



SAFETY NOTICE: This document is the property of the City of Vancouver. It is to be used for the purpose of the development permit application only. It is not to be used for any other purpose. It is to be kept in a safe place and not to be loaned, sold, or otherwise disposed of without the written consent of the City of Vancouver. If you are not the owner of this document, please return it to the City of Vancouver, 1100 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

DAVIE SAFEWAY

1641 DAVIE STREET

Issued for Development Permit Application

December 23, 2015

OWNER: WESTERN REALTY GROUP INC. 1000 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

CONSTRUCTION MANAGER: SMOYER CONSTRUCTION 1000 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

ARCHITECT: HENRIKSEN PARTNERS ARCHITECTS 1000 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

LANDSCAPE: HAVA COLLABORATIVE 1000 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

ELECTRICAL: NEMTZ (SIA) & ASSOCIATES 1000 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

MECHANICAL: INTEGRAL GROUP 1000 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

STRUCTURAL: GUTMAN SIMPSON 1000 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

CODE: LAKO BUILDING CODE CONSULTANTS 1000 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

TRAFFIC: BUNT & ASSOCIATES 1000 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

BUILDING ENVELOPE: RED 1000 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

LEED: INTEGRAL GROUP 1000 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

ACQUISITION: BRL CONSULTANTS 1000 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

GEOTECHNICAL: GEOPACIFIC CONSULTANTS 1000 Burrard Street, Vancouver, BC V6Z 1G6. Tel: 604-681-1000. Fax: 604-681-1001.

COVER: A0.00

[illegible]

TYPICAL TO MEER FLOOR PLATE

SECTION A-A	SECTION B-B	SECTION C-C	SOUTH ELEVATION	SOUTH & EAST ELEVATIONS	NORTH ELEVATION	PARTIAL NORTH ELEVATION	TOWER ELEVATIONS	SURVEY	GROUND FLOOR SURVEY	PARKING AND ROOF SURVEYS
A2.01	A2.02	A2.03	A3.01	A3.02	A3.03	A3.04	A3.05	H-5001-1	H-5001-2	H-5001-3

A0.01

SITE CONTEXT & STREETSCAPES



The site is located at the northwest corner of Davie and Cordova Streets in the Lower Davie area of the West End. A Safeway store currently occupies the majority of the site with three small commercial units along Davie Street at grade and a BC Liquor Store at the west end of the property. A driveway provides access to off-street parking from both the lane and from Davie Street.

The character of the section of Davie is split into two distinct areas separated by Cordova Street. To the west, Davie Street is lined with low-rise commercial buildings, punctuated by several residential towers rising above the south side of the street. For several blocks to the east, Davie Street consists primarily of nondescript apartment buildings set back from the street and separated from the activity and noise by landscaped front yards.

Pender Plaza and Pender Place, two 19-story residential towers with a common outdoor space and pool in between, are located directly across the lane to the north. Further north is Lord Roberts Elementary School and its outdoor play areas, covering the entire block between Pender and Cordova Streets.

Cordova is a wide, tree-lined residential street. As a designated bikeway, it provides a north-south cycling connection extending the full width of the Downtown peninsula.

The back lane is paved and over 10 m wide, as is common in the West End. The lane provides residential permit parking, access to the parking garage for the residential towers to the north and loading for the commercial businesses along Davie Street.



SAFEMORE
SAFETY • SECURITY • SUSTAINABILITY



DAVIE STREET LOOKING NORTH



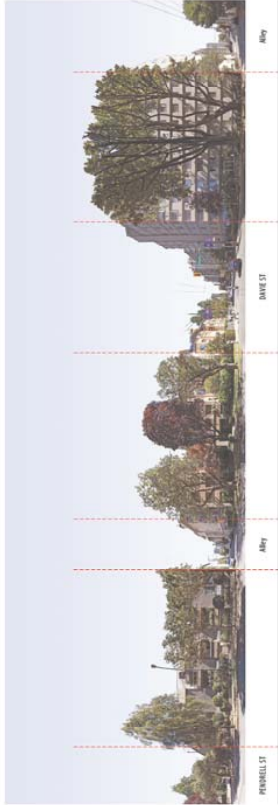
LANE LOOKING NORTH



DAVIE STREET LOOKING SOUTH



LANE LOOKING SOUTH



CARDERO STREET LOOKING EAST



CARDERO STREET LOOKING WEST

DAVIE SAFEWAY
SAFETY • SECURITY • SUSTAINABILITY

POLICY CONTEXT

ZONING & DEVELOPMENT BY-LAW

Zoning District C-5A

The intent of the C-5 zoning is to provide retail and services uses and forms of development that are compatible with the surrounding residential area. The C-5 district also promotes external building design, scale and function oriented towards pedestrians. The C-5A district distinguishes itself by encouraging opportunities for social housing and secured market rental housing through the provision of density bonuses.

Uses

The proposed office, retail, service and dwelling uses are permitted under the C-5A zoning.

Height

The C-5A district permits heights up to 18.3 m with a discretionary increase in height up to 24 m in the C-5A district. Relaxations of the limitations on building height are possible per section 10.11 of the Zoning and Development By-Law for municipal applications, provided they do not exceed one-third the width of the building measured on any elevation nor more than 10% of the roof area. The C-5A district distinguishes itself by encouraging opportunities for social housing and secured market rental housing through the provision of density bonuses.

Density

The permitted FSR is 2.20 with a possible relaxation of up to 2.00 for dwelling units in conjunction with other uses provided either a minimum of 20% of the total FSR area is used for social housing or all of the dwelling units are secured market rental housing. The FSR of the proposed development is 6.43 and all dwelling units are proposed to be secured market rental housing.

Frontage

The C-5A district permits a maximum frontage of 7.7 m for each individual occupancy located on a lot having an elevation within 2.0 m of the street grade. The Director of Planning or the Development Permit Board may relax the maximum frontage regulation in section 4.2.1 in the case of an existing property line, including other retail and services on the same site, provided that the site is not occupied by a green space, and that windows at the street level, within 2.0 m of the street grade, are clear-glazed and unobstructed so that the interior of the premises are at all times visible from the sidewalk. The retail frontage of our proposal exceeds the maximum 7.7 m but meets the requirements for the relaxation of the frontage as set forth in section 4.2.2.



WEST END - ZONING MAP

VIEW PROTECTION GUIDELINES

The City of Vancouver established a series of view corridors to protect iconic public views and preserve its connection to nature. The site falls within View Corridor 10 and 20. The View Corridor 10 is the most restrictive, with the bottom edge of the view cone passing over the street level at a specific elevation of 84.89 m, with the west tower at 85.06 m. Given that the highest point of the proposed development is the top of the east tower mechanical enclosure at 82.99 m, the View Corridor will not be obstructed.

WEST END COMMUNITY PLAN



LOWER DAVIE - AREA 5A + B

The West End Community Plan was adopted towards the end of 2015, with the intention of providing a clear but flexible framework to guide positive change, development and public benefits in the West End.

The project site is located in within Area 5A of the Lower Davie Corridor Area 5A, which is along Davie Street, from Carden to Denman Streets, and is a mixed-use area consisting of low-, mid- and high-rise buildings. This area is considered to be the gateway to English Bay from Davie Street.

The proposed development addresses the policies set out by the West End Community Plan for this area as follows:

Support mixed-use development

The proposed development is mixed-use with a continuous active commercial heritage along Davie Street, interrupted only by one of the residential active lobbies and the parking areas. The proposal supports the West End Community Plan objectives for providing mixed-use development and commercial uses down the hillside to complete the "West Loopy" and to better connect Davie Village with Denman Village and English Bay.

Retail housing

The proposed development supports the housing goals of the West End Community Plan by adding to the supply of purpose-built rental housing, targeted as part of the City's Housing Continuum. 100% of the proposed residential units will be secured market rental housing.



The proposed development will also support the City's housing goals by offering a wide range of unit types and sizes to accommodate a diversity of residents. 33% of the dwelling units are two bedrooms or larger, suitable for families per the High Density Housing for Families with Children Guidelines.

104 Family Units
33% of Units

Public realm

The proposed development provides a number of improvements to the public realm to enhance the existing commercial street. The streetscape along Davie Street is enhanced with landscaping, street lighting, and seating. The development also provides a number of improvements to the public realm, including a new public plaza, a new public art installation, and a new public space. The development also provides a number of improvements to the public realm, including a new public plaza, a new public art installation, and a new public space.

Cycling facilities

The proposed development is enhanced with the proposed landscaping improvements at the site. The development also provides a number of improvements to the public realm, including a new public plaza, a new public art installation, and a new public space. The development also provides a number of improvements to the public realm, including a new public plaza, a new public art installation, and a new public space. The development also provides a number of improvements to the public realm, including a new public plaza, a new public art installation, and a new public space.

PROGRAM

HIGH-DENSITY HOUSING FOR FAMILIES WITH CHILDREN GUIDELINES

The intent of the High-Density Housing for Families with Children Guidelines is to address key issues related to the site, building and unit design which relate to residential livability for families with children. The objective of the guideline is to foster healthy environments for families with children that provide access to essential community services and recreational amenities.

The proposed development addresses the guidelines set out by the High-Density Housing for Families with Children as follows:

Site

The project site is ideally suited for families, with a wealth of amenities in close walking proximity, including Lord Roberts Elementary school and outdoor play area, daycare services and the YMCA kids club after school care. The West End Community Plan on Denman Street is within 500 m of the site. The site is also within walking distance of the site, including a new public plaza, a new public art installation, and a new public space. The development also provides a number of improvements to the public realm, including a new public plaza, a new public art installation, and a new public space.

Family units

The proposed development supports the City's housing goals by offering a wide range of unit types and sizes to accommodate a diversity of residents with 33% of the dwelling units two bedrooms or larger and suitable for families.

The majority of the family units have been located either in close proximity or directly overlooking common outdoor play areas. Many family units are located at amenity Levels 3 and 4, as well as terrace levels that provide large outdoor roof deck areas overlooking the level 4 play area. At the typical residential tower floors, 80% of family units face the interior of the site and overlook the level 4 play area. On each floor the family units have been clustered in close proximity to each other to encourage neighborhood and social contact, as well as to reduce complaints about children's activities and noise.

Outdoor play areas

The importance of outdoor play areas for children of all ages has been carefully considered and addressed as part of the proposed development. A purpose-built children's play area is proposed for the roof deck of Level 4 in close proximity and visual connection to the majority of the family units. Opportunities for informal play are also present at number of areas, including the level 3 amenity courtyard, the level 4 terrace level, and the level 4 play area. The development also provides a number of improvements to the public realm, including a new public plaza, a new public art installation, and a new public space. The development also provides a number of improvements to the public realm, including a new public plaza, a new public art installation, and a new public space.

The outdoor play areas provided on site will be supplemented for the large field and playground at Lord Roberts Elementary school, located directly one block north of the project and within easy walking distance. Directly southwest and within 300 m of the site, families can also reach English Bay Beach and the seawall which provides a wealth of outdoor play opportunities for families with children of all ages.

Indoor Amenity Space

Indoor amenity space suitable for families has been provided at Level 3, including a large indoor amenity room suitable for gatherings and hosting birthday parties, with direct connection to the main outdoor amenity area. A central gym with direct connection to an amenity roof deck and children's play area above provides facilities such as washrooms, which will support both spaces. A separate library with increased study rooms at Level 3 will provide a quiet retreat for school-aged children to study and do homework.



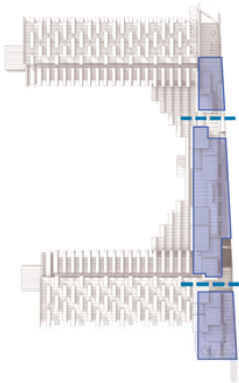
WEST END - PUBLIC BENEFITS MAP

- 1 Licensed Childcare Facility
- 2 Lord Roberts Elementary School
- 3 Alexander Park
- 4 English Bay Beach Park
- 5 Morton Park

DESIGN RATIONALE

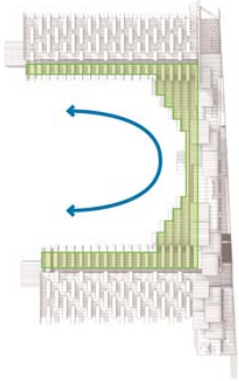
BUILDING FORM

The building form developed in response to the contextual and programmatic forces, with light, views, livability, access and scale helping to shape this design. The resulting massing is made up of three major components, each distinct but equally weighted and integrated into a unified expression.



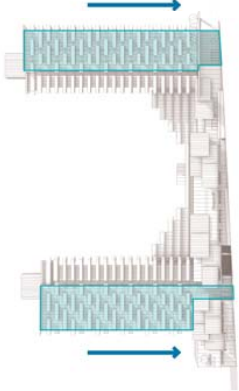
PODIUM & STREETWALL

The horizontal volume of the podium provides a strong foundation for the development and establishes the minimal along Davie Street. The elevation is split into three primary massing elements to moderate the scale of the building.



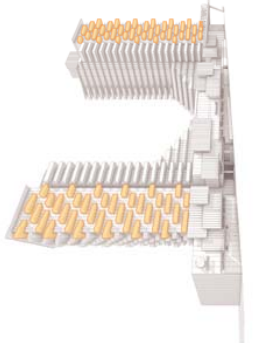
TERRACES & TOWER INTEGRATION

The terraced gardens create a gentle transition between the podium and the towers, carving out a nest for south-facing amenity spaces with ample access to sunlight.



TOWERS

The towers extend down to grade through the gaps in the streetwall, anchoring their mass. The height of the towers follows the slope of the hillside down towards Dorman Street.

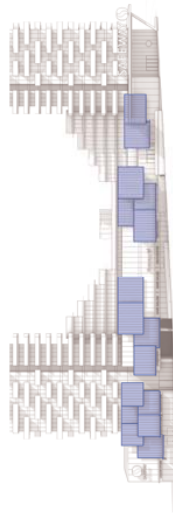


EXPRESSION

The formal expression of the towers is carried through the gently angled slopes of the balconies, the extension of the parapets and the fitted pattern applied to the glass, echoing the layered extension of the fitted panels at the podium and creating a cohesive identity for the project as a whole.

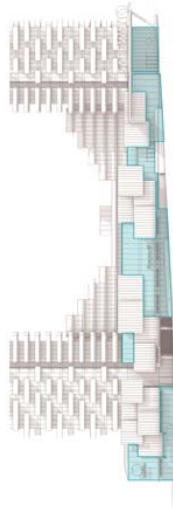
STREETWALL

The podium streetwall is the public face of the building. Its resolution is a balance between the high-quality, high-rise context and the low-rise, low-density context of the grocery store and the need for pedestrian-friendly access at grade.



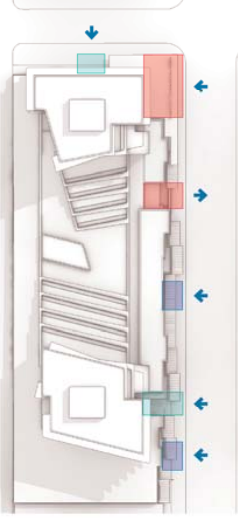
FRITTED GLASS PANELS

The elements of the streetwall are resolved as glass boxes with an array of fritted panels floating off their surface. Inspired by the ubiquitous Vancouver clouds and the high-rise canopies of the West End, the panels trace across the elevation, providing the unifying canopy for the podium and allowing for the strategic programming of functional spaces behind. The resulting luminosity and shifts in plane create a dynamic, animated facade, with vertical breaze fins further emphasizing the movement and adding a fine scale, texture and warmth.



TRANSPARENCY

Like a dispense of blue sky through clouds are dropped sun radiating through leaves, exposures of glass average from in-between and around the panels, providing opportunities to introduce light and views in to the interior of the building and animate the streetscape.



ACCESS

Access points for the building are repeated into the gaps in the streetwall. The resulting network weaves the open space at grade and provides opportunities for amenity landscape features to add visual interest and enhance the pedestrian experience. The entry to the grocery store is at the corner of Davie and Cordova Streets, the intersection marked with a dramatic double-height canopy sheltering an expansive open space.



DESIGN RATIONALE

WEST END CHARACTER

Located on the Davie Street corridor, the site is removed from the residential buildings that embody the traditional character of the West End. Even so, the project responds to the greater context by incorporating common architectural elements such as iconic tower forms, concrete construction, prominent entrance lobbies, and landscaped setbacks leading to prominent entrances, interpreted through a contemporary, modern lens.

SCULPTURAL BALCONIES



Proposed Development



West End Precedents

PROMINENT ENTRANCE LOBBIES



Proposed Development



West End Precedents

CONCRETE SLAB EDGES



Proposed Development



West End Precedents

MATERIALS

The project employs rich and durable material palette to create visual interest and add textural depth. The high quality materials are used in a way that is consistent with the surrounding context, with brick, stone and concrete, with landscaping and lighting playing integral roles in the formal expression in particular at the street level.



LANDSCAPED SETBACKS

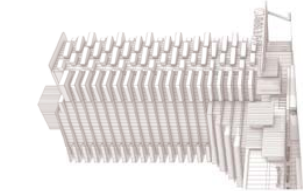


Proposed Development



West End Precedents

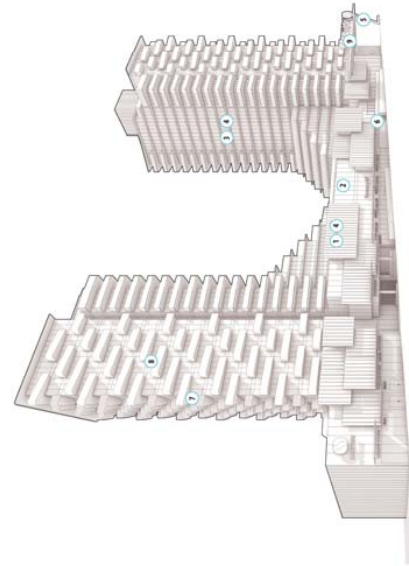
ICONIC TOWER FORM



Proposed Development



West End Precedents



VIEW FROM DAVIE STREET LOOKING NORTHEAST

SHADOW ANALYSIS

The shapes of the boxes are carefully sculpted to minimize any shadowing on the surrounding public open spaces to the north. At the Summer Solstice, the proposed development casts no shadow on the surrounding public open spaces to the north. At the Vernal Equinox, the proposed development casts a shadow on the surrounding public open spaces to the north. At the Summer Solstice, the proposed development casts a shadow on the surrounding public open spaces to the north. At the Vernal Equinox, the proposed development casts a shadow on the surrounding public open spaces to the north.

VERNAL EQUINOX – MARCH 21



10:00 AM

12:00 PM

2:00 PM

4:00 PM

SUMMER SOLSTICE – JUNE 21



10:00 AM

12:00 PM

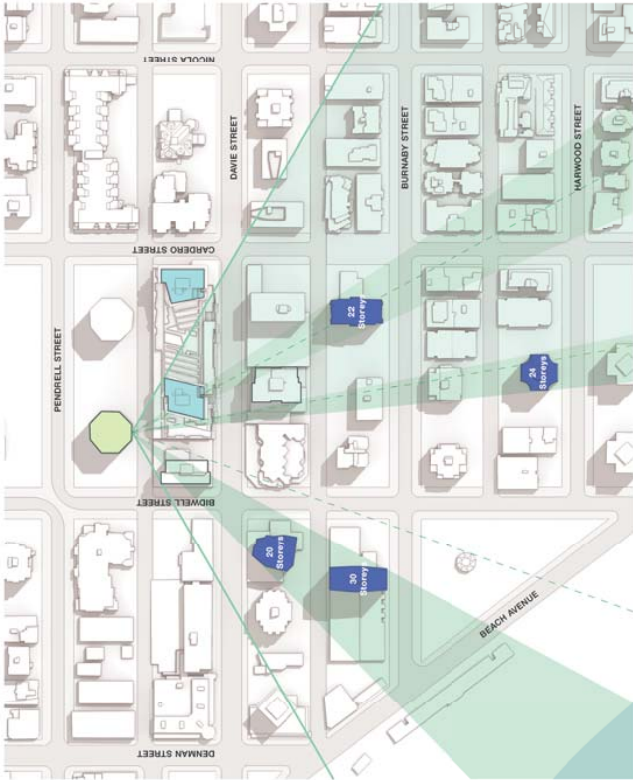
2:00 PM

4:00 PM

- Existing Shadows
- Proposed Incremental Ground Plane Shadows
- Future Development Shadows
- Existing Parks & Public Open Space
- Lord Roberts Elementary School

VIEW ANALYSIS

The towers are sited from the two residential buildings to the north, with their forms designed to minimize any impact on the private views and oriented to present their narrowest faces. Due to this orientation, the towers will not be visible from the streets to the south and east. The towers will present the existing views to the south and eastward, towards the open waters of English Bay and Burnart Inlet beyond, remain largely unobstructed.



VIEW IMPACT STUDY 1

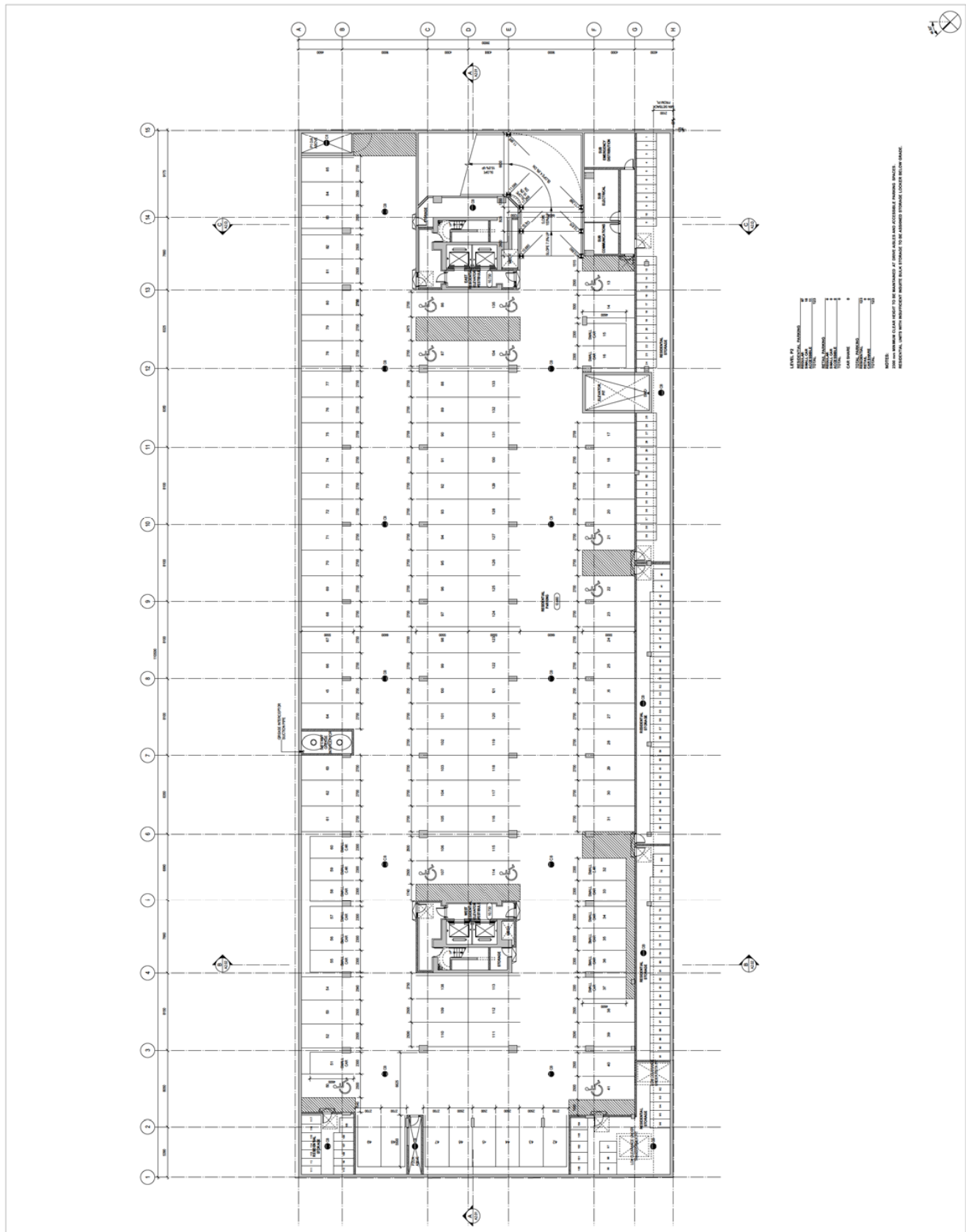
PENDRELL PLAZA, 1666 PENDRELL STREET
View Shed: 100°
View Height: 19th Storey (top floor)
Incremental View Impact: 38.0°

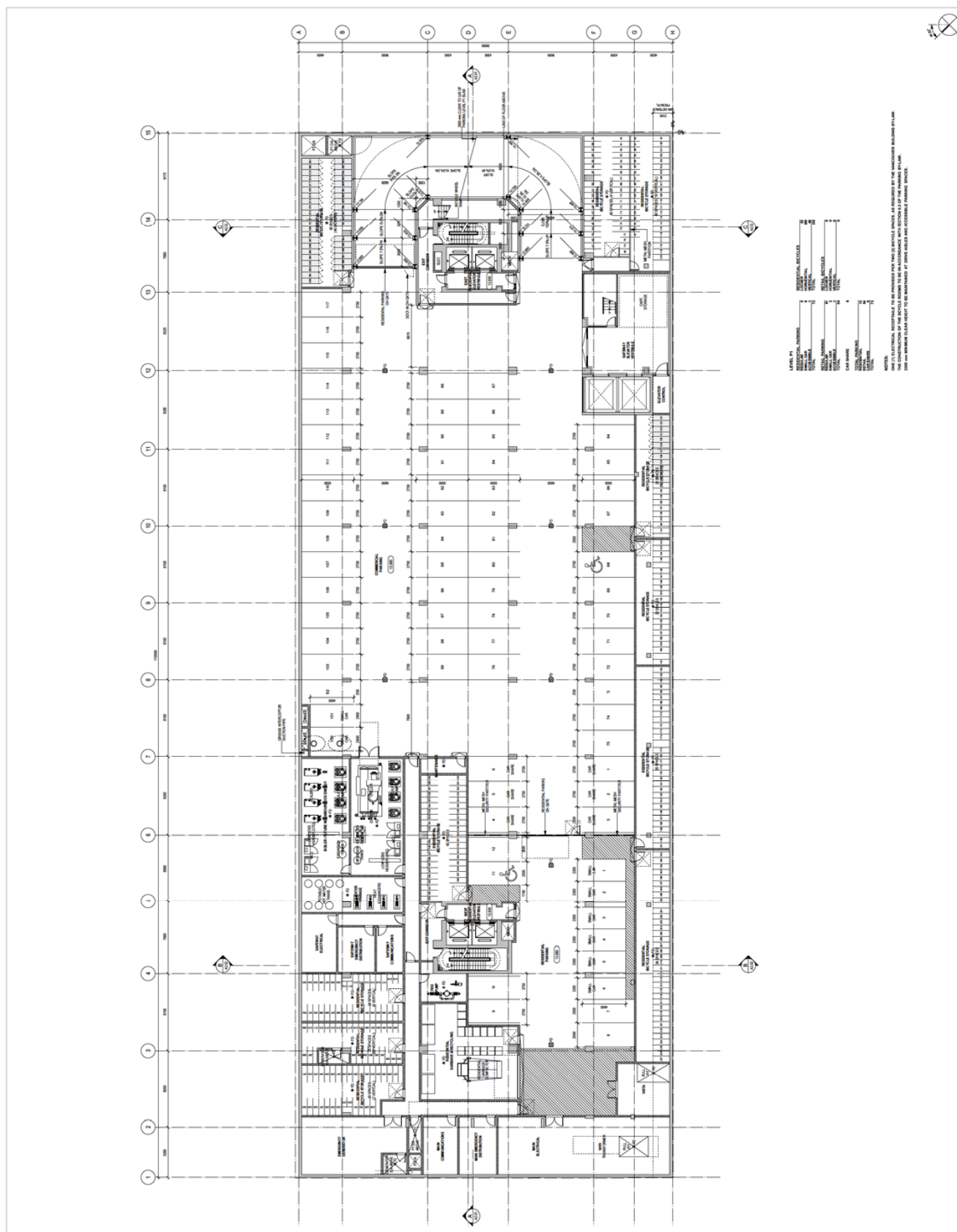
- Affected Building
- Proposed Building
- Incremental View Blockage
- Existing View Blockage
- 100° View Shed
- Future Development View Blockage

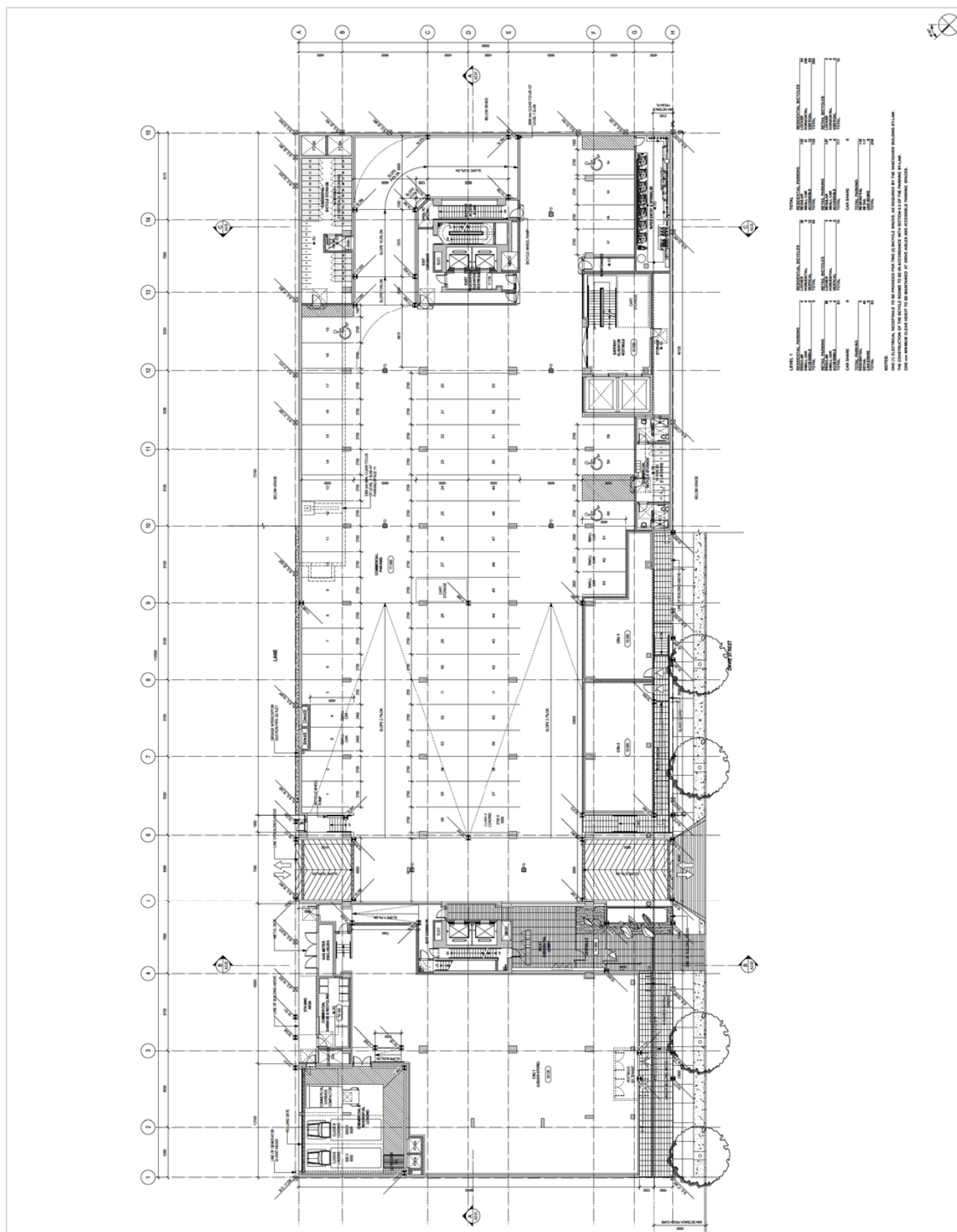


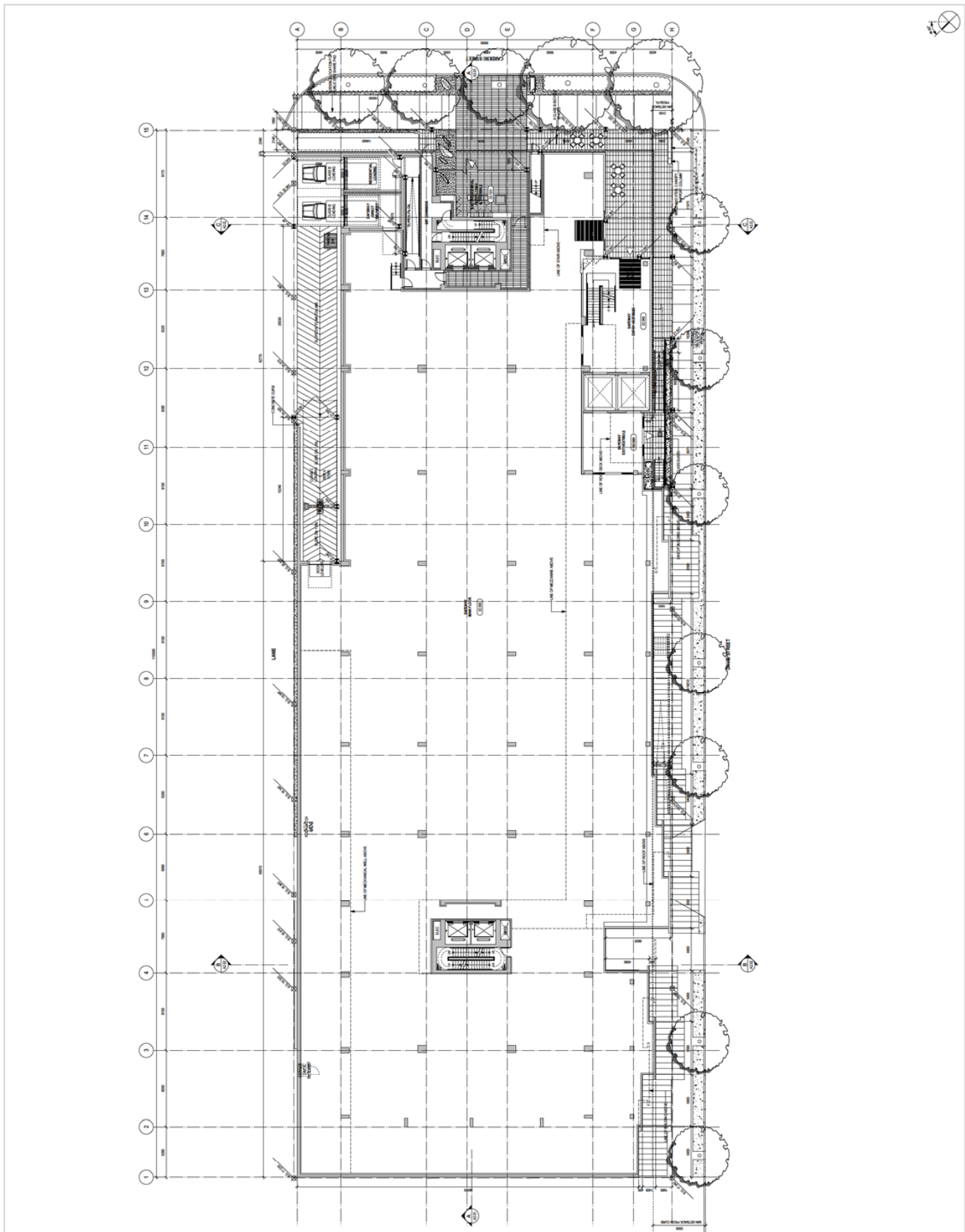
VIEW IMPACT STUDY 2

PENDRELL PLAZA, 1666 PENDRELL STREET
View Shed: 100°
View Height: 19th Storey (top floor)
Incremental View Impact: 43.3°











SAFEWAY
Canada's Safeway Limited

SAFEWAY is a registered trademark of Safeway Inc. All other trademarks are the property of their respective owners. This document is the property of Safeway Inc. and is not to be reproduced without written permission. The information contained herein is for informational purposes only and does not constitute an offer or recommendation of any financial product or service. Please consult your financial advisor for more information.

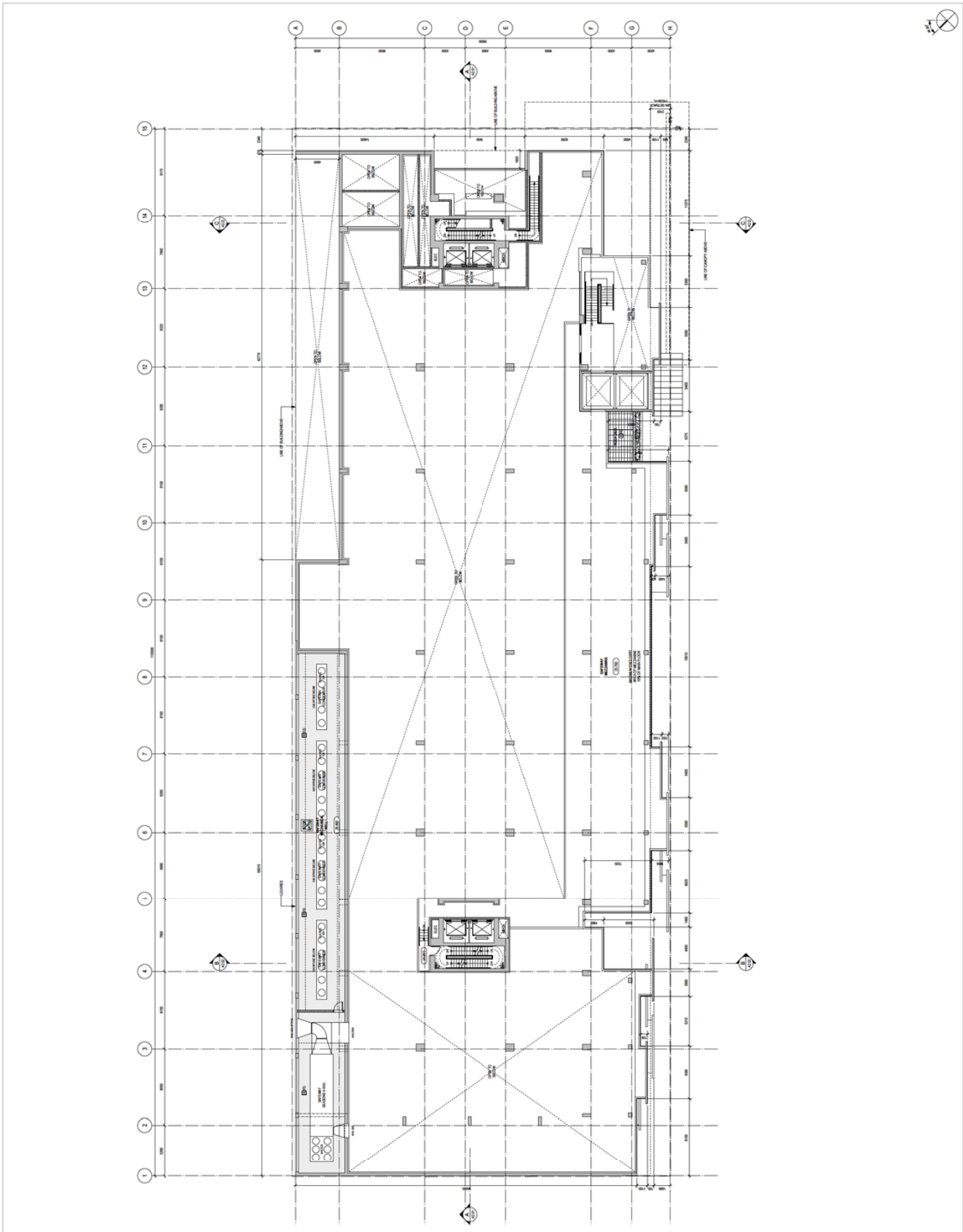
DAVE SAFEWAY
DAVE SAFEWAY

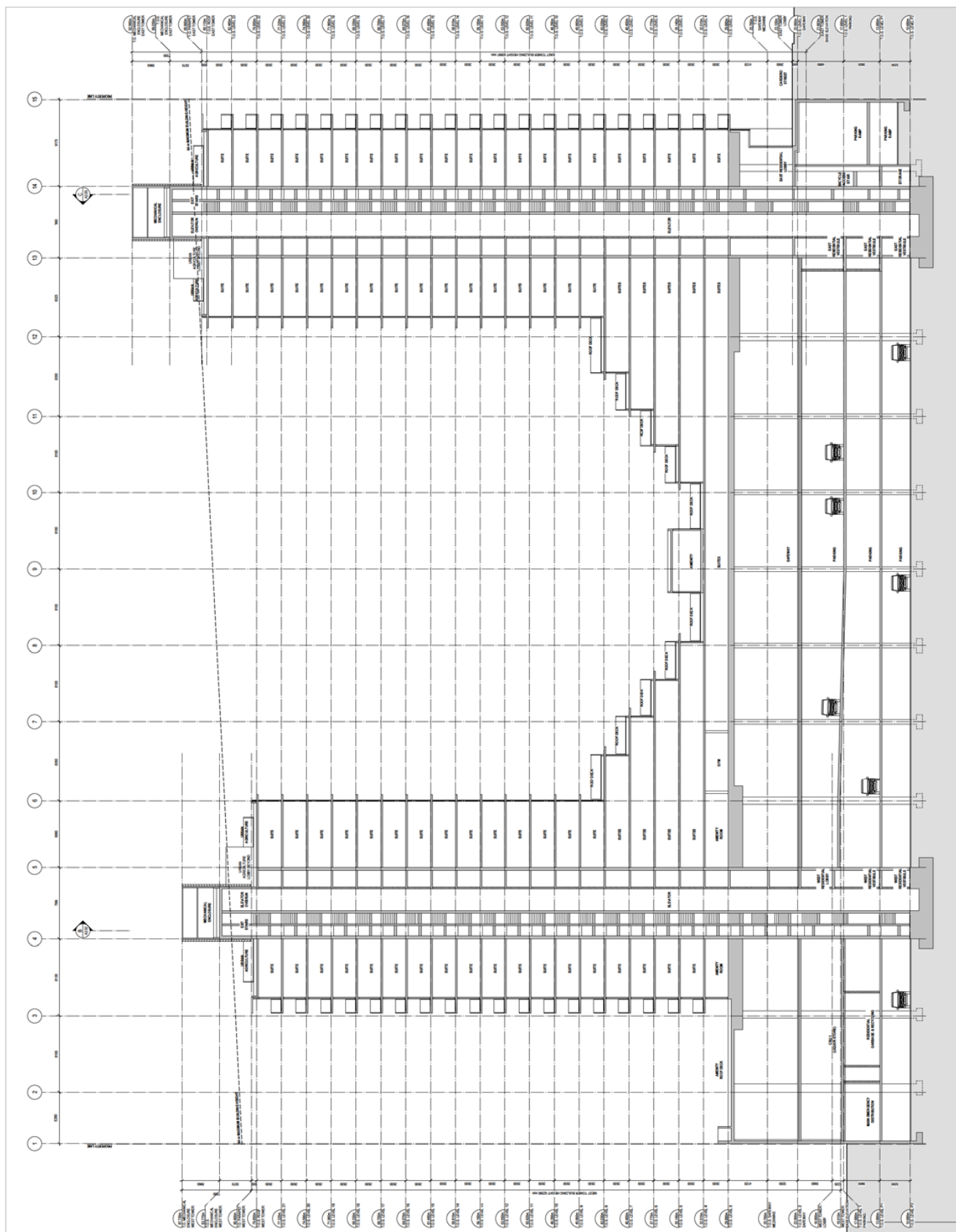
DAVE SAFEWAY is a registered trademark of Dave Safeway Inc. All other trademarks are the property of their respective owners. This document is the property of Dave Safeway Inc. and is not to be reproduced without written permission. The information contained herein is for informational purposes only and does not constitute an offer or recommendation of any financial product or service. Please consult your financial advisor for more information.

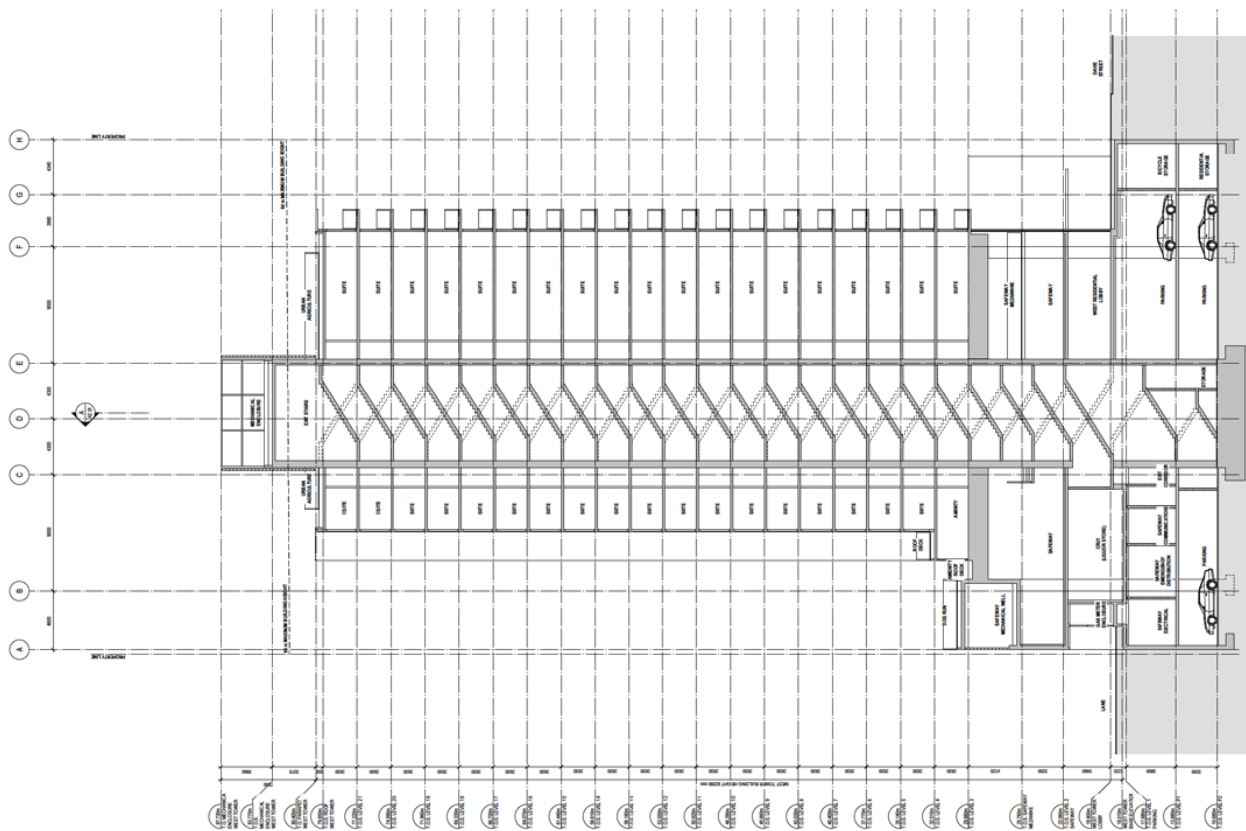
**LEVEL 2
MEZZANINE
FLOOR PLAN**

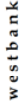
DATE: 08/23/2019
DRAWN: [Name]
CHECKED: [Name]
SCALE: 1/8" = 1'-0"

A1.05





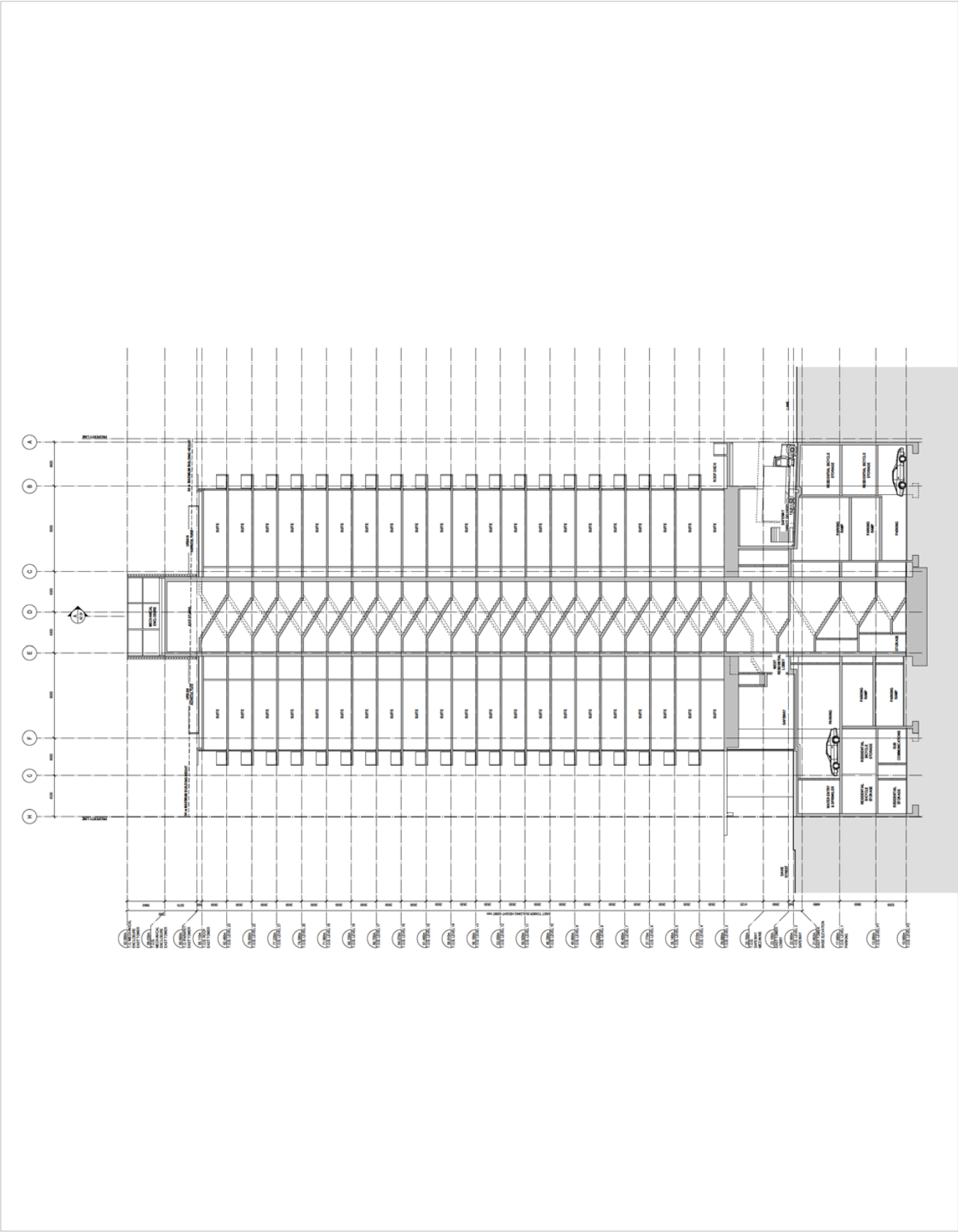


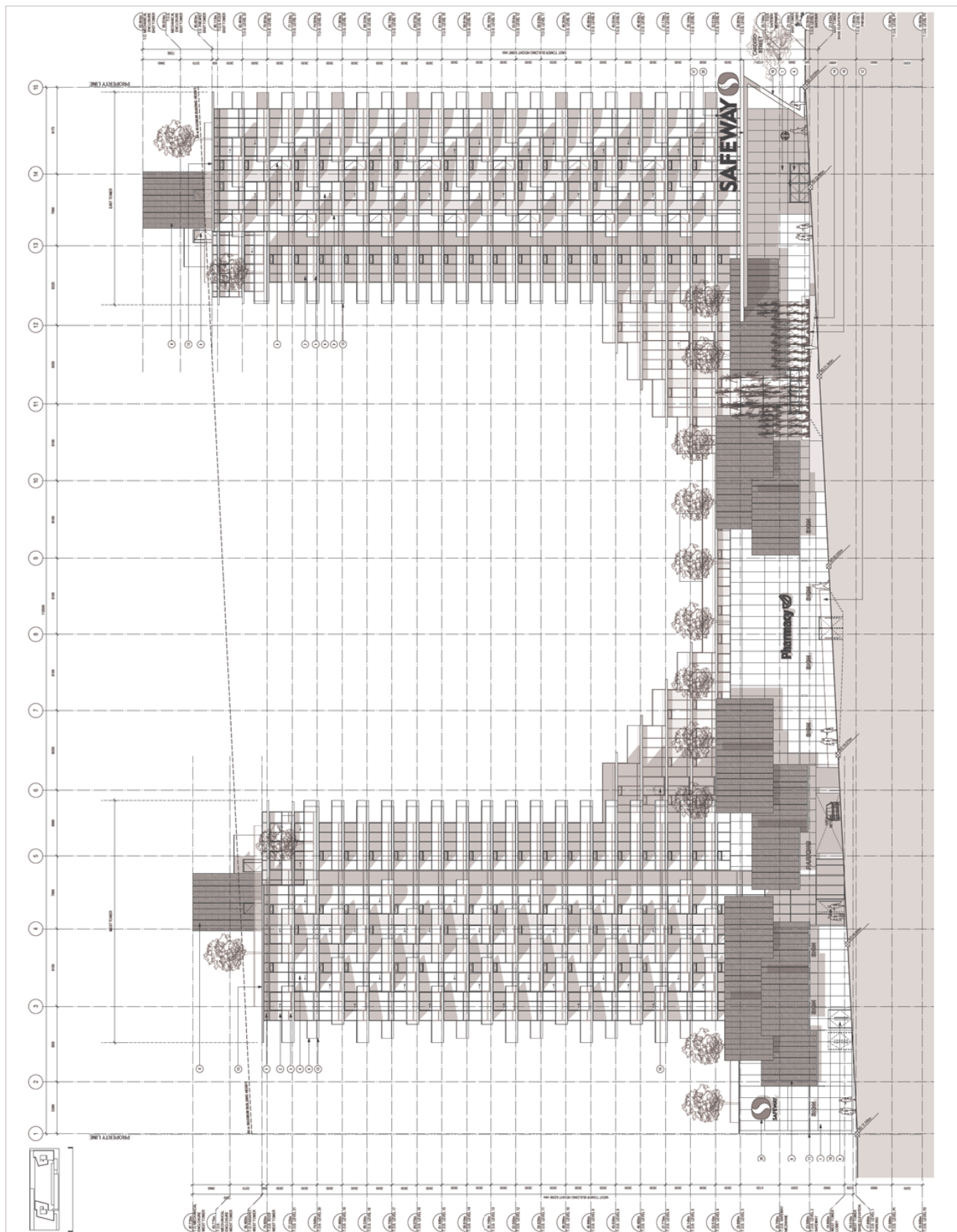


SAFEWAY
Credit & Savings

1661 DAVIE STREET
SAFEWAY EAST TOWER
SECTION C-C
EAST TOWER
DATE: 08/23/2018
SCALE: 1/8" = 1'-0"
DRAWN: [signature]
CHECKED: [signature]

SECTION C-C
EAST TOWER
DATE: 08/23/2018
SCALE: 1/8" = 1'-0"
DRAWN: [signature]
CHECKED: [signature]





Project Name: "Transformation of 1661 Davie Street"
Project Number: "DE419982 - C-5A"
Project Location: "1661 Davie Street, Vancouver, BC V6Z 2Y4"
Project Description: "The project consists of the conversion of an existing three-story commercial building into a four-story residential building. The building will be divided into two units, each with two bedrooms and two bathrooms. The project also includes the installation of a new fire alarm system and the replacement of the existing roof."
Project Owner: "SAFEWAY Canada's Safeway Limited"
Project Architect: "Hortega Partners Architects"
Project Engineer: "Hortega Partners Architects"
Project Date: "October 2018"

LEGEND

1. CURB SLIDING WALL
2. CURB SLIDING WALL
3. CURB SLIDING WALL
4. CURB SLIDING WALL
5. CURB SLIDING WALL
6. CURB SLIDING WALL
7. CURB SLIDING WALL
8. CURB SLIDING WALL
9. CURB SLIDING WALL
10. CURB SLIDING WALL
11. CURB SLIDING WALL
12. CURB SLIDING WALL
13. CURB SLIDING WALL
14. CURB SLIDING WALL
15. CURB SLIDING WALL
16. CURB SLIDING WALL
17. CURB SLIDING WALL
18. CURB SLIDING WALL
19. CURB SLIDING WALL
20. CURB SLIDING WALL
21. CURB SLIDING WALL
22. CURB SLIDING WALL
23. CURB SLIDING WALL
24. CURB SLIDING WALL
25. CURB SLIDING WALL
26. CURB SLIDING WALL
27. CURB SLIDING WALL
28. CURB SLIDING WALL
29. CURB SLIDING WALL
30. CURB SLIDING WALL
31. CURB SLIDING WALL
32. CURB SLIDING WALL
33. CURB SLIDING WALL
34. CURB SLIDING WALL
35. CURB SLIDING WALL
36. CURB SLIDING WALL
37. CURB SLIDING WALL
38. CURB SLIDING WALL
39. CURB SLIDING WALL
40. CURB SLIDING WALL
41. CURB SLIDING WALL
42. CURB SLIDING WALL
43. CURB SLIDING WALL
44. CURB SLIDING WALL
45. CURB SLIDING WALL
46. CURB SLIDING WALL
47. CURB SLIDING WALL
48. CURB SLIDING WALL
49. CURB SLIDING WALL
50. CURB SLIDING WALL
51. CURB SLIDING WALL
52. CURB SLIDING WALL
53. CURB SLIDING WALL
54. CURB SLIDING WALL
55. CURB SLIDING WALL
56. CURB SLIDING WALL
57. CURB SLIDING WALL
58. CURB SLIDING WALL
59. CURB SLIDING WALL
60. CURB SLIDING WALL
61. CURB SLIDING WALL
62. CURB SLIDING WALL
63. CURB SLIDING WALL
64. CURB SLIDING WALL
65. CURB SLIDING WALL
66. CURB SLIDING WALL
67. CURB SLIDING WALL
68. CURB SLIDING WALL
69. CURB SLIDING WALL
70. CURB SLIDING WALL
71. CURB SLIDING WALL
72. CURB SLIDING WALL
73. CURB SLIDING WALL
74. CURB SLIDING WALL
75. CURB SLIDING WALL
76. CURB SLIDING WALL
77. CURB SLIDING WALL
78. CURB SLIDING WALL
79. CURB SLIDING WALL
80. CURB SLIDING WALL
81. CURB SLIDING WALL
82. CURB SLIDING WALL
83. CURB SLIDING WALL
84. CURB SLIDING WALL
85. CURB SLIDING WALL
86. CURB SLIDING WALL
87. CURB SLIDING WALL
88. CURB SLIDING WALL
89. CURB SLIDING WALL
90. CURB SLIDING WALL
91. CURB SLIDING WALL
92. CURB SLIDING WALL
93. CURB SLIDING WALL
94. CURB SLIDING WALL
95. CURB SLIDING WALL
96. CURB SLIDING WALL
97. CURB SLIDING WALL
98. CURB SLIDING WALL
99. CURB SLIDING WALL
100. CURB SLIDING WALL

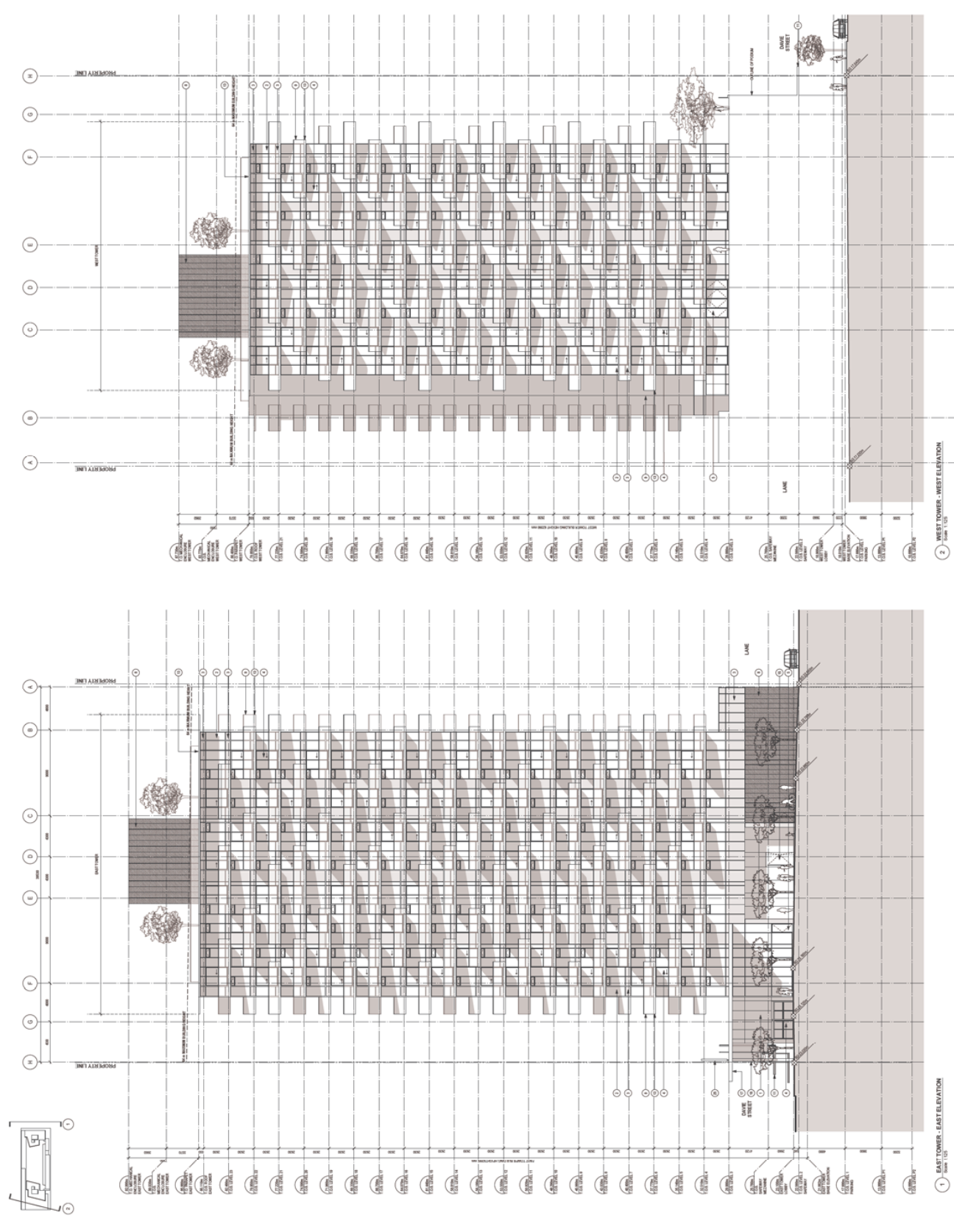
1. CURB SLIDING WALL
2. CURB SLIDING WALL
3. CURB SLIDING WALL
4. CURB SLIDING WALL
5. CURB SLIDING WALL
6. CURB SLIDING WALL
7. CURB SLIDING WALL
8. CURB SLIDING WALL
9. CURB SLIDING WALL
10. CURB SLIDING WALL
11. CURB SLIDING WALL
12. CURB SLIDING WALL
13. CURB SLIDING WALL
14. CURB SLIDING WALL
15. CURB SLIDING WALL
16. CURB SLIDING WALL
17. CURB SLIDING WALL
18. CURB SLIDING WALL
19. CURB SLIDING WALL
20. CURB SLIDING WALL
21. CURB SLIDING WALL
22. CURB SLIDING WALL
23. CURB SLIDING WALL
24. CURB SLIDING WALL
25. CURB SLIDING WALL
26. CURB SLIDING WALL
27. CURB SLIDING WALL
28. CURB SLIDING WALL
29. CURB SLIDING WALL
30. CURB SLIDING WALL
31. CURB SLIDING WALL
32. CURB SLIDING WALL
33. CURB SLIDING WALL
34. CURB SLIDING WALL
35. CURB SLIDING WALL
36. CURB SLIDING WALL
37. CURB SLIDING WALL
38. CURB SLIDING WALL
39. CURB SLIDING WALL
40. CURB SLIDING WALL
41. CURB SLIDING WALL
42. CURB SLIDING WALL
43. CURB SLIDING WALL
44. CURB SLIDING WALL
45. CURB SLIDING WALL
46. CURB SLIDING WALL
47. CURB SLIDING WALL
48. CURB SLIDING WALL
49. CURB SLIDING WALL
50. CURB SLIDING WALL
51. CURB SLIDING WALL
52. CURB SLIDING WALL
53. CURB SLIDING WALL
54. CURB SLIDING WALL
55. CURB SLIDING WALL
56. CURB SLIDING WALL
57. CURB SLIDING WALL
58. CURB SLIDING WALL
59. CURB SLIDING WALL
60. CURB SLIDING WALL
61. CURB SLIDING WALL
62. CURB SLIDING WALL
63. CURB SLIDING WALL
64. CURB SLIDING WALL
65. CURB SLIDING WALL
66. CURB SLIDING WALL
67. CURB SLIDING WALL
68. CURB SLIDING WALL
69. CURB SLIDING WALL
70. CURB SLIDING WALL
71. CURB SLIDING WALL
72. CURB SLIDING WALL
73. CURB SLIDING WALL
74. CURB SLIDING WALL
75. CURB SLIDING WALL
76. CURB SLIDING WALL
77. CURB SLIDING WALL
78. CURB SLIDING WALL
79. CURB SLIDING WALL
80. CURB SLIDING WALL
81. CURB SLIDING WALL
82. CURB SLIDING WALL
83. CURB SLIDING WALL
84. CURB SLIDING WALL
85. CURB SLIDING WALL
86. CURB SLIDING WALL
87. CURB SLIDING WALL
88. CURB SLIDING WALL
89. CURB SLIDING WALL
90. CURB SLIDING WALL
91. CURB SLIDING WALL
92. CURB SLIDING WALL
93. CURB SLIDING WALL
94. CURB SLIDING WALL
95. CURB SLIDING WALL
96. CURB SLIDING WALL
97. CURB SLIDING WALL
98. CURB SLIDING WALL
99. CURB SLIDING WALL
100. CURB SLIDING WALL

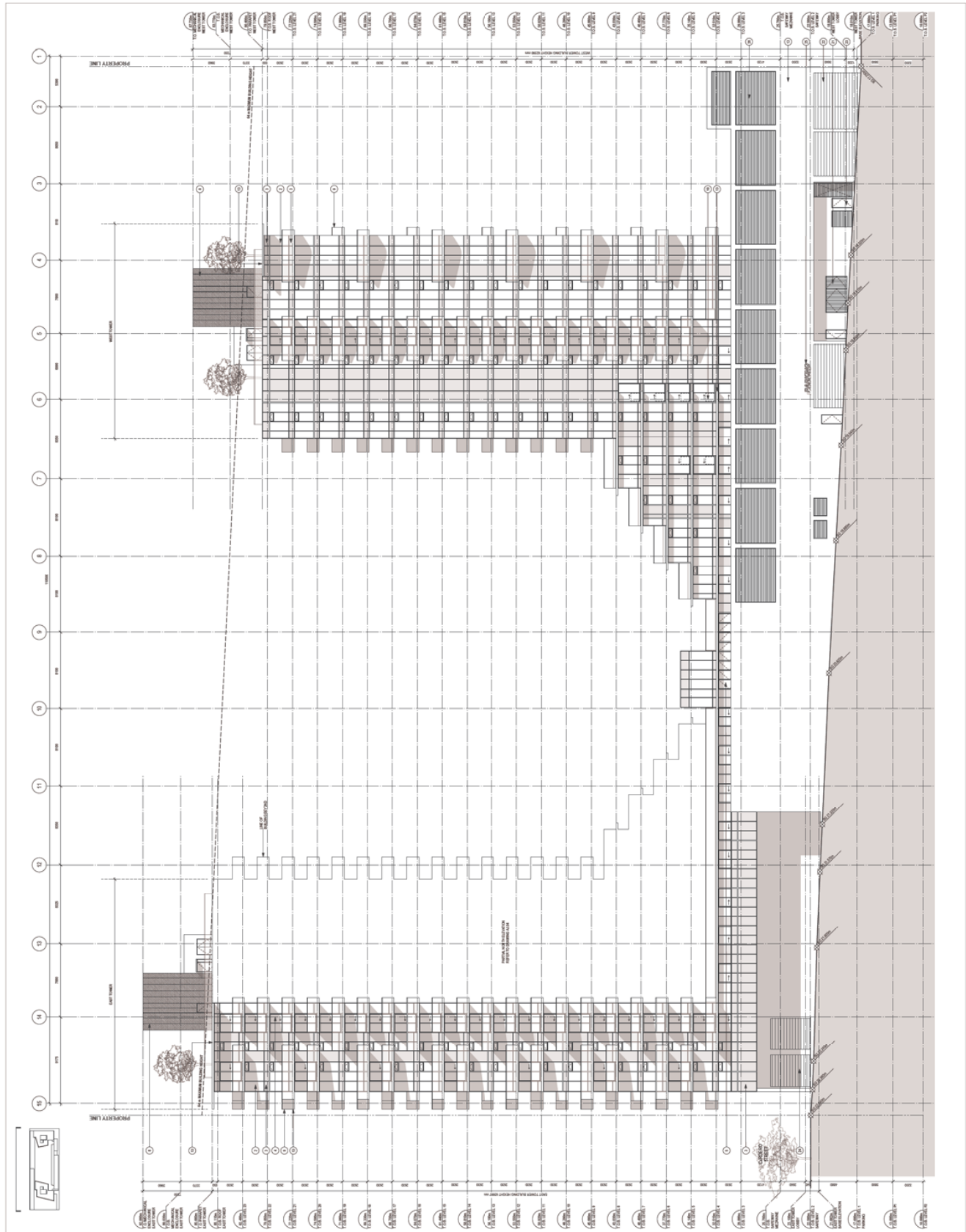
Hortega Partners Architects
1000 - 1000 Street
Vancouver, BC V6Z 2Y4
Tel: 604.681.1111
Fax: 604.681.1112
www.hortega.com

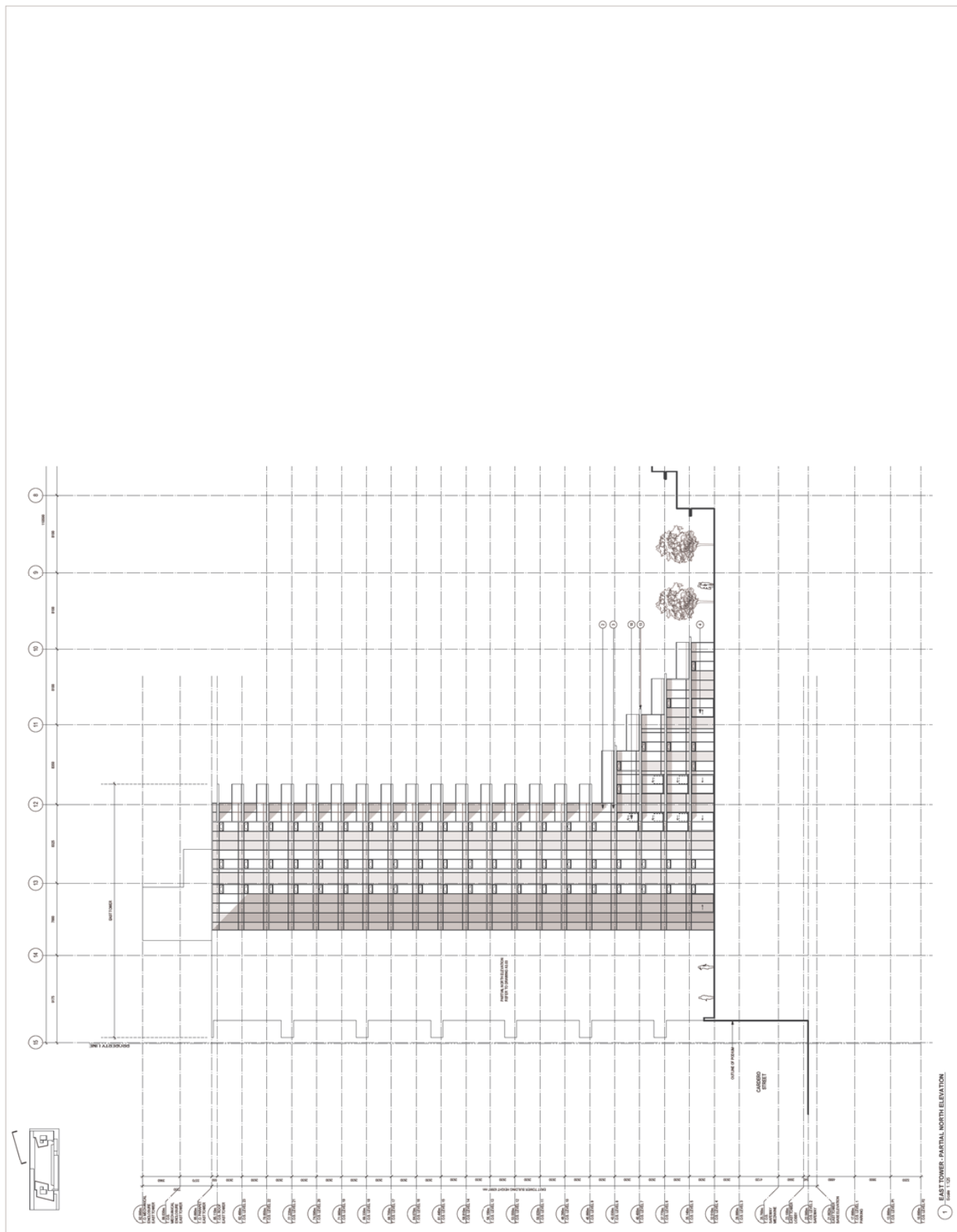
DAVE SAFEWAY
1661 DAVIE STREET
VANCOUVER, BC V6Z 2Y4

EAST & WEST
ELEVATIONS
DATE: DEC 23, 2018
BY: [Signature]
CHECKED: [Signature]
SCALE: 1/8" = 1'-0"

A3.02







Project Name: "Transformation of 1661 Davie Street"
Project Number: 1661 DAVIE STREET
Project Location: 1661 DAVIE STREET, VANCOUVER, BC V6Z 2Y4
Project Description: This project involves the complete renovation and conversion of the existing 1661 Davie Street building into a multi-story residential and commercial building. The building will be converted into a mix of residential units, including townhomes and apartments, and will include ground-floor commercial space. The project also includes the addition of a new entrance and the installation of new windows and doors. The building is located on the corner of Davie Street and West 10th Avenue in the West End neighborhood of Vancouver. The building is a historic structure and is listed on the Vancouver Heritage Register. The project is subject to various regulatory approvals, including a Development Permit, a Building Permit, and a Fire Department permit. The project is also subject to the Vancouver City Charter and the Vancouver City Planning Act. The project is being developed by Westbank and Crombie, and is being financed by SFAWAY. The project is expected to be completed in 2025.

LEGEND

1	CORNER GLASS CORNER WALL
2	CORNER GLASS CORNER WALL
3	GLASS WINDOW WALL PANEL
4	GLASS WINDOW WALL PANEL
5	GLASS WINDOW WALL PANEL
6	GLASS WINDOW WALL PANEL
7	GLASS WINDOW WALL PANEL
8	GLASS WINDOW WALL PANEL
9	GLASS WINDOW WALL PANEL
10	GLASS WINDOW WALL PANEL
11	GLASS WINDOW WALL PANEL
12	GLASS WINDOW WALL PANEL
13	GLASS WINDOW WALL PANEL
14	GLASS WINDOW WALL PANEL
15	GLASS WINDOW WALL PANEL
16	GLASS WINDOW WALL PANEL
17	GLASS WINDOW WALL PANEL
18	GLASS WINDOW WALL PANEL
19	GLASS WINDOW WALL PANEL
20	GLASS WINDOW WALL PANEL
21	GLASS WINDOW WALL PANEL
22	GLASS WINDOW WALL PANEL
23	GLASS WINDOW WALL PANEL
24	GLASS WINDOW WALL PANEL
25	GLASS WINDOW WALL PANEL
26	GLASS WINDOW WALL PANEL
27	GLASS WINDOW WALL PANEL
28	GLASS WINDOW WALL PANEL
29	GLASS WINDOW WALL PANEL
30	GLASS WINDOW WALL PANEL
31	GLASS WINDOW WALL PANEL
32	GLASS WINDOW WALL PANEL
33	GLASS WINDOW WALL PANEL
34	GLASS WINDOW WALL PANEL
35	GLASS WINDOW WALL PANEL
36	GLASS WINDOW WALL PANEL
37	GLASS WINDOW WALL PANEL
38	GLASS WINDOW WALL PANEL
39	GLASS WINDOW WALL PANEL
40	GLASS WINDOW WALL PANEL
41	GLASS WINDOW WALL PANEL
42	GLASS WINDOW WALL PANEL
43	GLASS WINDOW WALL PANEL
44	GLASS WINDOW WALL PANEL
45	GLASS WINDOW WALL PANEL
46	GLASS WINDOW WALL PANEL
47	GLASS WINDOW WALL PANEL
48	GLASS WINDOW WALL PANEL
49	GLASS WINDOW WALL PANEL
50	GLASS WINDOW WALL PANEL
51	GLASS WINDOW WALL PANEL
52	GLASS WINDOW WALL PANEL
53	GLASS WINDOW WALL PANEL
54	GLASS WINDOW WALL PANEL
55	GLASS WINDOW WALL PANEL
56	GLASS WINDOW WALL PANEL
57	GLASS WINDOW WALL PANEL
58	GLASS WINDOW WALL PANEL
59	GLASS WINDOW WALL PANEL
60	GLASS WINDOW WALL PANEL
61	GLASS WINDOW WALL PANEL
62	GLASS WINDOW WALL PANEL
63	GLASS WINDOW WALL PANEL
64	GLASS WINDOW WALL PANEL
65	GLASS WINDOW WALL PANEL
66	GLASS WINDOW WALL PANEL
67	GLASS WINDOW WALL PANEL
68	GLASS WINDOW WALL PANEL
69	GLASS WINDOW WALL PANEL
70	GLASS WINDOW WALL PANEL
71	GLASS WINDOW WALL PANEL
72	GLASS WINDOW WALL PANEL
73	GLASS WINDOW WALL PANEL
74	GLASS WINDOW WALL PANEL
75	GLASS WINDOW WALL PANEL
76	GLASS WINDOW WALL PANEL
77	GLASS WINDOW WALL PANEL
78	GLASS WINDOW WALL PANEL
79	GLASS WINDOW WALL PANEL
80	GLASS WINDOW WALL PANEL
81	GLASS WINDOW WALL PANEL
82	GLASS WINDOW WALL PANEL
83	GLASS WINDOW WALL PANEL
84	GLASS WINDOW WALL PANEL
85	GLASS WINDOW WALL PANEL
86	GLASS WINDOW WALL PANEL
87	GLASS WINDOW WALL PANEL
88	GLASS WINDOW WALL PANEL
89	GLASS WINDOW WALL PANEL
90	GLASS WINDOW WALL PANEL
91	GLASS WINDOW WALL PANEL
92	GLASS WINDOW WALL PANEL
93	GLASS WINDOW WALL PANEL
94	GLASS WINDOW WALL PANEL
95	GLASS WINDOW WALL PANEL
96	GLASS WINDOW WALL PANEL
97	GLASS WINDOW WALL PANEL
98	GLASS WINDOW WALL PANEL
99	GLASS WINDOW WALL PANEL
100	GLASS WINDOW WALL PANEL

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

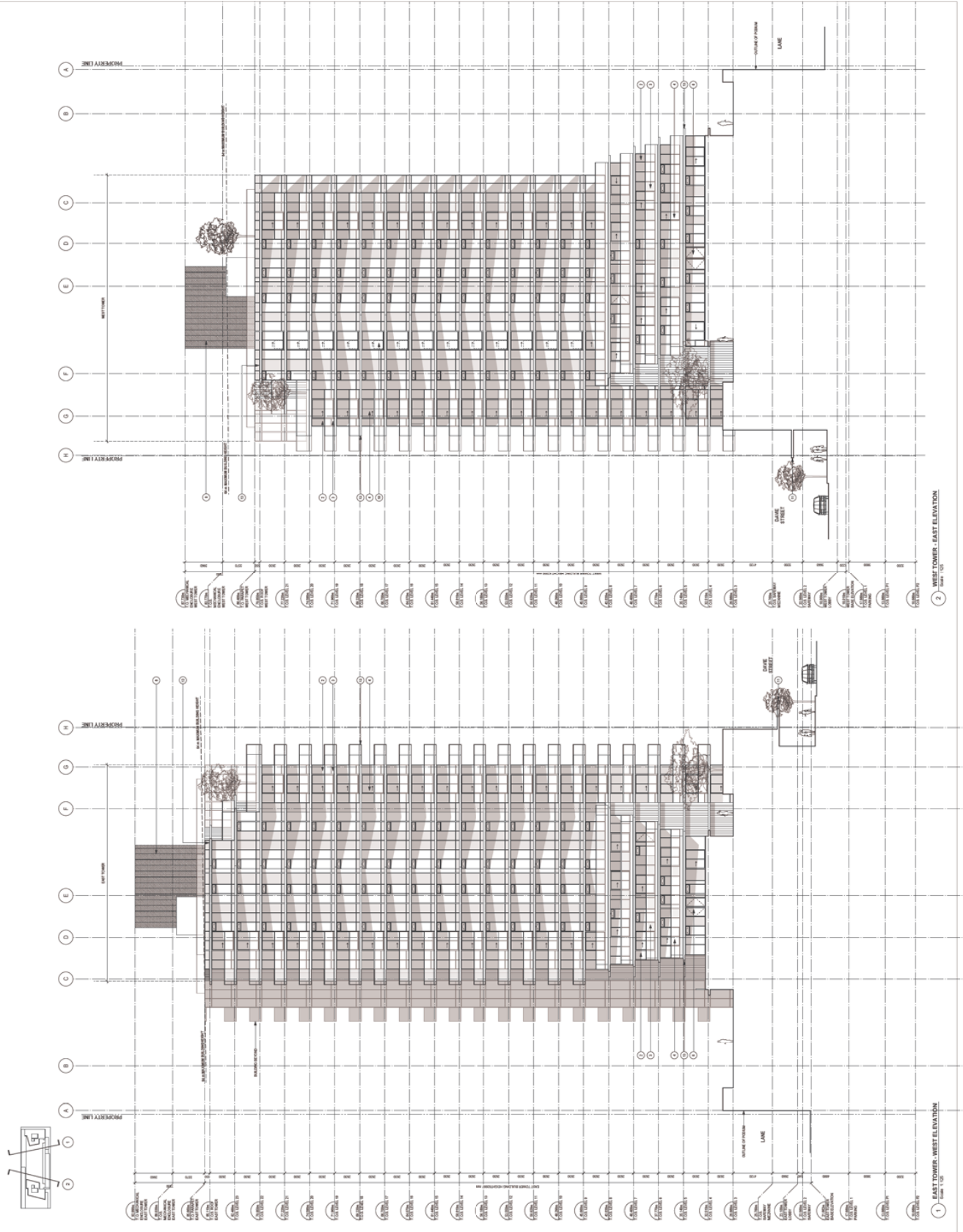
1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A

1661 DAVIE STREET (Complete Application)
DE419982 - C-5A



A3.05