
**CITY OF VANCOUVER
PLANNING & DEVELOPMENT SERVICES**

**DEVELOPMENT PERMIT STAFF COMMITTEE
MEETING**

February 20, 2019

**FOR THE DEVELOPMENT PERMIT BOARD
March 18, 2019**

**3591 W 19th Ave (COMPLETE APPLICATION)
DP-2018-00329 – C-2**

GJ/JS/KR/JF

DEVELOPMENT PERMIT STAFF COMMITTEE MEMBERS

Present:

J. Greer (Chair), Development Services
C. Chant, Engineering Services

Also Present:

G. Jiang, Urban Design & Development Planning
J. Smallwood, Development Services
J. Freeman, Project Facilitation

APPLICANT:

Cat Kuang
Andrew Cheung Architect Inc.
410 – 1639 W. 2nd Ave
Vancouver, BC V6J 1H3

PROPERTY OWNER:

1137556 BC LTD
290-2025 W. 42nd Ave
Vancouver, BC V6M 2B5

EXECUTIVE SUMMARY

● **Proposal:**

To develop on this site with a 5-storey, mixed use building consisting of retail uses on the ground floor and 28 dwelling units from the ground to 5th floor over two levels of underground parking having vehicular access from the lane.

See Appendix A Standard Conditions
 Appendix B Standard Notes and Conditions of Development Permit
 Appendix C Plans and Elevations
 Appendix D Applicant's Design Rationale

● **Issues:**

1. Building height increase
2. Building setback to support street tree retention
3. Lane interface
4. Commercial frontage

● **Urban Design Panel: SUPPORT with recommendations**

DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATION: APPROVE

THAT the Board APPROVE Development Application No. DP-2018-00329 submitted, the plans and information forming a part thereof, thereby permitting the development of a mixed use building consisting of retail uses on the ground floor and 28 dwelling units from ground to 5th floor, with 2 levels of underground parking and having vehicular access from the lane, subject to the following conditions:

1.0 Prior to the issuance of the development permit, revised drawings and information shall be submitted to the satisfaction of the Director of Planning, clearly indicating:

- 1.1 design development to ensure the building height does not exceed an increase of 2 feet from the permissible building height outlined in the C-2 District Schedule;

Note to Applicant: The building height increased from 45.3 feet to 47.3 feet is considered. Also see Standard Condition A.1.7.

- 1.2 design development to support the retention of street tree #1 on the W 19th Avenue by providing approximately 12.5 feet setback from the east property line (25 feet from the outside of the trunk) for the southeast corner of level three to level four;

Note to applicant: Also see Standard Condition A.1.29. This condition may be achieved by moving the corner unit F on the third and fourth level northward. The layout of unit F is to be reconfigured to suit.

- 1.3 design development to enhance neighbourly residential character and scale along the lane through the following measures:

- i. lower the planters to be flush with the patio levels and terrace down toward the lane with each step no higher than 1.5 feet;

Note to applicant: where fences are proposed, the fence panel should be transparent and located inside of the planters. Integrate the design of planters with the grades and structural design to ensure needed soil depth. See Standard Condition A.1.30.

- ii. reduce the large blank wall at the loading enclosure by removing the extra massing above the loading space; and

Note to applicant: this condition also reduces the height to be compliant with the building height envelope outlined in the C-2 District Schedule. See Standard Condition A.1.7.

- iii. improve the rear elevation design by incorporating architectural reveals to the concrete wall finish at parkade access and loading enclosure and providing quality parking and loading garage doors;

- 1.4 design development to provide a finer grain architectural expression to commercial frontage by incorporating a high level of details, including varieties, vertical elements, colours and material changes;

- 1.5 provision of generous and continuous weather protection on Dunbar St frontage;

- 2.0 That the conditions set out in Appendix A be met prior to the issuance of the Development Permit.
- 3.0 That the Notes to Applicant and Conditions of the Development Permit set out in Appendix B be approved by the Board.

• **Technical Analysis:**

Technical Review For:		3591 W 19th Ave		Zone:	C-2		
Permitted/Required				Proposed			
Site Size ¹			ft	100.04	x	132.01	ft
Site Area ¹			ft ²	13,205.00 ft ²			
Frontage				132.01			
Setbacks ²	Front Yard			Front Yard - West			
	Non-dwel. @ Grade:	1.97	ft.	Non-dwel. @ Grade:	2	ft.	
	Above Grade:	7.87	ft.	Above Grade:	0	ft.	
Rear Yard	Rear Yard			Rear Yard - East			
	Dwelling:	20.01	ft.	Dwelling:	20	ft.	
	Non-Dwelling:	1.97	ft.	Non-Dwelling:	12.02	ft.	
Side Yard - Exterior	Side Yard - Exterior			Side Yard - South			
	Dwel. @ Grade.	1.97	ft.	Dwel. @ Grade.	2	ft.	
	Non-dwel. @ Grade:	1.97	ft.	Non-dwel. @ Grade:	2	ft.	
	Above Grade:	7.87	ft.	Above Grade:	7.83	ft.	
Side Yard - Interior	Side Yard - Interior			Side Yard - North			
		0	ft.		0	ft.	
Height ³							
4.3.1(a)	First 20.01 ft.	15.09	ft.	top-of-par. 4th floor	38.66	ft.	
4.3.1(b)	Next 15.09 ft.	35.1	ft.		57.12	ft.	
4.3.1(c)	Remaining	45.28	ft.	N. Elev: top-of-par.	50.33	ft.	
FSR ⁴	Dwelling at Grade:			0.4	Dwelling at Grade:		
	Dwelling Above Grade:			1.75	Dwelling Above Grade:		
	Combined Total:			2.5	Combined Total:		
Floor Area ⁴	Total Retail:			5,516.00	ft ²		
	Dwelling at Grade:	5,282.00	ft ²	Dwelling at Grade:	2,935.00	ft ²	
	Dwelling Total:	23,108.75	ft ²	Dwelling Abv. Grade	24,667.00	ft ²	
	Combined Total:	33,012.50	ft ²	Combined Total:	33,118.00	ft ²	
Dwelling Unit Type	Type			%	No.		
	Studio			0%	0		
	One Bedroom			14%	4		
	Two Bedroom			79%	22		
	Three Bedroom			7%	2		
	Total:			100%	28		
Horizontal Angle of Daylight ⁵				Not Satisfied.			

Parking ⁶	Dwelling Use				4.2.1.13				Residential Use							
	Standard:				17				Standard				22			
	Disability:				2				Small Car				6			
									Disability				2			
	Retail				4.2.5.1				Non-Residential							
	Standard:				2				Standard				5			
	Disability:				1				Small Car				2			
									Disability				0			
	Total Standard:				19				Total Standard				27			
	Permitted Small Car:				25% 5				Total Small Car				30% 8			
Total Disability:				3				Total Disability				2				
								Combined Total				39				
Loading ⁷	Class	A	B	C	Class	A	B	C								
	5.2.1 Dwelling	0	0	0	5.2.1 Dwelling	0	0	0								
	5.2.5 Retail	0	2	0	5.2.5 Retail	0	1	0								
	Total	0	2	0	Total	0	1	0								
Bicycle ⁸		Use	Class A	Class B	Class A			Class B								
	6.2.1.2 Dwelling	22	6		36			6								
	6.2.5.1 Retail	1	0													
	Total:	23	6		Lockers	Horizontal	Vertical	Horizontal								
	Locker:	20%	5		0	36	0	0								
	Horizontal:	50%	11		36											
	Vertical:	30%	7													
	Clothing Lockers				Clothing Lockers											
	Total:	1			Total:	0										

Review Notes:

¹ **Note on Site Size and Site Area:** Site area has been based off of the provided survey. The proposed site fronts two streets; Dunbar Street, which is the proposed front yard and W 19th Avenue. The rear of the site abuts a standard 20 feet. lane which provides access to single family homes in RS-5 zoning.

² **Note on Yards/Setbacks:** The C-2 District Schedule has minimum front yard requirements of 1.97 feet. (0.6 m) at grade and 7.87 feet. (2.4 m) for portions of the building above a height of 35.1 feet. (10.7 m). The proposed application has a firewall that projects to the face of the building which encroaches into the required 7.87 ft. (2.4 m) setback. Compliance with front yard requirements has been requested through Standard Condition A.1.10. However, a portion of the third storey also encroaches into the required front yard will require the discretion of the Director of Planning per Section 4.4.2 of the C-2 District Schedule. All other yard requirements have been satisfied.

³ **Note on Height:** The C-2 District Schedule has three different height requirements and this application exceeds all height limits beyond the permitted height envelope. Section 4.3.2 of the C-2 District Schedule states that the Director of Planning, or the Development Permit Board may permit an increase in the maximum height, under Section 4.3.1(c). Compliance with height requirements for the rear 35.1 ft. (10.7 m) of the site per Sections 4.3.1(a) & (b) has been requested through Standard Condition A.1.7.

⁴ **Note on FSR and Floor Area:** The maximum permitted combined FSR shall not exceed 2.5, which includes 0.4 FSR for Dwelling uses located at the front street level, or below and 1.75 FSR for Dwelling uses in conjunction with other uses above grade. Dwelling use located on the lowest level which face the rear lane and W 19th Avenue have been allocated towards the permitted 0.4 FSR for Dwelling, as these areas are located below front street level. All other areas associated with Dwelling use have resulted in an overage of 0.12 FSR beyond the permitted 1.75 FSR for Dwelling above grade and 0.01 FSR beyond the total permitted FSR. Compliance with FSR requirements has been requested through Standard Condition A.1.8. Floor area identified in the technical worksheet does not include structures located on the roof which will further increase FSR and this has been noted in Standard Condition A.1.15.

⁵ **Note on Horizontal Angle of Daylight:** The proposed application has number of units with large, storage rooms which are in addition to already excluded smaller storage rooms. The secondary storage rooms are considered to be dens, which are located on interior walls are do not meet HAD requirements. Compliance with HAD requirements has been requested through Standard Condition A.1.11.

⁶ **Note on Parking:** The parking requirements for this site have been based off of Section(s) 4.2.5.1 (retail) and 4.2.1.13 (Dwelling in conjunction with another use) of the Parking By-law. A total of 19 parking spaces, including 3 disability spaces are required for this application. This application meets the requirements for standard parking spaces, but requires compliance with the provisions of small car spaces and disability spaces as per Standard Condition A.1.12.

⁷ **Note on Loading:** The proposed floor area for the Retail use triggers the requirement for two (2) Class B loading spaces, per Section 5.2.5 of the Parking By-law. The application only proposed one (1) Class B loading space and compliance with Section 5 of the Parking By-law is sought through Standard Condition A.1.13.

⁸ **Note on Bicycle:** Required bicycle parking has been calculated based off of Section(s) 6.2.1.2 (Dwelling use) and 6.2.5.1 (Retail use) of the Parking By-law. The proposed floor area for the Retail use has resulted in the requirement of one (1) Class A bicycle space, which has triggered requirements for clothing lockers. Additionally, this application proposes 100% horizontal bicycle spaces which is not permitted. Compliance with clothing lockers and Class A bicycle locker requirements has been requested per Standard Condition A.1.14.

• **Legal Description**

Lot: 7 & 8
 Block: 28
 District Lot: 139
 Plan: 4176
 Strata Plan: VR174

• **History of Application:**

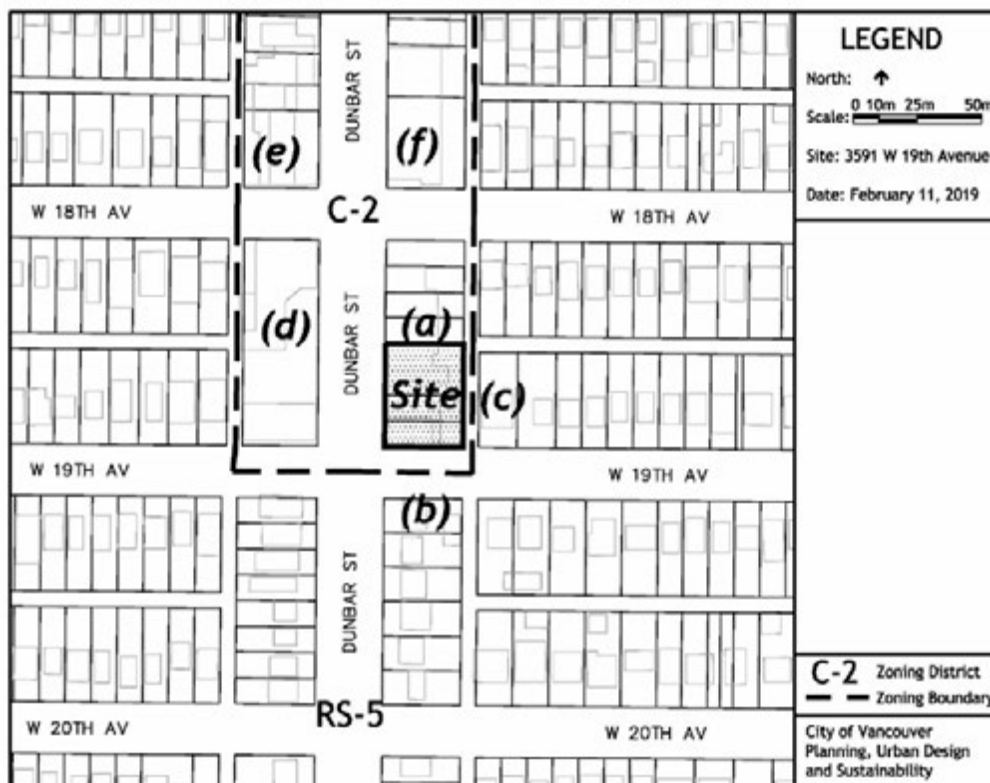
Apr 9, 2018	Complete DP submitted
Oct 8, 2018	Urban Design Panel
Feb 20, 2019	DP Staff Committee

• **Site:**

The site is situated on the east side of Dunbar Street flanking W 19th Avenue. It takes half of a block which is currently occupied by one and two storey commercial uses. This local shopping area extends from W 16th to W 19th Avenue. The nearby buildings to the north and west include low-scale commercial as well as 4 storey mixed use developments. The buildings on the east and south of the site are low-scale residential in RS-5 zone. The site is 132 feet wide along Dunbar Street and 100 feet deep on W 19th Avenue with a cross slope from the southwest corner downward to the northeast corner of approximately 13 feet.

• **Context:** Significant adjacent development includes:

- a) 3444 Dunbar Street, one–storey commercial building, (c.1932);
- b) 3508 Dunbar Street, two –storey single family dwelling, (c.1970);
- c) 3589 W 19th Avenue, two-storey single family dwelling, (c.1995);
- d) 3453 Dunbar Street, one and two-storey commercial building,(c.1972);
- e) 3611 W 18th Avenue, four-storey mixed-use building, (c.2008);
- f) 3595 W 18th Avenue, four-storey mixed-use building, (c.2007).



• **Background:**

This application falls under the existing C-2 zoning. Due to the significant slope from the street to the lane, the building reads as 4 storeys on the street side and 5 storeys from the lane. Urban design panel reviewed the application on January 23, of 2019 and supported it with recommendations.

• **Applicable By-laws and Guidelines:**

C-2 District Schedule

The intent of the C-2 District Schedule is to provide for a wide range of commercial uses serving both local and city-wide needs as well as dwelling uses along arterial roads. The zoning generally accommodates a 4-storey building form, however the number of storeys is not regulated by the zoning. A typical mixed-use proposal would include a variety of grade level retail and dwelling uses at grade (at the rear of the site) and above. Dwelling use is a conditional use. The maximum permitted height of the building is 13.8 m (45.3 feet), measured from a plane formed by lines extending horizontally back from the officially established building grades at the front property line. However, the Director of Planning or the Development Permit Board may permit an increase in height.

The stepping form of the permitted height envelope, and yards for the different site aspects allow for an individualized response. The District Schedule allows for the Development Permit Board to consider increases (height) or decreases (yards) provided it first consider all applicable policies and guidelines adopted by Council, and the submission of any advisory group, property owner or tenant.

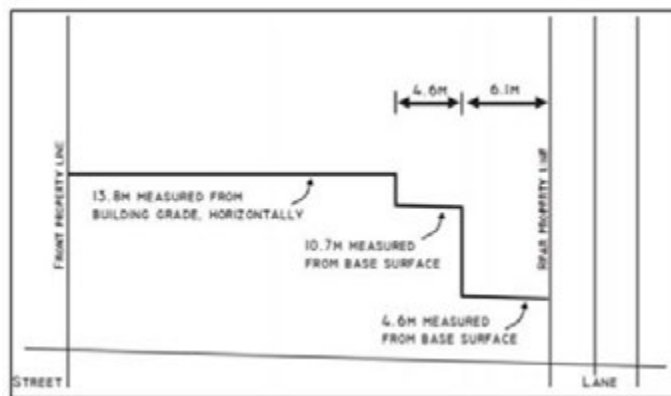


Figure 1: Maximum Permitted Height of a Building (C-2 District Schedule)

C-2 Design Guidelines

The intent of the guidelines is to assist in the wide range of lot sizes, orientations, uses and neighbouring buildings that occur in C-2 zones. The guidelines provide direction on building massing and design for viable commercial space, pedestrian interest for the retail areas, street enclosure neighbourliness, and residential livability.

• **Response to Applicable By-laws and Guidelines:**

C-2 District Schedule

The proposed form of development is generally compliant with the requirements set by the zoning with regards to the permissible floor space, heights, and setbacks. Modest relaxations to heights and front setback are requested.

Height

The site slopes down to the north along Dunbar Street by about 4.33 feet and to the lane from Dunbar Street by approximately 9 feet creating a cross-slope of over 13 feet. In the case of this particular context, the outright permissible building height of 45.3 feet would result in low floor-to-floor height for some commercial units. In order to meet the intent of the C-2 District Schedule with respect to providing viable commercial space, staff support a 2 foot increase of the building height to allow for 13 feet to 16 feet floor-to-floor height in the commercial spaces. (see Figure 2)

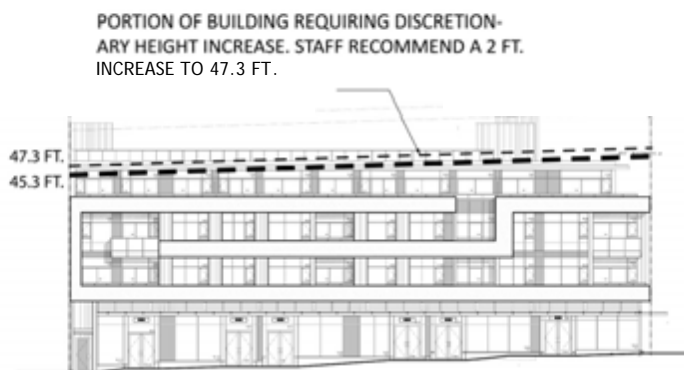


Figure 2: West Elevation (Dunbar Street)

In addition to the uppermost storey, there are building elements that project through the permitted height envelope, including the railings on the third and fifth level roof decks at southeast corner, and architectural decorative frames (see figure 3). Staff support these limited projections into the permitted heights and setbacks to assist with private open space and building articulation. Standard Condition A.1.1. seeks to incorporate planters along the east edge of the roof decks to provide for desired landscape screening.



Figure 3: South Elevation (W 19th Avenue)

A portion above the loading enclosure exceeds the height envelope by approximately 10 feet (see figure 4). Staff recommend eliminating the protrusion to conform to the height requirement. See Recommended Condition 1.3.

The profile of the party wall exceeds the height envelope at a few locations (see figure 4). Staff recommend removing the protruded portions in order to minimize the party wall visual impact and create a better interface with future adjacent development. See Standard Condition A.1.3. Note that staff can consider minor extensions of party wall to accommodate Vancouver Building Bylaw (VBBL) requirements.

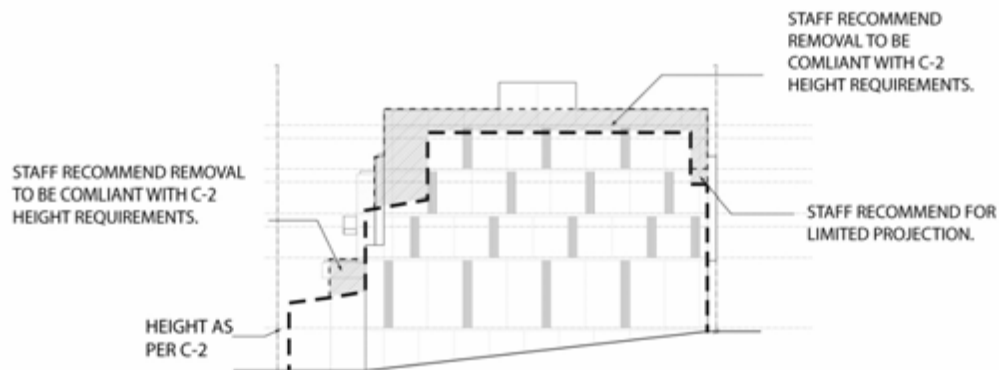


Figure 4: North Elevation

Yards and Setbacks

Above 35 feet in height an 8 foot front setback is required to reduce apparent scale of the building. A portion of the north end of the building projects into the 8 foot setback (see figure 4). Staff support the limited projection into the setbacks based on the consideration of site slope condition.

The exterior side yard on a corner site is treated as a front yard. Therefore along West 19th Avenue, a 2 foot setback is required for commercial uses and common residential entrance.

In order for the retention and protection of street tree #1, further design development is required to provide approximately 12.5 feet setback from south property line for the southeast corner of the parkade and the ground to fourth level. See Recommended Condition 1.2 and Standard Condition A1.29.

Horizontal Angle of Daylight

Each habitable room must have at least one window on an exterior wall of a building. Some proposed rooms (eg: storage room #2) are in good size but do not have windows. Staff evaluate that these rooms can be potentially occupied as bedrooms or flex rooms which require access to natural light and ventilation. Standard Condition A.1.11 seeks improvements to the unit layout to compliant with "Horizontal Angle of Daylight" requirement.

C-2 Design Guidelines

The site is located in an established local shopping area fronting north-south arterial Dunbar Street. Low-density residential is adjacent to the east and south area of the site. The proposal generally meets the intent of the C-2 design guidelines in terms of providing viable local retail uses, creating a pedestrian oriented commercial frontage, defining a desirable street enclosure, minimizing the negative impact on neighbouring properties, and supplying housing with a high standard of livability.

Local Retail Uses and Street-Level Frontage

The proposed commercial uses emphasize street-facing small-scale shops to enhance the existing neighbourhood commercial character. The individual commercial frontages are ranged from 17 feet to 25 feet with frequent at-grade entry door fronting onto Dunbar sidewalk. Further improvement needs occur to the frontage architectural expression to better address public interest. Recommended Condition 1.4 seeks to incorporate a high level of details to achieve a finer grain architectural expression.

Street Enclosure and Streetscape

For typical C-2 development sites, a front yard of 2 foot yard is considered as a “build-to” line in order to assist with street enclosure. An increased setback of 8 feet occurs above 35 feet to reduce apparent massing and height when viewed from the street. For the corner site, the front setbacks are applied to both streets. The proposed 5 storey mixed-use building is placed at the "build-to" lines, defining the northeast corner of the intersection. The top floor is stepped back 8 feet on both street sides to create an expression of three-storey streetwall.

Neighbourliness

The C-2 District Schedule and design guidelines require a stepping building form, including height limits and setbacks at rear, to achieve a great distance to adjacent low-scale residential. The C-2 zoning also anticipates discreet building design measures to further mitigate the privacy, noise, and visual impacts on the neighbouring properties.

The proposal successfully conforms to the height and setback requirements of the stepping building envelop. Deeper rear setbacks are provided for the residential units on the level 3 and 4, which further reduce the overlook impact on the low-scale residential across the lane. While the lane provides service function for commercial components, the lane frontage is activated and characterized by ground-oriented walk-up dwelling units with planters, private patios and entry doors facing the lane. Further improvement is needed to enhance the privacy and the lane interface through architecture and landscaping measures. Recommended Condition 1.3 and Standard Condition A.1.1 seeks refinements of the planters, landscape screening, balconies, guard railings, and loading to achieve improved neighbourliness.

Residential Use and Livability

The residential units are located above grade and at grade along the rear. 90% dwelling units are for families with 2 bedrooms and 3 bedrooms. Two amenity rooms are provided at ground level and the outdoor amenity space is located on the top roof deck in conjunction with provision of a green roof. All dwelling units have private outdoor space in a form of roof deck and balcony. Further design development needs occur to improve access to daylight and ventilation and private open space for family units.

Architectural Resolution and Materials

The design guidelines call for a careful selection of exterior wall materials to ensure a quality appearance and durability. The proposal illustrates a well-resolved scheme. Staff are satisfied with the proposed building materials, which include an extensive amount of natural stone and metal cladding for the street-facing elevations, as well as for a considerable amount of the lane elevation.

● **Conclusion:**

In summary, the proposed design is generally in keeping with the intent of the C-2 District Schedule and design guidelines. Staff support this application with the conditions contained within this report.

URBAN DESIGN PANEL

The Urban Design Panel reviewed this application on October 8, 2018, and provided the following comments:

EVALUATION: SUPPORT WITH RECOMMENDATIONS

Introduction:

Development Planner, Grace Jiang, introduced the project as a DP application under zoning bylaw C2. The project is located at the Northeast corner of the intersection of Dunbar St and W 19th Ave. The site has a 132 ft frontage along Dunbar St and 100 ft along W 19th Ave, taking up one half of the block. The site has a cross drop of 12.9 ft from Southwest to Northeast corner. The lane is approximately 8 ft lower than the street.

The site is currently occupied by one and two storey retails. The area from the 19th Ave to the 16th Ave along Dunbar Street is zoned C2 as a local shopping area with low-scale commercial buildings and three 4 storey mixed use developments. The properties to the east cross the lane and to the south cross the 19th Ave are single family dwellings in RS zone.

The allowable density under C2 is up to 2.5 FSR. The allowable maximum building height is 45 ft on the street side and steps down towards the lane to 15 ft. The C2 zoning bylaw and design guidelines also emphasize on providing viable commercial space, pedestrian-oriented streetscape, and mitigating the impacts to neighbors.

The proposal is for a mixed-use building with 4 storeys viewed from the street and 5 storeys measured from the lane. The proposed FSR is 2.5. The overall building height and the stepping form are generally compliant with the requirements set out in the District Schedule. A 2 ft height relaxation is sought due to the site slope along the Dunbar St.

There is a large chestnut street tree along the south property line. As required by the Park board, the proposal sets the south side of the parkade and ground floor 25 ft from the trunk of the tree for the root protection. The canopy and two limbs of the tree extend into the site. It may require further setbacks of the upper floors on the south side of the building subject to the pruning requirement from Park board.

At ground floor, there are 6 commercial units fronting Dunbar Street. Each of the units has small frontage and at-grade entrance. Three ground-oriented townhouses are placed at rear with individual entry door and private patio facing the lane. Communal residential entrance is along W 19th Ave and the two levels UG parking is accessed from the lane. Two amenity rooms are located on the ground floor. A sizable outdoor amenity space is provided on the main roof deck in conjunction with the provision of a green roof.

The exterior finishes are featured by natural stone and long board cedar siding. The party wall exposing to the north is concrete with ribbed texture.

Advice from the Panel on this application is sought on the following:

1. Is the 2 ft building height relaxation supportable?
2. Does the design of ground level elevations meet the C-2 design guidelines “to relate to pedestrian scale and enhance the close-up view of the pedestrian”?
3. Does the design successfully mitigate the privacy and visual impacts on adjacent residential?
4. Please provide commentary on the overall architectural expression and materiality of the building elevations.

The planning team then took questions from the panel.

• Applicant's Introductory Comments:

The building is concrete construction. The site slope is quite steep from one end to the other, about 13ft.

The façade is a 3 storey expression with a 4 ft. setback, wanted to have a banding that creates movement addressing the corner. The material is a lime stone spandrel and the vertical elements are long boards which are cedar metal looking.

The intention is for the townhouses to compliment the residential one story neighborhood. There are building examples nearby with a 5 storey expression on the lane.

There are about 28 units, including the townhouses; all have balconies facing the lane. The goal is having full glass and large patio spaces to bring in the sunlight.

The lane was animated with landscape terraces and patios facing the neighborhood. The lane area has an asphalt sidewalk to provide a separation of material and an understanding for the pedestrian of the walking surface.

There are two amenity spaces one is intended as a party room and the other is at the end of the hallway on top of the parking.

The ground floor retail spaces are divided into smaller retail shops. The elevation's rhythm is of a smaller scale. The parking entrance and loading area are at the end of the site where the lane intersects and the garages are.

The street frontage has existing street trees and is complaint with the city for commercial. A substantial amount of soil volume is being provided for the trees. The patios have been stepped back to provide a fair amount of landscape along with the white porcelain tiles.

There are veggie garden areas, larger trees and different color trees, sitting areas with a fire pit, and additional areas. There will also be a natural play children's area.

The applicant team then took questions from the panel.

• Panel's Consensus on Key Aspects Needing Improvement:

Having reviewed the project it was moved by Ms. Brudar and seconded by Mr. Newfield and was the decision of the Urban Design Panel:

THAT the Panel SUPPORT the project with the following recommendations to be reviewed by City Staff:

- Minimizing the wall at the north edge of the site;
- Look at detailing the ground plain along the lane;
- Minimize height of planters along the lane;
- Review the viability of the planters on upper floors;
- Review materiality of the lane;
- Develop the corner at Dunbar with user friendly elements;
- Further the residential quality of the lane, review height of the loading;
- Consider context in developing overall architectural expression

• Related Commentary:

The panel noted it is a difficult zoning and site due to the steep slope. The grade change with the townhomes on the lanes was well done.

It was noted the two feet building height relaxation was acceptable as it is hardly noticeable due to the slope of the land, other panelists noted the reasoning behind the two feet relaxation was not clear.

The architectural expression appears more commercial than residential, would be beneficial to have more of a residential expression.

There were a number of comments regarding the volume of the building. It was suggested to minimize the floor to floor height or minimize that north wall and improve the over shadowing of the backyards especially in the summer months.

Review the exit stairs which is pulling the wall out to clean up the north corner. The buildings could benefit from refinement of the upper floors. Look to see if the window frames can be simplified. The loading is well handled given the grade change. The pedestrian view could use some fine tuning in details. Keep in mind the firewall on the interior property line.

Some panelists questioned if the livability, image, and sustainability is in fitting with the Dunbar context, others noted given the new context of Dunbar the project fits right in.

The horizontal banding at Ash street side appears weighty. The type of glass being utilized creates a lot of reflectivity be wary if this is what is wanted. The limestone comes across heavy. There are colour differences between the renderings. A panelist noted the material sample color is quite subdued and the renderings may appear peachy in color due to the sunlight.

A panelist suggested reviewing accessibility to the balconies.

There were mixed opinions in regards to the rooftop. Some found the rooftop amenity to be successful; others suggested the rooftop would benefit from calming down, lots going on with lots of program areas.

The ground plain has lots of store frontages trying to work with the grade which is a positive. The fine grain of storefronts could translate to the façade above.

The concrete planters on the ground plain along the lane are quite tall they could recess and still have good soil depth. Project would benefit from design development at the ground plain with the canopies. The material at the lane is not clear, lane could benefit from more texture and materiality to help create a residential feel.

A panelist noted the depths of the planters are quite deep in space, it is possible to take two feet off the planters and give back to the lane.

The landscape shown on the renderings of the exterior façade could be difficult to access and maintain in the long run. The Dunbar corner could be strengthened with seating or public art. Look at reflecting the grain of Dunbar with a fairly robust image. Consider screening the front of the PMT.

There was insufficient information about the sustainability and would have been nice to have more details. It was noted this is a straight DP; therefore the applicant only needs to comply with present codes and is not required to go the extra step.

- **Applicant's Response:** The applicant team thanked the panel for their comments.

ENGINEERING SERVICES

The recommendations of Engineering Services are contained in the prior-to conditions noted in Appendix A attached to this report.

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

The recommendations of Planning are contained in the prior-to conditions noted in Appendix A attached to this report.

LANDSCAPE

The recommendations of Landscape Planning are contained in the prior-to conditions noted in Appendix A attached to this report.

HOUSING POLICY & PROJECTS / SOCIAL POLICY & PROJECTS / CULTURAL SERVICES

The recommendations of Housing are contained in the prior-to conditions noted in Appendix A attached to this report.

PARK BOARD

The recommendations of Vancouver Parks Board are contained in the prior-to conditions noted in Appendix A attached to this report.

ENVIRONMENTAL PROTECTION BRANCH

The recommendations of Environmental Protection are contained in the prior-to conditions noted in Appendix A attached to this report.

BUILDING REVIEW BRANCH

This Development Application submission has not been fully reviewed for compliance with the Building By-law. The applicant is responsible for ensuring that the design of the building meets the Building By-law requirements. The options available to assure Building By-law compliance at an early stage of development should be considered by the applicant in consultation with Building Review Branch staff.

To ensure that the project does not conflict in any substantial manner with the Building By-law, the designer should know and take into account, at the Development Application stage, the Building By-law requirements which may affect the building design and internal layout. These would generally include: spatial separation, fire separation, exiting, access for physically disabled persons, type of construction materials used, fire-fighting access and energy utilization requirements.

Further comments regarding Building By-law requirements are contained in Appendix C attached to this report.

NOTIFICATION

On December 3, 2018, two site signs were confirmed installed on the site. Also on December 3, 2018 333 postcards were sent to neighbouring property owners advising them of the application, and offering additional information on the city's website. Five written responses to notification and some phone calls were received before the comments period of January 4, 2019. The main issue neighbours commented on was the height and number of stories allowed under the District Schedule and how many units would have two or more bedrooms.

The Project Facilitator replied to each email enquiry and clarified how height and number of storeys are calculated as well as how many of the proposed units are two bedroom and larger.

Further comments were received after the end of the comments period. A neighbour of the development expressed concerns about the following issues:

- Concern for loss of small retail spaces along Dunbar
- Monolithic feeling of overhangs or horizontal elements
- Space for signage to be placed in the current design
- Streetscape lacking in fine grain detail and scale
- Shadow analysis doesn't include winter solstice

Staff Response:

The Project Facilitator clarified that some of the issues would be covered in the early revisions as directed by the Development Planner prior to the Urban Design Panel presentation. Ms. Jiang clarified to the Panel that the retail units are small-scale with sufficient space for individual signage. Winter shadowing of the proposed building is not a concern for Planning and the overall massing and height was supported by the Urban Design Panel

DEVELOPMENT PERMIT STAFF COMMITTEE COMMENTS:

The Staff Committee has considered the approval sought by this application and concluded that with respect to the Zoning and Development By-law [and Official Development Plan (*if applicable*)] it requires decisions by both the Development Permit Board and the Director of Planning.

With respect to the decision by the Development Permit Board, the application requires the Development Permit Board to exercise discretionary authority as delegated to the Board by Council.

Staff Committee supports this proposal with the conditions contained in this report.



J. Greer
Chair, Development Permit Staff Committee



G. Jiang
Development Planner



J. Smallwood
Project Coordinator

Project Facilitator: J. Freeman

DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATIONS

The following is a list of conditions that must also be met prior to issuance of the Development Permit.

A.1 Standard Conditions

A.1.1 design development to reduce the privacy impact on neighbouring properties as follows:

- i. Provide planters along the east edge of the roof decks on the third and fifth levels;

Note to applicant: minor projections into the building height envelope for landscape screen can be considered in accordance with C-2 design guidelines. Also see Standard Condition A.1.30.

- ii. provide translucent glass for the east-facing guardrails;
- iii. set the glazed railings back from the east and north edge of the main roof by a minimum of 4 feet;

Note to applicant: the recess of glazed railing on the north side also assists with a compliance of the height limits. Also see Standard Condition A.1.7.

A.1.2 design development to increase private outdoor space to a minimum of 6 feet in depth for all family units.

A.1.3 design development to minimize the exposed party wall visual impact and to create better interface with future adjacent development by removing the portions at following locations:

- i. the west end portion above the fourth level beyond the west exterior wall;
- ii. the east end portion above the third level beyond the east exterior wall; and
- iii. the portion above the main roof deck.

Note to applicant: The condition also reduce the heights of the party wall to be compliant with the building height envelope outlined in the C-2 District Schedule. Also see Standard Condition A.1.7 and A.1.10. Note that staff can consider minor projections from the building envelope to accommodate Vancouver Building Bylaw (VBBL) requirements.

A.1.4 design development to improve the loading service to support viable commercial uses as follows:

- i. provide on-site loading path to CRU #1 and ensure the loading path is separated from residential uses; and
- ii. ease the loading path by minimizing the turns, doors, and steps along the path.

A.1.5 consideration to include the corridor steps adjacent to the elevator into unit F on the second and third floors to achieve efficient circulation.

A.1.6 Identification on the Architectural Drawings of any built features intended to create a bird friendly design.

Note to Applicant: Consider including bird friendly plants on the plant palette, enabling bird habitat conservation and bird habitat promotion. Refer to the Bird Friendly Design Guidelines for examples of built features that may be applicable, and provide a design rationale for the features noted. For more information, see the guidelines at: <http://former.vancouver.ca/commsvcs/guidelines/B021.pdf>.

A.1.7 provision of a height calculation sheet which identifies all critical height points per Section 4.3.1;

Note to Applicant: Provide calculations on the drawings and dimensions uses for the calculations for verification. The proposed application exceeds height requirements for all height setbacks outlined in the C-2 District Schedule as follows:

- i. Within the rear 35.1 ft. (10.7 m) by approximately 22 ft. (6.7 m). Height has been calculated to the top-of-parapet at the North East corner of the roof deck;
- ii. Height shall be calculated to the top-of-parapet nearest the lowest building grade (218.24 ft. (66.52 m)). See also, Recommended Condition 1.1.

A.1.8 Compliance with Section 4.7 – “Floor Space Ratio” of the C-2 District Schedule;

Note to Applicant: The maximum permitted FSR for Dwelling use above grade shall not exceed 1.75 and the total maximum permitted FSR for the site shall not exceed 2.5. The provided drawings and FSR Overlay exceed the permitted FSR for Dwelling use above grade and the total FSR. Additionally, the roof structure that spans between the elevator and stairs on the roof, and trellis located on the roof is to be counted towards FSR. See also, Standard Condition A.1.15.

A.1.9 Confirmation of Section 2.2/3.2 – “Uses” of the C-2 District Schedule;

Note to Applicant: CRU is not an approved use per the District Schedule, or Zoning and Development By-law. An approved use is required to be illustrated on the plans. Technical analysis was based off of the assumption of CRU being Retail use.

A.1.10 Compliance with Section 4.4 – “Front Yard and Setback” of the C-2 District Schedule;

Note to Applicant: Minimum 7.87 ft. (2.4 m) front setback above 34.1 ft. (10.7 m) from grade at Dunbar Street is required. The proposed West elevation shows no set back from the front property line.

A.1.11 Compliance with Section 4.10 – “Horizontal Angle of Daylight” of the C-2 District Schedule;

Note to Applicant: There are a number of units with inboard dens which are labelled as storage that are to comply to HAD requirements.

A.1.12 Compliance with Section 4 of the Parking By-law;

Note to Applicant: A total of three (3) disability spaces are required to be provided. Additionally small car spaces are limited to a total of 25% of the required parking spaces and only six (6) may be provided.

A.1.13 Compliance with Section 5 of the Parking By-law;

Note to Applicant: Two (2) Class B loading spaces are required. A relaxation to One (1) Class B loading space with two (2) Class A loading spaces (one (1) at grade and one (1) below grade) may be considered.

A.1.14 Compliance with Section 6 of the Parking By-law;

Note to Applicant: The provided plans show 100% of the Class A bicycle spaces as horizontal, however only 50% of the required Class A bicycle spaces may be horizontal. Additionally, 20% of the provided Class A bicycle spaces must be lockers. Furthermore, one (1) clothing locker is required for the required retail Class A bicycle space. All bicycle spaces are to be numbered, dimensioned and labelled as vertical, horizontal, or locker.

A.1.15 Provision of revised fully detailed, coloured and dimensioned FSR Overlays;

Note to Applicant: The provided FSR overlays do not correctly breakdown circulation areas that serve multiple uses. Shared circulation areas are to be proportionately rated and included in the computation of the corresponding area of each use. Additionally, all areas being excluded from FSR including amenity, balcony and storage areas are to be identified. The proposed plans and FSR Overlays do not clearly identify all balcony areas, as there are portions of roof decks which are actually balcony that are not being considered towards the balcony exclusion. Refer to Standard Condition A.1.8.

A.1.16 Provision of a revised Site Plan and Floor Plans to clearly illustrate the required 18 ft. (5.5 m) SRW setback per Engineering condition x.x;

A.1.17 Provision of consistent labelling of all floors to indicate a five storey building;

A.1.18 Provision of revised Elevation Drawings which note:

- i. Geodetic elevations for all top-of-parapets, top-of-guardrails, top-of-stairs/mechanical, top-of-trellis, etc.;
- ii. All operable door and window sizes;
- iii. Applicable street names, or lane;
- iv. Dimensions from the face of the building to property line; and
- v. Gridlines in coordination with Floor Plans;

A.1.19 Provision of a revised roof plan which illustrates:

- i. All roof levels below; and
- ii. All geodetic elevations for top-of-parapets, top-of-guardrails, top-of-stairs/mechanical, top-of-trellis, etc.;

A.1.20 Provision of vertical vent space to accommodate future proposed restaurant exhaust from the commercial space;

Note to Applicant: Refer to the *Floor Area Exclusions: Kitchen Exhaust Duct and Shaft Requirements for New Buildings* Bulletin.

A.1.21 Confirmation of storage unit size's below grade;

Note to Applicant: Storage units are to be numbered, dimensioned and in compliance with the Bulk Storage and In-Suite Storage – Multiple Family Residential Developments Bulletin.

A.1.22 Confirmation that at least 20 % of all off-street spaces will be available for charging of electric vehicles;

Note to Applicant: Although this is a Building By-law requirement under Part 13 of the Vancouver Building By-law, the Director of Planning is seeking acknowledgement that this condition can be met during the Building review of this development. For more information, refer to the website link:

<http://vancouver.ca/home-property-development/electric-vehicle-charging-requirements.aspx>.

A.1.23 Provision of the following notations on the submitted plans:

- i. *“The acoustical measures will be incorporated into the final design and construction, based on the consultant’s recommendations”;*
- ii. *“Adequate and effective acoustical separation will be provided between the residential and non-residential portions of the building”;*
- iii. *“The design of the parking structure regarding safety and security measures shall be in accordance with Section 4.13 of the Parking By-law”;*
- iv. *“The design of the bicycle spaces (including bicycles rooms, compounds, lockers and/or racks) regarding safety and security measures shall be in accordance with the relevant provisions of Section 6 of the Parking By-law”;*
- v. *“Mechanical equipment (ventilators, generators, compactors and exhaust systems) will be designed and located to minimize noise impacts on the neighbourhood and comply with Noise By-law No. 6555”; and*
- vi. *“All proposed yards, setbacks and building dimensions are measured to the outside of cladding”.*

A.1.24 design development to locate, integrate and fully screen any emergency generator, exhaust or intake ventilation, electrical substation and gas meters in a manner that minimizes their visual and acoustic impacts on the building’s open space and the Public Realm;

A.1.25 an acoustical consultant's report shall be submitted which assesses noise impacts on the site and recommends noise mitigation measures in order to achieve noise criteria;

A.1.26 written confirmation shall be submitted by the applicant that:

- i. the acoustical measures will be incorporated into the final design and construction, based on the consultant's recommendations;
- ii. adequate and effective acoustic separation will be provided between the commercial and residential portions of the building; and
- iii. mechanical (ventilators, generators, compactors and exhaust systems) will be designed and located to minimize the noise impact on the neighbourhood and to comply with Noise By-law #6555.

A.1.27 an acoustical consultant's report shall be submitted which assesses noise impacts on the site and recommends noise mitigation measures in order to achieve noise criteria;

A.1.28 written confirmation shall be submitted by the applicant that:

- i. the acoustical measures will be incorporated into the final design and construction, based on the consultant's recommendations;
- ii. adequate and effective acoustic separation will be provided between the commercial and residential portions of the building; and
- iii. mechanical (ventilators, generators, compactors and exhaust systems) will be designed and located to minimize the noise impact on the neighbourhood and to comply with Noise By-law #6555;

Standard Landscape Conditions

A.1.29 design development for the safe retention of the significant West 19th Ave. Street tree, noted on the survey and arborist report as City 1, a 42" DBH , 30' crown Horse chestnut (*Aesculus hippocastanum*), as follows:

- i. A minimum of 25' clearance from the outside of the trunk in all directions possible on the ground plane and in the vertical plane to protect the entire volume of existing tree canopy. Include this tree in all elevations, sections and plans for all floor levels to ensure the encroachment is acceptable to the Park Board; and
- ii. Reduce the second, third, fourth floors and balconies as designed. They are impinging on the trees canopy. A partial amenity room cantilevered balcony may be allowed with special measures;

A.1.30 design development to improve and enhance privacy and overlook on all floors facing the adjacent residential neighbors by the following:

- i. Provide planters at the outer edge of the residential roof decks on all floors facing south and east;

Note to Applicant: In the case where there can't be poured in place planters provide concrete or metal planters minimum size 2' inside dimension up to 5' inside dimension x 4' x 36" height. Plant small trees and or large shrubs with cascading ground covers in these planters. Provide opaque screens between adjacent balconies.

- ii. Provide additional lane greening and trees on the east side at the lane edge and along the south property line;

Note to Applicant: except at points of necessary access, place new trees in a minimum 4' wide planting bed on private property in off-slab area. Reduce the height of the upstand planter wall at the lane to 24" over parking structure with dropped/angled slab under the planting space to accommodate substantial tree rooting depth. Where grade changes are significant provide stepped walls with a minimum planting space of 36" between the walls. Select high-branching and or columnar trees suitable for narrow growing space. Provide greening at the bottom of the walls at the ground plane. Clarify hard surface materials, planting bed edges and durable curbs with a minimum height of eight inches.

A.1.31 design development to enhance the public realm interface through the following:

- i. providing special paving treatment at the street level on private property in front of the Dunbar and West 19th entries;

Note to Applicant: indicate by labels the colour, size and texture of the paving units and provide a detail.

- ii. Provision of additional low plantings on the back boulevard area between the sidewalk and the building on West 19th Ave; and

Note to Applicant: a shrub border planted with a variety of full season interest plants to be provided at a minimum of 2 feet width on the private property side of the west 19th property line. To augment this planting wherever possible, the shrub border should be extended to the city inside boulevard, (refer to “City Engineering Guidelines for Planting on City Boulevards”, <http://vancouver.ca/files/cov/boulevard-gardening-guidelines.pdf>). Sidewalk widths are not congruent between plans. Refer to engineering for specific requirements.

- iii. provision of large scale, dimensioned architectural and landscape cross - sections through all planted areas/ planters to demonstrate adequate soil volumes;

Note to Applicant: Illustrate the building edge/ public realm interface at all building edges. Include the planter materials, inside dimensions, soil profile, tree root ball, built- up membrane, drainage material and drains. Provide a note to verify that planter soil depths and volumes meet or exceed BC Landscape Standard.

- A.1.32 provision of high efficiency drip irrigation for all planted areas and/or hose bibs in close proximity to all private patios having areas greater than 100 square feet;

Note to Applicant: illustrate hose bib symbols and irrigation stub outs on a partial irrigation plan.

- A.1.33 provision of an exterior lighting plan to confirm lane interface safety;

Note to Applicant: illustrate light symbols and key to legend on a lighting plan.

- A.1.34 clarification to the landscape plan to include the following:

- i. clear graphics and labels to indicate the extent of special paving, fencing, screening, slab edges, property lines, and street name and lane labels on all Landscape plans;

- ii. a separate Plant List with larger, more readable font sizes for each level;

Note to Applicant: provide at least one label per plant species per sheet. Increase the Plant Schedule font size and plant key symbols.

- iii. indicate locations of the tool storage, potting bench, water sources, raised planters and any other site furniture on the roof level, to confirm adherence to the COV guidelines for urban agriculture;

- iv. removal of any notations or images that pertain to artificial turf or rubber matting;

- v. indicate increased soil depth beneath the trees on the berm at the amenity roof deck to 48”;

- vi. a variety of different tree species on the roof plan to comply with the COV biodiversity strategy. Include fruit trees in planters on the roof deck; and

- vii. revision to the elevations, sections, and renderings to be consistent with the floor plans. All to include the position of trunk, canopy height and volume of the significant City street tree #1 located on west 19th Ave adjacent to the lane;

- A.1.35 provision of an Arborist Report addendum;
-

Note to Applicant: the arborist may provide further details and recommendations in response to the conditions for tree retention. Aerial encroachments and/or pruning strategies should also be outlined. Report is to include the most recent site plan and a full size tree management plan.

A.1.36 provision of a Tree Management Plan (TMP);

Note to Applicant: the TMP should include locations for site office trailer, crane, hording and material removal / drop off, include dimensioned tree protection barriers and notes on specific times arborist is to be involved for the safe removal of the existing garage slab and any potential root pruning that may be required. Please refer to Engineering Guidelines for Protection of Boulevard trees. Standard tree barriers cannot be installed in concrete. Trees in concrete grates should be safely protected by alternate method.

A.1.37 provision of a letter of assurance for arborist supervision;

Note to Applicant: Arborist supervision is typically necessary when any work is required within a minimum root protection zone of a retained tree. The arborist has discussed the details of any supervision requirements within the arborist report and the plans depict work that encroaches into a minimum root protection zone, noted as trigger points. Typically, an assurance letter will outline the critical construction points where the arborist shall be contacted to attend the site. The letter must be signed by the owner, the contractor and the arborist.

A.1.38 provision of bird-friendly plant material to promote bird habitat with identification on the landscape drawings of any built and landscaped features intended to create a bird friendly design. Provision of a bird bath and bird feeders on the Amenity Roof Planter;

Note to Applicant: Consider including bird friendly plants on the plant palette, enabling bird habitat conservation and bird habitat promotion. Refer to the Bird Friendly Design Guidelines for examples of built features that may be applicable, and provide a design rationale for the features noted. For more information, see the guidelines at:
<http://former.vancouver.ca/commsvcs/guidelines/B021.pdf>.

A.1.39 Confirmation of trenching locations for utility connections, avoiding conflict with tree root zones;

Note to Applicant: add the following note to applicable drawings: *“Trenching for utility connections to be coordinated with Engineering Department to ensure safe root zones of retained trees. Methods of tree protection for street trees to be approved by Park Board”*.

Crime Prevention Through Environmental Design (CPTED)

A.1.40 identification, on the drawings, of those measures provided in response to CPTED principles, having particular regard for reducing opportunities for:

- i. residential break and enter;
- ii. mail theft; and
- iii. mischief in alcoves and vandalism, such as graffiti.

Housing Policy & Projects / Social Policy & Projects / Cultural Services

A.1.41 compliance with High Density Housing for Families with Children Guidelines;

Note to Applicant: please refer to the link attached for more information:
<https://guidelines.vancouver.ca/H004.pdf>

A.2.0 Standard Engineering Conditions

A.2.1 clarification of design elevations, interpolated from building grades, are required along property line across:

- i. middle of entrances, access pathways, stairs, etc.
- ii. corner of driveways, parking stalls, plazas, walls, etc.

Note to Applicant: See building grade letter for more information.

A.2.2 provision of the following improvements adjacent the site to the satisfaction of the General Manager of Engineering Services:

- i. a building setback and a surface Statutory Right of Way (SRW) on Dunbar St for public pedestrian purposes;

Note to Applicant: to achieve a 5.5 m (18'-0") distance measured from the back of the existing City curb for sidewalk widening. The SRW will be free of any encumbrance at grade such as structure, stairs, planter walls, door swing, benches, chairs and tables, and bicycle parking. Setbacks less than 2' do not require an SRW.

- ii. provision of a 1.22m (4'-0") exposed aggregate front boulevard and light broom finish saw cut concrete sidewalk to property line on Dunbar St frontage;

Note to Applicant: update landscape plans to show a 1.22m exposed aggregate front boulevard and revise note to specify the new sidewalk will be light broom finish saw cut concrete as per COV standard.

- iii. provision of a minimum 1.83 m (6'-0") light broom finish saw cut concrete sidewalk on W 19th Av frontage. Maintain existing front boulevard width;

Note to Applicant: Update landscape plan to specify the sidewalk shown on the W 19th Av frontage will be light broom finish saw cut concrete as per COV standard.

- iv. provision of a standard concrete lane crossing including new curb returns and curb ramps on both sides of the lane entry as per COV standard; and

Note to Applicant: include this on landscape plans.

- v. provision of new curb ramps on the northeast corner at the intersection of W 19th Av and Dunbar St as per City standard;

Note to Applicant: update landscape plans to show new COV standard curb ramps.

A.2.3 provision of a canopy application is required;

Note to Applicant: Canopies must be fully demountable and drained to the buildings internal drainage system. Canopies are defined as a rigid roof like structure supported entirely from a building and where the canopy deck is constructed of wired or laminated safety glass or metal not less than 0.56mm in thickness. (VBBL section C.1.8.8).

A.2.4 provision of regulatory signage;

Note to Applicant: Add note to landscape plans “Installation of parking regulatory signage on Dunbar Street and W19th Avenue adjacent the site to the satisfaction of the General Manager of Engineering Services”.

A.2.5 arrangements to the satisfaction of the General Manager of Engineering Services and the appropriate public utility companies for pole relocation may be required;

Note to Applicant: Location of hydro pole may conflict with lane loading access.

A.2.6 compliance with the Parking and Loading Design Supplement to the satisfaction of the General Manager of Engineering Services. Parking, loading, and bicycle spaces shall be provided and maintained according to the provisions of the Vancouver Parking By-law per the following:

- i. Provision of automatic door openers on the doors providing access to the bicycle room(s) and note on drawings;
- ii. dimension the access aisle width in the bicycle storage rooms;
- iii. dimension the size of the bicycle spaces; and
- iv. a plan showing the access route from the Class A bicycle spaces to reach the outside;

Note to Applicant: The route must be ‘stair-free’ and confirm the use of the parking ramp if required. Show the route on the drawings.

A.2.7 indication on drawings of the following:

- i. add numbers, dimensions and labelled parking and loading spaces as commercial or residential spaces;
- ii. dimension the overall width of parking spaces located adjacent to walls;
- iii. dimension the column lengths, widths and setbacks on the drawings;
- iv. dimension all maneuvering aisles on the drawings. Dimension the internal O/H security gate separating the residential and commercial parking spaces;
- v. a section drawing showing elevations, vertical clearances, and security gates for the main ramp and through the loading bay;
- vi. additional dimensions on the drawings showing vertical clearance;

Note to Applicant: Ensure adequate vertical clearance is provided for mechanical projections, utilities and other services throughout the parking ramp, parking levels and loading space. 3.8m of vertical clearance is required for Class B loading spaces. 2.3m of vertical clearance is required for access and maneuvering to all disability spaces and must be noted on the drawings;

- vii. design elevations on both sides of the parking ramp at all breakpoints, both sides of the loading bay, and at all entrances;

Note to Applicant: Where there is a curved ramp, provide grades two feet from the wall on the inside radius. The slope and length of the ramp sections are to be shown on the drawings;

- viii. design elevations are required to confirm the slope and crossfall within the parking levels, loading space and entrances do not exceed the requirements. Slope and crossfall to be shown on the drawings. Show the exact location of the elevation point on the drawings; and

- ix. provision of 'stair-free' internal loading access from the Class B loading space(s) to the CRU'S and the elevator lobby;

Note to Applicant: It appears that CRU #1 requires the use of stairs for access. Refer to the following link for parking guidelines:
<http://vancouver.ca/home-property-development/parking-policies-guidelines.aspx>

- A.2.8 design consideration to upgrade street lighting adjacent to the site to current standards including a review of the existing lighting to determine its adequacy and a lighting design as required;

- A.2.9 provision of a resolution passed by (80% or unanimous) vote for the cancellation of Strata Plan VR174 and the dissolution of the strata corporation as noted in Section 272 of the Strata Property Act prior to the issuance of the development permit;

Note to Applicant: Engineering will require that the cancellation of the strata plan and dissolution of the strata corporation has been fulfilled and that a new certificate of title has been issued by the Land Title Office for a single lot.

- A.2.10 consolidation of Lots 7 and 8 both of Lot 4, Block 28, District Lot 139, Plan 4176 and the newly created lot from the cancelled Strata Plan VR174 to create a single parcel is required;

- A.2.11 arrangements to be made to the satisfaction of The General Manager of Engineering Services for all utility services to be underground for this "conditional" development;

Note to Applicant: All electrical services to the site must be primary with all electrical plant, which include but not limited to System Vista, Vista switchgear, pad mounted transformers, LPT and kiosks (including non-BC Hydro kiosks) are to be located on private property with no reliance on public property for placement of these features.

- A.2.12 confirmation of all required electrical plant is provided for on-site;

Note to Applicant: There is to be no reliance on secondary voltage from the existing overhead electrical network on the street right-of-way. Any alterations to the existing overhead/underground utility network to accommodate this development will require approval by the Utilities Management Branch.

It is presumed with in your consultation, so far with B.C. Hydro, that an area has been defined within the development footprint to accommodate such electrical plant. Please confirm that this space has been allocated and agreement between both parties has been met.

- A.2.13 provision of any gas service to connect directly to the building without any portion of the service connection above grade within the road right of way;
-

A.3.0 Standard Licenses & Inspections (Environmental Protection Branch) Conditions:

- A.3.1 A qualified environmental consultant must be available to identify, characterize and appropriately manage any environmental media of suspect quality which may be encountered during any subsurface work.
 - A.3.2 In the event, contamination of any environmental media are encountered, a Notice of Commencement of Independent Remediation must be submitted to the Ministry of Environment and a copy to the City of Vancouver.
 - A.3.3 Upon completion of remediation, a Notification of Completion of Independent Remediation must be submitted to the Ministry of Environment and a copy to the City of Vancouver.
 - A.3.4 Dewatering activities during remediation may require a Waste Discharge Permit.
 - A.3.5 Submit a copy of the completion of remediation report signed by an Approved Professional stating the lands have been remediated to the applicable land use prior to occupancy permit issuance.
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B.1 Standard Notes to Applicant

- B.1.1 The applicant is advised to note the comments of the Building Review Branch, Vancouver Coastal Health Authority and Fire and Rescue Services Departments contained in the Staff Committee Report dated February 20, 2019. Further, confirmation that these comments have been acknowledged and understood, is required to be submitted in writing as part of the "prior-to" response.
- B.1.2 It should be noted that if conditions 1.0 and 2.0 have not been complied with on or before **September 18, 2019**, this Development Application shall be deemed to be refused, unless the date for compliance is first extended by the Director of Planning.
- B.1.3 This approval is subject to any change in the Official Development Plan and the Zoning and Development Bylaw or other regulations affecting the development that occurs before the permit is issuable. No permit that contravenes the bylaw or regulations can be issued.
- B.1.4 Revised drawings will not be accepted unless they fulfill all conditions noted above. Further, written explanation describing point-by-point how conditions have been met, must accompany revised drawings. An appointment should be made with the Project Facilitator when the revised drawings are ready for submission.
- B.1.5 A new development application will be required for any significant changes other than those required by the above-noted conditions.
- B.1.6 If applicable, details of swimming pools/hot tubs to be submitted to the Environmental Health Division and Provincial Health Engineer prior to construction;

B.2 Conditions of Development Permit:

- B.2.1 All approved off-street vehicle parking, loading and unloading spaces, and bicycle parking spaces shall be provided in accordance with the relevant requirements of the Parking By-law prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.
- B.2.2 All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.
- B.2.3 Any phasing of the development, other than that specifically approved, that results in an interruption of continuous construction to completion of the development, will require application to amend the development to determine the interim treatment of the incomplete portions of the site to ensure that the phased development functions are as set out in the approved plans, all to the satisfaction of the Director of Planning.
- B.2.4 The issuance of this permit does not warrant compliance with the relevant provisions of the Provincial Health and Community Care and Assisted Living Acts. The owner is responsible for obtaining any approvals required under the Health Acts. For more information on required approvals and how to obtain these, please contact Vancouver Coastal Health at 604-675-3800 or visit their offices located on the 12th floor of 601 West Broadway. Should compliance with the health Acts necessitate changes to this permit and/or approved plans, the owner is responsible for obtaining approval for the changes prior to commencement of any work under this permit. Additional fees may be required to change the plans.
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- B.2.5 The owner or representative is advised to contact Engineering to acquire the project's permissible street use. Prepare a mitigation plan to minimize street use during excavation & construction (i.e. consideration to the building design or sourcing adjacent private property to construct from) and be aware that substantial lead time for any major crane erection / removal or slab pour that requires additional street use beyond the already identified project street use permissions.
- B.2.6 This site is affected by a Development Cost Levy By-law and levies will be required to be paid prior to issuance of Building Permits.**
-