

**DEVELOPMENT, BUILDINGS & LICENSING**

**All documents/drawings listed in this checklist are required to be included in your Building Permit application package unless otherwise noted.**

**To submit your Building Permit application online, visit [vancouver.ca/building-development-support](http://vancouver.ca/building-development-support)**

**If you do not have an online account, visit [vancouver.ca/permits/apply](http://vancouver.ca/permits/apply) to create one.**

**When submitting your application package:**

1. Ensure that each required drawing/document is included in your application package.
2. Use vector format PDF (scanned paper drawings may not be accepted and may delay the approval of your permit). Staff will not accept scanned copies of drawings produced in CAD (computer-aided design).
3. Submit all drawings separately from other non-drawing documents, such as schedules, forms, and reports.
4. Submit each complete document separately (for example, your drawings need to be one complete document file that you upload). Combining multiple or different document types will delay the processing of your application. Where file sizes are large (over 300mb) and drawings must be separated, each discipline must be uploaded as a separate file.

For more information on document submission standards, visit [Electronic permit applications](#) <sup>1</sup>

Fees are assessed when staff review the application for completeness and must be paid before detailed reviews can start.

This checklist pertains to **Construction of Detached Garage or Carport** building permit applications. For other types of Building Permit applications visit [Vancouver.ca/BuildingApplications](http://Vancouver.ca/BuildingApplications).

**This checklist is not limited in its content. Upon review of each submitted application, additional documents or drawings not listed may be required to continue the review process.**

**Documents – required unless otherwise noted**

Title	Details: Where to find document, instructions and conditions when required	Notes
Application Form	<a href="#">Development and / or Building Application Form</a> <sup>2</sup>	
Arborist Report	Prepared by an ISA Certified Arborist to assess existing trees either for retention or removal as noted in section 7.2 of the <a href="#">Protection of Trees By-law</a> <sup>3</sup> . Not required for applications without site trees or adjacent trees, or for applications that meet Section 7.3 of the Protection of Trees By-law.	
Owner Undertaking Letter	<a href="#">Schedule E-1- Owner's Undertaking Letter</a> <sup>4</sup>	

**Letters of Assurance – required unless otherwise noted**

Title	Details: Where to find document, instructions and conditions when required	Notes
Schedule B - Architectural	<a href="#">Schedule B - Architectural</a> <sup>5</sup> Required if design does not comply with <a href="#">Part 9 of the VBBL</a> <sup>6</sup> . Professional Seal and Signature required. See General Notes section for details.	
Schedule B - Structural	<a href="#">Schedule B - Structural</a> <sup>5</sup> Required if design does not comply with <a href="#">Part 9 of the VBBL</a> <sup>6</sup> . Required where proposed construction includes laminated beams, beams or joists exceeding maximum allowable span in the Vancouver Building By-Law and where masonry/concrete construction is proposed. Professional Seal and Signature required. See General Notes section for details.	
Schedule B - Geotechnical	Required if proposed excavation is more than 1.2m (4 ft.) in depth or as otherwise may be required. Professional Seal and Signature required. See General Notes section for details.	

**Drawings - required unless otherwise noted - Scale not less than 1/4" = 1'0" (1:50) unless otherwise noted.**

Title	Details: Where to find document, instructions and conditions when required	Notes
Architectural Site Plan	See Site Plan requirements listed at the end of this checklist.	
Site Coverage and Impermeable Site Coverage Details	See Site Coverage and Impermeable Site Coverage Details requirements listed at the end of this checklist.	
Floor Plan	See Floor Plan requirements listed at the end of this checklist.	
Elevation Plan	See Elevation Plan requirements listed at the end of this checklist.	For each side of the building
Cross Section(s) & Construction Details	See Cross Section(s) & Construction Details requirements listed at the end of this checklist.	

## General Notes

### Professional Seal and Signature Requirements:

Some files listed above require a professional seal and digital signature from the Association's endorsed signing authority. Please have your engineer, architect, qualified professional or other follow the instructions outlined by their Association's endorsed signing authority. For example, if the Association uses Notarius, please follow their instructions to digitally stamp and sign a document. Note that an image of a signature or initials does not constitute a digital signature.

For more information on how to add a digital signature, refer to the [Electronic Permit Applications](#) <sup>1</sup> page.

## Drawing Details

### Cross Sections and construction details requirements:

- Height of all half storeys or dormers where floor area has a minimum ceiling height of 4 feet (1.2m)
- Wall, roof and/or ceiling assemblies
- Lintel, beam, joist and stud sizes including spacing and lumber grade
- Prefabricated roof trusses/ Laminated wood or steel beams
- Dimension of eave projections
- Roof drainage system is to be indicated on the site plan. Must be designed to comply with [2019 Vancouver Plumbing By-law section 2.4.2.4](#) <sup>7</sup> and Bulletin 2019-008-PL: [Siting Requirements for On-Site Infiltration Systems](#) <sup>8</sup>.

### Elevation Plan requirements:

- New buildings - all four elevations(front, rear and two sides)
- Additions and exterior alterations - sufficient number of elevations to adequately represent the proposal
- Exterior cladding - finish details and material of exterior
- Existing and proposed grade elevation numbers including building height at the peak, mean and eave elevations
- Eave overhang dimensions including gutters
- Indicate location of all windows, doors and skylights, including sizes
- Indicate the elevation of proposed top of concrete around the perimeter of the building.
- Indicate roof pitch and roofing material

### Floor Plan requirements:

- Scale not less than 1/4" = 1'0" (1:50)
- Indicate all outside building dimensions
- Indicate all inside floor dimensions. Note: Parking spaces to be designed to meet the minimum requirements of the [Parking By-law](#) <sup>9</sup>
- Indicate all door and windows sizes
- Indicate any or all plumbing fixtures
- Indicate direction, location and size of all joists, beams, lintels, girders, girder supports and trusses
- Clearly indicate proposed work if adding to an existing building (highlight)

### Site Coverage and Impermeable Site Coverage Details requirements:

- Scale not less than 1/8" = 1' 0" (1:100)
- Address
- Indicate and dimension all impermeable materials, including all buildings, sidewalks, paved areas, decks, pools, plastic planting area sheets and other construction which stops rain water from directly entering the soil on the site
- Impermeable material site coverage statement (maximum and proposed)
- Include Site Coverage Calculation
- Impermeable Site Coverage Calculation when the site is located in a zone with impermeable site coverage regulations (including, but not limited to, all RS zones).
- All impermeable areas to be Labeled and dimensioned
- Indicate size and type of material in gravel / rock areas.
- Include Impermeable Material Site Coverage:

Permitted:	_____	_____ %
Proposed:	- Principal Building	_____
	- Accessory Building(s)	_____
	- Decks	_____
	- Sidewalks	_____
	- Other Areas	_____
Total Proposed:	_____	_____ %

### Site Plan requirements:

- Scale not less than 1/8" = 1' 0" (1:100)
  - Address
  - Legal Description: Lot, Subdivision, Block, District Lot, Plan Number, and north arrow
  - Dimensions of site
  - Street names, location and dimensions of lanes
  - Size of all yards measured from the property line, including front yard, side yards and rear yard
  - Building dimensions - this includes the principle building and any existing or proposed accessory buildings
  - Existing & finished grade levels at the four corners of the site and at the four corners of the proposed accessory building, and two grade levels at the center line of the lane adjacent to the proposed accessory building
- Continued on next page

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- Setbacks must be taken from the established building line where applicable. Note: Where lane dedication or building line exists, setbacks must be taken from the dedication line or building line.
- Refer to Section 10.4 of the [Zoning and Development bylaw](#)<sup>10</sup> for setbacks on corner flanking sites
- Proposed accessory building slab elevation Refer to: Bulletin 2000-011-BU: [Detached Garage And Parking Slab Elevations](#)<sup>11</sup>
- Clearly indicate the location of proposed work if adding to the building
- Indicate any right-of-ways, registered easement or encroachments Location of any existing trees with trunks over 8"(20cm) thick, measured 3' (90cm) above the grade
- Width of access to parking and the number of spaces provided
- Indicate the location of existing or proposed driveways from a street
- Indicate ultimate property lines
- Roof drainage system is to be indicated on the site plan. Must be designed to comply with [2019 VPBL section 2.4.2.4](#)<sup>6</sup> and Bulletin 2019-008-PL: [Siting Requirements for On-Site Infiltration Systems](#)<sup>12</sup>.
- Indicate the location of trees and tree barriers, refer to the [Protection of Trees By-law](#)<sup>3</sup>
- Include Site Coverage Calculation Statement:

Permitted: \_\_\_\_\_ sf \_\_\_\_\_ %

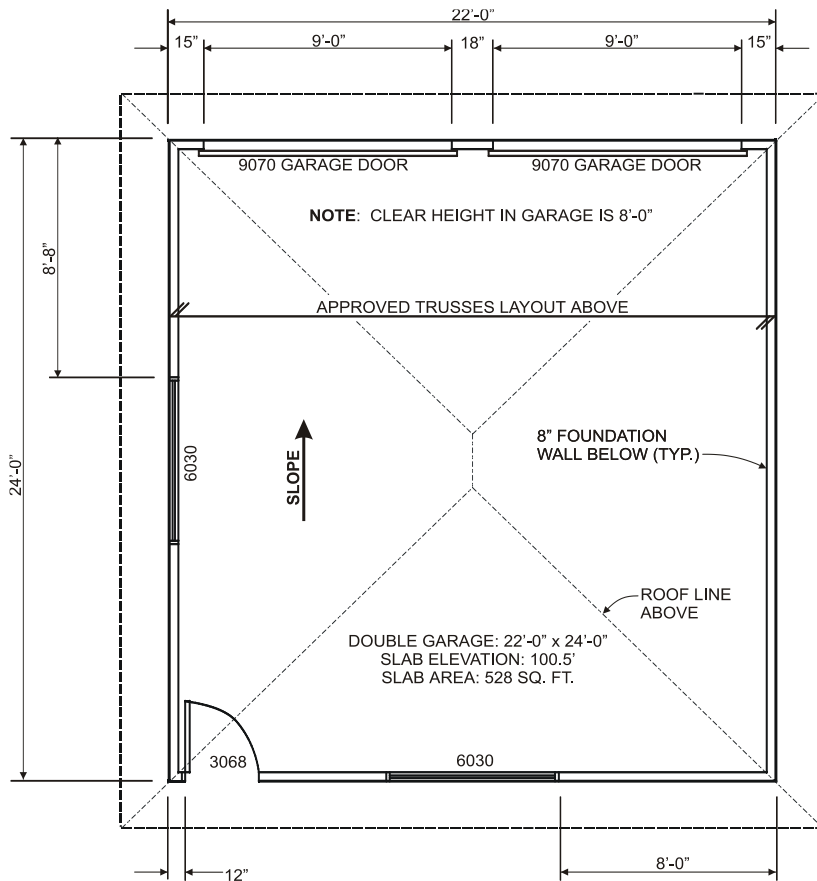
Proposed: - Principal Building \_\_\_\_\_

- Accessory Building(s) \_\_\_\_\_

Total Proposed: \_\_\_\_\_ sf \_\_\_\_\_ %

**The drawings in this guide are for sample purposes only and are not to be used for submission.**

Figure 1 Floor Plan



**PLAN VIEW**

SCALE: 1/4" = 1'-0"

Figure 2 Site Plan

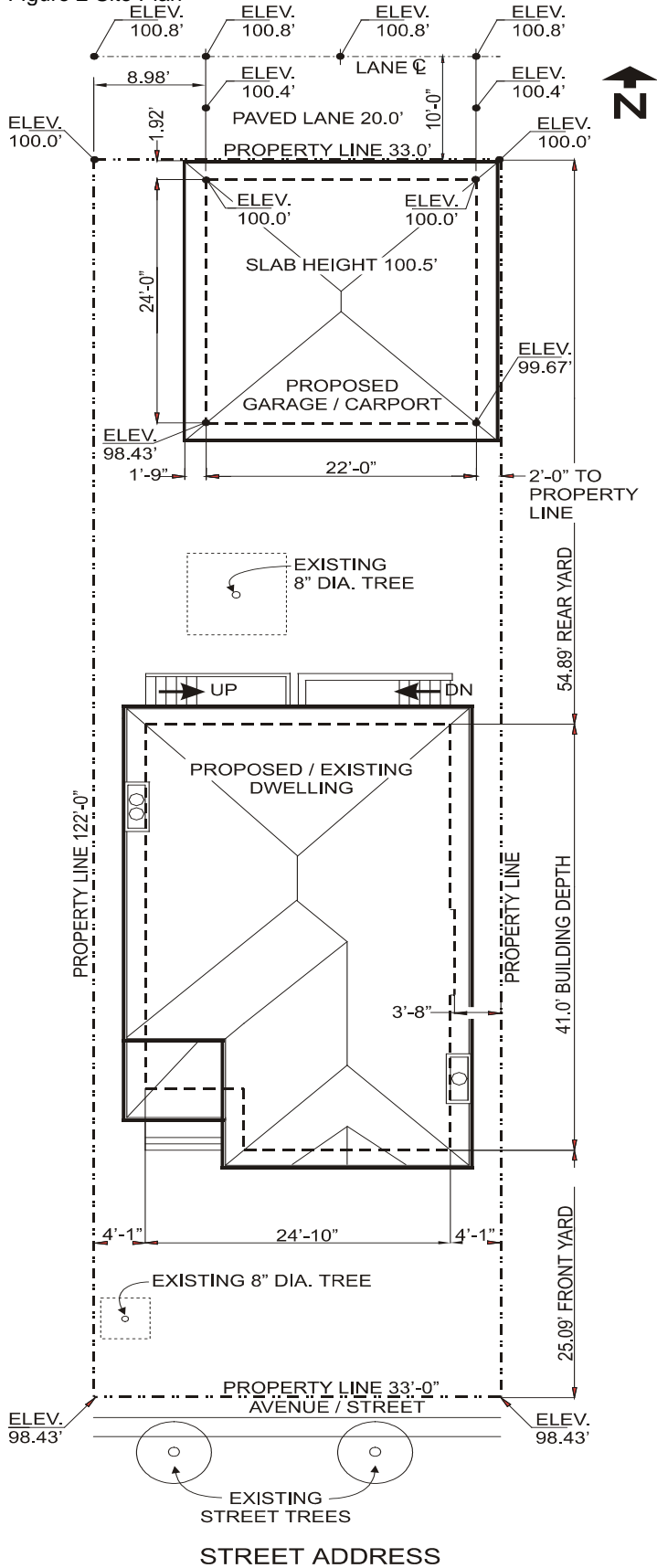


Figure 3 Permeable Material Site Coverage Plan

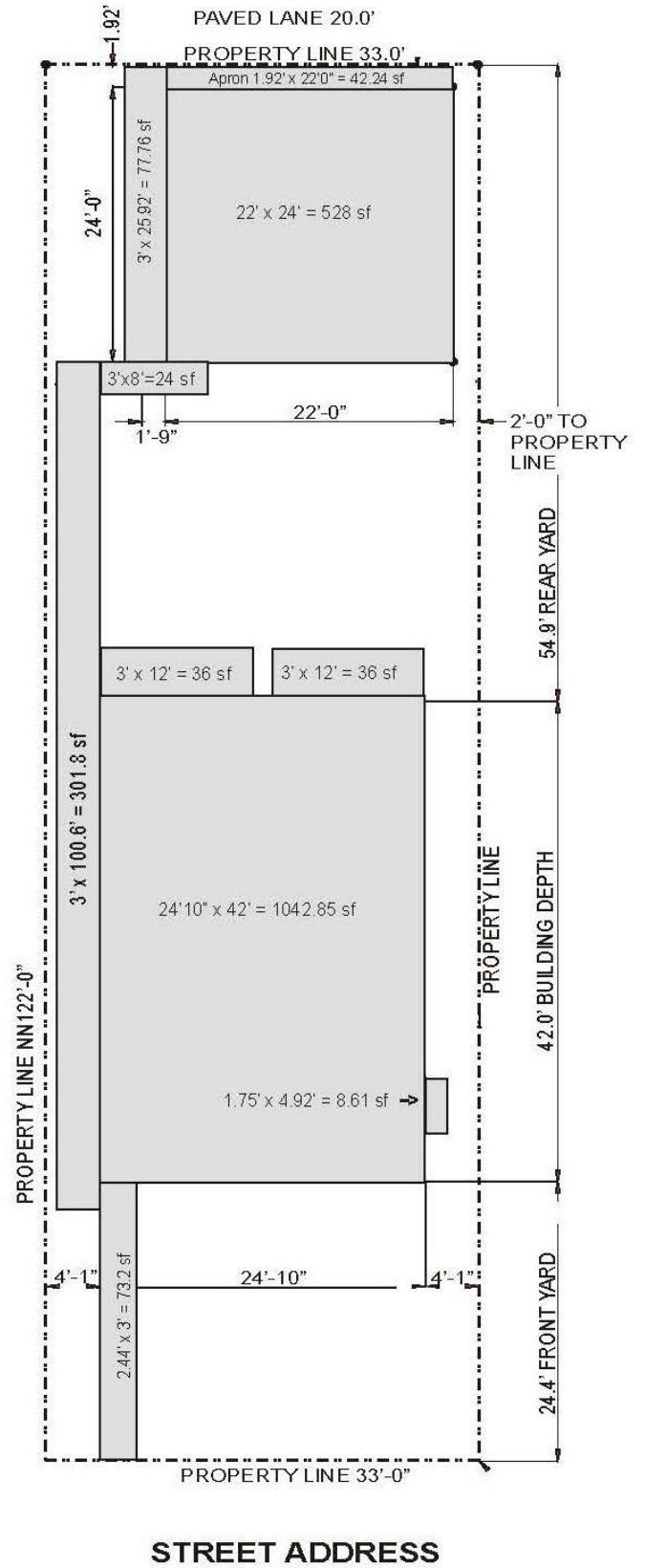
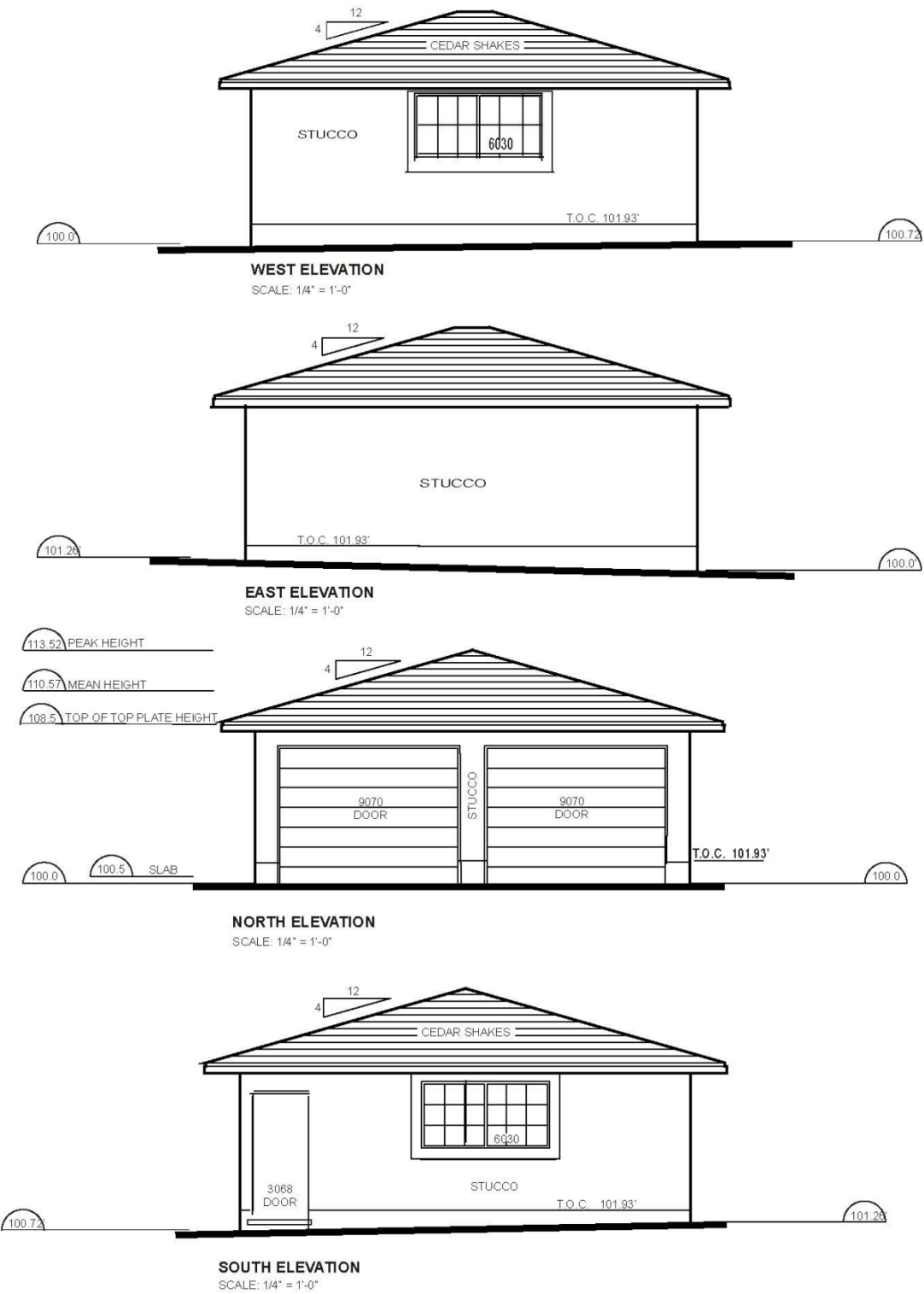
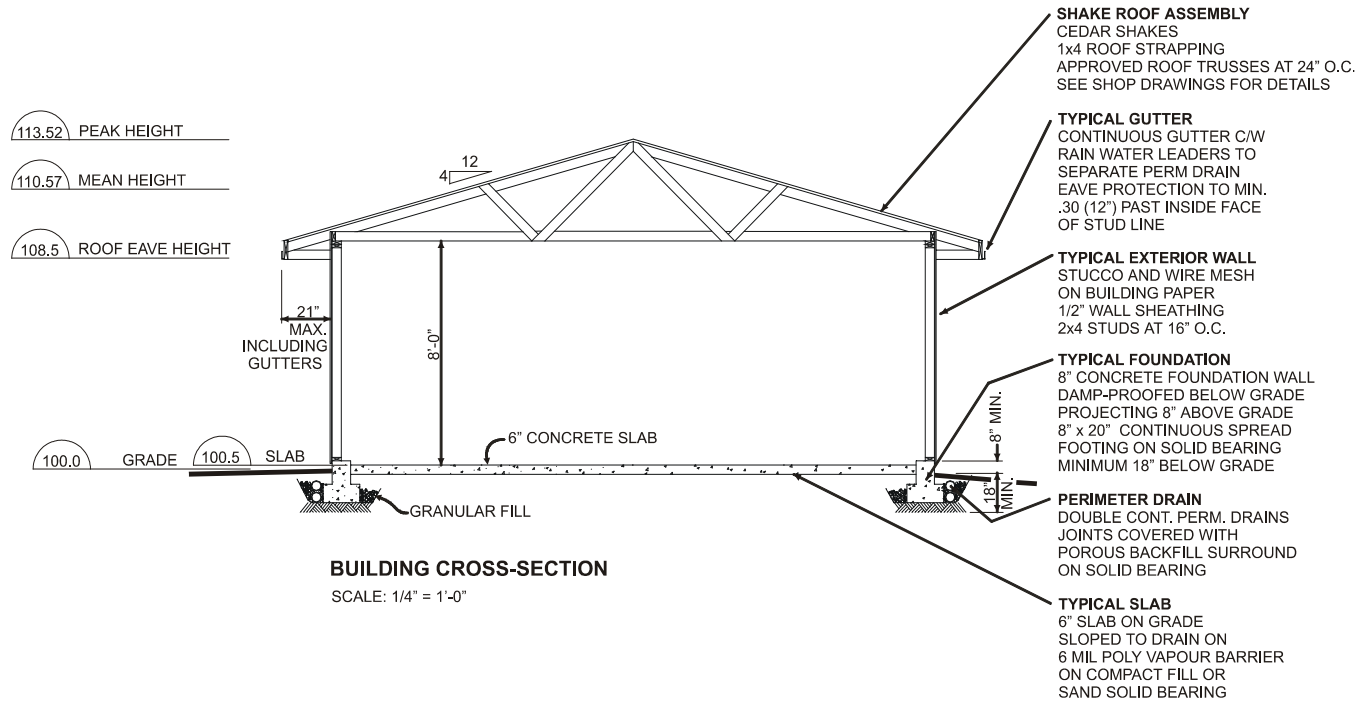


Figure 4 Elevation Plans



**GARAGE ELEVATION PLANS**

Figure 5 Cross Section



- 1 <https://vancouver.ca/home-property-development/electronic-permit-applications.aspx>
- 2 <https://vancouver.ca/files/cov/dev-build-app-form.pdf>
- 3 <https://vancouver.ca/your-government/protection-of-trees-bylaw.aspx>
- 4 <https://vancouver.ca/files/cov/schedule-e-1-owners-undertaking-letter-building-bylaw-2019.pdf>
- 5 <https://vancouver.ca/files/cov/schedule-b-assurance-professional-design-field-review-building-bylaw-2019.pdf>
- 6 <https://bccodes.ca/vancouver-bylaws.html>
- 7 <https://free.bcpublishings.ca/civix/content/public/vpbl2019/1434693682/1477837751/?xsl=/templates/browse.xsl>
- 8 <https://vancouver.ca/files/cov/2019-008-siting-requirements-for-on-site-infiltration-system.pdf>
- 9 <https://vancouver.ca/your-government/parking-bylaw.aspx>
- 10 <https://vancouver.ca/home-property-development/zoning-and-land-use-policies-document-library.aspx#sections>
- 11 <https://vancouver.ca/files/cov/2000-011-detached-garage-and-parking-slab-elevations.pdf>
- 12 <https://vancouver.ca/files/cov/2019-008-siting-requirements-for-on-site-infiltration-system.pdf>