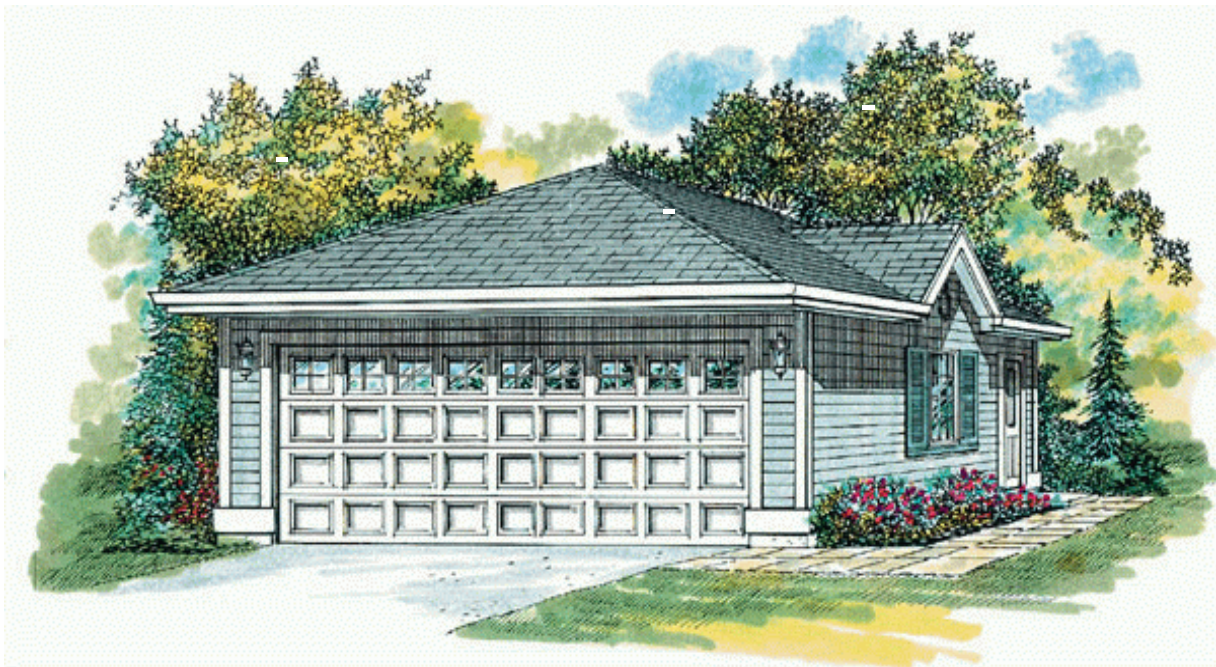




City of Vancouver
Community Services Group
Development Services - Enquiry Centre

How To.....

Checklist for Plan Requirements and
Guide for Construction of garages and
carports, accessory to One and Two
Family Dwellings



October 2003



CITY OF VANCOUVER
 Development Services
 Enquiry Centre

Development & Building Application
Submission Requirements for the
Construction of a detached Garage or carport
(MUST be completed by Applicant and attached to submission)

Project Address:

Drawings Required - Indicates items MUST be submitted with application
 Indicates items may be submitted at a later date

# of sets Required	Prov'd by Applicant	Office use only	Drawings 1/4"=1' 0"(1:50)unless otherwise noted	Notes/comments
2 <input checked="" type="checkbox"/>			Site Plans	Scale not less than 1/8" =1' 0"(1:100)
2 <input checked="" type="checkbox"/>			Impermeable Material site plans	Scale not less than 1/8" =1' 0"(1:100)
2 <input checked="" type="checkbox"/>			Floor plans	
2 <input checked="" type="checkbox"/>			Elevations	(of each side of the building)
2 <input checked="" type="checkbox"/>			Cross Section/s & Structural details	

Documents Required

1 <input checked="" type="checkbox"/>			Application form	
1 <input type="checkbox"/>			Hazardous Material Form	required for demolition of building
1 <input type="checkbox"/>			Proof of ownership	If recently purchased

Letters of Assurance - *Professionals must sign & seal each page of all Letters of Assurance submitted*

Required	Enclosed	Accpt'd		
1 <input checked="" type="checkbox"/>			Schedule B1/B2 - Architectural	not complying with Part 9 of VBBL
1 <input checked="" type="checkbox"/>			Schedule B1/B2 - Structural	

Statements Required

			Site Coverage	
			Impermeable Site Coverage	

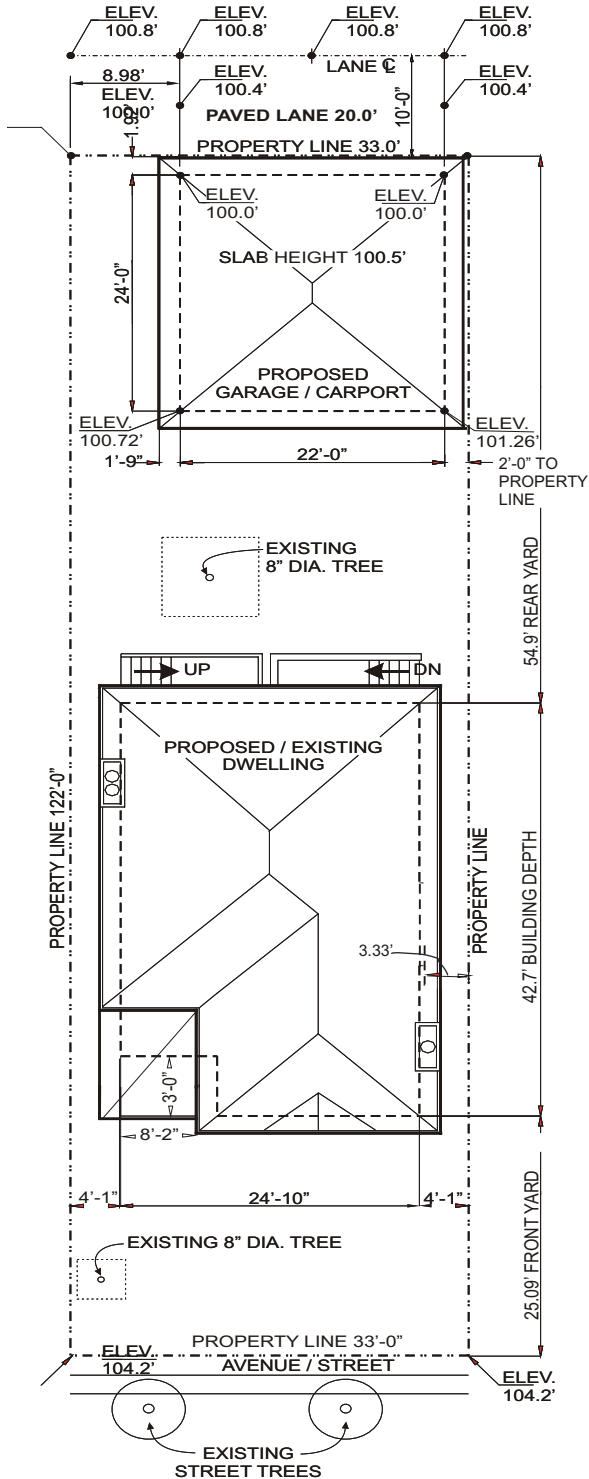
General notes:

Two sets of plans (not pencil drawings or notations) with scale as noted, are required before permit can be processed. Site Coverage Statement is required as well as an Impermeable Material Site Coverage Statement where the site is located in an RS Zone. Schedules B1/B2 Structural Letters of Assurance from a Professional Engineer are required where proposed construction includes laminated beams, beams or joists exceeding maximum allowable span in the Vancouver Building By-Law and where masonry/concrete construction is proposed.

Note : If the preliminary plan review reveals that the application does not meet outright Zoning and Development Bylaw approval requirements and/or Building Bylaw requirements, additional drawings may be required prior to processing. the time of application.

A registered professional must sign & seal each page of all drawings & details where required by the Vancouver Building By-Law
 The list of requirements is not limited in its content. Further review of the application, plans or documents may reveal additional requirements.

The attached drawings are for sample purposes only and are not to be used for submission.



Site Plan should include the following:

- Scale not less than 1/8"=1'0" (1:100)
- Legal Description and north arrow
- Dimensions of site
- Street names, location and dimensions of lanes
- Size of all yards measured from the property line, including front yard, side yards and rear yard.
- Building dimensions - this includes the principle building and any existing or proposed accessory buildings
- Existing & finished grade levels at the four corners of the proposed accessory building and two grade levels at the center line of the lane adjacent to the proposed accessory building (see sample site plan)
- Setbacks must be taken from the established building line where applicable
- Proposed accessory building slab elevation (Bulletin 2000-011-BU)
- Clearly indicate the location of proposed work if adding to the building
- Indicate any right-of-ways, registered easement or encroachments
- Location of any existing trees with trunks over 8"(20cm) thick, measured 3' (90cm) above the grade
- Width of access to parking and the number of spaces provided.
- Indicate the location of existing or proposed driveways from a street
- Indicate ultimate property lines
- Roof drainage system is to be indicated on the site plan(i.e. rock pit)

**** Note: Where lane dedication or building line exists, setbacks must be taken from the dedication line or building line.**

Address _____

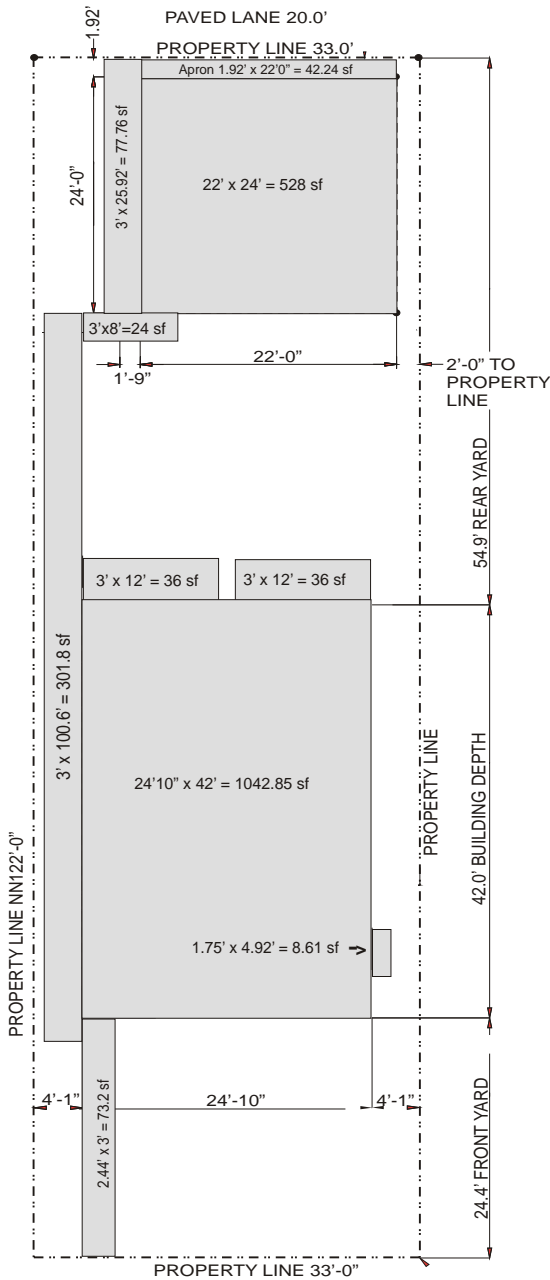
Legal Description

Lot _____ Subdivision _____ Block _____
 District Lot _____ Plan Number _____

Site Coverage

Permitted _____ %
 Proposed - Principle Building _____
 Accessory Building/s _____
 Total proposed _____ %

Site Plan



STREET ADDRESS

Impermeable Material Site Coverage Plan should include the following:

- Scale not less than 1/8" = 1'0"
- Indicate and dimension all impermeable material, including all buildings, sidewalks, paved areas, decks, pools, plastic planting area sheets and other construction which stop rain water from directly entering the soil on a site
- Impermeable material site coverage statement (maximum and proposed).

NOTE: Indicate size & type of material in gravel/rock areas

Address _____

Impermeable Material Site Coverage

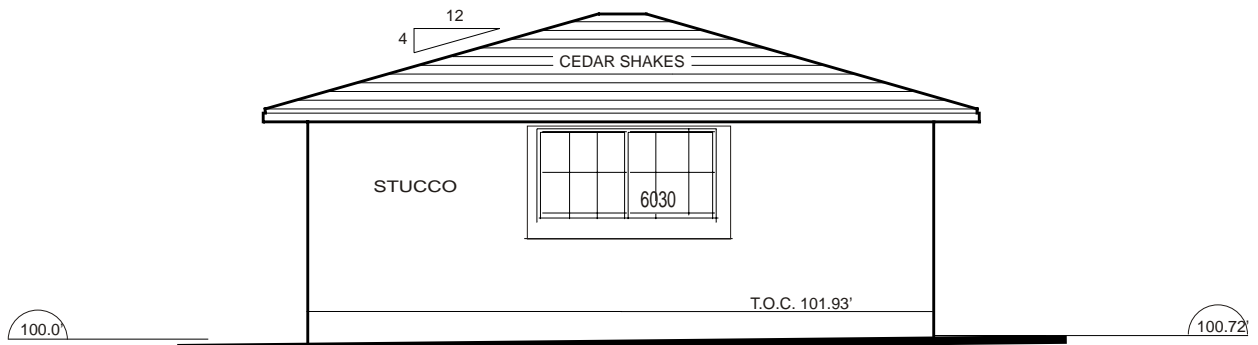
Permitted - _____ %

Proposed - Principle Building _____
 Accessory Building/s _____
 Decks _____
 Sidewalks _____
 Other areas _____

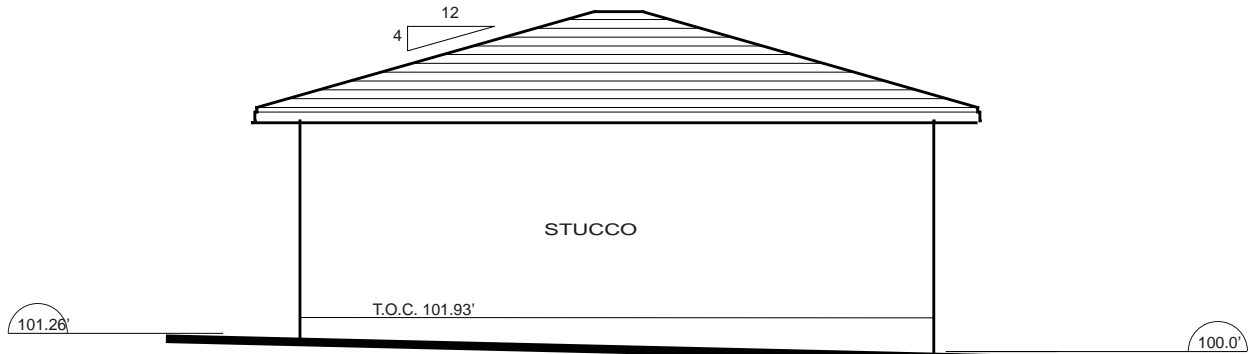
Total proposed _____ %

****** ALL IMPERMEABLE AREAS TO BE LABELED AND DIMENSIONED ******

Impermeable Material Site Coverage Plan

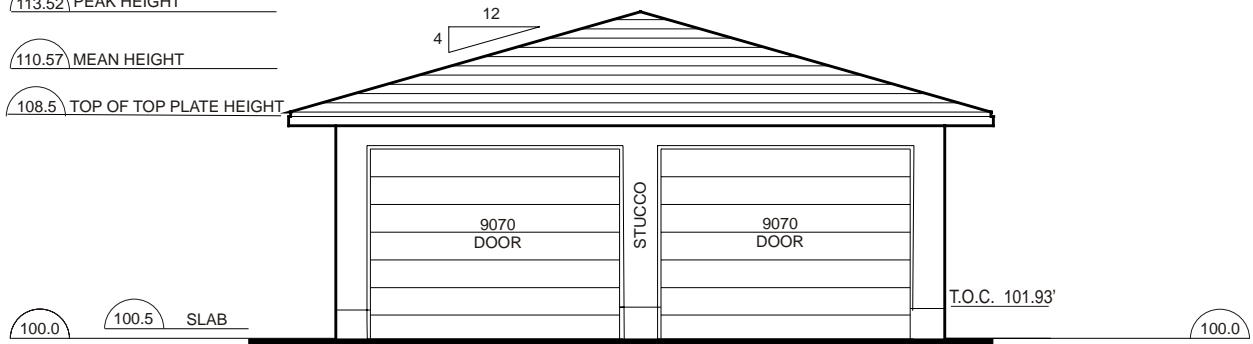


WEST ELEVATION
SCALE: 1/4" = 1'-0"

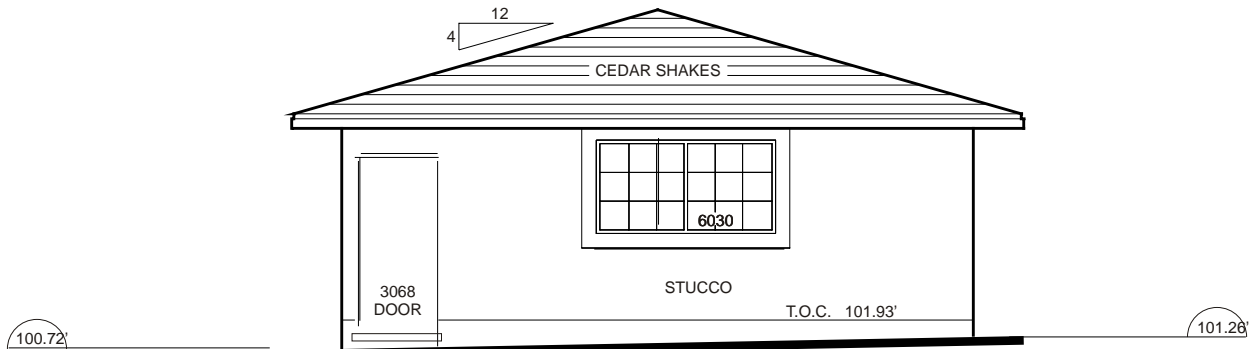


EAST ELEVATION
SCALE: 1/4" = 1'-0"

- (113.52) PEAK HEIGHT
- (110.57) MEAN HEIGHT
- (108.5) TOP OF TOP PLATE HEIGHT



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GARAGE ELEVATION PLANS

Elevations should include the following:

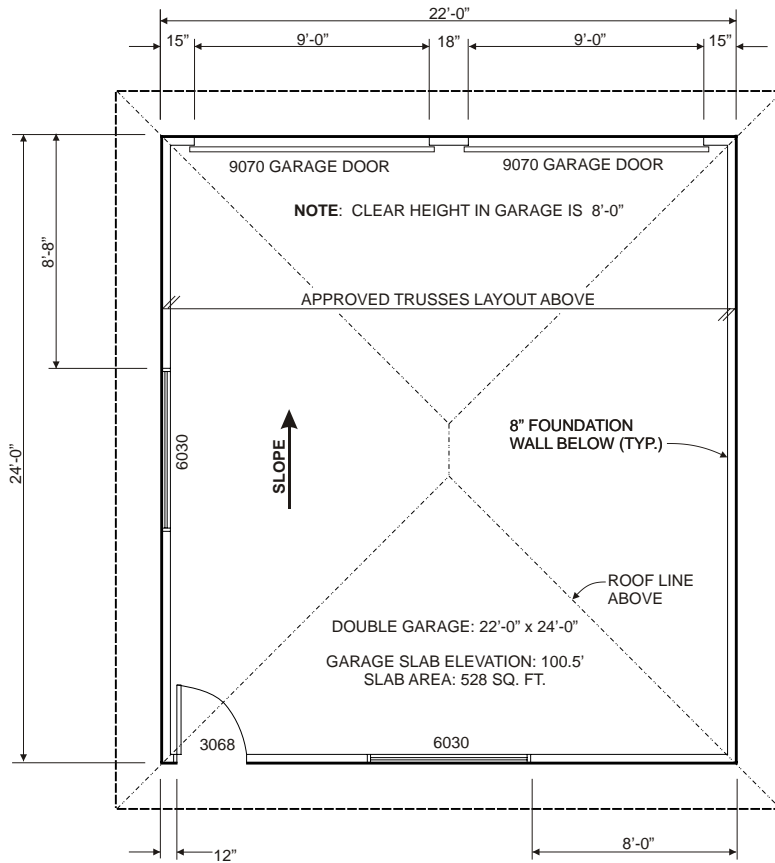
- Scale not less than 1/4" = 1' 0" (1:50)
- New buildings - all four elevations(front, rear and two sides)
- Additions and exterior alterations - sufficient number of elevations to adequately represent the proposal
- Exterior cladding - finish details and material of exterior
- Existing and proposed grade elevation numbers including building height at the peak, mean and eave elevations
- Eave overhang dimensions including gutters
- Indicate location of all windows, doors and skylights, including sizes
- Indicate the elevation of proposed top of concrete around the perimeter of the building.
- Indicate roof pitch and roofing material

Construction Detail/Cross Sections should include the following:

- Scale not less than 1/4" = 1' 0" (1:50)
- Height of all half storeys or dormers where floor area has a minimum ceiling height of 4 feet (1.2m)
- Wall, roof and/or ceiling assemblies
- Lintel, beam, joist and stud sizes including spacing and lumber grade
- Prefabricated roof trusses/ Laminated wood or steel beams- 2 sets -signed and sealed) Certified by a registered Professional Engineer in BC

Impermeable Material Site Coverage plan should include the following:

- Scale not less than 1/8" = 1' 0"
- Indicate &dimension all impermeable material, including all buildings, sidewalks, paved areas, decks, pools, plastic planting area sheets and other construction which stop rain water from directly entering the soil on a site
- Impermeable material site coverage statement (maximum and proposed).

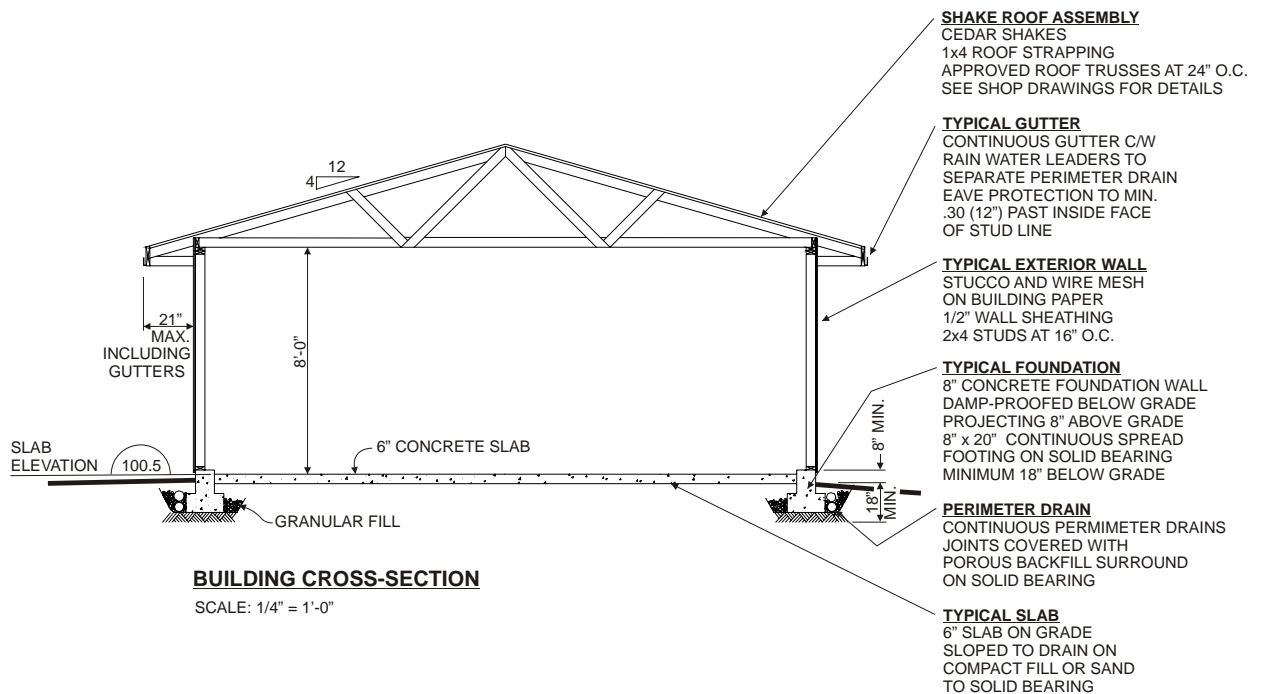


Floor Plans should include the following:

- Scale not less than 1/4"=1'0" (1:50)
- Indicate all outside building dimensions
- Indicate all inside floor dimensions
- Indicate all door and windows sizes
- Indicate any or all plumbing fixtures
- Indicate direction, location and size of all joists, beams, lintels, girders, girder supports and trusses
- Clearly indicate proposed work if adding to an existing building (highlight)

GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"



Frequently called phone numbers

Development Services - Enquiry Centre

Zoning & Development Bylaw Information	604-873-7611 or 604-873-7613
Vancouver Building Bylaw information	604-873-7611 or 604-873-7613
Landscape Technicians	604-871-6531 or 604-871-6533

Property Information

Building plans	604-873-7997
Approved use of residential building	604-871-6397

Bylaw Administration

Building Permit extensions	604-873-7054 or 604-873-7760
Refund requests	604-873-7541
File research	604-873-7111 or 604-873-7541

Inspections

Inspection Services	604-873-7601 or 604-873-7602
24 Hour Line - Building	604-873-7058
24 Hour Line - Electrical	604-873-7059
24 Hour Line - Plumbing/Gas	604-873-7061

Engineering Department

Client Service Centre - Engineering	604-873-7323/604-873-7773/604-873-7277
Sewer and Water Information	604-873-7357
Building Grades Information	604-873-7316

<u>Subdivision</u>	604-873-7721
--------------------	--------------

<u>Homeowner Protection Office</u> (#2270 - 1055 W Georgia)	604-646-7055
--	--------------

<u>Board Of Variance</u> (#304 - 456 West Broadway)	Call to set up an appointment 604-873-7723
--	---

<u>Terasen</u> - Before You Dig	1-800-474-6886
---------------------------------	----------------

<u>BC Gas</u> - Location of Gas lines	1-888-224-2710
---------------------------------------	----------------

<u>Archeological Branch</u> Ministry of Sustainable Resource Management	250-356-0882
--	--------------

<u>Architectural Institute of BC</u>	604-683-8588
--------------------------------------	--------------

<u>Professional Engineers & Geo- scientists</u> <u>Of BC</u>	604-430-8035
---	--------------