

REVISIONS	DATE
1. INITIAL DESIGN	15 MAY 2024
2. CLIENT REVIEW	15 MAY 2024
3. COORDINATION	15 MAY 2024
4. OPEN HOUSE	2 DECEMBER 2024
5. PRELIMINARY	17 AUGUST 2025
6. D.P. RESUBMISSION	17 AUGUST 2025

ISSUED FOR
D.P. RESUBMISSION
17 AUGUST 2025

NO. REVISION: _____ DATE: _____
The drawings are the property of Rostich Hemphill Architects and shall remain the property of Rostich Hemphill Architects. No part of these drawings shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Rostich Hemphill Architects. The drawings are to be used for the purpose of obtaining a permit only and are not to be used for construction. The drawings are to be used for the purpose of obtaining a permit only and are not to be used for construction. The drawings are to be used for the purpose of obtaining a permit only and are not to be used for construction.

CLIENT: HON TOWERS
KERRISDALE LTD.
PROJECT: WEST 42ND AVE. & BALACLAVA ST.
RESIDENTIAL BLDG.
WEST 42ND AVE. & BALACLAVA ST.
VANCOUVER, B.C.
DRAWING TITLE: CONTEXT PLAN

NAME FILE: 1319-43.0.dwg
SCALE: 60"=1'-0"
PLOT DATE: AUG. 2025
DRAWN BY: JAH
CHECKED: KSH
PROJECT NO: 1319

DWS NO. _____
A0.1

DPI: 300
BPP: 300



ISSUED	DATE
1. PRELIMINARY	15 JANUARY 2014
2. CLIENT REVIEW	8 MAY 2014
3. COORDINATION	15 MAY 2014
4. OPEN HOUSE	2 DECEMBER 2014
5. PRELIMINARY	2 DECEMBER 2014
6. PRELIMINARY	2 DECEMBER 2014
7. DP RESUBMISSION	17 AUGUST 2015

ISSUED FOR

D.P. RESUBMISSION

17 AUGUST 2015

NO. 1285030

DATE

17 AUGUST 2015

1. PRELIMINARY

2. CLIENT REVIEW

3. COORDINATION

4. OPEN HOUSE

5. PRELIMINARY

6. PRELIMINARY

7. DP RESUBMISSION

CLIENT

HON TOWERS

KERRISDALE LTD.

PROJECT: 1285030

RESIDENTIAL BLDG.

WEST 42ND AVE & BALACLAVA ST.

VANCOUVER, B.C.

CONTEXT PHOTOS

SCALE: 1:100

DATE: 17 AUG 2015

CHECKED: KSH

PROJECT NO. 1319

DWG. NO. A0.2

APPENDIX D

DP RESUBMISSION

17 AUGUST 2015



REVISION	DATE
1. INITIAL DESIGN	17 JANUARY 2014
2. CLIENT REVIEW	18 MAY 2014
3. COMMUNICATION	20 MAY 2014
4. CLIENT REVIEW	2 DECEMBER 2014
5. CLIENT REVIEW	17 JANUARY 2015
6. D.P. RESUBMISSION	17 AUGUST 2015

ISSUED FOR
D.P. RESUBMISSION
17 AUGUST 2015

ALL INFORMATION
The Architect and Engineer are not responsible for the accuracy of the information provided in this document. The Architect and Engineer are not responsible for the accuracy of the information provided in this document. The Architect and Engineer are not responsible for the accuracy of the information provided in this document.

CLIENT
**HON TOWERS
KERRISDALE LTD.
1319-A0.3.DWG
RESIDENTIAL BLDG.
WEST 41ST AVE. & BALACLAVA ST.
VANCOUVER, B.C.**

SHADOW DIAGRAM
**MARCH / SEPTEMBER
EQUINOX**

DATE FILE: 1319-A0.3.DWG
SCALE: N/A
PLOT DATE: AUG. 2015
DRAWN BY: KSH
CHECKED BY: KSH

PROJECT NO. 1319

DWG. NO. **A0.3**

DATE: 17 AUG 2015
BY: KSH



MARCH / SEPT.: 2:00 pm

MARCH / SEPT.: 12:00 Noon
APPENDIX D Page 4 of 54

MARCH / SEPT.: 10:00 am

DATE	DESCRIPTION
17 FEBRUARY 2014	1.1 PRELIMINARY
18 MAY 2014	2.1 CLIENT REVIEW
20 MAY 2014	3.1 PRELIMINARY
2 DECEMBER 2014	4.1 CLIENT REVIEW
17 JANUARY 2015	5.1 PRELIMINARY
17 AUGUST 2015	6.1 PRELIMINARY

ISSUED FOR
D.P. RESUBMISSION
17 AUGUST 2015

DATE
17 AUGUST 2015
DESCRIPTION
6.1 PRELIMINARY
The purpose of this drawing is to provide a visual representation of the proposed development. It is not intended to be used for construction or other purposes. The drawing is subject to change without notice. The drawing is not to be used for any other purpose without the written consent of the architect.

CLIENT
HON TOWERS
KERRISDALE LTD.
1339-A0.3.DWG
PROJECT
RESIDENTIAL BLDG.
WEST 42ND AVE. & BALACLAVA ST.
VANCOUVER, B.C.
DRAWING TITLE
SHADOW DIAGRAM
JUNE 21
SOLSTICE

DATE FILED
1339-A0.3.DWG
PROJECT NO.
1319
PROJECT NAME
KERRISDALE LTD.
KERRISDALE LTD.

DATE
1339-A0.3.DWG
PROJECT NO.
1319
PROJECT NAME
KERRISDALE LTD.
KERRISDALE LTD.



JUNE 21: 2:00 pm



JUNE 21: 12:00 Noon
APPENDIX D Page 5 of 54



JUNE 21: 10:00 am



DATE: 17 AUGUST 2015
SUBMIT: 17 AUGUST 2015
1. CLIENT REVIEW
2. CLIENT REVIEW
3. COORDINATION
4. COORDINATION
5. COORDINATION
6. COORDINATION
7. COORDINATION

ISSUED FOR
D.P. RESUBMISSION
17 AUGUST 2015

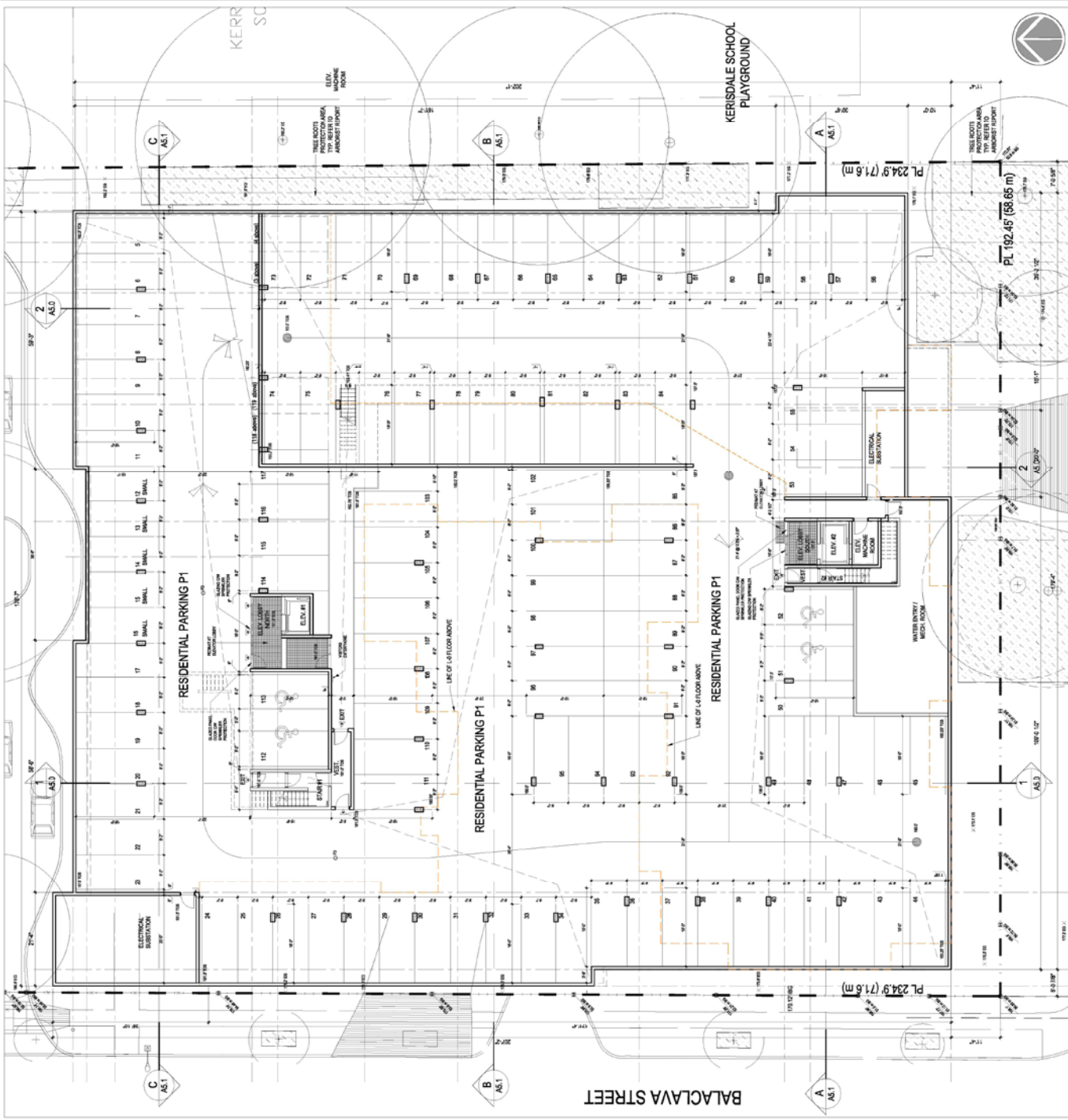
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DATE: 17 AUGUST 2015
PROJECT: 1319-43.0.dwg
DRAWING TITLE: 3/20"x11"
SHEET NO.: 1319
SHEET TITLE: 3/20"x11"
SHEET NO.: 1319
SHEET TITLE: 3/20"x11"

CLIENT: **HON TOWERS**
KERRISDALE LTD.
PROJECT: 1319-43.0.dwg
DRAWING TITLE: 3/20"x11"
SHEET NO.: 1319
SHEET TITLE: 3/20"x11"

NAME FILE: 1319-43.0.dwg
SCALE: 3/20"x11"
PLOT DATE: AUG. 2015
CHECKED: KSH
PROJECT NO.: 1319
DWS NO.: 1319

A2.0
DWG NO. 1319
SHEET NO. 1319
SHEET TITLE: 3/20"x11"

DP: KSH
BP: BSH



REVISION	DATE
1. CLIENT REVIEW	17 AUGUST 2014
2. CLIENT REVIEW	17 AUGUST 2014
3. COORDINATION	17 AUGUST 2014
4. OPEN HOUSE	2 DECEMBER 2014
5. OPEN HOUSE	2 DECEMBER 2014
6. DP RESUBMISSION	17 AUGUST 2015
7. DP RESUBMISSION	17 AUGUST 2015

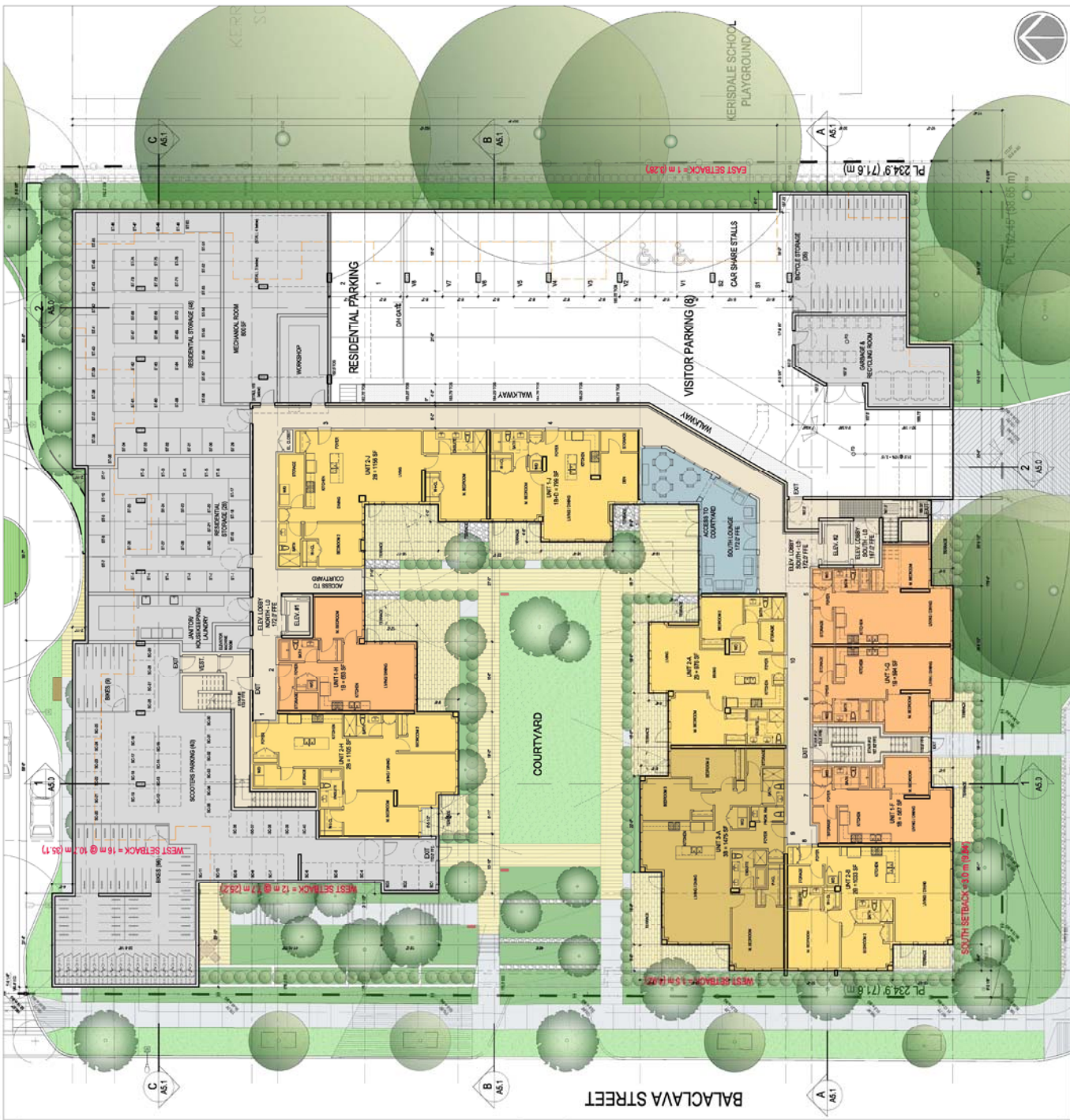
ISSUED FOR
D.P. RESUBMISSION
17 AUGUST 2015

NO. REVISION	DATE
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4. NO. REVISION	17 AUGUST 2015
5. NO. REVISION	17 AUGUST 2015
6. NO. REVISION	17 AUGUST 2015
7. NO. REVISION	17 AUGUST 2015

CLIENT
HON TOWERS
KERRISDALE LTD.
PROJECT
RESIDENTIAL BLDG.
WEST 42ND AVE. & BALACLAVA ST.
VANCOUVER, B.C.
DRAWING TITLE
L-0 FLOOR PLAN

NAME FILE: 1319-A3.0.dwg
SCALE: 3/32"=1'-0"
PLOT DATE: AUG. 2015
CHECKED: KSH
PROJECT NO. 1319
DWG. NO. A3.0

APP. DES.
BPP: BPP



REVISIONS	DATE
1. PRELIMINARY	17 AUGUST 2014
2. CLIENT REVIEW	8 MAY 2014
3. COORDINATION	15 MAY 2014
4. CITY HOUSE	2 DECEMBER 2014
5. CITY HOUSE	2 DECEMBER 2014
6. CITY HOUSE	2 DECEMBER 2014
7. DP RESUBMISSION	17 AUGUST 2015

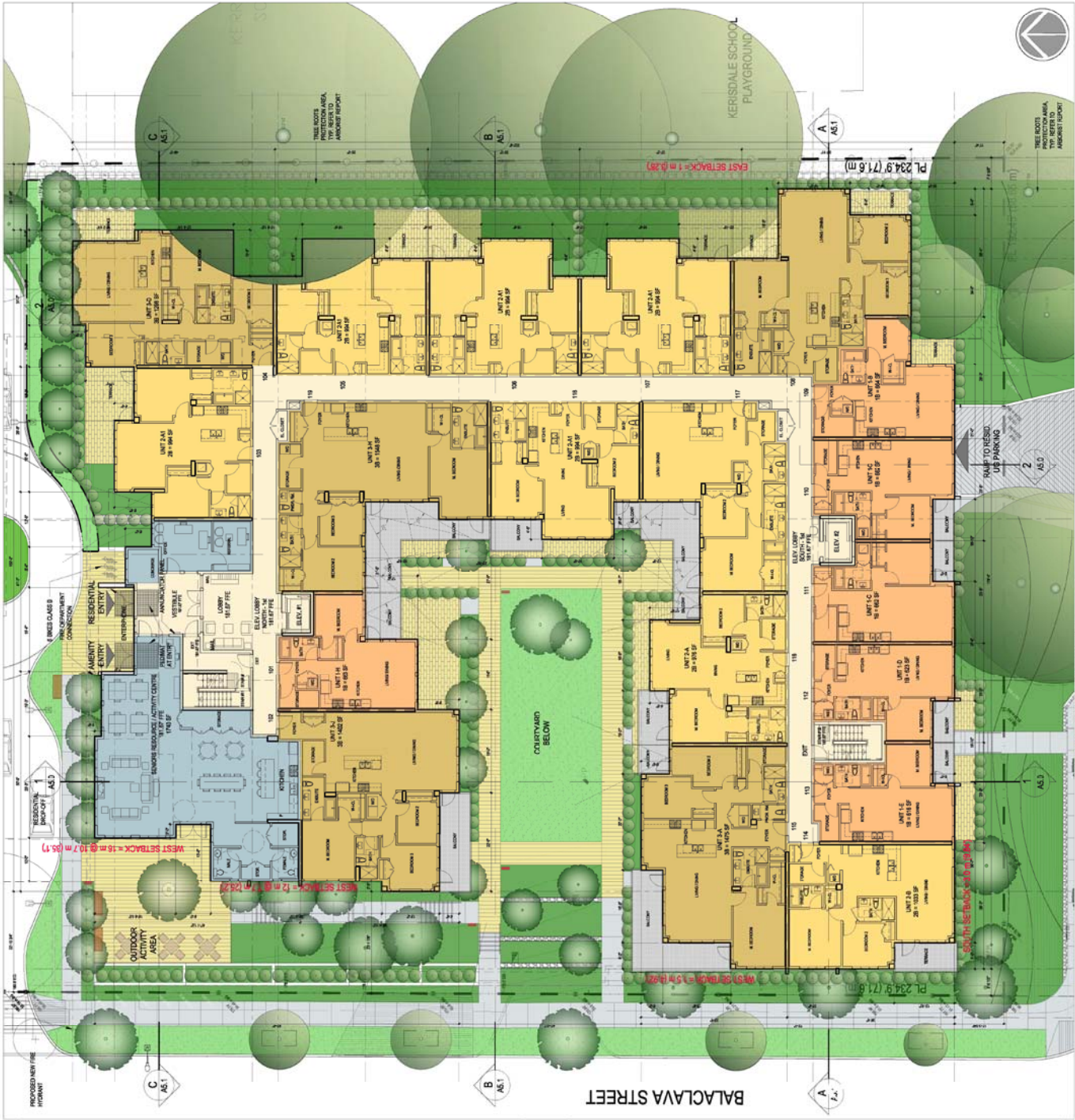
ISSUED FOR
D.P. RESUBMISSION
17 AUGUST 2015

NO. REVISION	DATE
1. PRELIMINARY	17 AUGUST 2014
2. CLIENT REVIEW	8 MAY 2014
3. COORDINATION	15 MAY 2014
4. CITY HOUSE	2 DECEMBER 2014
5. CITY HOUSE	2 DECEMBER 2014
6. CITY HOUSE	2 DECEMBER 2014
7. DP RESUBMISSION	17 AUGUST 2015

CLIENT
**HON TOWERS
KERRISDALE LTD.**
PROJECT
RESIDENTIAL BLDG.
WEST 4247 AVE. & BALACLAVA ST.
VANCOUVER, B.C.
DRAWING TITLE
1ST FLOOR PLAN

NAME FILE: 1319-A3.0.dwg
SCALE: 3/32"=1'-0"
PLOT DATE: AUG. 2015
CHECKED: KSH
PROJECT NO. 1319

DWG. NO.
A3.1
DATE: 17 AUGUST 2015
BY: KSH



REVISION	DATE
1. CLIENT REVIEW	13 MAY 2024
2. COORDINATION	13 MAY 2024
3. DESIGN DEVELOPMENT	13 MAY 2024
4. OPEN HOUSE	2 DECEMBER 2024
5. PRELIMINARY DESIGN	2 DECEMBER 2024
6. PRELIMINARY DESIGN	2 DECEMBER 2024
7. PRELIMINARY DESIGN	2 DECEMBER 2024

ISSUED FOR
D.P. RESUBMISSION
17 AUGUST 2025

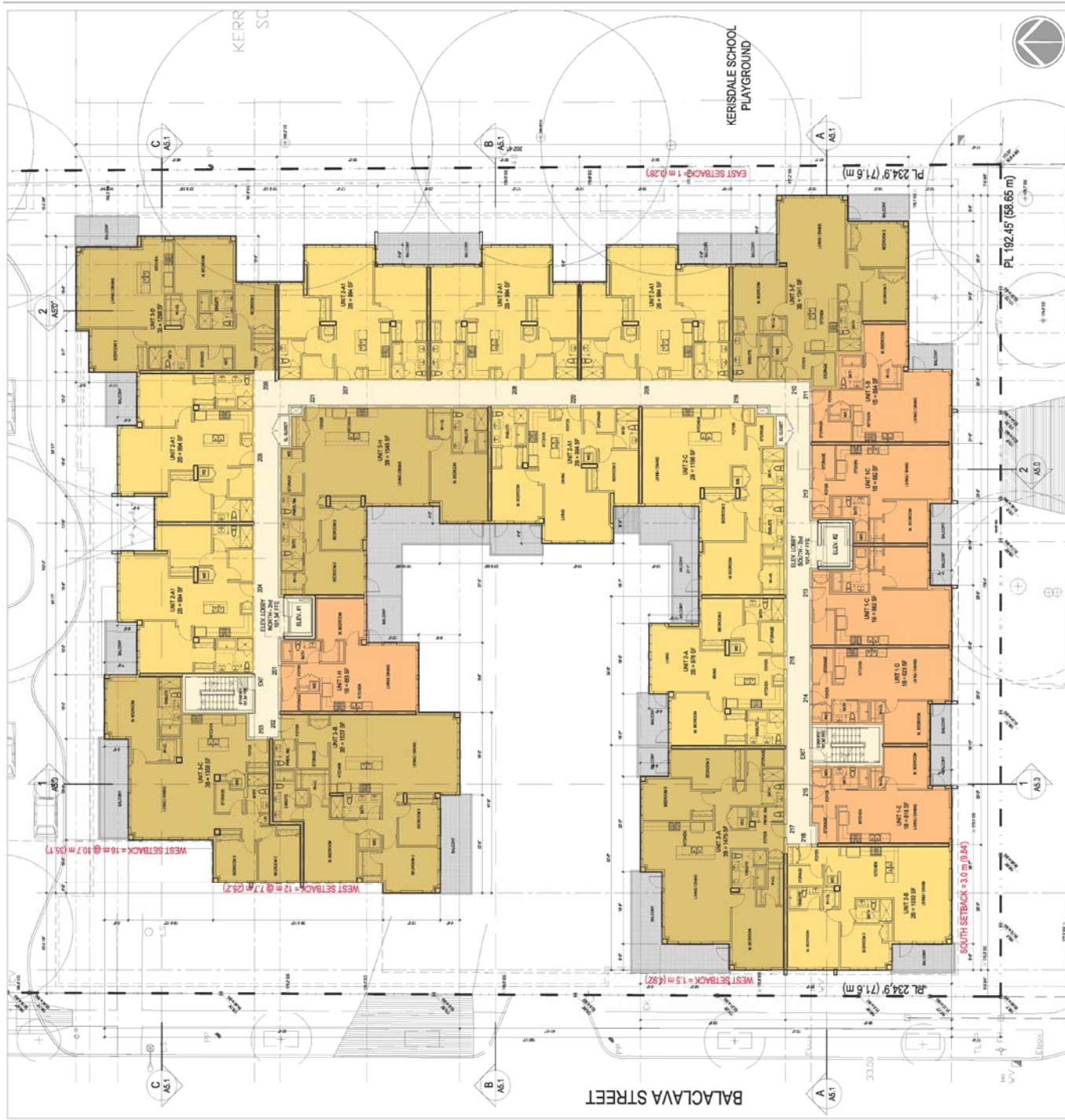
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4. NO. REVISION	17 AUGUST 2025
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6. NO. REVISION	17 AUGUST 2025
7. NO. REVISION	17 AUGUST 2025

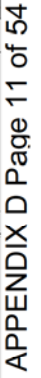
CLIENT
HON TOWERS
KERRISDALE LTD.
1000 WEST 42ND AVE. #100
VANCOUVER, BC
V6M 1W1
PROJECT NO. 1319
DRAWING TITLE
RESIDENTIAL BLDG.
WEST 42ND AVE. & BALACLAVA ST.
VANCOUVER, B.C.
2ND FLOOR PLAN

NAME FILE: 1319-A3.0.dwg
SCALE: 3/32"=1'-0"
PLOT DATE: AUG. 2025
CHECKED: KSH
PROJECT NO. 1319

DWG. NO.
A3.2

DP: KSH
BP: BSH





- | 19 POINTS SAFEPHOME STANDARDS: | |
|--------------------------------|--|
| -Climate 1 | All exterior thresholds are flush. |
| -Climate 2 | Interior thresholds are flush. |
| -Climate 3 | Interior thresholds must include cold air seals (e.g., shower enclosures). |
| -Climate 3 | Positioning of Bath and Shower Controls: The controls for the shower and/or tub must be located on the outside edge of the shower or tub enclosure. |
| -Climate 4 | Pressure/Temperature Control (Water Control for renovations only): Cold water lines are installed on all shower floors. |
| -Climate 5 | Nonvented and 271.17 cold/Low air must be installed on all shower floors. |
| -Climate 6 | Nonvented and 271.17 cold/Low air in bathroom tub/shower, shower, and toilet enclosures. |
| -Climate 6 | All pipes are brought in no higher than 14" in the center of the pipe from floor level. |
| -Climate 7 | Cold water underneath each sink is easily removed. |
| -Climate 8 | Doors (bath points): Bath and shower points are a minimum of 34" but ideally 36" wide. |
| -Climate 9 | Doors (bath points): Bath and shower points are a minimum of 60" but ideally 62" wide. |
| -Climate 10 | Positioning of Light fixtures: Lights are positioned at 42" in the center of the electrical box from the floor. |
| -Climate 11 | All electrical boxes are positioned at 42" in the center of the electrical box from the floor. |
| -Climate 11 | Positioning of Electrical Outlets: All outlets positioned at 18" to the center of the electrical box from the floor. |
| -Climate 12 | Placement Location of Electrical Outlets: Bathrooms, especially where showers or bathtubs may be installed, must have outlets: <ul style="list-style-type: none"> • Below the tub/shower. • Below the toilet. • Below the vanity (shower and toilet). |
| -Climate 13 | On the first floor of the basement conversion, control cords for at least one (bathroom) and one of the house wiring must be on a plan. |
| -Climate 13 | Electrical Boxes and AAC outlets are in vented electrical boxes. |
| -Climate 14 | Fireplace/Chimney Location: Located in master bedroom, home office, garage, and vacation room. |
| -Climate 15 | Living/Dining Area: Located in master bedroom, home office, garage, and vacation room. |
| -Climate 16 | AC Unit: Located in master bedroom, home office, garage, and vacation room. |
| -Climate 16 | AC Unit: Located in master bedroom, home office, garage, and vacation room. |
| -Climate 17 | AC Unit: Located in master bedroom, home office, garage, and vacation room. |
| -Climate 18 | AC Unit: Located in master bedroom, home office, garage, and vacation room. |
| -Climate 19 | AC Unit: Located in master bedroom, home office, garage, and vacation room. |

REVISION	DATE
1. CLIENT REVIEW	13 MAY 2014
2. COORDINATION	8 MAY 2014
3. DESIGN DEVELOPMENT	2 DECEMBER 2014
4. DESIGN DEVELOPMENT	17 AUGUST 2015
5. DESIGN DEVELOPMENT	17 AUGUST 2015
6. DESIGN DEVELOPMENT	17 AUGUST 2015
7. DESIGN DEVELOPMENT	17 AUGUST 2015

ISSUED FOR
D.P. RESUBMISSION
17 AUGUST 2015

NO. REVISION	DATE
1. CLIENT REVIEW	13 MAY 2014
2. COORDINATION	8 MAY 2014
3. DESIGN DEVELOPMENT	2 DECEMBER 2014
4. DESIGN DEVELOPMENT	17 AUGUST 2015
5. DESIGN DEVELOPMENT	17 AUGUST 2015
6. DESIGN DEVELOPMENT	17 AUGUST 2015
7. DESIGN DEVELOPMENT	17 AUGUST 2015

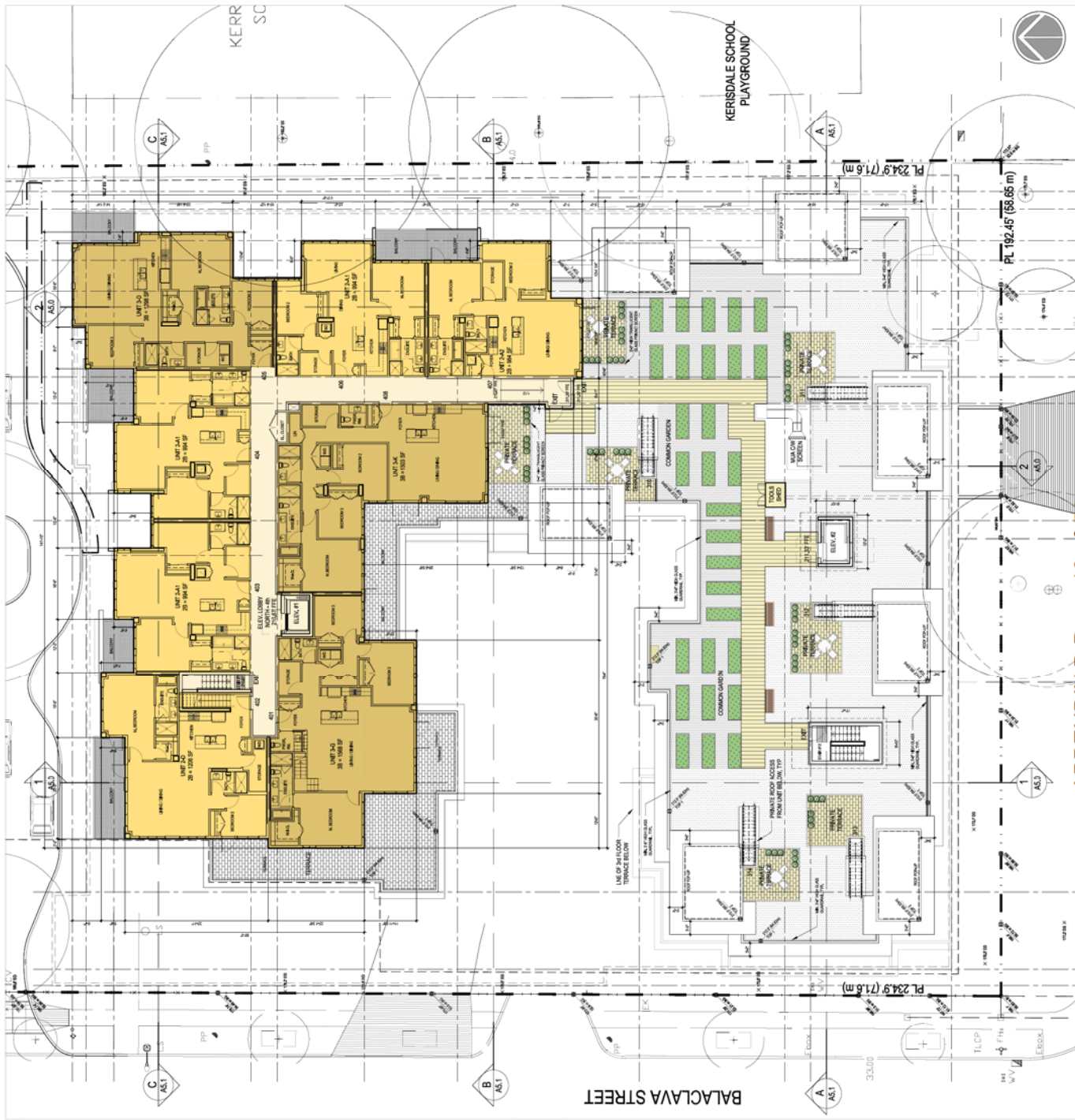
CLIENT
HON TOWERS
KERRISDALE LTD.
PROJECT
RESIDENTIAL BLDG.
WEST 424R AVE. & BALACLAVA ST.
VANCOUVER, B.C.
DRAWING TITLE
4TH FLOOR PLAN

NAME FILE: 1319-43.0.dwg
SCALE: 3/32"=1'-0"
PLOT DATE: AUG. 2015
CHECKED: KSH

PROJECT NO.
1319

DWG. NO.
A3.4

DP: DS
BP: BS



GENERAL NOTES:

- EXISTING GRADE INFORMATION, PROPERTY LINES AND SITE BOUNDARIES TAKEN FROM SURVEYOR'S DRAWING PREPARED BY KERR K. WONG & ASSOCIATES INC. (KERR K. WONG & ASSOCIATES INC. 1319-43.0.dwg).
- BUILDING GRADE ELEVATIONS AS PER DRAWING BG 1319-43.0 DATED OCTOBER 2011. PROVIDED BY CITY OF VANCOUVER ENGINEERING SERVICES.
- ALL GRADES AND DIMENSIONS ARE SHOWN IN FEET, INCHES.
- REFER TO ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR ELEVATIONS, GRADING, PAVING AND LANDSCAPE DETAILS.
- ALL CONSTRUCTION BASED ON THE CONSULTANT'S RECOMMENDATIONS.

PARKING NOTES:

- THE DESIGN OF THE PARKING STRUCTURE REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH SECTION 4.1.3 OF THE CITY OF VANCOUVER PARKING BY-LAW. ALL WALLS TO BE PAINTED WHITE.
- COMPASS, LOCKERS AND/OR BACKS REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF THE CITY OF VANCOUVER PARKING BY-LAW.
- A MINIMUM OF ONE ELECTRICAL RECEPTACLE SHALL BE PROVIDED FOR EACH PARKING SPACE.
- RECEPTACLES FOR ELECTRICAL VEHICLE CHARGING TO BE PROVIDED AS PER THE CITY OF VANCOUVER PARKING BY-LAW.
- MULTI-UNIT BUILDINGS SHALL BE IN ACCORDANCE WITH THE CITY OF VANCOUVER PARKING BY-LAW.

- MECHANICAL EQUIPMENT SHALL BE DESIGNED AND LOCATED TO MINIMIZE ITS NOISE IMPACTS ON THE NEIGHBORHOOD AND COMPLY WITH NOISE BY-LAW ABOVE THE FINISHED FLOOR LEVEL, ALONG THE DRIVE ABLES OR ADJACENT HANDICAP STALLS.
- PROVIDE 1/4" IN SWING AND 1/4" OUT-SPACING CLEAR SPACE BETWEEN THE MECHANICAL EQUIPMENT AND THE WALLS OR CEILING.
- ALL MECHANICAL EQUIPMENT SHALL BE PROTECTED BY A 1/4" THICK GLAZED METAL DOOR, LOW SPRINKLER PROTECTION AS REQUIRED.

- ALL VESTIBULE AND ELEVATOR LOBBY DOORS AT PARKING TO BE FULL GLAZED METAL DOORS, LOW SPRINKLER PROTECTION AS REQUIRED.
- ALL VESTIBULE AND ELEVATOR LOBBY DOORS AT PARKING TO BE FULL GLAZED METAL DOORS, LOW SPRINKLER PROTECTION AS REQUIRED.
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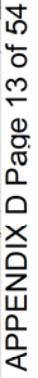
RESIDENTIAL UNITS AND COMMON AREAS NOTES:

- ALL UNITS TO COMPLY WITH 19 POINTS SAFERHOME STANDARDS.
- ALL UNITS TO COMPLY WITH 19 POINTS SAFERHOME STANDARDS.
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- ALL UNITS TO COMPLY WITH 19 POINTS SAFERHOME STANDARDS.

19 POINTS SAFERHOME STANDARDS:

- 1. All units must have a smoke alarm.
- 2. All units must have a carbon monoxide detector.
- 3. All units must have a fire extinguisher.
- 4. All units must have a first aid kit.
- 5. All units must have a window coverings that can be opened from the inside.
- 6. All units must have a window coverings that can be opened from the inside.
- 7. All units must have a window coverings that can be opened from the inside.
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- 19. All units must have a window coverings that can be opened from the inside.



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MATERIAL LEGEND		COLOR
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91. CONCRETE PANEL	PAINTED	CONCRETE
92. CONCRETE PANEL	PAINTED	CONCRETE
93. CONCRETE PANEL	PAINTED	CONCRETE
94. CONCRETE PANEL	PAINTED	CONCRETE
95. CONCRETE PANEL	PAINTED	CONCRETE
96. CONCRETE PANEL	PAINTED	CONCRETE
97. CONCRETE PANEL	PAINTED	CONCRETE
98. CONCRETE PANEL	PAINTED	CONCRETE
99. CONCRETE PANEL	PAINTED	CONCRETE
100. CONCRETE PANEL	PAINTED	CONCRETE

REVISIONS:
 1. CLIENT REVIEW
 2. CLIENT REVIEW
 3. COORDINATION
 4. CLIENT REVIEW
 5. CLIENT REVIEW
 6. CLIENT REVIEW
 7. CLIENT REVIEW

DATE:
 13 MAY 2014
 13 MAY 2014
 13 MAY 2014
 2 DECEMBER 2014
 2 DECEMBER 2014
 2 DECEMBER 2014
 17 AUGUST 2015

ISSUED FOR
 D.P. RESUBMISSION
 17 AUGUST 2015

NO. REVISION
 DATE
 1. 13 MAY 2014
 2. 13 MAY 2014
 3. 13 MAY 2014
 4. 2 DECEMBER 2014
 5. 2 DECEMBER 2014
 6. 2 DECEMBER 2014
 7. 17 AUGUST 2015

ARCHITECTURAL SEAL

CLIENT
 HON TOWERS
 KERRISDALE LTD.
 1000 WEST 42ND AVE. #20-223
 VANCOUVER, BC
 RESIDENTIAL BLDG.
 WEST 42ND AVE. & BALACLAVA ST.
 VANCOUVER, B.C.
 DRAWING TITLE
 ELEVATION DETAIL

NAME FILE: 1319-A4.1.dwg
 SCALE: 1/4"=1'-0"
 PLOT DATE: AUG. 2015
 CHECKED: KSH
 PROJECT NO: 1319

DWG. NO.
 A4.1

