

**DEVELOPMENT PERMIT STAFF COMMITTEE MEMBERS**

**PRESENT:**

J. Greer (Chair), Permitting Services  
J. Olinek, Urban Design & Development Planning  
M. Bird, Engineering Services

**ALSO PRESENT:**

C. Chan, Rezoning Centre  
A. Mauboules, Strategic & Long Range Planning  
D. Robinson, Urban Design & Development Planning  
S. Farmand, PDS Landscape  
C. Mauboules, Housing and Homelessness Services  
J. Bateman, Development Services  
B. Casidy, Development Services

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**APPLICANT:**

City of Vancouver  
Non-market Housing Development and Operations  
310 – 814 Richards Street  
Vancouver, BC V6B 3A7

**PROPERTY OWNER:**

City of Vancouver  
453 West 12th Avenue  
Vancouver, BC V5Y1V4

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**EXECUTIVE SUMMARY**

• **PROPOSAL:**

To develop this site with a 13-storey modular apartment building, containing 129 social housing units and parking at-grade accessed from Arbutus Street. The building is targeting Passive House certification.

This application is being processed through the Social Housing or Rental Tenure (SHORT) program.

See   Appendix A Standard Conditions  
      Appendix B Standard Notes and Conditions of Development Permit  
      Appendix C Building Review Branch comments  
      Appendix D Plans and Elevations  
      Appendix E Applicant's Design Rationale

• **ISSUES:**

1. Detailed architectural treatment of the modular tower.
  2. Public realm interface and at grade response to adjacent context.
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**DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATION: APPROVE**

THAT the Board APPROVE Development Application No. DP-2022-00500 submitted, the plans and information forming a part thereof, thereby permitting the development of a 13-storey modular apartment building, containing up to 129 social housing units with parking at grade accessed from Arbutus Street, subject to the following conditions:

**1.0 Prior to the issuance of the development permit, revised drawings and information shall be submitted to the satisfaction of the Director of Planning, clearly indicating:**

**1.1 design development to comply with rezoning condition 1.2 for enhanced articulation and architectural expression of the tower through the following:**

- i. distinguishing the south façade as the most prominent and visible elevation given its direct relationship to Arbutus Station;

**Note to Applicant:** This may be achieved by extending sunshade fins to create a more expressive pattern, by providing feature architectural lighting, and by exploring additional variation in fenestration that could include fritted glazing units or similar architectural means. Refer to rezoning condition 1.2(e).

- ii. reducing perceived repetition on the east and west elevations; and

**Note to Applicant:** Rezoning condition 1.2(d) seeks to mitigate the overall length, perceived flatness and excessive repetition of the elevations. The response should include an additional layer of articulation beyond the scale of the individual module. This could include subtle shifts in the expression of some modules (such as an alternating two-storey/multi-storey expression, variation in treatment of upper levels, or a grouping/patterning/framing of certain façade elements), and/or through additional accent materials or subtle variation in cladding thickness, treatment and/or color.

- iii. providing high quality mechanical screening elements that contribute visual interest to the skyline;

**1.2 design development to comply with rezoning condition 1.3 to enhance the public realm interface by providing the following:**

- i. more welcoming and human-scale pedestrian experience along Arbutus Street through a combination of enhanced architectural lighting and signage, weather protection along portions of the frontage and other similar architectural means;
- ii. more welcoming and engaging pedestrian experience along the Greenway through enhanced ground level building expression including a revised approach to the proposed text art/signage and lighting strategy;
- iii. additional permanent landscape directly south of the exit stair located at the southeast corner of the building; and

- iv. improved clear sightlines and opportunities for passive overlook onto adjacent streets and open spaces at grade along all building frontages;

**Note to Applicant:** This should include provision of clear glazed exit and overhead doors, increasing visual permeability, establishing clear sightlines to building entrances and gathering areas, providing an enhanced lighting strategy, and increasing activity generating functions and features.

- 2.0 That the Conditions set out in Appendix A be met prior to the issuance of the Development Permit.
- 3.0 That the Notes to Applicant and Conditions of the Development Permit set out in Appendix B be approved by the Board.

• TECHNICAL ANALYSIS:

Technical Review For:		2098 W 7th Avenue			CD-1			DP-2022-00500		
		Permitted/Required				Proposed				
Site Area		N/A				1,797.60 m <sup>2</sup>				
Height	Top of Roof Level Parapet	47.1 m			Top of Roof Level Parapet			45.65 m		
	Top of Mechanical Level	50.9 m			Top of Mechanical Level			49.78 m		
FSR <sup>1</sup>		4.4			4.13					
Floor Area <sup>1</sup>		7,909.44 m <sup>2</sup>			7,420.20 m <sup>2</sup>					
Balcony	Total	12%	890.42 m <sup>2</sup>		Total			367.40 m <sup>2</sup>		
Amenity	Total	742.02 m <sup>2</sup>			Total			653.20 m <sup>2</sup>		
Parking <sup>2</sup>					Standard			3		
	Permitted Small Car	25%			4			0		
	Accessible				5			2		
	Total				15			7		
Loading	Class	A	B	C	Class			A	B	C
	Total	0	1	0	Total			0	1	0
Bicycle		Class A		Class B				Class A		Class B
	Total	97		7	Total			181		7
Passenger Loading	Class	A	B	C	Class			A	B	C
	Total	1	0	0	Total			1	0	0
<b>1 Notes on FSR and Floor Area:</b>										
a. The provided data table is missing level 9. Numbers presented here have included the area for this level and the roof access stairs. See Standard Condition A.1.4.i.										
b. The total building perimeter is to be provided to confirm maximum Thermal Exclusion. See Standard Condition A.1.3.										
<b>2 Note on Parking:</b> Parking requirements are subject to TDM analysis.										

• LEGAL DESCRIPTION

Lot: A  
 Block: 305  
 District Lot: 526  
 Plan: EPP128071

• HISTORY OF APPLICATION:

2022-11-16 Complete DP submitted  
 2023-07-26 Development Permit Staff Committee

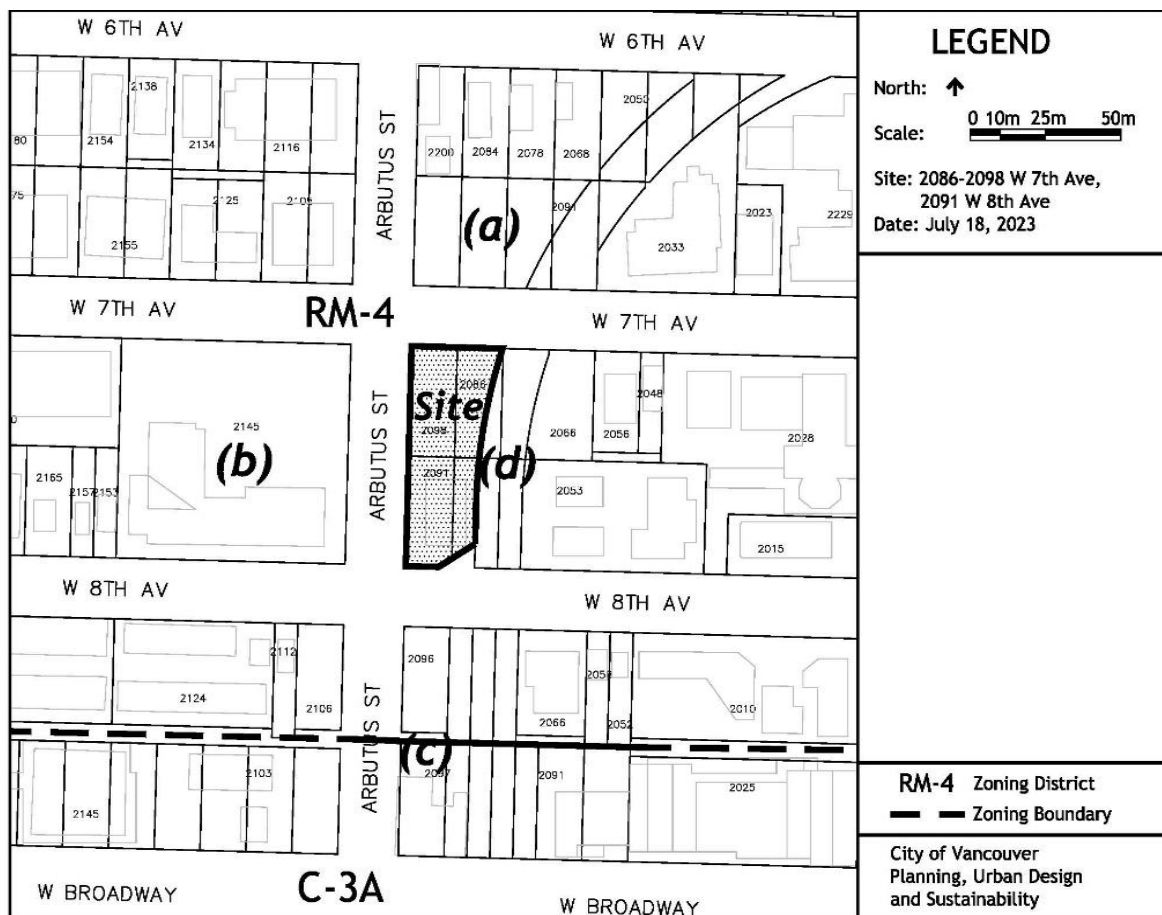
• SITE

This 1,797.6 sq. m (19,349 sq. ft.) currently vacant and irregularly shaped site is located on the east side of Arbutus Street between W 7th Avenue and W 8th Avenue adjacent to the Arbutus Greenway. The site is not served by a lane. North of the site, across W 7th Avenue is Delamont Park. West of the site, across Arbutus Street is St. Augustine School. To the south is the future Arbutus Station, the western terminus of the Broadway Subway currently under construction.

• CONTEXT:

Significant adjacent development includes:

- (a) Delamont Park
- (b) St. Augustine School
- (c) Future Arbutus Station
- (d) Arbutus Greenway



• **BACKGROUND:**

A development permit application for this proposal was submitted on November 16 2022 to permit development of a 13-storey modular apartment building containing 129 social housing units. Council approved in principle rezoning the site from RM-4 (Residential) to a CD-1 By-law at Public Hearing on July 26, 2022. This DP application complies with the provision of the CD-1 By-law that was enacted as a part of the Municipalities Enabling and Validating (No. 5) Amendment Act, 2023 enacted by the Province of British Columbia on May 11, 2023.

On November 10, 2021, the Urban Design Panel (UDP) unanimously supported the rezoning application with recommendations. Staff have addressed the UDP's recommendations through the conditions of approval. Staff have reviewed the conditions listed in this report with the applicant, and are confident these conditions can be satisfied in the applicant's prior-to responses.

• **APPLICABLE POLICIES, BY-LAWS AND GUIDELINES:**

- *CD-1 Bylaw*
- *Equity Framework (2021)*
- *Memorandum of Understanding (2020) (MoU) (between BC Housing, CMHC and the City)*
- *Broadway Plan(2022)*
- *Green Buildings Policy for Rezoning (2010, last amended 2018)*
- *Housing Vancouver Strategy and Action Plan (2017)*
- *City of Reconciliation (2016)*
- *Supportive Housing Strategy (2007)*
- *High Density Housing for Families with Children Guidelines (1992)*
- *Affordable Housing Policies (1991)*

• **RESPONSE TO APPLICABLE BY-LAWS AND GUIDELINES:**

This project proposes to deliver critical affordable homes for adults who are experiencing homelessness, at risk of homelessness or displacement from low-income housing, as well as for residents who may be working and earning very low incomes. This proposal is strategically located to benefit from the new subway line currently under construction, as well as future services and amenities anticipated through the Broadway Plan.

Following is a brief summary of the application's compliance with relevant by-laws and approved conditions of rezoning.

***CD-1 Bylaw***

The proposed uses, density, and height conform to the provisions of the CD-1 By-law, and the intent of the Council-adopted Rezoning Conditions of Approval.

The overall building height has been lowered by approximately 0.9 m (3 ft.) as compared to the rezoning submission.

***Response to Rezoning Conditions of Approval:***

Following approval of the rezoning application by Council at Public Hearing, staff have worked with the applicant to ensure a successful response to the rezoning conditions of approval, with particular focus on:

- Improving the architectural expression of the modular tower to reduce shadow impacts on adjacent properties, reduce perceived height, provide a more responsive residential character, and address a perceived flatness and excess of repetition; and

- Enhancing the public realm interface and podium expression, including increased setbacks and landscape treatment along both W 7th and W 8th avenues, improved visual porosity adjacent to the Arbutus Greenway, enhanced pedestrian interest and comfort at grade, and increased common roof deck area.

Summary of rezoning conditions relevant to the upfront design conditions:

*Rezoning Condition 1.2: Design development to enhance substantively the architectural expression of the tower by breaking down the massing to an even finer grain contributing to an overall warmer and more responsive residential character through the following:*

- Revising the overall tower massing to reduce shadow impact on surrounding properties by reducing the floorplate to a maximum of approximately 6,800 sq. ft.;*
- Removing or revising the metal screening element in favor of an alternative approach to articulation and modulation that reads as more integral to the architecture and addresses all four tower elevations;*
- Reducing the perceived height of the tower by lowering or removing entirely the proposed metal screening element and through a lighter material and/or color variation of the uppermost storeys;*
- Providing considerable improvement to the east tower façade to mitigate its overall length, perceived flatness and excessive repetition, including:*
  - Further strategies to increase articulation and modulation to break down the repetitive nature of the tower facades (as currently seen on the east and north elevations) and to increase visual interest at the detailed view, block scale and long view by exploring additional texturing and patterning;*
  - Introducing further depth and shadow lines through a refined application of cladding material and color palette; and*
  - Exploring opportunities for subtle shifts in massing, including the potential of varying scales, voids, projections and/or cantilevers.*
- Revising the southeast exit stair expression to serve as a prominent defining architectural feature; and*  
**Note to Applicant:** *The intent of this condition is to distinguish the south façade as the most prominent and visible elevation with a direct relationship to a future SkyTrain station and exposure to a major arterial thoroughfare. This may be achieved through a minor shift in location and/or geometric layout of the exit stair and through architectural treatments such as increased glazing, feature architectural lighting, and finer grain material and color application.*
- Providing a durable and warm, high quality material palette including highly detailed and varied pedestrian interest on all elevations.*

**Applicant Response:**

- The revised design has reduced the overall tower massing by shrinking the typical tower floorplate to 645 sq. m (6,942.7 sq. ft.), resulting in one studio unit per floor and reducing the shadows cast on surrounding properties.
- The revised design has removed the metal screen and is proposing an articulated, white terracotta cladding.
- The building has been lowered by shrinking the typical floor-to-floor height, and by reducing the parapet height.
- The revised design addresses the perceived flatness by introducing an angled window recess, emphasizing the colored flashing and two-meter tall window. Additional projections have been added to the south and north facades, helping the long view from Broadway, or from Arbutus Street.
- The south elevation has been redesigned to increase glazing in locations where it will have the most impact to the quality of the interior space. Elegant, slim sunshades have also been introduced to help mitigate solar heat gain.
- The design of the lower elevation has been revised to a rich blue glazed brick with great color depth, and a slight iridescence. The quantity of podium windows has been increased, playfully located across the facades and set into a vertical, textured recess within the brick wall, which provides both visual and tactile pedestrian interest.

**Staff Assessment:**

The removal of the previously proposed metal cladding elements, the lowering of the overall height and the increase in clear glazing have improved shadow performance and resulted in a more contextually-considered and overall warmer building expression. The inclusion of detailed material treatments provide additional texture, variation and pedestrian interest at grade.

Although rezoning condition 1.2(a) seeks a tower floorplate of approximately 632 sq. m (6,800 sq. ft.), staff are recommending approval of a modest increase generally not exceeding 650 sq. m (7,000 sq. ft.), in order to further improve overall functionality and livability for future residents. The marginally expanded floorplate recommended does not result in any evident reduction in shadow performance nor an increase of rentable floor area or unit count. Rather, the additional floor area enhances livability through improved circulation, communal gathering space and laundry facilities at each level, as well as increases building articulation. Staff have reviewed and believe that the proposed floor plate meets the intent of rezoning condition 1.2.

**Condition 1.1** requires further design development to meet the requirements of this rezoning condition, including addressing a perceived excessive repetition on the east and west elevations and an enhanced treatment of the south façade as the most prominent and visible elevation.

*Rezoning Condition 1.3: Design development to substantively enhance the public realm interface and the podium expression to improve overall neighbourhood fit through the following:*

- (a) *Providing for direct visual connections and the opportunity for future direct physical connection at grade between interior programming and the Greenway;*
- (b) *Providing a revised and enhanced building expression and pedestrian experience along 7th Avenue, with particular attention given to the corner of 7th Avenue and Arbutus Street;*
- (c) *Providing increased building setbacks on 7th and 8th Avenues sufficient to deliver a layered buffer of vegetation integrated into the podium facades including small trees and/or low maintenance climbing plant systems with a focus on native and/or pollinator species where appropriate;*
- (d) *Providing a durable and warm, high quality material palette including highly detailed and varied pedestrian interest on all elevations and particularly at grade;*
- (e) *Enhancing residential character by maximizing transparency, articulation, high quality landscape and finer grain pedestrian interest and amenity at grade; and*
- (f) *Design development to maximize the amount of common outdoor roof deck provided to residents.*

**Applicant Response:**

- (a) The amount of glazing on the east elevation adjacent to the Greenway has been increased within the dining area and multi-purpose amenity room. The interior courtyard at grade has full-height curtain wall windows facing east to the Greenway. Additional operable doors have been provided to the Greenway.
- (b) An enlarged setback near the entrance has incorporated layered soft landscaping, a Japanese Maple, and a welcoming gateway bench for rest and to help distinguish the public-private transition of the building entry courtyard. Gently curved glazing at the northwest corner has been extended down to the first floor to provide greater visual access. Additional amenities are also provided at the southeast corner, where a Street Farm has been added along the Greenway and meandering pathways provide an opportunity for residents, guests and the general public to stop and explore.
- (c) The building setback at-grade along W 7th Avenue has increased by approximately 2.2 m. The building setback along W 8th Avenue has increased to allow for a buffer of drought-tolerant native planting and a row of cherry trees.
- (d) Materials on the podium are revised to a rich blue-glazed brick, including textured recesses throughout. This brick has been selected as a modern interpretation of the traditional red brick seen around the neighbourhood. The colour shift allows the building to have a unique identity, while still conveying a sense of durability, permanence, and solidity. On the tower a thin horizontal terracotta panel is provided, resulting in a clean envelope detailing without visible fasteners. A creamy white colour lightens the tower and allows it to blend with the sky.
- (e) Additional windows and landscaping have been provided along with vertical banding. A text art piece with feature lighting is proposed along the Greenway frontage where windows aren't appropriate.
- (f) Two additional small outdoor roof deck areas have been provided on Level 2.

**Staff Assessment:**

Condition 1.2 requires further detailed design development to meet this rezoning condition, recognizing the direct relationship between this site and both the Greenway and future Arbutus Station. The condition includes providing a more welcoming, engaging and human-scale ground-level architectural response along the Arbutus Street and Greenway frontages, as well as increased visual porosity, clear sightlines, enhanced lighting, and refinement of the proposed text art installation. The intent is to achieve an improved pedestrian experience noting this block as a primary north-south connection to an emerging major transit hub.



**• CONCLUSION:**

Staff have reviewed this application to permit development of a 13-storey modular apartment building with 129 social housing units and conclude that the proposed form of development represents an appropriate urban design response to the site and context, provided the design conditions outlined in this report are substantively addressed. Staff recommend approval of this proposal subject to further design development intended to deliver a more contextual architectural expression of the modular tower and a higher performing public realm, given the building's direct relationship to both the Greenway and future Arbutus Station.

Recommend approval by the Development Permit Board.

**ENGINEERING SERVICES**

The recommendations of Engineering Services are contained in the prior-to conditions noted in Appendix A attached to this report.

**LANDSCAPE**

The recommendations of Landscape Services are contained in the prior-to conditions noted in Appendix A attached to this report.

**ENVIRONMENTAL SERVICES**

The recommendations of the Environmental Services are contained in the prior-to conditions noted in Appendix A attached to this report.

**BUILDING REVIEW BRANCH**

This Development Application submission has not been fully reviewed for compliance with the Building By-law. The applicant is responsible for ensuring that the design of the building meets the Building By-law requirements. The options available to assure Building By-law compliance at an early stage of development should be considered by the applicant in consultation with Building Review Branch staff.

To ensure that the project does not conflict in any substantial manner with the Building By-law, the designer should know and take into account, at the Development Application stage, the Building By-law requirements which may affect the building design and internal layout. These would generally include: spatial separation, fire separation, exiting, access for physically disabled persons, type of construction materials used, firefighting access and energy utilization requirements.

Further comments regarding Building By-law requirements are contained in Appendix C attached to this report.

**NOTIFICATION**

A development permit information sign was installed and confirmed on the site June 13, 2023. Additional information was provided on the city's website.

**Summary of Public Comments**

Throughout the notification period, the City received responses of 19<sup>1</sup> in support, 453<sup>1</sup> opposed and 10 with mixed position. In general comments are either for or against social housing, the location and the

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<sup>1</sup> After removal of duplicate submissions

proposed housing model.

Support of the project included the following:

- Desire for faster approval
- Support of social housing
- Density and built form
- Context
- Affordability,
- Inclusiveness
- Supports for residents.

Opposition to the project included the following issues:

- Development process
- Building use: including the housing model, building operations, supports for tenants, site maintenance, and overall affordability
- Location and overall design: including the context, streetscape, size, density, height, aesthetic, solar access, green space, site impermeability
- Safety: including potential criminal activity and safety of neighbors and residents
- Transportation: including traffic, parking and emergency vehicle access
- Broadway Plan
- Perceived conflict of interest

### **Staff Response to Public Comments**

Staff have concluded the proposal aligns with both the overall intent of the Broadway Plan and the Interim Rezoning Policy. The project conforms to the provisions of the CD-1 By-law, including building height and density.

The rezoning application preceded Council approval of the Broadway Plan. Nevertheless, the form of development proposed generally complies with the intent and built form direction of the Plan, including solar access policies. Staff prioritize a hierarchy of public spaces when assessing shadow impacts of a proposal. Public parks are prioritized along with other highly-used public open spaces. A condition of rezoning approval requires that the proposed tower not cast any shadows onto Delamont Park at any time during either equinox. Solar access on other public and private properties has been marginally improved as compared to the rezoning proposal. Staff have reviewed and conclude that the proposed form of development represents an appropriate urban design response to the site and context. Further detailed design development will be required as outlined in the conditions of approval in this report. The recommended design conditions are intended to deliver a more contextual architectural expression of the modular tower and a higher performing public realm, given the building's direct relationship to both the Greenway and future Arbutus Station.

The need for deeply affordable housing exists in all areas of the city, and requires a city-wide response. The City's Housing Vancouver Strategy and community plans call for housing affordability and accessibility for all people in all communities. The City of Vancouver is working with its partners to take collective action to address the critical need for deeply affordable housing.

City staff stay connected to BC Housing and the operator to ensure successful building operations and community integration through the [Operations Management Plan](#) (outlines organizational mandate, programs, processes for community relations and management protocols and processes) as well as a Community Advisory Committee (CAC). The CAC brings together the operator, BC Housing the City and neighbouring residents to facilitate information sharing, discuss opportunities and collaborate to resolve issues related to the building.

On traffic and transportation concerns, staff support the strategies outlined in the application which encourage the use of sustainable transportation choices. These include providing additional bicycle parking, transportation marketing for new residents and multimodal wayfinding signage. The application is

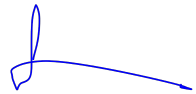
also located within a short walk to the future Arbutus Broadway Subway station, several grocery stores, pharmacies, the Kitsilano Neighbourhood House and is located on the Arbutus Greenway. In addition to the development-required improvements of boulevard installation, sidewalk widening and curb and ramp replacements, a new flashing pedestrian-controlled traffic light at 7th Avenue and Arbutus has been included in the City of Vancouver capital projects list and is targeted for installation in 2024 to improve pedestrian movement and overall safety.

**DEVELOPMENT PERMIT STAFF COMMITTEE COMMENTS:**

The Staff Committee has considered the approval sought by this application and concluded that with respect to the Zoning and Development By-law and it requires decisions by both the Development Permit Board and the Director of Planning.

With respect to the decision by the Development Permit Board, the application requires the Development Permit Board to exercise discretionary authority as delegated to the Board by Council.

Staff Committee supports the proposal with the conditions contained within the report.



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J. Greer  
Chair, Development Permit Staff Committee



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D. Robinson  
Development Planner



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B. Casidy  
Project Coordinator

Project Facilitator: J. Bateman

## DEVELOPMENT PERMIT STAFF COMMITTEE RECOMMENDATIONS

The following is a list of conditions that must also be met prior to issuance of the Development Permit.

### A.1 STANDARD CONDITIONS

A.1.1 The proposed form of development can and does become approved by City Council.

A.1.2 provision of confirmation that Rezoning Condition 1.1 has been met;

**Note to Applicant:** This should be demonstrated by providing an updated digital 3D model and revised shadow studies.

A.1.3 Confirmation of compliance with 10.15 – Floor Area Exclusions for Exterior Wall Thickness of the Zoning and Development By-law.

**Note to Applicant:** Provide perimeters for each exterior wall type and calculations demonstrating the excluded amount.

A.1.4 Provision of revised drawings package, which includes the following:

i. corrected Project Statistics sheet A0.01 including:

- a. the addition of Level 9 and the associated 596.2 m<sup>2</sup>;
- b. the addition of the Roof level and approximately 20.8 m<sup>2</sup> for the roof access stairs;
- c. provided residential spaces corrected to 2 in the parking table;
- d. “total physical spaces provided” corrected to 5 in the parking table or removal of the word “physical”;

ii. the following notations on plans:

“All building dimensions, setbacks and yards are to the outside of cladding”;

“Mechanical equipment (ventilators, generators, compactors, and exhaust systems) will be designed and located to minimize noise impacts on the neighbourhood and comply with Noise By-law No. 6555”;

“The acoustical measures will be incorporated into the final design and construction, based on the consultant’s recommendations”;

“Adequate and effective acoustical separation will be provided between the residential and non-residential portions of the building”;

“The design of the parking structure regarding safety and security shall be in accordance with Section 4.13 of the Parking By-law”;

“The design of bicycle spaces (including bicycle rooms, compounds, lockers and/or racks) regarding safety and security measures shall be in accordance with the relevant provisions of Section 6 of the Parking By-law”.

### STANDARD LANDSCAPE CONDITIONS

A.1.5 Provision of revised and coordinated documents to ensure safe retention of trees “City 6”, “City 9,” “City 10” and “City 12” to “City 16”, per Park Board direction.

**Note to Applicant:** The proposed landscape design shown in the Landscape Plans and the Architectural drawings is not consistent with the Arborist’s Tree Management Plan. Ensure that documents are coordinated and the arborist reviews and discusses anticipated impacts to retained

trees in a revised arborist report, such as impact from the proposed landscaping and any proposed grading, since trees “City12” to “City16” are growing on an existing berm. Removal of trees should not be triggered by proposed landscaping. Any required canopy clearance pruning for trees “City6”, “City 9” and “City 10” to be discussed as well.

A.1.6 Provision of an updated landscape and site plan to reflect the public realm changes including all of the off-site improvements sought for this development permit, including the following:

i. provision of new street trees adjacent to the development site, where applicable;

**Note to Applicant:** Provide a notation on the plan as follows:

**"Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services. New trees must be of good standard, installed with approved root barriers and appropriate soil. Root barriers shall be of rigid construction, 8 feet long and 18 inches in depth. Planting depth of root ball must be below sidewalk grade. Call Park Board for inspection after tree planting completion."**

ii. clearly note the following statement on the Landscape Plan:

**"This plan is “NOT FOR CONSTRUCTION” and is to be submitted for review to Engineering Services a minimum of 8 weeks prior to the start of any construction proposed for public property. No work on public property may begin until such plans receive “For Construction” approval and related permits are issued. Please contact Engineering, Development Services and/or your Engineering, Building Site Inspector for details."**

A.1.7 Provision of confirmed trenching locations for utility connections, avoiding conflict with tree root zones and addition of the following note:

**"Trenching for utility connections to be coordinated with Engineering Department to ensure safe root zones of retained trees. Methods of tree protection for street trees to be approved by Park Board."**

**Note to Applicant:** Methods of tree protection for street trees (as approved by Park Board) to be shown on plan. Relocation of trenching locations are required if in conflict with tree protection. Two separate applications must be applied for: A commercial water permit and another commercial sewer permit. Please contact Engineering services as soon as possible to begin the process for confirming the trenching locations for Sewer and for Water.

A.1.8 Provision of a letter of assurance for arborist supervision.

**Note to Applicant:** Arborist supervision is necessary when any work is required within a minimum root protection zone of a retained tree. The arborist should discuss the details of any supervision requirements within the arborist report, particularly if the plans depict any work that encroaches into a minimum root protection zone. Typically, an assurance letter will outline the critical construction points where the arborist shall be contacted to attend the site. The Letter must be signed and dated by the owner, arborist and contractor.

## A.2 STANDARD ENGINEERING CONDITIONS

A.2.1 Provision of City issued Building Grades to be shown on the site plan/A1.00/A2.01.

**Note to Applicant:** Building grade elevations are missing from the plan along W. 8th Avenue corner cut dedication.

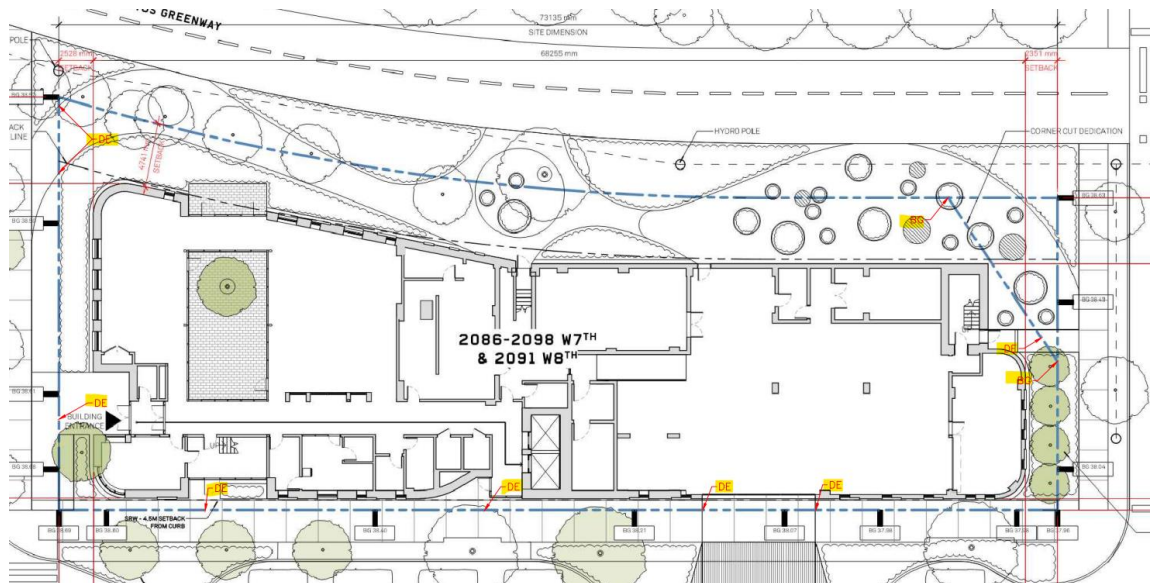
A.2.2 Provision of Design Elevations to be shown on the site plan/A1.00/A2.01.

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**Note to Applicant:** Design Elevations are missing from the plan at corner of driveway(s), parking stalls, pedestrian plazas, middle of entrance(s), access pathway(s), stairs, and corner of retaining wall(s).

- A.2.3 Provision of City issued Building Grades survey benchmark **Monument V-1628** to be used on the **site plan/A1.00/A2.01**, or provide written confirmation specifying the benchmark denoted on any topographic survey used for design purposes is consistent with the benchmark elevation established on the building grade plan issued by the City.

**Note to Applicant:** Please see building grade letter and markup below for more details:



- A.2.4 Provision of an updated landscape and site plan to reflect the public realm changes including all of the off-site improvements sought for this development permit, and shall include the following items and notes:

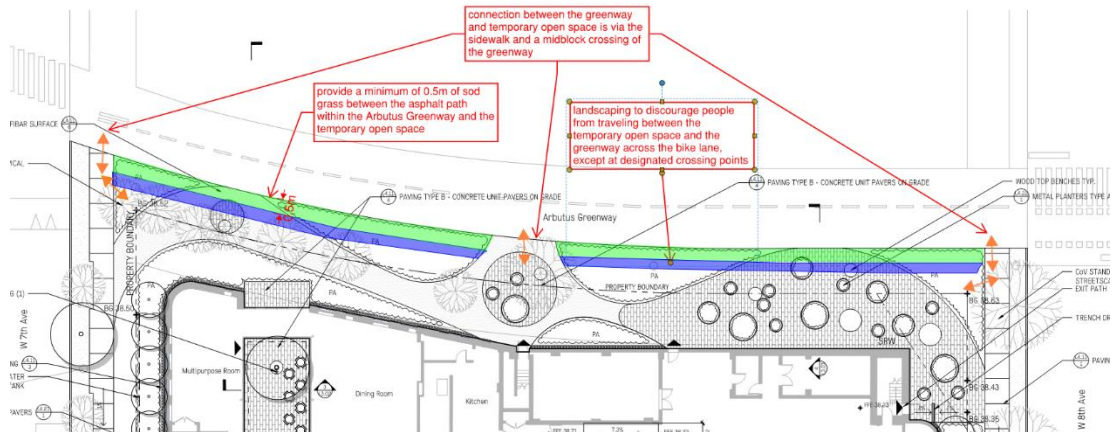
- i. delete proposed specialty pavers from Engineering property shown along W 7th Ave and W 8th Ave;
- ii. show root barriers adjacent private back boulevard trees along W 7th and W 8th Aves;
- iii. note all work to city approved geometric;
- iv. update Architectural and Landscape plans to show the existing curb alignment on Arbutus Street;

**Note to Applicant:** The curb on Arbutus Street is to remain in the existing alignment.

- v. relocate the wayfinding signage proposed on the corner of W 7th Avenue and Arbutus Street to private property;
- vi. Provision of a buffer between the existing asphalt path within the greenway and the temporary open space adjacent to the site.

**Note to Applicant:** The section of the asphalt path that runs along the site is a designated bike lane. A minimum of 0.5m of sod grass must be provided next to the asphalt path. Landscaping is required next to the grass to act as a buffer to discourage people from travelling between the temporary open space and the greenway by crossing the bike path, except at designated crossing points. This could be achieved by providing a landscape buffer with ground treatment such as dry creek bed. Access between the temporary open space and the greenway may be provided at a single mid-block location so as to minimize potential

conflict points between cyclists travelling in the bike lane and people travelling between the greenway and temporary open space.



A.2.5 Compliance with accessibility standards for proposed seating in street right of way, including the following:

- i. A minimum of 50% of public seating must meet accessibility standards as follows:
  - a. Size: Benches shall have seats that are a minimum of 1.6 m (5.2 ft) long, and 0.5 m (1.6 ft) to 0.6 m (2 ft) deep;
  - b. Height: The top of the bench seat surface shall be 0.43 m (1.4 ft) minimum and 0.49 m (1.6 ft) maximum above the ground; and
  - c. Back Support: benches should provide back support or be affixed to a wall. Back support shall be a minimum of 1.6 m (5.2 ft) long and shall extend from a point 0.05 m maximum above the seat surface to a point 0.45 m (1.5 ft) minimum above the seat surface. Back support shall be 0.065 m maximum from the rear edge of the seat measured horizontally.

A.2.6 Provision and confirmation of the following are required in order for Engineering to support plant materials on the ROW:

- i. all plant material within the same continuous planting area which is located on street right of way within 10.0 m (32.8 ft), measured from the corner of an intersection, pedestrian crossing, entrance to a driveway or other conflict areas, shall not exceed a mature height of 0.6 m (2 ft), measured from the sidewalk;
- ii. all plant material within the street right of way that is located outside of the areas described in the bullet above shall not exceed a mature height of 1.0 m (3.3 ft), measured from the sidewalk;
- iii. plants shall be planted in such a way as to not encroach on the sidewalk, street, lane, and/or bike lane and shall provide a minimum 0.45 m (1.5 ft) buffer of low groundcover with a mature height less than 0.3 m (1 ft) or sod grass for plantings adjacent to sidewalks;
- iv. no permanent irrigation system shall be installed in the street Right of Way; and
- v. all planting on street Rights of Way are to be maintained by the adjacent property owner.

**Note to Applicant:** Refer to City of Vancouver Boulevard Gardening Guidelines for more information on boulevard planting.

A.2.7 Provision of improved access and design of bicycle parking, including automatic door openers for all doors providing access to Class A bicycle storage located on Level 1A.



A.2.8 Provision of the following notation on all ground level and parking level plans:

**“Vehicle parking layout approved, subject to compliance with approved Transportation Demand Management (TDM) Plan.”**

A.2.9 Provision of a letter of credit for off site works related to the rezoning conditions of this development RZ-2021-00058.

**Note to Applicant:** See City of Vancouver Treasury Department policy on acceptable forms of security.

A.2.10 Provision of an encroachment agreement to secure ongoing maintenance of proposed planters and benches and plantings in the proposed ‘pollinator garden’ and ‘street farm’ on the Arbutus Greenway property.

**Note to Applicant:** An application to the City Surveyor is required. To enable permit issuance a letter of commitment, to enter into a City standard encroachment agreement for any encroachments, is required. The applicant is advised that building encroachments onto City street may cause problems if strata titling a property, due to Section 244 (1)(f) of the Strata Property Act. In such cases, the City may not necessarily support the provision of easements for any part of the building on City Street. If strata titling is proposed, the applicant is advised to seek independent legal advice on the matter.

A.2.11 Provision of a finalized Transportation Demand Management (TDM) Plan, to the satisfaction of the General Manager of Engineering Services. A TDM Plan with a minimum of 12 points is required to achieve the proposed vehicle parking reduction.

**Notes to Applicant:** The proposed plan appears to achieve 12 points. An updated TDM Plan and architectural plans are required to provide the following additional information and clarifications:

- i. ACT-01 – Additional Class A bicycle parking:
  - a. a total of 8 points are achieved.
- ii. SUP-01 – Transportation Marketing Services:
  - a. a total of 2 points are achieved.
- iii. SUP-03 – Multimodal Wayfinding Signage:
  - a. updated the TDM Plan and Architectural plans to relocate the wayfinding signage onto private property outside of the City ROW;
  - b. a conceptual design of the content (e.g. transit lines, walk time to transit locations, availability of on-site car share vehicles, availability of nearby shared bicycles, etc.) to be displayed;
  - c. a total of 2 points appear achievable for this measure.

A.2.12 Subject to the acceptance of the finalized TDM Plan, entry into a TDM agreement, to the satisfaction of the General Manager of Engineering Services and the Director of Legal Services, which identifies the following:

- i. secures provision of funding towards long-term TDM monitoring funding the amount of amount of \$280 per parking space waived;
- ii. Secures the provision of TDM measures on the site:
  - a. a. ACT-01;
  - b. b. SUP-01; and
  - c. c. SUP-03

- iii. permits the City to access and undertake post occupancy monitoring of the Transportation Demand Management (TDM) measures proposed; and
- iv. agrees to make reasonable adjustments to the TDM measures as requested by the City, based on the TDM monitoring results.

A.2.13 Provision of a complete Rainwater Management Plan (RWMP) achieving the following conditions:

- i. D.3. Provide calculation-sizing summaries of all rainwater BMPs proposed. The calculation-sizing summaries shall demonstrate how each BMP achieves the release rate requirement.

**Note to Applicant:** Update the detention storage calculation shown in Drawing No. RW2 Sheet 2 of 2 using the appropriate target release rate. The 'reduced' target release rate (9L/s) exceeds the pre-development peak flow rate (8L/s). Target release rate shall meet the allowable release rate which is equal or less than the pre-development peak flow rate.

There is discrepancy in the detention storage calculation shown in Drawing No. RW2 Sheet 2 of 2. The peak required storage is incorrect to control the post-development peak flow to match the pre-development peak flow rate.

Volume reduction and water quality treatment requirements are not required per rezoning condition. The required detention storage may be reduced to only what is required for detaining post development peak flow rate to match the pre-development conditions during the 1:5 year design event.

Ensure consistency in release rate estimates. Drawing RW2 Sheet 2 of 2 is showing various release rate estimates.

- ii. D.5. Provide detailed drawings of all proposed rainwater management systems including, but not limited to: locations, geometric properties (including footprint, volume, and depth), method of flow control (including orifice size and control structure configuration), emergency bypass, inverts, stage-storage-discharge table, design criteria and all assumptions. Relevant drawings from other disciplines or design professionals such as landscaping or mechanical plans should be provided as part of the submission package.

**Note to Applicant:** Invert information provided for detention tank system shown in Drawing No C01 Sheet 1 of 1 is inconsistent (example: inlet invert elevation to flow control device shown 36.25m in detention tank profile but 36.10m in Flow Control Storm MH detail).

- iii. D.6. Provide cross-sections and details to demonstrate the overall rainwater management configuration of underground system, if proposed, including the tie-in connection to the municipal service pipe.

**Note to Applicant:** Confirm location of rainwater management system in site plans. Placement of water quality treatment unit and flow control device is shown inconsistently. Water quality treatment unit is located directly downstream of tank in Drawing RW2 Sheet 2 of 2 while flow control manhole is located directly downstream of tank in Drawing C01 Sheet 1 of 1.

- iv. D.8. Confirm that access to various components of the rainwater management system for maintenance purposes is considered in the overall design. Placement of rainwater management system components that would require occupancy of the public right-of-way to perform routine maintenance tasks should be avoided.
- v. D.9. Ensure all designs are in conformance with Book II (Plumbing Systems) of the Vancouver's Building By-law. Note that conformance with the Building By-law is not reviewed by Engineering Services and acceptance of any RWMP does not indicate or imply compliance with the Building By-law.
- vi. D.10. Provide a written response clearly indicating how each of the Prior-To-Letter conditions relevant to Rainwater Management below are addressed in the updated submission.
- vii. D.11. Provide a completed Rainwater Management Project Summary Form as a PDF in a

separate file to the RWMP. For a fillable copy of the form, refer to the [rainwater management webpage](#).

As of August 17, 2022, the Rainwater Management Bulletin has been updated to clarify the City's review process and detail submission requirements for applicants. In preparing for resubmission at development permit, please review the document and its associated appendix. Additional information can be found at the following link: <https://vancouver.ca/home-property-development/private-realm-rainwater-management.aspx>

As per Council approval, a Rainwater Management (RWM) Package will no longer be required as part of any new development application submitted after July 25, 2023. For existing development applications submitted before July 25, 2023, and seeking issuance before January 1, 2024, all RWM conditions identified as part of the Prior-to letter must be satisfied.

Please contact the City of Vancouver's Rainwater Management Group for any questions or concerns related to the conditions or comments prior to resubmission with the DP application. A meeting may be scheduled upon request by contacting [rainwater@vancouver.ca](mailto:rainwater@vancouver.ca).

- A.2.14 Registration of a Rainwater Management Agreement to the satisfaction of the General Manager of Engineering Services and the Director of Legal Services prior to the issuance of the Development Permit.

**Note to Applicant:** The legal agreement restricts the issuance of a building permit until the final RWMP and Operations & Maintenance (O&M) Manual have been accepted by the City. The rainwater management system shall be inspected as necessary during and after construction. A Registered Professional is to inform the City by letter bearing their professional seal to confirm the system has been constructed as per the accepted RWMP prior to occupancy.

- A.2.15 Provision of a canopy application may be required should the encroaching structure(s) meet the specifications set out in Section 1.8.8 of the Vancouver Building By-Law.

**Note to Applicant:** An application for a Permit to Use City Property must be submitted to Engineering Development Services for the proposed canopy encroaching onto City Street. Canopies must be fully demountable and comply with all applicable requirements of the Vancouver Building By-law (Section 1.8.8).

### A.3 STANDARD LICENSES & INSPECTIONS (ENVIRONMENTAL SERVICES) CONDITIONS:

- A.3.1 The property owner shall:

- i. Submit a Site Disclosure Statement to Environmental Services;
- ii. As required by the Manager of Environmental Services and the Director of Legal Services in their discretion, do all things and/or enter into such agreements deemed necessary to fulfill the requirements of Section 571(B) of the Vancouver Charter and Section 85.1(2)(g) of the Land Title Act, if applicable; and
- iii. If required by the Manager of Environmental Services and the Director of Legal Services, in their discretion, enter into a remediation agreement for the remediation of the site and any contaminants which have migrated therefrom on terms and conditions satisfactory to the Manager of Environmental Services and Director of Legal Services, including a Section 219 Covenant that there will be no occupancy of any buildings or improvements on the site constructed pursuant to this development, until a Certificate of Compliance for each of the on-site contamination and the dedicated lands, if any, have been issued by the Ministry of Environment and provided to the City.

**Note to Applicant:** Conditions (i) and (ii) have been met. Based on information provided in the site disclosure statement, a remediation agreement will not be required as per (iii).

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**B.1 STANDARD NOTES TO APPLICANT**

- B.1.1 The applicant is advised to note the comments of the Building Review Branch contained in the Staff Committee Report in Appendix C. Further, confirmation that these comments have been acknowledged and understood, is required to be submitted in writing as part of the “prior-to” response.
- B.1.2 It should be noted that if conditions A.1 and A.2 have not been addressed on or before **(6 months after DP Board date)**, this Development Application may be refused, unless the date for compliance is first extended by the Director of Planning.
- B.1.3 This approval is subject to any change in the Official Development Plan and the Zoning and Development Bylaw or other regulations affecting the development that occurs before the permit is issuable. No permit that contravenes the bylaw or regulations can be issued.
- B.1.4 Revised drawings will not be accepted unless they fulfill all conditions noted above. Further, written explanation describing point-by-point how conditions have been met, must accompany revised drawings. An appointment should be made with the Project Facilitator when the revised drawings are ready for submission.
- B.1.5 A new development application will be required for any significant changes other than those required by the above-noted conditions.

**B.2 CONDITIONS OF DEVELOPMENT PERMIT:**

- B.2.1 All approved off-street vehicle parking, loading and unloading spaces, and bicycle parking spaces shall be provided in accordance with the relevant requirements of the Parking By-law and any TDM Plan and agreement prior to the issuance of any required Occupancy Permit, or any use or occupancy of the proposed development not requiring an Occupancy Permit and thereafter permanently maintained in good condition.
  - B.2.2 All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.
  - B.2.3 Any phasing of the development, other than that specifically approved, that results in an interruption of continuous construction to completion of the development, will require application to amend the development to determine the interim treatment of the incomplete portions of the site to ensure that the phased development functions are as set out in the approved plans, all to the satisfaction of the Director of Planning.
  - B.2.4 The issuance of this permit does not warrant compliance with the relevant provisions of the Provincial Health and Community Care and Assisted Living Acts. The owner is responsible for obtaining any approvals required under the Health Acts. For more information on required approvals and how to obtain these, please contact Vancouver Coastal Health at 604-675-3800 or visit their offices located on the 12<sup>th</sup> floor of 601 West Broadway. Should compliance with the health Acts necessitate changes to this permit and/or approved plans, the owner is responsible for obtaining approval for the changes prior to commencement of any work under this permit. Additional fees may be required to change the plans.
  - B.2.5 The owner or representative is advised to contact Engineering to acquire the project’s permissible street use. Prepare a mitigation plan to minimize street use during excavation & construction (i.e. consideration to the building design or sourcing adjacent private property to construct from) and be aware that substantial lead time for any major crane erection / removal or slab pour that requires additional street use beyond the already identified project street use permissions.
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- B.2.6 The project shall have a Community Advisory Committee (CAC) that includes community members, as well as others representing community interest. The CAC shall announce membership and convene a first meeting prior to Occupancy Permit issuance in order for BC Housing, MPA (as the operators) and the City of Vancouver to update the CAC members on project progress.
- B.2.7 A qualified environmental consultant must be available to identify, characterize and appropriately manage any environmental media of suspect quality which may be encountered during any subsurface work.
- B.2.8 All work on the site must be conducted in compliance with British Columbia's Environmental Management Act and Contaminated Sites Regulation.
- B.2.9 In the event that contamination of any environmental media is encountered, a Groundwater Quality Declaration or Waste Discharge Permit Application must be submitted prior to commencing dewatering activities.
- B.2.10 This application may be eligible for Development Cost Levy (DCL) Waiver.

Additional fees, conditions and processing time may be required should a Development Cost Levy DCL Waiver be pursued. More information is available at:

<https://vancouver.ca/files/cov/development-cost-levies-bulletin.pdf>

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## C.1 BUILDING REVIEW BRANCH COMMENTS

The following comments have been provided by the Building Review Branch based on the preliminary drawings prepared by Human Studio Architecture and Urban Design Ltd. dated November 15, 2022 for the proposed development permit application.

- C.1.1 This is a preliminary review in order to identify major issues which do not comply with Vancouver Building Bylaw #12511 as amended (VBBL 2019). See the following page:  
<http://vancouver.ca/your-government/vancouver-building-bylaw.aspx>.

This is a new construction to develop a new 13-storey multiple dwelling building containing a total of 129 non-market housing units, with parking at grade. This project is being processed through the SHORT program and is a part of the Permanent Modular Supportive Housing Initiative (PMSHI).

The following information should be included at Building Permit Application Stage:

- i. As of November 1, 2019, all submissions are to be in accordance with the VBBL 2019.
- ii. Alteration shall not increase the non-conformity of the existing building or create non-conformity with respect to VBBL 2019. All new work shall conform to VBBL 2019.
- iii. \*All standpipes are required to be located in the exit stairway per NFPA 14.
- iv. \*The path of travel to the exit on the east side of the storage garage is required to be at least 1100 mm wide; every exit door is required to swing in the direction of exit travel (i.e. north exterior door of storage garage).
- v. It seems an exit door into Stair 1 has been mistakenly omitted on Level 1A.
- vi. \*An occupancy in the corridor or the door in its swing shall not reduce the unobstructed width of the corridor to less than its required width (i.e. furniture, doors out of Amenity Terrace, etc.).
- vii. All door swing directions would need to be reviewed & confirmed once the occupant load of a floor area or parts of a floor area is determined.
- viii. \*A clear floor space at least 900 mm wide that is parallel and adjacent to the open side of a water closet is required for all universal washrooms. Also, doors are required to be provided with the clearance requirements of Sentence 3.8.3.6.(11).
- ix. Water valves and controls are required to be reachable from a 750 mm x 1200 mm clear floor space in front of a bathtub or shower (i.e. located on the wall opposite the vanity/toilet).
- x. All new architectural, mechanical and electrical components are required to comply with the energy and emissions requirements of the Vancouver Building By-law #12511.. Please add to your drawings the Energy Statements per the "Energy Statements on Drawings" requirements found within the City of Vancouver energy webpage (<http://vancouver.ca/building-energy-requirements>).

\*Items marked with an asterisk have been identified as serious non-conforming Building By-law issues.

Written confirmation that the applicant has read and has understood the implications of the above noted comments is required and shall be submitted as part of the "prior to" response.

The applicant may wish to retain the services of a qualified Building Code Consultant in case of difficulty in comprehending the comments and their potential impact on the proposal. Failure to address these issues may jeopardize the ability to obtain a Building Permit or delay the issuance of a Building Permit.

- C.1.2 The Canadian Electrical Code regulates high voltage overhead conductor clearances from structures and dielectric liquid-filled transformer clearances from combustible building surfaces, doors, windows, and ventilation openings. All structures must have a horizontal distance of at
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least 3 m from existing BC Hydro high voltage overhead conductors. Combustible building surfaces, windows, doors, and ventilation openings must be located at least 6 m from dielectric liquid-filled, pole-mounted BC Hydro transformers, unless an acceptable non-combustible barrier is constructed between these transformers and combustible building surfaces, doors, windows, or ventilation openings.

If the building design cannot meet these requirements, modifications must be made. If you wish to discuss design options, please contact Electrical Inspections Plan Reviewer at 604.871.6401.