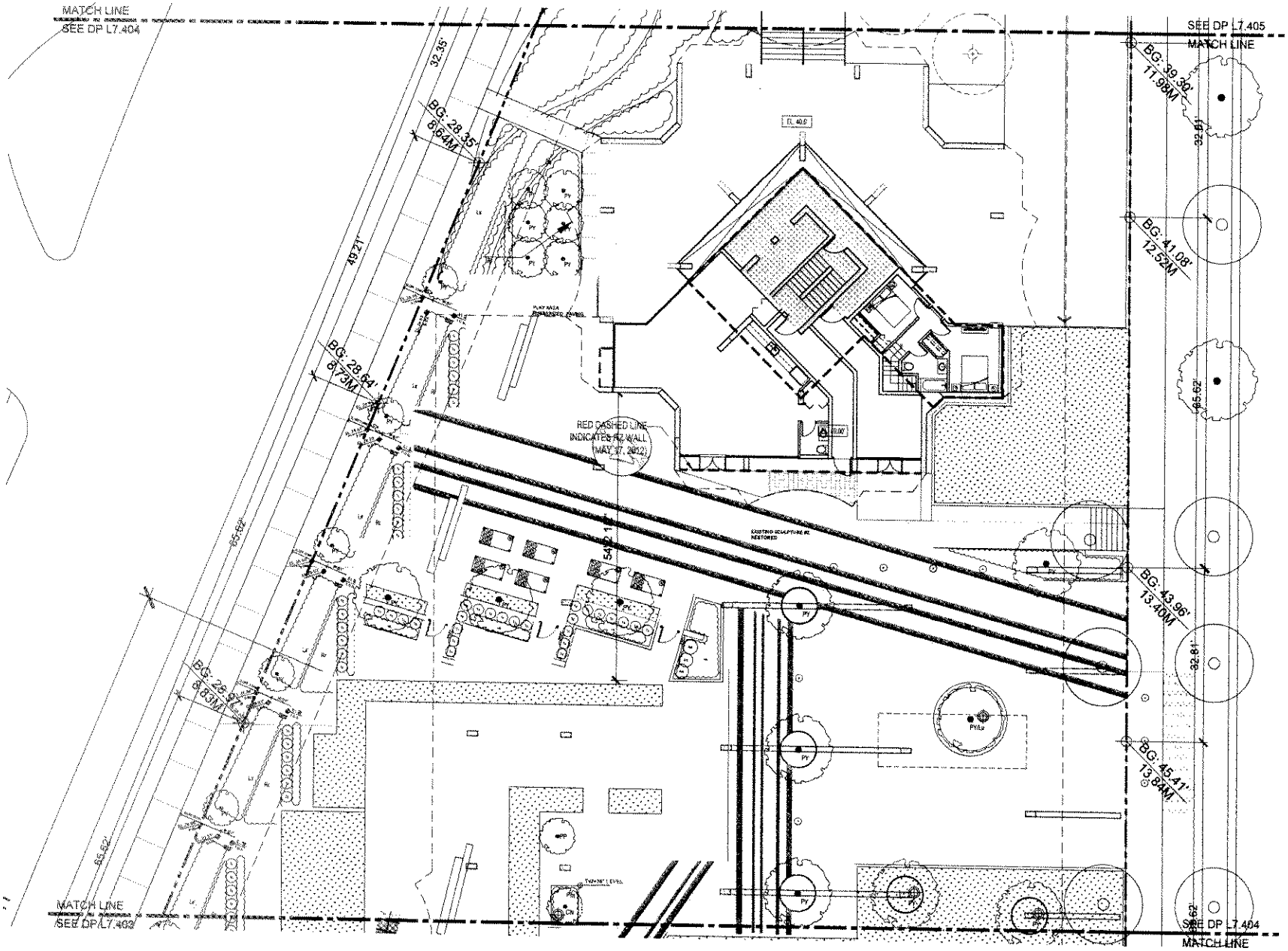
PLANTING PLAN - GROUND FLOOR

JOB NO.:	28899
DATE:	Jan 20, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CO
CHECKED BY:	CO
REV. NO.:	--

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.403

FILE ADDRESS: 7.403.dwg
DATE LAST REVISED



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DATE REVISIONS BY

PRIME CONSULTANT

IBI

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tel 604 683 8797 fax 604 683 0882
ibigroup.com

PROJECT TITLE

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE

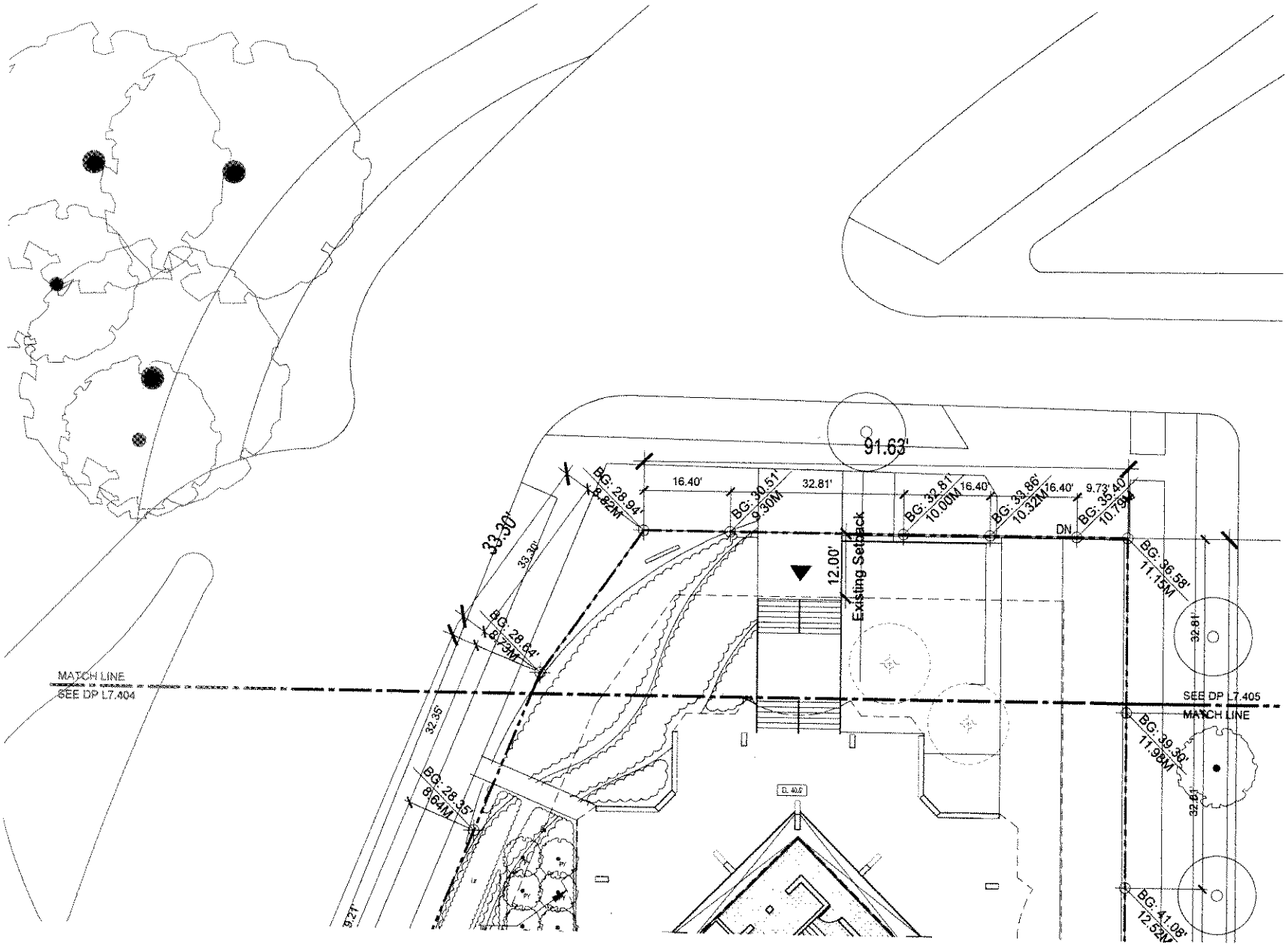
PLANTING PLAN - GROUND FLOOR

JOB NO.:	25999
DATE:	Jan 20, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CO
CHECKED BY:	CO
REV. NO.:	—

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES DRAWING PREVIOUS REVISION NUMBER.

SHEET NO. DP 7.404

FILE NO/NEW: 7.404.dwg
DATE LAST REVISED



SEAL

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2. The general contractor shall verify all dimensions, datums, and levels prior to commencement of the work and is fully responsible for reporting discrepancies and/or omissions to the architects immediately.
3. This drawing must not be scaled.

DATE	REVISIONS	BY

PRIME CONSULTANT

IBI

IBI / HB ARCHITECTS
700 – 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 683 0682
ibigroup.com

PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

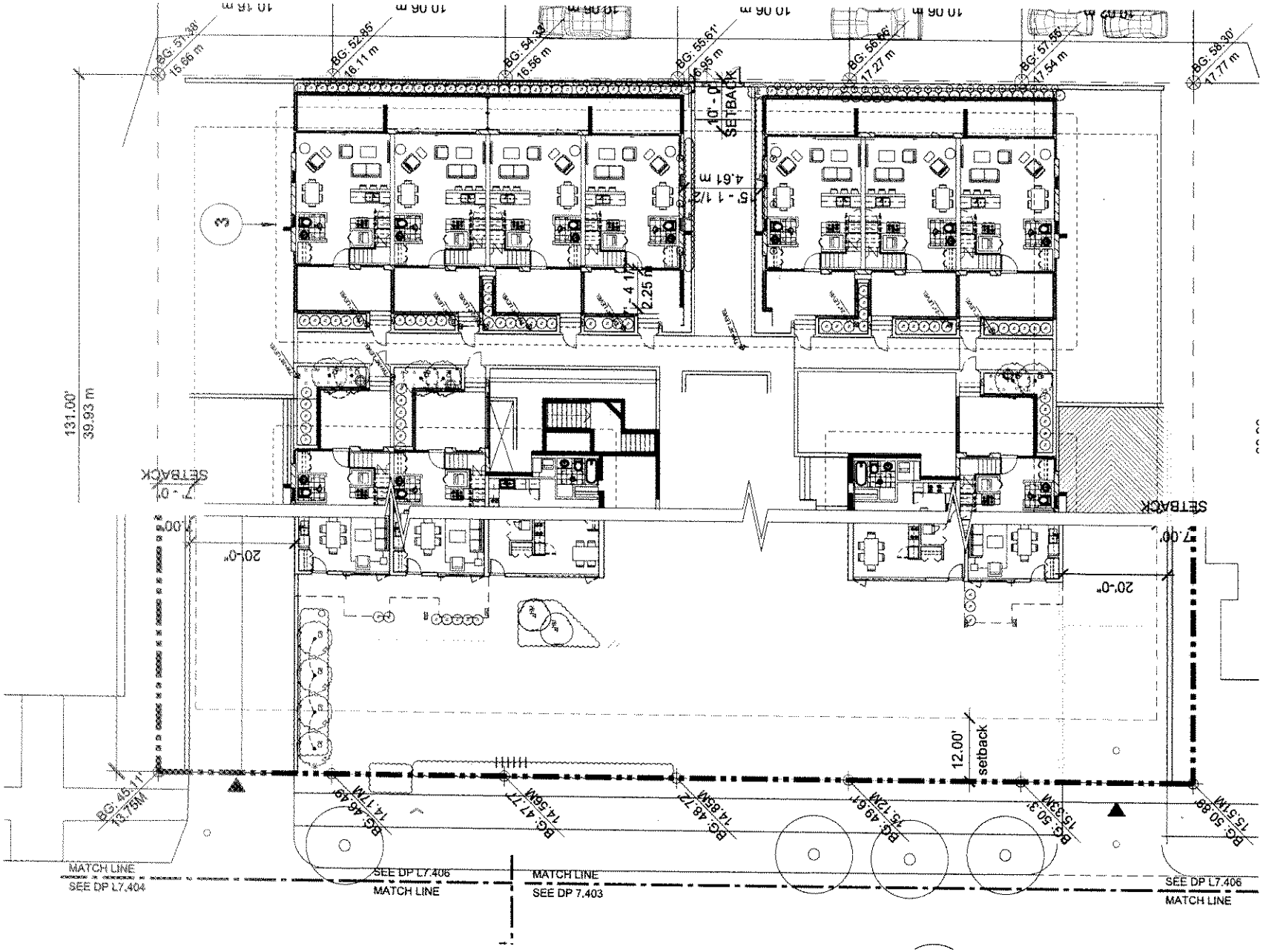
PLANTING PLAN - GROUND FLOOR

JOB NO.	36599
DATE	Jan 20, 2014
SCALE	1/16"=1'-0"
DRAWN BY	CO
CHECKED BY	CO
REV. NO.	—

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES HAVING PREVIOUS REVISION NUMBER.

SHEET NO. DP 7.405

FILE ADDRESS 7.405.dwg
DATE LAST REVISED



SEAL:

DATE REVISIONS BY

PRIME CONSULTANT

IBI

PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

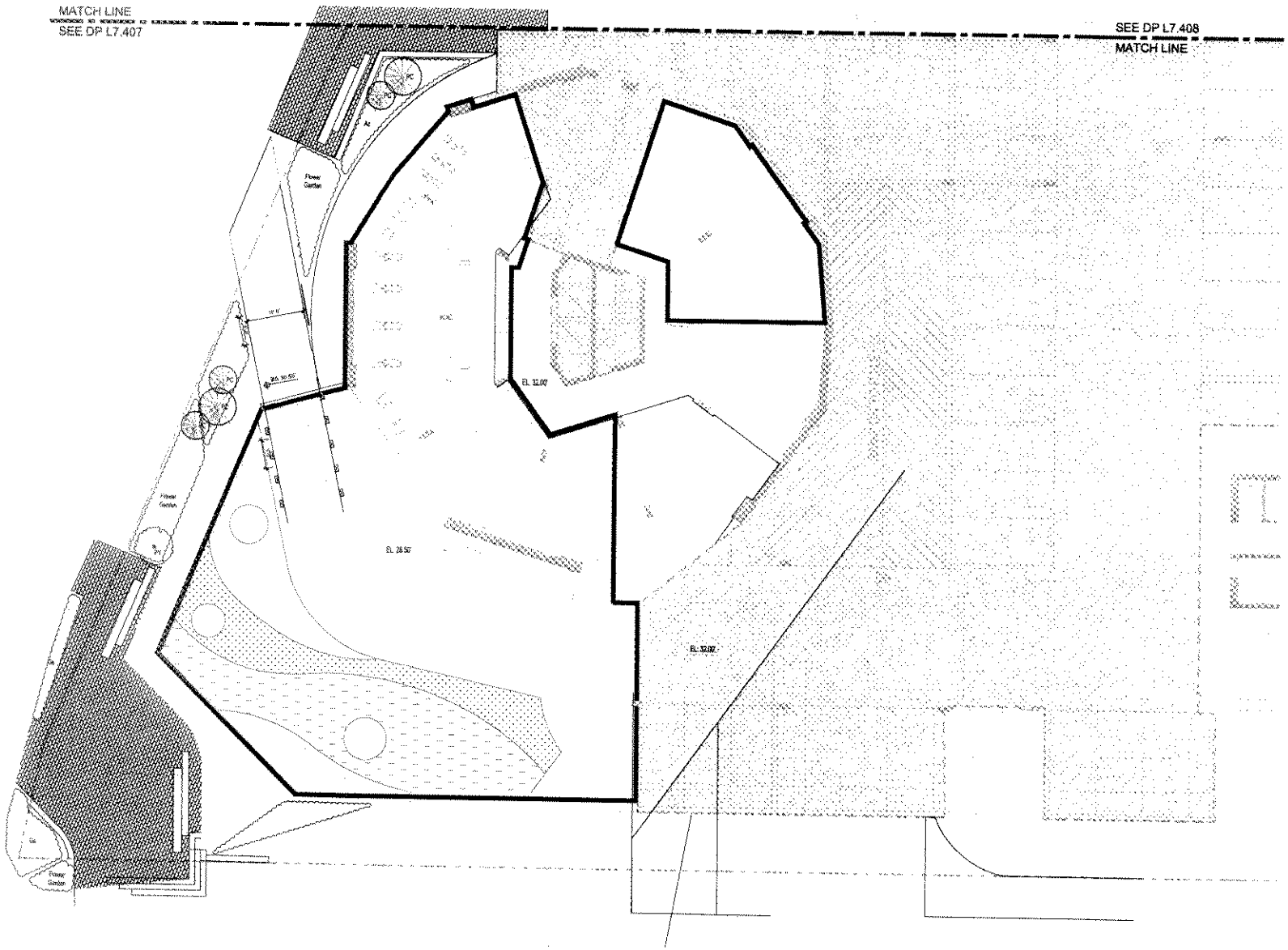
PLANTING PLAN - GROUND FLOOR

JOB NO.:	28959
DATE:	Jan 28, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CO
CHECKED BY:	CO
REV. NO.:	--

NOTE: THIS DRAWING SUPERSEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.406

FILE ADDRESS: 7.401.dwg
DATE LAST REVISED:



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2. The general contractor shall verify all dimensions, levels, and details prior to commencement of the work and is wholly responsible for ensuring correspondence and/or consistency in the contractor drawings.
3. This drawing must not be scaled.

DATE	REVISIONS	BY

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PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

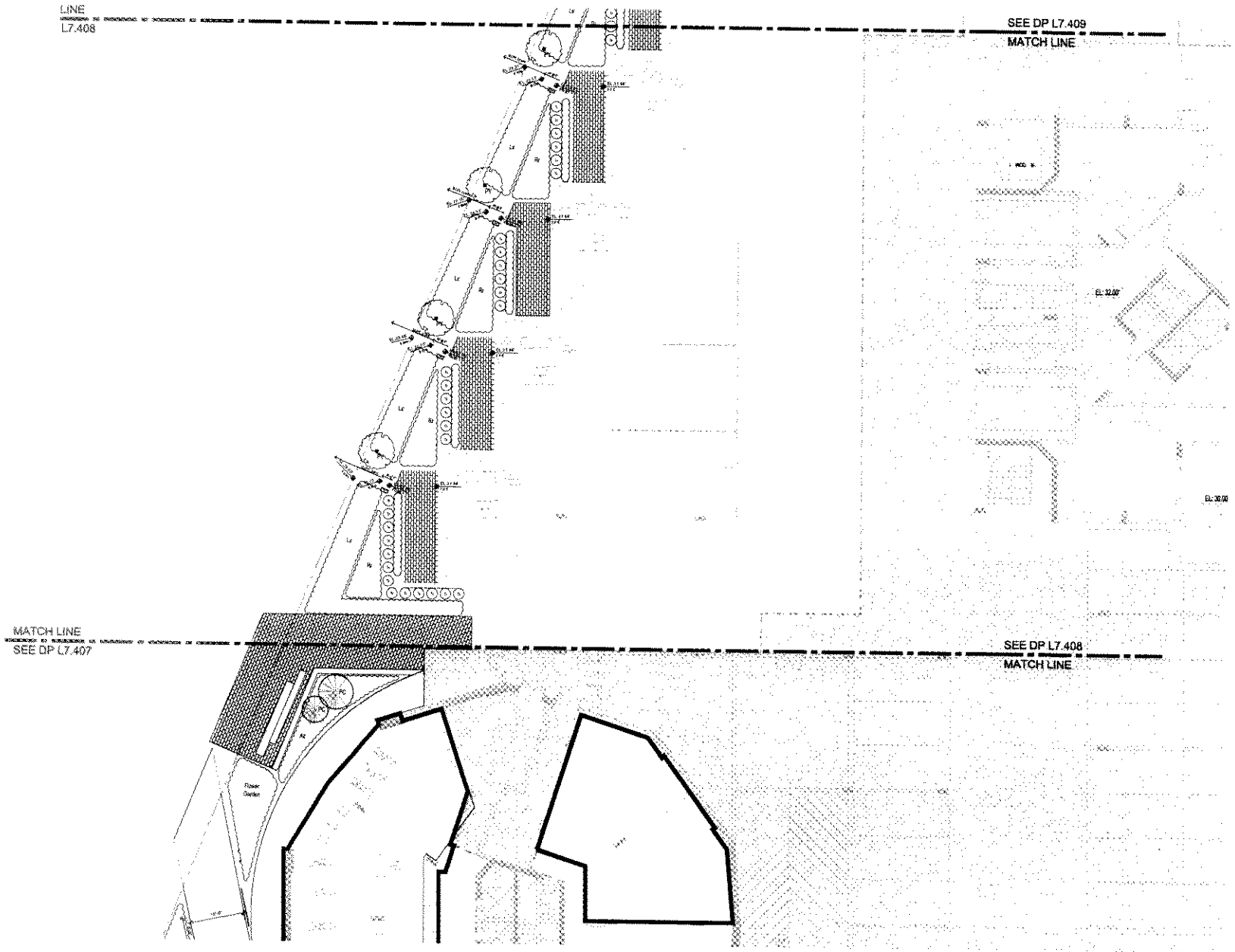
PLANTING PLAN - PARKING LEVEL 2

JOB NO.	26668
DATE:	July 9, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CO
CHECKED BY:	CO
REV. NO.	---

NOTE: THIS DRAWING SUPERCEDES ALL ISSUES NO USING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.407

FILE ADDRESS: 1-407.dwg
DATE LAST REVISED



SEAL

DATE	REVISIONS	BY

PRIME CONSULTANT

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PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

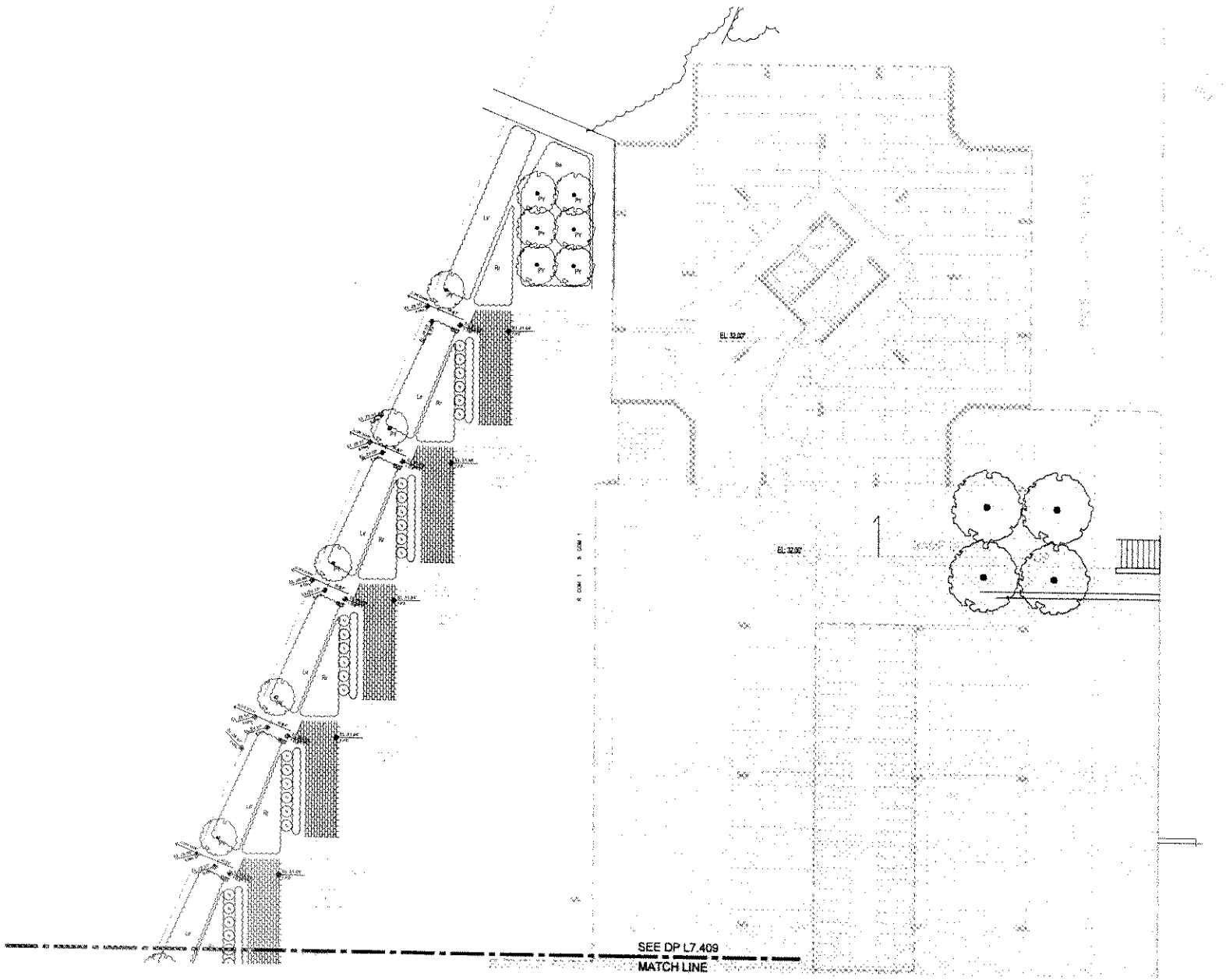
PLANTING PLAN - PARKING LEVEL 2

JOB NO.:	29999
DATE:	July 9, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CO
CHECKED BY:	CO
REV. NO.:	--

NOTE: THIS DRAWING SUPERSEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER.

SHEET NO.: DP 7.408

FILE ADDRESS: 7.407.dwg
DATE LAST REVISED:



SEAL

DATE REVISIONS BY

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PROJECT TITLE

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE

PLANTING PLAN - PARKING LEVEL 2

JOB NO.	26899
DATE	July 9, 2014
SCALE	1/16"=1'-0"
DRAWN BY:	CO
CHECKED BY:	CO
REV. NO.	—

NOTE: THIS DRAWING SUPERSEDES ALL ISSUES BEARING PREVIOUS REVISION NUMBER

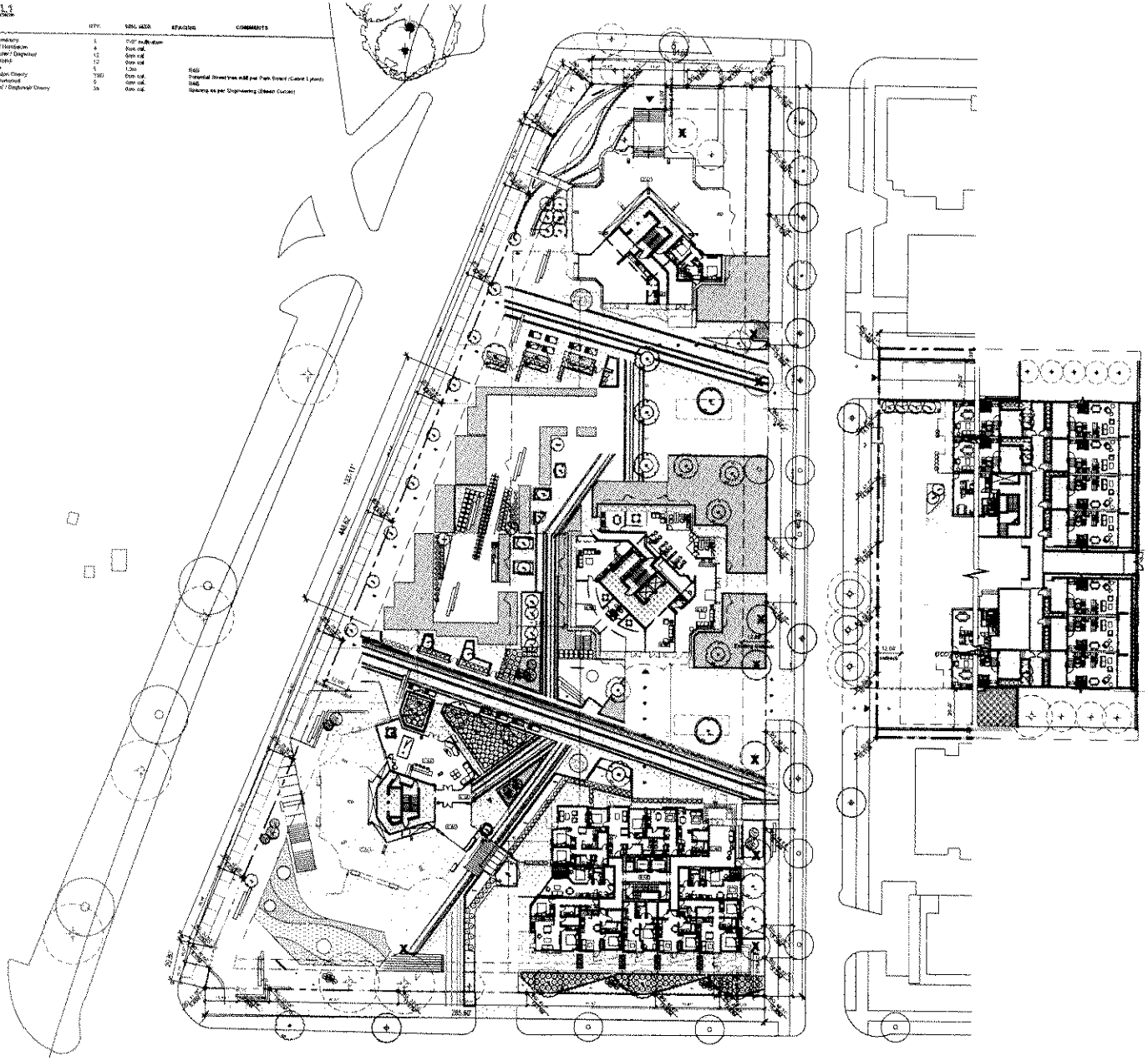
SHEET NO. DP 7.409

FILE ADDRESS: 7.407.dwg
DATE LAST REVISED

PLANT LIST LVL1

Trees

		QTY.	SIZE / SPEC.	SPACING	COMMENTS
AA	Acer saccharinum platanoides / Norwegian	1	7-10" caliper		
CB	Carpinus betulus 'Fastigiata' / Hornbeam	4	6cm cal.		
CN	Cornus 'Eddie's White Wonder' / Dogwood	12	5cm cal.		
HM	Malus 'Indian Magic' / Indian Magic	12	6cm cal.		
PC	Pinus cembra / Swiss Pine	5	12m		
P	Prunus serrulata 'Kanzan' / Japan Cherry	7	6cm cal.		Potential Street trees subject to Park Board (Cabot Lykes)
PP	Prunus cerasifera / Purple Plum	5	6cm cal.		TBD
PY	Prunus yedoensis 'Yoshino' / Daybreak Cherry	35	6cm cal.		Spacing as per Engineering (Street Curbs)



SEAL

DATE	REVISIONS	BY

PRIME CONSULTANT

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tel 604 683 8797 fax 604 683 0492
ibigroup.com

PROJECT TITLE:

BEACH TOWERS

1600 BEACH AVE. & 1651 HARWOOD ST.
VANCOUVER, BC

SHEET TITLE:

Tree Plan

JOB NO.:	26699
DATE:	Jan 20, 2014
SCALE:	1/16"=1'-0"
DRAWN BY:	CD
CHECKED BY:	CD
REV. NO.:	—

NOTE: THIS DRAWING SUPERSEDES ALL ISSUES DRAWING PREVIOUS REVISION NUMBER

SHEET NO.: DP 7.410

FILE ACCESS: Dwgs_LSC_MATERIALS_LVL1.dwg
DATE LAST REVISED

3.	Address:	1600 Harwood Street
	DE:	418164
	Description:	To construct infill rental housing adjacent to existing towers plus amenity space containing a total of 118 dwelling units.
	Zoning:	CD-1
	Application Status:	Development Application
	Review:	Second (First as Development Application)
	Architect:	IBI Group
	Owner:	Beach Towers Investments Inc.
	Delegation:	Martin Bruckner, IBI Group Salim Narayana, IBI Group Cameron Owen, IBI Group
	Staff:	Patrick O'Sullivan

EVALUATION: NON-SUPPORT (3-4)

- **Introduction:** Patrick O'Sullivan, Development Planner, introduced a proposal for a development permit following rezoning. He mentioned that the CD-1 has been enacted for the site and that the density, height and form of development are now part of the new CD-1. Mr. O'Sullivan described the Policy and mentioned that the application came in under the interim Rezoning Policy as part of the West End Community Planning process. As well the proposal is being developed under the STIR program which encourages the building of secured market rental housing. Mr. O'Sullivan described the context for the area noting the mix of mainly concrete residential rental buildings and Alexandra Park to the north. In describing the site, Mr. O'Sullivan mentioned that the existing towers were identified in the City of Vancouver's recent Landmark Inventory in the "A" category as a cultural landscape and for architectural design. The applicant has provided a Statement of Significance for the existing towers as part of the Rezoning. As well at Rezoning the site was reviewed and supported by the Vancouver Heritage Commission. Built in the 1960's, the site is among Vancouver's best known and iconic rental housing complexes with 607 rental units. The existing towers range from 19 to 21 storeys. While the application is not seeking any heritage benefits, staff and the applicant are working together to have the site added to the Heritage Register.

  Mr. O'Sullivan described the proposal and mentioned that it will have 118 secured market rental units. The proposal is for a 4-storey ground-oriented building fronting Beach Avenue with a 9-storey mid-rise building, 1-storey amenity building that is partially below grade (with fitness centre and pool) and enclosure of the base of the existing towers.

  Advice from the Panel on this application is sought on the following:
  - Comments on the success of the proposal's composition, materials and expression:
    - Generally, and how it relates to the historic context;
    - In particular, the expression of the Beach Avenue frontage.
  - Comments on your level of support for the requested height relaxation on Beach Avenue frontage building.
  - Comments on the livability of the residential units in general and 1651 Harwood Townhouse Unit 04 in particular.
  - Comments on the overall landscape design as proposed in terms of daylight exposure, choice of materials and plant selection.

  Mr. O'Sullivan took questions from the Panel.

- **Applicant's Introductory Comments:** Martin Bruckner, Architect, further described the proposal and mentioned that they have gone through an extensive process with both city staff and the community. The mid-rise is 9-storeys and relates to the adjacent building and is landscaped around the edges. He noted that each of the three existing underground parking levels had their own entrance and so they are planning to taken one out. They are retaining the crossing but the upper level parking will be removed. Mr. Bruckner described the material palette noting the window wall construction with spandrel glass and concrete balconies and slab edges. They are using prefabricated stone tile panels to give a distinctive look. The amenity space will probably be the first to get built to replace the existing pool and along with an amenity room. There is a small pocket park at the corner. The townhouse expression along Beach Avenue will replicate the current saw-tooth form of the existing parking structure. The balconies and slabs are a lighter concrete to contrast with the existing materials. The spandrels will be polished precast panels with windows built in and some are gold anodized. The ground floor townhouses are set back with individual access. The roof the townhouses will have access by stair and elevator and will be landscaped a space for the residents.

  Cameron Owen, Landscape Architect, described the landscaping plans and noted the pocket park on the corner of Beach Avenue and Cardero Street. They will be using pavers and providing seating benches. He described the planting and mentioned that they are trying to have a look of a seaside meadow which will also include cherry trees. The townhouses will have a private patio that is separated by a green hedge. There are two main access points that provide view corridors through the site that will have seating at the edges. Urban agriculture is also planned for the area. Children's play has been moved closer to the indoor amenity space. Mr. Owen mentioned that there is better circulation through the site that has been reinforced with plantings. Along Cardero Street is a berm with plantings to give a west coast expression. Most of the new buildings will have extensive green roofs.

  The applicant team took questions from the Panel.

- **Panel's Consensus on Key Aspects Needing Improvement:**

  - Design development to improve the legibility of the entrances;
  - Design development to improve the expression of the mid-rise building;
  - Consider access through the site to Beach Avenue;
  - Design development to improve the amenity space and especially the park on the corner;
  - Design development to the auto court cul-de-sac;
  - Consider planting larger trees along Beach Avenue to reduce solar gain.

- **Related Commentary:** The Panel did not support the proposal.

  The Panel said they appreciated the effort by the applicant to improve the views in the new building along Beach Avenue. They had no issue with the height relaxation for the guards on the lower level roof deck, and liked the treatment of the ground plane and how the landscaping had been handled to enhance legibility. One Panel member, however wanted to see better legibility of the building entrances. Most of the Panel supported the material and colour palette.

  Some Panel members thought the mid-rise elevation was more successful in earlier plans and thought it should not retain the grades of the old parkade but rather should come down to ground at the parkade entrance to improve the grading condition relative to the context. As well one Panel member thought that the blue glass was too dark.

The Panel noted that there are some strong diagonals out to the views but dead ends with no access to the street or the beach which they found frustrating. They also wanted to see the paving patterns reinforce the cherry trees as they felt that they were a strong feature of the site.

The Panel thought the two corner treatments along Beach Avenue at the amenity building required some design development to make them more useable. They wanted to see an area that would welcome people to sit and enjoy the street. As well they thought the amenity space was rather remote and not in the most appropriate location on the site.

The Panel thought the auto court cul-de-sac was inappropriate in the context of the space and that it should be a much greener landscaped environment.

Some Panel members mentioned that since the public art has been moved into the centre of the site it can no longer be considered public art. One Panel member noted that public art should be reviewed in terms of what it can give back to the public.

From a sustainability perspective, it was suggested that larger trees be planted on Beach Avenue to provide reduction of solar gain in the summer but still allow views through to the beach in the winter. Solar shading elements could be added on the southwest facade of the mid-rise tower.

- **Applicant's Response:** Mr. Bruckner said he appreciated the Panel's input as it will help to make a better project. He said they are working on the public art requirement for the site and will be located in a public area such as the westerly corner on the Beach Avenue frontage. He added that they didn't intend to have dark glass on the mid-rise but will be low-e glass that is pretty transparent.

4.	Address:	1625 Harwood Street
	DE:	418163
	Description:	to construct infill rental housing consisting of four townhouse buildings containing a total of 15 dwelling units.
	Zoning:	CD-1
	Application Status:	Development Application
	Review:	Second (First as Development Application)
	Architect:	IBI Group
	Owner:	Beach Towers Investments Inc.
	Delegation:	Martin Bruckner, IBI Group Salim Narayana, IBI Group Cameron Owen, IBI Group
	Staff:	Patrick O'Sullivan

EVALUATION: NON-SUPPORT (3-4)

- **Introduction:** Patrick O'Sullivan, Development Planner, introduced a proposal for a development permit following rezoning. He mentioned that the CD-1 has been enacted for the site and that the density, height and form of development are now part of the new CD-1. Mr. O'Sullivan described the Policy and mentioned that the application came in under the interim Rezoning Policy as part of the West End Community Planning process. As well the proposal is being developed under the STIR program which encourages the building of secured market rental housing. Mr. O'Sullivan described the context for the area noting the mix of mainly concrete residential rental buildings and Alexandra Park to the north. In describing the site, Mr. O'Sullivan mentioned that the existing towers were identified in the City of Vancouver's recent Landmark Inventory in the "A" category as a cultural landscape and for architectural design. The applicant has provided a Statement of Significance for the existing towers as part of the Rezoning. As well at Rezoning the site was reviewed and supported by the Vancouver Heritage Commission. Built in the 1960's, the site is among Vancouver's best known and iconic rental housing complexes with 607 rental units. The existing towers range from 19 to 21 storeys. While the application is not seeking any heritage benefits, staff and the applicant are working together to have the site added to the Heritage Register.

  Mr. O'Sullivan described the proposal and mentioned that it is for a modest addition of two and 3-storey townhouses located to the sides and rear of the tower with 15 secured market rental units.

  Advice from the Panel on this application is sought on the following:
  - Comments on the success of the proposal's composition, materials and expression:
    - Generally, and how it relates to the historic context;
    - In particular, the expression of the Beach Avenue frontage.
  - Comments on your level of support for the requested height relaxation on Beach Avenue frontage building.
  - Comments on the livability of the residential units in general and 1651 Harwood Townhouse Unit 04 in particular.
  - Comments on the overall landscape design as proposed in terms of daylight exposure, choice of materials and plant selection.

  Mr. O'Sullivan took questions from the Panel.

- **Applicant's Introductory Comments:** Martin Bruckner, Architect, mentioned that the infill opportunities are less on this site. It is a mid-block site and will have 3-storey townhouses

flanking the existing building with a courtyard to provide outdoor space for the residents. He added that they will be building a new central heating plant on this site that will heat the entire site.
Cameron Owen, Landscape Architect, described the landscaping plans and mentioned that there will be a gate out on the street to access the townhouses for privacy. In the back there will be patios with gates and there is a wall across the lane with a hedge. The existing trees will be retained and as well extensive green roofs are planned.

- **Panel's Consensus on Key Aspects Needing Improvement:**

  - Design development to improve the expression of the buildings around the tower;
  - Design development to improve the integration between Parcel A and B;
  - Design development to improve the courtyard.

- **Related Commentary:** The Panel did not support the proposal.

  The Panel thought the integration of the townhouses at the base of the tower was not successful. They particularly did not like the way the two smaller buildings related to the tower and noted that the buildings are of a different architectural typology than the tower. One Panel member suggested the buildings might want to reflect the original architecture. They however did agree that the livabilty of the units was adequate and had no concerns with the 04 unit.

  The Panel thought that activating the lane was a good idea but thought there could be better integration between Parcel A and B with a more positive linkage between the two.

  A couple of Panel members mentioned that the built-up planters in the courtyard make the area unlivable. The courtyard should be opened up and the intrusiveness of barriers reduced.

- **Applicant's Response:** Mr. Bruckner said he appreciated the Panel's input as it will help to make a better project. He said they are working on the public art requirement for the site and will be located in a public area such as the westerly corner on the Beach Avenue frontage. He added that they didn't intend to have dark glass on the mid-rise but will be low-e glass that is pretty transparent.

Adjournment
There being no further business the meeting adjourned at 7:35 p.m.

CITY OF
VANCOUVER

VANCOUVER HERITAGE COMMISSION

MINUTES

September 29, 2014

A meeting of the Vancouver Heritage Commission was held on Monday, September 29, 2014, at 11:03 am, in the Town Hall Meeting Room, Main Floor, Vancouver City Hall.

PRESENT:	Richard Keate, Chair Terry Brunette Michael Kluckner Joel Massey Mollie Massie Anthony Norfolk Jenny Sandy Jon Stovell*
ABSENT:	David Cuan, Leave of Absence Lihua Livia Huang, Leave of Absence Kim Maust, Vice-Chair, Leave of Absence
ALSO PRESENT:	Councillor Heather Deal, Council Liaison John Coupar, Parks Board Liaison Marco D'Agostini, Senior Heritage Planner, Staff Liaison
CITY CLERK'S OFFICE:	Bonnie Kennett, Meeting Coordinator

* Denotes absence for a portion of the meeting.

Leave of Absence Requests

MOVED by Commissioner Sandy
SECONDED by Commissioner Kluckner

> THAT the Vancouver Heritage Commission approve leaves of absence for Commissioners Cuan, Huang and Maust for this meeting.

CARRIED UNANIMOUSLY

MOVED by Commissioner Norfolk
SECONDED by Commissioner Kluckner

> THAT the Vancouver Heritage Commission approve leaves of absence for Commissioners Keate, Massie and Sandy for the meeting to be held on November 17, 2014.

CARRIED UNANIMOUSLY

Approval of Minutes

MOVED by Commissioner Norfolk
SECONDED by Commissioner Sandy

THAT the Vancouver Heritage Commission approve the minutes from the meeting held July 28, 2014, as circulated.

CARRIED UNANIMOUSLY

1. Business Arising from the Minutes

None.

2. Conservation Review

(a) 1600 Beach Avenue /1625 Harwood Street (Beach Towers)

Issues:
(i) are the proposed new buildings visually compatible with, subordinate to and distinguishable from the heritage resources?
(ii) does the proposed infill at the base of the existing towers respond to the Heritage Commission's motion of February 2012?

Applicants: Martin Bruckner, Architect, IBI/HB Architects
Zev Shafran, Owner
Robert Lemon, Heritage Consultant
Cameron Owen, Landscape Architect

Staff: Marco D'Agostini, Senior Heritage Planner

Staff and the applicant reviewed the application and responded to questions.

MOVED by Commissioner Stovell
SECONDED by Commissioner Massie

THAT the Vancouver Heritage Commission supports the modern infill additions to the Douglas House, MacDonald House, Laurier House and Columbia House, located at 1600 Beach Avenue and 1651 Harwood Street, Beach Towers, as presented at the September 29, 2014, meeting.

CARRIED
(Commissioners Brunette and Keate opposed)

MOVED by Commissioner Sandy
SECONDED by Commissioner Stovell

THAT the Vancouver Heritage Commission requests there be a minimum depth of the curtain wall frame at the base or glass fence.

CARRIED UNANIMOUSLY

MOVED by Commissioner Sandy
SECONDED by Commissioner Stovell

THAT the Vancouver Heritage Commission requests no window coverings be used on the tower bases that would obscure their transparency.

CARRIED UNANIMOUSLY

(b) 826 East Georgia Street - Thomas & Jessie Crawford House

Issues:

(i) Conservation Plan
(ii) Compatibility of modest changes to the exterior, including the recessed entry to the lower level suite at the front

Applicants: Mike Lemon, Birmingham & Wood Architects
Elana Zysblat, Heritage Consultant

Staff: Hugh McLean, Heritage Group

Staff and the applicant reviewed the application and responded to questions.

MOVED by Commissioner Kluckner
SECONDED by Commissioner Norfolk

THAT the Vancouver Heritage Commission supports the Development Permit Application at 826 East Georgia Street, Thomas & Jessie Crawford House, as presented at the September 29, 2014, meeting and requests that further design development be given to the basement suite entry area to make it more balanced to the rest of the house.

CARRIED UNANIMOUSLY

* * * * *

The Commission recessed at 12:23 pm and reconvened at 12:33 pm.

* * * * *