

New Home Construction in The City of Vancouver

The Process and Common Questions

*Brought to you by
Development Services*



Outright vs. Conditional Zoning

Outright	Conditional
•Less density	•More density
•Complies with all regs	•Regs have some flexibility (discretion)
•No Guidelines	•Design Guidelines apply
•Fewer application requirements	•More application requirements (context photos, material choice, landscape plan)
•No notification	•Neighbourhood notification
•Shorter process	•Longer process

Outright vs. Conditional Most Common Zoning Schedules for 1&2 FD

Outright

RS-1

Outright or Conditional

RS-5, RS-6

Conditional

RT, FSD, RA

Enquiry Period: Applicant Homework

- Make a site visit
- Gather Information
 - *Know your address, zoning schedule*
 - *Take photos, including of neighbouring sites*
 - *Get survey, including significant trees*
- Understand the rules that apply
 - *Address, zoning district, existing condition*
 - *Read the applicable By-laws & Guidelines*
- Confirm what you want to do
 - *project scope, outright or conditional*



Where Can You Get Help

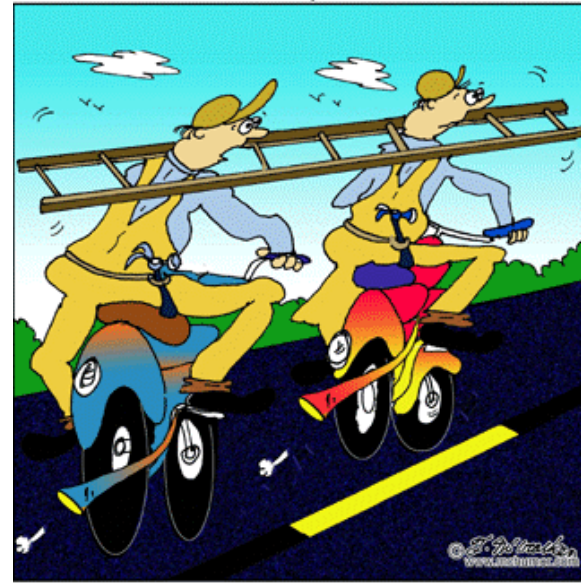
- Phone Centre - 604-873-7611
- Enquiry Centre (in person) -
2nd Floor, East Wing, City Hall
Hours 8:30-4:30 Mon-Fri

• VanMap - <http://vancouver.ca/vanmap/>

• Website -

<http://vancouver.ca/commsvcs/development/services/>

McHUMOR.com by T. McCracken



"When's the truck going to be fixed?"

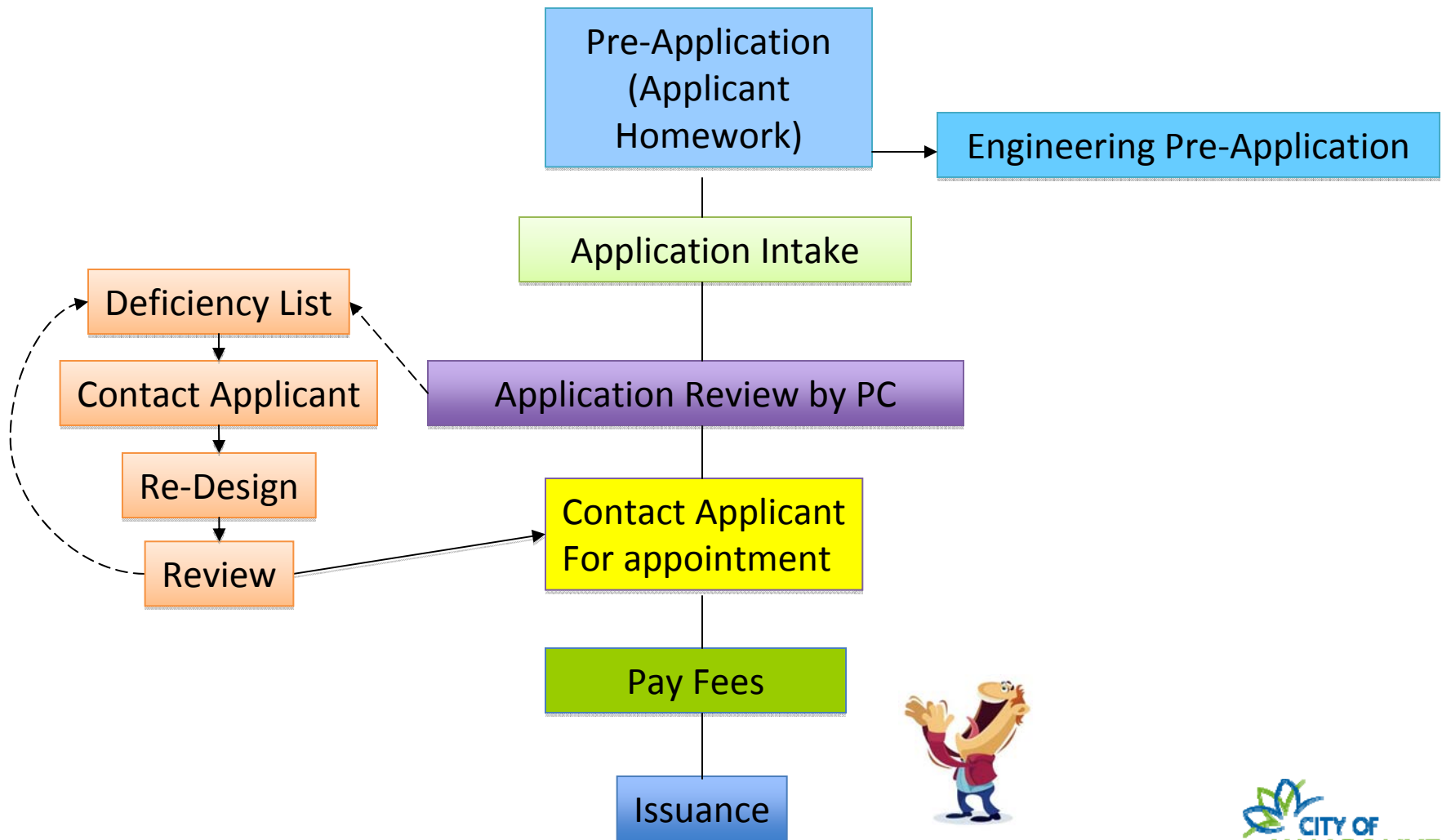
At the end of your Enquiry

You should understand...

- Viability of your project
- What zoning by-laws and Guidelines apply
- Whether your project is "Outright" or "Conditional"
- What you need to do next (prepare Outright application or, for Conditional, book pre-app meeting with Planning)

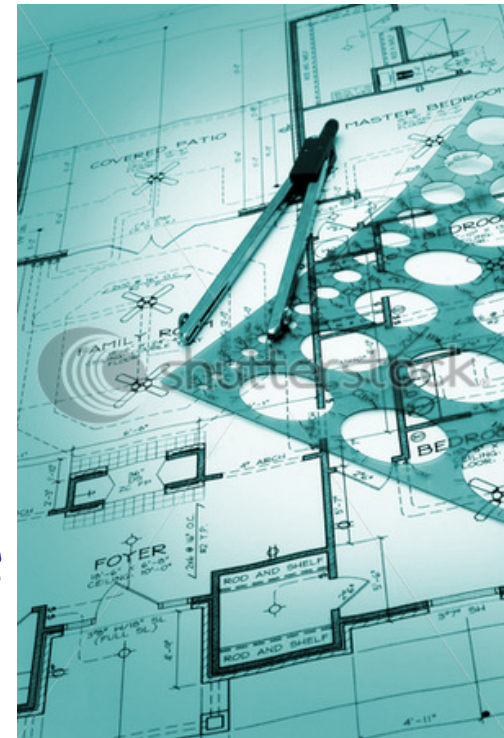


The Outright Process



Outright Pre-Application

- Who could be involved?
 - Enquiry Centre
 - Subdivision
 - Addressing
 - Supervisor - 1 & 2 Family Dwellings
 - Engineering
 - Landscaping



Outright -Application Intake

- Applicant calls the Intake Line to book an appointment - 871-6526
- At meeting, check all application requirements are complete
- Check for "showstoppers"



During the Outright Review...

- Review for compliance with:
 - Zoning & Development Bylaw
 - Vancouver Building Bylaw
 - Parking Bylaw
 - Bulletins & Policies
- Review legal documents on title
- Coordinate with Subdivision, Fire Department, & Processing Centre - Building



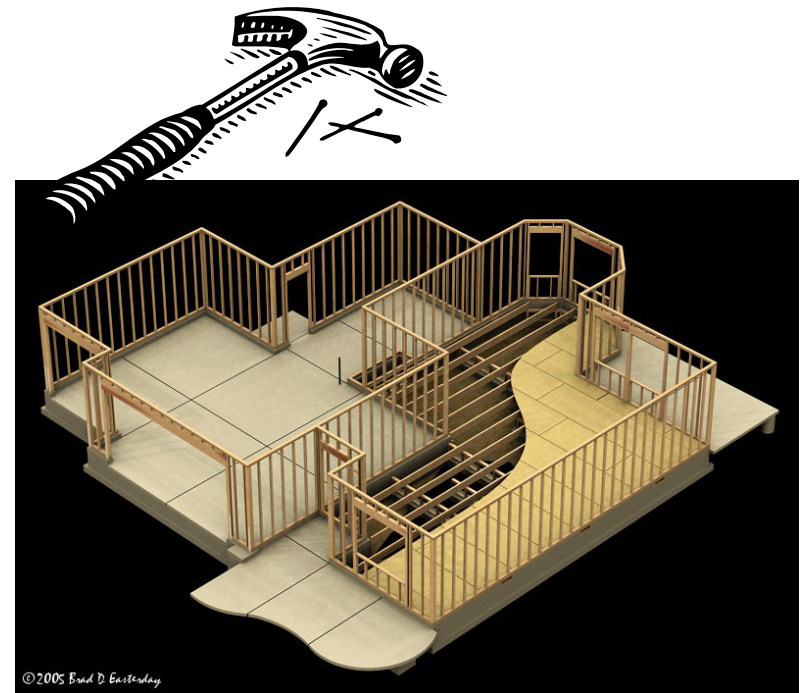
Green Homes Requirements - Main Features

- Insulation - exterior wall, foundation, & under slab
- Window performance
- 40% non-incandescent lighting
- Gas-fueled fireplace efficiency
- Dual-flush toilets
- Heat recovery ventilator
- Pre-pipe for roof-mounted solar ener
- Pre-wire for electric vehicle charging
- EnerGuide Rating Service Audit Report

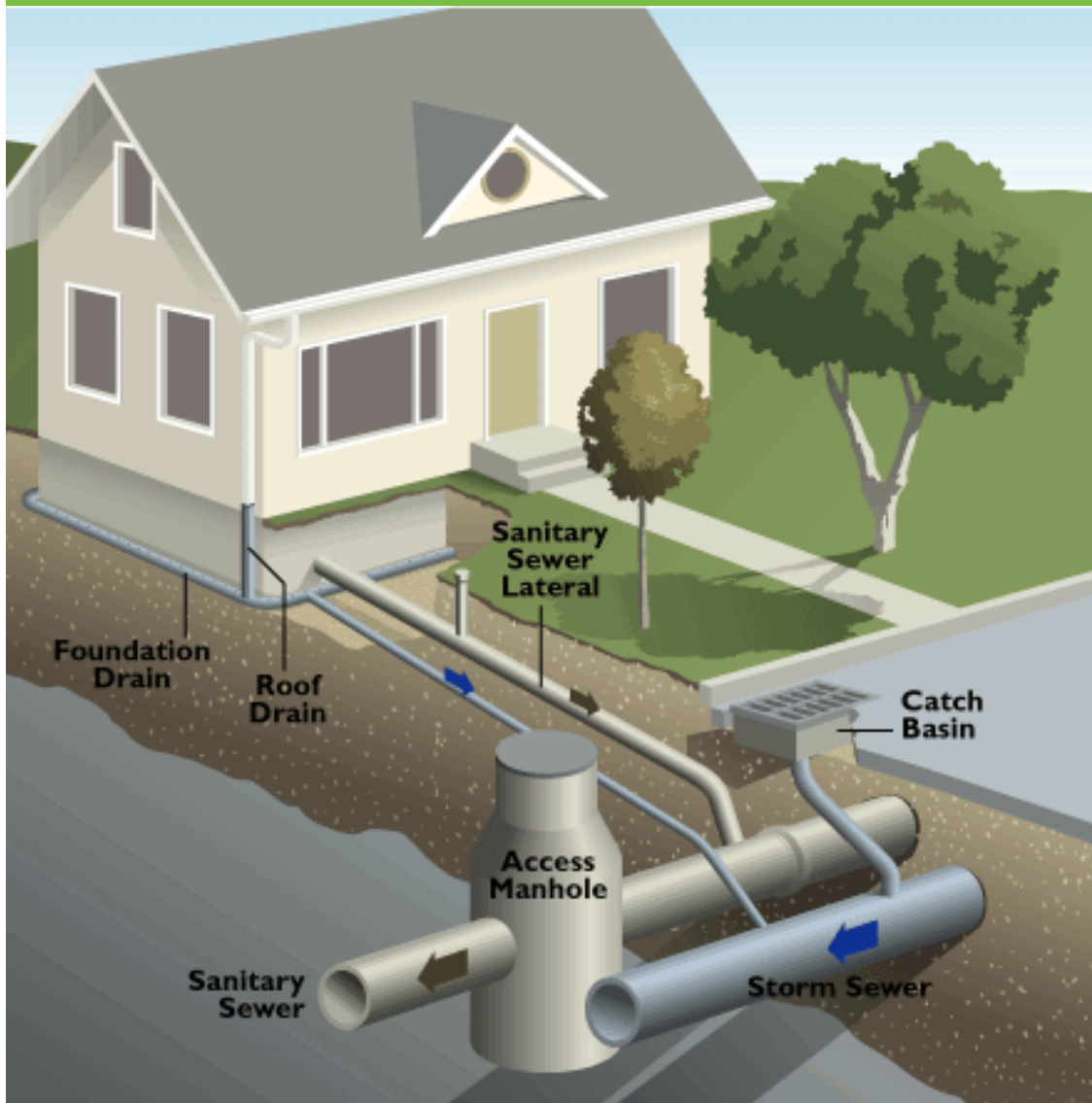


What Happens Next?

- Meet with your District Inspector to establish inspection requirements
- Start building
- Sub-trades come in to City Hall and obtain trades permits
- Inspections
- Revisions (phone 604-871-6526 for appointment)



Engineering Review Outright and Conditional



What Engineering reviews

- Garage Slab Grades
- Encroachment situations
- Sewer Upgrades

Engineering Approval Process & Fees

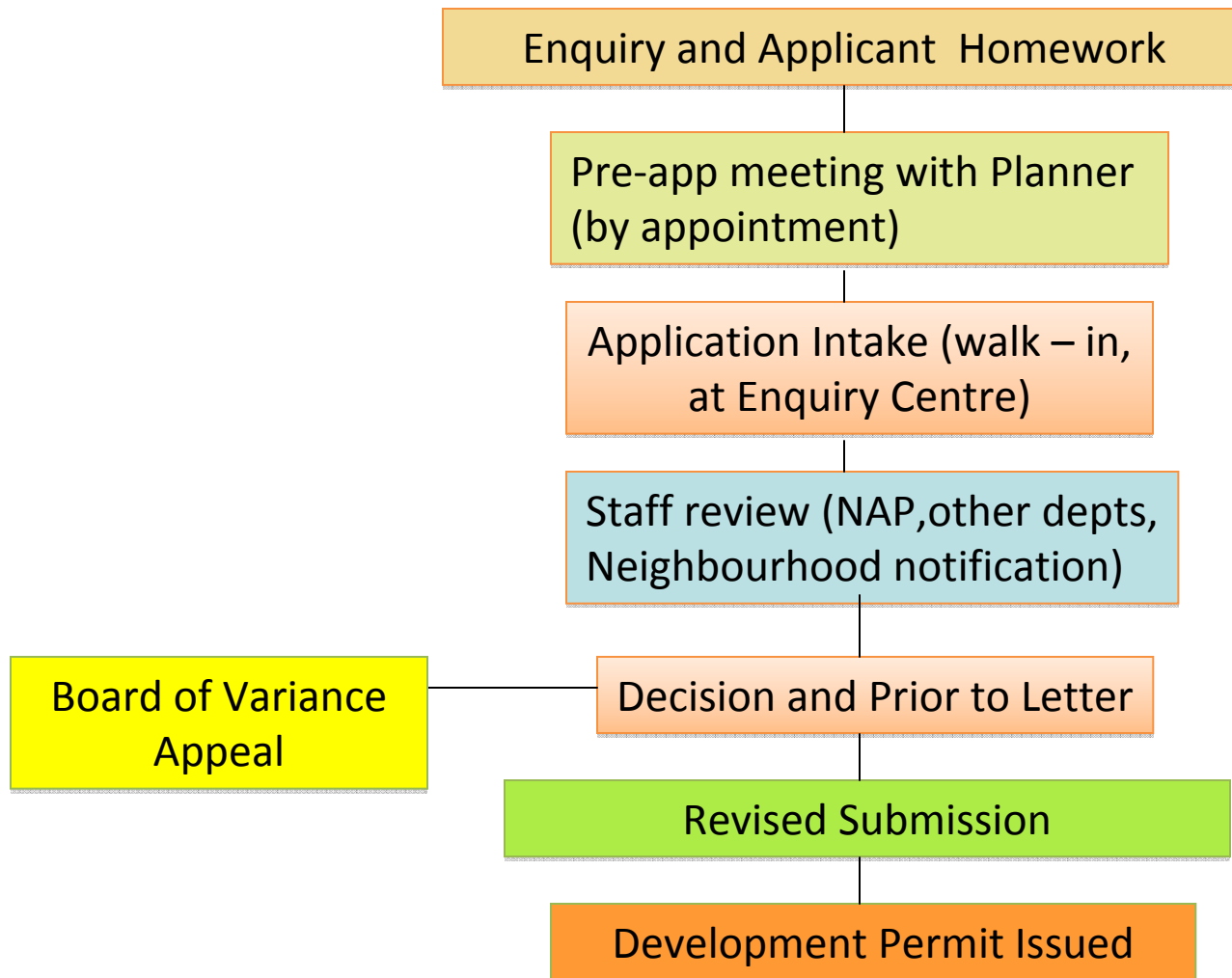
- Outright vs. Conditional*

Landscape Review for New Homes - Outright and Conditional

- Provide Tree Plan (outright)
- Landscape Plan (conditional).
- Review applicable Tree By-law & Guideline requirements
 - Tree Protection
 - Tree Permits (removal or replacement)
 - Species



The Conditional Development Permit Process



Enquiry Period: Applicant Homework

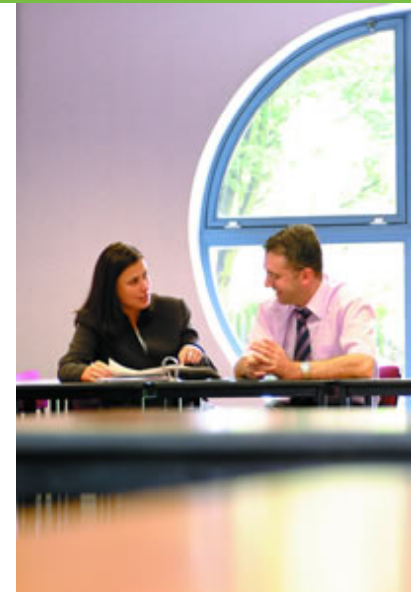
- Make a site visit
- Gather Information
 - Know your address, zoning schedule
 - Take photos of your property and of neighbouring sites
 - Get survey, including significant trees
- Understand the rules that apply
 - Address, zoning district, existing condition
 - Read the applicable By-laws & Guidelines
- Confirm what you want to do
 - project scope, outright or conditional



Pre-application for Conditional Applications

Pre-application meeting with Development Planner (873-7611) & Landscape (walk-in, Enquiry Centre)

- Bring in your schematic drawings (plans, elevations, site and context photos, etc.)
- Senior staff preliminary review & feedback (appx. 1 week)
 - Design direction & relaxations supported?
 - Other departments consulted
 - Application requirements specified
 - Neighbourhood notification confirmed



Application Intake For Conditional Applications

- Bring in all required application materials - walk in at Enquiry Centre

Quality Critical !

- Fees paid - DE and Building Grade

- *Timing depends on quality of application, complexity of project, conformance to Guidelines, results of neighbourhood notification*



Application review

- Staff Review initiated
 - Planning, Engineering, Technical, Landscape, Building Code, Heritage, etc.
- New Application Preview (NAP)
 - Results shared with you
- Neighbourhood Notification
- Recommendation to, and decision by, Director of Planning
 - (8-10 weeks from application)



"Prior to" and Permit Issuance

- What's in a Prior to Letter?
- Applicant response to "prior to" conditions
 - *revised plans and materials*
- Preparing your Building Permit application
- DE Permit Issuance



The Board of Variance

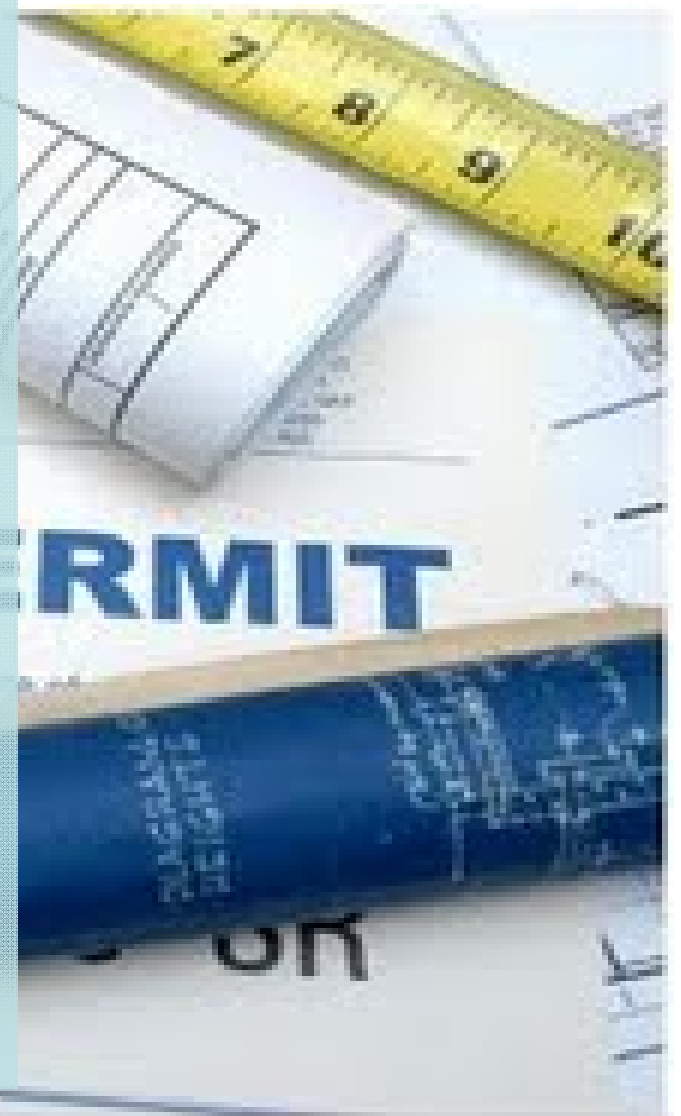
- Some rules cannot be relaxed
- Director of Planning refusal
- Role of the Board of Variance



Obtaining a Building Permit

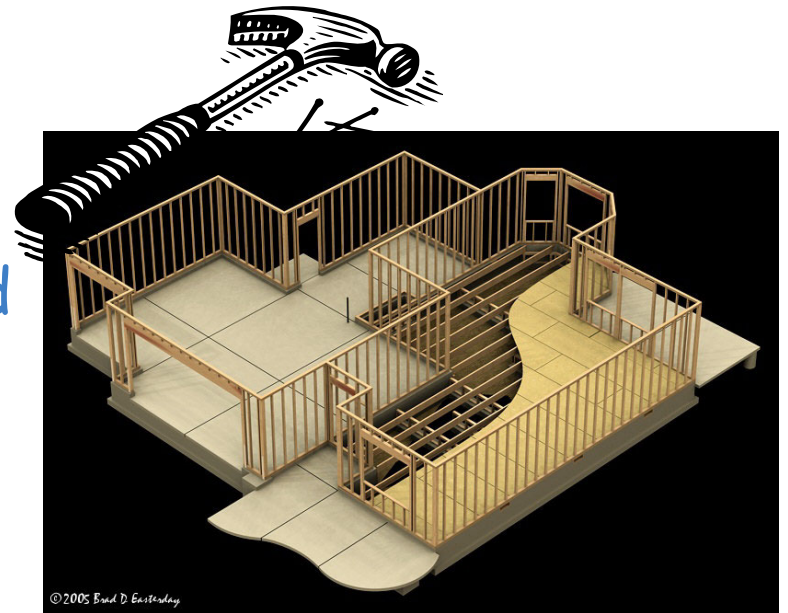
- Submission requirements & BU application appointment - 604-871-6526

- Intake, Review & Permit Issuance at 1&2 Family Dwelling Group, 3rd Floor, E. Wing
 - *Can coincide with DE issuance*



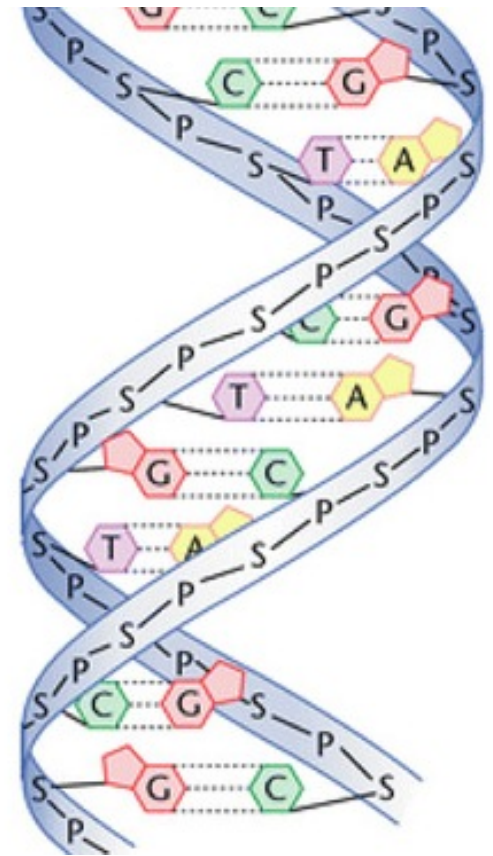
What Happens Next?

- Meet with your District Inspector to establish inspection requirements
- Start building
- Sub-trades come in to City Hall and obtain trades permits
- Inspections
- Revisions



Top Things to Understand

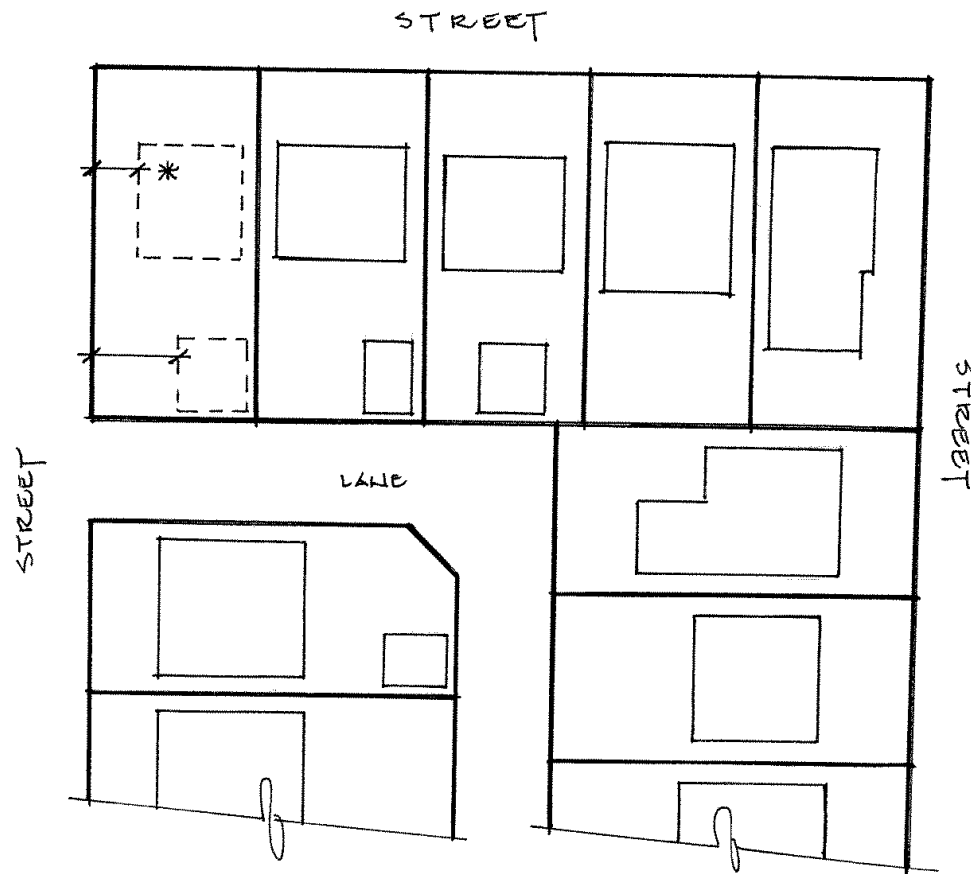
- Zoning & Development By-law vs. Vancouver Building By-Law
- Setbacks and Sideyards
- Height Calculation
- Floor Space Exclusions/Inclusions
- Rainscreen Detail
- House design & neighbourliness
- RT-10 FSR Guidelines



Zoning & Development By-law Vs. Vancouver Building By-law

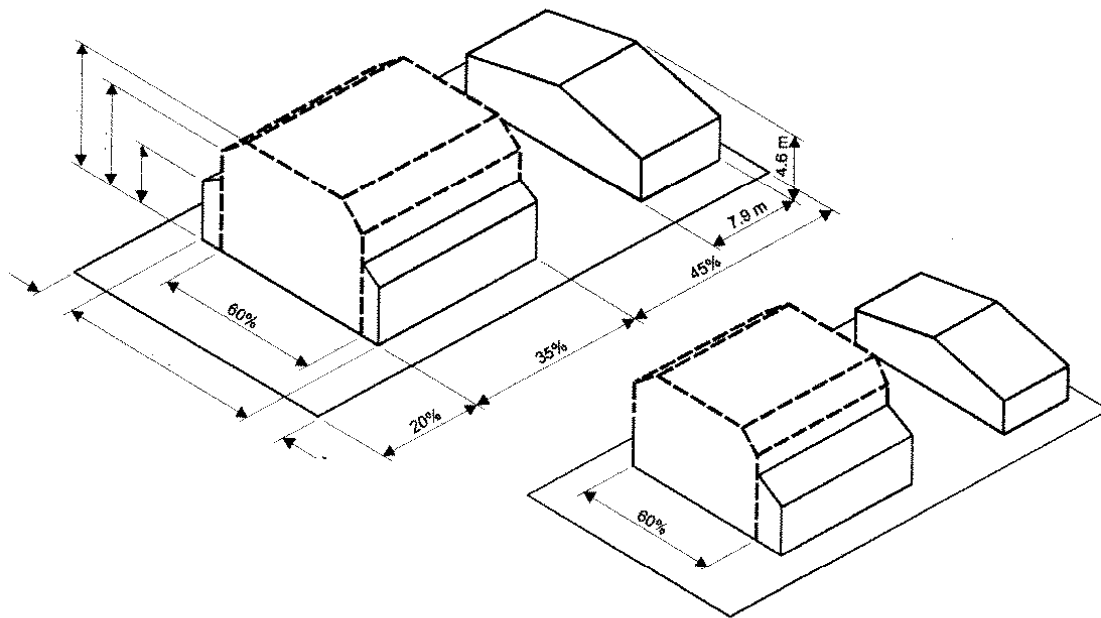
Item	Vancouver Building By-law	Zoning & Development By-law
Side Yard / Limiting Distance	<ul style="list-style-type: none"> amount of unprotected openings combustible/non-combustible cladding 	<ul style="list-style-type: none"> no development in a required yard permitted projections
Floor Space Ratio / Building Area	<ul style="list-style-type: none"> building upgrade level Part 9 or Part 3 	<ul style="list-style-type: none"> Inclusions / exclusion
Main Floor to Grade Calculation		<ul style="list-style-type: none"> affects FSR / number of storeys
Building Height	<ul style="list-style-type: none"> Part 9 or Part 3 Def'n (first storey not more than 2m above grade) 	<ul style="list-style-type: none"> three calculations (RS-1) base surface living accommodation below grade
Headroom	<ul style="list-style-type: none"> min. ceiling height stair headroom 	<ul style="list-style-type: none"> impact on height envelope
Sprinkler	<ul style="list-style-type: none"> minor and major renovation (value of renovation) minor and major addition (building area) 	
Others	<ul style="list-style-type: none"> Development Cost Levy Front & Side Doors Secondary Suites Rainscreen Exiting 	

Yard Setbacks

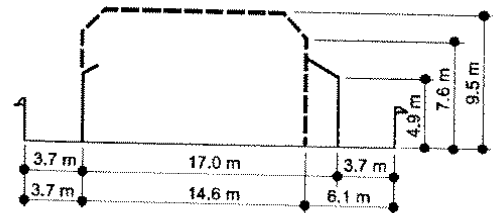
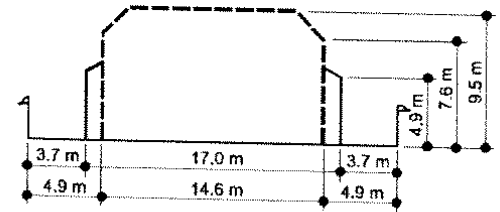
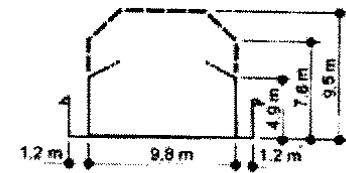


CORNER FLANKING SITE
* SECTION II

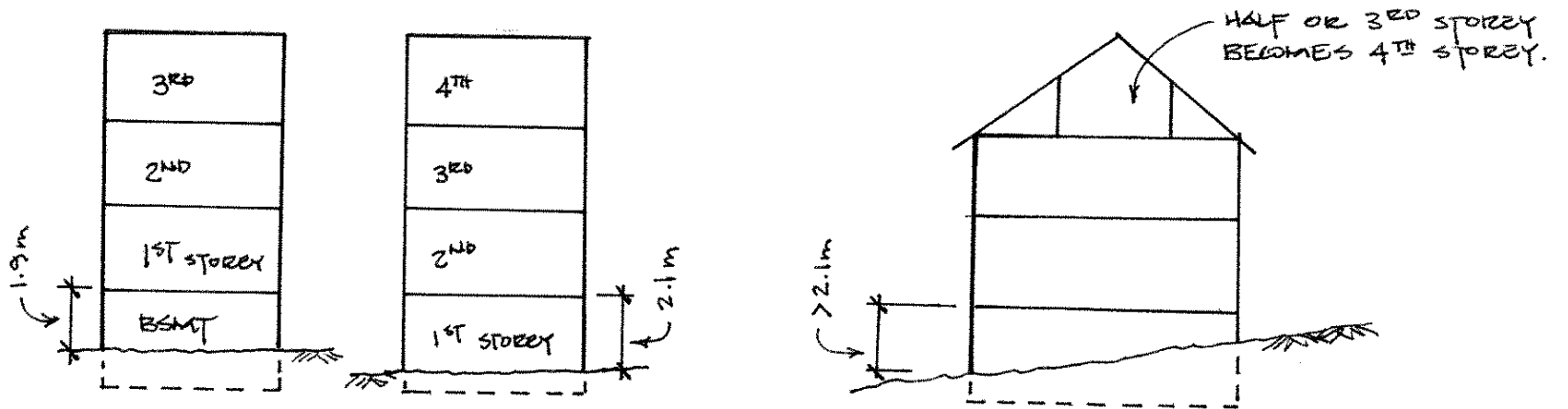
Building Height



RS-1 HEIGHT ENVELOPE



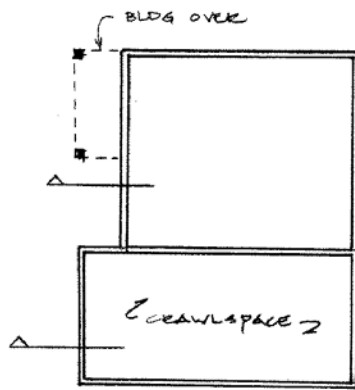
Building Height



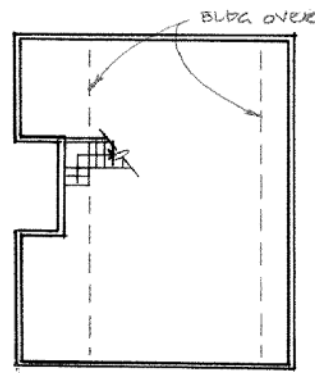
BUILDING HEIGHT

- NO. OF STOREYS

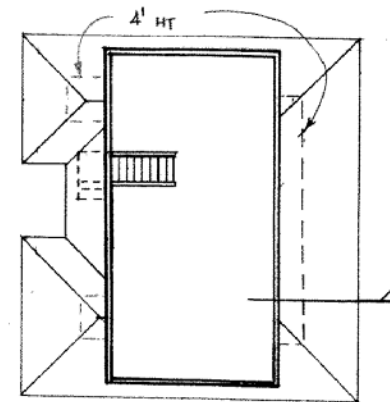
Floor Space Ratio



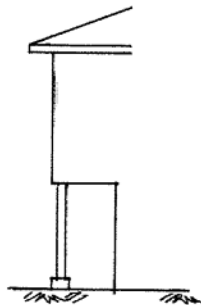
BSMT / CELLAR



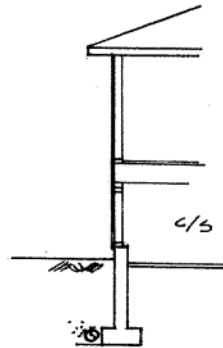
MAIN



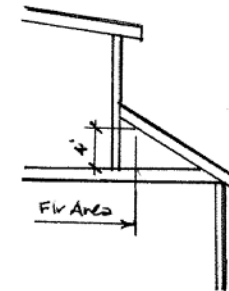
UPPER



ELEV.

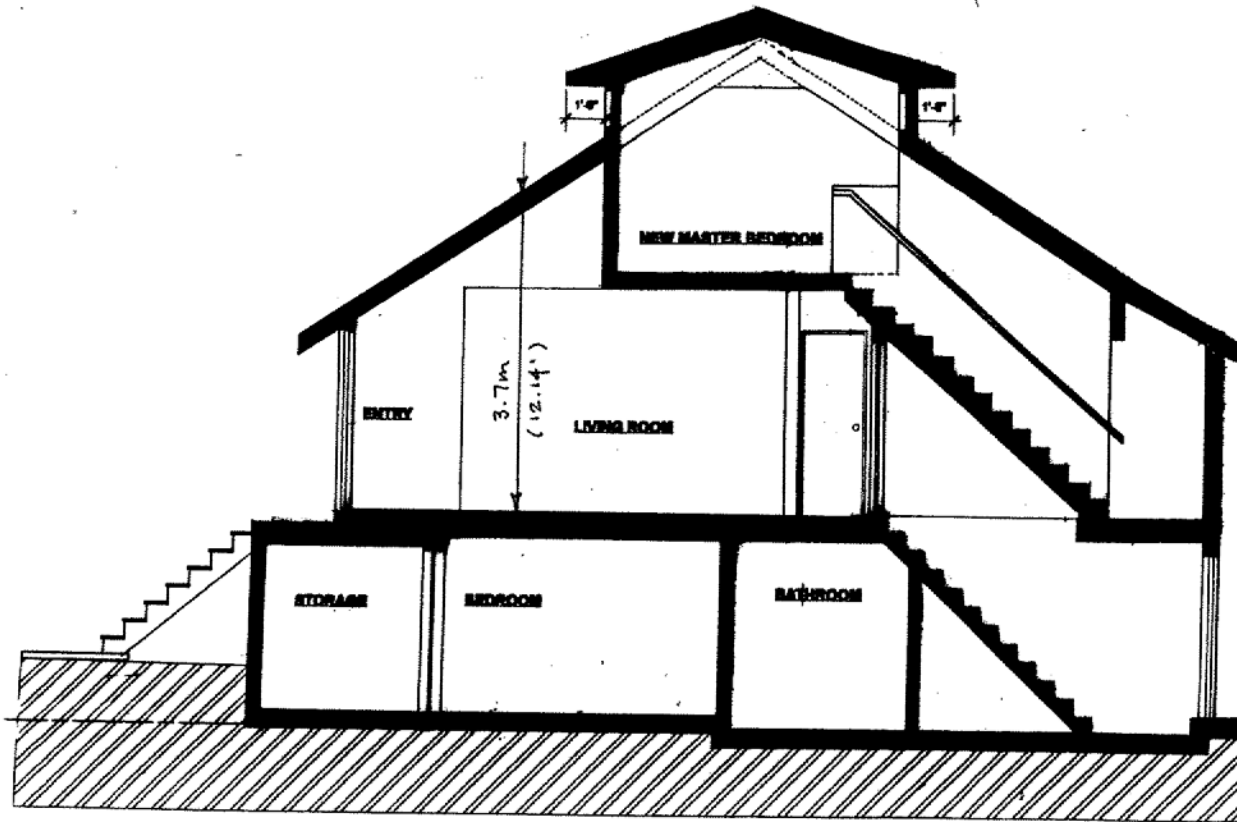


SECTION



SECTION

Floor Space Ratio



Rainscreen Detail

- Submitted details should depict what will be built on site
- Generic CMHC details NOT valid for Building Permit submissions
- Details should include:
 - ✓ Wall Detail - showing cladding materials and transitions
 - ✓ Wall penetration detail
 - ✓ Window Detail
 - ✓ Guard Detail
 - ✓ Parapet Detail



Useful Web Links and Phone Numbers

- Development Services Webpage
<http://vancouver.ca/commsvcs/developmentservices/>
- Enquiry Centre Phone Line - for help in understanding the regulations, and to book an appointment with a planner - 604-873-7611
- Engineering Information -In person at "Crossroads" office, Cambie and Broadway, 5th Floor
- BC Hydro -
http://www.bchydro.com/youraccount/content/electrical_connections.jsp

Questions?

